

Case No. DSP-13007  
Royal Farms-Allentown Road

Applicant: Two Farms, Inc.  
d/b/a/ Royal Farms

COUNTY COUNCIL OF PRINCE GEORGE'S COUNTY, MARYLAND,  
SITTING AS THE DISTRICT COUNCIL

ORDER AFFIRMING PLANNING BOARD DECISION,  
WITH CONDITIONS

IT IS HEREBY ORDERED, after review of the administrative record, that the decision of the Planning Board in PGCPB No. 13-94, to approve with conditions a detailed site plan for a new gas station with ten pumping stations, a 5,125-square-foot food and beverage store and a 1,255-square-foot car wash, located in the southwest quadrant of the intersection of Allentown Road (MD 337) and Branch Avenue (MD 5), is AFFIRMED, subject to the District Council's original jurisdiction pursuant to §27-132(f)(1) of the Zoning Ordinance and its authority to modify the decision of the Planning Board pursuant to 27-290(d) of the Zoning Ordinance.

As the basis for this action, the District Council, pursuant to §27-132(f)(1) and §27-290 of the Zoning Ordinance, adopts and incorporates by reference as if fully stated herein, the findings and conclusions stated by the Planning Board in its Resolution, PGCPB No. 13-94, except as otherwise stated herein, as follows: DSP-13007 is approved for the construction of a new gas station with seven pumping islands and a 5,379-square-foot food and beverage store with parking and revised architectural elevations for the primary building as further depicted on Exhibit A produced by the Applicant, and accepted into the record, at oral argument on January 13, 2014. Pursuant to the request to withdraw the car wash, this approval does not include the originally requested car wash.

Affirmance of the Planning Board's decision is subject to the following conditions:

1. Prior to certificate of approval of the detailed site plan, the following revisions shall be made, or information shall be provided:
  - a. The site plan and elevations for the primary building shall be revised as shown on Exhibit A.
  - b. The gas station canopy shall be more consistent with the architecture of the primary building. The final design of the canopy and canopy signage shall be approved by the Urban Design Section as a designee of the Planning Board.
  - c. A detail of the placemaking wall shall be provided and shall incorporate brick piers and wrought iron-style fencing consistent with the photographs in the record of the wall and fence. The final design of the wall shall be approved by the Urban Design Section as a designee of the Planning Board.
  - d. The placemaking wall shall be extended along the entire corner of the site from the access drive located along Allentown Road to an equal distance towards the access drive along Old Branch Avenue .
  - e. The signage base shall be revised to incorporate brick support columns, instead of a solid wall.
  - f. All of the proposed building materials, colors, and finishes shall be labeled on the architectural elevations.
  - g. Details of all proposed site features such as benches, fencing, and lamp posts shall be provided.
  - h. The freestanding sign area and pylon sign table shall be revised to include the entire sign face, exclusive of any base that holds up the sign, and the sign area permitted shall be based upon the property boundaries and frontage widths after the proposed dedication.
  - i. Extend the proposed six-foot-wide sidewalk on Old Branch Avenue to the southern property line.
  - j. The following notes shall be placed on the plan:
    - (1) The proposed gas station shall not include the storage or junking of wrecked motor vehicles (whether capable of movement or not);
    - (2) Vehicle repair service is not proposed on the subject site;

- (3) The color and appearance of the red brick on the proposed primary building, canopy support columns, walls, and features across the site shall be consistent;
  - (4) During the demolition/construction phases of the project, the project shall conform to construction activity dust control requirements as specified in the 2011 Maryland Standards and Specifications for Soil Erosion and Sediment Control; and
  - (5) During the demolition/construction phases of the project, the project shall conform to construction activity noise control requirements as specified in the 2011 Maryland Standards and Specifications for Soil Erosion and Sediment Control.
- k. The method of illumination for the building-mounted signs shall be indicated on the sign plans.
  - l. A column shall be added to the sign table indicating how the percentage of the sign area will be divided between the building and the canopy.
  - m. The proposed directional sign shall be revised to incorporate a two-foot tall brick base.
  - n. Details of proposed light fixtures shall be provided. The light fixtures shall be positioned to minimize light trespass caused by spill light.
  - o. WSSC easements shall be located on the plan and overlaps of the WSSC facilities and the PUE shall be avoided to the extent feasible.
  - p. The applicant shall revise the plans to show a right-in/right-out commercial access based on the Access Management detail on sheet DSP-7.
2. Prior to certificate of approval of the detailed site plan, the following revisions shall be made to the landscape plan or information shall be provided:
- a. The loading space shall be more effectively screened by adding three evergreen trees along the frontage of the on-ramp for southbound MD 5.

