The Maryland-National Capital Park and Planning Commission
PRINCE GEORGE'S COUNTY
Planning Department
1616 McCormick Drive, Largo, MD 20774 • pgplanning.org • Maryland Relay 7-1-1

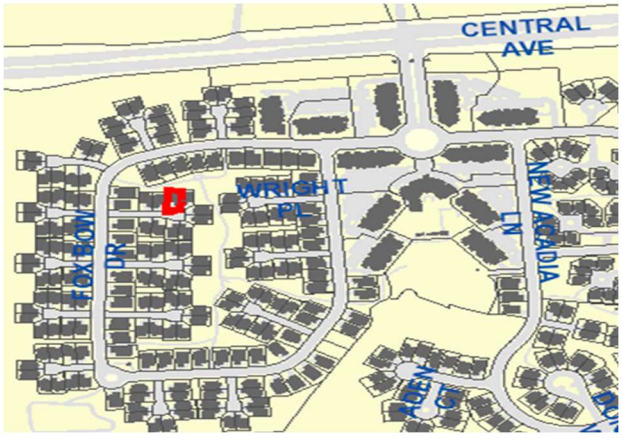
AGENDA ITEM: 5
AGENDA DATE: 6/27/2024

Note: Staff reports can be accessed at https://www.mncppc.org/883/Watch-Meetings

Specific Design Plan SDP-0307-H21
Cameron Grove, Lot 15, Block D - Rodgers Screen Room

REQUEST	STAFF RECOMMENDATION
Construction of an 8-foot by 24-foot screened room addition at the rear of the existing dwelling.	With the conditions recommended herein: • APPROVAL of Specific Design Plan SDP-0307-H21

Location: On the north side of Christie Place, approximately 500 feet west of Fox Bow Drive.	
Gross Acreage:	0.12
Zone:	LCD
Prior Zone:	R-L
Reviewed per prior Zoning Ordinance:	Section 27-1704(h)
Dwelling Units:	1
Gross Floor Area:	1,744 sq. ft.
Planning Area:	74A
Council District:	06
Municipality:	N/A
Applicant/Address: Loretta Rodgers 13106 Christie Place Upper Marlboro, MD 20774	
Staff Reviewer: Todd Price **Phone Number**: 301-952-3994 **Email**: Todd.Price@ppd.mncppc.org	



Planning Board Date:	06/27/2024
Planning Board Action Limit:	70 DAYS: 07/02/2024
Staff Report Date:	06/13/2024
Date Accepted:	04/23/2024
Informational Mailing:	09/26/2023
Acceptance Mailing:	04/23/2024
Sign Posting Deadline:	05/28/2024

The Planning Board encourages all interested persons to request to become a person of record for this application. Requests to become a person of record may be made online at http://www.mncppcapps.org/planning/Person_of_Record/.
Please call 301-952-3530 for additional information.

Table of Contents

THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

PRINCE GEORGE'S COUNTY PLANNING BOARD

STAFF REPORT

SUBJECT: Homeowner's Minor Amendment to a Specific Design Plan SDP-0307-H21
Cameron Grove, Lot 15, Block D - Rodgers Screen Room

The Urban Design staff have reviewed the homeowner's minor amendment to a specific design plan for the subject property and presents the following evaluation and findings leading to a recommendation of APPROVAL.

EVALUATION

The property is within the Legacy Comprehensive Design (LCD) Zone, formerly the Residential Low Development (R-L) Zone. However, this application is being reviewed and evaluated in accordance with the prior Prince George's County Zoning Ordinance, pursuant to Section 27-1704(h) of the Zoning Ordinance, which allows development applications for properties in the LCD Zone to be reviewed under the prior Zoning Ordinance. Technical staff considered the following in reviewing this homeowner's minor amendment:

a. The prior Prince George's County Zoning Ordinance:

b. Zoning Map Amendment (Basic Plan) A-9839-C;

c. Comprehensive Design Plan CDP-9705, and its amendments;

d. Specific Design Plan SDP-0307, and its amendments;

e. The 2010 *Prince George's County Landscape Manual*;

f. The Prince George's County Tree Canopy Coverage Ordinance; and

g. The Prince George's County Woodland Conservation and Tree Preservation Ordinance.

FINDINGS

Based upon the evaluation and analysis of the subject application, the Urban Design Section recommends the following findings:

1. **Request:** The subject homeowner's minor amendment to a specific design plan (SDP) requests approval for the construction of an 8-foot by 24-foot screened room addition, to the rear of an existing single-family attached dwelling, located in the Cameron Grove development. The screened room addition would extend 8 feet on the northern rear side of the subject house. The addition would be 2 feet from the rear property line, which does not meet the minimum 10-foot rear yard setback.

2. **Development Data Summary:**

	EXISTING/EVALUATED
Zone	LCD (Prior R-L)
Use	Residential
Lot size	5,314 sq. ft.
Gross Acreage	0.12
Lot	1
Number of Dwelling Units	1

3. **Location**: The subject property is in the Legacy Comprehensive Design (LCD) Zone, previously the Residential Low Development (R-L) Zone. It is located within the development known as Cameron Grove Phase Three, which is located in the southwest quadrant of the intersection of MD 214 (Central Avenue) and Church Road South. More specifically, the subject property is located at 13106 Christie Place, Upper Marlboro, Maryland, and is within Planning Area 74A and Council District 6.

4. **Surrounding Uses**: The subject property fronts Christie Place and is surrounded by single-family attached homes within the LCD Zone. The rear of the property abuts undeveloped land owned by the Cameron Grove Community Association. The property is within the Cameron Grove development, which is bounded to the north by MD 214 (Central Avenue), and property in the LCD Zone. The overall Cameron Grove development is also bound to the east by Church Road South and single-family detached homes in the Agricultural-Residential Zone beyond; to the south by single-family detached homes in the Residential Estate Zone; and to the west by single-family detached homes in the Residential, Single-Family-95 Zone and Watkins Park Drive beyond.

5. **Previous Approvals**: The subject site, Lot 15, Block D, was developed as part of the Cameron Grove Phase Two development. A Zoning Map Amendment (Basic Plan), A-9839-C, for Cameron Grove, was approved by the Prince George's County District Council on November 24, 1997 (Prince George's County Zoning Ordinance No. 36-1997). This basic plan revised the previously approved basic plan, to allow a mixed retirement development on an approximately 156-acre westerly portion of the overall Cameron Grove development.

   On February 19, 1998, the Prince George's County Planning Board approved Comprehensive Design Plan CDP-9705 (PGCPB Resolution No. 98-35(C)), for the Cameron Grove development, subject to 34 conditions, none of which are applicable to the review of the subject SDP. CDP-9705 was subsequently amended three times. In the second amendment, CDP-9705-02, development standards regarding single-family detached lots were established. CDP-9705-02 was approved by the Planning Board on May 4, 2000 (PGCPB Resolution No. 00-63).

On April 9, 1998, the Planning Board approved Preliminary Plan of Subdivision 4-97119 (PGCPB Resolution No. 98-74), subject to 14 conditions, none of which are applicable to the review of the subject SDP.

On November 6, 2003, the Planning Board approved SDP-0307 (PGCPB Resolution No. 03-242), subject to three conditions, none of which are applicable to the review of the subject SDP. Several amendments to this SDP were subsequently approved, including multiple homeowner minor amendments that do not apply to the subject property.

In addition, it is noted that the site is the subject of Stormwater Management (SWM) Concept Plan 8351-2003, however, the proposed addition does not affect the requirements of this approval.

6. **Design Features**: The subject application includes a proposal for an 8-foot by 24-foot screened addition at the rear of an existing single-family attached home. The addition will be constructed overtop an existing 8-foot by 24-foot concrete patio. The materials and roofing of the proposed addition will match and complement the existing architecture of the home. The addition will extend to within 2 feet of the rear property line, necessitating a modification of the rear building restriction line from 10 feet to 2 feet.

COMPLIANCE WITH EVALUATION CRITERIA

7. **Prince George's County Zoning Ordinance**: The subject application has been reviewed for compliance with the requirements of the prior R-L Zone, as follows:

    a. The project conforms with the requirements for purposes, uses, and regulations of the R-L zone contained in Sections 27-514.08, 27-514.09, and 27-514.10 of the prior Prince George's County Zoning Ordinance.

    b. Per Section 27-515 of the prior Zoning Ordinance, regarding uses permitted in the R-L Zone, the existing single-family attached dwelling is a permitted use in the zone.

    c. As detailed in Findings 14 and 15 of this technical staff report, the project also conforms to the requirements of Section 27-528 of the prior Zoning Ordinance, regarding required findings for SDP applications, and Section 27-530 of the prior Zoning Ordinance, regarding amendments to approved SDP applications.

8. **Zoning Map Amendment (Basic Plan) A-9839-C**: The project is in compliance with the requirements of Basic Plan A-9839-C, as the proposed screened room addition in the rear yard does not alter findings of conformance with the basic plan that were made at the time of approval of the CDP.

9. **Comprehensive Design Plans CDP-9705 and CDP-9705-02**: The project complies with the requirements of CDP-9705 and CDP-9705-02, except regarding the required rear building restriction line. The CDP stipulates that the minimum rear building restriction line for single-family attached houses is 10 feet. The proposed addition would be approximately two feet from the rear property line, encroaching eight feet into the rear yard for the subject site, Lot 15, Block D. If granted by the Planning Board, the reduction in the rear yard would

be applicable to the subject lot only, and the development standards would continue to apply in all other respects to the subject lot and all other lots in the Cameron Grove subdivision.

10. **Specific Design Plan SDP-0307**: As previously stated, SDP-0307 was approved with three conditions, none of which are applicable to the review of the subject SDP. The subject application complies with the requirements of SDP-0307, except for the rear yard setback. The proposed addition would encroach into the required 10-foot setback by 8 feet.

SDP-0307 also limits the lot coverage for Lot 15, Block D to 80 percent. The lot coverage proposed for the subject property is 46 percent, which is less than the maximum lot coverage allowed.

11. **2010 Prince George's County Landscape Manual**: The proposed screened room addition is exempt from the requirements of the 2010 *Prince George's County Landscape Manual* (Landscape Manual) because the requirements were satisfied at the time of SDP-0307 approval. The proposed location of the sunroom does not impact previously approved landscaping located on the lot, or adjoining properties.

12. **Prince George's County Tree Canopy Coverage Ordinance**: The subject application is exempt from Subtitle 25, Division 3, the Tree Canopy Coverage Ordinance, because the applicant proposes less than 5,000 square feet of gross floor area or disturbance.

13. **Prince George's County Woodland Conservation and Tree Preservation Ordinance**: The proposed addition will not alter the previous findings of conformance with the Prince George's County Woodland Conservation and Tree Preservation Ordinance, which were made at the time of approval of CDP-9705, CDP-9705-02, and SDP-0307.

14. Section 27-528 requires that the Planning Board make the following findings before approving an SDP, unless an application is being processed as a limited minor amendment. Each required finding is listed in **BOLD** text below, followed by staff comments.

Section 27-528. Planning Board action.

(a) Prior to approving a Specific Design Plan, the Planning Board shall find that:

(1) The plan conforms to the approved Comprehensive Design Plan, the applicable standards of the Landscape Manual, and except as provided in Section 27-528(a)(1.1), for Specific Design Plans for which an application is filed after December 30, 1996, with the exception of the V-L and V-M Zones, the applicable design guidelines for townhouses set forth in Section 27-274(a)(1)(B) and (a)(11), and the applicable regulations for townhouses set forth in Section 27-433(d) and, as it applies to property in the L-A-C Zone, if any portion lies within one-half (1/2) mile of an existing or Washington Metropolitan Area Transit Authority Metrorail station, the regulations set forth in Section 27-480(d) and (e);

The subject amendment conforms to the requirements of CDP-9705 and its amendment, as outlined in Finding 9, and the applicable standards of the Landscape Manual, as outlined in Finding 11. The subject amendment does not involve townhouse construction, nor is it located in the prior Local Activity Center Zone. The second portion of this required finding does not apply to the subject application.

(1.1) For a Regional Urban Community, the plan conforms to the requirements stated in the definition of the use and satisfies all requirements for the use in Section 27-508 of the Zoning Ordinance;

The property is not within a Regional Urban Community.

(2) The development will be adequately served within a reasonable period of time with existing or programmed public facilities either shown in the appropriate Capital Improvement Program, provided as part of the private development or, where authorized pursuant to Section 24-124(a)(8) of the County Subdivision Regulations, participation by the developer in a road club;

This finding was made with the approval of the original SDP and will not be affected by the proposed addition.

(3) Adequate provision has been made for draining surface water so that there are no adverse effects on either the subject property or adjacent properties;

The site is consistent with the approved SWM concept plan, and this minor addition will not impact that approval. The proposed addition will be constructed above grade, and adequate provision will be made for draining surface water so that there are no adverse effects on either the subject property or adjacent properties, in accordance with this required finding.

(4) The plan is in conformance with an approved Type 2 Tree Conservation Plan; and

The proposed addition to an existing single-family attached dwelling and setback modification does not impact the previously approved Type 2 tree conservation plan.

(5) The plan demonstrates that the regulated environmental features are preserved and/or restored to the fullest extent possible in accordance with the requirement of Subtitle 24-130(b)(5).

No regulated environmental features exist on the subject lot. Therefore, this finding is not applicable to the subject SDP.

15. Section 27-530(c)(3) of the prior Zoning Ordinance sets forth the criteria for granting minor amendments to approved SDPs, for the purpose of making home improvements requested by a homeowner (or authorized representative) and approved by the Planning Director (or designee), in accordance with specified procedures, including meeting the following criteria:

(A) Are located within the approved Comprehensive Design Plan building lines and setbacks or any approved amendments to the Comprehensive Design Plan;

(B) Are in keeping with the architectural and site design characteristics of the approved Specific Design Plan; and

(C) Will not substantially impair the intent, purpose, or integrity of the approved Comprehensive Design Plan.

SDP-0307 established the rear building restriction line at a minimum of 10 feet. The proposed addition extends into this rear building restriction line by 8 feet, resulting in a proposed setback of approximately 2 feet from the rear property line. The subject application does not meet Criterion (A), and therefore, the subject Homeowner's Minor Amendment to SDP-0307-H21 is to be heard by the Planning Board, as stated in Section 27-530(d)(3)(A) of the prior Zoning Ordinance.

Regarding Criterion (B) above, the proposed addition is consistent with the architectural and site design characteristics of the approved SDP, except regarding the rear yard setback. The proposed addition and its roof will be in keeping with the existing architectural and site design characteristics of the SDP, in materials and design. The proposed addition will be framed in white with architectural shingles to match the existing dwelling.

Regarding Criterion (C), staff believe that the requested addition will not substantially impair the intent, purpose, or integrity of the approved CDP. The modification of the minimum rear yard for the proposed sunroom will not be detrimental to the community, nor will it negatively impact the visual characteristics of the neighborhood. The addition is at the rear of the home and not visible from the nearest public right-of-way due to orientation of the dwelling.

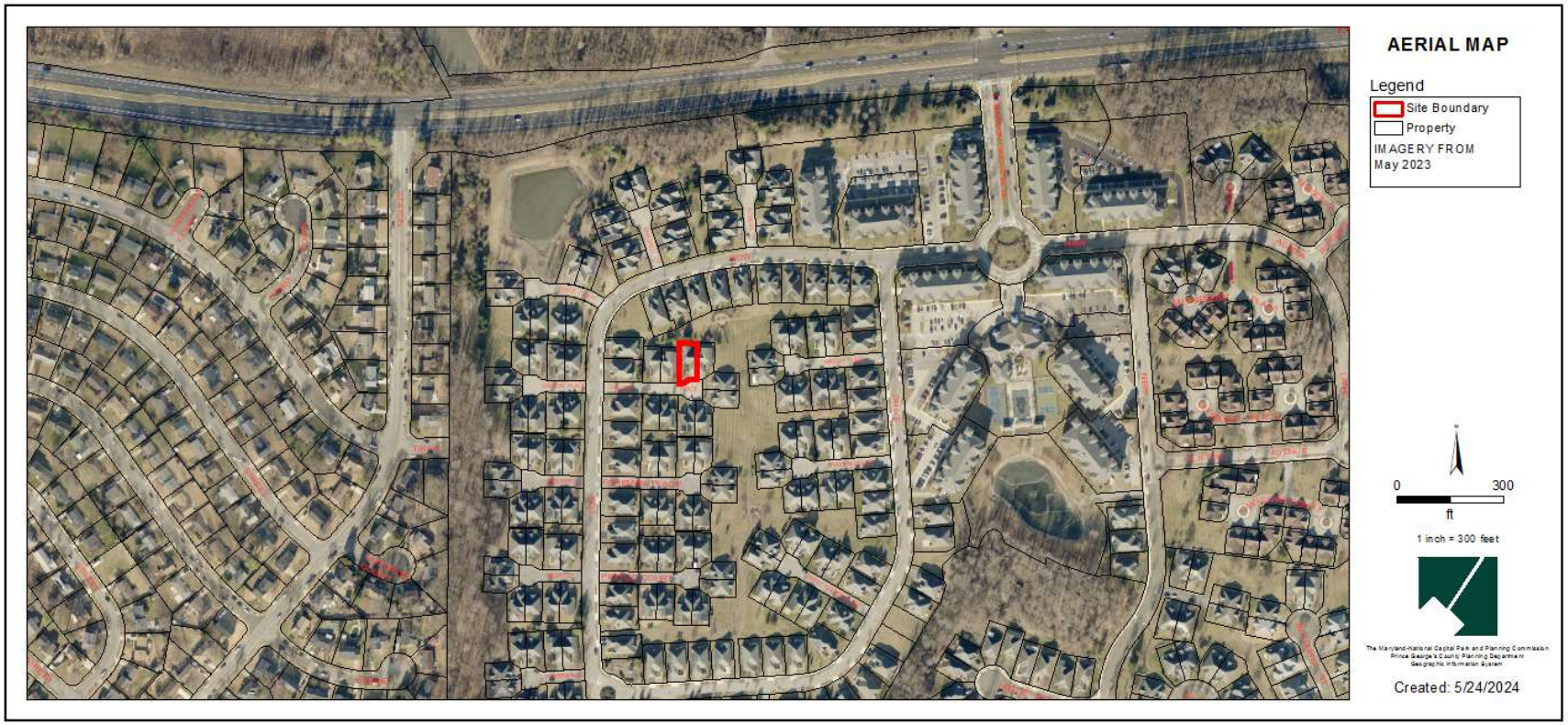
RECOMMENDATION

Based upon the foregoing evaluation and analysis, the Urban Design Section recommends that the Planning Board adopt the findings of this technical staff report and APPROVE Homeowner's Minor Amendment to a Specific Design Plan SDP-0307-H21, for Cameron Grove, Lot 15, Block D - Rodgers Screen Room.

CAMERON GROVE, LOT 15 – BLOCK D – RODGERS SCREEN ROOM

Homeowner's Minor Amendment

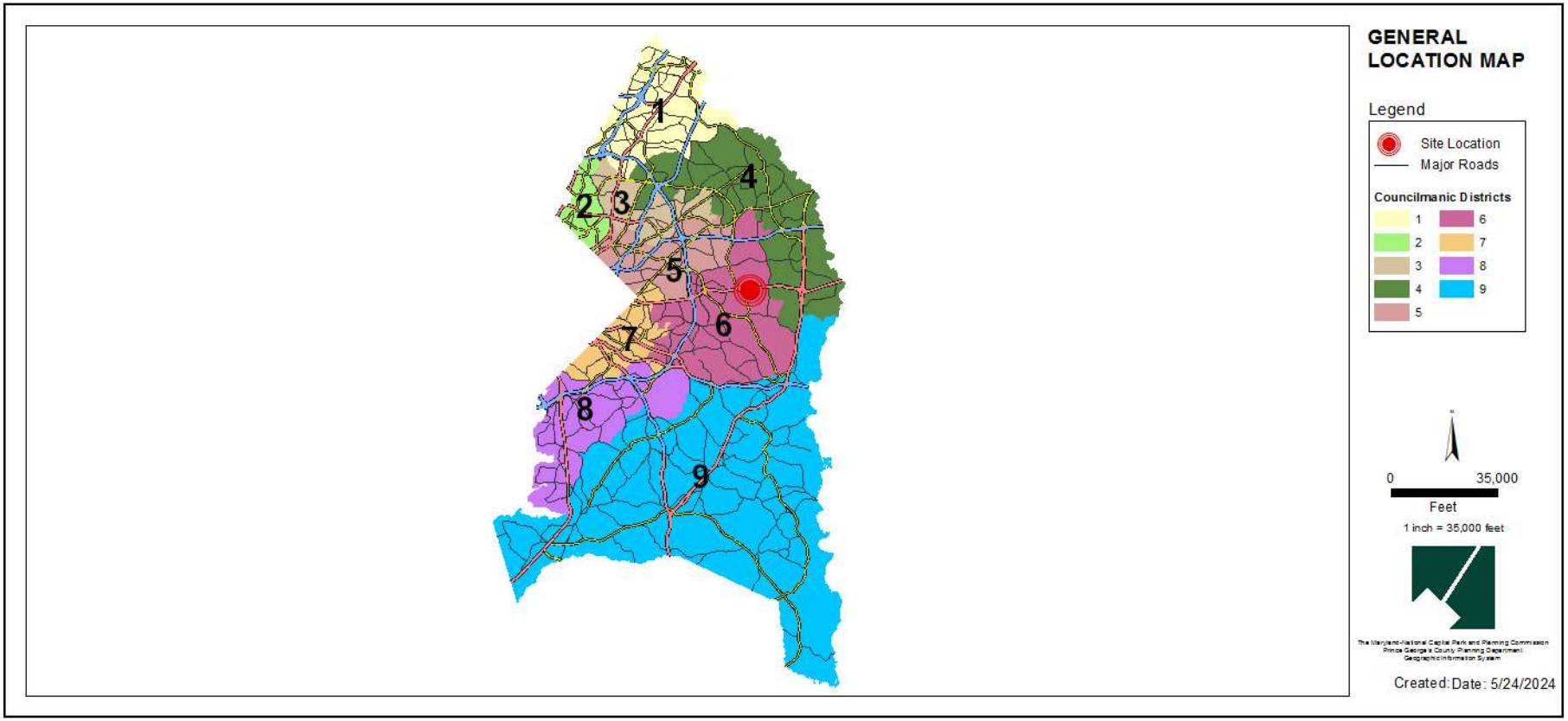
Staff Recommendation: APPROVAL



GENERAL LOCATION MAP

Council District: 06

Planning Area: 74A

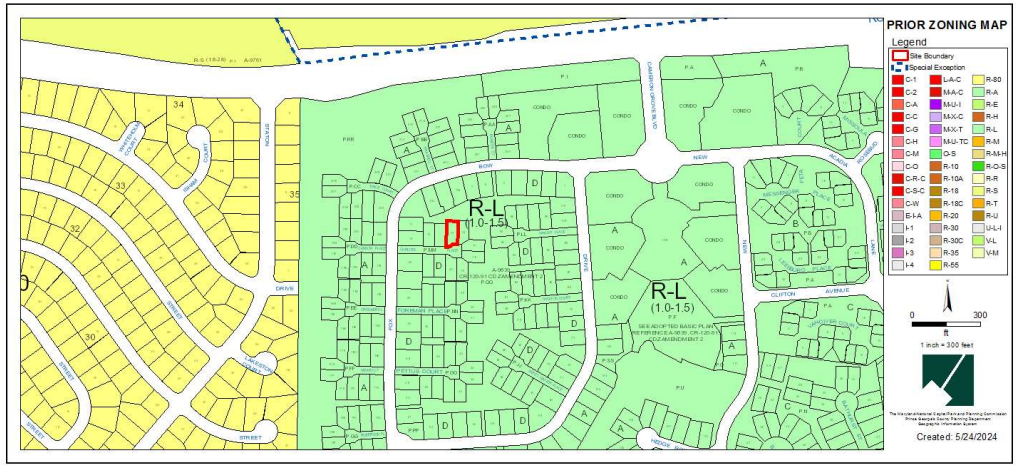


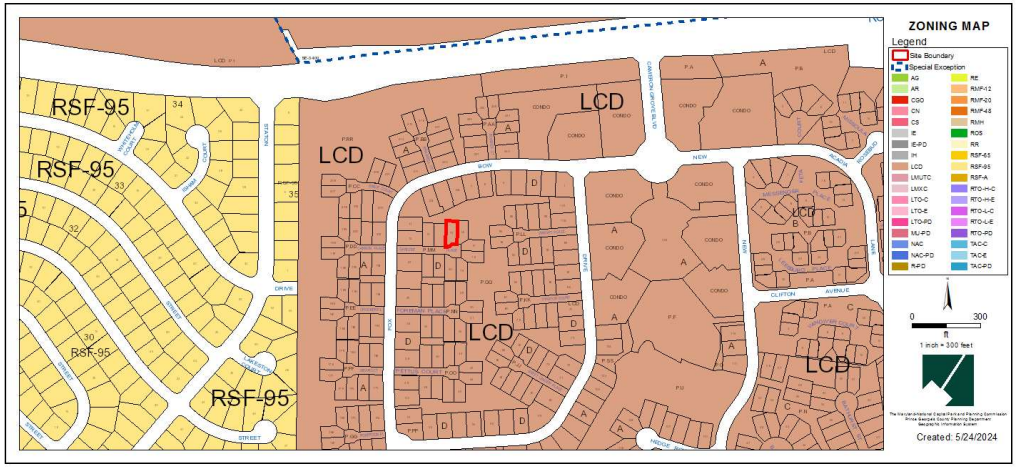
SITE VICINITY MAP

ZONING MAP (PRIOR AND CURRENT)

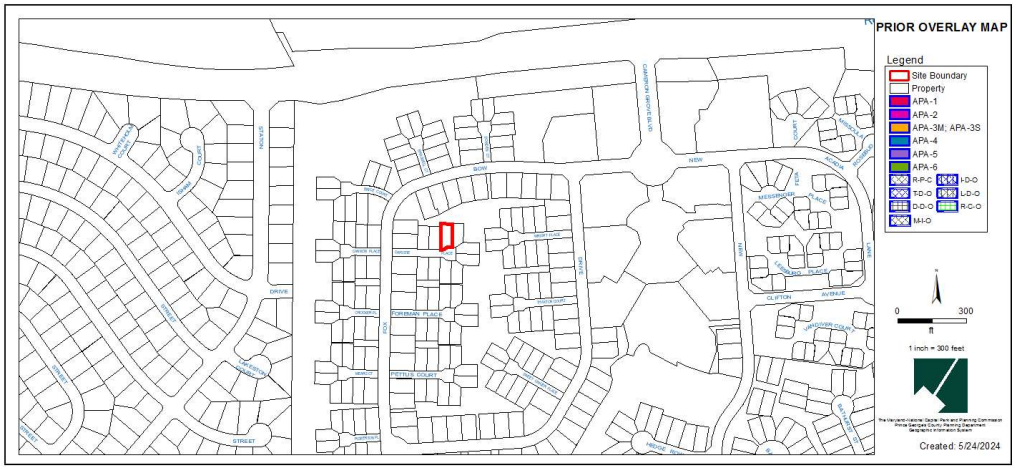
Prior Property Zone: R-L

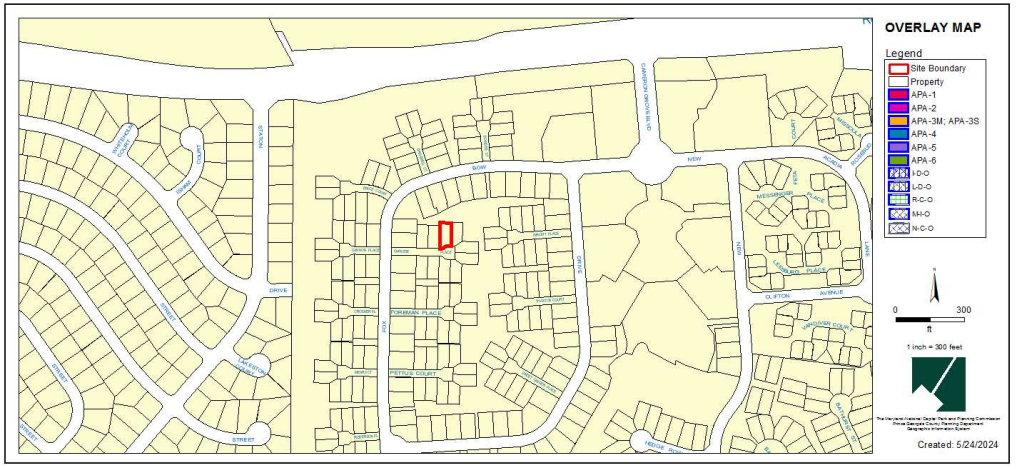
Current Property Zone: LCD



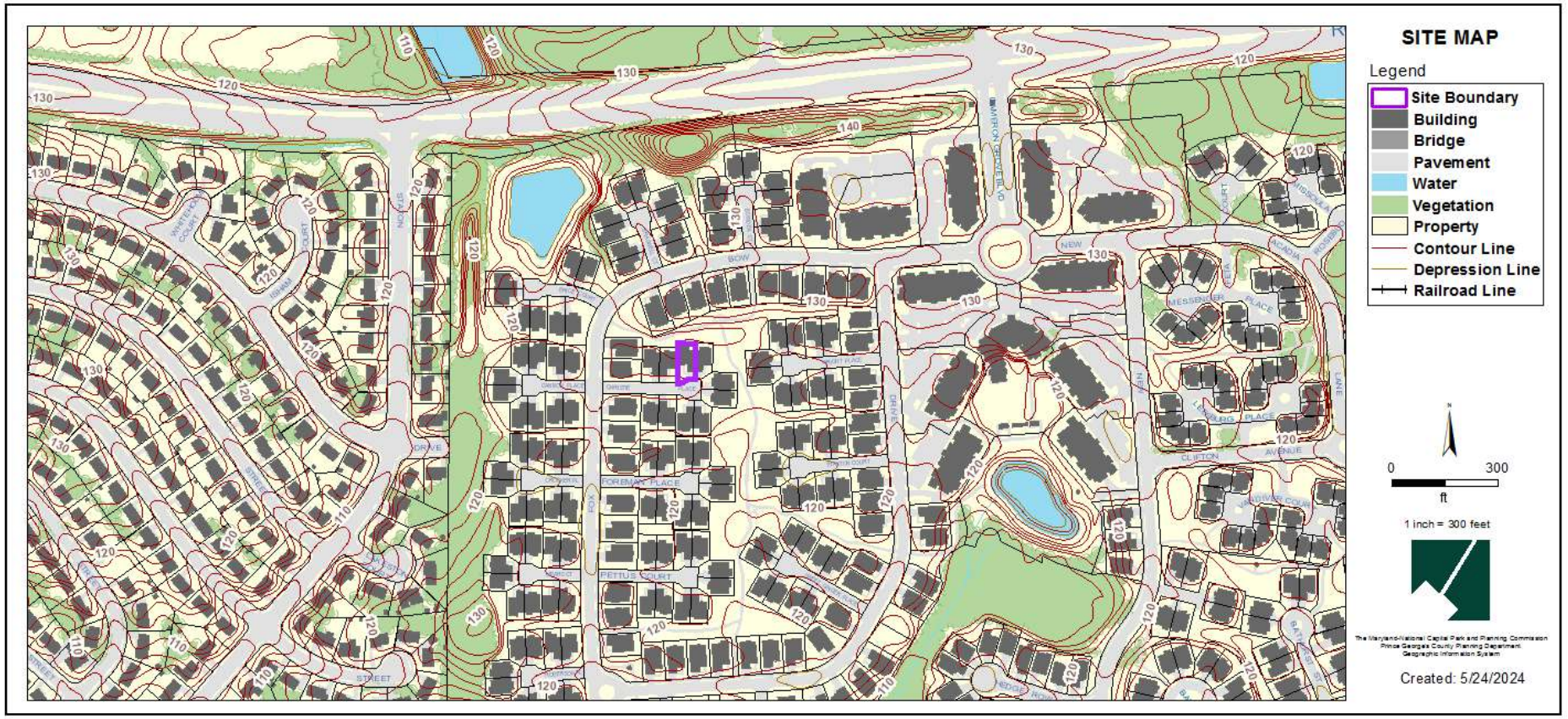


OVERLAY MAP (PRIOR AND CURRENT)

