

The Maryland-National Capital Park and Planning Commission
 Prince George's County Planning Department
 Development Review Division
 301-952-3530



Note: Staff reports can be accessed at www.mncppc.org/pgco/planning/plan.htm.

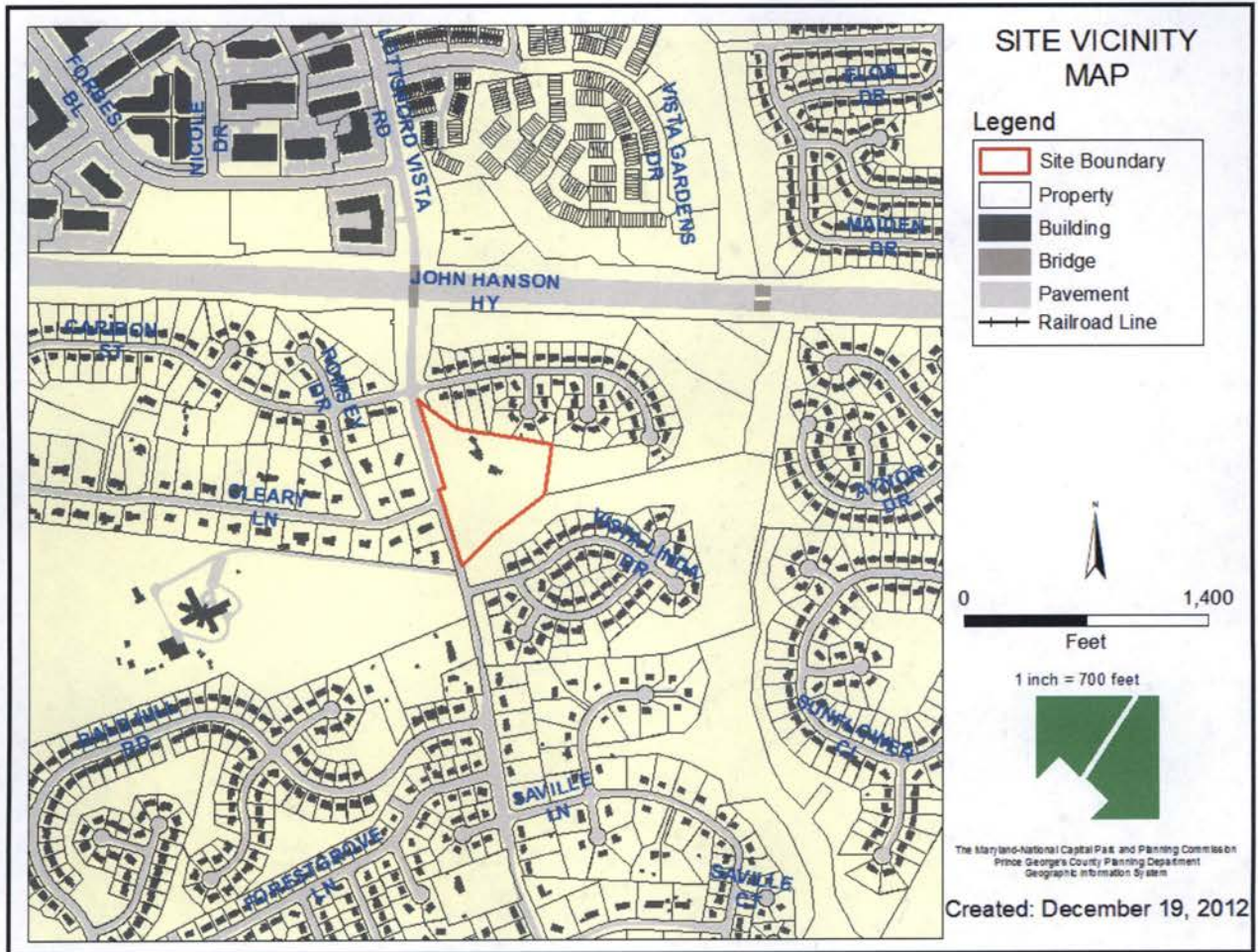
Special Exception

SE-4667

Application	General Data	
Project Name: Sycamore Hill Location: On the eastern side of Lottsford Vista Road, between Vista Grande Drive and Vista Linda Drive, across from Cleary Lane. Applicant/Address: Presidential Care, LLC by Stoddard Baptist Home, Inc. 1818 Newton Street NW Washington, DC 20010-1091 Property Owner: Presidential Care, LLC by Stoddard Baptist Home, Inc. 1818 Newton Street NW Washington, DC 20010-1091	Planning Board Hearing Date:	05/15/14
	Staff Report Date:	04/28/14
	Date Accepted:	02/21/14
	Planning Board Action Limit:	N/A
	Plan Acreage:	7.9053
	Zone:	R-R
	Gross Floor Area:	65,608 sq. ft.
	Lots:	N/A
	Parcels:	1
	Planning Area:	73
	Tier:	Developing
	Council District:	05
	Election District	13
Municipality:	N/A	
200-Scale Base Map:	205NE09	

Purpose of Application	Notice Dates	
Special exception for an adult day care center with an accessory assisted living facility.	Informational Mailing	12/23/09
	Acceptance Mailing:	07/26/10
	Sign Posting Deadline:	N/A

Staff Recommendation		Staff Reviewer: Taslima Alam Phone Number: 301-952-4976 E-mail: Taslima.alam@ppd.mncppc.org	
APPROVAL	APPROVAL WITH CONDITIONS	DISAPPROVAL	DISCUSSION
	X		



THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

PRINCE GEORGE'S COUNTY PLANNING BOARD

TECHNICAL STAFF REPORT

TO: The Prince George's County Planning Board
The Prince George's County District Council

VIA: Jimi Jones, Supervisor, Zoning Review Section, Development Review Division

FROM: Taslima Alam, Senior Planner, Zoning Review Section, Development Review Division

SUBJECT: **Special Exception Application No. SE-4667**

REQUEST: **Adult day care center with an accessory assisted living facility.**

RECOMMENDATION: **APPROVAL with conditions**

NOTE:

The Planning Board has scheduled this application to be reviewed on the agenda date of May 15, 2014. If the Planning Board decides to hear the application, it will be placed on a future agenda.

Any person may request the Planning Board to schedule a public hearing. The request may be made in writing prior to the agenda date or in person on the agenda date. All requests must specify the reasons for the public hearing. All parties will be notified of the Planning Board's decision.

You are encouraged to become a person of record in this application. The request must be made in writing and addressed to the Prince George's County Office of the Zoning Hearing Examiner, County Administration Building, Room 2184, 14741 Governor Oden Bowie Drive, Upper Marlboro, MD 20772. Questions about becoming a person of record should be directed to the Hearing Examiner at 301-952-3644. All other questions should be directed to the Development Review Division at 301-952-3530.

FINDINGS

A. **Location and Field Inspection:** The subject property, identified as 3911 Lottsford Vista Road, is comprised of 7.9 acres of land, and is located on the eastern side of Lottsford Vista Road, between Vista Grande Drive and Vista Linda Drive, across from Cleary Lane in the Rural Residential (R-R) Zone. The property is roughly trapezoidal in shape and is currently improved with an one-story vacant structure, formerly used as a congregate living facility for 12 elderly or physically-handicapped residents. There is a considerable amount of existing natural woodlands on the property along the northern and western portions of the property. The southern and eastern portions of the site abut parkland owned by The Maryland-National Capital Park and Planning Commission (M-NCPPC). The property has frontage on Lottsford Vista Road, which is a designated historic scenic road and a master-planned collector roadway. Access to the property is via a 30-foot-wide two-lane driveway entrance from Lottsford Vista Road.

There are no streams, wetlands, or floodplain on the subject property; however, there is a primary management area along the southern portion of the property associated with an intermittent stream located on the adjacent property. The site drains to an unnamed tributary of Folly Branch in the Patuxent River basin. The property slopes approximately 50 feet from an elevation of 190 feet on the northwestern side to 140 feet along the southwestern property line. According to the Environmental Planning Section, there are no rare, threatened, or endangered species found on or adjacent to this site. The entire site is located within the designated network of the 2005 *Approved Countywide Green Infrastructure Plan* (Green Infrastructure Plan).

B. **Development Data Summary:**

	EXISTING	PROPOSED
Zone(s)	R-R	Unchanged
Use(s)	Vacant 12 person Congregate Living Facility	15-person adult day care and a 78-bed assisted living facility (15 double-occupant units and 48 single-occupant units)
Acreage	7.91	Unchanged
Lots	N/A	Unchanged
Parcels	1	Unchanged
Square Footage/GFA	6,378	65,608
Dwelling Units	1	63

C. **History:**

1990— The subject property was rezoned from the Residential-Estate (R-E) Zone to the R-R Zone by the 1990 *Approved Master Plan and Adopted Sectional Map Amendment for Largo-Lottsford, Planning Area 73* (Largo-Lottsford Master Plan and SMA).

