



The Maryland-National Capital Park and Planning Commission
 Prince George's County Planning Department
 Development Review Division
 301-952-3530

Note: Staff reports can be accessed at <http://mncppc.iqm2.com/Citizens/Default.aspx>

Detailed Site Plan

4100 Laurel Road Property

DSP-21014

REQUEST	STAFF RECOMMENDATION
<p>This case was continued from the Planning Board hearing date of July 7, 2022 to September 8, 2022.</p> <p>Development of an industrial storage yard.</p>	<p>With the Conditions Recommended herein:</p> <ul style="list-style-type: none"> • Approval of Detailed Site Plan DSP-21014

Location: On the north end of Laurel Road, approximately 340 feet north of its intersection with Beech Road.	
Gross Acreage:	0.896
Zone:	IE
Zone Prior:	I-1
Reviewed per prior Zoning Ordinance:	Section 27-1704(b)
Dwelling Units:	N/A
Gross Floor Area:	N/A
Planning Area:	76A
Council District:	07
Municipality:	N/A
Applicant/Address: Wave Civil, LLC 5250 Cherokee Ave, Suite 290 Alexandria, VA 22312	
Staff Reviewer: Tierre Butler Phone Number: 301-780-2458 Email: Tierre.Butler@ppd.mncppc.org	



Planning Board Date:	09/08/2022
Planning Board Action Limit:	09/08/2022
Staff Report Date:	8/17/2022
Date Accepted:	04/14/2022
Informational Mailing:	10/01/2021
Acceptance Mailing:	04/15/2022
Sign Posting Deadline:	05/17/2022

The Planning Board encourages all interested persons to request to become a person of record for this application. Requests to become a person of record may be made online at http://www.mncppcapps.org/planning/Person_of_Record/. Please call 301-952-3530 for additional information.

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THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

PRINCE GEORGE'S COUNTY PLANNING BOARD

STAFF REPORT

SUBJECT: Detailed Site Plan DSP-21014
4100 Laurel Road Property

The Urban Design staff has reviewed the detailed site plan for the subject property and presents the following evaluation and findings leading to a recommendation of APPROVAL with conditions, as described in the Recommendation section of this report.

EVALUATION CRITERIA

The property is within the Industrial, Employment Zone (IE). This application, however, is being reviewed and evaluated in accordance with the prior Prince George's County Zoning Ordinance, as permitted by Section 27-1704(b) of the Zoning Ordinance. The detailed site plan was reviewed and evaluated for conformance with the following criteria:

- a. The requirements of the Prince George's County Zoning Ordinance for the Light Industrial (I-1) Zone and the site design guidelines;
- b. The requirements of Preliminary Plan of Subdivision 4-87224;
- c. The requirements of the 2010 *Prince George's County Landscape Manual*;
- d. The requirements of the Prince George's County Woodland and Wildlife Habitat Conservation Ordinance;
- e. The requirements of the Prince George's County Tree Canopy Coverage Ordinance; and,
- f. Referral comments

FINDINGS

Based upon the analysis of the subject application, Urban Design staff recommends the following findings:

1. **Request:** This detailed site plan (DSP) requests the development of an industrial storage yard, with no buildings.

2. Development Data Summary:

	EXISTING	PROPOSED
Zone(s)	IE (Prior I-1)	IE (Prior I-1)
Use(s)	Vacant	Industrial Storage Yard
Total Gross Acreage	0.896	0.896
Gross Floor Area (GFA)	246 sq. ft.	0 sq. ft.

- 3. Location:** The subject site is located on the north end of Laurel Road, approximately 340 feet north of its intersection with Beech Road, in Planning Area 76A and Council District 07. The site is zoned Industrial, Employment (IE), previously zoned Light Industrial (I-1), and within the 2013 *Approved Central Branch Avenue Corridor Revitalization Sector Plan*.
- 4. Surrounding Uses:** The site is bounded to the north by Residential, Rural (RR)-zoned property, developed with single-family detached homes; to the south is IE-zoned property developed as a parking lot; to the east, by land in the IE Zone, being developed as a consolidated storage use; and to the west by additional RR-zoned property developed with one single-family detached home.
- 5. Previous Approvals:** The subject property is known as Lot 39, Block 2 of Hidden Village recorded in Plat Book NLP 139 page 65 in June 1988. The property is located at 4100 Laurel Road on Map 88 Grid C4. The property has a Preliminary Plan of Subdivision (PPS) 4-87224, which was approved by the Prince George’s County Planning Board in February 1988 (PGCPB Resolution No. 88-62). The PPS approved two lots including Lot 39 and one outlot for industrial development. This site was the subject of DSP-15043 for construction of a 246-square-foot office building and a 720-square-foot garage for maintenance, which was approved by the Planning Board on September 8, 2016, but never implemented. The development has an approved Stormwater Management (SWM) Concept Plan 40687-2021-00.
- 6. Design Features:** The proposed application is for construction of an industrial storage yard that will be accessed from Laurel Road via a 30-foot-wide entrance. The DSP proposes a 30- by 60-foot concrete pad in the southeast corner of the site to store gravel and sand, with a 15-foot-wide gravel access drive. There will be two 9-foot by 9-foot concrete pads to support two 8.5-foot diameter, 38-foot-high, portable silos, for the storage of cement, north of the larger concrete pad. The site will also contain a 10-foot by 10-foot clean out pit, a micro-bioretenion facility, will be enclosed by an existing 6-foot-high, chain-link fence, and will be unmanned. Therefore, no parking, signage, or lighting is required or being proposed as part of this DSP.

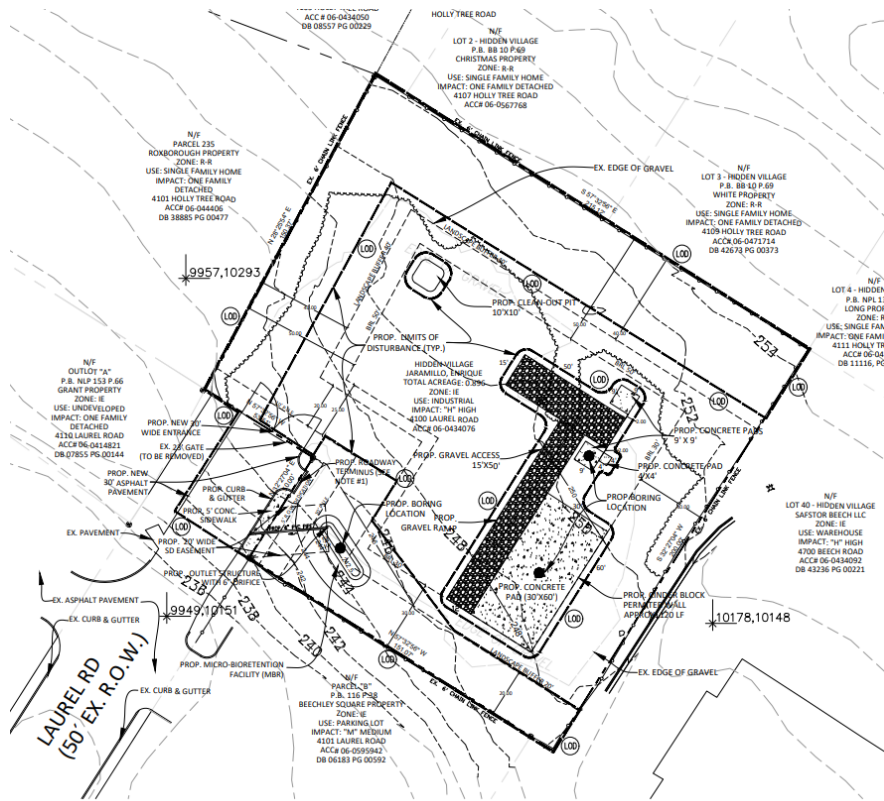


Figure 1: Site Plan

COMPLIANCE WITH EVALUATION CRITERIA

- 7. **Prior Prince George’s County Zoning Ordinance:** The DSP application has been reviewed for compliance with the requirements of the I-1 Zone and the site design guidelines of the prior Zoning Ordinance:
 - a. The subject application is in conformance with the requirements of Section 27-473 of the Zoning Ordinance, as an industrial storage yard is a permitted use in the I-1 Zone.
 - b. The DSP conforms with Section 27-469, Regulations for Industrial Use Zones, of the Zoning Ordinance, as it provides more than 10 percent green area, exclusive of the landscape strip along the right-of-way, and the outdoor storage will not be visible from the street through the provision of a fence and landscaping. Conditions have been included herein relative to technical revisions needed for these issues.
 - c. The DSP is in conformance with the applicable site design guidelines contained in Section 27-274 of the Zoning Ordinance. The site has adequate truck circulation and complies with the green area requirement.