- b. The Section 4.6 plantings shall be relocated out of the public utility easement (PUE). If the plan cannot be revised to show plantings outside of the PUE, then Alternative Compliance shall be approved by the Planning Director as designee of the Planning Board.

Because the detailed design of land development significantly affects the health, safety, and welfare of the general public, our original jurisdiction over DSP-13007 pursuant to §27-132(f)(1), and our authority to modify the decision of the Planning Board pursuant to 27-290(d), affirmance is also subject to the following additional condition:

3. Prior to certificate of approval of the detailed site plan, and pursuant to its expert traffic engineer's testimony at oral argument, the applicant shall provide confirmation that the traffic light at Allentown Road and Old Branch Avenue is synchronized with the traffic lights at Allentown Road and MD 5 (Branch Avenue) to optimize traffic flow.

Ordered this 27<sup>th</sup> day of January, 2014, by the following vote:

In Favor: Council Members Campos, Davis, Franklin, Olson, Lehman, Patterson and  
Turner.  
Opposed:  
Abstained:  
Absent: Council Members Harrison and Toles.

Vote: 7-0

COUNTY COUNCIL OF PRINCE GEORGE'S  
COUNTY, MARYLAND, SITTING AS THE  
DISTRICT COUNCIL FOR THAT PART OF  
THE MARYLAND-WASHINGTON  
REGIONAL DISTRICT IN PRINCE GEORGE'S  
COUNTY, MARYLAND

By: \_\_\_\_\_  
Mel Franklin, Chairman

ATTEST:

\_\_\_\_\_  
Redis C. Floyd  
Clerk of the Council

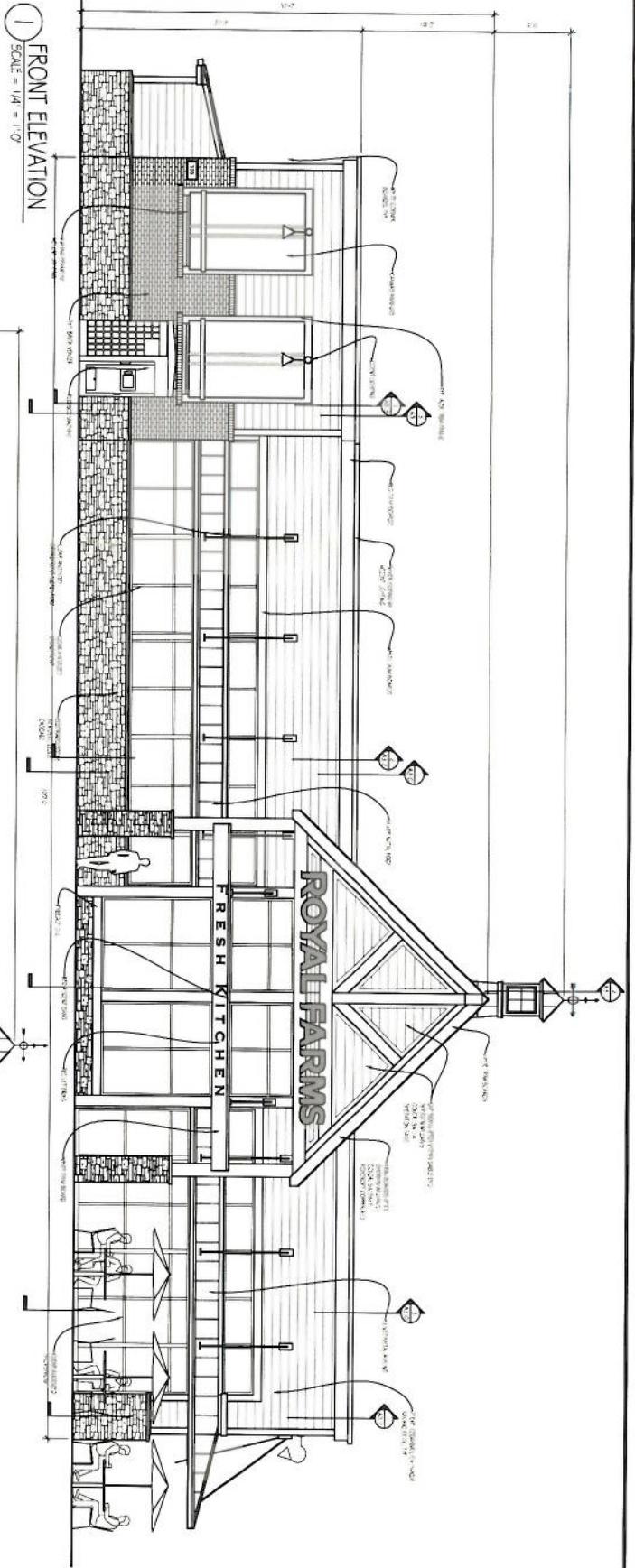


# ROYAL FARMS

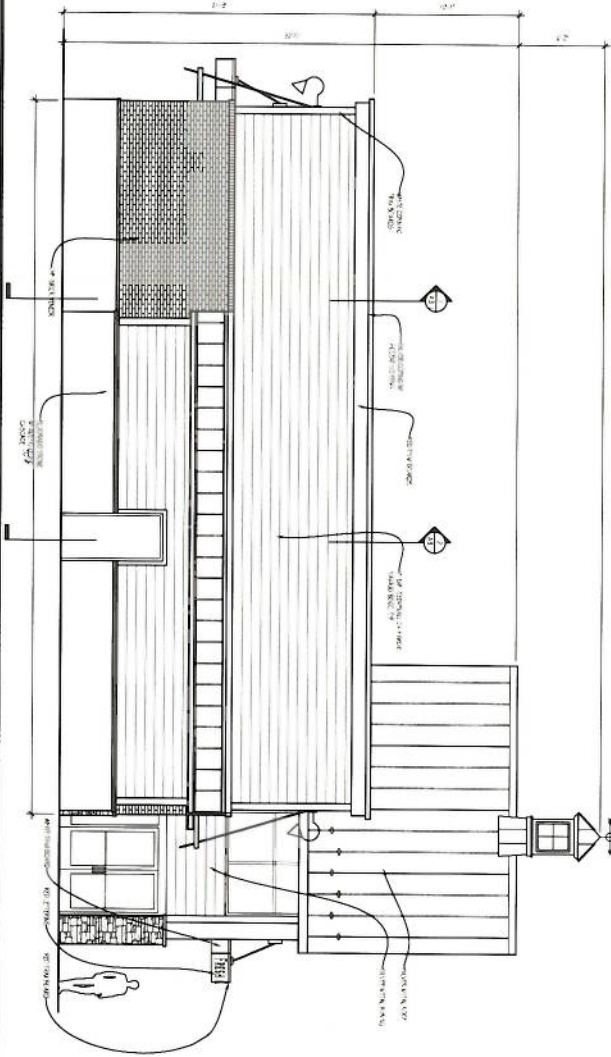
RECON Prototype Rendered Perspective  
July 25, 2012

**R** RATCLIFFE  
ARCHITECTS

14004 Stevenson Road  
Stevenson, Maryland 21153



1 FRONT ELEVATION  
SCALE = 1/4" = 1'-0"



2 LEFT ELEVATION  
SCALE = 1/4" = 1'-0"

**NOTE:**  
 1. PAINT ALL EXTERIOR ELECTRICAL EQUIPMENT TO MATCH BUILDING.  
 2. SEE CIVIL PLANS FOR DETAILED GRADING INFORMATION.  
 3. SEE SHEET A2.1 FOR EXTERIOR SPECIFICATIONS.