November 1997—Special Exception SE-4256 was approved by the District Council (Zoning Ordinance No. 7-2001) for a 160-child day care center, 40-person adult day care center, and a 72-person congregate living facility (12 of which was existing in the former dwelling unit) with the future expansion of four additional new buildings (6,381 square feet each), subject to 14 conditions. The child and adult day care centers were never implemented due to extensive site

disturbance, construction, and maintenance costs and inefficiencies associated with trying to develop the site with five detached buildings.

February 14, 2008—Preliminary Plan of Subdivision 4-07100 was submitted for a child care and adult day care facility for the site. This preliminary plan was withdrawn prior to the Prince George's County Planning Board hearing.

July 18, 2011—A Natural Resources Inventory, NRI -048-06, was approved for the site.

2013—The Planning Board approved Preliminary Plan of Subdivision 4-12020 and its associated Type I Tree Conservation Plan (TCP1-010-10) for a 15-person adult day care facility and a 63-unit (15 double-occupant units and 48 single-occupant units) assisted living facility subject to conditions. This approval also included granting a variance to Section 25-122(b)(1)(G) of the Woodland and Wildlife Habitat Conservation Ordinance for the removal of specimen trees. The conditions of approval can be found in PGCPB Resolution No. 13-82.

D. Master Plan Recommendation:

General Plan: The property is located in an area identified in the 2002 Prince George's County Approved General Plan Development Pattern policies for the Developing Tier. The vision for the Developing Tier is to maintain a pattern of low- to moderate-density suburban residential communities, distinct commercial centers, and employment areas that are increasingly transit serviceable. This application is consistent with the General Plan's Development Pattern policies for the Developing Tier of low- to moderate-density residential development.

Master Plan: The subject property was rezoned from the R-E Zone to the R-R Zone by the 1990 Largo-Lottsford Master Plan and SMA. The application is in conformance with the land use recommendations of the SMA for residential uses and certain nonresidential uses permitted by special exception on the proposed development site. The SMA classified this property in the R-R Zone which permits a maximum of 2.17 dwelling units per net acre.

Request: The applicant is seeking approval of a special exception for a 15-occupant adult day care and a 63-unit (15 double-occupant units and 48 single-occupant units) assisted living facility, for a total of 78 residents, in the R-R Zone. The application proposes to demolish the existing 6,378-square-foot, vacant, one-story, congregate living facility and replace it with a 65,608-square-foot two-story building with 49 parking spaces and one loading space to accommodate both uses. A stormwater management pond is also proposed along the southern portion of the site abutting Lottsford Vista Road for water quality and quantity purposes. In addition, a six-foot-wide concrete walk and other recreational amenities are also proposed on the site to provide fun activities for the future residents.

According to the provisions of the Zoning Ordinance, both the adult day care and assisted living facilities are permitted by special exception in the R-R Zone. However, pursuant to Section 27-441(b)(2), Table of Uses (Footnote 77), assisted living facilities are allowed to have up to 75 dwelling units "only if adjoining and operated by the same organization as an adult day care use, approved by Special Exception. All assisted living facilities standards and requirements in Part 6, Division 5, must be met, including Detailed Site Plan approval under Part 3, Division 9." Thus, the applicant is required to obtain detailed site plan (DSP) approval for the proposed facility as both uses will be operated within one building by the same organization as the adult day care use.

E. **Neighborhood and Surrounding Uses:** The applicant did not define any neighborhood boundary. Staff is using the same neighborhood boundary as identified in the previously approved SE-4256 for the subject project.

North— John Hanson Highway (US 50)

East— Folly Branch

South— Enterprise Farm

West— Bald Hill Branch

The property is surrounded by the following uses:

North— Single-family detached residences in the R-R Zone.

East and South— M-NCPPC-owned vacant parkland in the Reserve Open Space (R-O-S) Zone.

West— Public-right-of-way of Lottsford Vista Road, across and opposite the subject property is single-family detached developments in the R-R Zone.

The neighborhood is primarily developed with single-family residential homes with the exception of the subject property. The Villa Rosa Nursing Home property is also located within 300 feet of the neighborhood.

F. **Specific Special Exception Requirements:** The application addresses the following specific special exception requirements in Section 27-332 of the Zoning Ordinance, as referenced below:

Section 27-332. Adult day care center.

(a) **An adult day care center may be permitted, subject to the following criteria:**

(1) **The subject property shall be suitable for the type of facility proposed, taking into account the character of the surrounding properties and the general neighborhood, and any other uses on the subject property.**

Comment: Generally, adult day care centers are compatible with residential single-family detached neighborhoods, in part because they may provide services to some of the area's residents. However, the subject property was previously approved, but never established (Special Exception SE-4626 as mentioned in Finding C above). At that time, the use was determined to be suitable and compatible for the character of the surrounding properties and the general neighborhood for similar uses. With the current proposal, the applicant is proposing to consolidate the two uses into one building as opposed to five separate buildings to maximize service efficiencies and to create a healthier manageable living environment for its residents. This will also help preserve the residential character of the community.

As part of this review, detailed architectural elevations for the proposed two-story building, including a design for the entrance sign, was submitted. It was difficult for the

Urban Design Section to evaluate it fully because the submitted elevations were very small and blurry, especially given the odd building shape. The proposed two-story building includes a gabled asphalt-shingled roof with dormers. The majority of the exterior would be finished in a combination of a light-colored fiber cement cedar shake panels and brown fiber cement masonry/simulated stone. Detailed features include a fiber cement accent band, some hardi-plank siding, exterior insulation finishing system (EIFS) quoins, and fiberglass columns along with multiple windows and doors on all sides. The entrance sign is a four-foot to seven-foot-high, curved, light tan, masonry block sign on either side of the entrance drive with a precast concrete cap spheres. The Urban Design Section was able to gain some insight into the character of the general neighborhood by referencing imagery available on the internet, since the applicant did not provide photographs. Based on that review, the Urban Design Section would suggest that the applicant redesign the building and entrance sign taking into consideration the following, in order to make the design more suitable for the neighborhood:

1. The entrance sign design should include a majority brick finish and remove the precast concrete spheres, in order to be similar to the existing entrance signs for adjacent residential communities. Additionally, the development's name and address information should not be separate metal letters that are mounted onto the sign, but rather be integrated into the sign face, which is a more standard design in the surrounding residential area.
2. The applicant should reconsider the window style and trim and make it more residential in nature, by standardizing the window style for all of the windows, adding shutters, and/or providing uniform trim around each window.
3. The applicant should consider further the choice of proposed exterior materials. The color of the proposed cedar shakes appears too light next to the darker simulated stone, creating an unbalanced appearance. Also, while the proposed materials are high quality in nature, they do not appear to be prevalent in the general neighborhood, which includes more brick and traditional siding.
4. The applicant should consider not using quoins, which appear excessive and are not necessarily characteristic of the neighborhood. Additionally, due to the quality of the images, it was difficult to evaluate the proposed columns, which should be carefully styled to blend with the proposed architecture and that of the general neighborhood.

(2) The subject property shall be of sufficient size to accommodate a facility of the scope proposed.

Comment: The subject property is 7.9 acres, which would comfortably accommodate both the proposed adult day care center and assisted living facility, leaving sufficient space to comply with all of the Zoning Ordinance requirements. Furthermore, the proposed lot coverage is only 35 percent, or approximately half of the 60 percent allowed by the Zoning Ordinance. The site has an elevation change of 46 feet across the property, necessitating expansive grading of the building and parking areas, leaving the rest of the property with steep slopes. However, the applicant was able to create usable outdoor

recreational areas. The Urban Design Section would suggest that the subject property is of sufficient size to accommodate the proposed facility.

- (3) **Vehicular access to the subject property shall be adequate, taking into account the scope of the facility, the type and amount of traffic expected to be generated, and the type, service level, and capacity of the streets along which the subject property has frontage; and**

Comment: The proposed uses are not expected to generate significant traffic because it will provide van service to transport its residents to the facility and back. The Transportation Planning Section stated that the proposed uses will generate only 18 AM peak-hour trips and 27 PM peak-hour trips, which are 121 fewer AM peak-hour trips and 119 fewer PM peak-hour trips than the previously approved uses at this site. This special exception appears to be fully consistent with the recent Preliminary Plan 4-12020, particularly with the approved trip cap on that plan.