- 8. **Preliminary Plan of Subdivision 4-87224:** On February 25, 1988, the Planning Board approved PPS 4-87224, with four conditions (PGCPB Resolution No. 88-62). The relevant conditions and findings are discussed, as follows:

Condition 4. A limited site plan shall be approved by the Planning Board prior to the building permit. The site plan shall ensure that there is adequate buffering between the development and the adjacent residential uses.

Staff reviewed the proposed landscape plan and determined that this condition has been satisfied. The site proposes a 40-foot-wide landscaped buffer along the adjacent residential uses. The site is providing a total of 354 planting units along the northern property line and 242 planting units along the western property line, which will consist of a combination of shrubs, shade, evergreen, and ornamental trees, providing an adequate buffer from the existing residential uses.

Finding 6. The development of this site should not significantly impact existing transportation facilities serving the development.

Staff finds the applicant's proposal to be suitable for the purposes of a storage yard, which will not have employees or customers on-site. It is staff's assessment that the site will generate a nominal number of trips, most of which will be by heavy vehicles. The site is governed by the approved PPS 4-87224, which does not contain any findings related to trip cap information. Staff analyzed trips using rates closely related to an industrial site using both the Transportation Review Guidelines Rates and Institute of Transportation Engineers, Trip Generation Manual, 11th Edition. The trip generation information does not contain a land-use group for an unmanned contractor's storage yard. Staff concludes that the trips associated with the site are de minimus development, per the Transportation Review Guidelines, because the use generates fewer than five peak-hour trips. Staff finds the proposed use and nominal number of trips to the site will not adversely impact circulation, either on-site or within the immediate vicinity of the subject site.

9. **2010 Prince George's County Landscape Manual:** The application is subject to the requirements of Section 4.2, Landscape Strips Along Streets; Section 4.7, Buffering Incompatible Uses; and Section 4.9, Sustainable Landscaping Requirements, of the 2010 *Prince George's County Landscape Manual*. The landscape plan provided with the subject DSP contains the required schedules demonstrating conformance to these requirements.
10. **Prince George's County Woodland and Wildlife Habitat Conservation Ordinance:** This site has been issued a standard exemption from the Woodland and Wildlife Habitat Conservation Ordinance (S-210-2021), because the site is less than 40,000 square feet in size and has no previous tree conservation plan approval. A Natural Resources Inventory Equivalency Letter, NRI-251-2015-01, has been issued for the site. The NRI was issued based on the standard woodland conservation exemption and that no regulated environmental features will be impacted. The Prince George's County Department of Permitting, Inspections and Enforcement has approved SWM Concept Plan 40687-2021-00.

11. **Prince George's County Tree Canopy Coverage Ordinance:** Section 25-128 of the Prince George's County Code requires a minimum percentage of tree canopy coverage on projects that propose more than 5,000 square feet of disturbance, such as this DSP. The landscape plan provides the required schedule demonstrating conformance to these requirements through new plantings on the subject property.
12. **Referral Comments:** The subject application was referred to the concerned agencies and divisions. The referral comments are summarized, as follows, and are incorporated herein by reference:
- a. **Subdivision**—In a memorandum dated May 9, 2022 (Diaz-Campbell to Butler), the Subdivision Section noted that the DSP has been found to be in substantial conformance with the approved PPS and recorded plat. A new final plat will not be required following approval of this DSP. However, the applicant should consider filing one in order to dedicate the additional five-foot-wide right-of-way proposed along the frontage with Laurel Road, as well as the relocated 10-foot-wide public utility easement along this public road frontage.
 - b. **Transportation**—In a memorandum dated May 18, 2022 (Ryan to Butler), the Transportation Planning Section determined that this plan is acceptable. Given the nature and use of the site as an unmanned facility, staff determined that the proposed development does not generate the need for the 2009 *Approved Countywide Master Plan of Transportation* bicycle facilities. No additional right-of-way is being sought with this application. The applicant has provided a truck turning plan for the site, which shows that the site will sufficiently allow safe truck turning maneuvers and access to the site.
 - c. **Environmental Planning**—In an email dated April 25, 2022 (Schneider to Butler), the Environmental Planning Section stated that there are no other environmental requirements for this DSP.
 - d. **Historic**—In a memorandum dated April 20, 2022 (Stabler/Smith to Butler), it was noted that the subject property will not impact any historic sites, historic resources, or known archeological sites.
 - e. **Permits**—In a memorandum dated May 20, 2022 (Shaffer to Butler), it was noted that the plan was acceptable with conditions for technical revisions that have been included herein.
 - f. **Community Planning**—In a memorandum dated April 26, 2022 (Luckin to Butler), it was noted that pursuant to Part 3, Division 9, Subdivision 3, of the prior Zoning Ordinance, master plan conformance is not required for this application.
 - g. **Prince George's County Fire/EMS Department**—At the time of the writing of this technical staff report, the Fire Department has not offered comments on the subject application.
 - h. **Prince George's County Department of Permitting, Inspections and Enforcement (DPIE)**—At the time of the writing of this technical staff report, DPIE has not offered comments on the subject application.

- i. **Prince George’s County Police Department**—At the time of the writing of this technical staff report, the Police Department has not offered comments on the subject application.
 - j. **Prince George’s County Health Department**—At the time of the writing of this technical staff report, the Health Department has not offered comments on the subject application.
- 13.** As required by Section 27-285(b)(1) of the prior Zoning Ordinance, the DSP, if revised as conditioned, represents a reasonable alternative for satisfying the site design guidelines of Subtitle 27, Part 3, Division 9, without requiring unreasonable cost and without detracting substantially from the utility of the proposed development for its intended use.
- 14.** Per Section 27-285(b)(4), which became effective on September 1, 2010, a required finding for approval of a DSP is as follows:
- (4) The Planning Board may approve a Detailed Site Plan if it finds that the regulated environmental features have been preserved and/or restored in a natural state to the fullest extent possible.**

Based on the level of design information submitted with this application, the regulated environmental features on the subject property have been preserved and/or restored to the fullest extent possible as no impacts are proposed with this DSP.

RECOMMENDATION

Based upon the foregoing evaluation and analysis, the Urban Design staff recommends that the Planning Board adopt the findings of this report and APPROVE Detailed Site Plan DSP-21014 for 4100 Laurel Road Property, subject to the following conditions:

- 1. Prior to certification, the detailed site plan shall be revised, or additional information shall be provided, as follows:
 - a. Provide a note to reflect the prior zone, in addition to the current zoning, and note the site is being reviewed under the prior Prince George’s County Zoning Ordinance.
 - b. Provide a note demonstrating conformance with the 10 percent green area requirement.
 - c. Provide the height of the proposed cinderblock perimeter wall shall be demonstrated on the site plan.
 - d. Provide details for all existing and proposed fencing on the property, which should be a minimum of six-foot-high and sight-tight.

STAFF RECOMMENDS:

- Approval of Detailed Site Plan DSP-21014

4100 LAUREL ROAD PROPERTY

Detailed Site Plan

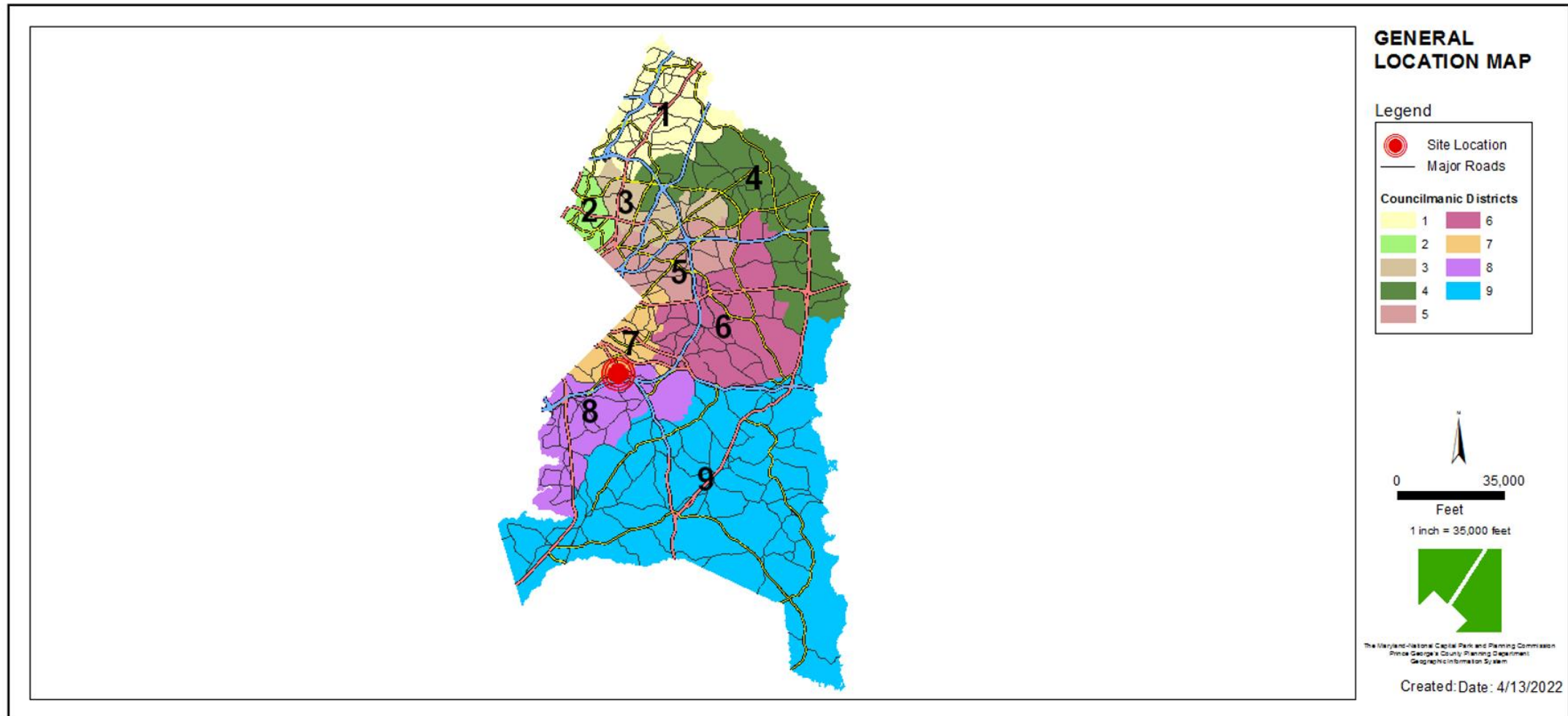
Staff Recommendation: APPROVAL with conditions



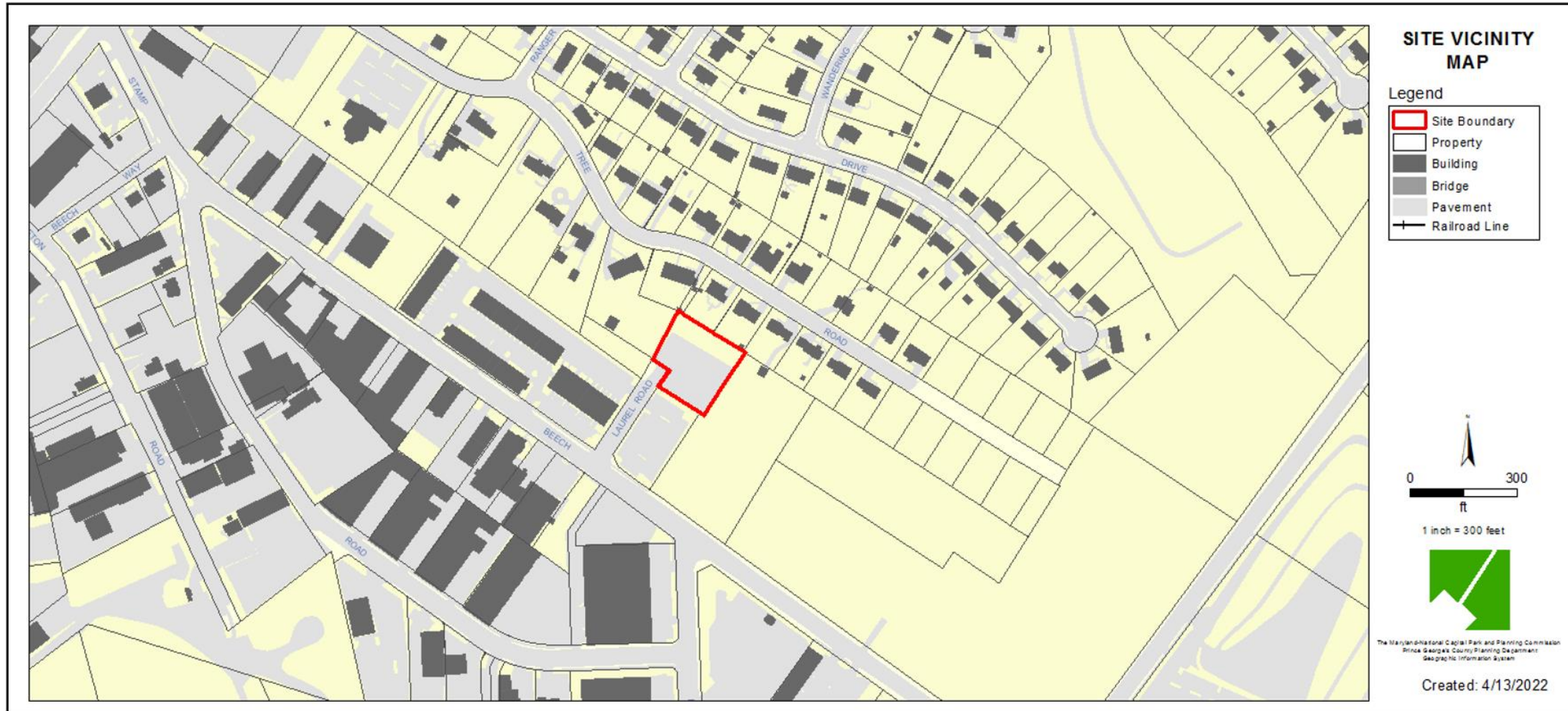
GENERAL LOCATION MAP

Council District: 07

Planning Area: 76A



SITE VICINITY MAP



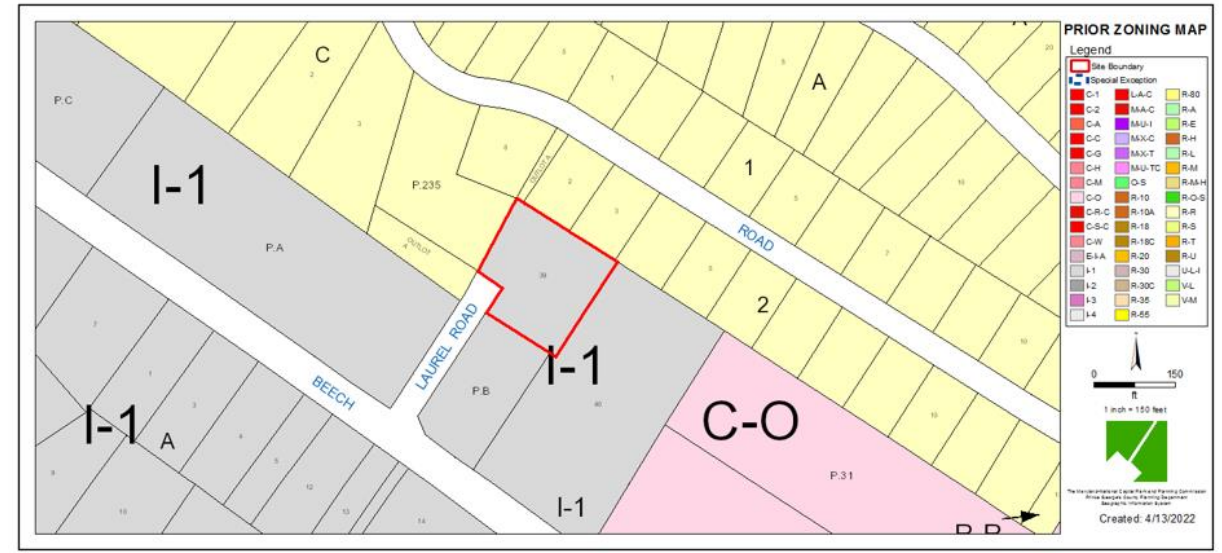
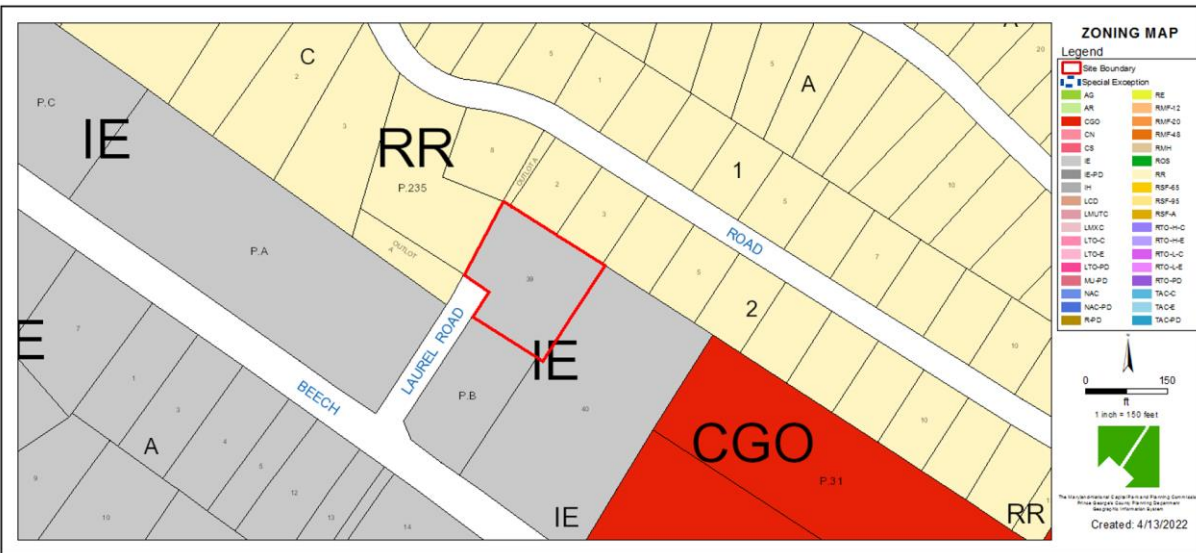
NEW & PRIOR ZONING MAP