CONCRETE ELEVATIONS

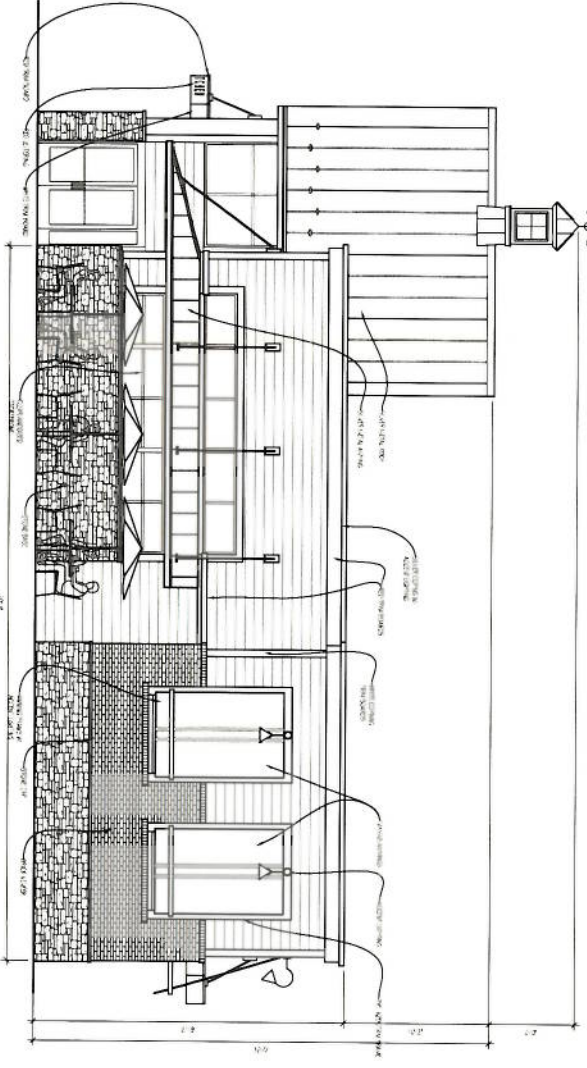
**ROYAL FARMS**  
 6210 ALLENTOWN ROAD  
 TEMPLE HILLS, MD 20748  
 STORE #204

**RA RATCLIFFE ARCHITECTS**  
 ARCHITECTS  
 1100 N. ...  
 ...

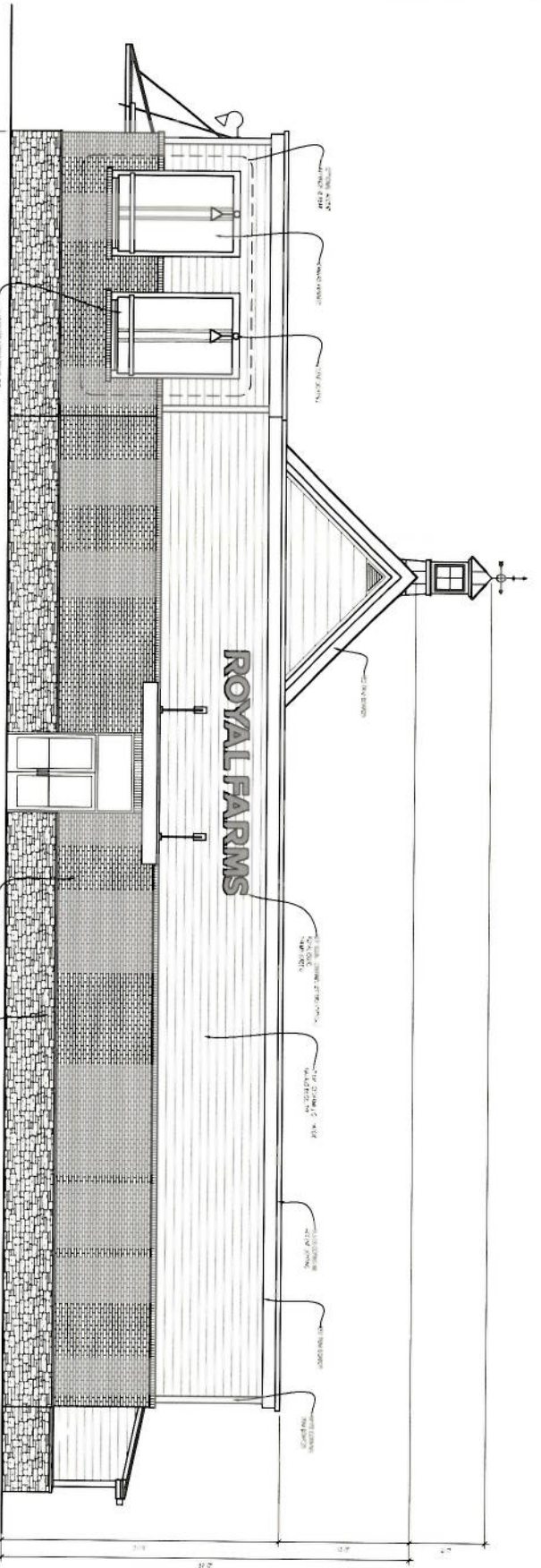
NO.	DATE	BY	REVISION
1	04-26-13	AS NOTED	AS NOTED
2		M. ETNER	
3			
4			
5			
6			
7			
8			
9			
10			