The Transportation Planning Section found that vehicular access to the site is adequate and consistent with the requirements of Section 27-464.04 of the Zoning Ordinance. The access takes into account the scope of the facility and the amount of traffic expected to be generated. The county may require safety improvements, such as turn lanes, at the site access point if deemed necessary.

The Transportation Planning Section further evaluated bicycle and pedestrian access. At the time of preliminary plan, it was determined that bicyclists and pedestrians will be accommodated via an eight-foot-wide sidepath or wide sidewalk. Preliminary Plan 4-12020 included the following condition of approval, in **bold**, regarding the master plan facility along Lottsford Vista Road:

9. **The applicant and the applicant's heirs, successors, and/or assignees shall construct an eight-foot-wide sidewalk in accordance with county standards and specifications along the subject site's entire frontage of Lottsford Vista Road, unless modified by the Department of Public Works and Transportation.**

The subject application includes a standard sidewalk along one side of the entrance road, along the perimeter of the building, and designated crosswalks at appropriate locations in the parking lot. No additional conditions of approval are necessary. The submitted site plan is consistent with this condition. The proposed sidewalk and crosswalk connections on-site will adequately link future residents of the facility with the master plan trail along Lottsford Vista Road.

- (4) **A statement shall be submitted explaining:**

- (A) **The policies and goals of the center;**

Comment: The applicant has indicated that the goal of the day care center is to promote independence, dignity, and quality of life of an aging community. This will be done through services that address the medical, physical, emotional, and social needs in a compassionate and safe environment. Furthermore, the centers will focus on keeping the elderly active in order to reduce the risk of isolation, loneliness, and depression. This will be achieved by promoting healthy active

living, stimulating social interaction in a safe environment, and encouraging adults to attend regularly scheduled group and individual activities to help maintain the highest quality of life and level of functioning ability for the residents.

(B) The characteristics and number of occupants to be served;

Comment: The center will service up to a maximum of 15 individuals during the week and on Saturday. It is anticipated that approximately 80 percent will be female. Most of them will be transported to and from the center by van services. Some of the participants may experience early stages of Alzheimer's disease and dementia and may benefit from the friendship and functional assistance the day care center will offer.

(C) The type of care and activities proposed;

Comment: All prospective participants will be screened by day care center staff to ensure that the needs of the participants can be met by the center. The clients will be given personal care and supervision by properly trained, certified, and accredited adult day care providers for the activities and programs in which they will participate. They will participate in a wide variety of social, recreational, and academic activities, such as arts and crafts, library reading, individual and group games, field trips, and educational activities such as attending lectures. Other activities include community outings, computer games, attending daily exercise classes, outdoor walking, and physical therapy if needed in a nonmedical environment.

Nursing services will be provided as needed. Nursing services will utilize electronic documentation for recording all appropriate data involving resident care and treatments, as ordered by the attending physician. Well-balanced meals and snacks will be served in accordance to menus written and monitored by a registered dietician, with specific attention given to the preferences and dietary restrictions of each member. A detailed description of the type of care and activities planned is contained in applicant's Exhibit 2, entitled "Assisted Living and Adult Day Care PROGRAMATTIC DESCRIPTIONS."

(D) The operating methods and procedures;

Comment: According to the applicant's statement of justification, the adult day care center will operate Monday through Friday from 7:30 a.m. to 6:30 p.m. and on Saturday from 9:00 a.m. to 5:00 p.m., with after care until 8:00 p.m. each day. Transportation services will be provided by caregivers, private and public transportation, and facility vehicles. The center will open with two employees, one department manager, and one activity assistant.

For security reasons, there is only one main entrance to the building for both uses. The facility will have separate entrances for the assisted living complex and separate areas for resting, restrooms, and medical exams will be available. Procedures will be in place to allow day care residents to use some of the recreational facilities available to assisted living residents, and allow participation in joint social activities, such as field trips. There is a medical exam

room, public restrooms, and common lounge areas for resting for the adult day care participants.

The applicant's program description further states that operation of the center will be in accordance with the regulations for adult day care centers according to Code of Maryland Regulations (COMAR) 32.02.02.22, Department of Health and Mental Hygiene, Office of Health Care Quality.

(E) The type and amount of traffic expected to be generated; and

Comment: As mentioned above, traffic will be minimal because the facility will operate a van service to transport residents from their residence to the facility and back, including trips during the day. The Transportation Planning Section estimates that the proposed uses will generate only 18 AM peak-hour trips and 27 PM peak-hour trips.

A traffic count was submitted by the applicant for both uses. Under existing conditions, there is a delay of 15.8 seconds in the AM peak hour and 18.2 seconds in the PM peak hour at the critical intersection. Background traffic for through movements on Lottsford Vista Road was increased by two percent to account for traffic growth. Under background traffic conditions, there is a delay of 18.6 seconds in the AM peak hour and 21.9 seconds in the PM peak hour. With site traffic added under total traffic conditions, the delay is 18.8 seconds during the AM peak hour and 22.1 seconds during PM peak hour. Vehicle delay in any movement exceeding 50.0 seconds is deemed to be an unacceptable operating condition at signalized intersection. The critical intersection operates far below this threshold. The Transportation Planning Section finds that the special exception use application poses no issue regarding the special exception finding.

(F) Any other appropriate aspects of the center's operation.

Comment: According to the applicant's statement of justification, the adult day care center will provide all of the customary and necessary equipment and activities generally found in similar operations elsewhere.

The application addresses the following specific special exception requirements in Section 27-434.04 of the Zoning Ordinance, as referenced below:

Section 27-464.04 Assisted living facilities.

- (a) **An assisted living facility permitted (P) in the Table of Uses shall be subject to the following:**
 - (1) **Guidelines for development.**
 - (A) **The following guidelines shall be considered:**
 - (i) **If more than one (1) building is proposed, residential units should be clustered together in small to medium size groups to give a more residential character to the site.**

Comment: Only one building is proposed on the site to accommodate both the assisted living and adult day care facilities.

- (ii) **The entry to the assisted housing site should provide easy recognition of the facility and a safe and unambiguous vehicular route to the building entry and passenger drop-off area.**

Comment: The proposed site plan shows a 30-foot-wide driveway entrance from Lottsford Vista Road. This driveway leads to a 24-foot-wide driveway, which extends the entire distance to the parking lot and main building entrance in the passenger drop-off-area. Two masonry walls, one on each side of the site's entrance along Lottsford Vista Road, are proposed with the address and name of the facility for easy recognition of the facility. However, the proposed sign does not meet the requirements of the Zoning Ordinance. Since the site is subject to DSP approval, sign details shall be provided at the time of the review pursuant to Section 27-617 of the Zoning Ordinance.

- (iii) **The radius and width of the entry drive should allow cars and vans to maneuver easily.**

Comment: The 24-foot radius and a 30-foot width of the entry driveway is sufficient to allow cars and vans to maneuver easily.

- (iv) **The drop-off area should be close and convenient to the building entry, but should be spacious enough to accommodate wheelchairs, open car doors, and passing cars.**

Comment: This requirement has been met. The submitted site plan shows a drop-off area that is 24 feet wide right in front of the building entry. Staff finds that this area is close and convenient to the entry and should be spacious enough to accommodate wheelchairs, open car doors, and passing cars.

- (v) **A canopy or cover offering protection from the weather should normally be provided over the building entry and passenger drop-off area.**

Comment: The proposed site plan shows a canopy over the building entrance and passenger drop-off area to offer protection from the weather.

(2) **Requirements.**

- (A) **A recreational facilities plan shall be submitted demonstrating that sufficient recreational facilities or opportunities are provided to serve the prospective resident population. Facilities may be provided on site or within adjoining development. In any case, but particularly if on adjoining property, there shall be a staging plan**

for the facilities constructed. Recreational areas should be clustered together to increase levels of activity, use of amenities, and the sense of vitality of the community.

Comment: The submitted recreational plan includes the following outdoor facilities, all of which are on-site: two horse shoe pits, two shuffleboard courts, a putting green, a nine-foot gazebo, a 16-foot by 24-foot pavilion, an outdoor patio on the northern side of the building with moveable furniture, and a six-foot-wide concrete walkway around the building with multiple benches overlooking the wooded areas of the site. The provided indoor facilities include an exercise room, along with passive areas such as a library and computer room. The submitted site plan demonstrates provision of sufficient recreational facilities to serve the prospective resident population.

(B) The facility shall not be more than four (4) stories.

Comment: The proposed building is two stories and 30 feet in height.

(C) The facility shall be located on a minimum of three and one-half (3.5) acres of land.

Comment: The subject property is located on 7.9 acres of land.

(D) The subject property shall be adjoining residentially zoned land.

Comment: The subject property adjoins residentially zoned land to the north and west and M-MCPPC-owned vacant parkland to the east and south.