Property Zone: IE

Prior Zone: I-1

NEW

PRIOR



NEW & PRIOR OVERLAY MAP

NEW



PRIOR



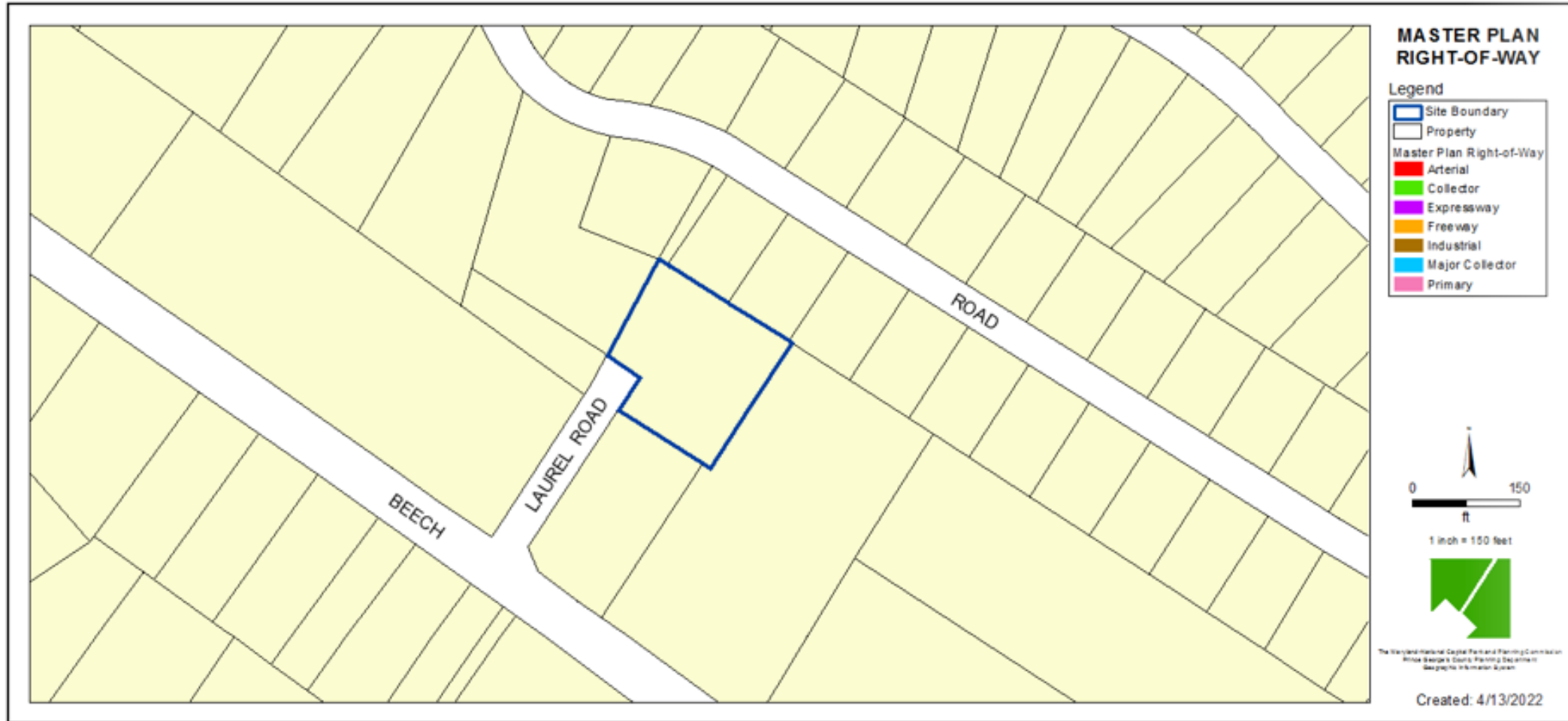
AERIAL MAP



SITE MAP



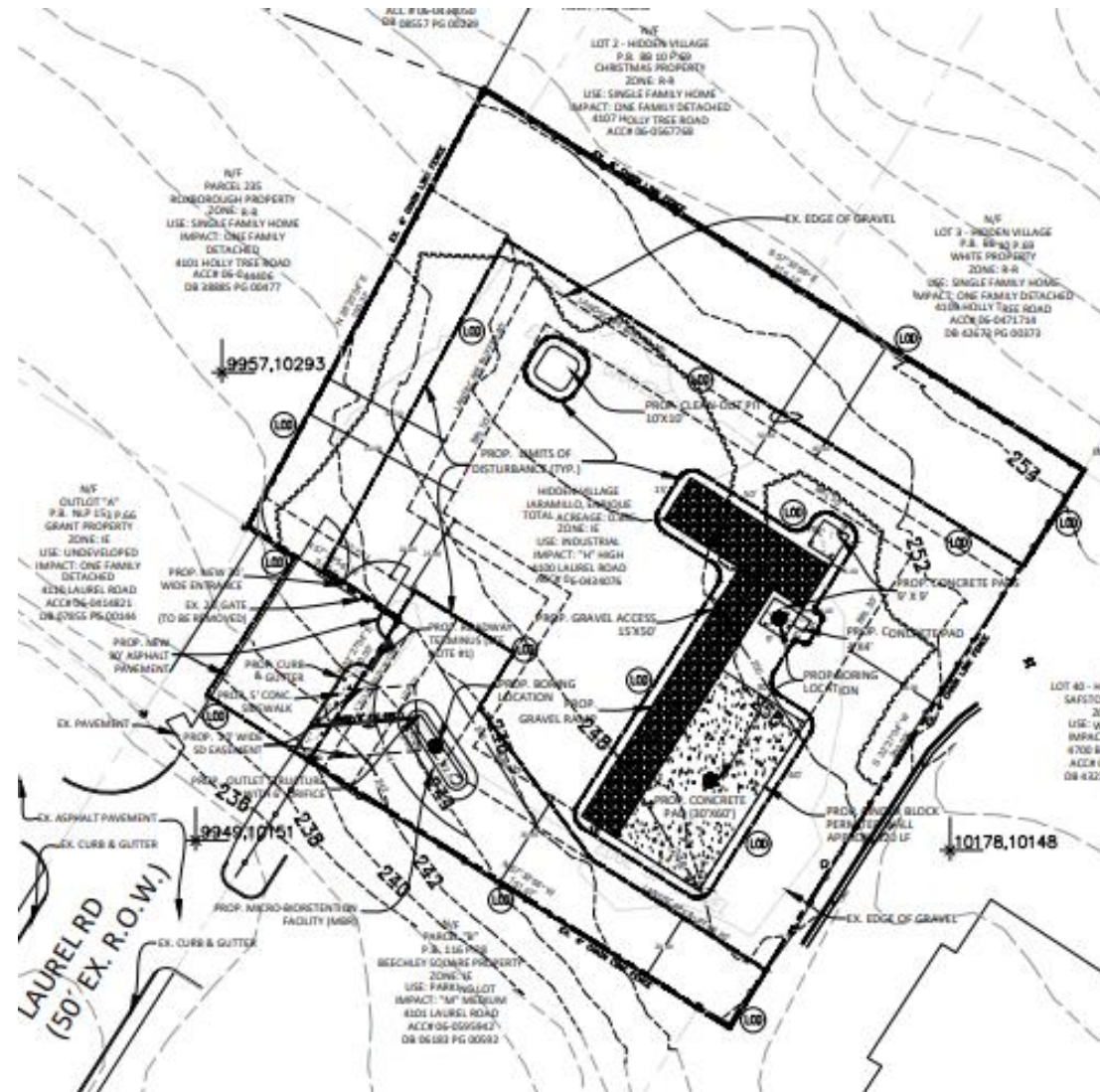
MASTER PLAN RIGHT-OF-WAY MAP



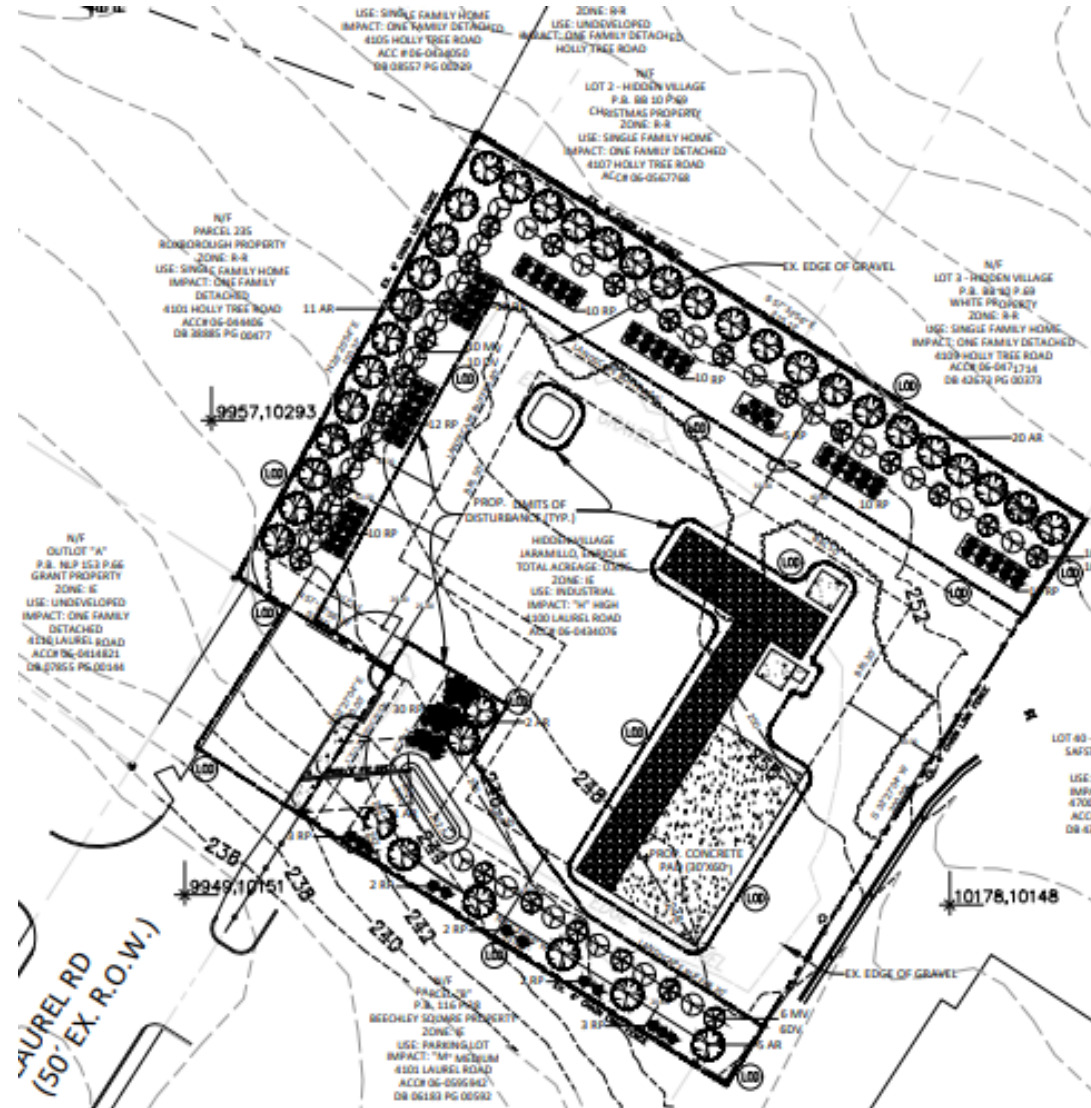
BIRD'S-EYE VIEW WITH APPROXIMATE SITE BOUNDARY OUTLINED



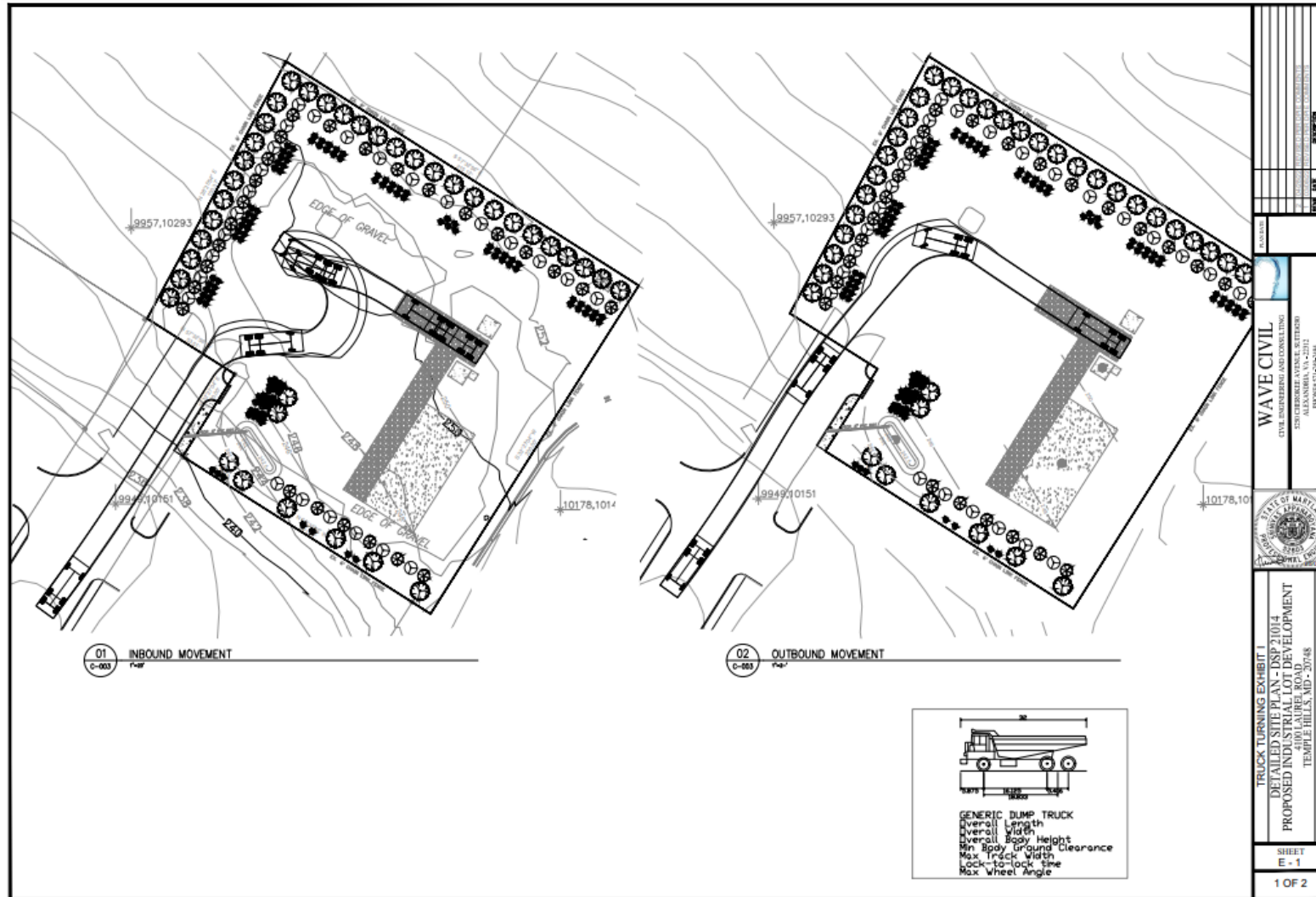
DETAILED SITE PLAN




LANDSCAPE PLAN



TRUCK TURNING EXHIBIT



350 BARREL ROUND PORTABLE SILO



350 Barrel Round Portable Silo

350 Barrel Round Portable Silo

- 8'-6" Diameter x 38'-0" Overall Height
- Positive Feed Drive Auger System
- 9" Diameter Screw x 17'-0"
- 10 HP Motor and Gear Box Drive
- Heavy Duty Dual Axle Trailer and Tires
- Electric Brakes and Lights Package
- 150 Sq. Ft. Bag Area Dust Collector with Air Vibrator
- Pressure Relief Valve
- Single Speed Trailer Jack
- 13'-6" Auger Discharge Height
- Outside Ladder with OSHA Compliant Fall Arrest Cable System
- 4" Fill Pipe with Aluminum Adapter
- 18" Non-Pressurized Inspection Manhole
- (8) Externally Mounted Air Pads with Manifold, Regulator, and Check Valve
- Sandblast, Prime, and Paint
- Standard Colors:
RAL 7038 Gray, RAL 9010 White,
RAL 1001 Tan, RAL 1032 Yellow