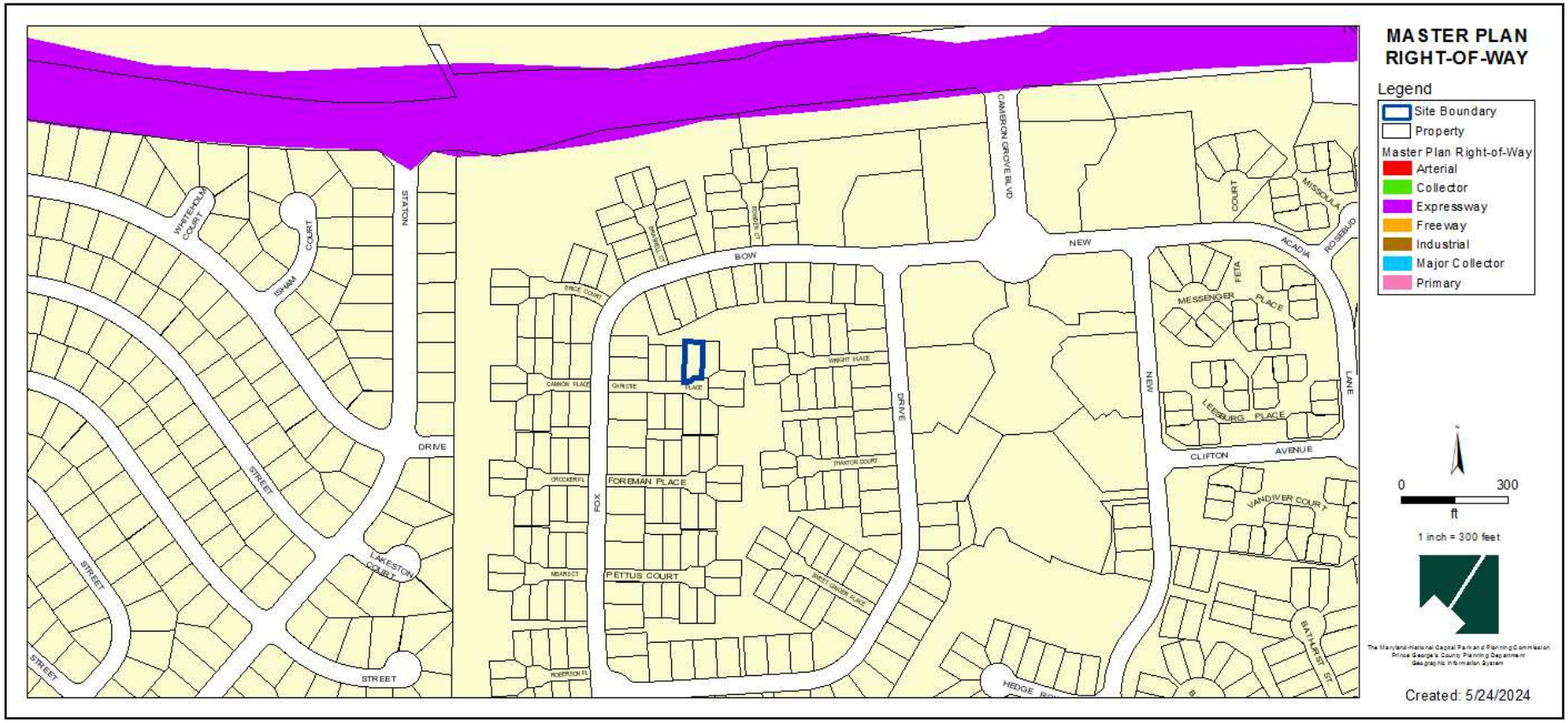




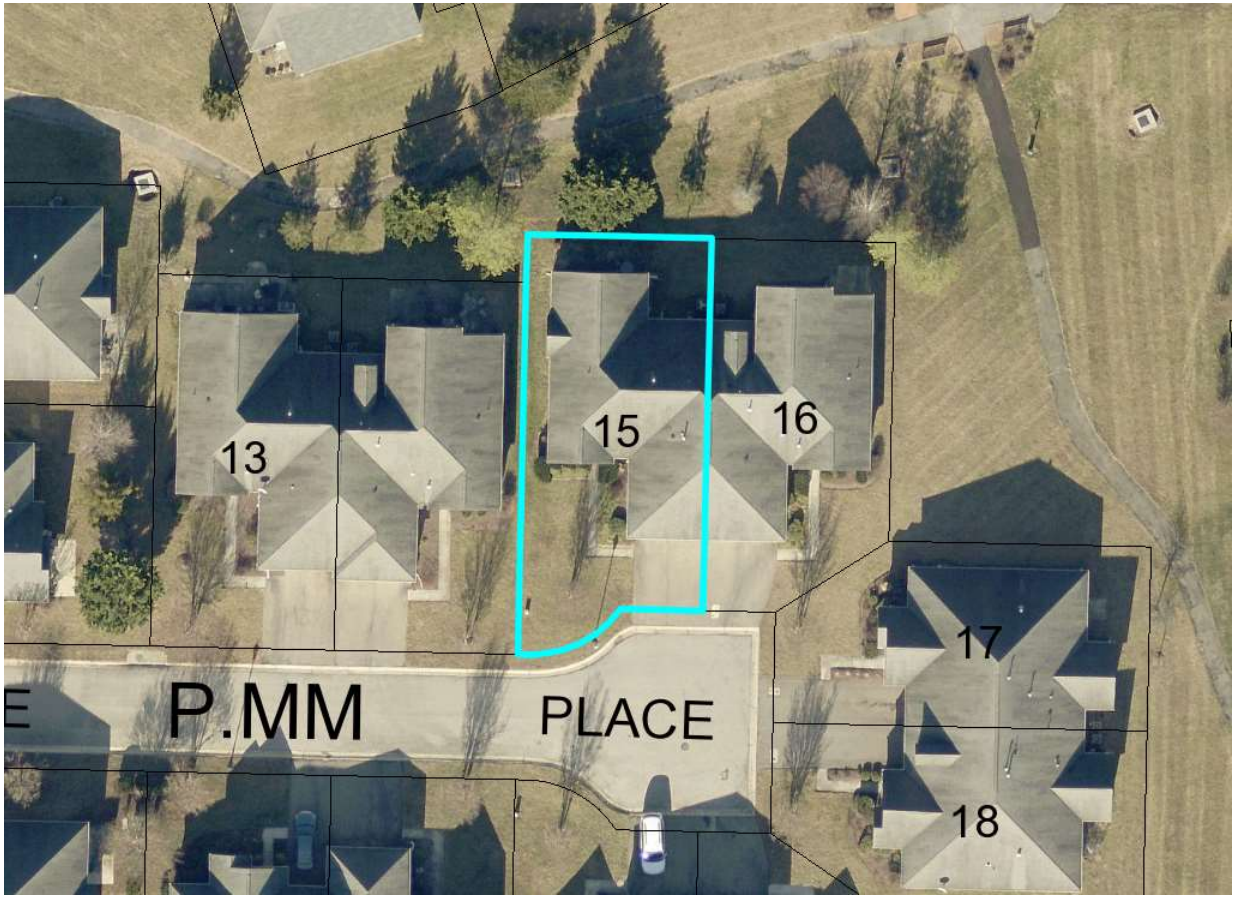
SITE MAP


SITE MAP
Legend
Site Boundary
Building
Bridge
Pavement
Water
Vegetation
Property
Contour Line
Depression Line
Railroad Line
0
300
ft
1 inch = 300 feet
Created: 5/24/2024

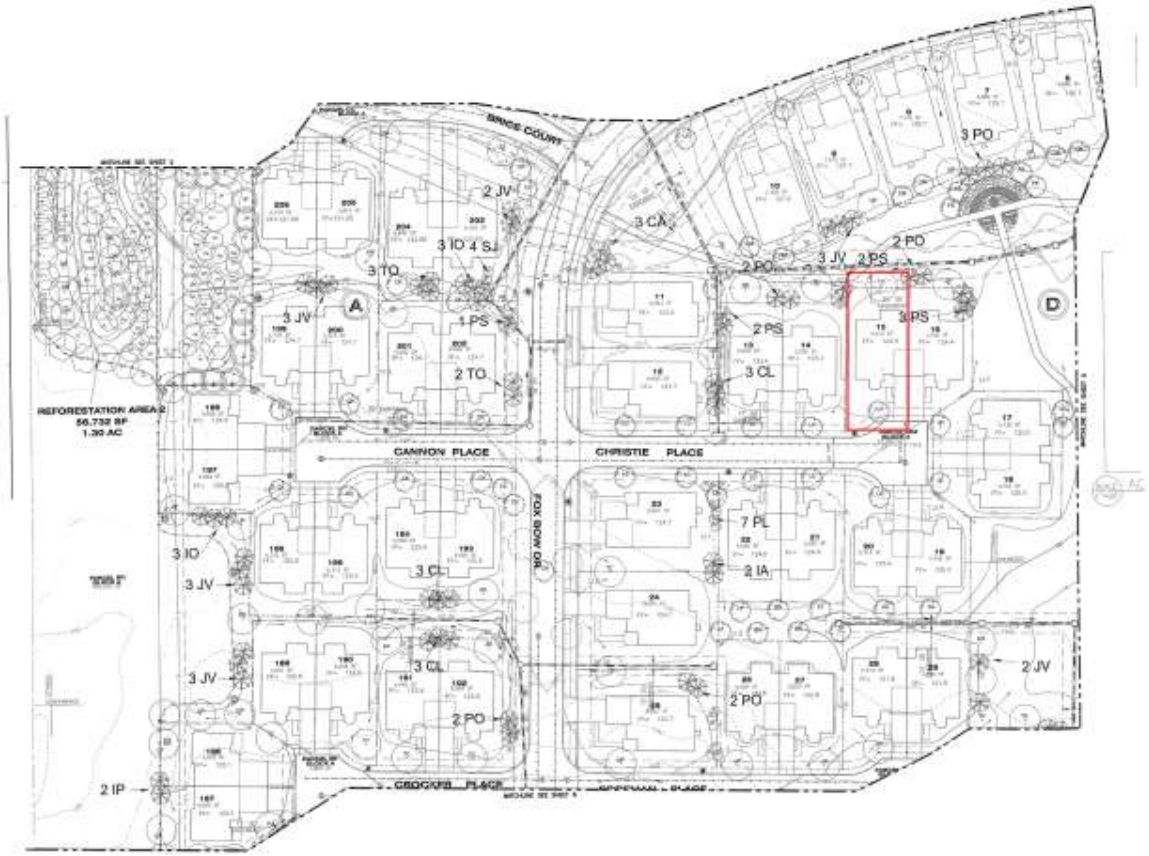
MASTER PLAN RIGHT-OF-WAY MAP



BIRD'S-EYE VIEW WITH APPROXIMATE SITE BOUNDARY OUTLINED



SITE PLAN


BRICE COURT
CANNON PLACE
CHRISTIE PLACE
FOX BOW DR
REFORESTATION AREA-2
56,732 SF
1.30 AC
A
D
3 PO
2 JV
3 CA
3 ID 4 SA
3 TO
2 PO
3 JV 2 PS
3 JV
1 PS
2 PS
3 PS
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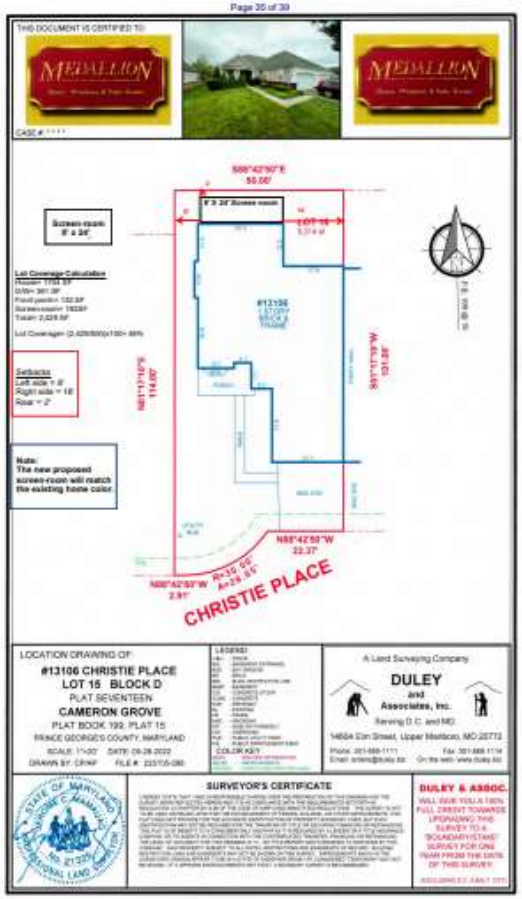
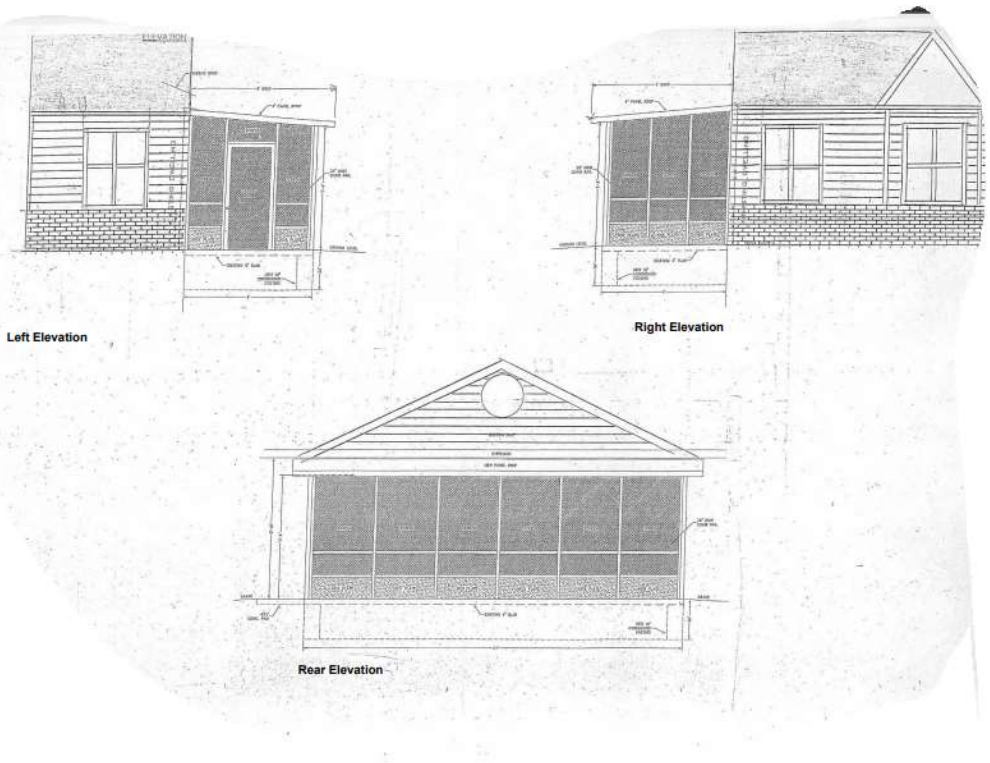
2 IP

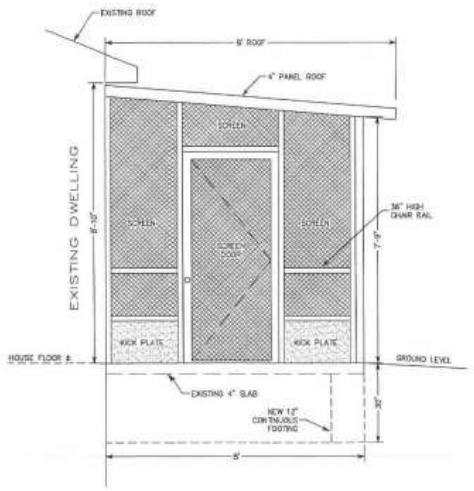
LOCATION DRAWING

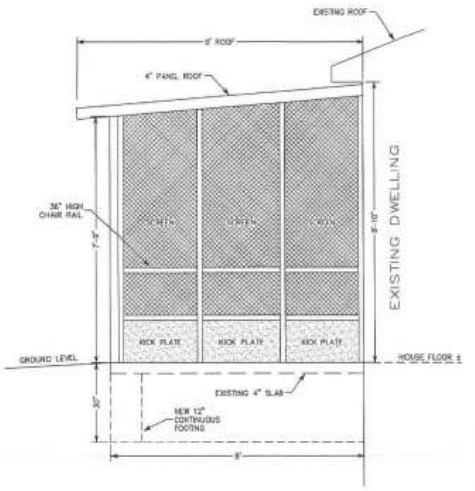


EXTERIOR VIEW – ADDITION TO MATCH COLOR

NEW PROPOSED SCREENED PORCH







STAFF RECOMMENDATION

APPROVAL

Issues:
None

Applicant Required Mailings:
- Informational Mailing: 9/26/2023
- Acceptance Mailing: 4/23/2024

M-NCPPC – Development Review Division Page 1 of 39 April 2020
Prince George's County Planning Department ♦ 14741 Governor Oden Bowie Drive, Upper Marlboro, Maryland 20772 ♦ 301-952-3530

APPLICATION FORM

DO NOT WRITE IN THIS SPACE

Application No.(s):_____ Planning Board Review ☐ Planning Director Review ☐
Acceptance Date:_____ 70-day limit_____ Limit waived–New limit _____
Posting Waived ☐ Posting Date:_____ No. of Signs Posted:___ Agenda Date:_____
Application Fee:_____ Posting Fee:_____ Case Reviewer: _____
Subdivision Development Review Committee Date: _____
Referral Mail-Out Date:_____ Referral Due Date: _____
Date of Informational Mailing:_____ Date of Acceptance Mailing: _____

APPLICATION TYPE:_____ ☐ Revision of Case #_____ Companion Cases:_____
Payment option: ☐Check (payable to M-NCPPC) ☐Credit Card General Plan Growth Policy:

PROJECT NAME: Rodgers Screen-room

Complete address (if applicable)
Geographic Location (distance related to or near major intersection)
Tax Account #: 20
Police District #:

Total Acreage: 5,314	Aviation Policy Area:	Election District:
Tax Map/Grid: 00B3	Current Zone(s):	Council District:
WSSC Grid:	Existing Lots/Blocks/Parcels:	Dev. Review District:
Planning Area:	In Municipal Boundary:	Is development exempt from grading permit pursuant to 32-127(a)(6)(A): ☐ Y ☐ N

(2002) General Plan Tier: ☐ Developed ☐ Developing ☐ Rural Area of proposed LOD:

Proposed Use of Property and Request of Proposal:
8' x 24' Screen room

Please list and provide copies of resolutions of previously approved applications affecting the subject property:

Applicant Name, Address & Phone:
Loretta Rodgers
13106 Christie Pl
Upper Marlboro, MD 20774

Owner Name, Address & Phone:
(if same as applicant indicate same/corporation see Disclosure)

Consultant Name, Address & Phone:
Medallion Security Door and Window Inc.
2849 Kaverton Road
Forestville, MD 20747
240-476-1596

Contact Name, Phone & E-mail:
Sheila Hyppolite
240-476-1596
Shehypp@gmail.com

SIGNATURE (Sign where appropriate; include Application Form Disclosure for additional owner's signatures)

Loretta J. Rodgers — 10/17/2022
Owner's Signature typed & signed — Date

Loretta J. Rodgers — 10/17/2022
Applicant's Signature typed & signed — Date

Loretta J. Rodgerss — 10/17/2022
Contract Purchaser's Signature typed& signed — Date

_____ _____
Applicant's Signature typed & signed — Date

SUBDIVISION CASES – PRELIMINARY PLAN/CONSERVATION SKETCH PLAN:			
Type of Application (Check all that apply)			
Conventional ☐	Comprehensive Design ☐	Conservation Sketch Plan ☐	Pre-Preliminary Plan ☐
Variation, Variance or Alternative Compliance Request(s) Yes ☐ No ☐		Applicable Zoning/Subdivision Regulation Section(s):	
Total Number of Proposed: Lots_____ Outlots _____ Parcels _____ Outparcels _____			
Number of Dwelling Units: Attached _____ Detached _____Multifamily _____		Gross Floor Area (Nonresidential portion only):	

SUBDIVISION CASES – FINAL PLAT:	
Water/Sewer: DER ☐ Health Dept. ☐	Number of Plats:
CSP/DSP/SDP No.:	WSSC Authorization No.:
Preliminary Plan No.:	
Approval Date of Preliminary Plan:	

URBAN DESIGN AND ZONING CASES:	
Details of Request:	Zoning Ordinance Section(s):
Total Number of Proposed: Lots_____ Outlots _____ Parcels _____ Outparcels _____	
Number of Dwelling Units: Attached _____ Detached _____Multifamily_____	Gross Floor Area (Nonresidential portion only):
Variance Request Yes ☐ No ☐	Applicable Zoning/Subdivision Regulation Section(s):
Departure Request Yes ☐ No ☐	Application Filed Yes ☐ No ☐
Alternative Compliance Request Yes ☐ No ☐	Application Filed Yes ☐ No ☐

APPLICATION FORM DISCLOSURE

List all persons having at least five percent (5%) interest in the subject property **ONLY required for Special Exception and Zoning Map Amendment Applications.**

Owner(s) Name - printed	Signature and Date	Residence Address

If the property is owned by a corporation, please fill in below.

Officers	Date Assumed Duties	Residence Address	Business Address

Board of Directors	Date Assumed Duties	Date Term Expires	Residence Address	Business Address

THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
14741 GOVERNOR ODEN BOWIE DRIVE
UPPER MARLBORO, MD 20772
DEVELOPMENT REVIEW DIVISION
301-952-3530

THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
14741 Governor Oden Bowie Drive
Upper Marlboro, Maryland 20772
www.pgplanning.org

Homeowner Minor Amendment Checklist

Homeowner Minor Amendment applications are required for review in all Comprehensive Design Zones (CDZ). In CDZs, the building regulations (setbacks, max lot coverages, etc.) are established and different from conventional zones, where regulations are established in the Prince George's County Zoning Ordinance. Projects that meet the Comprehensive Design Plan (CDP) and Specific Design Plan (SDP) regulations may be reviewed at Planning Director level, per Sec. 27-530.(c); projects that exceed the regulations are subject to a public hearing before the Prince George's County Planning Board, see Sec 27-524. Applicants must start at the Information Services desk (lower level) to obtain copies of the applicable Specific Design Plan and record plat for the application package This document must also be submitted to Development Review Division, fourth floor reception desk with a complete application package.

Specific Design Plan Name and Number: 8' x 24' Screen-room	Comprehensive Design Plan Name and Number:

Description and location of the subject property:

8' x 24' screen-room being building in the rear of the homeowner property.

Description of the proposed improvements

Building a 8' x 24' screen-room

Check all improvements that apply:

- ❑ Deck
- ❑ Covered porch
- ❑ Sunroom
- ❑ Patio
- ❑ Gazebo
- ❑ Pergola
- ❑ Trellis
- ❑ Addition to house
- ❑ Other Screen-room

Submit the following items to Development Review Divisions, 4th floor reception desk for review:

- ❑ Signed application form
- ❑ This checklist
- ❑ $50 review fee- check or money order payable to M-NCPPC
- ❑ Copies of the approved SDP Cover sheet and house location sheet and project detail sheet
- ❑ House location survey or site plan drawn to scale to include showing all improvements and showing measured side and rear yard setbacks and lot coverages calculation

- ❑ Architectural drawings with project details, specifications, materials, etc.
- ❑ Provide lot size in square feet 5314 SF Lot coverage in square feet_____
- ❑ The proposed improvements are within the setbacks established in the applicable SDP/CDP: __yes __ no

10201 Martin Luther King Jr. Hwy
Suite 260
Bowie, MD 20720
301-812-4099
www.frontstreetmgmt.com

June 9, 2022

Loretta Rodgers
13106 Christie Place
Upper Marlboro, MD 20774

Re: Architectural Request

Dear Homeowner,

This letter is in reference to the application submitted to Install an 8' X '24 Studio Style Screen Room on the Patio on the back side of the House. **After reviewing the application, your request to Install an 8' X '24 Studio Style Screen Room on the Patio on the back side of the House has been approved by the design committee of Cameron Grove Community Homeowners Association, contingent upon the following conditions:**

1. This approval is solely for the improvement as submitted and approved and its compliance with the Architectural Guidelines and the Associations governing documents.
2. This approval shall in no way be construed as to pass judgment on the correctness or suitability of the Improvement's location, structural design, suitability of water flow drainage, and location of utilities, safety, or other quality of construction. The owner is solely responsible for the quality and installation of the Improvement and for its total completion in a workmanlike manner.
3. It is your responsibility to obtain all necessary permits required by all County, State, governmental or quasi-governmental agencies and to comply with all building and zoning code requirements that may apply.
4. Any damage to nearby common or private areas must be corrected within fifteen days.
5. Any variations from the approved plans must be resubmitted.
6. All changes must be made entirely within the homeowner's property lines.
7. The homeowner is responsible for proper upkeep of the addition/change
8. Please contact "Miss Utility" at 800-257-7777 prior to any digging

Real Property Data Search ( )
Search Result for PRINCE GEORGE'S COUNTY

View Map | View GroundRent Redemption | View GroundRent Registration

Special Tax Recapture: None

Account Identifier: District - 07 Account Number - 3579547

Owner Information

Owner Name:	RODGERS LORETTA	**Use:**	TOWN HOUSE
		Principal Residence:	YES
Mailing Address:	13106 CHRISTIE PL UPPER MARLBORO MD 20774-	**Deed Reference:**	/36205/ 00123

Location & Structure Information

Premises Address:	13106 CHRISTIE PL UPPER MARLBORO 20774-0000	**Legal Description:**	

Map:	Grid:	Parcel:	Neighborhood:	Subdivision:	Section:	Block:	Lot:	Assessment Year:	Plat No:	199015
0069	00B3	0000	7020575.17	0575		D	15	2023	Plat Ref:	

Town: None

Primary Structure Built	Above Grade Living Area	Finished Basement Area	Property Land Area	County Use
2006	1,744 SF		5,314 SF	011

Stories	Basement	Type	Exterior	Quality	Full/Half Bath	Garage	Last Notice of Major Improvements
1	NO	END UNIT	FRAME/	4	2 full	1 Attached	

Value Information

	Base Value	Value As of 01/01/2020	Phase-in Assessments As of 07/01/2022	As of 07/01/2023
Land:	100,000	100,000		
Improvements	198,400	198,400		
Total:	298,400	298,400	298,400	
Preferential Land:	0			

Transfer Information

Seller: HIGHTOWER CHARLES R SR	**Date:** 07/31/2014	**Price:** $280,000
Type: ARMS LENGTH IMPROVED	**Deed1:** /36205/ 00123	**Deed2:**
Seller: JACKSON,HILDA	**Date:** 07/21/2010	**Price:** $225,000
Type: NON-ARMS LENGTH OTHER	**Deed1:** /31880/ 00001	**Deed2:**
Seller: CAMERON GROVE ASSOC LTD PT	**Date:** 09/07/2006	**Price:** $271,948
Type: ARMS LENGTH IMPROVED	**Deed1:** /00000/ 00000	**Deed2:**

Exemption Information

Partial Exempt Assessments:	Class	07/01/2022	07/01/2023
County:	000	0.00	
State:	000	0.00	
Municipal:	000	0.00|	0.00|

Special Tax Recapture: None

Homestead Application Information

Homestead Application Status: Approved 11/05/2014

Homeowners' Tax Credit Application Information

Homeowners' Tax Credit Application Status: No Application **Date:**

Front view of the property.

Note:
The new proposed screen-room will match the existing home color.

Rear left photo of the property.

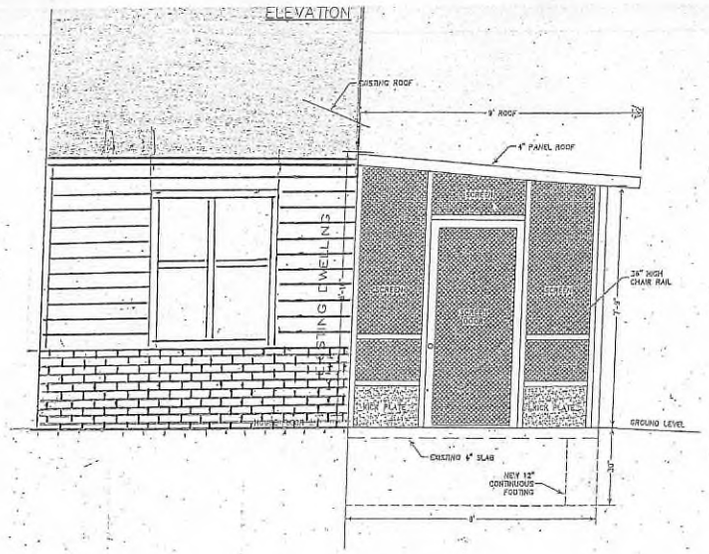
Note:
The new proposed screen-room will match the existing home color.

Rear right photo of the property

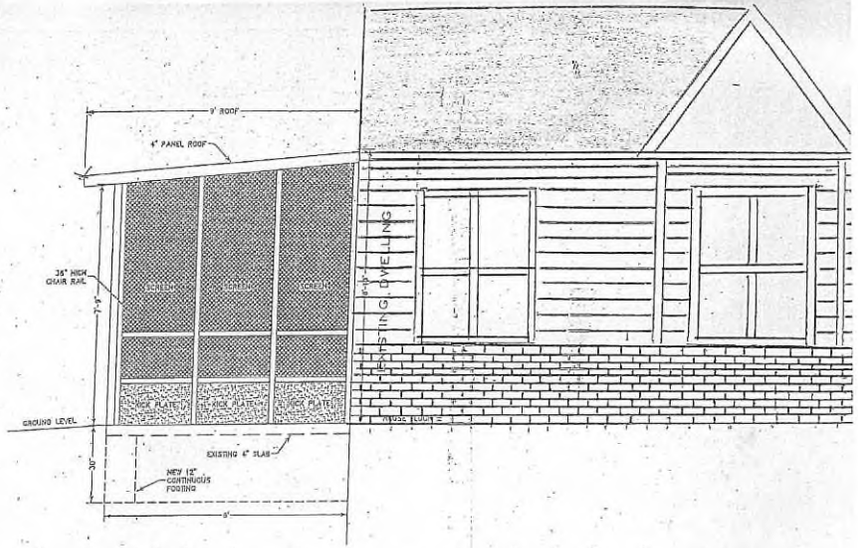
Note:
The new proposed screen-room will match the existing home color.

Rear right photo of house.

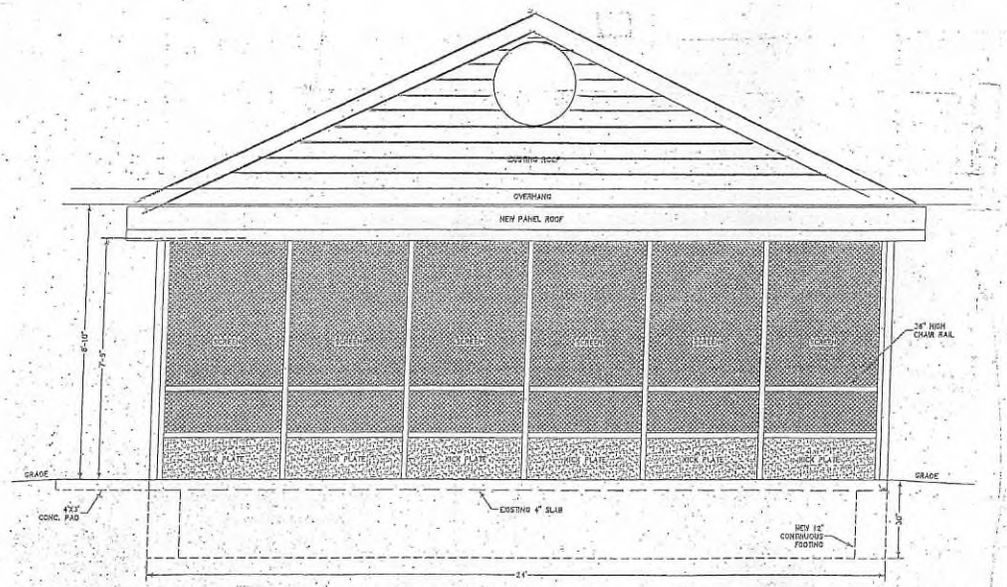
Note:
The new proposed screen-room will match the existing home color.



Left Elevation



Right Elevation



Rear Elevation

Note:
The new proposed screen-room will match the existing home color.

JAMES A. CLANCY, P.E.

THESE DRAWINGS ARE APPROVED FOR SUBMITTAL AS ORIGINALLY SEALED, PHOTOCOPY OF ORIGINALLY SEALED, OR PDF DIGITAL COPY OF ORIGINALLY SEALED FOR THE PURPOSES OF REVIEW AND BUILDING PERMIT ISSUANCE ONLY

Digitally signed by James A Clancy
Date: 2022.06.22 06:41:34 -04'00'

6/21/22
DATE PRINTED, SIGNED & SEALED

JAMES A. CLANCY, P.E.