(E) A Detailed Site Plan shall be approved for the facility in accordance with Part 3, Division 9, of this Subtitle.

Comment: The applicant will apply for DSP approval prior to the application for a building permit. At the time of the DSP review, particular attention should be paid to the architecture, entrance sign design, and landscaping requirements with regard to buffering scenic and historic roads (Lottsford Vista Road). This is to ensure that the overall streetscape treatment is in keeping with the desired visual characteristics of the historic road and include coordination of signage, materials, and plant species choices.

- G. **Parking Regulations:** The proposed use requires 31 parking spaces and one loading space. The applicant is providing a total of 49 parking spaces, including two van-accessible and two standard handicap spaces, and one loading space.
- H. **Sign Regulations:** Section 27-617 of the Zoning Ordinance allows one sign per street with a maximum area of 48 square feet and the maximum height feet above finished grade at the base of the sign. The site proposes one freestanding sign at the entrance of Lottsford Vista Road. It is unclear whether the proposed sign meets the requirements of the R-R Zone. In addition, the design of the sign should be in accordance with the recommendation of the Urban Design Section as stated in Finding F above to make it more compatible with the standard design in the surrounding residential area. Conformance to the sign regulations and its design shall be reviewed at the time of the detailed site plan approval.

I. **2010 Prince George's County Landscape Manual Requirements:** The proposed project is subject to the requirements of the 2010 *Prince George's County Landscape Manual* (Landscape Manual) as follows:

1. **Section 4.2, Requirements for Landscaped Strips along Streets**—The subject property only has frontage on one street, Lottsford Vista Road, which is a designated historic roadway. Therefore, the requirements of Section 4.6 supersede the requirements of this section. The submitted site plan provides schedules demonstrating conformance to this section, which should be removed from the plan.
2. **Section 4.3, Parking Lot Requirements**—The proposed development has one parking lot which is 26,572 square feet and is required to provide eight percent of interior parking lot landscaping. The submitted site plan provides the correct schedule showing the requirements of this section being met.
3. **Section 4.4, Screening Requirements**—The requirement that dumpsters and loading spaces be screened from adjacent public roads and residential properties is met by the provision of a six-foot-tall, concrete masonry unit, dumpster enclosure and proposed landscaping.
4. **Section 4.5, Stormwater Management Facilities**—The subject site plan proposes a stormwater management pond on-site that will have to be landscaped per this section.
5. **Section 4.6, Buffering Development from Streets**—Properties with frontage on a historic road in the Developing Tier need to provide a 20-foot-wide buffer planted with a minimum of 80 plant units per 100 feet of frontage, excluding driveway openings. The submitted site plan does not note or provide a schedule showing conformance to these requirements. The plan should be revised to conform to the requirements of this section prior to approval, or the applicant should apply for alternative compliance (AC) pursuant to Section 1.3 of the Landscape Manual. If the AC is recommended for approval, the AC number and the date it was recommended for approval should be noted on the plan, and the AC case should be brought forward as a companion to the special exception application.
6. **Section 4.7, Buffering Incompatible Uses**—A Type B bufferyard, including a 30-foot building setback and a 20-foot-wide landscaped yard, is provided as required along the northern property line where the assisted living facility/adult day care is adjacent to single-family detached dwellings. The correct schedules have been provided showing the site plan's conformance to the requirements of this section.
7. **Section 4.9, Sustainable Landscaping Requirements**—The special exception is subject to the requirements of Section 4.9 for all proposed plantings. The plan includes some of the information necessary to demonstrate conformance to Section 4.9, but it does not provide the correct schedule per the Landscape Manual. A Section 4.9 schedule should be provided on the plan demonstrating conformance to all of the requirements of Section 4.9.

Tree Canopy Coverage

The application is subject to the requirements of the Tree Canopy Coverage Ordinance, as it involves land disturbance of more than 5,000 square feet. The special exception area of 7.91 acres is zoned R-R and is required to provide 15 percent, or 1.19 acres, of tree canopy coverage (TCC). A TCC worksheet has been provided on the landscape plan specifying that this requirement is being met through the provision of 2.22 acres of on-site woodland conservation. The Urban Design Section was unable to verify this number, as a copy of the tree conservation plan was not provided. The acreage of on-site woodland conservation should be verified by the Zoning Section prior to signature approval.

- J. **Referral Comments:** No major issues were identified in the referrals that were received for the subject application. Any outstanding issues that were not met have been addressed through the recommended conditions below.
- K. **Required Findings:** Section 27-317(a) of the Zoning Ordinance provides that a special exception may be approved if:

(1) The proposed use and site plan are in harmony with the purposes of this Subtitle;

Comment: The purposes of the Zoning Ordinance are many and varied. However, they can best be summed up as to protect and promote the public health, safety, morals, comfort, convenience, and welfare of present and future inhabitants of the county; to promote the most beneficial relationship between the uses of land and buildings; and to protect landowners from adverse impacts of adjoining development. The applicant is suggesting orderly growth by providing alternative housing and care opportunities for a broad spectrum of elderly and handicapped residents in a quiet comfortable environment not otherwise readily available. The proposal will also allow opportunities for elderly residents to remain near their families in a residential setting as well as provide convenient adult day care to a developing area of the county. The use is located on a generous-sized lot, and will have no adverse impact upon the surrounding community. State requirements will ensure that the facility is safe and sanitary. The technical staff report conditions will ensure a continued compatible relationship between the projected use and adjacent properties. The use and site plan proposed in this application, with the recommended conditions in place, are in harmony with the purposes of Subtitle 27.

(2) The proposed use is in conformance with all the applicable requirements and regulations of this Subtitle;

Comment: The subject property is located in the R-R Zone, which permits the proposed uses by a special exception. With the recommended conditions, the use will conform to all of the applicable requirements and regulations of this Subtitle.

(3) The proposed use will not substantially impair the integrity of any validly approved Master Plan or Functional Master Plan, or, in the absence of a Master Plan or Functional Master Plan, the General Plan;

Comment: The proposed use will not substantially impair the integrity of the approved master plan and sectional map amendment. The proposed special exception is in conformance with the environmental provisions of the General Plan, the area master plan, and the Green Infrastructure Plan. The proposed uses are consistent with the land use recommendations of the R-R Zone, which permits a maximum density of 2.17 dwelling units per net acre.

(4) The proposed use will not adversely affect the health, safety, or welfare of residents or workers in the area;

Comment: The proposed assisted living and adult day care facilities will not adversely affect the health, safety, and welfare of the workers in the area. In fact, the proposed use is intended to enhance the wellbeing of the elderly or handicapped residents by providing a full range of on-site activities, programs, and recreational amenities for the assisted living occupants and day care users that will be managed by trained administrators, human services, and health care professionals.

Furthermore, the Prince George's County Health Department (PGCHD), Division of Environmental Health, in a memorandum dated August 30, 2010, stated that per COMAR 10.07.14 governing assisted living programs, "an assisted living program with a licensed capacity of 17 or more beds shall comply with the food service regulations in COMAR 10.15.03." The proposed occupancy of 78 beds/residents will require that the facility be equipped with a commercial grade kitchen. A complete set of plans for the kitchen, along with the required review fee, must be submitted to PGCHD for review/approval.

(5) The proposed use will not be detrimental to the use or development of adjacent properties or the general neighborhood; and

Comment: In general, an adult day care and assisted living facility generate very little noise or traffic. In addition, the proposed single building will be located near the center of the site that is substantially set back and buffered from Lottsford Vista Road and from the single-family dwellings adjacent to the north. The public parkland, which adjoins the site to the east and south, provides both privacy and open space to the residents of the facility and helps buffer the site from adjacent residential neighborhoods. The proposed low-scale development, along with the proposed significant landscaping around the perimeter of the site, will keep the site invisible from the surrounding neighborhood. For these reasons, staff concludes that the proposed use will not be detrimental to the use or development of adjacent properties or the general neighborhood.

(6) The proposed site plan is in conformance with an approved Tree Conservation Plan.

Comment: Type 1 Tree Conservation Plan TCP1-010-10, approved with Preliminary Plan 4-12020, was submitted with the subject application. No Type 2 tree conservation plan (TCP2) has been received; however, the site design shown on the special exception site plan is generally the same as what was shown on the approved TCP1.

Prior to certification of the special exception, a TCP2 shall be reviewed for conformance with the Woodland and Wildlife Habitat Conservation Ordinance and approved by the Planning Director or its designee. The plan has been assigned the following plan number: TCP2-003-14.

Review of Previously Approved Conditions

The following addresses previously approved environmental conditions related to the subject application. The text in **bold** is the actual text from the previous cases or plans. The plain text provides the comments on the plan's conformance with the conditions.