Options

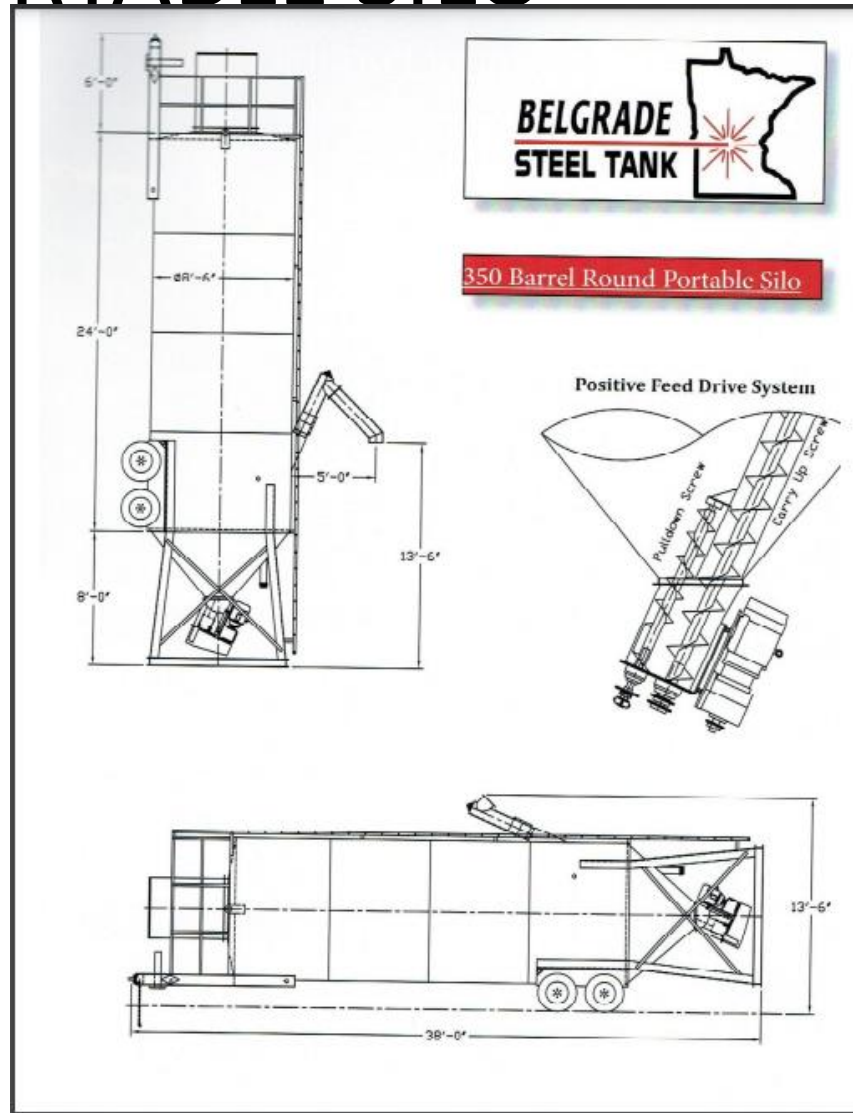
- 225 Sq. Ft. Dust Collector
- 330 Sq. Ft. Pulse Jet Dust Collector
- Bin Level Indicators
- Single Phase Motor
- Hydraulic Drive Motor
- Motor Starter Controls
- Manual Air Valve Controls
- Upgrade to 12" Screw Conveyor
- 5" Fill Pipe

Specifications

- Empty Weight 10,000#
- Hitch Weight 2,100#
- 1,400 Cu. Ft. Capacity
- 65 Ton Capacity (Cement)
- Output Capacity Approximately 15 Cu. Ft. Per Minute (9" Screw Conveyor)
- Part Number: BST350P-RD-EB

28 BELGRADESTEELTANK.COM

DIAGRAM OF PORTABLE SILO



STAFF RECOMMENDATION

APPROVAL with conditions

Minor Issues:

- Technical corrections

Applicant Community Engagement:

- N/A



WAVE CIVIL

CLIENT CENTRIC

Statement of Justification

Case Name, Application (Case) Number:

Proposed Industrial Lot Development, Case# DSP-21014

Description of proposed use/request and Scope of Work:

The proposed use of the property is a new storage yard for construction materials (sand, gravel, and cement). The scope of work includes the construction of a single pour concrete pad (30'x60') to store gravel and sand and two other concrete pads (9'x9') to support two portable silos for the storage of cement. The portable silos are metal barrel round shaped structures that are 8.5' wide in diameter and 38' high. They both have a capacity of 65 tons each. Minor grading is anticipated on-site due to the construction of concrete pads and the SWM facility. However, no major earthwork activities are anticipated on-site.

The Landscaping along the perimeter of the project site is also proposed to meet County requirements. Combination of trees and plantings are provided along the property lines on all sides of the property except for the east side of the property where the adjacent zone is also industrial (I-1). Please refer to the detailed site plan set for plan details.

Stormwater management (SWM) is provided on-site to meet the environmental site design criteria on-site. A micro-bio retention facility is provided along the southwest corner of the site. A stormwater management concept plan (DPIE Plan#40687-2021-0) has been submitted to PG County DPIE and is currently in the review process. We anticipate a formal approval in a timely manner prior to the approval of the detailed site plan from MNCPPC. A SWM approval letter from DPIE will be submitted as soon as it is available.

No water or sewer extensions or new connections are required for this development. This project site is an unmanned facility and will not have any employees or customers on-site. This site is strictly intended for truck/construction vehicle access for loading and unloading of the storage material identified earlier in this letter.

Description and location of the subject property:

The subject property is located at 4100 Laurel Rd, Temple Hills, MD 20748, on Map 88, Grid C4. The existing zoning is I-1 (Industrial). The adjoining property uses are single-family homes, warehouse, and a commercial parking lot. The proposed use is permitted by right as a "storage yard."

Description of each required finding:

- 1) Zoning Ordinance- Subtitle 27, Part 7, Division 2, Sec. 27-469 (b) (1) At least ten percent (10%) of the net lot area shall be maintained as green area.
 - Only 11% of the lot area is being constructed. As such



WAVE CIVIL

CLIENT CENTRIC

- 2) Zoning Ordinance- Subtitle 27, Part 7, Division 3, Sec. 27-473 (b) (F)
 - Storage yard is a permitted use for zone I-1.
- 3) Zoning Ordinance- Subtitle 27, Part 7, Division 4, Sec. 27-474 (b)
 - Minimum 25' building setback from street is provided.
- 4) Landscape Manual- Section 4.2 (C) (3) (a) (i)
 - A 10' wide landscape strip is proposed with a minimum of 1 shade tree and 10 shrubs per 35 linear feet of frontage. Specifically, three (3) shade trees and 30 shrubs are proposed.
- 5) Landscape Manual- Section 4.7 (C) (1-4)
 - Per table 4.7-1, the impact category for storage yards is H (high).
 - Per table 4.7-2, the buffer yard requirements per adjoining use are D (one-family detached), M (commercial parking lot), H (warehouse).
 - Per table 4.7-3, the minimum building setbacks and landscape yards and minimum number of plants are provided. Please refer to sheet C-2.


Variance Request/s and required findings for each request:

No variance from the Prince George's County Code is being sought.

Summary/conclusion of request:

An industrial storage yard is proposed in compliance with Prince George's County Zoning Ordinance and Landscape Manual. The scope of work includes the construction of concrete pads, gravel ramps and landscaping to meet County's requirements. On behalf of our client, we request a review of the submitted plans and documents and a final approval in a timely manner.