CLANCY & ASSOCIATES, INC.
CONSULTING ENGINEERS
601 Asbury Avenue
National Park, NJ 08063
Phone: (856) 853-7306
Fax: (856) 853-7361
www.clancyandassociates.com
clancyassoc@comcast.net

PROJECT ADDRESS:

13106 CHRISTIE PLACE
UPPER MARLBORO, MD 20774

PROJECT TYPE:

SCREEN ROOM

-PURCHASED THROUGH-

MEDALLION

2849 Kaverton Rd, Forestville, MD 20747

SHEET #	DESCRIPTION
A1	FLOOR PLAN
A2	ROOF PLAN
A3	ELEVATION
A4	ELEVATION
A5	SECTION
D1-D3	DETAILS
C1	CALCULATIONS

DATE: 6/21/22

MEDALLION: 2849 Kaverton Rd, Forestville, MD 20747

RODGERS RESIDENCE
13106 CHRISTIE PLACE
UPPER MARLBORO, MD 20774

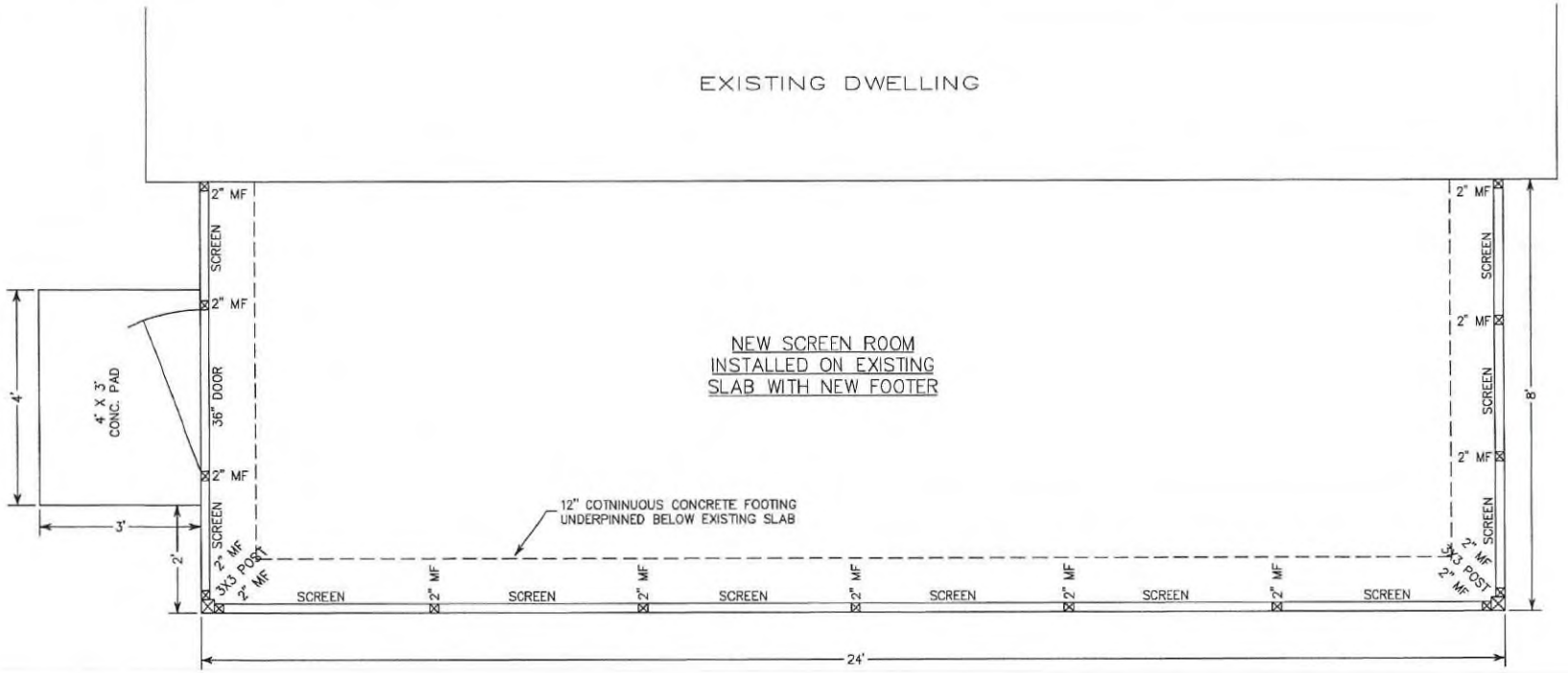
SCALE: NONE

DRAWN BY: RAS

COVER SHEET

FLOOR PLAN

NOTES:
* THESE PLANS WERE DESIGNED IN ACCORDANCE WITH THE 2018 IRC.
* ALL EXPOSED WOOD & ANY FRAMING WITHIN 18" OF THE GROUND SHALL BE PRESSURE TREATED.
* ALL CONCRETE SHALL BE MIN. 4000 PSI @ 28 DAYS
* ALL FASTENERS IN TREATED LUMBER SHALL BE STAINLESS STEEL OR CONFORM TO ASTM A153.
* ALL LUMBER CONNECTING HARDWARE SHALL BE STAINLESS OR GALVANIZED STEEL. (SIMPSON OR APPROVED EQUAL)
* FOR PRE-ENGINEERED SUNROOM/ROOF/SCREENING OR OTHER PRODUCT MANUFACTURER'S SPECIFICATIONS, FASTENERS, CONNECTORS, SEALANTS, ETC..., REFER TO MANUFACTURER-SPECIFIC DOCUMENTATION.



MINIMUM DESIGN LOADS:
DEAD LOADS:
1) WALLS: 5 PSF
2) ROOF: 6 PSF

LIVE LOADS:
1) WALLS: 115 MPH (min) - 3 SEC. WIND GUST
2) ROOF: 20 PSF (OR SNOW WHICHEVER IS HIGHER)

DEFLECTION LIMITS:
1) WALLS: L/175
2) ROOF: L/180

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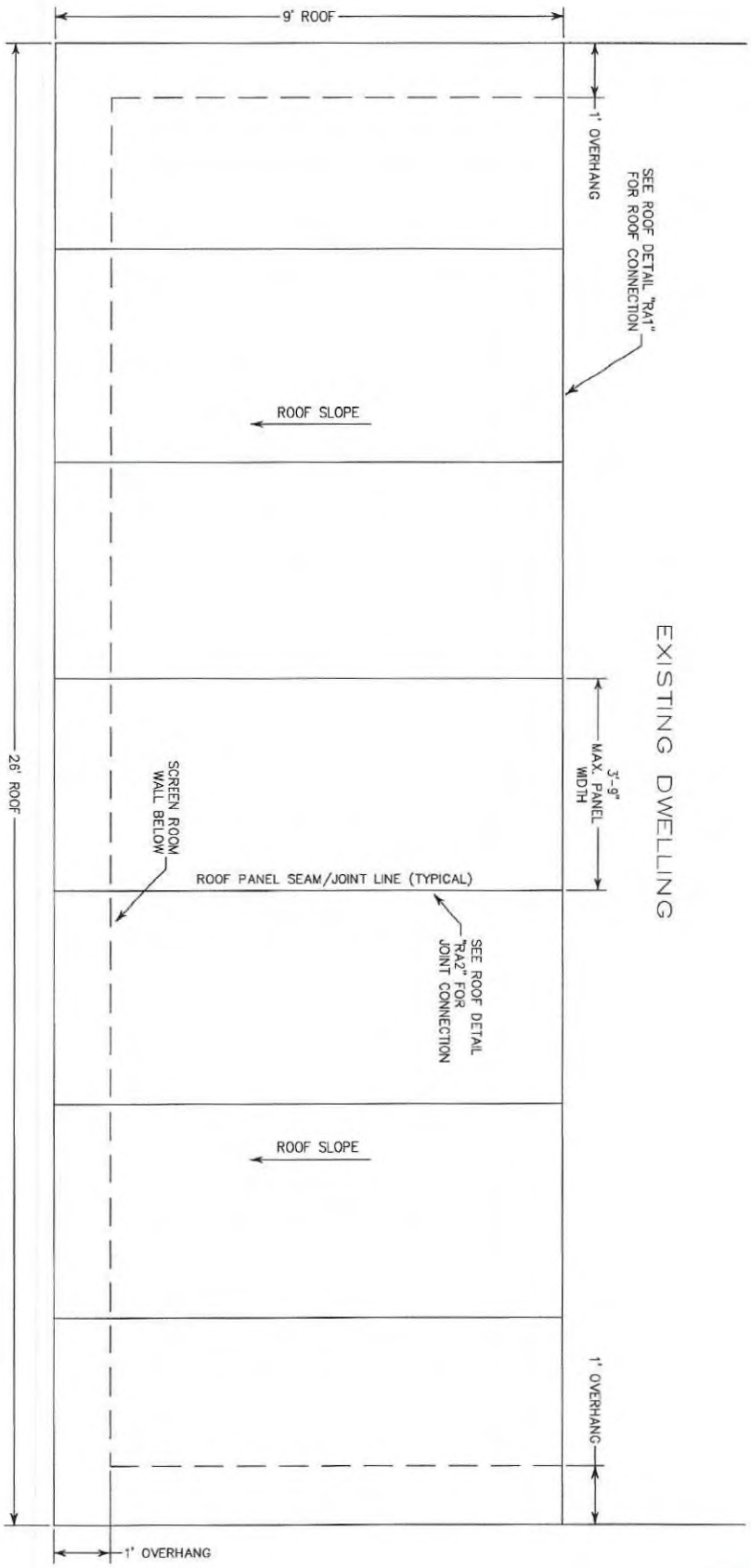
RODGERS RESIDENCE
13106 CHRISTIE PLACE
UPPER MARLBORO, MD 20774
SCALE: NONE
DRAWN BY: RAS

SHEET
A1

ROOF PLAN



SHEET A2

DATE: 6/21/22

MEDALLION, 2849 Koverton Rd, Forestville, MD 20747

RODGERS RESIDENCE
13106 CHRISTIE PLACE
UPPER MARLBORO, MD 20774

DRAWN BY: RAS

SCALE: NONE

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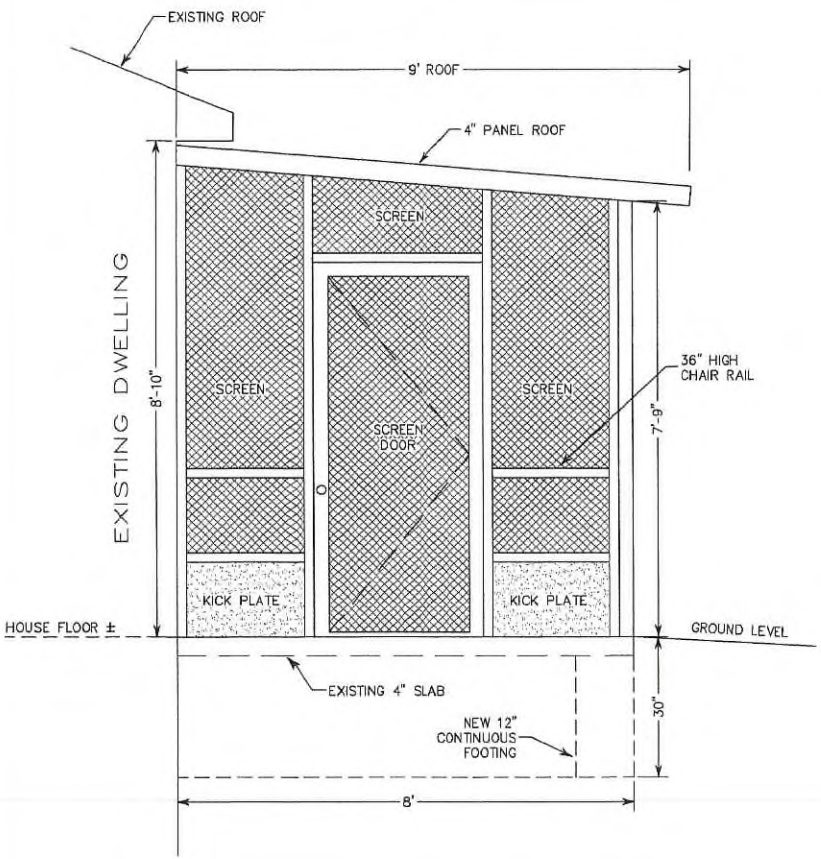
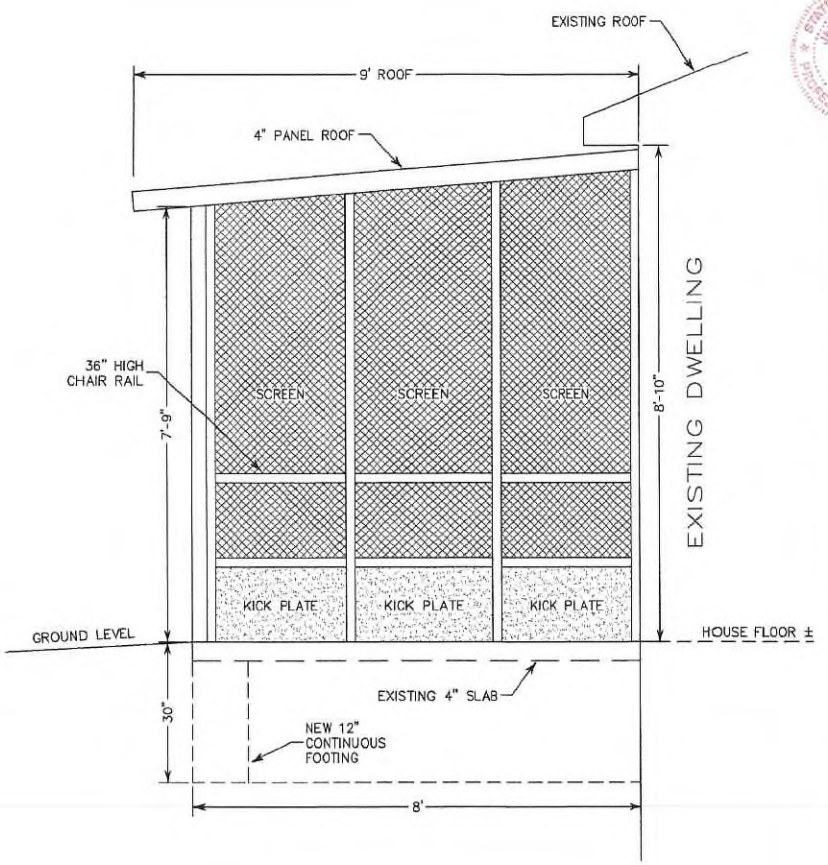
ELEVATION





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MEDALLION, 2649 Koverton Rd, Forestville, MD 20747

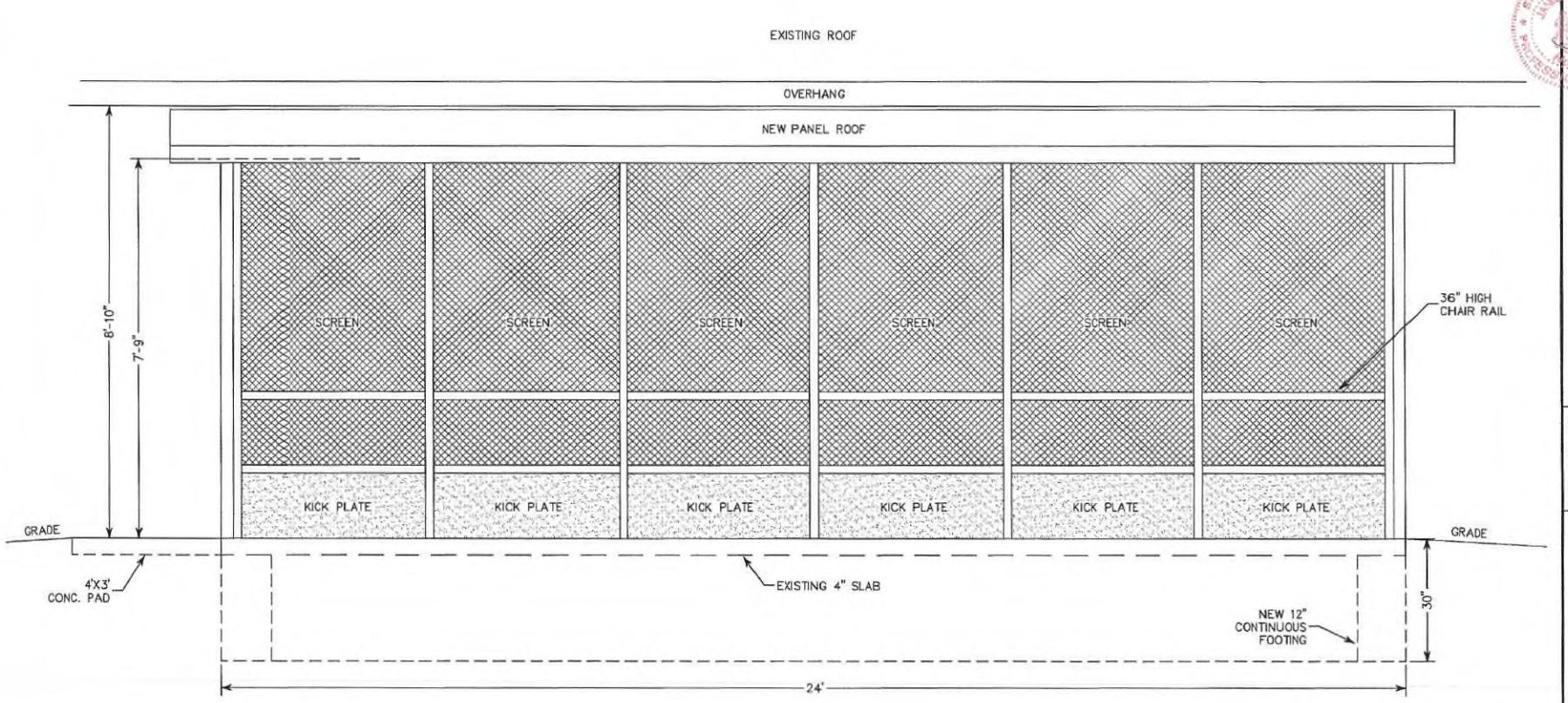
RODGERS RESIDENCE
13106 CHRISTIE PLACE
UPPER MARLBORO, MD 20774

SCALE: NONE

DRAWN BY: RAS

SHEET
A3

ELEVATION



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DATE: 6/21/22

MEDALLION, 2849 Koverton Rd. Forestville, MD 20747

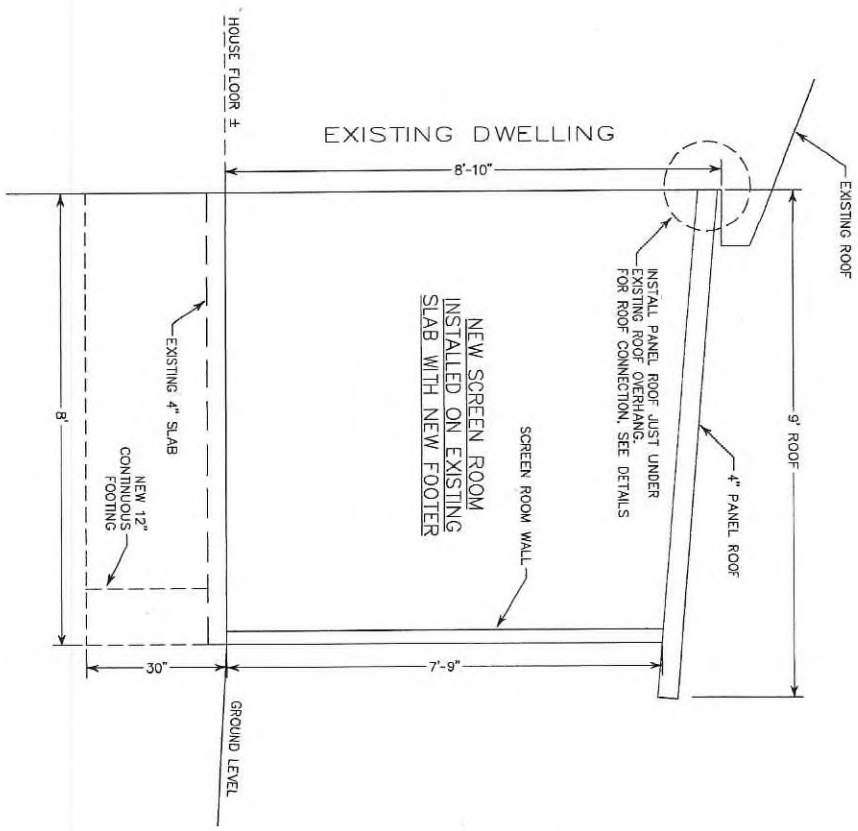
RODGERS RESIDENCE
13106 CHRISTIE PLACE
UPPER MARLBORO, MD 20774

SCALE: NONE

DRAWN BY: RAS

SHEET
A4

SECTION



SHEET A5

DATE: 6/21/22

MEDALLION, 2849 Koverton Rd, Forestville, MD 20747

RODGERS RESIDENCE
13106 CHRISTIE PLACE
UPPER MARLBORO, MD 20774

DRAWN BY: RAS

SCALE: NONE

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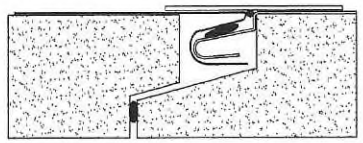
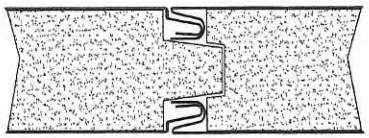
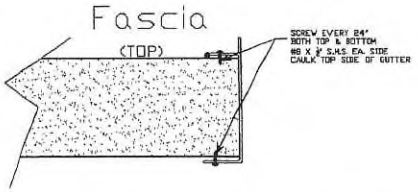
PANEL ROOF DETAILS

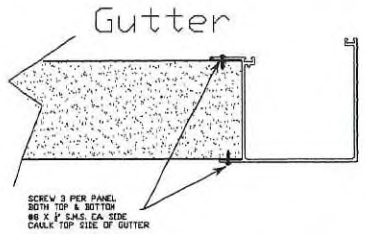
CAULK PANEL JOINT APPLY
OPTIONAL PEAL AND SEAL TAPE

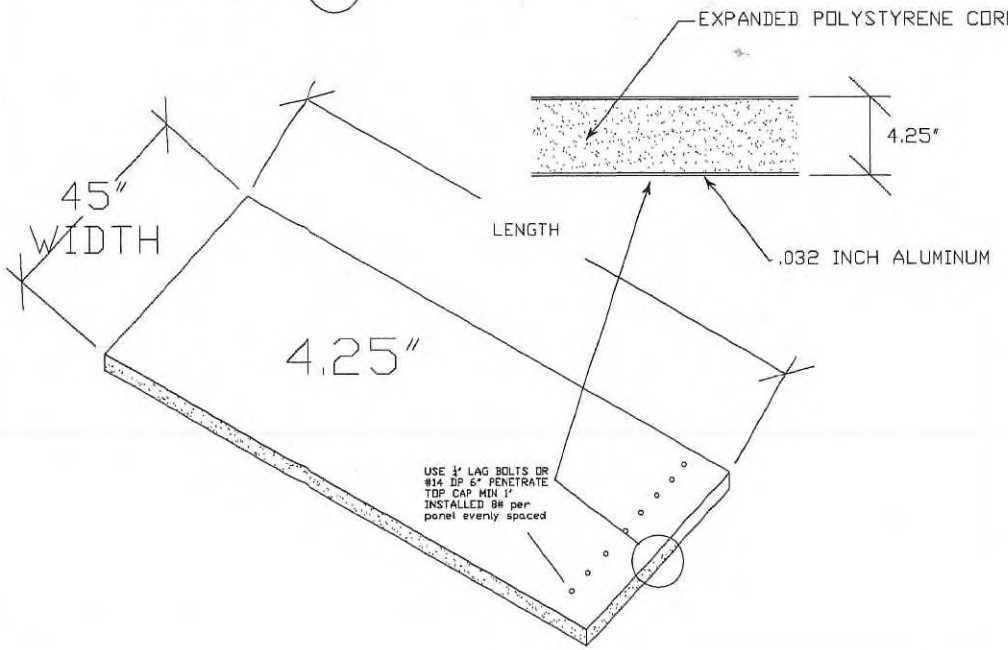




PANEL JOINT (RA2)

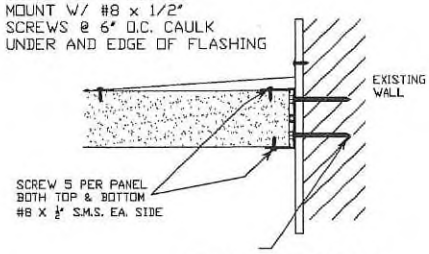






(RA1) ROOF CONNECTION RA1

METAL PREFLASH AND
CAULK TOP & BOTTOM
MOUNT W/ #8 x 1/2"
SCREWS @ 6" O.C. CAULK
UNDER AND EDGE OF FLASHING



HANGING RAIL MOUNTED
W/ 1/4" x 3" LAG BOLTS
INTO EACH WALL STUD @16" O.C
TOP & BOTTOM

INSTALLATION NOTE:
1: INSTALL ROOF HEADER TO EXISTING HOUSE WALL. HEADER SHOULD BE INSTALLED DIRECTLY OVER HOUSE SHEATHING. CUT EXISTING SIDING TO ALLOW PROPER INSTALLATION. (REVIEW DETAIL RA1)

2: USE ¼" X 3" LAG BOLTS - INSTALL TWO LAG BOLTS TOP AND BOTTOM. BOLTS MUST PENETRATE THROUGH SHEATHING AND INTO THE WALL FRAMING MEMBER. PRE-DRILL THE HOLE TO PREVENT ANY "BLOW OUT" OF THE WALL FRAMING.

3. SLIDE FIRST ROOF PANEL INTO HEADER. THE PANEL SHOULD BE PUSHED TO THE BACK OF THE HEADER. THE PANEL WILL REST AGAINST THE LIP AT THE BACK OF THE HEADER.

4. SQUARE THE FRONT PANEL TO THE WALL OR BEAM. ONCE SQUARE INSTALL #8 SCREWS TOP AND BOTTOM OF HEADER. INSTALL #14 (¼" LAGS) AT THE FRONT TO WALL OR BEAM. 8# PER ROOF PANEL EVENLY SPACED.

5. SLIDE NEXT PANEL INTO HEADER. APPLY CAULK TO TOP LOCK OF ROOF PANEL THEN SLIDE TOGETHER. REPEAT INSTALLATION OF SCREWS AT HEADER AND FRONT. (SEE DETAIL ON CAULKING LOCATION)

6. INSTALL GUTTER AND FASCIA - FOLLOW DETAIL ON THIS PAGE.

7. APPLY ADDITIONAL CAULK AT EACH SEAM, APPLY OPTIONAL PEAL&SEAL TAPE OVER SEAMS. NOTE TAPE IS NOT A SUBSTITUTE FOR CAULK. SEAMS MUST BE CAULK FOR PROPER INSTALLATION.

8. INSTALL COUNTERFLASHING AT HEADER AND HOUSE

9. CAULK EACH ROOF SCREWS USED TO ATTACHED ROOF TO WALL OR BEAM..

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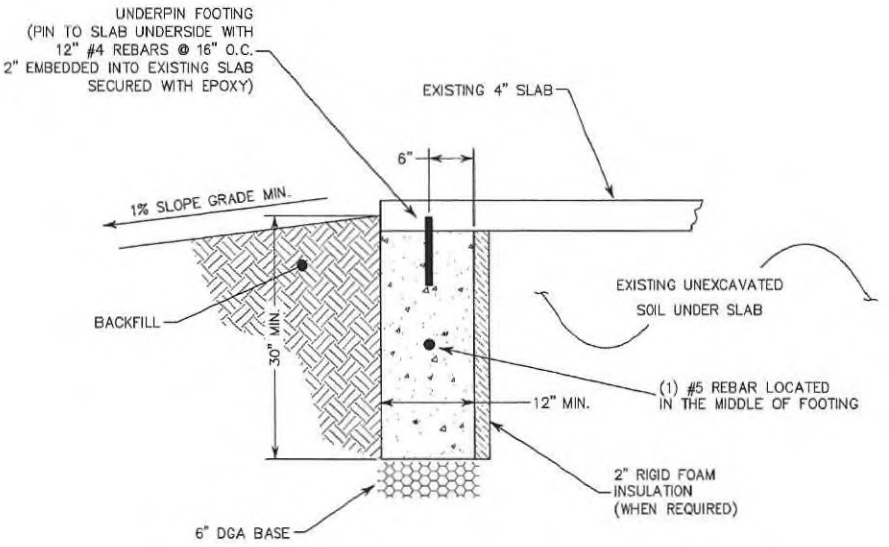
JAMES A. CLANCY, P.E.
DATE PRINTED, SIGNED & SEALED
6/21/22

DATE: 6/21/22
MEDALLION, 2849 Koverton Rd, Forestville, MD 20747
RODGERS RESIDENCE
13106 CHRISTIE PLACE
UPPER MARLBORO, MD 20774
DRAWN BY: RAS
SCALE: NONE

SHEET
D1

SLAB & FOOTING DETAIL



SLAB & FOOTING DETAIL
N.T.S.

6/21/22
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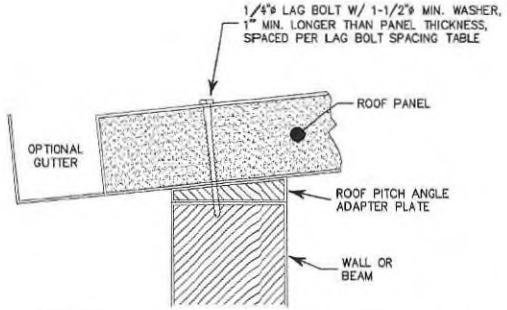
MEDALLION, 2849 Koverton Rd. Forestville, MD 20747

RODGERS RESIDENCE
13106 CHRISTIE PLACE
UPPER MARLBORO, MD 20774

SHEET
D2

MANUFACTURER'S
STRUCTURAL CONNECTION
DETAILS



LAG BOLT SPACING TABLE

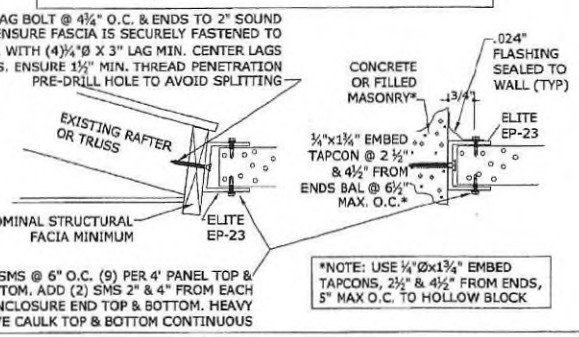
WIND VELOCITY & EXPOSURE CATEGORY PER IRC 2012 R301.2.1.4	0.024" SKINS	0.032" SKINS
130MPH EXP:B 130MPH EXP:C 140MPH EXP:B 140MPH EXP:C 155MPH EXP:B 155MPH EXP:C 165MPH EXP:B	5.75" O.C., 9 PER 4' PANEL	6.25" O.C., 8 PER 4' PANEL
165MPH EXP:C 170MPH EXP:B 170MPH EXP:C	5.25" O.C., 10 PER 4' PANEL	5.75" O.C., 9 PER 4' PANEL

ROOF PANEL TO WALL/CARRY BEAM
CONNECTION DETAIL

CONNECTION TO STRUCTURE - WOOD OR CONCRETE

**SEE GENERAL NOTE #13 FOR DESIGN PARAMETERS

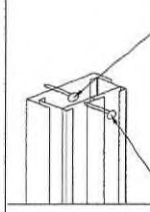
¼"Øx3" LAG BOLT @ 4¾" O.C. & ENDS TO 2" SOUND FASCIA. ENSURE FASCIA IS SECURELY FASTENED TO EACH RAFTER WITH (4)¾"Ø X 3" LAG MIN. CENTER LAGS TO RAFTERS. ENSURE 1½" MIN. THREAD PENETRATION PRE-DRILL HOLE TO AVOID SPLITTING



#14x¾" SMS @ 6" O.C. (9) PER 4' PANEL TOP & BOTTOM. ADD (2) SMS 2" & 4" FROM EACH ENCLOSURE END TOP & BOTTOM. HEAVY ADHESIVE CAULK TOP & BOTTOM CONTINUOUS

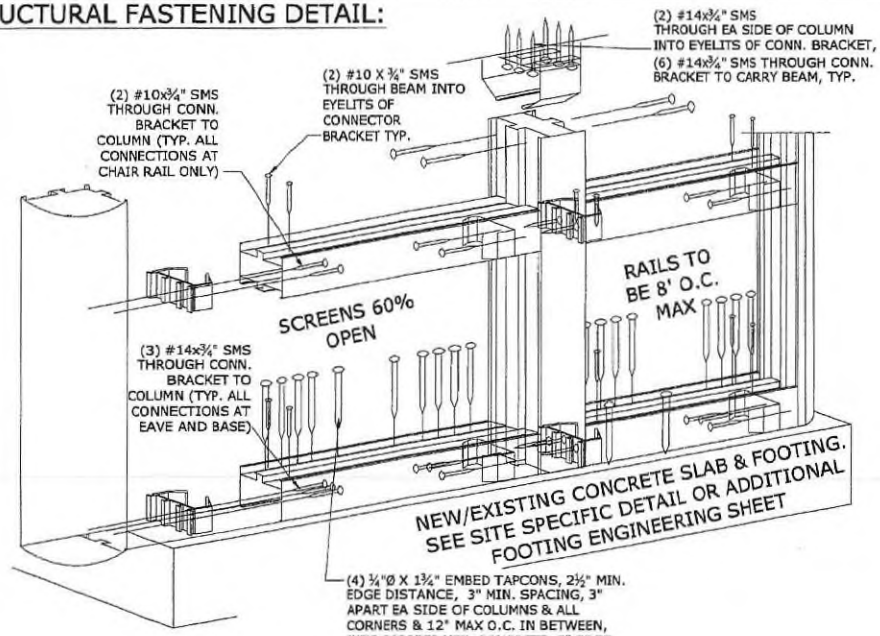
*NOTE: USE ¼"Øx1¾" EMBED TAPCONS, 2½" & 4½" FROM ENDS, 5" MAX O.C. TO HOLLOW BLOCK

CONNECTION TO EXISTING WALL



SECURE TO CONCRETE STRUCTURE USING ¼"Øx1¾" EMBED ITW TAPCONS 4" FROM ENDS, (2) 3" APART ABOVE & BELOW HORIZONTAL MEMBERS 12" MAX O.C., TO 2X WOOD WITH ¼"Øx1½" MIN. THREAD PENETRATION LAG BOLTS 4" FROM ENDS, (2) 2" APART ABOVE & BELOW HORIZONTAL MEMBERS 12" MAX O.C.