Preliminary Plan of Subdivision 4-12020 (PGCPB Resolution No. 13-82)

6. **The detail site plan and Type 2 tree conservation plan shall be designed to accommodate appropriate landscape and signage treatments for the**

frontage of historic Lottsford Vista Road in accordance with the Prince George's County Landscape Manual.

A copy of TCP1-010-10 approved with Preliminary Plan 4-12020 was submitted with the subject application. No TCP2 has been received; however, the site design shown on the special exception site plan is generally the same as what was shown on the approved TCP1. It is recommended that conformance with this and all conditions of approval regarding the treatment of historic Lottsford Vista Road be reviewed in detail with the DSP application. However, the Urban Design Section reviewed and commented on the sign design in Finding F above, and landscape design along Lottsford Vista Road are incorporated in Finding I above.

(7) The proposed site plan demonstrates the preservation and/or restoration of the regulated environmental features in a natural state to the fullest extent possible...

Comment: This site contains regulated environmental features that are required to be preserved and/or restored to the fullest extent possible under Section 27-317(a)(7) of the Zoning Ordinance. The on-site regulated environmental features include streams, stream buffers, wetlands, wetland buffers, 100-year floodplain, and steep slopes. The site also contains an isolated wetland along the northeastern property line.

Section 27-296(c)(1)(L) of the Zoning Ordinance requires the submittal of a statement of justification describing how the proposed design preserves and restores the regulated environmental features to the fullest extent possible. A letter of justification was submitted and reviewed as part of this application.

Impacts to the regulated environmental features should be limited to those that are necessary for development of the property. Necessary impacts are those that are directly attributable to infrastructure required for the reasonable use and orderly and efficient development of the subject property, or are those that are required by County Code for reasons of health, safety, or welfare. Necessary impacts include, but are not limited to, adequate sanitary sewerage lines and water lines, road crossings for required street connections, and outfalls for stormwater management facilities. Road crossings of streams and/or wetlands may be appropriate if placed at the location of an existing crossing or at the point of least impact to the regulated environmental features. Stormwater management outfalls may also be considered necessary impacts if the site has been designed to place the outfall at a point of least impact. The types of impacts that can be avoided include those for site grading, building placement, parking, stormwater management facilities (not including outfalls), and road crossings where reasonable alternatives exist. The cumulative impacts for the development of a property should be the fewest necessary and sufficient to reasonably develop the site in conformance with the County Code.

A letter of justification for the proposed impacts was stamped as received by the Environmental Planning Section on February 24, 2014. The special exception proposes impacts to the primary management area (PMA) in order to install vegetative stormwater drainage to direct the project stormwater to an off-site stream system. This impact will cause 1,600 square feet of disturbance to the stream buffer, including 390 square feet of woodlands removed.

The proposed impacts have been minimized to ensure that adequate drainage conveyance channels will be provided to direct stormwater from two stormwater management systems to the adjacent off-site regulated stream.

The impacts related to stormwater management are considered necessary for the orderly development of the subject property. The impacts cannot be avoided because they are required by other provisions of the County Code. The development is providing water quality and quantity controls and the impacts have been designed to minimize, to the fullest extent possible, the impacts to the PMA.

Recommended Finding: The regulated environmental features on the subject property have been preserved and/or restored to the fullest extent possible based on the limits of grading shown on the special exception site plan submitted for review. The impacts approved are for the construction of a vegetated stormwater drainage swale in the stream buffer because of this impact cannot be avoided.

CONCLUSION

Based on the preceding analysis and findings, staff recommends APPROVAL of Special Exception Application No. SE-4667 subject to the following conditions:

1. A raze permit must be obtained through the Prince George's County Department of Environmental Resources prior to removal of any existing buildings. Any hazardous materials located in any structures on-site must be removed and properly stored or discarded prior to the structure being razed.
2. Prior to approval of any building/grading permit:
 - a. A detailed site plan shall be reviewed and approved for the assisted living facility for the subject development.
 - b. A complete set of plans for the kitchen, along with the required fee must be submitted to with the Prince George's County Health Department, Division of Environmental Health, for review and approval.
 - c. Conformance to the sign regulation and its design shall be reviewed at the time of detailed site plan or approval.
3. At the time of detailed site plan review, the proposed architecture and entrance sign shall be revised according to the Urban Design Section memorandum dated April 3, 2014.
4. Prior to certification of the special exception, a Type 2 tree conservation plan (TCP2), in conformance with the Woodland and Wildlife Habitat Conservation Ordinance, shall be reviewed and approved by the Planning Director or its designee. The plan has been assigned the following plan number: TCP2-003-14.
5. The applicant must comply with any outstanding preliminary plan conditions and apply for any needed access permits from the Prince George's County Department of Permitting, Inspections and Enforcement (DPIE).
6. Prior to certification of the site plan, the following corrections shall be addressed on the plan:
 - a. Per Section 27-442 of the Zoning Ordinance, all of the applicable regulations of the (R-R) Zone, required setbacks, maximum height etc., must be added to the site plan

demonstrating how relevant requirements are being met.

- b. The 2010 *Prince George's County Landscape Manual* Section 4.2 schedules shall be removed from the plan and a Section 4.6 schedule and notes shall be added to the plan demonstrating the project's conformance to its requirements. If such demonstration cannot be made, the applicant shall apply for, and bring forward as a companion case, an alternative compliance (AC) application, and a note including information regarding the AC application should be included on the plans.
- c. A 2010 *Prince George's County Landscape Manual* Section 4.9 schedule shall be provided on the plan demonstrating conformance to all of its requirements.
- d. The amount of on-site woodland conservation claimed for tree canopy coverage credit shall be verified against the amount shown on the Type 2 tree conservation plan.
- e. Provide the correct stormwater management concept plan number, 46822-2005-03, and its approval date shall be added to General Note 21 on the plan.
- f. Remove the existing sign shown on the left of the driveway, along Lottsford Vista Road.
- g. Add the preliminary plan number and its approval date on the site plan.
- h. The right-of-way and center line of Lottsford Vista Road shall be provided on the site plan to ensure that the landscape strip does not fall within the proposed right-of-way.