Mr. Sri Appana, PE, PMP; Wave Civil LLC



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

14741 Governor Oden Bowie Drive
Upper Marlboro, Maryland 20772

PGCPB No. 88-62

File No. 4-87224

RESOLUTION

WHEREAS, Samuel S. Bevard, et al., are the owners of a 3.7-acre parcel of land known as Hidden Village (Lots 39 & 40 & Outlot A, Block 2), said property being in the 6th Election District of Prince George's County, Maryland, and being zoned R-1 and R-R; and

WHEREAS, on October 1, 1987, Samuel S. Bevard filed an application for approval of a Preliminary Subdivision Plat (Staff Exhibit #1) for 2 lots and 1 outlot; and

WHEREAS, the application for approval of the aforesaid Preliminary Subdivision Plat, also known as Preliminary Plat 4-87224 was presented to the Prince George's County Planning Board of The Maryland-National Capital Park and Planning Commission by the staff of the Commission on February 18, 1988, for its review and action in accordance with Article 28, Section 7-116, Annotated Code of Maryland and the Regulations for the Subdivision of Land, Subtitle 2B, Prince George's County Code; and

WHEREAS, the staff of The Maryland-National Capital Park and Planning Commission recommended **DISAPPROVAL** of the application; and

WHEREAS, on February 18, 1988, the Prince George's County Planning Board heard testimony and received evidence submitted for the record on the aforesaid application.

NOW, THEREFORE, BE IT RESOLVED, that pursuant to the provisions of Subtitle 2B, Prince George's County Code, the Prince George's County Planning Board approved Preliminary Plat of Subdivision 4-87224 with the following modifications:

1. Approval of an on-site conceptual stormwater management plan by the Department of Environmental Resources prior to final plat unless the Department of Environmental Resources allows the delay of this plan until building permit.
2. Payment of a fee-in-lieu of park dedication for the R-R portion of the site prior to final plat.
3. Outlot A shall be conveyed to an adjacent residential lot property owner prior to final plat.
4. A limited site plan shall be approved by the Planning Board prior to building permit. The site plan shall ensure that there is

adequate buffering between the development and the adjacent residential uses.

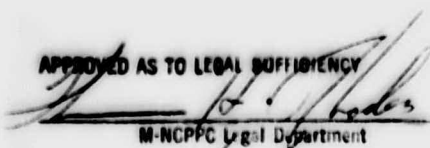
BE IT FURTHER RESOLVED, that the findings and reasons for the decision of the Prince George's County Planning Board are as follows:

1. The subdivision, as modified, meets the legal requirements of Subtitle 24 of the Prince George's County Code and of Article 28, Annotated Code of Maryland.
2. Stormwater management may be required to protect downstream areas from flooding.
3. The Department of Parks and Recreation recommended the collection of a fee-in-lieu of park dedication due to the unsuitability of available land.
4. A residentially-zoned outlot is being created which should be added to existing residential lots.
5. Special consideration should be given to ensuring that there is adequate buffering between the future industrial development of the site and adjacent residential uses.
6. The development of this site should not significantly impact existing transportation facilities serving the development.

* * * * *

This is to certify that the foregoing is a true and correct copy of a resolution adopted by the Prince George's County Planning Board of The Maryland-National Capital Park and Planning Commission on the motion of Commissioner Yewell, seconded by Commissioner Keller, with Commissioners Yewell, Keller, Dabney and Rhoads voting in favor of the motion, and with Commissioner Botts absent, at its regular meeting held on Thursday, February 18, 1988, in Upper Marlboro, Maryland.

APPROVED AS TO LEGAL SUFFICIENCY

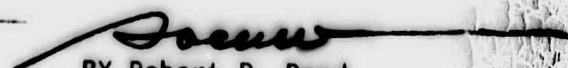


M-NCPPC Legal Department

Date

2/25/88

Thomas H. Countee, Jr.
Executive Director



BY Robert D. Reed
Public Affairs Office

THC/RUR/TVAB:lg

May 9, 2022

MEMORANDUM

TO: Tierre Butler, Planner II, Urban Design Section
VIA: Mridula Gupta, Planner III, Subdivision Section *MG*
FROM: Eddie Diaz-Campbell, Planner II, Subdivision Section *EDC*
SUBJECT: DSP-21014; 4100 Laurel Road Property

The subject property is known as Lot 39, Block 2 of Hidden Village, recorded in Plat Book NLP 139 page 65 in June 1988. The property is in the IE (Industrial, Employment) Zone, however, this detailed site plan (DSP) was submitted for review under the prior Zoning Ordinance and Subdivision Regulations, and under the prior zoning the property was in the I-1 (Light Industrial) Zone. The subject DSP proposes a new storage yard for construction materials. There is no gross floor area (GFA) currently existing on the site and the proposed storage yard will not add any GFA.

The project is exempt from the requirement of a new preliminary plan of subdivision (PPS) and a new final plat for the proposed improvements under Section 24-111(a) of the prior Subdivision Regulations, as no gross floor area is proposed and the plan does not propose to change the relationship between the lot and the street shown on the record plat, or between the lot and other lots.

The site is subject to a prior PPS, 4-87224, approved by the Prince George's County Planning Board in February 1988 (PGCPB No. 88-62). This PPS approved two lots (including Lot 39) and one outlot, with the lots approved for industrial development and the outlot to be conveyed to an adjacent residential lot. Lot 39 was platted in accordance with PPS 4-87224. The proposed development is within the entitlement of the PPS, as no new GFA is proposed. The proposed use will not generate traffic that significantly impacts existing transportation facilities, as required by Finding 6 of the PPS resolution and as determined by the Transportation Planning Section.

PPS 4-87224 was approved subject to four conditions, and the following condition from the PPS is relevant to the subject DSP review:

- 1. A limited site plan shall be approved by the Planning Board prior to building permit. The site plan shall ensure that there is adequate buffering between the development and the adjacent residential uses.**

The subject DSP was submitted in order to fulfil this condition. The Urban Design Section should determine whether there is adequate buffering between the development and the adjacent residential uses. A note on the plat recorded in Plat Book NLP 139 page 65 reiterates the requirement of this condition.

Additional Comments:

1. Pursuant to Section 24-4503(a)(1) of the Subdivision Regulations, the prior approved PPS 4-87224 and final plat have an automatic certificate of adequacy effective April 1, 2022 for a period of 12 years.
2. A new final plat will not be required following approval of this DSP. However, the applicant should consider filing one in order to dedicate the additional five-foot-wide right-of-way proposed along the frontage with Laurel Road, as well as the relocated 10-foot-wide public utility easement (PUE) along this public road frontage.

Recommended Conditions:


None.


This referral is provided for the purposes of determining conformance with any underlying subdivision approvals for the subject property and Subtitle 24. The DSP has been found to be in substantial conformance with the approved preliminary plan of subdivision and record plat. All bearings and distances must be clearly shown on the DSP and must be consistent with the record plat, or permits will be placed on hold until the plans are corrected. There are no other subdivision issues at this time.

May 18, 2022

MEMORANDUM

TO: Tierre Butler, Urban Design Review Section, Development Review Division

FROM: Benjamin Ryan, Transportation Planning Section, Countywide Planning Division


VIA:  William Capers III, PTP, Transportation Planning Section, Countywide Planning Division

SUBJECT: DSP-21014: 4100 Laurel Road Property

Proposal:

The subject application proposes to develop the property as an unmanned storage yard for construction materials. The submitted plans indicates that the only construction proposed on site is a 30' x 60' concrete pad and two 9' x 9' concrete pads to be used to store construction materials. Portable silos will be kept on site to cover concrete materials. No major construction is proposed.

Prior Conditions of Approval

The subject property falls under the purview of preliminary plan of subdivision 4-87224. There are no established trip caps or recommended conditions of approval found within this plan. However, finding #6 in the resolution for 4-87224 is related to transportation and is copied below:

6. The development of this site should not significantly impact existing transportation facilities serving the development.

Comment

Staff finds the applicant's proposal to be suitable for the purposes of a storage yard which will not have employees or customers on-site. It is staff assessment that the site will generate a nominal number of trips, most of which will be by heavy vehicles. The site is governed by an approved PPS application, 4-87224 which does not contain any findings related to trip cap information. Staff analyzed trips using rates closely related to an industrial site using both the Transportation Review Guidelines Rates and Institute of Transportation Engineers (ITE) Trip Generation Manual 11th Edition. The Trip Generation information does not contain a land-use group for an unmanned contractor's storage yard. Staff concludes that the trips associated with the site are de minimus development, per the Transportation Review Guidelines, because the use generates fewer than five peak-hour trips. Staff finds the proposed use and nominal number of trips to the site will not adversely impact circulation, either on-site or within the immediate vicinity of the subject site.