STRUCTURAL FASTENING DETAIL:



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DATE: 6/21/22
SCALE: NONE
DRAWN BY: RAS

MEDALLION, 2849 Koverton Rd, Forestville, MD 20747

RODGERS RESIDENCE
13106 CHRISTIE PLACE
UPPER MARLBORO, MD 20774

SHEET
D3

CALCULATIONS

ROOF SPAN DEFLECTION CALCULATIONS

SPAN (wall to wall) (feet)	8.000
LIVE (SNOW) LOAD (psf)	35.00
DEAD LOAD (psf)	2.00
TOTAL LOAD (psf)	37.00
Foam Panel Thickness - C (inches)	4.25
Foam Density (pcf)	2.00
E_c (psi)	480
F_v (psi)	35
G_c (psi)	620
T1 (inches)	0.032
T2 (inches)	0.032
H (inches)	4.31
A1 (inches)^2	0.384
A2 (inches)^2	0.384
E (psi)	10,100,000
Aluminum Working Stress (psi)	11,818
Y (inches)	2.16
I (inches)^4	3.52
S (inches)^3	1.63
Bending Stress (psi)	2,176
Shear Stress (psi)	2.88
Skin Buckling (psi)	7,215
Allowable Deflection (inches)	0.53
Actual Deflection (inches)	0.21

SPAN (wall to wall) (feet)	8.00		
LOADING CONDITIONS			
LIVE LOAD (psf)	35.00		
DEAD LOAD (psf)	2.00		
TOTAL LOAD (psf)	37.00		
MATERIAL SPECIFICATIONS			
FOAM CORE THICKNESS (inches)	4.25		
FOAM CORE DENSITY (pcf)	2.00		
E_c (psi)	480		
F_v (psi)	35		
G_c (psi)	620		
ALUMINUM THICKNESS (inches)	0.032		
E (psi)	10,100,000		
SECTION PROPERTIES			
C (inches)	4.25		
T1 (inches)	0.032		
T2 (inches)	0.032		
H (inches)	4.31		
A1 (inches)^2	0.384		
A2 (inches)^2	0.384		
ALUMINUM WORKING STRESS (psi)	11,818		
Y (inches)	2.16		
I (inches)^4	3.52		
S (inches)^3	1.63		
BENDING STRESS (psi) $F_b = 1.5WL^2/S$	2,176	IS LESS THAN	11,818
Bending Stress is Acceptable			
SHEAR STRESS (psi) $F_v = WL/(H+C)12$	2.88	IS LESS THAN	35
Shear Stress is Acceptable			
SKIN BUCKLING STRESS (psi) $C_{cr} = 0.5(\text{cube root})(E)(E_c)(G_c)$	7,215	IS GREATER THAN	2,176
Skin Buckling Stress is Acceptable			
ALLOWABLE DEFLECTION (inches) DEFLECTION = L/180	0.53		
ACTUAL DEFLECTION (inches) $DEF = 5WL^4(1728)/384EI+WL^2/4(H+C)G_c$	0.21	IS LESS THAN	0.53
Deflection is Acceptable			

6/21/22
DATE PRINTED, SIGNED & SEALED

JAMES A. CLANCY, P.E.

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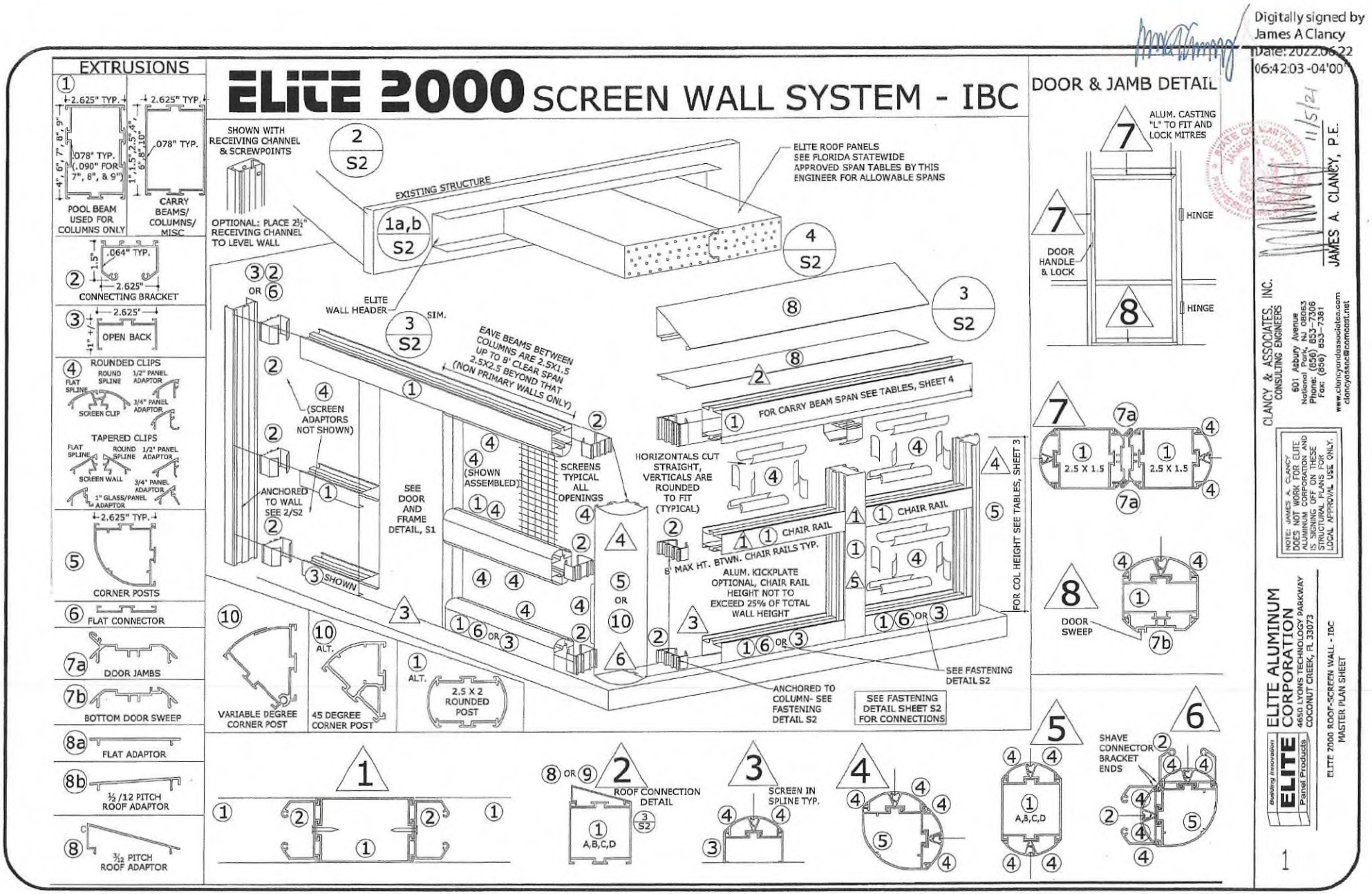
DATE: 6/21/22
MEDALLION, 2849 Koverton Rd, Forestville, MD 20747
RODGERS RESIDENCE
13106 CHRISTIE PLACE
UPPER MARLBORO, MD 20774
SCALE: NONE
DRAWN BY: RAS

SHEET
C1


ELITE 2000 SCREEN WALL SYSTEM - IBC
EXTRUSIONS
POOL BEAM USED FOR COLUMNS ONLY
CARRY BEAMS/ COLUMNS/ MISC
CONNECTING BRACKET
OPEN BACK
ROUNDED CLIPS
TAPERED CLIPS
CORNER POSTS
FLAT CONNECTOR
DOOR JAMBS
BOTTOM DOOR SWEEP
FLAT ADAPTOR
½ /12 PITCH ROOF ADAPTOR
¾12 PITCH ROOF ADAPTOR
SHOWN WITH RECEIVING CHANNEL & SCREWPOINTS
OPTIONAL: PLACE 2½" RECEIVING CHANNEL TO LEVEL WALL
EXISTING STRUCTURE
ELITE ROOF PANELS SEE FLORIDA STATEWIDE APPROVED SPAN TABLES BY THIS ENGINEER FOR ALLOWABLE SPANS
ELITE WALL HEADER
EAVE BEAMS BETWEEN COLUMNS ARE 2.5X1.5 UP TO 8' CLEAR SPAN 2.5X2.5 BEYOND THAT (NON PRIMARY WALLS ONLY)
FOR CARRY BEAM SPAN SEE TABLES, SHEET 4
(SCREEN ADAPTORS NOT SHOWN)
ANCHORED TO WALL SEE 2/S2
SEE DOOR AND FRAME DETAIL, S1
SCREENS TYPICAL ALL OPENINGS
HORIZONTALS CUT STRAIGHT, VERTICALS ARE ROUNDED TO FIT (TYPICAL)
CHAIR RAIL
8' MAX HT. BTWN. CHAIR RAILS TYP.
ALUM. KICKPLATE OPTIONAL, CHAIR RAIL HEIGHT NOT TO EXCEED 25% OF TOTAL WALL HEIGHT
FOR COL HEIGHT SEE TABLES, SHEET 3
ANCHORED TO COLUMN- SEE FASTENING DETAIL S2
SEE FASTENING DETAIL S2
SEE FASTENING DETAIL SHEET S2 FOR CONNECTIONS
VARIABLE DEGREE CORNER POST
45 DEGREE CORNER POST
2.5 X 2 ROUNDED POST
ROOF CONNECTION DETAIL
SCREEN IN SPLINE TYP.
DOOR & JAMB DETAIL
ALUM. CASTING "L" TO FIT AND LOCK MITRES
DOOR HANDLE & LOCK
HINGE
DOOR SWEEP
SHAVE CONNECTOR BRACKET ENDS
Digitally signed by James A Clancy
Date: 2022.06.22 06:42:03 -04'00'
JAMES A. CLANCY, P.E.
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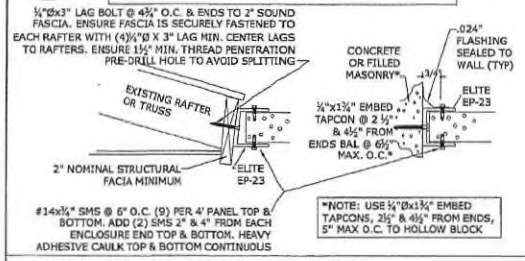
ELITE 2000 ROOF-SCREEN WALL - IBC
MASTER PLAN SHEET
1

ELITE 2000 SCREEN WALL SYSTEM - IBC

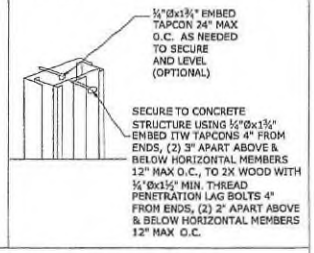
NOTE: DETAILS ARE FOR ILLUSTRATION PURPOSES ONLY; DETAILS ARE NOT SHOWN TO SCALE FOR CLARITY

1a,b / S2 CONNECTION TO STRUCTURE - WOOD OR CONCRETE

**SEE GENERAL NOTE #13 FOR DESIGN PARAMETERS

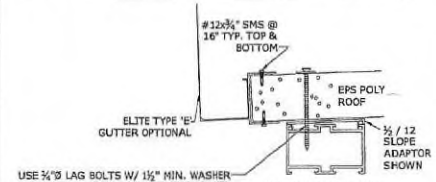


2 / S2 CONNECTION TO EXISTING WALL

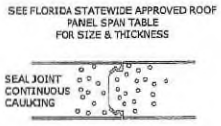


3 / S2 SECTION AT BEARING COLUMN

**SEE GENERAL NOTE #13 FOR DESIGN PARAMETERS



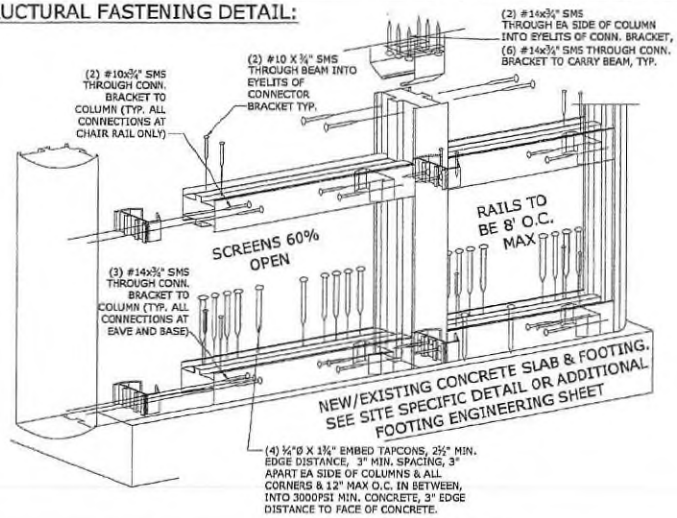
4 / S2 ROOF PANEL CONNECTION FRONT ELEVATION



LAG BOLT SPACING TABLE

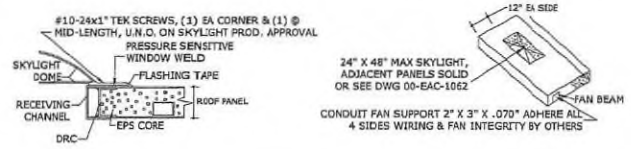
VEL & EXP	LAG SPACING TABLE	
	0.024" SKINS	0.032" SKINS
130B 130C 140B 140C 155B 155C 165B	5.75" O.C. (9)-PER 4' PANEL	6.25" O.C. (8)-PER 4' PANEL
165C 170B 170C	5.25" O.C. (10)-PER 4' PANEL	5.75" O.C. (9)-PER 4' PANEL

STRUCTURAL FASTENING DETAIL:



ROOF PANEL ACCESSORIES

NOTE: CERTIFICATION OF SKYLIGHT BY SEPARATE CERTIFICATION. DETAIL ILLUSTRATES TYPICAL CONNECTION METHODS ONLY. REFER TO ELITE DWG# 00-EAC-1062 FOR FURTHER INFORMATION WHICH GOVERNS.



GENERAL NOTES:

1) THIS STRUCTURE HAS BEEN DESIGNED & COMPLIES WITH THE REQUIREMENTS OF THE 2012 INTERNATIONAL BUILDING CODE & THE 2012 INTERNATIONAL RESIDENTIAL CODE. CONTRACTOR SHALL INVESTIGATE AND CONFORM TO ALL LOCAL BUILDING CODE AMENDMENTS WHICH MAY APPLY. DESIGN CRITERIA OR SPANS BEYOND STATED HEREIN MAY REQUIRE ADDITIONAL SITE SPECIFIC SEALED ENGINEERING. WALL LOADS UP TO V_{ult}=170MPH, EXP 'C' ARE BASED ON RISK CATEGORY I SCREEN LOADS PER IRC TABLE AH106.4(1). ROOF LOADS BASED ON RISK CATEGORY II UP TO V_{ult}=170 MPH, EXP 'C'. ALL WIND LOADS CONSIDER Kd=0.85, Kz=1.0 (FLAT OR UNOBSTRUCTED TERRAIN ONLY), ENCLOSED (Gcpi=+/-0.18), 15' MRH PER ASCE 7-10 AS APPLICABLE. ENCLOSURES DESIGNED AS CATEGORY II PER AAMA/NPEA/NSA 2100.

* V_{asd} MAY BE CALCULATED WITH THE FOLLOWING CONVERSION: $V_{asd}=V_{ult}*\sqrt{0.6}$

** THIS DOCUMENT SHALL NOT BE USED OR REPRODUCED WITHOUT THE ORIGINAL SIGNATURE & RAISED SEAL OF FRANK L. BENNARDO, P.E. & MUST HAVE 'ELITE' IN RED ACROSS THE FACE OF THIS DRAWING. ALTERATIONS, ADDITIONS, OR OTHER MARKINGS TO THIS DOCUMENT ARE NOT PERMITTED AND INVALIDATE OUR CERTIFICATION.

** THE FLORIDA SEAL OF THIS ENGINEER CERTIFIES THIS DOCUMENT IS COMPLIANT WITH GOVERNING CODES LISTED HEREIN. THIS DESIGN UNDER A FLORIDA SEAL SHALL BE USED ONLY WHERE PERMITTED BY LAW AND ACCEPTED.

2) THE EXISTING STRUCTURE MUST BE CAPABLE OF SUPPORTING THE LOADED COMPOSITE ROOF-SCREEN WALL SYSTEM AS DETERMINED BY OTHERS OR BY SPECIAL ENGINEERING BY UNDERSIGNED ENGINEER ATTACHED HERETO. NO WARRANTY IS CONTAINED HEREIN.

3) COMPOSITE ROOF AND WALL MEMBERS SHALL BE CONSTRUCTED USING MINIMUM TYPE 3005-H25 ALUMINUM FACINGS, (1) OR (2) PCF ASTM C-578 CARPENTER BRAND EPS. ADHERE TO ALUMINUM FACINGS WITH ASHLAND CHEMICAL 2020D ISO GRIP. FABRICATION TO BE BY ELITE PRODUCTS ONLY IN ACCORDANCE WITH APPROVED FABRICATION METHODS.

4) ALL EXTRUSIONS SHALL BE ALUMINUM ALLOY TYPE 6063-T6 OR BETTER.

5) ALL FASTENERS TO BE 316 SS, SAE GRADE 5 STEEL MIN, OR CADMIUM PLATED OR OTHER CORROSION RESISTANT MATERIAL AND SHALL COMPLY THE 2010 ALUMINUM DESIGN MANUAL BY THE ALUMINUM ASSOCIATION, INC., & APPLICABLE FEDERAL, STATE, AND LOCAL CODES.

6) FASTENERS SHALL HAVE A HEAD AND/OR BE PROVIDED WITH ½" DIAMETER WASHER MINIMUM UNLESS NOTED OTHERWISE. FOR ALUMINUM MEMBERS ALL ANCHORS SHALL BE SPACED WITH 2xDIAMETER END DISTANCE AND 2.5xDIAMETER MIN. SPACING TO ADJACENT ANCHORS, UNLESS NOTED OTHERWISE.

7) ANY FASTENER STRIPPED OR NOT ADEQUATELY HOLDING SHALL BE REPLACED.

8) THE CONTRACTOR IS RESPONSIBLE TO INSULATE ALUMINUM MEMBERS FROM DISSIMILAR METALS TO PREVENT ELECTROLYSIS.

9) ALL TAPCONS MUST BE ITW CARBON STEEL TAPCONS OR EQUIVALENT W/ 1¾" EMBED, 3" MIN. EDGE DISTANCE, FASTENED TO MINIMUM 3192PSI MIN., UN-CRACKED CONCRETE.

10) IF REQUIRED BY CODE, THE EPS CORE SHALL BE SEPARATED FROM THE BUILDING INTERIOR BY A 15 MINUTE THERMAL BARRIER OF APPROVED 5/8 INCH GYPSUM WALLBOARD OR EQUAL. ELITE CAN PROVIDE UL1715 (INTERIOR) OR CLASS A(EXTERIOR) PANEL TO SATISFY CODE PROVIDED ALUM. & EPS MEET SPECS ABOVE.

11) ALUMINUM MEMBERS IN CONTACT WITH CONCRETE & WOOD SHALL BE PROTECTED BY 'KOPPERS BITUMINOUS PAINT' OR MFR. EQUAL IN ACCORDANCE WITH APPLICABLE CODE REQUIREMENTS.

12) ELECTRICAL GROUND AND ALL RELATED WIRING AND CONSIDERATIONS TO BE DESIGNED BY OTHERS AS REQUIRED.

13) MAXIMUM AVG. COLUMN SPACING = 8FT, MAX COLUMN HEIGHT = 10FT, MAX LIVE LOAD = 30PSF, MAX WIND VELOCITY & EXPOSURE = 170MPH, 'C'. ROOF SPAN PER ELITE APPROVED SPAN TABLES (#00-EAC-1001) BY THIS ENGINEER. SITE SPECIFIC ENGINEERING REQUIRED FOR ANY DETAIL WHICH DEVIATES FROM THIS PLAN OR BEYOND THESE LIMITATIONS. ROOF PANEL ANCHOR DESIGN CONSIDERS ONLY ROOF UPLIFT AND LIVE LOADS. ROOF LOADS HAVE NOT BEEN CONSIDERED TO ACT SIMULTANEOUSLY WITH WALL WIND LOADS.

14) EXISTING WOOD HOST STRUCTURE SHALL BE #2 SYP MIN. EXISTING CONCRETE HOST STRUCTURE SHALL BE 3000 PSI MIN. STRUCTURAL ADHESIVE SHALL HAVE 1500 PSI MIN BOND STRENGTH.

15) THE SYSTEM DETAILED HEREIN IS GENERIC AND DOES NOT PROVIDE INFORMATION FOR A SPECIFIC SITE. FOR SITE CONDITIONS DIFFERENT FROM THE CONDITIONS DETAILED HEREIN, A LICENSED ENGINEER OR REGISTERED ARCHITECT SHALL PREPARE SITE SPECIFIC DOCUMENTS FOR USE IN CONJUNCTION WITH THIS DOCUMENT.

16) ENGINEER SEAL AFFIXED HERETO VALIDATES STRUCTURAL DESIGN AS SHOWN ONLY. USE OF THIS SPECIFICATION BY CONTRACTOR, et al. INDEMNIFIES AND SAVES HARMLESS THIS ENGINEER FOR ALL COSTS AND DAMAGES INCLUDING LEGAL FEES AND APPELLATE FEES RESULTING FROM MATERIAL FABRICATION, SYSTEM ERECTION, AND CONSTRUCTION PRACTICES BEYOND THAT WHICH IS CALLED FOR BY LOCAL, STATE, AND FEDERAL CODES AND FROM DEVIATIONS OF THIS PLAN.

17) EXCEPT AS EXPRESSLY PROVIDED IN THIS SPECIFICATION, NO ADDITIONAL CERTIFICATIONS OR AFFIRMATIONS ARE INTENDED.

18) WIND CATEGORY TABLE AND SEISMIC LATERAL LOAD TO BE SELECTED PER ATTACHED SITE SPECIFIC CONDITIONS OR BY A SITE SPECIFIC DESIGN PROFESSIONAL.

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COCONUT CREEK, FL. 33073

ELITE 2000 ROOF-SCREEN WALL - 1 of 2
MASTER PLAN SHEET

2

TABLE 1: 130MPH, EXPOSURE 'B'

SCREEN WALL COLUMN HEIGHT TABLE: MAX ROOF SPAN = 14'-6"

COLUMN	COLUMN SPACING						
	5'-0"	5'-6"	6'-0"	6'-6"	7'-0"	7'-6"	8'-0"
E2K 2.5 x 2.5 COLUMN	9'-3"	8'-9"	8'-4"	8'-0"	7'-7"	7'-3"	7'-0"
2.5 x 4 POOL COLUMN	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"
2.5 x 6 POOL COLUMN	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"
2.5 x 7 POOL COLUMN	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"
2.5 x 8 POOL COLUMN	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"
2.5 x 9 POOL COLUMN	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"

TABLE 2: 130MPH, EXP 'C', 140MPH, EXP 'B'

SCREEN WALL COLUMN HEIGHT TABLE: MAX ROOF SPAN = 14'-6"

COLUMN	COLUMN SPACING						
	5'-0"	5'-6"	6'-0"	6'-6"	7'-0"	7'-6"	8'-0"
E2K 2.5 x 2.5 COLUMN	8'-6"	8'-0"	7'-7"	7'-3"	7'-0"	6'-8"	6'-5"
2.5 x 4 POOL COLUMN	10'-0"	10'-0"	10'-0"	10'-0"	9'-10"	9'-5"	9'-1"
2.5 x 6 POOL COLUMN	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"
2.5 x 7 POOL COLUMN	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"
2.5 x 8 POOL COLUMN	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"
2.5 x 9 POOL COLUMN	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"

TABLE 3: 140MPH, EXP 'C', 155MPH, EXP 'B'

SCREEN WALL COLUMN HEIGHT TABLE: MAX ROOF SPAN = 14'-6"

COLUMN	COLUMN SPACING						
	5'-0"	5'-6"	6'-0"	6'-6"	7'-0"	7'-6"	8'-0"
E2K 2.5 x 2.5 COLUMN	8'-0"	7'-7"	7'-3"	7'-0"	6'-8"	6'-5"	6'-2"
2.5 x 4 POOL COLUMN	10'-0"	10'-0"	10'-0"	9'-7"	9'-2"	8'-10"	8'-7"
2.5 x 6 POOL COLUMN	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"
2.5 x 7 POOL COLUMN	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"
2.5 x 8 POOL COLUMN	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"
2.5 x 9 POOL COLUMN	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"

TABLE 4: 155MPH, EXP 'C', 165MPH, EXP 'B'

SCREEN WALL COLUMN HEIGHT TABLE: MAX ROOF SPAN = 14'-6"

COLUMN	COLUMN SPACING						
	5'-0"	5'-6"	6'-0"	6'-6"	7'-0"	7'-6"	8'-0"
E2K 2.5 x 2.5 COLUMN	7'-3"	6'-10"	6'-6"	6'-3"	6'-0"	5'-9"	5'-6"
2.5 x 4 POOL COLUMN	10'-0"	9'-5"	9'-0"	8'-8"	8'-4"	8'-0"	7'-9"
2.5 x 6 POOL COLUMN	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"
2.5 x 7 POOL COLUMN	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"
2.5 x 8 POOL COLUMN	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"
2.5 x 9 POOL COLUMN	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"

TABLE 5: 165MPH, EXP 'C'

SCREEN WALL COLUMN HEIGHT TABLE: MAX ROOF SPAN = 14'-6"

COLUMN	COLUMN SPACING						
	5'-0"	5'-6"	6'-0"	6'-6"	7'-0"	7'-6"	8'-0"
E2K 2.5 x 2.5 COLUMN	6'-9"	6'-4"	6'-1"	5'-9"	5'-6"	5'-4"	5'-1"
2.5 x 4 POOL COLUMN	9'-3"	8'-10"	8'-5"	8'-1"	7'-9"	7'-5"	7'-2"
2.5 x 6 POOL COLUMN	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	9'-10"
2.5 x 7 POOL COLUMN	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"
2.5 x 8 POOL COLUMN	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"
2.5 x 9 POOL COLUMN	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"

TABLE 6: 170MPH, EXP 'B'

SCREEN WALL COLUMN HEIGHT TABLE: MAX ROOF SPAN = 14'-6"

COLUMN	COLUMN SPACING						
	5'-0"	5'-6"	6'-0"	6'-6"	7'-0"	7'-6"	8'-0"
E2K 2.5 x 2.5 COLUMN	7'-0"	6'-8"	6'-4"	6'-0"	5'-9"	5'-6"	5'-3"
2.5 x 4 POOL COLUMN	9'-9"	9'-3"	8'-10"	8'-6"	8'-1"	7'-10"	7'-6"
2.5 x 6 POOL COLUMN	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"
2.5 x 7 POOL COLUMN	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"
2.5 x 8 POOL COLUMN	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"
2.5 x 9 POOL COLUMN	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"

TABLE 7: 170MPH, EXP 'C'

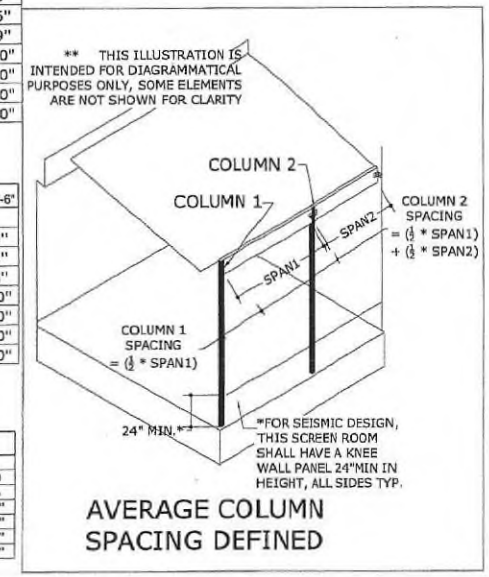
SCREEN WALL COLUMN HEIGHT TABLE: MAX ROOF SPAN = 14'-6"

COLUMN	COLUMN SPACING						
	5'-0"	5'-6"	6'-0"	6'-6"	7'-0"	7'-6"	8'-0"
E2K 2.5 x 2.5 COLUMN	6'-6"	6'-2"	5'-10"	5'-7"	5'-4"	5'-1"	5'-0"
2.5 x 4 POOL COLUMN	9'-0"	8'-6"	8'-2"	7'-9"	7'-6"	7'-2"	7'-0"
2.5 x 6 POOL COLUMN	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	9'-10"	9'-6"
2.5 x 7 POOL COLUMN	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"
2.5 x 8 POOL COLUMN	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"
2.5 x 9 POOL COLUMN	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"

TABLE 8: LATERAL LOAD (EARTHQUAKE)*

SCREEN WALL COLUMN HEIGHT TABLE:

COLUMN	ALLOWABLE LATERAL LOAD PER COLUMN (LBS)							
	480	540	600	660	720	780	840	900
2.5 x 4 POOL COLUMN	5'-2"	4'-9"	4'-6"	4'-3"	4'-1"	N/A	N/A	N/A
2.5 x 6 POOL COLUMN	7'-10"	7'-2"	6'-8"	6'-3"	5'-10"	5'-7"	5'-4"	5'-1"
2.5 x 7 POOL COLUMN	10'-0"	9'-6"	8'-9"	8'-2"	7'-7"	7'-2"	6'-10"	6'-6"
2.5 x 8 POOL COLUMN	10'-0"	10'-0"	10'-0"	9'-4"	8'-9"	8'-3"	7'-9"	7'-5"
2.5 x 9 POOL COLUMN	10'-0"	10'-0"	10'-0"	10'-0"	9'-8"	9'-0"	8'-6"	8'-1"



AVERAGE COLUMN SPACING DEFINED

TABLES 1-8 NOTES:

1) 2010 ALUMINUM DESIGN MANUAL, ALLOWABLE STRESS DESIGN METHOD USED IN ALL TABLES.
2) USE APPROPRIATE TABLE REQUIRED BY THE INTERNATIONAL BUILDING CODE & GOVERNING LOCAL BUILDING CODES. VERIFY REQUIREMENTS WITH BUILDING DEPARTMENT.
3) MAXIMUM ROOF LIVE/SNOW LOAD = 30 PSF & DEFLECTION LIMIT = L/60.
4) MAXIMUM SCREEN WALL COLUMN HEIGHTS NOTED IN TABLES 1-8 .
LOADING CRITERIA CONSIDERED IS AS FOLLOWS: 2 PSF ROOF DEAD LOAD, ROOF WIND LOADS PER IRC 2012 TABLE AH106.4(1)* UP TO V_ult=170 MPH, EXP 'C' OR PER DESIGN CRITERIA DESCRIBED IN GENERAL NOTES. WALL WIND LOADS PER IRC 2012 TABLE AH106.4(1)* UP TO V_ult= 170 MPH, EXP 'C'.
5) COLUMN SPACING IS HALF THE DISTANCE TO THE LEFT ADDED TO HALF THE DISTANCE TO THE RIGHT OF THE COLUMN.
6) VALUES BELOW ALLOWABLE CEILING HEIGHT INTENDED TO BE BUILT ON KNEEWALLS OR OTHER SUPPORTING STRUCTURES (CERTIFIED BY OTHERS)
8)COLUMNS TO BE LATERALLY SUPPORTED EVERY 8' MAX.
9)IF USED, THERMALLY BROKEN COLUMNS SHALL HAVE THEIR MAX. ALLOWABLE HEIGHT REDUCED BY 10% (i.e. 10 FT COLUMN SHALL BE REDUCED TO 9 FT).
10)WIND CATEGORY TABLE AND SEISMIC LATERAL LOAD TO BE SELECTED PER ATTACHED SITE SPECIFIC CONDITIONS OR BY A SITE SPECIFIC DESIGN PROFESSIONAL.