A2.0

**2** RIGHT ELEVATION  
SCALE = 1/4" = 1'-0"



**1** REAR ELEVATION  
SCALE = 1/4" = 1'-0"



**NOTE:**  
1. PAINT ALL EXTERIOR ELECTRICAL EQUIPMENT TO MATCH BUILDING.  
2. SEE CIVIL PLANS FOR DETAILED GRADING INFORMATION.  
3. SEE SHEET A-1 FOR EXTERIOR SPECIFICATIONS

DATE	BY	DESCRIPTION
04-26-13	AS NOTED	
	M. ETNER	

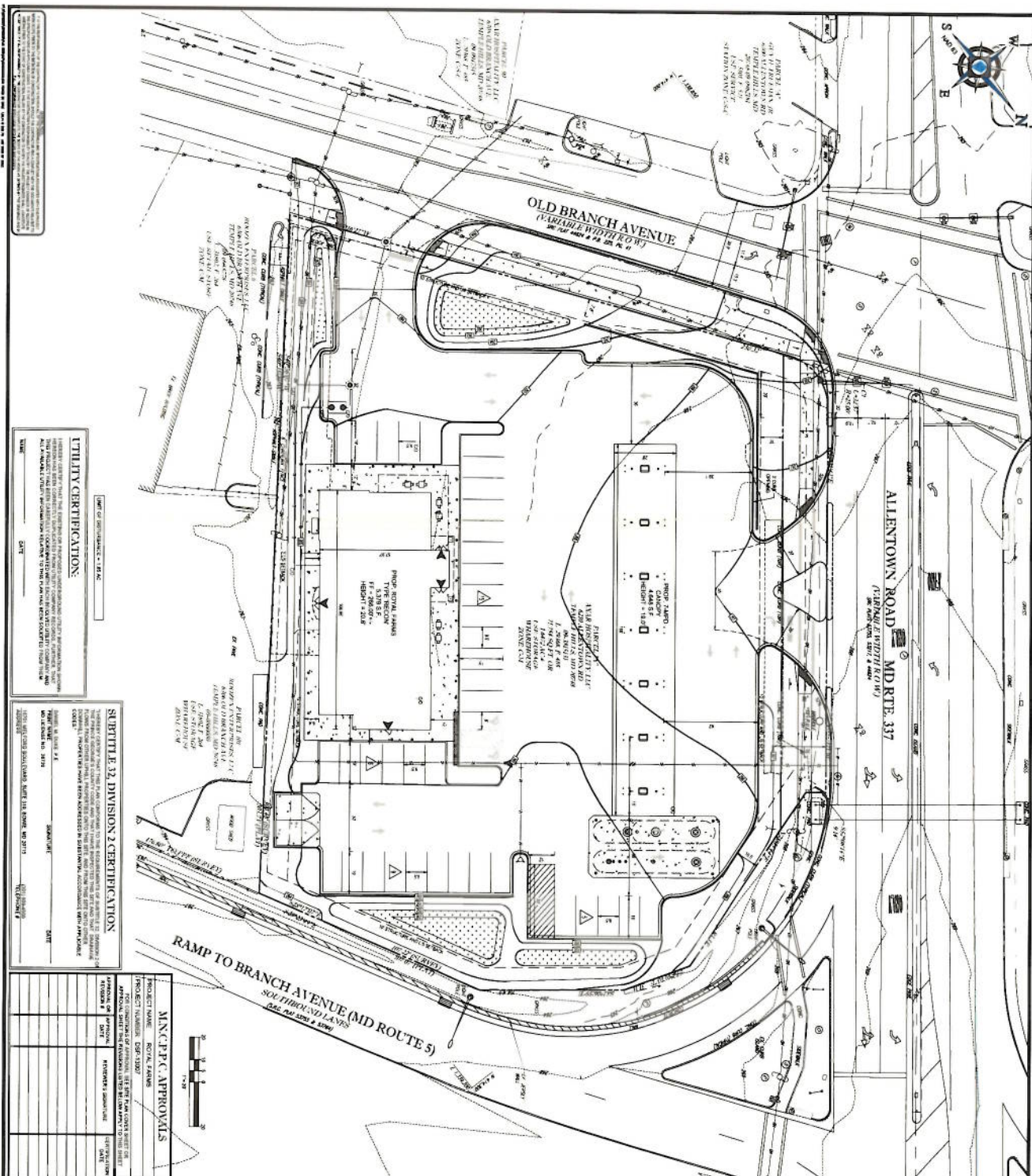
NO.	REV.	DATE	DESCRIPTION
1	1		
2	1		
3	1		
4	1		
5	1		
6	1		
7	1		
8	1		
9	1		
10	1		
11	1		
12	1		
13	1		
14	1		
15	1		
16	1		
17	1		
18	1		
19	1		
20	1		