ITEM: 6

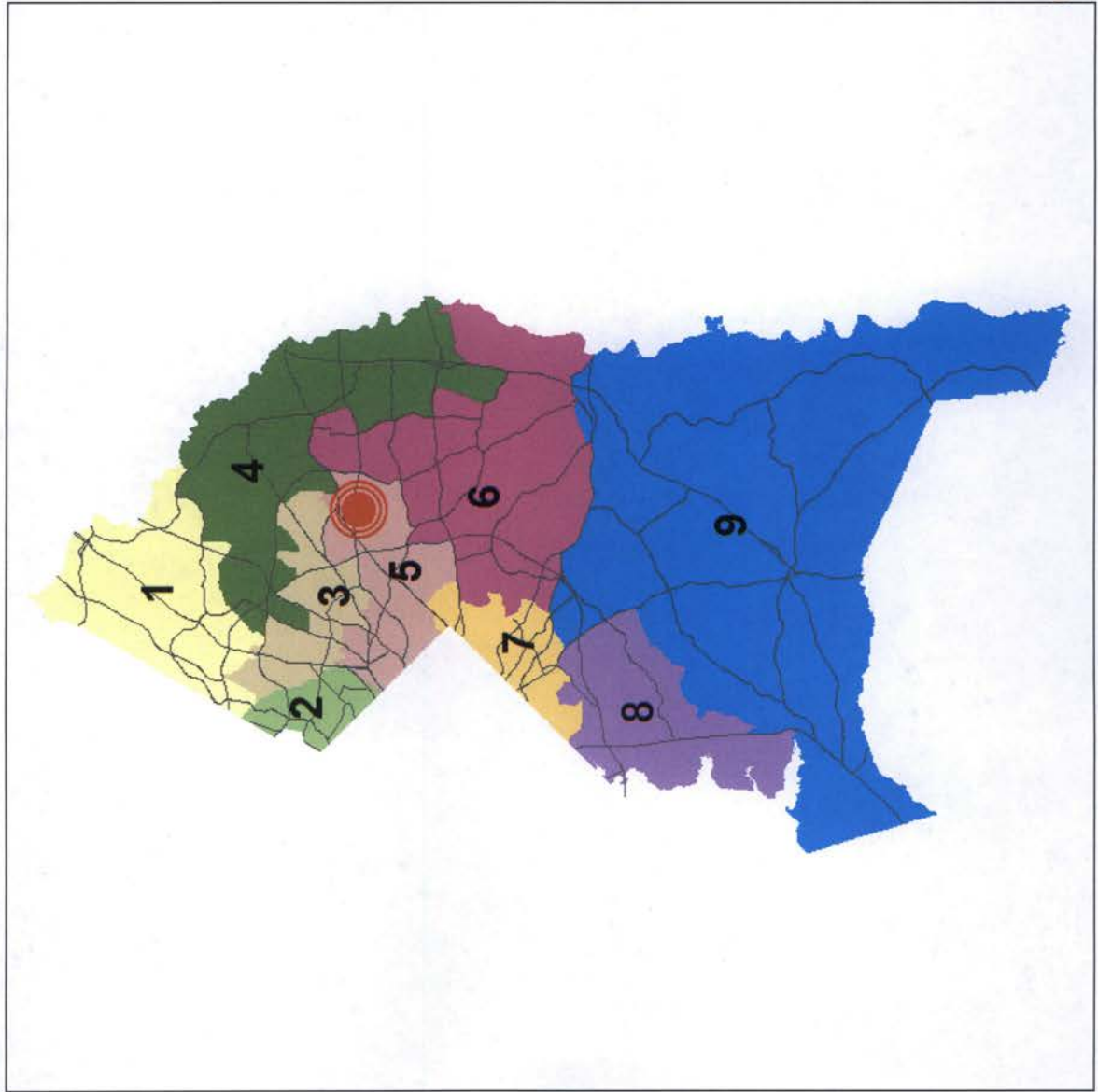
CASE: SE-4667

SYCAMORE HILL ASSISTED LIVING



GENERAL LOCATION MAP

GENERAL LOCATION MAP

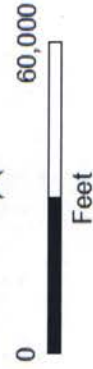


Legend

Site Location
Major Roads

Councilmanic Districts

1	6
2	7
3	8
4	9
5	



1 inch = 30,000 feet



The Marino-National Capital Park and Planning Commission
Prince George's County Planning Department
Geographic Information System

Created: December 19, 2012



SITE VICINITY



SITE VICINITY MAP

Legend

	Site Boundary
	Property
	Building
	Bridge
	Pavement
	Railroad Line

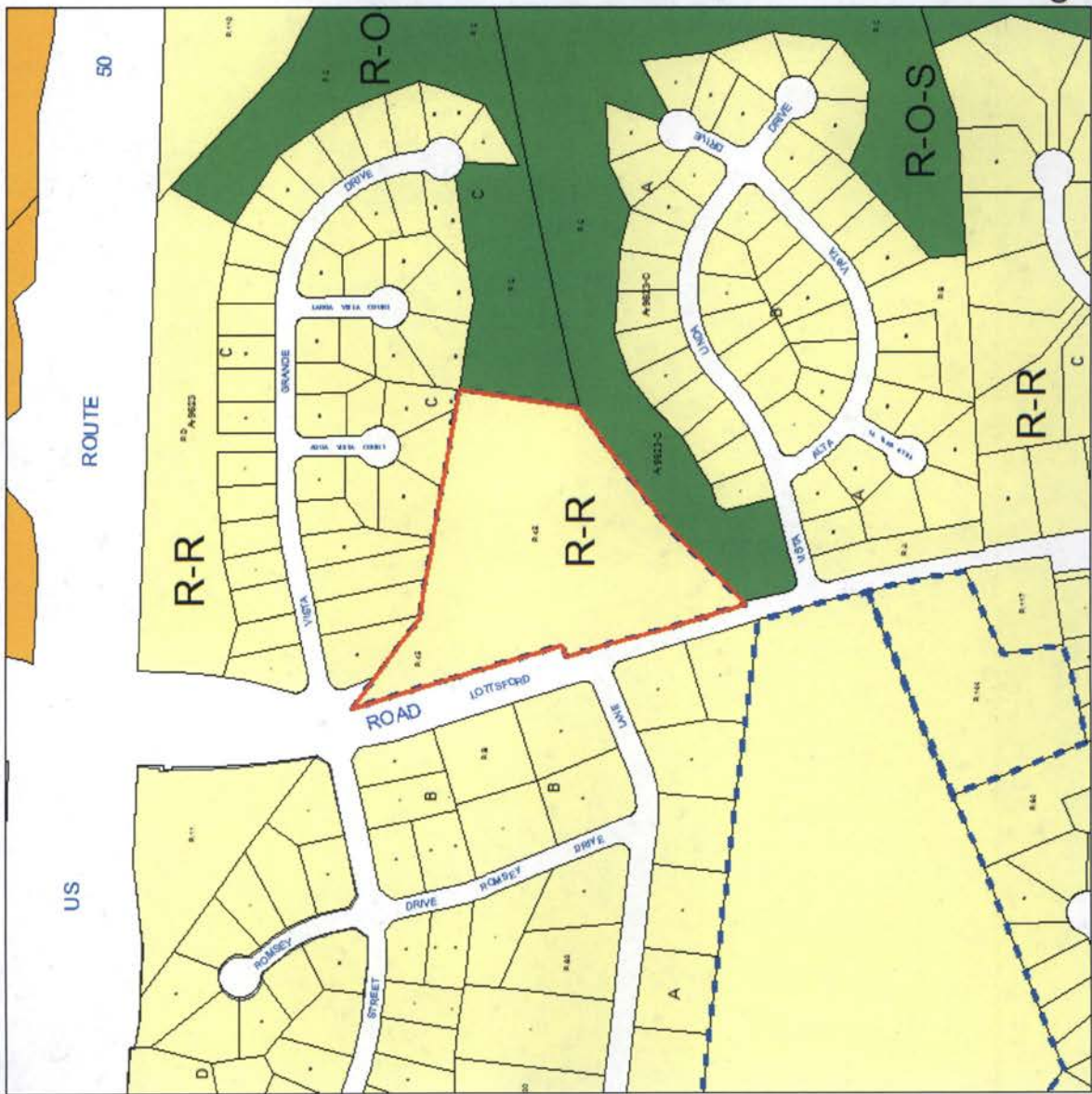


The Maryland-National Capital Park and Planning Commission
Prince George's County Planning Department
Geographic Information System

Created: December 19, 2012



ZONING MAP



ZONING MAP

Legend

	Site Boundary
	I-1
	R-O-S
	R-R
	R-T



1 inch = 350 feet



The Municipal Capital Plan and Planning Commission
Principals, Council Planning Department
Geographic Information System

Created: December 19, 2012



SITE MAP



SITE MAP

Legend

	Site Boundary
	Building
	Bridge
	Pavement
	Water
	Vegetation
	Property
	Contour Line
	Depression Line
	Railroad Line



1 inch = 350 feet



The Maryland-National Capital Park and Planning Commission
Prince George's County Planning Department
Geographic Information System

Created: December 19, 2012



AERIAL MAP




AERIAL MAP

Legend

-  Site Boundary
-  Property

IMAGERY FROM
SPRING 2011

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Feet
1 inch = 350 feet



The Maryland-National Capital Park and Planning Commission
Prince George's County Planning Department
Geographic Information System