*WIND LOADS ALSO CONSERVATIVELY CONSIDER VALUES DERIVED FROM FBC TABLE 2002.4 WHICH MEET OR EXCEED THE VALUES LISTED PER IRC 2012 TABLE AH106.4(1)

*SEISMIC DESIGN RESTRICTS THE SCREEN ROOM TO A 16'x16' SINGLE ROOM. SEISMIC DESIGN RESTRICTS COLUMN HEIGHTS TO 10'-0". THE TOTAL ALLOWABLE SEISMIC LATERAL LOAD ON THE SINGLE ROOM IS DETERMINED BY THE FOLLOWING:
1)DETERMINE THE NUMBER OF COLUMNS USED ALONG EACH SIDE OF THE SINGLE ROOM.
2)CHOOSE THE SIDE WITH THE LEAST AMOUNT OF COLUMNS.
3)FOR EACH OF THE COLUMNS FROM STEP #2, TAKE THE SUM OF THEIR CORRESPONDING ALLOWABLE LATERAL LOADS (LBS), THIS WILL BE EQUAL THE TOTAL ALLOWABLE LATERAL LOAD (LBS)

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3

END WALL CARRY BEAM CLEAR SPAN TABLE:

TABLE 9: 130MPH, EXPOSURE 'B'

SCREEN WALL CARRY BEAM SPAN TABLE:

BEAM	ROOF CLEAR SPAN						
	8'-0"	9'-0"	10'-0"	11'-0"	12'-0"	13'-0"	14'-6"
E2K 2.5 x 1.5 BEAM	4'-3"	4'-1"	4'-0"	3'-10"	3'-8"	3'-7"	3'-6"
E2K 2.5 x 2.5 BEAM	5'-7"	5'-5"	5'-3"	5'-1"	5'-0"	4'-10"	4'-8"
E2K 2.5 x 4 BEAM	7'-0"	6'-9"	6'-7"	6'-5"	6'-3"	6'-1"	6'-0"
E2K 2.5 x 6 BEAM	8'-0"	7'-9"	7'-7"	7'-5"	7'-3"	7'-2"	7'-0"
E2K 2.5 x 8 BEAM	8'-0"	8'-0"	8'-0"	8'-0"	8'-0"	8'-0"	7'-9"
E2K 2.5 x 10 BEAM	8'-0"	8'-0"	8'-0"	8'-0"	8'-0"	8'-0"	7'-10"

TABLE 10: 130MPH, EXP 'C', 140MPH, EXP 'B'

SCREEN WALL CARRY BEAM SPAN TABLE:

BEAM	ROOF CLEAR SPAN						
	8'-0"	9'-0"	10'-0"	11'-0"	12'-0"	13'-0"	14'-6"
E2K 2.5 x 1.5 BEAM	4'-0"	4'-0"	3'-9"	3'-8"	3'-7"	3'-6"	3'-4"
E2K 2.5 x 2.5 BEAM	5'-4"	5'-2"	5'-0"	5'-0"	4'-9"	4'-8"	4'-6"
E2K 2.5 x 4 BEAM	6'-7"	6'-5"	6'-3"	6'-1"	6'-0"	5'-10"	5'-8"
E2K 2.5 x 6 BEAM	7'-5"	7'-3"	7'-2"	7'-0"	7'-0"	6'-9"	6'-7"
E2K 2.5 x 8 BEAM	8'-0"	8'-0"	8'-0"	7'-9"	7'-8"	7'-6"	7'-4"
E2K 2.5 x 10 BEAM	8'-0"	8'-0"	7'-10"	7'-8"	7'-7"	7'-6"	7'-4"

TABLE 11: 140MPH, EXP 'C', 155MPH, EXP 'B'

SCREEN WALL CARRY BEAM SPAN TABLE:

BEAM	ROOF CLEAR SPAN						
	8'-0"	9'-0"	10'-0"	11'-0"	12'-0"	13'-0"	14'-6"
E2K 2.5 x 1.5 BEAM	3'-10"	3'-9"	3'-7"	3'-6"	3'-5"	3'-4"	3'-3"
E2K 2.5 x 2.5 BEAM	5'-1"	5'-0"	4'-10"	4'-8"	4'-7"	4'-5"	4'-4"
E2K 2.5 x 4 BEAM	6'-3"	6'-1"	6'-0"	5'-9"	5'-8"	5'-6"	5'-5"
E2K 2.5 x 6 BEAM	7'-0"	6'-10"	6'-9"	6'-7"	6'-6"	6'-5"	6'-3"
E2K 2.5 x 8 BEAM	7'-8"	7'-6"	7'-5"	7'-4"	7'-2"	7'-1"	7'-0"
E2K 2.5 x 10 BEAM	7'-6"	7'-5"	7'-3"	7'-2"	7'-1"	7'-0"	7'-0"

TABLE 12: 155MPH, EXP 'C', 165MPH, EXP 'B'

SCREEN WALL CARRY BEAM SPAN TABLE:

BEAM	ROOF CLEAR SPAN						
	8'-0"	9'-0"	10'-0"	11'-0"	12'-0"	13'-0"	14'-6"
E2K 2.5 x 1.5 BEAM	3'-8"	3'-6"	3'-5"	3'-4"	3'-3"	3'-2"	3'-1"
E2K 2.5 x 2.5 BEAM	4'-10"	4'-8"	4'-7"	4'-5"	4'-4"	4'-3"	4'-1"
E2K 2.5 x 4 BEAM	5'-10"	5'-8"	5'-7"	5'-5"	5'-4"	5'-3"	5'-1"
E2K 2.5 x 6 BEAM	6'-6"	6'-4"	6'-3"	6'-2"	6'-1"	6'-0"	5'-10"
E2K 2.5 x 8 BEAM	7'-1"	7'-0"	7'-0"	6'-10"	6'-8"	6'-7"	6'-6"
E2K 2.5 x 10 BEAM	7'-0"	6'-10"	6'-9"	6'-8"	6'-7"	6'-6"	6'-5"

TABLE 13: 165MPH, EXP 'C'

SCREEN WALL CARRY BEAM SPAN TABLE:

BEAM	ROOF CLEAR SPAN						
	8'-0"	9'-0"	10'-0"	11'-0"	12'-0"	13'-0"	14'-6"
E2K 2.5 x 1.5 BEAM	3'-6"	3'-5"	3'-4"	3'-3"	3'-2"	3'-1"	3'-0"
E2K 2.5 x 2.5 BEAM	4'-7"	4'-6"	4'-4"	4'-3"	4'-2"	4'-1"	4'-0"
E2K 2.5 x 4 BEAM	5'-7"	5'-5"	5'-4"	5'-3"	5'-1"	5'-0"	4'-10"
E2K 2.5 x 6 BEAM	6'-2"	6'-1"	6'-0"	5'-10"	5'-9"	5'-8"	5'-7"
E2K 2.5 x 8 BEAM	6'-9"	6'-8"	6'-7"	6'-5"	6'-4"	6'-3"	6'-2"
E2K 2.5 x 10 BEAM	6'-6"	6'-5"	6'-4"	6'-4"	6'-3"	6'-2"	6'-1"

TABLE 14: 170MPH, EXP 'B'

SCREEN WALL CARRY BEAM SPAN TABLE:

BEAM	ROOF CLEAR SPAN						
	8'-0"	9'-0"	10'-0"	11'-0"	12'-0"	13'-0"	14'-6"
E2K 2.5 x 1.5 BEAM	3'-8"	3'-6"	3'-5"	3'-4"	3'-3"	3'-2"	3'-1"
E2K 2.5 x 2.5 BEAM	4'-10"	4'-8"	4'-7"	4'-5"	4'-4"	4'-3"	4'-1"
E2K 2.5 x 4 BEAM	5'-10"	5'-8"	5'-7"	5'-5"	5'-4"	5'-3"	5'-1"
E2K 2.5 x 6 BEAM	6'-5"	6'-4"	6'-3"	6'-2"	6'-1"	6'-0"	5'-10"
E2K 2.5 x 8 BEAM	7'-1"	7'-0"	6'-10"	6'-9"	6'-8"	6'-7"	6'-6"
E2K 2.5 x 10 BEAM	6'-10"	6'-9"	6'-9"	6'-8"	6'-7"	6'-6"	6'-5"

TABLE 15: 170MPH, EXP 'C'

SCREEN WALL CARRY BEAM SPAN TABLE:

BEAM	ROOF CLEAR SPAN						
	8'-0"	9'-0"	10'-0"	11'-0"	12'-0"	13'-0"	14'-6"
E2K 2.5 x 1.5 BEAM	3'-5"	3'-4"	3'-3"	3'-2"	3'-1"	3'-0"	3'-0"
E2K 2.5 x 2.5 BEAM	4'-6"	4'-5"	4'-3"	4'-2"	4'-1"	4'-0"	3'-10"
E2K 2.5 x 4 BEAM	5'-5"	5'-4"	5'-3"	5'-1"	5'-0"	5'-0"	4'-9"
E2K 2.5 x 6 BEAM	6'-0"	6'-0"	5'-10"	5'-9"	5'-8"	5'-7"	5'-5"
E2K 2.5 x 8 BEAM	6'-7"	6'-6"	6'-5"	6'-4"	6'-3"	6'-2"	6'-0"
E2K 2.5 x 10 BEAM	6'-4"	6'-3"	6'-2"	6'-2"	6'-1"	6'-0"	6'-0"

TABLE 16: LATERAL LOAD (EARTHQUAKE)*

SCREEN WALL CARRY BEAM SPAN TABLE:

BEAM	ALLOWABLE LATERAL LOAD PER COLUMN (LB/FT)							
	220	230	240	250	260	270	280	290
E2K 2.5 x 1.5 BEAM	4'-6"	4'-5"	4'-4"	4'-3"	4'-2"	4'-1"	4'-0"	3'-11"
E2K 2.5 x 2.5 BEAM	5'-7"	5'-5"	5'-4"	5'-3"	5'-1"	5'-0"	4'-11"	4'-10"
E2K 2.5 x 4 BEAM	5'-10"	5'-10"	5'-9"	5'-7"	5'-6"	5'-5"	5'-4"	5'-2"
E2K 2.5 x 6 BEAM	5'-10"	5'-9"	5'-7"	5'-6"	5'-5"	5'-4"	5'-2"	5'-1"
E2K 2.5 x 8 BEAM	5'-10"	5'-10"	5'-10"	5'-10"	5'-9"	5'-8"	5'-7"	5'-5"

*ALLOWABLE SCREEN WALL CARRY BEAM SPAN BASED ON EQUIVALENT SEISMIC LATERAL LOAD ACTING AT THE EAVE OF THE COLUMN. SEISMIC DESIGN RESTRICTS CARRY BEAM CLEAR SPANS TO 5'-10" OR LESS.

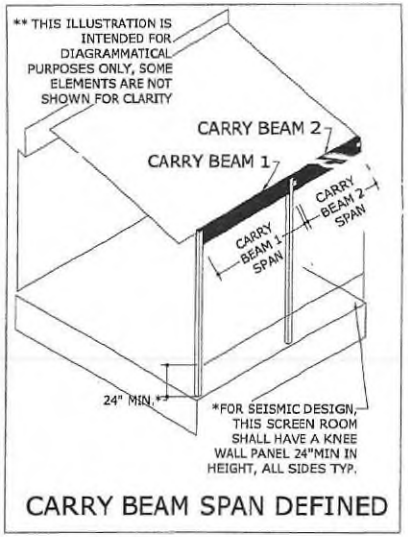
TABLE 17: CHAIR RAIL SPANS

CHAIR RAIL SPAN TABLE

VELOCITIES AND EXPOSURES	CHAIRRAIL MEMBER	MAX SPAN
130MPH - EXP 'B'	HVY 2.5 x 1.5 CHAIR RAIL	8'-0"
	HVY 2.5 x 2.5 CHAIR RAIL	8'-0"
130MPH-EXP 'C' 140MPH-EXP 'B'	HVY 2.5 x 1.5 CHAIR RAIL	8'-0"
	HVY 2.5 x 2.5 CHAIR RAIL	8'-0"
140MPH-EXP 'C' 155MPH-EXP 'B'	HVY 2.5 x 1.5 CHAIR RAIL	8'-0"
	HVY 2.5 x 2.5 CHAIR RAIL	8'-0"
155MPH-EXP 'C' 165MPH-EXP 'B'	HVY 2.5 x 1.5 CHAIR RAIL	8'-0"
	HVY 2.5 x 2.5 CHAIR RAIL	8'-0"
165MPH-EXP 'C'	HVY 2.5 x 1.5 CHAIR RAIL	7'-10"
	HVY 2.5 x 2.5 CHAIR RAIL	8'-0"
170MPH-EXP 'B'	HVY 2.5 x 1.5 CHAIR RAIL	8'-0"
	HVY 2.5 x 2.5 CHAIR RAIL	8'-0"
170MPH-EXP 'C'	HVY 2.5 x 1.5 CHAIR RAIL	7'-7"
	HVY 2.5 x 2.5 CHAIR RAIL	8'-0"
180MPH-EXP 'C'	HVY 2.5 x 1.5 CHAIR RAIL	7'-4"
	HVY 2.5 x 2.5 CHAIR RAIL	8'-0"

TABLE 17 NOTES:

1) ALLOWABLE STRESS DESIGN USED IN ALL TABLES.
2) TABLE 17 SOLVES FOR THE MAXIMUM SPAN OF THE CHAIRRAIL ACCORDING TO THE MAX COLUMN HEIGHTS.
3) COLUMNS TO BE LATERALLY SUPPORTED EVERY 8' MAX.



CARRY BEAM SPAN DEFINED

TABLE 9-16 NOTES:

1) 2010 ALUMINUM DESIGN MANUAL, ALLOWABLE STRESS DESIGN METHOD USED IN ALL TABLES.
2) USE APPROPRIATE TABLE REQUIRED BY THE INTERNATIONAL BUILDING CODE & GOVERNING LOCAL BUILDING CODES. VERIFY REQUIREMENTS WITH BUILDING DEPARTMENT.
3) MAXIMUM ROOF LIVE/SNOW LOAD = 30 PSF & DEFLECTION LIMIT = L/60.
4) MAXIMUM SCREEN WALL BEAM SPANS NOTED IN TABLES 9-16.
5) LOADING CRITERIA CONSIDERED IS AS FOLLOWS: 2 PSF ROOF DEAD LOAD, ROOF WIND LOADS PER IRC 2012 TABLE AH106.4(1)* UP TO V_ult=170, EXP 'C' OR PER DESIGN CRITERIA DESCRIBED IN GENERAL NOTES. WALL WIND LOADS PER IRC 2012 TABLE AH106.4(1)* UP TO V_ult=170 MPH, EXP 'C'.
6) ROOF CLEAR SPAN IS FROM HOST STRUCTURE TO THE CARRY BEAM SUPPORT.
7) 12" MAXIMUM OVERHANG ON FRONT AND SIDES OF ENCLOSURE.
8) WIND CATEGORY TABLE AND SEISMIC LATERAL LOAD TO BE SELECTED PER ATTACHED SITE SPECIFIC CONDITIONS OR BY A SITE SPECIFIC DESIGN PROFESSIONAL.

*WIND LOADS ALSO CONSERVATIVELY CONSIDER VALUES DERIVED FROM FBC TABLE 2002.4 WHICH MEET OR EXCEED THE VALUES LISTED PER IRC 2012 TABLE AH106.4(1)

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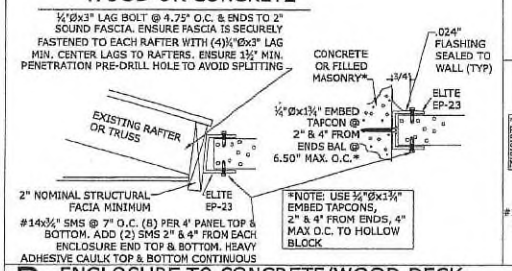
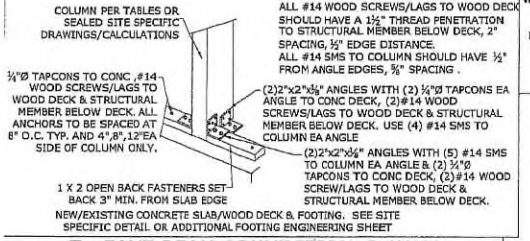
ELITE ROOF/SCREEN WALL MASTER PLAN SHEET

NOTE: DETAILS ARE FOR ILLUSTRATION PURPOSES ONLY; DETAILS ARE NOT SHOWN TO SCALE FOR CLARITY.

A CONNECTION TO STRUCTURE: WOOD OR CONCRETE

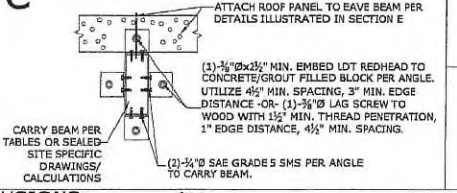


B ENCLOSURE TO CONCRETE/WOOD DECK ANCHORING DETAIL

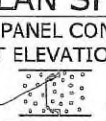


NOTE:
ALL TAPCONS SHOULD HAVE A ⅝"MIN. WASHER TO CONC DECK, 1¾"MIN EMBED, 2" SPACING AND 3" MIN. EDGE DISTANCE.
ALL #14 WOOD SCREWS/LAGS TO WOOD DECK SHOULD HAVE A 1½" THREAD PENETRATION TO STRUCTURAL MEMBER BELOW DECK, 2" SPACING, ½" EDGE DISTANCE.
ALL #14 SMS TO COLUMN SHOULD HAVE ½" FROM ANGLE EDGES, ⅝" SPACING .

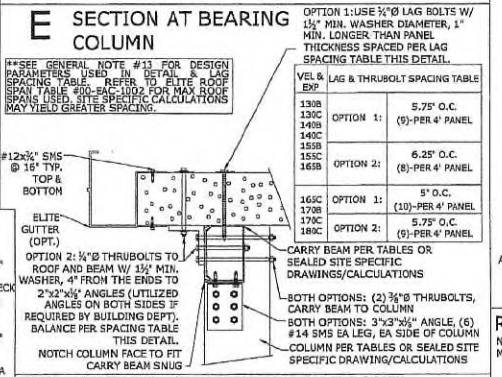
C EAVE BEAM CONNECTION @ WALL



D ROOF PANEL CONNECTION FRONT ELEVATION

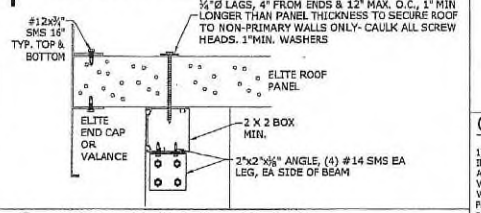


E SECTION AT BEARING COLUMN

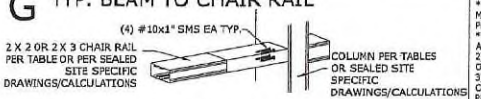


VEL & EXP	LAG & THRUBOLT SPACING TABLE	
130B 130C 140B 140C	OPTION 1:	5.75" O.C. (9)-PER 4' PANEL
155B 155C 165B	OPTION 2:	6.25" O.C. (8)-PER 4' PANEL
165C 170B	OPTION 1:	5" O.C. (10)-PER 4' PANEL
170C 180C	OPTION 2:	5.75" O.C. (9)-PER 4' PANEL

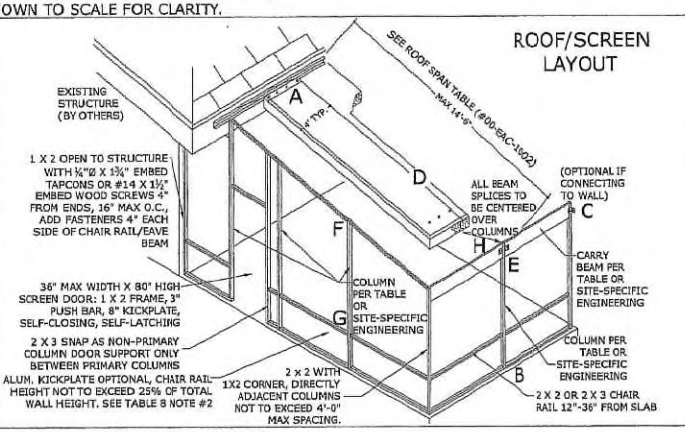
F SECTION AT SIDE OF ROOF PANEL



G TYP. BEAM TO CHAIR RAIL

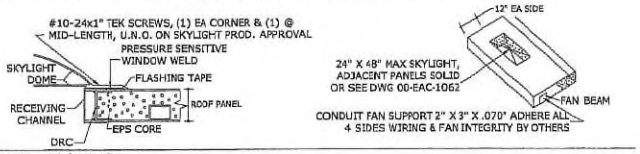


ROOF/SCREEN LAYOUT



ROOF PANEL ACCESSORIES

NOTE: CERTIFICATION OF SKYLIGHT BY SEPARATE CERTIFICATION. DETAIL ILLUSTRATES TYPICAL CONNECTION METHODS ONLY. REFER TO ELITE DWG# 00-EAC-1062 FOR FURTHER INFORMATION WHICH GOVERNS.



GENERAL NOTES:

1) THIS STRUCTURE HAS BEEN DESIGNED & COMPLIES WITH THE REQUIREMENTS OF THE 2012 INTERNATIONAL BUILDING CODE & THE 2012 INTERNATIONAL RESIDENTIAL CODE. CONTRACTOR SHALL INVESTIGATE AND CONFORM TO ALL LOCAL BUILDING CODE AMENDMENTS WHICH MAY APPLY. DESIGN CRITERIA OR SPANS BEYOND STATED HEREIN MAY REQUIRE ADDITIONAL SITE SPECIFIC SEALED ENGINEERING. WALL LOADS UP TO V_{ult}=170MPH, EXP 'C' ARE BASED ON RISK CATEGORY I SCREEN LOADS PER IRC [illegible], ROOF LOADS BASED ON RISK CATEGORY II UP TO V_{ult}=170 MPH, EXP 'C'. ALL WIND LOADS CONSIDER Kd=0.85, Kz=1.0 (FLAT OR UNOBSTRUCTED TERRAIN ONLY), [illegible] (GCpi=+/-0.18), 15' MRH PER ASCE 7-10 AS APPLICABLE. ENCLOSURES DESIGNED AS CATEGORY II PER AAMA/NPEA/NSA 2100. SEISMIC DESIGN HAS [illegible] BEEN CONSIDERED.
* V_{ASD} MAY BE CALCULATED WITH THE FOLLOWING CONVERSION: $V_{ASD}=V_{ult}*\sqrt{0.6}$
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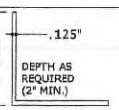
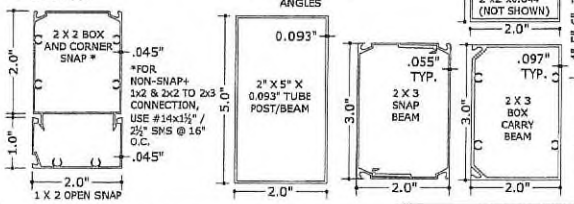
** THE FLORIDA SEAL OF THIS ENGINEER CERTIFIES THIS DOCUMENT IS COMPLIANT WITH GOVERNING CODES LISTED HEREIN. THIS DESIGN UNDER A FLORIDA SEAL SHALL BE USED ONLY WHERE PERMITTED BY LAW AND ACCEPTED.
2) THE EXISTING STRUCTURE MUST BE CAPABLE OF SUPPORTING THE LOADED COMPOSITE ROOF-SCREEN WALL STRUCTURE AS DETERMINED BY OTHERS OR BY SPECIAL ENGINEERING BY UNDERSIGNED ENGINEER ATTACHED HERETO. NO WARRANTY IS CONTAINED HEREIN.
3) COMPOSITE ROOF AND WALL MEMBERS SHALL BE CONSTRUCTED USING MINIMUM TYPE 3005-H25 ALUMINUM FACINGS, (1) OR (2) PCF ASTM C-578 CARPENTER BRAND EPS. ADHERE TO ALUMINUM FACINGS WITH ASHLAND CHEMICAL 2020D ISO GRIP. FABRICATION TO BE BY ELITE PANEL PRODUCTS ONLY IN ACCORDANCE WITH APPROVED FABRICATION METHODS.
4) ALL EXTRUSIONS SHALL BE ALUMINUM ALLOY TYPE 6063-T6 OR BETTER.
5) ALL FASTENERS TO BE 316 SS, SAE GRADE 5 STEEL MIN, OR CADMIUM PLATED OR OTHER CORROSION RESISTANT MATERIAL AND SHALL COMPLY THE 2010 ALUMINUM DESIGN MANUAL BY THE ALUMINUM ASSOCIATION, INC., & APPLICABLE FEDERAL, STATE, AND LOCAL CODES.
6) FASTENERS SHALL HAVE A HEAD AND/OR BE PROVIDED WITH ½" DIAMETER WASHER MINIMUM UNLESS NOTED OTHERWISE. FOR ALUMINUM MEMBERS ALL ANCHORS SHALL BE SPACED WITH 2xDIAMETER END DISTANCE AND 2.5xDIAMETER MIN. SPACING TO ADJACENT ANCHORS, UNLESS NOTED OTHERWISE.
7) ANY FASTENER STRIPPED OR NOT ADEQUATELY HOLDING SHALL BE REPLACED.
8) THE CONTRACTOR IS RESPONSIBLE TO INSULATE ALUMINUM MEMBERS FROM DISSIMILAR METALS TO PREVENT ELECTROLYSIS.
9) ALL TAPCONS MUST BE ITW CARBON STEEL TAPCONS OR EQUIVALENT W/ 1 ¾" EMBED, 3" MIN. EDGE DISTANCE, FASTENED TO MINIMUM 3192PSI MIN., UN-CRACKED CONCRETE.
10) IF REQUIRED BY CODE, THE EPS CORE SHALL BE SEPARATED FROM THE BUILDING INTERIOR BY A 15 MINUTE THERMAL BARRIER OF APPROVED 5/8 INCH GYPSUM WALLBOARD OR EQUAL. ELITE CAN PROVIDE UL1715 (INTERIOR) OR CLASS A(EXTERIOR) PANEL TO SATISFY CODE PROVIDED ALUM. & EPS MEET SPECS ABOVE.
11) ALUMINUM MEMBERS IN CONTACT WITH CONCRETE & WOOD SHALL BE PROTECTED BY 'KOPPERS BITUMINOUS PAINT' OR MFR. EQUAL IN ACCORDANCE WITH APPLICABLE CODE REQUIREMENTS.
12) ELECTRICAL GROUND AND ALL RELATED WIRING AND CONSIDERATIONS TO BE DESIGNED BY OTHERS AS REQUIRED.
13) MAXIMUM AVG. COLUMN SPACING = 8FT, MAX COLUMN HEIGHT = 10FT, MAX LIVE LOAD = 30PSF, MAX WIND VELOCITY & EXPOSURE = 170MPH, 'C'. ROOF SPAN PER ELITE APPROVED SPAN TABLES (#00-EAC-1001) BY THIS ENGINEER. SITE SPECIFIC ENGINEERING REQUIRED FOR ANY DETAIL WHICH DEVIATES FROM THIS PLAN OR BEYOND THESE LIMITATIONS. ROOF PANEL ANCHOR DESIGN CONSIDERS ONLY ROOF UPLIFT AND LIVE LOADS. ROOF LOADS HAVE NOT BEEN CONSIDERED TO ACT SIMULTANEOUSLY WITH WALL WIND LOADS.
14) EXISTING WOOD HOST STRUCTURE SHALL BE #2 SYP MIN. EXISTING CONCRETE HOST STRUCTURE SHALL BE 3000 PSI MIN. STRUCTURAL ADHESIVE SHALL HAVE 1500 PSI MIN BOND STRENGTH.
15) THE SYSTEM DETAILED HEREIN IS GENERIC AND DOES NOT PROVIDE INFORMATION FOR A SPECIFIC SITE. FOR SITE CONDITIONS DIFFERENT FROM THE CONDITIONS DETAILED HEREIN, A LICENSED ENGINEER OR REGISTERED ARCHITECT SHALL PREPARE SITE SPECIFIC DOCUMENTS FOR USE IN CONJUNCTION WITH THIS DOCUMENT.
16) ENGINEER SEAL AFFIXED HERETO VALIDATES STRUCTURAL DESIGN AS SHOWN ONLY. USE OF THIS SPECIFICATION BY CONTRACTOR, et al. INDEMNIFIES AND SAVES HARMLESS THIS ENGINEER FOR ALL COSTS AND DAMAGES INCLUDING LEGAL FEES AND APPELLATE FEES RESULTING FROM MATERIAL FABRICATION, SYSTEM ERECTION, AND CONSTRUCTION PRACTICES BEYOND THAT WHICH IS CALLED FOR BY LOCAL, STATE, AND FEDERAL CODES AND FROM DEVIATIONS OF THIS PLAN.
17) EXCEPT AS EXPRESSLY PROVIDED IN THIS SPECIFICATION, NO ADDITIONAL CERTIFICATIONS OR AFFIRMATIONS ARE INTENDED.
18) WIND CATEGORY TABLE TO BE SELECTED PER ATTACHED SITE SPECIFIC CONDITIONS OR BY A SITE SPECIFIC DESIGN PROFESSIONAL.

EXTRUSIONS:

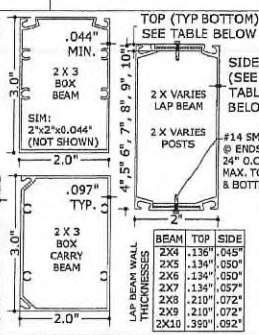
VERIFY FIELD EXTRUSION DIMENSIONS WITH DESIGN DIMENSIONS PRIOR TO USE. ALTERNATE ENGINEERING WILL BE REQUIRED FOR DIMENSIONS LESS THAN THOSE AS SPECIFIED HEREIN. ALL EXTRUSIONS TO BE 6063-T6 ALUMINUM.