**ROYAL FARMS**  
6210 ALLENTOWN ROAD  
TEMPLE HILLS, MD 20748  
STORE #204

**RATCLIFFE ARCHITECTS**  
ARCHITECTS  
6210 ALLENTOWN ROAD, SUITE 204  
TEMPLE HILLS, MD 20748  
TEL: (301) 261-1111  
WWW.RATCLIFFEARCHITECTS.COM

A2.1





SYMBOL	DESCRIPTION
1	EXISTING ASPHALT DRIVE
2	EXISTING ASPHALT DRIVE
3	EXISTING ASPHALT DRIVE
4	EXISTING ASPHALT DRIVE
5	EXISTING ASPHALT DRIVE
6	EXISTING ASPHALT DRIVE
7	EXISTING ASPHALT DRIVE
8	EXISTING ASPHALT DRIVE
9	EXISTING ASPHALT DRIVE
10	EXISTING ASPHALT DRIVE
11	EXISTING ASPHALT DRIVE
12	EXISTING ASPHALT DRIVE
13	EXISTING ASPHALT DRIVE
14	EXISTING ASPHALT DRIVE
15	EXISTING ASPHALT DRIVE
16	EXISTING ASPHALT DRIVE
17	EXISTING ASPHALT DRIVE
18	EXISTING ASPHALT DRIVE
19	EXISTING ASPHALT DRIVE
20	EXISTING ASPHALT DRIVE
21	EXISTING ASPHALT DRIVE
22	EXISTING ASPHALT DRIVE
23	EXISTING ASPHALT DRIVE
24	EXISTING ASPHALT DRIVE
25	EXISTING ASPHALT DRIVE
26	EXISTING ASPHALT DRIVE
27	EXISTING ASPHALT DRIVE
28	EXISTING ASPHALT DRIVE
29	EXISTING ASPHALT DRIVE
30	EXISTING ASPHALT DRIVE
31	EXISTING ASPHALT DRIVE
32	EXISTING ASPHALT DRIVE
33	EXISTING ASPHALT DRIVE
34	EXISTING ASPHALT DRIVE
35	EXISTING ASPHALT DRIVE
36	EXISTING ASPHALT DRIVE
37	EXISTING ASPHALT DRIVE
38	EXISTING ASPHALT DRIVE
39	EXISTING ASPHALT DRIVE
40	EXISTING ASPHALT DRIVE
41	EXISTING ASPHALT DRIVE
42	EXISTING ASPHALT DRIVE
43	EXISTING ASPHALT DRIVE
44	EXISTING ASPHALT DRIVE
45	EXISTING ASPHALT DRIVE
46	EXISTING ASPHALT DRIVE
47	EXISTING ASPHALT DRIVE
48	EXISTING ASPHALT DRIVE
49	EXISTING ASPHALT DRIVE
50	EXISTING ASPHALT DRIVE
51	EXISTING ASPHALT DRIVE
52	EXISTING ASPHALT DRIVE
53	EXISTING ASPHALT DRIVE
54	EXISTING ASPHALT DRIVE
55	EXISTING ASPHALT DRIVE
56	EXISTING ASPHALT DRIVE
57	EXISTING ASPHALT DRIVE
58	EXISTING ASPHALT DRIVE
59	EXISTING ASPHALT DRIVE
60	EXISTING ASPHALT DRIVE
61	EXISTING ASPHALT DRIVE
62	EXISTING ASPHALT DRIVE
63	EXISTING ASPHALT DRIVE
64	EXISTING ASPHALT DRIVE
65	EXISTING ASPHALT DRIVE
66	EXISTING ASPHALT DRIVE
67	EXISTING ASPHALT DRIVE
68	EXISTING ASPHALT DRIVE
69	EXISTING ASPHALT DRIVE
70	EXISTING ASPHALT DRIVE
71	EXISTING ASPHALT DRIVE
72	EXISTING ASPHALT DRIVE
73	EXISTING ASPHALT DRIVE
74	EXISTING ASPHALT DRIVE
75	EXISTING ASPHALT DRIVE
76	EXISTING ASPHALT DRIVE
77	EXISTING ASPHALT DRIVE
78	EXISTING ASPHALT DRIVE
79	EXISTING ASPHALT DRIVE
80	EXISTING ASPHALT DRIVE
81	EXISTING ASPHALT DRIVE
82	EXISTING ASPHALT DRIVE
83	EXISTING ASPHALT DRIVE
84	EXISTING ASPHALT DRIVE
85	EXISTING ASPHALT DRIVE
86	EXISTING ASPHALT DRIVE
87	EXISTING ASPHALT DRIVE
88	EXISTING ASPHALT DRIVE
89	EXISTING ASPHALT DRIVE
90	EXISTING ASPHALT DRIVE
91	EXISTING ASPHALT DRIVE
92	EXISTING ASPHALT DRIVE
93	EXISTING ASPHALT DRIVE
94	EXISTING ASPHALT DRIVE
95	EXISTING ASPHALT DRIVE
96	EXISTING ASPHALT DRIVE
97	EXISTING ASPHALT DRIVE
98	EXISTING ASPHALT DRIVE
99	EXISTING ASPHALT DRIVE
100	EXISTING ASPHALT DRIVE