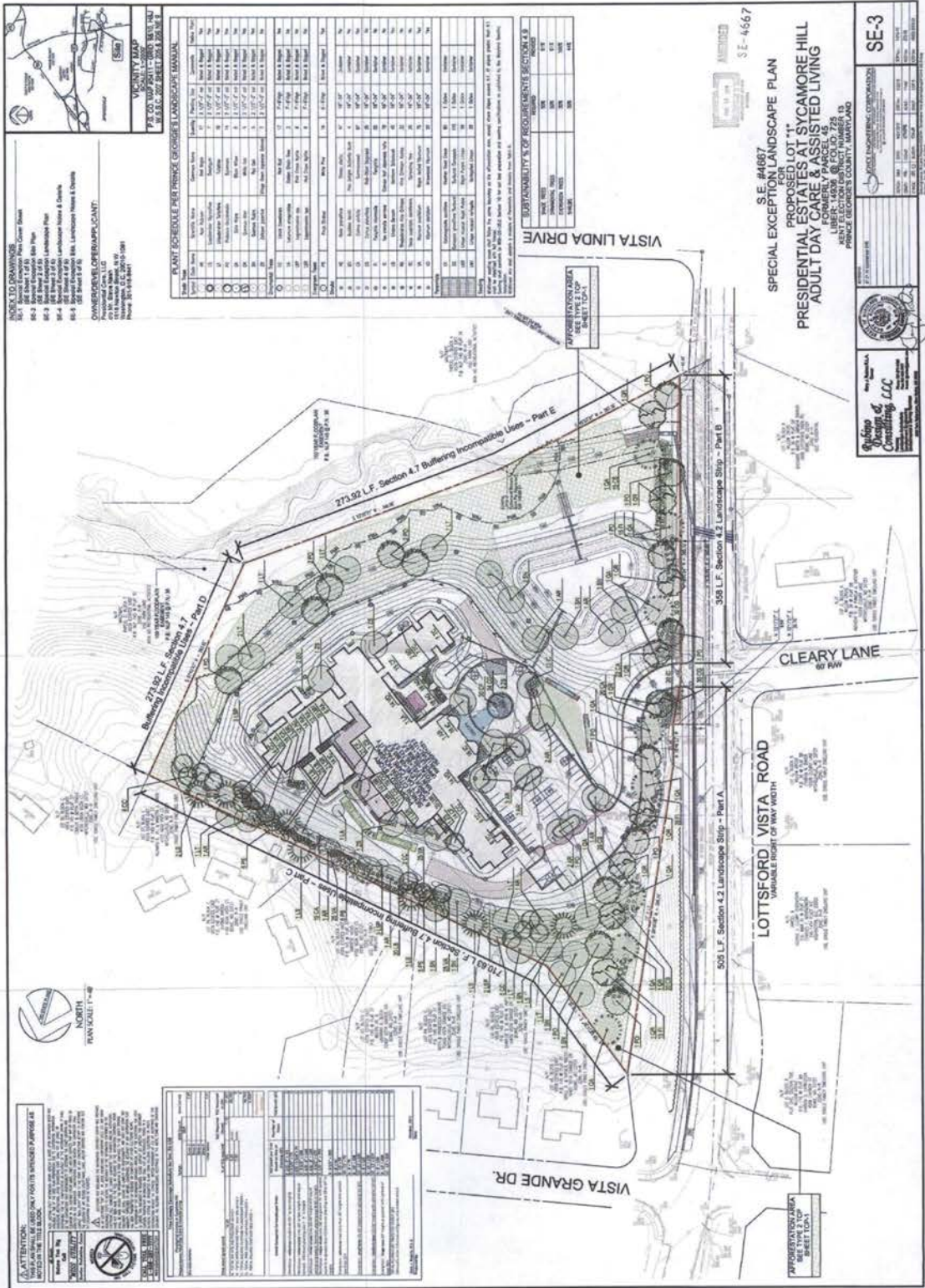
Created: December 19, 2012



BIRD'S-EYE VIEW



LANDSCAPE PLAN



EXISTING VACANT DAYCARE



5/15/2014

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EXISTING CANOPY FOR RECREATION



EAST SIDE VIEW OF THE BUILDING



WEST SIDE VIEW OF THE PROPERTY



EXISTING PARKING LOT



EXISTING DRIVEWAY



INTERSECTION OF CLEARY LANE AND LOTTSFORD VISTA ROAD



SCENIC LOTTSFORD VISTA ROAD LOOKING NORTH



LOTTSFORD VISTA ROAD LOOKING SOUTH







5/15/2014

Slide 21 of 22



LAW OFFICES
SHIPLEY & HORNE, P.A.

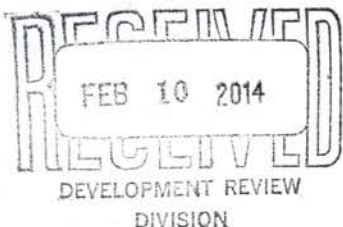
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L. Paul Jackson, II*

* Also admitted in the District of Columbia

February 10, 2014



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SE-4667

STATEMENT OF JUSTIFICATION

For

Presidential Estates at Sycamore Hill Adult Day Care

And

Assisted Living Facility

Special Exception (SE-4667)

Applicant, Stoddard Baptist Home/Presidential Care, LLC, by and through its attorney's, Arthur J. Horne, Jr. and Shipley & Horne, P.A., hereby submits this Statement of Justification in support of a Special Exception application for an Adult Day Care and Assisted Living facility located at 3911 Lottsford Vista Road, Bowie, Maryland 20721. The application is submitted pursuant to Zoning Ordinance Section 27-317; Section 27-332 (Adult Day Care); and Sections 27-441(b) Table of Uses (Footnote 77) and Section 27-464.04 for Assisted Living, also known as Subtitle 27 of the Prince George's County Code.

It is noted that a Preliminary Plan of Subdivision (4-12020) was approved on September 12, 2013 by the Prince George's County Planning Board (PGCPB No. 13-82), including a variance to Section 25-122(b)(1)(G) of the Woodland Conservation Ordinance for removal of specimen trees, and approval of Tree Conservation Plan (TCP1-010-10). The Applicant is aware that action on the Special Exception must be taken before a companion Detailed Site Plan (DSP-12064) can be approved. The Applicant has requested a waiver to the 70-day DSP process schedule.

The Special Exception has been prepared in accordance with the following criteria:

1. Requirements of the Zoning Ordinance for Adult Day Care and Assisted Living Facilities
2. Requirements for Off-Street Parking
3. Requirements in the Woodland Conservation and Tree Preservation Ordinance

4. Requirements of the *Landscape Manual*
5. Requirements of the R-R Zone
6. Requirements of pertinent County General, Master and Functional Master Plans.

Description of Subject Property:

The subject property contains 7.91 acres (7.52 acres net) and is located with frontage along the east side of Lottsford Vista Road between Vista Grande Drive and Vista Linda Drive, across from the intersection with Cleary Lane. More particularly, the property is described as Parce1 45 on Tax Map 53, Grid A-2, in a deed duly recorded among the Land Records of Prince George's County, Maryland in Liber 14936 at Folio 725.

The property is roughly trapezoidal in shape and slopes from a high elevation of 190± feet in the northwest side to an elevation of 140± feet along the south property line. There are woodlands in the center and east portions of the property. The site is improved with a vacant and former single-family detached structure that has been used as a Congregate Living Facility for (12) elderly or physically handicapped residents in accordance with approved Special Exception SE-4256. This structure is located in the northwest portion of the site and will be demolished upon construction of the proposed adult day care and assisted living complex. Access is provided via a driveway entering the site from Lottsford Vista Road at a point opposite the Cleary Lane intersection. The property is located in water and sewer systems Area 4.

Neighborhood and Surrounding Properties:

The subject property is bounded on the north by single-family detached dwellings in the R-R zoned Vista Estates East (Vista Glen) Subdivision. Adjacent on the east and south is public parkland in the Folly Branch Stream Valley Park. Lottsford Vista Road forms the western boundary of the subject property. Across Lottsford Vista Road is the R-R zoned Willow Grove Subdivision of single-family dwellings, followed by the Villa Rosa Nursing Home to the south. The Vista Estates West (Ashwood), Willow Woods, Beall Estates, and Clearfield Estates subdivisions, all zoned R-R, are located to the south on both sides of Lottsford Vista Road.

The neighborhood is the same as identified in a previous Special Exception (SE-4256) for the subject property and identical to the neighborhood identified in the area master plan. The boundaries are defined by John Hanson Highway (US 50) to the north; Folly Branch to the east, the Enterprise Farm to the south; and the Bald Hill Branch to the west. The character of the entire neighborhood, including the Lottsford Vista Road frontage between the Enterprise Farm (south) to north of US Route 50 is suburban in character and is dominated by single-family dwellings, with the exception of the subject property and the Villa Rosa Nursing Home property.

Zoning History:

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The subject property was rezoned from the R-E Zone to the R-R Zone by the 1990 Largo-Lottsford Sectional Map Amendment in Zoning Change E-3. Special Exception SE-4256 was approved with 14 conditions on June 26, 2001 (Zoning Ordinance No. 7-2001). 1

The approval allowed for a then existing twelve (12) person capacity Congregate Living Facility located in a former dwelling unit. The approval also provided for the future expansion into four (4) additional new buildings (6,381 square feet each) with a total occupancy of seventy-two (72) persons. Also, the approval allowed for a (160) child day care center and a forty (40) person adult day care center. Only the existing former dwelling was utilized as the Congregate Living Facility for twelve (12) adults. The child and adult day care components have not yet been implemented due to the extensive site disturbance, construction and maintenance costs, and inefficiencies associated with trying to develop the site with five detached buildings. This fact, together with the decision not to pursue child day care has resulted in the instant request, which, upon approval, will supersede SE-4256.

Preliminary Plan of Subdivision 4-12020 was approved on September 12, 2013 along with a Type 1 Tree Conservation Plan (TCP1-010-10). This approval also granted a variance to Section 25-122(b) (1) (G) of the Woodland Conservation Ordinance for removal of some specimen trees.