POSTS:

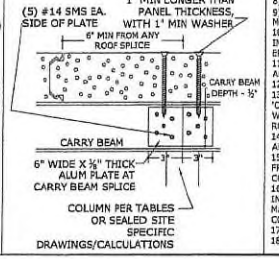


BEAMS:



BEAM	TOP	SIDE
2X4	.136"	.045"
2X5	.134"	.050"
2X6	.134"	.050"
2X7	.134"	.057"
2X8	.210"	.072"
2X9	.210"	.072"
2X10	.390"	.092"

H BEAM SPLICE OVER COLUMN



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Building Innovation ELITE Panel Products

ELITE 2000 ROOF-SCREEN WALL - 18H
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COLUMN ALLOWABLE HEIGHT TABLES:

TABLE 1: 130MPH, EXPOSURE 'B'

SCREEN WALL COLUMN HEIGHT TABLE:

ALLOWABLE COLUMN HEIGHT

COLUMN	COLUMN SPACING						
	5'-0"	5'-6"	6'-0"	6'-6"	7'-0"	7'-6"	8'-0"
2"x5"x.093 BOX COLUMN	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"
2"x6" LAP COLUMN	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"
2"x7" LAP COLUMN	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"
2"x8" LAP COLUMN	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"
2"x9" LAP COLUMN	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"
2"x10" LAP COLUMN	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"

TABLE 2: 130MPH, EXP 'C', 140MPH, EXP 'B'

SCREEN WALL COLUMN HEIGHT TABLE:

ALLOWABLE COLUMN HEIGHT

COLUMN	COLUMN SPACING						
	5'-0"	5'-6"	6'-0"	6'-6"	7'-0"	7'-6"	8'-0"
2"x5"x.093 BOX COLUMN	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"
2"x6" LAP COLUMN	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"
2"x7" LAP COLUMN	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"
2"x8" LAP COLUMN	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"
2"x9" LAP COLUMN	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"
2"x10" LAP COLUMN	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"

TABLE 3: 140MPH, EXP 'C', 155MPH, EXP 'B'

SCREEN WALL COLUMN HEIGHT TABLE:

ALLOWABLE COLUMN HEIGHT

COLUMN	COLUMN SPACING						
	5'-0"	5'-6"	6'-0"	6'-6"	7'-0"	7'-6"	8'-0"
2"x5"x.093 BOX COLUMN	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"
2"x6" LAP COLUMN	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	9'-10"	9'-6"
2"x7" LAP COLUMN	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"
2"x8" LAP COLUMN	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"
2"x9" LAP COLUMN	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"
2"x10" LAP COLUMN	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"

TABLE 4: 155MPH, EXP 'C', 165MPH, EXP 'B'

SCREEN WALL COLUMN HEIGHT TABLE:

ALLOWABLE COLUMN HEIGHT

COLUMN	COLUMN SPACING						
	5'-0"	5'-6"	6'-0"	6'-6"	7'-0"	7'-6"	8'-0"
2"x5"x.093 BOX COLUMN	10'-0"	10'-0"	10'-0"	10'-0"	9'-8"	9'-4"	9'-0"
2"x6" LAP COLUMN	10'-0"	10'-0"	10'-0"	9'-7"	9'-3"	9'-0"	8'-8"
2"x7" LAP COLUMN	10'-0"	10'-0"	10'-0"	10'-0"	9'-8"	9'-4"	9'-0"
2"x8" LAP COLUMN	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"
2"x9" LAP COLUMN	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"
2"x10" LAP COLUMN	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"

TABLE 5: 165MPH, EXP 'C'

SCREEN WALL COLUMN HEIGHT TABLE:

ALLOWABLE COLUMN HEIGHT

COLUMN	COLUMN SPACING						
	5'-0"	5'-6"	6'-0"	6'-6"	7'-0"	7'-6"	8'-0"
2"x5"x.093 BOX COLUMN	10'-0"	10'-0"	9'-9"	9'-4"	9'-0"	8'-9"	8'-5"
2"x6" LAP COLUMN	10'-0"	9'-9"	9'-4"	9'-0"	8'-8"	8'-4"	8'-1"
2"x7" LAP COLUMN	10'-0"	10'-0"	9'-9"	9'-4"	9'-0"	8'-9"	8'-5"
2"x8" LAP COLUMN	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"
2"x9" LAP COLUMN	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"
2"x10" LAP COLUMN	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"

TABLE 6: 170MPH, EXP 'B'

SCREEN WALL COLUMN HEIGHT TABLE:

ALLOWABLE COLUMN HEIGHT

COLUMN	COLUMN SPACING						
	5'-0"	5'-6"	6'-0"	6'-6"	7'-0"	7'-6"	8'-0"
2"x5"x.093 BOX COLUMN	10'-0"	10'-0"	10'-0"	10'-0"	9'-7"	9'-3"	9'-0"
2"x6" LAP COLUMN	10'-0"	10'-0"	10'-0"	9'-6"	9'-2"	9'-0"	8'-7"
2"x7" LAP COLUMN	10'-0"	10'-0"	10'-0"	10'-0"	9'-7"	9'-3"	9'-0"
2"x8" LAP COLUMN	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"
2"x9" LAP COLUMN	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"
2"x10" LAP COLUMN	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"

TABLE 7: 170MPH, EXP 'C'

SCREEN WALL COLUMN HEIGHT TABLE:

ALLOWABLE COLUMN HEIGHT

COLUMN	COLUMN SPACING						
	5'-0"	5'-6"	6'-0"	6'-6"	7'-0"	7'-6"	8'-0"
2"x5"x.093 BOX COLUMN	10'-0"	9'-10"	9'-5"	9'-1"	8'-9"	8'-5"	8'-2"
2"x6" LAP COLUMN	10'-0"	9'-5"	9'-1"	8'-8"	8'-4"	8'-1"	7'-10"
2"x7" LAP COLUMN	10'-0"	9'-10"	9'-5"	9'-1"	8'-9"	8'-5"	8'-2"
2"x8" LAP COLUMN	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"
2"x9" LAP COLUMN	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"
2"x10" LAP COLUMN	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"

AVERAGE COLUMN SPACING DEFINED

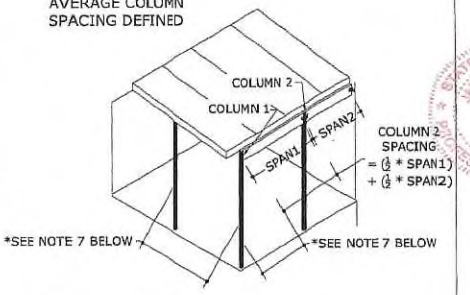

TABLE 1-7 NOTES:

1) 2010 ALUMINUM DESIGN MANUAL , ALLOWABLE STRESS DESIGN METHOD USED IN ALL TABLES.
2) USE APPROPRIATE TABLE REQUIRED BY THE BUILDING CODE REFERENCED IN THE GENERAL NOTES. VERIFY REQUIREMENTS WITH BUILDING DEPARTMENT.
3) DEFLECTION LIMIT = L/60.
4) LOADING CRITERIA CONSIDERED IS AS FOLLOWS: 2PSF ROOF DEADLOAD, ROOF WIND LOADS PER 2012 IRC TABLE AH106.4(1)* UP TO V_{ult}=170 MPH, EXP 'C' OR PER DESIGN CRITERIA DESCRIBED IN GENERAL NOTES, WALL WIND LOADS PER 2012 IRC TABLE AH106.4(1)* UP TO V_{ult}=170 MPH, EXP 'C', SOLID ROOF SNOW/LIVE LOAD = 30 PSF.
5) COLUMN SPACING IS HALF THE DISTANCE TO THE LEFT ADDED TO HALF THE DISTANCE TO THE RIGHT OF THE BEAM (AVERAGE COLUMN SPACING)
6) COLUMNS 8' OR TALLER TO BE LATERALLY SUPPORTED WITH CHAIR RAIL.
7) ADJACENT COLUMNS NOT TO EXCEED 4'-0" SPACING IN BOTH DIRECTIONS FROM CORNER COLUMN ONLY.

*WIND LOADS ALSO CONSERVATIVELY CONSIDER VALUES DERIVED FROM FBC TABLE 2002.4 WHICH MEET OR EXCEED THE VALUES LISTED PER 2012 IRC TABLE AH106.4(1).

TABLE 8: CHAIR RAIL SPANS

VELOCITIES AND EXPOSURES	CHAIRRAIL MEMBER	MAX SPACING
130MPH - EXP 'B'	2"x2"x.044" CHAIRRAIL	6'-4"
	2"x3"x.044" CHAIRRAIL	8'-0"
130MPH-EXP 'C' 140MPH-EXP 'B'	2"x2"x.044" CHAIRRAIL	5'-10"
	2"x3"x.044" CHAIRRAIL	7'-9"
140MPH-EXP 'C' 155MPH-EXP 'B'	2"x2"x.044" CHAIRRAIL	5'-4"
	2"x3"x.044" CHAIRRAIL	7'-1"
155MPH-EXP 'C' 165MPH-EXP 'B'	2"x2"x.044" CHAIRRAIL	4'-10"
	2"x3"x.044" CHAIRRAIL	6'-5"
165MPH-EXP 'C'	2"x2"x.044" CHAIRRAIL	4'-6"
	2"x3"x.044" CHAIRRAIL	6'-0"
170MPH-EXP 'B'	2"x2"x.044" CHAIRRAIL	4'-10"
	2"x3"x.044" CHAIRRAIL	6'-5"
170MPH-EXP 'C'	2"x2"x.044" CHAIRRAIL	4'-5"
	2"x3"x.044" CHAIRRAIL	5'-10"

TABLE 8 NOTES:

1) 2010 ALUMINUM DESIGN MANUAL, ALLOWABLE STRESS DESIGN USED IN ALL TABLES.
2) IF ALUMINUM KICKPLATE OPTION IS USED, CHAIR RAIL SHALL NOT EXCEED 4'-7" IN LENGTH.
3) COLUMNS 8' OR TALLER TO BE LATERALLY SUPPORTED WITH CHAIR RAIL.

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END WALL CARRY BEAM CLEAR SPAN TABLES:

TABLE 9: 130MPH, EXPOSURE 'B'

SCREEN WALL CARRY BEAM SPAN TABLE:

CARRY BEAM SPAN TABLE

BEAM	ROOF CLEAR SPAN						
	8'-0"	10'-0"	12'-0"	13'-0"	13'-6"	14'-0"	14'-6"
Generic 2x3 Snap	4'-4"	4'-4"	4'-1"	4'-0"	4'-0"	3'-10"	3'-9"
2"x3"x.097" BOX	5'-7"	5'-3"	5'-0"	4'-10"	4'-9"	4'-8"	4'-8"
2"x4" LAP BEAM	4'-7"	4'-4"	4'-2"	4'-1"	4'-1"	4'-0"	4'-0"
2"x5"x.093 BOX BEAM	7'-0"	6'-7"	6'-3"	6'-2"	6'-1"	6'-0"	6'-0"
2"x5" LAP BEAM	5'-1"	4'-10"	4'-8"	4'-7"	4'-7"	4'-6"	4'-6"
2"x6" LAP BEAM	5'-2"	5'-0"	4'-10"	4'-9"	4'-8"	4'-8"	4'-8"
2"x7" LAP BEAM	5'-6"	5'-4"	5'-2"	5'-1"	5'-1"	5'-0"	5'-0"
2"x8" LAP BEAM	7'-1"	6'-10"	6'-8"	6'-7"	6'-6"	6'-6"	6'-5"
2"x9" LAP BEAM	7'-2"	7'-0"	6'-9"	6'-8"	6'-8"	6'-7"	6'-7"
2"x10" LAP BEAM	8'-0"	8'-0"	8'-0"	8'-0"	8'-0"	8'-0"	8'-0"

TABLE 10: 130MPH, EXP 'C', 140MPH, EXP 'B'

SCREEN WALL CARRY BEAM SPAN TABLE:

CARRY BEAM SPAN TABLE

BEAM	ROOF CLEAR SPAN						
	8'-0"	10'-0"	12'-0"	13'-0"	13'-6"	14'-0"	14'-6"
Generic 2x3 Snap	4'-0"	4'-0"	4'-0"	3'-10"	3'-10"	3'-9"	3'-8"
2"x3"x.097" BOX	5'-4"	5'-0"	4'-9"	4'-7"	4'-7"	4'-6"	4'-6"
2"x4" LAP BEAM	4'-3"	4'-1"	4'-0"	4'-0"	3'-10"	3'-10"	3'-10"
2"x5"x.093 BOX BEAM	6'-6"	6'-3"	6'-0"	5'-10"	5'-10"	5'-9"	5'-8"
2"x5" LAP BEAM	4'-9"	4'-7"	4'-5"	4'-4"	4'-4"	4'-3"	4'-3"
2"x6" LAP BEAM	4'-10"	4'-8"	4'-6"	4'-5"	4'-5"	4'-5"	4'-4"
2"x7" LAP BEAM	5'-2"	5'-0"	4'-10"	4'-10"	4'-9"	4'-9"	4'-9"
2"x8" LAP BEAM	6'-7"	6'-5"	6'-3"	6'-2"	6'-1"	6'-1"	6'-1"
2"x9" LAP BEAM	6'-8"	6'-6"	6'-4"	6'-3"	6'-3"	6'-2"	6'-2"
2"x10" LAP BEAM	8'-0"	8'-0"	8'-0"	8'-0"	8'-0"	8'-0"	8'-0"

TABLE 11: 140MPH, EXP 'C', 155MPH, EXP 'B'

SCREEN WALL CARRY BEAM SPAN TABLE:

CARRY BEAM SPAN TABLE

BEAM	ROOF CLEAR SPAN						
	8'-0"	10'-0"	12'-0"	13'-0"	13'-6"	14'-0"	14'-6"
Generic 2x3 Snap	3'-8"	3'-8"	3'-8"	3'-8"	3'-8"	3'-8"	3'-7"
2"x3"x.097" BOX	5'-0"	4'-9"	4'-6"	4'-5"	4'-4"	4'-4"	4'-3"
2"x4" LAP BEAM	4'-0"	3'-10"	3'-9"	3'-8"	3'-8"	3'-7"	3'-7"
2"x5"x.093 BOX BEAM	6'-2"	6'-0"	5'-8"	5'-7"	5'-6"	5'-5"	5'-5"
2"x5" LAP BEAM	4'-5"	4'-3"	4'-2"	4'-1"	4'-1"	4'-0"	4'-0"
2"x6" LAP BEAM	4'-6"	4'-4"	4'-3"	4'-2"	4'-2"	4'-2"	4'-1"
2"x7" LAP BEAM	4'-10"	4'-8"	4'-7"	4'-6"	4'-6"	4'-5"	4'-5"
2"x8" LAP BEAM	6'-1"	6'-0"	5'-10"	5'-9"	5'-9"	5'-8"	5'-8"
2"x9" LAP BEAM	6'-2"	6'-1"	6'-0"	5'-10"	5'-10"	5'-10"	5'-9"
2"x10" LAP BEAM	8'-0"	8'-0"	8'-0"	7'-10"	7'-10"	7'-10"	7'-9"

TABLE 12: 155MPH, EXP 'C', 165MPH, EXP 'B'

SCREEN WALL CARRY BEAM SPAN TABLE:

CARRY BEAM SPAN TABLE

BEAM	ROOF CLEAR SPAN						
	8'-0"	10'-0"	12'-0"	13'-0"	13'-6"	14'-0"	14'-6"
Generic 2x3 Snap	3'-4"	3'-4"	3'-4"	3'-4"	3'-4"	3'-4"	3'-4"
2"x3"x.097" BOX	4'-9"	4'-6"	4'-3"	4'-2"	4'-2"	4'-1"	4'-1"
2"x4" LAP BEAM	3'-9"	3'-7"	3'-6"	3'-5"	3'-5"	3'-5"	3'-4"
2"x5"x.093 BOX BEAM	5'-9"	5'-6"	5'-4"	5'-3"	5'-2"	5'-2"	5'-1"
2"x5" LAP BEAM	4'-1"	4'-0"	3'-10"	3'-10"	3'-10"	3'-9"	3'-9"
2"x6" LAP BEAM	4'-2"	4'-0"	4'-0"	4'-0"	3'-10"	3'-10"	3'-10"
2"x7" LAP BEAM	4'-5"	4'-4"	4'-3"	4'-2"	4'-2"	4'-2"	4'-1"
2"x8" LAP BEAM	5'-8"	5'-6"	5'-5"	5'-4"	5'-4"	5'-3"	5'-3"
2"x9" LAP BEAM	5'-8"	5'-7"	5'-6"	5'-5"	5'-5"	5'-4"	5'-4"
2"x10" LAP BEAM	7'-7"	7'-5"	7'-4"	7'-3"	7'-3"	7'-2"	7'-2"

TABLE 13: 165MPH, EXP 'C'

SCREEN WALL CARRY BEAM SPAN TABLE:

CARRY BEAM SPAN TABLE

BEAM	ROOF CLEAR SPAN						
	8'-0"	10'-0"	12'-0"	13'-0"	13'-6"	14'-0"	14'-6"
Generic 2x3 Snap	3'-1"	3'-1"	3'-1"	3'-1"	3'-1"	3'-1"	3'-1"
2"x3"x.097" BOX	4'-7"	4'-4"	4'-1"	4'-0"	4'-0"	4'-0"	4'-0"
2"x4" LAP BEAM	3'-6"	3'-5"	3'-4"	3'-3"	3'-3"	3'-3"	3'-2"
2"x5"x.093 BOX BEAM	5'-5"	5'-3"	5'-1"	5'-0"	5'-0"	5'-0"	4'-10"
2"x5" LAP BEAM	4'-0"	3'-9"	3'-8"	3'-8"	3'-7"	3'-7"	3'-7"
2"x6" LAP BEAM	4'-0"	3'-10"	3'-9"	3'-8"	3'-8"	3'-8"	3'-8"
2"x7" LAP BEAM	4'-2"	4'-1"	4'-0"	4'-0"	4'-0"	4'-0"	4'-0"
2"x8" LAP BEAM	5'-4"	5'-3"	5'-1"	5'-1"	5'-0"	5'-0"	5'-0"
2"x9" LAP BEAM	5'-5"	5'-3"	5'-2"	5'-2"	5'-1"	5'-1"	5'-1"
2"x10" LAP BEAM	7'-2"	7'-0"	7'-0"	6'-10"	6'-10"	6'-10"	6'-9"

TABLE 14: 170MPH, EXP 'B'

SCREEN WALL CARRY BEAM SPAN TABLE:

CARRY BEAM SPAN TABLE

BEAM	ROOF CLEAR SPAN						
	8'-0"	10'-0"	12'-0"	13'-0"	13'-6"	14'-0"	14'-6"
Generic 2x3 Snap	3'-3"	3'-3"	3'-3"	3'-3"	3'-3"	3'-3"	3'-3"
2"x3"x.097" BOX	4'-9"	4'-6"	4'-3"	4'-2"	4'-2"	4'-1"	4'-1"
2"x4" LAP BEAM	3'-9"	3'-7"	3'-6"	3'-5"	3'-5"	3'-5"	3'-4"
2"x5"x.093 BOX BEAM	5'-9"	5'-6"	5'-4"	5'-2"	5'-2"	5'-1"	5'-1"
2"x5" LAP BEAM	4'-1"	4'-0"	3'-10"	3'-10"	3'-9"	3'-9"	3'-9"
2"x6" LAP BEAM	4'-2"	4'-0"	4'-0"	3'-10"	3'-10"	3'-10"	3'-10"
2"x7" LAP BEAM	4'-5"	4'-4"	4'-3"	4'-2"	4'-2"	4'-1"	4'-1"
2"x8" LAP BEAM	5'-7"	5'-6"	5'-4"	5'-4"	5'-4"	5'-3"	5'-3"
2"x9" LAP BEAM	5'-8"	5'-7"	5'-5"	5'-5"	5'-4"	5'-4"	5'-4"
2"x10" LAP BEAM	7'-7"	7'-5"	7'-4"	7'-3"	7'-2"	7'-2"	7'-2"

TABLE 15: 170MPH, EXP 'C'

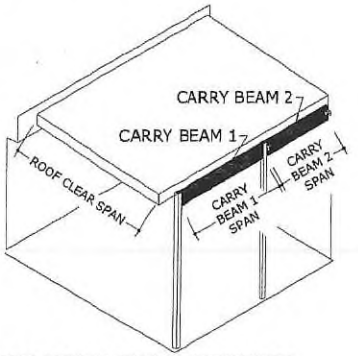
SCREEN WALL CARRY BEAM SPAN TABLE:

CARRY BEAM SPAN TABLE

BEAM	ROOF CLEAR SPAN						
	8'-0"	10'-0"	12'-0"	13'-0"	13'-6"	14'-0"	14'-6"
Generic 2x3 Snap	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"	3'-0"
2"x3"x.097" BOX	4'-5"	4'-3"	4'-0"	4'-0"	4'-0"	3'-10"	3'-10"
2"x4" LAP BEAM	3'-5"	3'-4"	3'-3"	3'-2"	3'-2"	3'-2"	3'-2"
2"x5"x.093 BOX BEAM	5'-4"	5'-2"	5'-0"	4'-10"	4'-10"	4'-10"	4'-9"
2"x5" LAP BEAM	3'-9"	3'-8"	3'-7"	3'-7"	3'-6"	3'-6"	3'-6"
2"x6" LAP BEAM	3'-10"	3'-9"	3'-8"	3'-7"	3'-7"	3'-7"	3'-6"
2"x7" LAP BEAM	4'-1"	4'-0"	4'-0"	3'-10"	3'-10"	3'-10"	3'-10"
2"x8" LAP BEAM	5'-2"	5'-1"	5'-0"	5'-0"	5'-0"	5'-0"	4'-10"
2"x9" LAP BEAM	5'-3"	5'-2"	5'-0"	5'-0"	5'-0"	5'-0"	5'-0"
2"x10" LAP BEAM	7'-0"	6'-10"	6'-9"	6'-8"	6'-8"	6'-8"	6'-7"

TABLE 9-15 NOTES:

1) 2010 ALUMINUM DESIGN MANUAL, ALLOWABLE STRESS DESIGN METHOD USED IN ALL TABLES.
2) USE APPROPRIATE TABLE REQUIRED BY THE BUILDING CODE REFERENCED IN THE GENERAL NOTES. VERIFY REQUIREMENTS WITH BUILDING DEPARTMENT.
3) DEFLECTION LIMIT = L/60.
4) LOADING CRITERIA CONSIDERED IS AS FOLLOWS: 2PSF ROOF DEADLOAD, ROOF WIND LOADS PER 2012 IRC TABLE AH106.4(1)* UP TO V_{ult}=170 MPH, EXP 'C' OR PER DESIGN CRITERIA DESCRIBED IN GENERAL NOTES, WALL WIND LOADS PER 2012 IRC TABLE AH106.4(1)* UP TO V_{ult}=170 MPH, EXP 'C', SOLID ROOF SNOW/LIVE LOAD = 30 PSF.
5) ROOF CLEAR SPAN IS FROM HOST STRUCTURE TO THE CARRY BEAM.
6) 12" MAXIMUM OVERHANG ON FRONT AND SIDES OF ENCLOSURE.
7) COLUMNS 8' OR TALLER TO BE LATERALLY SUPPORTED WITH CHAIR RAIL.



CARRY BEAM SPAN DEFINED

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11/5/21
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ELITE 2000 ROOF-SCREEN WALL - IBC
MASTER PLAN SHEET

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EPS FOAM CORE ROOF PANELS
ALUMINUM / ALUMINUM SKIN

MAXIMUM ALLOWABLE CLEAR SPAN TABLES:

Open & Screened Enclosures 1-lb EPS

Live Load or Uplift	Deflection Limit	3" Panels 0.024" Alum Skin 1-lb EPS	3" Panels 0.032" Alum Skin 1-lb EPS	4" Panels 0.024" Alum Skin 1-lb EPS	4" Panels 0.032" Alum Skin 1-lb EPS	6" Panels 0.024" Alum Skin 1-lb EPS	6" Panels 0.032" Alum Skin 1-lb EPS
10 psf	L / 120	15'-1"	16'-2"	19'-0"	19'-0"	24'-0"	24'-0"
15 psf	L / 120	13'-2"	14'-2"	17'-7"	17'-7"	21'-4"	21'-4"
20 psf	L / 120	12'-0"	12'-10"	15'-11"	15'-11"	19'-5"	19'-5"
25 psf	L / 120	11'-1"	11'-11"	14'-8"	14'-8"	17'-5"	17'-5"
30 psf	L / 120	10'-5"	11'-2"	13'-5"	13'-5"	15'-11"	15'-11"
35 psf	L / 120	9'-11"	10'-6"	12'-5"	12'-5"	14'-9"	14'-9"
40 psf	L / 120	9'-4"	10'-0"	11'-7"	11'-7"	13'-9"	13'-9"
45 psf	L / 120	8'-10"	9'-5"	10'-11"	10'-11"	13'-0"	13'-0"
50 psf	L / 120	8'-4"	8'-11"	10'-4"	10'-4"	12'-4"	12'-4"
55 psf	L / 120	7'-11"	8'-6"	9'-10"	9'-10"	11'-9"	11'-9"
60 psf	L / 120	7'-7"	8'-2"	9'-5"	9'-5"	11'-3"	11'-3"
65 psf	L / 120	7'-4"	7'-10"	9'-0"	9'-0"	10'-10"	10'-10"
70 psf	L / 120	7'-0"	7'-7"	8'-5"	8'-6"	10'-5"	10'-5"
75 psf	L / 120	6'-7"	7'-4"	7'-10"	8'-2"	10'-1"	10'-1"
80 psf	L / 120	6'-2"	6'-11"	7'-4"	7'-11"	9'-9"	9'-9"

Open & Screened Enclosures 2-lb EPS

Live Load or Uplift	Deflection Limit	3" Panels 0.024" Alum Skin 2-lb EPS	3" Panels 0.032" Alum Skin 2-lb EPS	4" Panels 0.024" Alum Skin 2-lb EPS	4" Panels 0.032" Alum Skin 2-lb EPS	6" Panels 0.024" Alum Skin 2-lb EPS	6" Panels 0.032" Alum Skin 2-lb EPS
10 psf	L / 120	17'-5"	17'-5"	20'-3"	20'-10"	24'-0"	24'-0"
15 psf	L / 120	15'-2"	15'-2"	17'-8"	18'-2"	23'-7"	23'-7"
20 psf	L / 120	13'-10"	13'-10"	16'-1"	16'-6"	20'-8"	20'-8"
25 psf	L / 120	12'-10"	12'-10"	14'-8"	15'-4"	18'-6"	18'-6"
30 psf	L / 120	12'-1"	12'-1"	13'-6"	14'-5"	18'-10"	17'-1"
35 psf	L / 120	11'-3"	11'-3"	12'-5"	13'-8"	15'-7"	16'-3"
40 psf	L / 120	10'-6"	10'-8"	11'-7"	13'-1"	14'-7"	15'-6"
45 psf	L / 120	9'-11"	10'-1"	10'-11"	12'-7"	13'-9"	14'-10"
50 psf	L / 120	9'-4"	9'-7"	10'-4"	12'-2"	13'-1"	14'-0"
55 psf	L / 120	8'-11"	9'-1"	9'-10"	11'-9"	12'-5"	13'-5"
60 psf	L / 120	8'-7"	8'-8"	9'-5"	11'-5"	11'-11"	12'-10"
65 psf	L / 120	8'-3"	8'-4"	9'-0"	11'-1"	11'-5"	12'-4"
70 psf	L / 120	7'-11"	8'-1"	8'-7"	10'-10"	11'-0"	11'-10"
75 psf	L / 120	7'-8"	7'-9"	8'-4"	10'-6"	10'-8"	11'-5"
80 psf	L / 120	7'-5"	7'-6"	8'-0"	10'-2"	10'-4"	11'-1"

Enclosed Structures 1-lb EPS

Live Load or Uplift	Deflection Limit	3" Panels 0.024" Alum Skin 1-lb EPS	3" Panels 0.032" Alum Skin 1-lb EPS	4" Panels 0.024" Alum Skin 1-lb EPS	4" Panels 0.032" Alum Skin 1-lb EPS	6" Panels 0.024" Alum Skin 1-lb EPS	6" Panels 0.032" Alum Skin 1-lb EPS
10 psf	L / 180	13'-2"	14'-2"	17'-7"	17'-7"	21'-4"	21'-4"
	L / 240	12'-0"	12'-10"	15'-11"	15'-11"	19'-5"	19'-5"
15 psf	L / 180	11'-6"	12'-4"	15'-4"	15'-4"	18'-8"	18'-8"
	L / 240	10'-5"	11'-2"	13'-11"	13'-11"	16'-11"	16'-11"
20 psf	L / 180	10'-5"	11'-2"	13'-11"	13'-11"	16'-11"	16'-11"
	L / 240	9'-6"	10'-2"	12'-8"	12'-8"	15'-5"	15'-5"
25 psf	L / 180	9'-8"	10'-5"	12'-11"	12'-11"	15'-9"	15'-9"
	L / 240	8'-10"	9'-5"	11'-9"	11'-9"	14'-4"	14'-4"
30 psf	L / 180	9'-1"	9'-9"	12'-2"	12'-2"	14'-10"	14'-10"
	L / 240	8'-3"	8'-11"	11'-1"	11'-1"	13'-5"	13'-5"
35 psf	L / 180	8'-8"	9'-3"	11'-7"	11'-7"	14'-1"	14'-1"
	L / 240	7'-10"	8'-5"	10'-6"	10'-8"	12'-9"	12'-9"
40 psf	L / 180	8'-3"	8'-11"	11'-1"	11'-1"	13'-5"	13'-5"
	L / 240	7'-6"	8'-1"	10'-0"	10'-0"	12'-3"	12'-3"
45 psf	L / 180	8'-0"	8'-6"	10'-7"	10'-7"	12'-11"	12'-11"
	L / 240	7'-3"	7'-9"	9'-8"	9'-8"	11'-9"	11'-9"
50 psf	L / 180	7'-8"	8'-3"	10'-3"	10'-3"	12'-4"	12'-4"
	L / 240	7'-0"	7'-6"	9'-4"	9'-4"	11'-4"	11'-4"
55 psf	L / 180	7'-5"	8'-0"	9'-10"	9'-10"	11'-9"	11'-9"
	L / 240	6'-9"	7'-3"	9'-0"	9'-0"	11'-0"	11'-0"
60 psf	L / 180	7'-3"	7'-9"	9'-5"	9'-5"	11'-3"	11'-3"
	L / 240	6'-7"	7'-1"	8'-9"	8'-9"	10'-8"	10'-8"
65 psf	L / 180	7'-0"	7'-7"	9'-0"	9'-0"	10'-10"	10'-10"
	L / 240	6'-5"	6'-10"	8'-6"	8'-6"	10'-5"	10'-5"
70 psf	L / 180	6'-10"	7'-4"	8'-8"	8'-8"	10'-5"	10'-5"
	L / 240	6'-3"	6'-8"	8'-4"	8'-4"	10'-2"	10'-2"
75 psf	L / 180	6'-7"	7'-2"	7'-10"	8'-2"	10'-1"	10'-1"
	L / 240	6'-1"	6'-6"	7'-10"	7'-10"	9'-11"	9'-11"
80 psf	L / 180	6'-2"	6'-11"	7'-4"	7'-11"	9'-9"	9'-9"
	L / 240	6'-0"	6'-5"	7'-4"	7'-6"	9'-8"	9'-8"

Enclosed Structures 2-lb EPS

Live Load or Uplift	Deflection Limit	3" Panels 0.024" Alum Skin 2-lb EPS	3" Panels 0.032" Alum Skin 2-lb EPS	4" Panels 0.024" Alum Skin 2-lb EPS	4" Panels 0.032" Alum Skin 2-lb EPS	6" Panels 0.024" Alum Skin 2-lb EPS	6" Panels 0.032" Alum Skin 2-lb EPS
10 psf	L / 180	15'-2"	15'-2"	17'-8"	18'-2"	23'-7"	23'-7"
	L / 240	13'-10"	13'-10"	16'-1"	16'-6"	21'-5"	21'-5"
15 psf	L / 180	13'-3"	13'-3"	15'-5"	15'-10"	20'-7"	20'-7"
	L / 240	12'-1"	12'-1"	14'-0"	14'-5"	18'-9"	18'-9"
20 psf	L / 180	12'-1"	12'-1"	14'-0"	14'-5"	18'-9"	18'-9"
	L / 240	10'-11"	10'-11"	12'-9"	13'-1"	17'-0"	17'-0"
25 psf	L / 180	11'-2"	11'-2"	13'-0"	13'-4"	17'-4"	17'-4"
	L / 240	10'-2"	10'-2"	11'-10"	12'-2"	15'-9"	15'-9"
30 psf	L / 180	10'-6"	10'-6"	12'-3"	12'-7"	16'-4"	16'-4"
	L / 240	9'-7"	9'-7"	11'-2"	11'-5"	14'-10"	14'-10"
35 psf	L / 180	10'-0"	10'-0"	11'-8"	11'-11"	15'-6"	15'-6"
	L / 240	9'-1"	9'-1"	10'-7"	10'-10"	14'-1"	14'-1"
40 psf	L / 180	9'-7"	9'-7"	11'-2"	11'-5"	14'-7"	14'-7"
	L / 240	8'-8"	8'-8"	10'-1"	10'-5"	13'-6"	13'-6"
45 psf	L / 180	9'-2"	9'-2"	10'-8"	11'-0"	13'-9"	13'-9"
	L / 240	8'-4"	8'-4"	9'-9"	10'-0"	13'-0"	13'-0"
50 psf	L / 180	8'-10"	8'-10"	10'-3"	10'-7"	13'-1"	13'-1"
	L / 240	8'-1"	8'-1"	9'-5"	9'-8"	12'-6"	12'-6"
55 psf	L / 180	8'-7"	8'-7"	9'-10"	10'-3"	12'-5"	12'-5"
	L / 240	7'-10"	7'-10"	9'-1"	9'-4"	12'-1"	12'-1"
60 psf	L / 180	8'-4"	8'-4"	9'-5"	10'-0"	11'-11"	11'-11"
	L / 240	7'-7"	7'-7"	8'-10"	9'-1"	11'-9"	11'-9"
65 psf	L / 180	8'-1"	8'-1"	9'-0"	9'-9"	11'-5"	11'-8"
	L / 240	7'-5"	7'-5"	8'-7"	8'-10"	11'-5"	11'-5"
70 psf	L / 180	7'-11"	7'-11"	8'-7"	9'-6"	11'-0"	11'-3"
	L / 240	7'-2"	7'-2"	8'-5"	8'-7"	11'-0"	11'-0"
75 psf	L / 180	7'-8"	7'-8"	8'-4"	9'-3"	10'-8"	11'-0"
	L / 240	7'-0"	7'-0"	8'-2"	8'-5"	10'-8"	10'-8"
80 psf	L / 180	7'-5"	7'-5"	8'-0"	9'-1"	10'-4"	10'-9"
	L / 240	6'-11"	6'-11"	8'-0"	8'-3"	10'-4"	10'-4"

MAXIMUM ALLOWABLE DESIGN PRESSURES:

AS NOTED IN CLEAR SPAN TABLES

DESIGN NOTES:

POSITIVE AND NEGATIVE DESIGN PRESSURES CALCULATED FOR USE WITH THIS SYSTEM SHALL BE DETERMINED BY OTHERS ON A JOB-SPECIFIC BASIS IN ACCORDANCE WITH THE GOVERNING CODE. SITE-SPECIFIC PRESSURE REQUIREMENTS AS DETERMINED IN ACCORDANCE WITH ASCE 7-10 & THE GOVERNING CODE SHALL BE LESS THAN OR EQUAL TO THE POSITIVE OR NEGATIVE DESIGN PRESSURE CAPACITY VALUES LISTED HEREIN FOR ANY ASSEMBLY AS SHOWN, WHICH HAVE BEEN CALCULATED PER ALLOWABLE STRESS DESIGN METHODOLOGY.