**STANDARD DRAWING LEGEND**

DATE: 11/11/2014

PROJECT: 11-11-14-001

DRAWN BY: J. BOHLER

CHECKED BY: J. BOHLER

DATE: 11/11/2014

**BOHLER ENGINEERING**

LEVEL 1 CONSULTING ENGINEERS

PROJECT MANAGERS

ENVIRONMENTAL CONSULTANTS

LANDSCAPE ARCHITECTS

1100 W. MARKET STREET, SUITE 200, WASHINGTON, DC 20005

1100 W. MARKET STREET, SUITE 200, WASHINGTON, DC 20005

1100 W. MARKET STREET, SUITE 200, WASHINGTON, DC 20005

1100 W. MARKET STREET, SUITE 200, WASHINGTON, DC 20005

**ROYALFARMS**

1100 W. MARKET STREET, SUITE 200, WASHINGTON, DC 20005

1100 W. MARKET STREET, SUITE 200, WASHINGTON, DC 20005

1100 W. MARKET STREET, SUITE 200, WASHINGTON, DC 20005

**BOHLER ENGINEERING**

1100 W. MARKET STREET, SUITE 200, WASHINGTON, DC 20005

1100 W. MARKET STREET, SUITE 200, WASHINGTON, DC 20005

1100 W. MARKET STREET, SUITE 200, WASHINGTON, DC 20005

**D.M. DUKE**

1100 W. MARKET STREET, SUITE 200, WASHINGTON, DC 20005

1100 W. MARKET STREET, SUITE 200, WASHINGTON, DC 20005

**BOHLER ENGINEERING**

1100 W. MARKET STREET, SUITE 200, WASHINGTON, DC 20005

1100 W. MARKET STREET, SUITE 200, WASHINGTON, DC 20005

**ROYALFARMS**

1100 W. MARKET STREET, SUITE 200, WASHINGTON, DC 20005

1100 W. MARKET STREET, SUITE 200, WASHINGTON, DC 20005

**BOHLER ENGINEERING**

1100 W. MARKET STREET, SUITE 200, WASHINGTON, DC 20005

1100 W. MARKET STREET, SUITE 200, WASHINGTON, DC 20005