Master Plan Compliance

This application is subject to 2009 *Approved Countywide Master Plan of Transportation* (MPOT).

Master Plan Roads

The subject property is accessed by Laurel Road and Beech Road, neither of which carries any master plan designation. The applicant's submission does not display any impact to master planned roads.

Master Plan Pedestrian and Bike Facilities

The 2009 Approved Countywide Master Plan of Transportation (MPOT) recommends the following facilities:

Planned Bicycle Lane: Beech Road

Comment

As a detailed site plan, improvements within the right-of-way are beyond the scope of this application. Also, given the nature and use of the site as an unmanned facility, staff believes that the proposed development does not generate the need for the MPOT bicycle facilities. No additional right-of-way is being sought with this application.

Transportation Planning Review

Zoning Ordinance Compliance

Section 27-283 of the Prince George's County Zoning Ordinance (Ordinance) provides guidance for detailed site plans. The section references the following design guidelines described in Section 27-274(a):

(2) Parking, loading, and circulation

I Vehicular and pedestrian circulation on a site should be safe, efficient, and convenient for both pedestrians and drivers. To fulfill this goal, the following guidelines should be observed:

(ix) Pedestrian and vehicular routes should generally be separate and clearly marked.

(x) Crosswalks for pedestrians that span vehicular lanes should be identified by the use of signs, stripes on the pavement, change of paving material, or similar techniques

(xi) Barrier-free pathways to accommodate the handicapped should be provided

(6) Site and streetscape amenities

(A) Site and streetscape amenities should contribute to an attractive, coordinated development and should enhance the use and enjoyment of the site. To fulfill this goal, the following guidelines should be observed:

(i) The design of light fixtures, benches, trash receptacles, bicycle racks, and other street furniture should be coordinated in order to enhance the visual unity of site.

Comment

The site is served by Laurel Road, which culminates at the location where it meets the subject site. The applicant has supplied a site plan and a truck turning plans to illustrate truck turning movements on site. The truck turning plans show that the site will be designed to sufficiently allow safe truck turning maneuvers and access to the site. As discussed above, this site will be unmanned and will not have employees or customers on-site. There is no proposed parking and therefore no regulated number of spaces that are required. Staff finds the circulation, parking, and loading for the DSP acceptable and in conformance with the zoning ordinance.

Conclusion

Overall, from the standpoint of The Transportation Planning Section it is determined that this plan is acceptable.

From: [Schneider, Alwin \(Chuck\)](#)
To: [Butler, Tierre](#)
Cc: [Nickle, Suzanne](#)
Subject: DSP-21014 / 4100 Laurel Road
Date: Monday, April 25, 2022 4:31:31 PM
Attachments: [image002.png](#)
[image003.png](#)
[image004.png](#)
[image005.png](#)
[image006.png](#)
[image007.png](#)
[image008.png](#)

Hi Tierre,

The Environmental Planning Section (EPS) has reviewed the referral information received by EPS on April 14, 2022. The proposal is for the construction of an industrial storage yard.

The site has been issued a standard exemption from the Woodland and Wildlife Habitat Conservation Ordinance (S-210-2021) because the site is less than 40,000 square feet in size and has no previous TCP approval. An NRI equivalency letter has been issued for the site (NRI-251-2015-01). The NRI was issued based on the standard woodland conservation exemption and that no regulated environmental features will be impacted. A stormwater management concept plan (40687-2021) is currently being reviewed by the Prince George's County Department of Permitting, Inspections, and Permitting.

No other environmental requirements have been identified for this application. This email serves in lieu of a memo.

Chuck Schneider

Planner III | *County Wide Planning – Environmental Planning Section*



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301-952-3680

April 20, 2022

MEMORANDUM

TO: Tierre Butler, Urban Design Section, Countywide Planning Division

VIA: Howard Berger, Historic Preservation Section, Countywide Planning Division **HSB**

FROM: Jennifer Stabler, Historic Preservation Section, Countywide Planning Division **JAS**
Tyler Smith, Historic Preservation Section, Countywide Planning Division **TAS**

SUBJECT: DSP-21014 4100 Laurel Road Property

The subject property comprises 0.80-acres and is located on the south side of Laurel Road, approximately 295-feet east of its intersection with Beech Road. The subject application proposes an industrial storage yard. The subject property is Zoned I-1 and is located within the *2013 Approved Central Branch Avenue Corridor Revitalization Sector Plan*.

A search of current and historic photographs, topographic and historic maps, and locations of currently known archeological sites indicates the probability of archeological sites within the subject property is low. The subject property does not contain and is not adjacent to any Prince George's County Historic Sites or Resources. The *2013 Approved Central Branch Avenue Corridor Revitalization Sector Plan* includes goals and policies related to historic preservation (pages 10-20). However, these are not specific to the subject site or applicable to the proposed development. This proposal will not impact any historic sites, historic resources or known archeological sites. Historic Preservation staff recommend approval of 4-21014 4100 Laurel Road Property with no conditions.

May 20, 2022

MEMORANDUM


TO: Tierre Butler, Urban Design
FROM: Kelsey Shaffer, Permit Review Section, Development Review Division
SUBJECT: Referral Comments for DSP-21014 – 4100 Laurel Road Property

1. This site is being reviewed under the prior Zoning Ordinance; however, the site plan only reflects the zone it is located within in the current Zoning Ordinance. The site plan shall demonstrate the zoning of the site under the prior Ordinance as well.
2. The height of the proposed cinderblock perimeter wall shall be demonstrated on the site plan.
3. A portion of the proposed 30' asphalt pavement at the entrance to the property appears to be within the required landscape buffer.
4. Details shall be provided for all existing and proposed fencing on the property.
5. At least 10% of the net lot area shall be maintained as green area per Section 27-469(b)(1). This shall be demonstrated on the site plan and a note added to the general notes on the cover sheet.
6. Outdoor storage shall not be visible from the street per Section 27-469(c)(1).
7. This review does not include the review of any signage.

301-952-3972

April 26, 2022

TO: Tierre Butler, Planner II, Urban Design Review Section, Development Review Division

VIA: David A. Green, MBA, Master Planner, Community Planning Division 

FROM: Zachary Luckin, Planner II, Neighborhood Revitalization Section, Community Planning Division

SUBJECT: DSP-21014 4100 LAUREL ROAD PROPERTY

FINDINGS

Pursuant to Part 3, Division 9, Subdivision 3 of the Zoning Ordinance, Master Plan conformance is not required for this application.

BACKGROUND

Application Type: Detailed Site Plan for property located outside of an overlay zone.

Location: 4100 Laurel Rd, Temple Hills, Md 20748

Size: 0.896 acres

Existing Use: Industrial/Truck Parking

Proposal: Storage yard for construction materials

GENERAL PLAN, MASTER PLAN, AND SMA

General Plan: This application is in the Established Communities. The vision for the Established Communities is context-sensitive infill and low- to medium-density development.

DSP-21014 4100 LAUREL ROAD PROPERTY

Master Plan: The 2013 Approved Central Branch Avenue Corridor Revitalization Sector Plan recommends Industrial land uses on the subject property.

Planning Area: 76A

Community: The Heights

Aviation/MIOZ: This application is not located within the Aviation Policy Area or the Military Installation Overlay Zone.

SMA/Zoning: On November 29, 2021, the District Council approved CR-136-2021, the Countywide Sectional Map Amendment (“CMA”) which reclassified the subject property from I-1 (Light Industrial) to IE (Industrial, Employment) effective April 1, 2022

ADDITIONAL INFORMATION

None.

cc: Long-range Agenda Notebook
Frederick Stachura, J.D., Planning Supervisor, Neighborhood Revitalization Section
Community Planning Division

From: [Kwesi Woodroffe](#)
To: [Butler, Tierre](#)
Cc: [PPD-PGCrefferrals](#)
Subject: RE: ACCEPTANCE REFERRAL: DSP-21014 4100 LAUREL ROAD PROPERTY; SHA; KW
Date: Friday, April 15, 2022 8:27:41 AM
Attachments: [image010.png](#)
[image011.png](#)
[image012.png](#)
[image013.png](#)
[image014.png](#)
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[image023.png](#)

[EXTERNAL EMAIL] Exercise caution when opening attachments, clicking links, or responding.

Good morning Tierre.

Reviewed the subject referral and have no comments.

Thanks, Kwesi

Kwesi Woodroffe
Regional Engineer
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MDOT State Highway Administration
KWoodroffe@mdot.maryland.gov
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