GENERAL NOTES:

1. THIS SPECIFICATION HAS BEEN DESIGNED AND SHALL BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE 2012 INTERNATIONAL BUILDING CODE & 2012 INTERNATIONAL RESIDENTIAL CODE. CONTRACTOR SHALL INVESTIGATE AND CONFORM TO ALL LOCAL BUILDING CODE AMENDMENTS WHICH MAY APPLY. DESIGN CRITERIA BEYOND AS STATED HEREIN MAY REQUIRE ADDITIONAL SITE-SPECIFIC SEALED ENGINEERING.
2. THE FLORIDA SEAL OF THIS ENGINEER CERTIFIES THIS DOCUMENT IS COMPLIANT WITH GOVERNING CODES LISTED HEREIN. THIS DESIGN UNDER A FLORIDA SEAL SHALL BE USED ONLY WHERE PERMITTED BY LAW AND ACCEPTED. INDIVIDUAL STATE CERTIFICATIONS OTHER THAN FLORIDA ARE AVAILABLE UNDER SEPARATE SEAL ONLY IN STATES TO WHICH WE ARE LICENSED.SEISMIC DESIGN HAS NOT BEEN CONSIDERED.
3. THIS DOCUMENT IS ONLY VALID WITH ORIGINAL SIGNATURE AND SEAL OF FRANK L. BENNARDO, P.E. AND WITH A RED 'ELITE' STAMP ACROSS THE DOCUMENT FACE. ALTERATIONS, ADDITIONS OR OTHER MARKINGS TO THIS DOCUMENT ARE NOT PERMITTED AND INVALIDATE OUR CERTIFICATION.
4. NO 33-1/3% INCREASE IN ALLOWABLE STRESS HAS BEEN USED IN THE DESIGN OF THIS SYSTEM.
5. THE ARCHITECT/ENGINEER OF RECORD FOR THE PROJECT SUPERSTRUCTURE WITH WHICH THIS DESIGN IS USED SHALL BE RESPONSIBLE FOR THE INTEGRITY OF ALL SUPPORTING SURFACES TO THIS DESIGN WHICH SHALL BE COORDINATED BY THE PERMITTING CONTRACTOR.
6. SEPARATE 'SITE-SPECIFIC' SEALED ENGINEERING SHALL BE REQUIRED IN ORDER TO DEVIATE FROM LOADS, DEFLECTIONS, OR SPANS CONTAINED HEREIN. LINEAR INTERPOLATION OF THE ALLOWABLE SPAN TABLES LISTED HEREIN SHALL NOT BE PERMITTED. CONTACT THIS ENGINEER FOR ALTERNATE SPAN CALCULATIONS AS MAY BE REQUIRED.
7. THE CONTRACTOR SHALL CAREFULLY CONSIDER POSSIBLE IMPOSING LOADS ON ROOF, INCLUDING BUT NOT LIMITED TO ANY CONCENTRATED LOADS WHICH MAY JUSTIFY GREATER DESIGN CRITERIA. THIS ADDITIONAL ROOF LOAD CRITERIA SHALL BE PROPERLY ANALYZED BY A LICENSED ENGINEER OR REGISTERED ARCHITECT.
8. EPS CORE COMPOSITE PANELS SHALL BE CONSTRUCTED USING TYPE 3105-H154 ALUMINUM FACINGS. EXPANDED POLYSTYRENE FOAM SHALL HAVE TYPICAL DENSITY OF 1.0 PCF & 2.0 PCF AND SHALL BE MANUFACTURED BY DYPLAST PRODUCTS. THE EPS FOAM SHALL BE ADHERED TO THE ALUMINUM FACING WITH ISOGRIP SP 202 ADHESIVE (BY ASHLAND SPECIALTY). FABRICATION SHALL BE IN ACCORDANCE WITH APPROVED FABRICATION METHODS BY MANUFACTURER FOR ALL PANELS.
9. THE CONTRACTOR IS RESPONSIBLE TO INSULATE ALL MEMBERS FROM DISSIMILAR MATERIALS TO PREVENT ELECTROLYSIS.
10. THE SYSTEM DETAILED HEREIN IS GENERIC AND DOES NOT PROVIDE INFORMATION FOR A SPECIFIC SITE. FOR SITE CONDITIONS DIFFERENT FROM THE CONDITIONS DETAILED HEREIN, A LICENSED ENGINEER OR REGISTERED ARCHITECT SHALL PREPARE SITE SPECIFIC DOCUMENTS FOR USE IN CONJUNCTION WITH THIS DOCUMENT.
11. ENGINEER SEAL AFFIXED HERE TO VALIDATES STRUCTURAL DESIGN AS SHOWN ONLY. USE OF THIS SPECIFICATION BY CONTRACTOR, et. al. INDEMNIFIES & SAVES HARMLESS THIS ENGINEER FOR ALL COST & DAMAGES INCLUDING LEGAL FEES & APPELLATE FEES RESULTING FROM MATERIAL FABRICATION, SYSTEM ERECTION, & CONSTRUCTION PRACTICES BEYOND THAT WHICH IS CALLED FOR BY LOCAL, STATE, & FEDERAL CODES & FROM DEVIATIONS OF THIS PLAN.
12. EXCEPT AS EXPRESSLY PROVIDED HEREIN, NO ADDITIONAL CERTIFICATIONS OR AFFIRMATIONS ARE INTENDED.
13. ALTERATIONS, ADDITIONS OR OTHER MARKINGS TO THIS DOCUMENT ARE NOT PERMITTED AND INVALIDATE THIS CERTIFICATION.

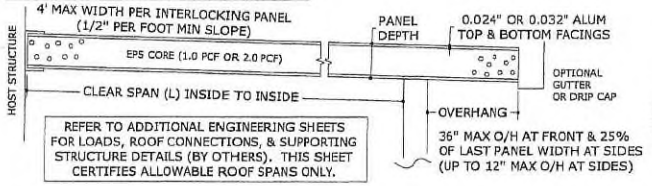
DEFLECTION NOTES:

1. USE L/120 FOR ALL MEMBERS SUPPORTING ROOFS OVER AN OPEN OR SCREEN-WALLED ROOM.
2. USE L/180 FOR ALL MEMBERS SUPPORTING ROOFS WITH A NON-PLASTERED CEILING OVER AN ENCLOSED ROOM.
3. USE L/240 FOR ALL MEMBERS SUPPORTING ROOFS WITH A PLASTERED CEILING OVER AN ENCLOSED ROOM.

OTHER CONSIDERATIONS:

1. FRONT OVERHANG MAY BE UP TO 3'-0" WITH VALUES LISTED HEREIN. MAXIMUM UNSUPPORTED SIDE OVERHANG IS 25% OF LAST PANEL WIDTH (i.e. 12" MAX FOR 48" PANEL WIDTH).
2. ROOF PITCH SHALL BE 1/2:12 MIN.
3. SEPARATE SITE-SPECIFIC SEALED ENGINEERING SHALL BE REQUIRED IN ORDER TO DEVIATE FROM LOADS, DEFLECTIONS, OR SPANS CONTAINED HEREIN. LINEAR INTERPOLATION OF THE TABLE IS NOT PERMITTED. CONTACT THIS ENGINEER FOR ALTERNATE SPAN CALCULATIONS AS MAY BE REQUIRED.
4. DESIGN PRESSURES SHALL BE CALCULATED BY A LICENSED PROFESSIONAL ENGINEER.

EPS ROOF PANEL SPAN DETAIL:



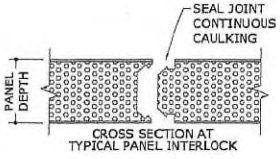


TABLE USE INSTRUCTIONS:

1. DETERMINE TYPE OF ENCLOSURE TO BE COVERED (OPEN, SCREENED WALLS, OR FULLY ENCLOSED).
2. DETERMINE THE SITE SPECIFIC REQUIRED DESIGN LOAD PROVIDED BY SEPARATE ENGINEERING, BY A LICENSED ENGINEER OR REGISTERED ARCHITECT, IN ACCORDANCE WITH THE GOVERNING CODE.
3. FIND ALLOWABLE COMPOSITE PANEL CLEAR SPAN IN TABLES FOR APPROPRIATE PANEL DEPTH, FACING THICKNESS, AND EPS CORE DENSITY SELECTED.

TABLE VALUE DERIVATIONS:

PANEL PROPERTIES:

1. PANEL STRUCTURAL PROPERTIES DERIVED FROM CERTIFIED TEST REPORTS (REPORT Nos. HETI-05-1985, HETI-05-1987, HETI-05-1988, HETI-05-1989, HETI-05-1990, HETI-05-1991, HETI-05-1992, HETI-05-1993, HETI-05-1994, HETI-05-1995, HETI-05-1996, HETI-05-1997, HETI-06-2066, HETI-06-2067, HETI-06-2068, HETI-06-2069, HETI-06-2070, HETI-06-2071, HETI-06-2072, HETI-06-2073, HETI-06-2074, HETI-06T502, HETI-05-2040, HETI-05-2042, HETI-05-2041, HETI-05-2048, HETI-03-1298, HETI-03-1301, HETI-03-1303, HETI-05-2038, HETI-05-2065, HETI-05-2039, HETI-05-2030, HETI-03-1296, HETI-03-1299, HETI-03-1302, HETI-05-2036, HETI-05-2031, HETI-03-1297, HETI-03-1300, HETI-05-2037 & HETI-05-2029 BY HURRICANE ENGINEERING & TESTING, Inc., FL).
2. PANEL DEAD LOADS HAVE BEEN FACTORED INTO CALCULATIONS FOR GRAVITY LOADS AS WELL AS CALCULATIONS FOR PANEL PROPERTIES.

11/5/21

JAMES A. CLANCY, P.E.

CLANCY & ASSOCIATES, INC.
CONSULTING ENGINEERS
601 Asbury Avenue
National Park, NJ 08063
Phone: (856) 853-7306
Fax: (856) 853-7381
www.clancyandassociates.com
clancyassoc@comcast.net

NOTE: JAMES A. CLANCY DOES NOT WORK FOR ELITE ALUMINUM CORPORATION AND IS SIGNING OFF ON THESE STRUCTURAL PLANS FOR LOCAL APPROVAL USE ONLY.

ELITE ALUMINUM CORPORATION
4650 LYONS TECHNOLOGY PARKWAY
COCONUT CREEK, FL 33073

Building Innovation ELITE Panel Products

ELITE 2000 ROOF-SCREEN WALL - IDC

MASTER PLAN SHEET

8

CAMERON GROVE

A SENIOR COMMUNITY SUBDIVISION
PHASE THREE

QUEEN ANNE (7TH) ELECTION DISTRICT
PRINCE GEORGE'S COUNTY, MD

THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
FOR OFFICIAL USE ONLY

APPLICATION NAME: CAMERON GROVE - PHASE III

APPLICATION NO.: SDP-0307-02

SIGNATURE APPROVAL OF THIS PLAN IS IN ACCORDANCE WITH PLANNING DIRECTOR APPROVAL DATED SEPTEMBER 29, 2022.

SIGNATURE APPROVAL DATE:

Jill Kosack Digitally signed by Jill Kosack Date: 2022.09.29 11:45:20 -04'00'

AUTHORIZED SIGNATURE

GENERAL NOTES

1. EXISTING ZONING: R-L
2. PROPOSED DEVELOPMENT: R-L
3. MASTER PLAN AREA: P.A. 74A
4. TAX MAP: MAP 69, GRIDS D-3
5. WSSC MAP: 201NE11, 201NE12
6. ADC MAP: 20 H1,J1,K1,K2 & 21 A1,A2
7. WATER CATEGORY: W-3
8. SEWER CATEGORY: S-3
9. OWNER-DEVELOPER: STAVROU SENIOR COMMUNITIES
10. PLANNER-ENGINEER: DEWBERRY & DAVIS LLC
11. GROSS TRACT AREA: 157.76 AC
12. NET TRACT AREA: 155.55 AC
13. APPROVED TREE CONSERVATION PLAN TYPE I: I/62/97
14. TOPOGRAPHY PREPARED BY: BEN DYER ASSOCIATES.
15. BOUNDARY FOR PHASE THREE CHECKED BY D&D ON MAY 2002.
16. THERE ARE NO CEMETERIES LOCATED ON OR ADJACENT TO THE SITE.
17. NO DESIGNATED HISTORIC PROPERTIES ON OR ADJACENT TO SITE.
18. 10' PUBLIC UTILITY EASEMENT RUNS ALONG ALL PUBLIC RIGHT OF WAY.
19. EXISTING SOIL TYPES: (PGSCD SOILS MAP #23)
    - AdA ADELPHIA FINE SANDY LOAM, 0% TO 2% SLOPES
    - CnB2 COLLINGTON FINE SANDY LOAM, 2% TO 5% SLOPES, MODERATELY ERODED
    - CnD3 COLLINGTON FINE SANDY LOAM, 10% TO 15% SLOPES, SEVERELY ERODED
    - CrB2 COLLINGTON LOAMY FINE SAND, 0% TO 5% SLOPES, MODERATELY ERODED
    - Ma MIXED ALLUVIAL LAND
    - ShA SHREWSBURY FINE SANDY LOAM, 0% TO 5% SLOPES
20. ALL REQUIRED PARKING WILL BE PROVIDED FOR OFF PUBLIC STREETS. ANY ON PUBLIC STREET PARKING S OVERFLOW PARKING NOT COUNTED AS REQUIRED.
21. TRAILS AND PLANNED AMENITIES WITHIN THEIR REPECTIVE PHASES WILL BE CONSTRUCTED DURING PHASE COMPLETION.
22. FILL AREAS:
    - A. CLASS I FILL TO BE PLACED BELOW ALL BUILDINGS.
    - B. CLASS II FILL TO BE PLACED BELOW ALL PAVED AREAS INCLUDING PARKING LOTS, DRIVES, AND SIDEWALKS.
    - C. CLASS III FILL TO BE PLACED IN AREAS THAT WILL REMAIN "GREEN".
23. FOOTINGS TO BE EXTENDED TO EXISTING GROUND WHERE NECESSARY.
24. ROOF AND FOOTING DRAINAGE TO BE DISCHARGED INTO ON-SITE STORM DRAIN SYSTEM.
25. MAX. SLOPE: 3:1 MIN. SLOPE 2.5% (2% SODDED SWALE).
26. CONCRETE CURB AND GUTTER SHALL BE IN ACCORDANCE WITH PRINCE GEORGE'S COUNTY STANDARD DETAIL #300.01.
27. SPILL GUTTERS ON ALL HIGH SIDE CURB AND GUTTER.
28. ALL STRUCTURES SHALL BE FULLY EQUIPED WITH A FIRE SUPPRESSION SYSTEM BUILT IN ACCORDANCE WITH NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) STANDARD 13 AND ALL APPLICABLE COUNTY CODES AND REGULATIONS.
29. WATER AND SEWER SERVICE FOR THIS SITE WILL BE PROVIDED BY CONNECTING TO THE EXISTING PUBLIC WATER AND SEWER SYSTEMS.
30. NO MARLBORO CLAYS EXIST ON THIS PORTION OF CAMERON GROVE.
31. ALL YARDS PUBLIC OR PRIVATE TO BE MAINTAINED BY HOMEOWNERS ASSOCIATION.
32. CONCEPTUAL STORMWATER MANAGEMENT APPROVAL NUMBER: 9980302660.
33. ALL SIDEWALKS, RAMPS, AND TRAILS TO MEET ADA REQUIREMENTS.

SITE DATA

1. ZONING R-L (COZ)
2. AREA
   - GROSS (PHASE 3) AREA: 61.17 AC.
   - FLOODPLAIN (PHASE 3): 0 AC.
   - NET: 61.17 AC.
   - WETLAND (PHASE 3) AREA: 0 AC.
3. NUMBER OF UNITS

	PRE-LIMINARY PLAN	SDP			
PHASE I	278	272	(88 SINGLE-FAMILY ATTACHED	0 SINGLE-FAMILY DETACHED	184 MULTI-FAMILY)
PHASE II	244	243	(105 SINGLE-FAMILY ATTACHED	0 SINGLE-FAMILY DETACHED	138 MULTI-FAMILY)
PHASE III	334	350	(143 SINGLE-FAMILY ATTACHED)	82 SINGLE-FAMILY DETACHED	150 MULTI-FAMILY)
TOTAL	856	735	(286 SINGLE-FAMILY ATTACHED	113 SINGLE-FAMILY DETACHED	334 MULTI-FAMILY)

TOTAL DWELLING UNITS FOR PHASE I, II, III: 463

4. APPROVED RANGE OF UNITS PER CDP-9705, CDP-9705/02

PHASE I	25-300 MULTI-FAMILY & SINGLE FAMILY ATTACHED DWELLINGS
PHASES II & III	70-310 SINGLE-FAMILY ATTACHED DWELLINGS
	40-170 SINGLE-FAMILY DETACHED DWELLINGS
	30-150 MULTI-FAMILY DWELLINGS

*TOTAL NOT TO EXCEED 588 DWELLING UNITS IN PHASE II & III

4. LOT STANDARDS

COTTAGE LOT STANDARDS

MINIMUM LOT SIZE	2,500 SQUARE FEET
MAXIMUM HEIGHT	36'
MINIMUM FRONT YARD	10 FEET
MINIMUM PROPERTY LINE TO GARAGE	20 FEET
MINIMUM SIDE YARD	0' MIN AT ZERO LOTS/6' OPPOSITE SIDE
MINIMUM REAR YARD	10 FEET
LOT COVERAGE	80%

FROM ANY PORTION OF ANY BUILDING TO ANY PUBLICLY DEDICATED STREET MINIMUM SETBACK IS 15'

SINGLE FAMILY DETATCHED LOT STANDARDS

MINIMUM LOT SIZE	6,000 SQUARE FEET
MAXIMUM LOT COVERAGE	75%
MAXIMUM HEIGHT	36'
MINIMUM FRONT YARD	15 FEET
MINIMUM PROPERTY LINE TO GARAGE	20 FEET
MINIMUM SIDE YARD	6 FEET
MINIMUM REAR YARD *	10 FEET *

* DECKS AND PATIOS MAY EXTEND UP TO 4 FEET BEYOND REAR BUILDING RESTRICTION LINE

APARTMENT/CONDOMINIUM LOT STANDARDS

MAXIMUM LOT COVERAGE	80%
MAXIMUM HEIGHT	70'
MINIMUM FRONT YARD ***	15 FEET**
MINIMUM SIDE YARD ***	15 FEET**
MINIMUM REAR YARD	15 FEET**
MINIMUM PARKING SETBACK TO PUBLIC ROW	20 FEET *

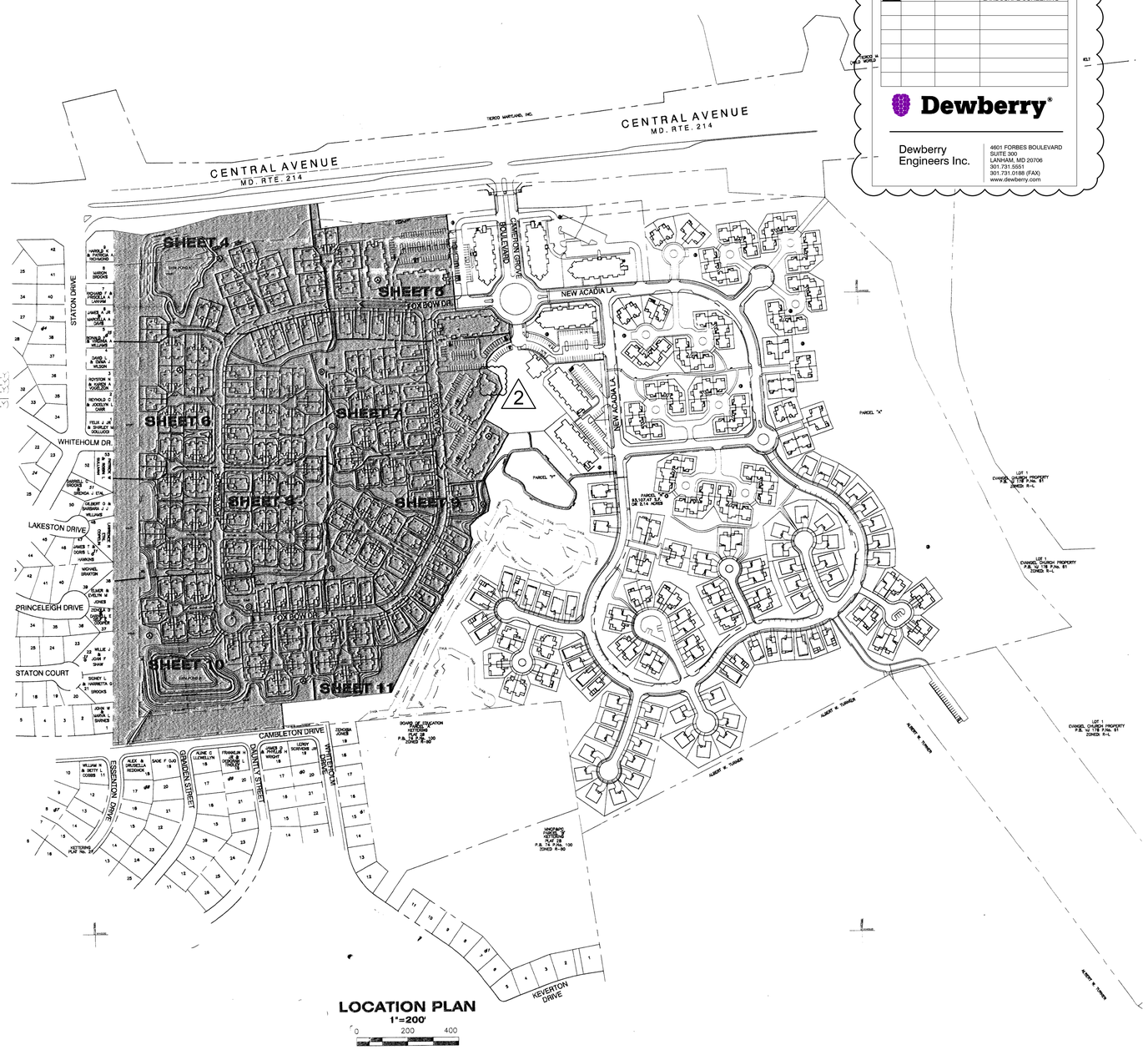
* WHEN THESE LOTS ARE ADJACENT TO LOTS WITH THE SAME USE THE PARKING SETBACK IS 0 FEET
**FROM ANY PORTION OF ANY BUILDING EXCEPT FOR AWNINGS AND CANOPIES AT ENTRANCES TO ANY PUBLICLY DEDICATED STREET MINIMUM SETBACK IS 15 FEET
*** MINIMUM FRONT AND SIDE YARDS 10 FEET FOR LOT 129.

I HEREBY CERTIFY THAT THE GRADING SHOWN ON THIS PLAN CONFORMS TO SUBTITLE 4, DIVISION 3 OF THE PRINCE GEORGE'S COUNTY CODE.

CERTIFICATE OF COMPLIANCE

I CERTIFY THAT MYSELF OR A REPRESENTATIVE OF OUR FIRM UNDER MY SUPERVISION HAS INSPECTED THIS SITE AND THAT DRAINAGE ONTO THIS SITE FROM OTHER UPGRADE PROPERTIES, AND FROM THIS SITE ONTO OTHER DOWNGRADE PROPERTIES HAS BEEN ADDRESSED IN SUBSTANTIAL ACCORDANCE WITH APPLICABLE CODES.

REG. STORM. ENGINEER — DATE 3/12/09



LOCATION PLAN
1"=200'
0 200 400

CALL "MISS UTILITY"
1-800-257-7777
FOR UTILITY LOCATIONS AT LEAST 48 HOURS BEFORE BEGINNING CONSTRUCTION

BASE INFORMATION AS SHOWN FROM CAMERON GROVE PHASE 3, SPECIFIC DESIGN PLANS, DEWBERRY & DAVIS LLC - NOVEMBER 18, 2008 - SDP-0307-01

FOR REVISION 2 ONLY

STATE OF MARYLAND — No. 4006 — REGISTERED PROFESSIONAL ENGINEER

PROFESSIONAL CERTIFICATION:
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.

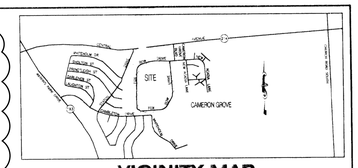
LICENSE NO. 4006

EXPIRATION DATE: 10.19.23

2	2/15/22	AS	PROPOSED GENERATOR, LANDSCAPE SCREENING

Dewberry

Dewberry Engineers Inc.
4601 FORBES BOULEVARD
SUITE 300
LANHAM, MD 20706
301.731.5551
301.731.0188 (FAX)
www.dewberry.com



VICINITY MAP
SCALE: 1" = 2000'
P.G. CO. STREET MAP #20, H1-H2,J1-J2,K1-K2

SHEET INDEX

1.	COVER
2-3.	APPROVALS
4-7.	PLAN SHEETS
7.1	CONSTRUCTION DETAILS
8-11.	PLAN SHEETS

FRONT FACADE TRACKING
80 % REQUIRED PER UNIT

LOT #	BLOCK	BRICK	NON-BRICK
132	A	X	
133	A	X	
134	A	X	
135	A	X	
136	A	X	
137	A	X	
138	A	X	
139	A	X	
140	A	X	
141	A	X	
142	A	X	
143	A	X	
144	A	X	
145	A	X	
146	A	X	
147	A	X	
148	A	X	
149	A	X	
150	A	X	
151	A	X	
152	A	X	
153	A	X	
154	A	X	
155	A	X	
156	A	X	
157	A	X	
158	A	X	
159	A	X	
160	A	X	
161	A	X	
162	A	X	
163	A	X	
164	A	X	
165	A	X	
166	A	X	
167	A	X	
168	A	X	
169	A	X	
170	A	X	
171	A	X	
172	A	X	
173	A	X	
174	A	X	
175	A	X	
176	A	X	
177	A	X	
178	A	X	
179	A	X	
180	A	X	
181	A	X	
182	A	X	
183	A	X	
184	A	X	
185	A	X	
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219	A	X	
220	A	X	
221	A	X	
222	A	X	
223	A	X	
224	A	X	
225	A	X	
226	A	X	
227	A	X	
228	A	X	
229	A	X	
230	A	X	

FRONT FACADE TRACKING
80 % REQUIRED PER UNIT

LOT #	BLOCK	BRICK	NON-BRICK
1	D	X	
2	D	X	
3	D	X	
4	D	X	
5	D	X	
6	D	X	
7	D	X	
8	D	X	
9	D	X	
10	D	X	
11	D	X	
12	D	X	
13	D	X	
14	D	X	
15	D	X	
16	D	X	
17	D	X	
18	D	X	
19	D	X	
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91	D	X	
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93	D	X	
94	D	X	
95	D	X	
96	D	X	
97	D	X	
98	D	X	
99	D	X	
100	D	X	
101	D	X	

PARKING SCHEDULE

LOT 129, BLOCK "A"
PARKING AT LOT 129, BLOCK "A", 30 UNIT CONDOMINIUM BUILDING
REQUIRED PARKING @ 0.66 SPACES PER UNIT = 20 SPACES
PROVIDED PARKING = 35 SPACES
REGULAR SPACES @ 9.5'x19' = 24 SPACES
COMPACT SPACES @16.5'x8 = 7 SPACES
H.C. SPACES @ 8'x19' = 4 SPACES
TOTAL = 35 SPACES
LOADING SPACE REQUIRED: NONE
LOADING SPACE PROVIDED: NONE

LOT 130, BLOCK "A"
PARKING AT LOT 130, BLOCK "A", 32 UNIT CONDOMINIUM BUILDING
REQUIRED PARKING @ 0.66 SPACES PER UNIT = 22 SPACES
PROVIDED PARKING = 31 SPACES
REGULAR SPACES @ 9.5'x19' = 28 SPACES
H.C. SPACES @ 8'x19' = 2 SPACES
TOTAL = 30 SPACES
LOADING SPACE REQUIRED: NONE
LOADING SPACE PROVIDED: NONE

LOT 131, BLOCK "A"
PARKING AT LOT 131, BLOCK "A", 32 UNIT CONDOMINIUM BUILDING
REQUIRED PARKING @ 0.66 SPACES PER UNIT = 22 SPACES
PROVIDED PARKING = 25 SPACES
REGULAR SPACES @ 9.5'x19' = 23 SPACES
H.C. SPACES @ 8'x19' = 2 SPACES
TOTAL = 25 SPACES
LOADING SPACE REQUIRED: NONE
LOADING SPACE PROVIDED: NONE

LOT 231, BLOCK "A"
PARKING AT LOT 231, BLOCK "A", 24 UNIT CONDOMINIUM BUILDING
REQUIRED PARKING @ 0.66 SPACES PER UNIT = 16 SPACES
PROVIDED PARKING = 42 SPACES
REGULAR SPACES @ 9.5'x19' = 40 SPACES
H.C. SPACES @ 8'x19' = 2 SPACES
TOTAL = 42 SPACES
LOADING SPACE REQUIRED: NONE
LOADING SPACE PROVIDED: NONE

LOT 232, BLOCK "A"
PARKING AT LOT 232, BLOCK "A", 32 UNIT CONDOMINIUM BUILDING
REQUIRED PARKING @ 0.66 SPACES PER UNIT = 22 SPACES
PROVIDED PARKING = 36 SPACES
REGULAR SPACES @ 9.5'x19' = 34 SPACES
H.C. SPACES @ 8'x19' = 2 SPACES
TOTAL = 36 SPACES
LOADING SPACE REQUIRED: NONE
LOADING SPACE PROVIDED: NONE

DUPLEXES
REQUIRED PARKING @2.04 PER UNIT = 302
PROVIDED PARKING ON LOT (GARAGE) = 148
PROVIDED PARKING ON DRIVEWAY(S) = 158
PROVIDED PARKING ON STREET = 103
TOTAL = 308

SDP-0307/01

M.N.C.P.P.C. APPROVALS

PROJECT NAME: CAMERON GROVE – PHASE III
PROJECT NUMBER: SDP-0307

For Donation of Approval see Site Plan Cover Sheet of Approval
Tie Revisions Listed Below Apply to this Sheet

Approval or Revision #	Approval Date	Reviewer's Signature	Certification Date
01	12.4.08 11-12-08	R.C. RC	3-10-09 11-10-08

Dewberry & Davis LLC
A Dewberry Company
10003 DEREKWOOD LANE
LANHAM, MD 20706
PHONE: (301) 731-5551
FAX: (301) 731-0188

OWNER
CAMERON GROVE ASSOCIATES
5100 FORBES BOULEVARD, SUITE 101
LANHAM, MD 20706
TEL (301) 577-6610 FAX (301) 577-6613

DEVELOPER
CAMERON GROVE ASSOCIATES
5100 FORBES BOULEVARD, SUITE 101
LANHAM, MD 20706
TEL (301) 577-6610 FAX (301) 577-6613

CAMERON GROVE PHASE III
PRINCE GEORGE'S COUNTY
MARYLAND
QUEEN ANNE (7TH) ELECTION DISTRICT
TAX MAP 69, PARCEL 21
200' MAP REFERENCE: 201NE11 & 201NE12

SEAL

STATE OF MARYLAND — 21324 — PERSONAL SEAL — 1/30/09

CONTACT INFO

CASEY WEISMAN
WEISMAN ELECTRIC CO.
410.266.3522

SCALE
AS SHOWN

No.	DATE	BY	Description
3	12/9/03	D&D	MNCPPC COMMENTS
2	10/13/03	D&D	MNCPPC
1	9/03	D&D	PER MNCPPC REVIEW COMMENT

REVISIONS

DRAWN BY	SWK
APPROVED BY	MRS
CHECKED BY	AV
DATE	FEB 2003

TITLE
SPECIFIC DESIGN PLAN COVER SHEET

PROJECT NO. CW293

SHEET NO. 1 OF 11

CERTIFICATE OF APPROVAL

CAMERON GROVE, PHASE 3
SDP-0307

The resolution for this Specific Design Plan was approved on December 4, 2003, by the Prince George's County Planning Board in accordance with Subtitle 27, Part 8, Division 4 of the Prince George's County Code. The official decision of this case is embodied in Prince George's County Planning Board Resolution No. 03-242, which contains the conditions listed below:

1. Prior to certification of the specific design plan the applicant shall submit to the Environmental Planning Section a letter of agreement from the residents of Kettering Lots 1-8, Block "33," or a letter of agreement from the Kettering Civic Association indicating that the proposed clearing, grading, and reforestation of the 100-foot nondisturbance buffer is an acceptable alternative for correcting the drainage problem. In the event a letter of agreement cannot be obtained, the TCPII shall be revised to eliminate the proposed clearing in the 100-foot non-disturbance buffer.

2. Prior to certification of Specific Design Plan SDP-0307, the Type II Tree Conservation Plan, TCPII/15/03, shall be revised as follows:

   a. Increase the proportion of large caliper planting stock in Reforestation Area #1 to account for 75 percent of the total plant units. If additional large caliper planting stock greater than one-inch caliper is not used, the plan shall be revised to add permanent fencing along the exterior perimeter of Reforestation Area #1 and add a fence detail to the plans.

   b. Provide a letter of agreement from the Kettering neighborhood accepting the proposed woodland clearing in the 100-foot nondisturbance buffer or revise the TCPII to eliminate all woodland clearing in the nondisturbance buffer.

   c. Add planting details for the seedling planting.

   d. Add a five-year reforestation management plan addressing, but not limited to, preplanting site preparation, follow-up vegetative control, watering requirements, survival checks, and support planting.

   e. Revise the woodland conservation worksheet as needed after the above revisions have been made to the plans.

   f. The qualified professional, licensed landscape architect, or licensed forester that prepared the plans shall stamp, sign and date the Type II Tree Conservation Plan.

3. Prior to certification of the Specific Design Plan, SDP-0307:

   a. The exact location of the noise attenuation fence shall be shown on the specific design plan and the Type II Tree Conservation Plan.

   b. The applicant shall list the design standards for the proposed project as determined and approved by the Planning Board in the comprehensive design plan approval process.

This approval includes:

1	Cover Sheet
1	Approval Sheet
1	Specific Design Plan Template Sheet
8	Specific Design Plans
1	Landscape and Lighting Cover Sheet
8	Landscape and Lighting Plans
2	Landscape and Lighting Notes and Details
37	Architectural Elevations
11	Tree Conservation Plans

Any departure from this plan shall be resubmitted to the Planning Board for approval.

This Specific Design Plan is valid for 6 years, until December 4, 2009, or as provided for in Section 27-528.

CERTIFIED BY AUTHORITY OF:
The Prince George's County Planning Board

Signed: _____
Steven D. Adams, Urban Design Supervisor

CERTIFICATE OF APPROVAL

CAMERON GROVE - PHASE III
SDP-0307-02

This amendment to a Specific Design Plan was approved on October 4, 2022, by the Development Review Division as designee of the Planning Director, in accordance with prior Subtitle 27, Part 8, Division 4, of the Prince George's County Code.

The purpose of this amendment is for the addition of a new diesel-powered generator and associated site work.

The Planning Director's approval of this Specific Design Plan is consistent with the required findings in Section 27-530(b) of the Prince George's County Zoning Ordinance. The conditions of the original approval shall remain in full force and effect.

This approval includes:

1	Cover Sheet
1	Approval Sheet
2	Specific Design Plans
3	Landscape Plans

Any departure from this plan shall be resubmitted to the Planning Board for approval.

CERTIFIED ON: 10/04/2022 **BY AUTHORITY OF:**
The Prince George's County Planning Board

Signed: Andrew Green Checkley — Digitally signed by Andrew Green Checkley, Date: 2022.10.04 14:21:21 -04'00'
Andrew Green Checkley, Esq.
Planning Director
Prince George's County Planning Department

CERTIFICATE OF APPROVAL

CAMERON GROVE PHASE II
SDP-0307/01

This revision to a Specific Design Plan was approved on November 12, 2008 by the Development Review Division as designee of the Planning Director in accordance with Subtitle 27, Part 8, Division 4 of the Prince George's County Code.

This revision is for the purpose of the addition of two retaining walls on Parcel R-R and the removal of the picket fence on lots 209-210 and 213-215, Block A.

The Planning Director's approval of this Specific Design Plan is consistent with the required findings in Section 27-530(b) of the Prince George's County Zoning Ordinance. Conditions of the original approval shall remain in full force and effect.

This approval includes:

1	Cover Sheet
1	Approval Sheet
2	Specific Design Plans
2	Landscape Plans

Any departure from this Plan shall be resubmitted to the Planning board for approval

APPROVED BY AUTHORITY OF: Fern V. Piret, Planning Director

By _____
Steven D. Adams
Urban Design Supervisor, Development Review Division

I HEREBY CERTIFY THAT THE GRADING SHOWN ON THIS PLAN CONFORMS TO SUBTITLE 4, DIVISION 3 OF THE PRINCE GEORGE'S COUNTY CODE.

CERTIFICATE OF COMPLIANCE

I CERTIFY THAT MYSELF OR A REPRESENTATIVE OF OUR FIRM UNDER MY SUPERVISION HAS INSPECTED THIS SITE AND THAT DRAINAGE ONTO THIS SITE FROM OTHER UPGRADE PROPERTIES, AND FROM THIS SITE ONTO OTHER DOWNGRADE PROPERTIES HAS BEEN ADDRESSED IN SUBSTANTIAL ACCORDANCE WITH APPLICABLE CODES.

REGISTERED ENGINEER — DATE 3/12/04

2 BASE INFORMATION AS SHOWN FROM CAMERON GROVE PHASE 3, SPECIFIC DESIGN PLANS, DEWBERRY & DAVIS LLC - NOVEMBER 18, 2008 - SDP-0307-01

FOR REVISION ⚠2 ONLY

PROFESSIONAL CERTIFICATION:
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NO. 4006

EXPIRATION DATE: 10.19.23

⚠2	2/15/22	AS	PROPOSED GENERATOR, LANDSCAPE SCREENING

Dewberry

Dewberry Engineers Inc.
4601 FORBES BOULEVARD
SUITE 300
LANHAM, MD 20706
301.731.5551
301.731.0188 (FAX)
www.dewberry.com

THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
FOR OFFICIAL USE ONLY

APPLICATION NAME: CAMERON GROVE - PHASE III

APPLICATION NO.: SDP-0307-02

SIGNATURE APPROVAL OF THIS PLAN IS IN ACCORDANCE WITH PLANNING DIRECTOR APPROVAL DATED SEPTEMBER 29, 2022.

SIGNATURE APPROVAL DATE:

Jill Kosack — Digitally signed by Jill Kosack, Date: 2022.09.29 11:45:20 -04'00'

AUTHORIZED SIGNATURE

CALL "MISS UTILITY"
1-800-257-7777
FOR UTILITY LOCATIONS
AT LEAST 48 HOURS BEFORE
BEGINNING CONSTRUCTION

SDP-0307/01

M.N.C.P.P.C. APPROVALS

PROJECT NAME: CAMERON GROVE – PHASE II

PROJECT NUMBER: SDP-0307

For Condition of Approval, see Site Plan Cover Sheet or Approval Sheet. The Revisions Listed Below Apply Only to This Sheet.

Approved ⚠ Revision #	Approval Date	Reviewer's Signature	Certification Date
01	12-4-03 11-12-08	RC. RC	3-10-04 11-18-08

Dewberry & Davis LLC
A Dewberry Company
10003 DEREKWOOD L
LANHAM, MD 20706
PHONE: (301) 731-55
FAX: (301) 731-0188

OWNER
CAMERON GROVE ASSOCIATES
5100 FORBES BOULEVARD, SUITE 1
LANHAM, MD 20706
TEL (301) 577-6610 FAX (301) 577-66

DEVELOPER
CAMERON GROVE ASSOCIATES
5100 FORBES BOULEVARD, SUITE 1
LANHAM, MD 20706
TEL (301) 577-6610 FAX (301) 577-66

CAMERON GROVE PHASE III

PRINCE GEORGE'S COUNTY
MARYLAND
QUEEN ANNE (7TH) ELECTION DISTRICT
TAX MAP 69, PARCEL 21

SEAL

1/30/04

CONTACT INFO

DAVID PRIDDY
STAVROU ASSOCIATES, INC.
TEL (301) 577-6810 FAX (301) 577-6
ALEJANDRO VILLEGAS
DEWBERRY & DAVIS LLC

SCALE

No.	DATE	BY	Description
3	12/9/03	D&D	MNCPPC COMME
2	10/13/03	D&D	MNCPPC
1	9/03	D&D	PER MNCPPC
			REVIEW COMM

REVISIONS

DRAWN BY SWK
APPROVED BY MRS
CHECKED BY AV
DATE FEB 2003

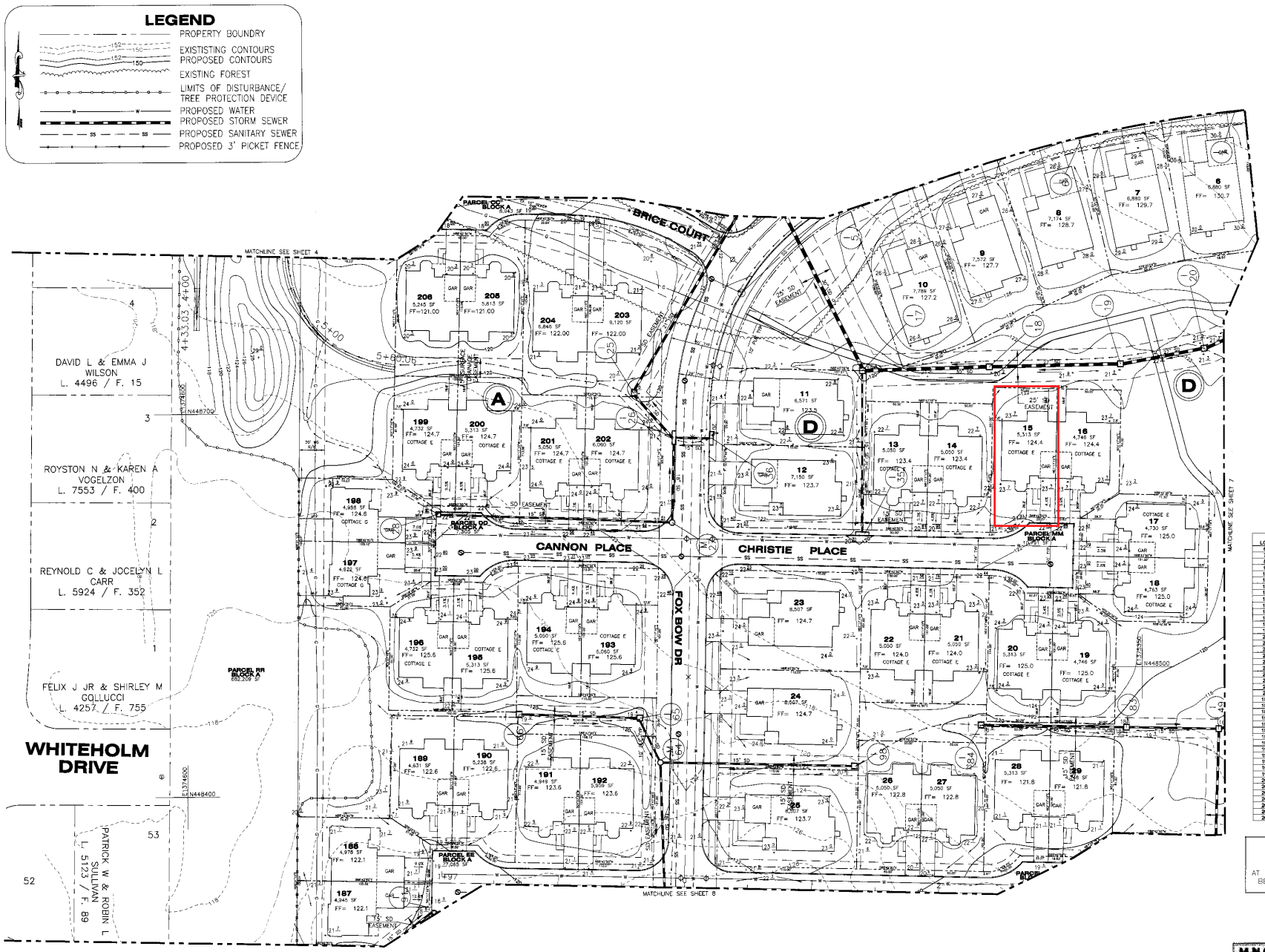
TITLE

SPECIFIC DESIGN PLAN APPROVAL SHE

PROJECT NO. CW293

2 APP PLA

SHEET NO. 2 OF



LOT	BLOCK	SQUARE FOOTAGE	% LOT COVERAGE
6	D	6,680	60
7	D	6,680	60
8	D	7,174	60
9	D	7,572	60
10	D	7,789	60
11	D	6,571	60
12	D	7,150	60
13	D	5,050	46
14	D	5,050	46
15	D	5,313	46
16	D	4,746	51
17	D	4,730	53
18	D	4,763	53
19	D	4,746	51
20	D	5,313	46
21	D	5,050	46
22	D	5,050	46
23	D	8,507	60
24	D	8,507	60
25	D	8,507	60
26	D	5,050	60
27	D	5,050	60
28	D	5,313	60
29	D	4,746	60
187	A	4,945	60
188	A	4,978	60
189	A	4,631	60
190	A	5,238	60
191	A	4,949	60
192	A	5,959	50
193	A	5,060	40
194	A	5,050	46
195	A	5,313	46
196	A	4,732	51
197	A	4,922	46
198	A	4,955	46
199	A	4,732	51
200	A	5,313	46
201	A	5,050	46
202	A	5,060	40
203	A	9,120	60
204	A	6,846	60
205	A	5,813	60
206	A	5,245	60

CALL "MISS UTILITY" 1-800-257-7777 FOR UTILITY LOCATIONS AT LEAST 48 HOURS BEFORE BEGINNING CONSTRUCTION

I HEREBY CERTIFY THAT THE GRADING SHOWN ON THIS PLAN CONFORMS TO SUBTITLE 4, DIVISION 3 OF THE PRINCE GEORGE'S COUNTY CODE.

CERTIFICATE OF CONFORMANCE

I CERTIFY THAT MYSELF OR A REPRESENTATIVE OF MINE WORKING UNDER MY SUPERVISION HAS INSPECTED THIS SITE AND THAT DRAINAGE DOES THIS SITE FROM OTHER UPGRADE PROPERTIES, AND ERODIBLE SITE DUCT OTHERWISE DISCHARGE PROPERTIES HAS BEEN ADDRESSED IN SUBSTANTIAL ACCORDANCE WITH APPLICABLE CODES.

REGISTERED ENGINEER — DATE 3/10/04

NO.	ISSUE DESC.	ISSUE DATE
LOT#		
RESITE REVISIONS ONLY		

M.N.C.P.P.C. APPROVALS
PROJECT NAME: CAMERON GROVE - PHASE II
PROJECT NUMBER: SDP-0307

Reid 3-25-05

Dewberry & Davis LLC
A Dewberry Company
10009 DEREWOOD LANE
LANHAM, MD 20706
PHONE: (301) 731-6551
FAX: (301) 731-0166

OWNER
CAMERON GROVE ASSOCIATES
5100 FORBES BOULEVARD, SUITE 101
LANHAM, MD 20706
TEL (301) 577-6610 FAX (301) 577-6613

DEVELOPER
CAMERON GROVE ASSOCIATES
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TEL (301) 577-6610 FAX (301) 577-6613

CAMERON GROVE PHASE THREE
PRINCE GEORGE'S COUNTY
MARYLAND
QUEEN ANNE (7TH) ELECTION DISTRICT
TAX MAP 69, PARCEL 21
200' MAP REFERENCE: 201NE11 & 201NE12

SEAL

CONTACT INFO
DAVID PRIDDY
STAVROU ASSOCIATES, INC.
TEL (301) 577-6610 FAX (301) 577-6613
ALEJANDRO VILLEGAS
DEWBERRY & DAVIS LLC

SCALE
1"=30'
0 30 60

No.	DATE	BY	Description
3	12/9/03	D&D	MNCPPC COMMENTS
2	10/13/03	D&D	MNCPPC
1	9/03	D&D	PER MNCPPC
			REVIEW COMMENTS

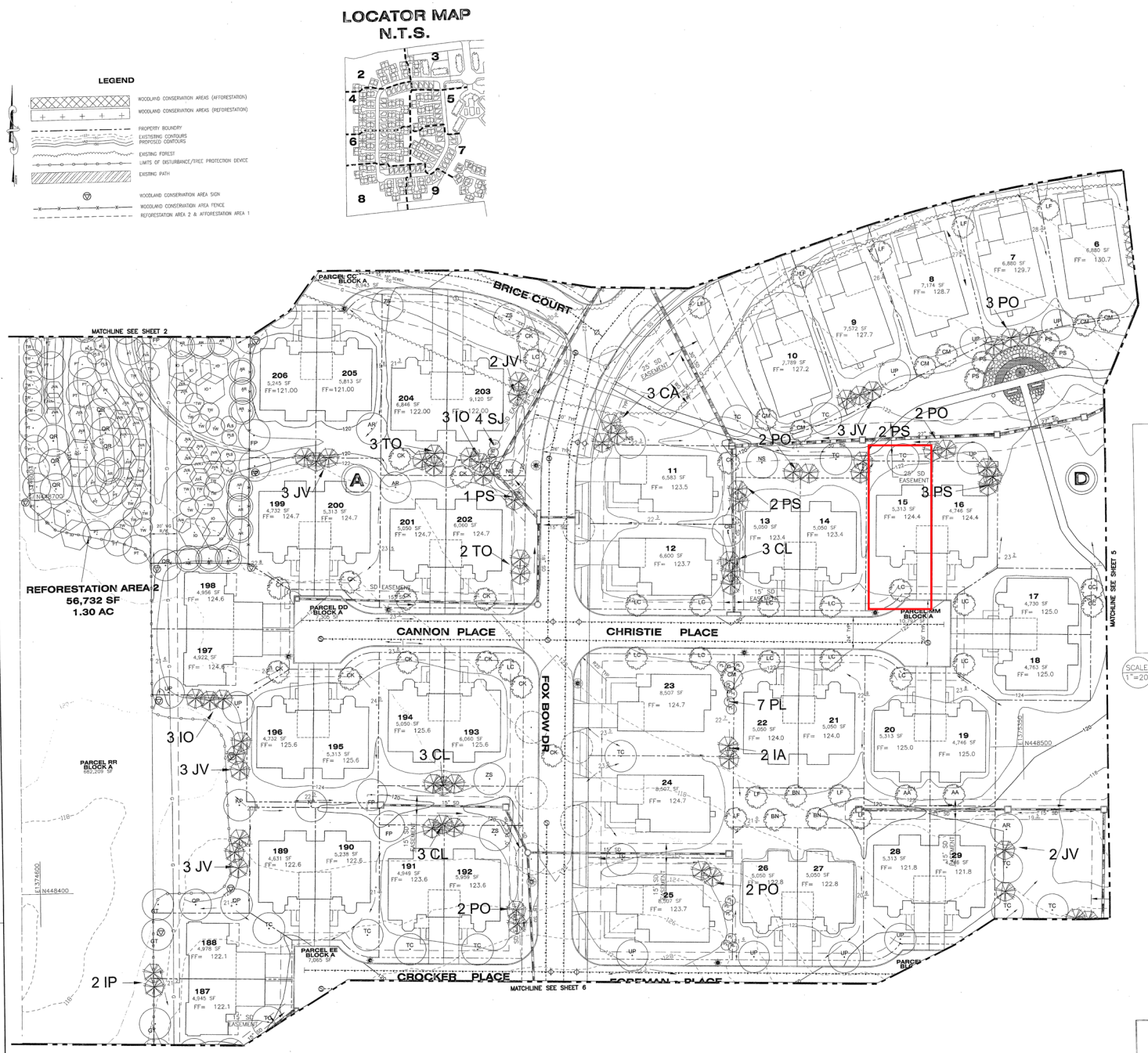
REVISIONS

DRAWN BY	SWK
APPROVED BY	MRS
CHECKED BY	AV
DATE	FEB 2003

TITLE
SPECIFIC DESIGN PLAN

PROJECT NO. CW293

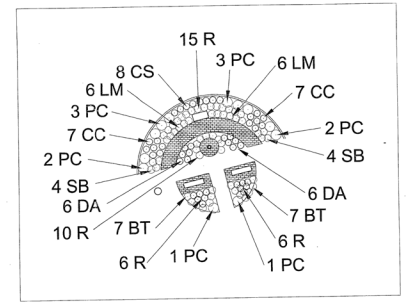
SHEET NO. 6 OF 11



ACTIVITY NODE 3A

ROSE GARDEN (OPTION 2 PER CDP-9705):
1 SUNDIAL
1 ROSE ARBOR
2 BENCHES - Victor Stanley model CS-138
1 TRASH RECEPTACLE - Victor Stanley Model SD-35
35 ± ROSES
ALL WEATHER PLANT MARKINGS

* See details sheet for more info.



SCALE: 1"=20' ACTIVITY NODE 3A DETAIL

CALL "MISS UTILITY"
1-800-257-7777
FOR UTILITY LOCATIONS
AT LEAST 48 HOURS BEFORE
BEGINNING CONSTRUCTION

SDP 0307 H21

M.N.C.P.P.C. APPROVALS
PROJECT NAME: CAMERON GROVE – PHASE 3
PROJECT NUMBER: SDP-0307

Approved #	Signed	Revision Validity	Subdivision Date
	12-4-03	12-6-	3-10-04

Dewberry & Davis LLC
A Dewberry Company
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CAMERON GROVE PHASE THREE

PRINCE GEORGE'S COUNTY
MARYLAND
QUEEN ANNE (7TH) ELECTION DISTRICT
TAX MAP 69, PARCEL 21
200' MAP REFERENCE: 201NE11 & 201NE12

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DEWBERRY & DAVIS LLC

SCALE
1"=30'
0 30 60

No.	DATE	BY	Description
3	12/8/03	D&D	MNCPPC COMMENTS
2	10/13/03	D&D	MNCPPC
1	9/30	KM	PER MNCPPC REVIEW COMMENTS

REVISIONS

DRAWN BY	SWK
APPROVED BY	MRS
CHECKED BY	AV
DATE	FEB 2003

TITLE
LANDSCAPE AND LIGHTING PLAN

PROJECT NO. CW293

APPROVED PLAN 4

SHEET NO. 4 OF 11

THIS DOCUMENT IS CERTIFIED TO:

MEDALLION
Doors, Windows & Patio Rooms

MEDALLION
Doors, Windows & Patio Rooms

CASE #: * * * *

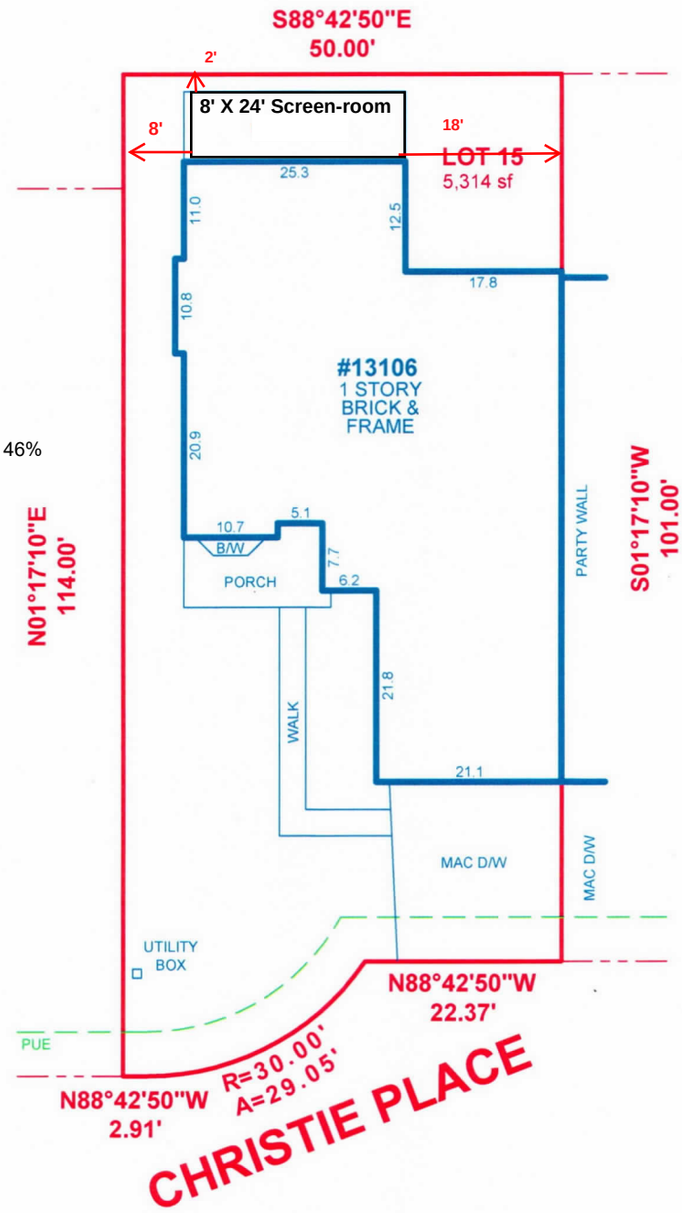
Screen-room
8' x 24'

Lot Coverage Calculation
House= 1744 SF
D/W= 361 SF
Front porch= 132 SF
Screen-room= 192SF
Total= 2,429 SF

Lot Coverage= (2,429/600)x100= 46%

Setbacks
Left side = 8'
Right side = 18'
Rear = 2'

Note:
The new proposed screen-room will match the existing home color.



LOCATION DRAWING OF:

#13106 CHRISTIE PLACE
LOT 15 BLOCK D
PLAT SEVENTEEN
CAMERON GROVE
PLAT BOOK 199, PLAT 15
PRINCE GEORGE'S COUNTY, MARYLAND
SCALE: 1"=20' DATE: 05-26-2022
DRAWN BY: CP/AP FILE #: 225705-286

LEGEND:

-x-	- FENCE
B/E	- BASEMENT ENTRANCE
B/W	- BAY WINDOW
BR	- BRICK
BRL	- BLDG. RESTRICTION LINE
BSMT	- BASEMENT
C/S	- CONCRETE STOOP
CONC	- CONCRETE
D/W	- DRIVEWAY
Ex.	- EXISTING
FR	- FRAME
MAC	- MACADAM
N/F	- NOW OR FORMERLY
O/H	- OVERHANG
PUE	- PUBLIC UTILITY ESMT.
PIE	- PUBLIC IMPROVEMENT ESMT.

COLOR KEY:

(RED)	- RECORD INFORMATION
(BLUE)	- IMPROVEMENTS
(GREEN)	- ESMTS & RESTRICTION LINES

A Land Surveying Company

DULEY
and
Associates, Inc.

Serving D.C. and MD.

14604 Elm Street, Upper Marlboro, MD 20772

Phone: 301-888-1111 Fax: 301-888-1114
Email: orders@duley.biz On the web: www.duley.biz

STATE OF MARYLAND
JEROME C. MAMAUAG
No. 21325
PROFESSIONAL LAND SURVEYOR

SURVEYOR'S CERTIFICATE

I HEREBY STATE THAT I WAS IN RESPONSIBLE CHARGE OVER THE PREPARATION OF THIS DRAWING AND THE SURVEY WORK REFLECTED HEREIN AND IT IS IN COMPLIANCE WITH THE REQUIREMENTS SETFORTH IN REGULATION 12 CHAPTER 09.13.06 OF THE CODE OF MARYLAND ANNOTATED REGULATIONS. THIS SURVEY IS NOT TO BE USED OR RELIED UPON FOR THE ESTABLISHMENT OF FENCES, BUILDING, OR OTHER IMPROVEMENTS, THIS PLAT DOES NOT PROVIDE FOR THE ACCURATE IDENTIFICATION OF PROPERTY BOUNDARY LINES, BUT SUCH IDENTIFICATION MAY NOT BE REQUIRED FOR THE TRANSFER OF TITLE OR SECURING FINANCING OR REFINANCING. THIS PLAT IS OF BENEFIT TO A CONSUMER ONLY INSOFAR AS IT IS REQUIRED BY A LENDER OR A TITLE INSURANCE COMPANY OR ITS AGENTS IN CONNECTION WITH THE CONTEMPLATED TRANSFER, FINANCING OR REFINANCING. THE LEVEL OF ACCURACY FOR THIS DRAWING IS 1'±. NO TITLE REPORT WAS FURNISHED TO NOR DONE BY THIS COMPANY. SAID PROPERTY SUBJECT TO ALL NOTES, RESTRICTIONS AND EASEMENTS OF RECORD. BUILDING RESTRICTION LINES AND EASEMENTS MAY NOT BE SHOWN ON THIS SURVEY. IMPROVEMENTS WHICH IN THE SURVEYOR'S OPINION APPEAR TO BE IN A STATE OF DISREPAIR OR MAY BY CONSIDERED "TEMPORARY" MAY NOT BE SHOWN. IF IT APPEARS ENCROACHMENTS MAY EXIST, A BOUNDARY SURVEY IS RECOMMENDED.

DULEY & ASSOC.

WILL GIVE YOU A 100% FULL CREDIT TOWARDS UPGRADING THIS SURVEY TO A "BOUNDARY/STAKE" SURVEY FOR ONE YEAR FROM THE DATE OF THIS SURVEY.

(EXCLUDING D.C. & BALT. CITY)

Material List

Sunroom Request Form Date Ready Open

Homeowners : Rodgers

Homeowners Street Address: 13106 Christie Place

Homeowner's City, State & Zip: Upper Marlboro, MD 20774

Phone : (home) 301-717-6235 (cell) _____

(work) _____

Building Permit # _____

Homeowner's Tax ID # _____

County PG

Full Electrical Package _____ HVAC _____ Partial Electrical Package X

Quantities:

Fan Fan/Light Combo 2 Flood Light _____ Switches _____

Hot Tub _____ Exterior Wall Mounted Light Fixtures _____ Receptacles _____

Other _____

Color of Sunroom Ivory Metal X Wood Framed _____

Floor: Concrete X Wood Framed _____

Special Notes:

Goes with two ceiling fans and 1 outlet outside Door with motion light

PLEASE ALLOW 1-WEEK ADVANCE NOTICE FOR SCHEDULING WORK

MEDALLION SECURITY DOOR AND WINDOW CO.

LIBERTY FENCE

TWO NAMES ONE GREAT COMPANY

Material List

16 - 2"X 2" - 20' Ivory Main Frame

x 1 - 36" Outswing left handed Screen Door w/ Hardware

1 - Roll of Ivory Kick Plate = 18"

order MASON = 1 - 4' wide Roll of Bronze screen SOLAR screen

2 - 3 X 3 - Ivory Post 8' Tall

x 8 - 1" X 2" - 20' U Channel Ivory

2849 Kaverton Road, Forestville, MD 20747
Phone (301) 420-1800 • 1 (800) 234-3007 • Fax (301) 420-0753
Web Site: www.medallionsecurity.com • info@medallionsecurity.com

MEDALLION SECURITY DOOR AND WINDOW CO.

LIBERTY FENCE

TWO NAMES ONE GREAT COMPANY

Material List

40 LF of a 12" x 30" continuous concrete footing under pinning it to the existing concrete slab

- Need calculation for the amount of concrete we need

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Web Site: www.medallionsecurity.com • info@medallionsecurity.com

MEDALLION SECURITY DOOR AND WINDOW CO.

LIBERTY FENCE

TWO NAMES ONE GREAT COMPANY

Material List

7 - Bundles of architectural shingles - color = _____

1 - siding corner =

9 - siding J - channel =

12 - pcs of siding =

color _____

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Web Site: www.medallionsecurity.com • info@medallionsecurity.com