The 14 conditions of approval in SE-4256 follow:

1. Applicants shall file an amended site and landscape plan that is in accordance with this decision for approval of the Office of the Zoning Hearing Examiner prior to any permits being issued pursuant to this decision.
2. Applicants shall file a Type II Tree Conservation Plan with the Natural Resources Division of the Planning board for approval of the Office of the Zoning Hearing Examiner prior to any permits being issued pursuant to this decision.
3. A note shall be added to the site plan which indicates the square footage to be dedicated to the Adult Day Care Center.
4. A note shall be added to the site plan indicating that the play area shall not be used before 7:00a.m. or after 6:00p.m.
5. The required loading space shall be included in the parking schedule.
6. No trash or trash container shall be seen from Lottsford Vista Road above the fence surrounding the dumpster pad.
7. The loading space and dumpster pad shall be screened as required by Section 27-580.
8. The Landscape Plan shall be certified as required by Section 27-296.
9. There shall be no events on site that would attract more people than parking on site can handle at three (3) person occupancy per vehicle.
10. The architecture of all new structures on site shall be consistent with covenants for design architecture applicable to structures, at the time of the filing of this decision, in Vista Estates and Vista Glenn Subdivisions.
11. Applicants shall submit proposed design and architecture of all new structures on site to the Vista Estates and Vista Glenn Citizen's Associations who shall review and comment on the proposals within 60 days of the date mailed or submitted to them, whichever is earlier.
12. Applicants shall completely fence the storm water management pond located adjacent to the toddler play area.
13. All fire lanes, etc., shall be indicated on the amended site plan and shall be marked (painted and signs) as required by the Fire Safety and/or Building Codes. Applicants shall enforce the no parking zones.
14. Applicants shall show on the site plan the location of the nearest existing fire hydrant and any new fire hydrant(s) to be located to serve the buildings on site in accordance with Subtitle 4 of the Prince George's County Code.1

Nature of Proposed Use:

The Applicant requests approval of a new Special Exception for an Adult Day Care facility and associated Assisted Living Facility in the R-R Zone in accordance with the provisions of the Zoning Ordinance in Section 27-317; Section 27-332 (Adult Day Care); Section 27-441(b) Table of Uses (Footnote 77), and Section 27-464.04 for Assisted Living. The Assisted Living facility is only permitted as a Special Exception if adjoining and operated by the same organization as an Adult Day Care use. Moreover, the Assisted Living use requires that a detailed site plan be approved. The Applicant has submitted the Detailed Site Plan (DSP-12064) and recognizes that action on it can only occur after the Special Exception for both uses is approved.

The Adult Day Care use is proposed to accommodate 15 persons. The Assisted Living facility will accommodate 78 occupants housed in 15 double occupant units (30 beds) and 48 single occupant units (48 beds). The site plan proposes one (1) 65,608 square foot building to accommodate both uses.

The Applicant has determined that the existing SE-4256 no longer provides a realistic development and use model that meets their mission for developing Adult Day Care and Assisted Living facilities. The instant request eliminates the child day care facility approved in SE-4256, but retains its approved Adult Day Care use but with fewer occupants.

Moreover, the Applicant has determined that development in accordance with the existing SE-4256 is not physically feasible due to the existence of steep slopes through the center of the site and along the north and east property boundaries. Practical construction difficulties come into play when trying to develop this challenging site with the site plan approved in SE-4256 that proposed five (5) additional detached buildings. This is because the site would have required extensive grading and use of high retaining walls along the north and east property lines to accommodate the five (5) buildings (6,381 square feet each) designed to house the congregate living occupants, in addition to a separate 13,546 square-foot building for the adult/ child day care use. Six (6) dispersed buildings across the site and the high retaining walls required to accommodate this form of development would ultimately detract from the site and adjoining properties by increasing lot coverage. Furthermore, development in accordance with the existing Special Exception site plan is economically impractical and inefficient given the expense of building, maintaining, and staffing six (6) individual buildings with separate living facilities and required utilities.

The currently proposed site plan illustrates the location and configuration of the proposed 65,608 square-foot two-story structure and location of the forty-nine (49) provided parking spaces and one (1) loading space, including accessory structures and recreation facilities. The proposed site plan minimizes the extent of grading required by SE-4256 and the need for extensive use of retaining walls along lot lines, allowing for substantial landscape plantings along the graded bank leading to the north and east property lines, including appropriate recreational activities and additional landscaping.

The companion Detailed Site Plan sheets illustrate the architectural elevations and site amenities proposed.

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Development Data Summary:

	EXISTING	PROPOSED
Zone(s)	R-R (SE-4256)	R-R (SE-4667)
Use(s)	Vacant dwelling, previously used for 12 person Congregate Living Facility with approval for 72 occupants; including a 160 Child Day Care center a 40 person Adult Day Care use	Two (2) story Assisted Living Facility (78 occupants) with an Adult Day Care Center (maximum 15 occupants)
Acreage	7.91 gross	7.53 net
Lots	1	1
Square Footage/GFA	3,900	65,608
Lot Coverage	5,500 sq. ft. (main building) & 830 sq. ft. (barn) 6,330 sq. ft. total + 10,200 sq. ft. impervious surfaces (4.75 %)	112,678 square feet (34.38%)
Green Area	315,142 sq. ft. (95.25%)	215,023 square feet (65.62%)

Law Applicable:

An Adult Day Care Facility is permitted in the R-R Zone by Special Exception pursuant to Section 27-441(b) (2) Table of Uses and Section 27-332 of the Zoning Ordinance. A 40 person Adult Day Care is already approved for the subject property in SE-4256. In accordance with Footnote 77 in Section 27-441(b) (2), the current proposal includes both Adult Day Care facilities for 15 persons and assisted living facilities for 63 occupants. Both facilities will be operated by our client in one building.

An Assisted Living Facility located in the R-R Zone, as defined in Section 27-107.01 (20.3) of the Zoning Ordinance is permitted by Special Exception pursuant to Section 27-441(b) (2) Table of Uses (Footnote 77)³ in the Zoning Ordinance. Footnote 77 of Section 27-441(b) (2) states the following:

"77. Up to seventy-five (75) dwelling units are permitted only if adjoining and operated by the same organization as an adult day care use, approved by Special Exception. All assisted living facilities standards and requirements in Part 6, Division 5, must be met, including Detailed Site Plan approval under Part 3, Division 9" (Emphasis.)

² Section 107.01 (20.3) Assisted Living Facility: A residential facility with living and sleeping facilities for more than twenty (20) elderly or physically handicapped residents within which

sheltered care services are provided, which may include, but need not be limited to, meal preparation, laundry services, housekeeping, personal observation and direction in the activities of daily living, transportation for routine social and medical appointments, and the availability of a responsible adult for companionship or nonclinical counseling. The term shall not include an "Adult Day Care Center," "Congregate Living Facility," "Hospital," "Nursing or Care Home," "Family," or "Group Residential Facility" as defined elsewhere in this Subtitle. An "Assisted Living Facility" shall comply with any licensing and other regulatory requirements.

3 The Council Bill (CB-110-2004) references Footnote 75, while the Zoning Ordinance reflects the same footnote language but instead re-numbers the reference as Footnote 77.

Specific development guidelines and requirements for Assisted Living Facilities are in Part 6, Division 5 (Section 27-464.04) of the Zoning Ordinance. A companion Detailed Site Plan (DSP-12064) for the Assisted Living use is pending approval of the instant Special Exception application. The general required findings for Special Exceptions are contained in Section 27-317 of the Zoning Ordinance. Required Special Exception findings for Adult Day Care Centers are in Section 27-332 of the Zoning Ordinance.

Conformance with the Zoning Ordinance:

A. Section 27-317 - Requirements:

A Special Exception is required for both an Adult Day Care Center and Assisted Living Facility in the R-R Zone in accordance with Section 27-441(b)(2) Table of Uses in the Zoning Ordinance. Section 27-317 of the Zoning Ordinance requires the following findings for approval of a Special Exception.

(a) A Special Exception may be approved if:

(1) The proposed use and site plan are in harmony with the purpose of this Subtitle,

Response: The proposed Adult Day Care Center and Assisted Living site plan are in harmony with the general purposes of Subtitle 27 as set forth in Section 27-102(a) (1-15) in the Zoning Ordinance. They are addressed in order:

(1) To protect and promote the health, safety, morals, comfort, convenience, and welfare of the present and future inhabitants of the County:

4 Section 107.01(7) Adult Day Care Center: An establishment in which a program is operated that is designed to provide care and activities (during the daytime) for five (5) or more adults (unrelated to the operator by blood, adoption, or marriage) who are members of a service population that, because of

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advanced age, or emotional, mental, physical, familial, or social conditions, need assistance in daytime activities. The term shall not include a "Nursing or Care Home," "Congregate Living Facility," "School, Private," "Eleemosynary or Philanthropic Institution," or "Group Residential Facility," or any "Sheltered Workshop" licensed as such by the United States Department of Labor.

(CB-90-1985)

Response: The proposed Adult Day Care Center and Assisted Living Facility provide alternative housing and care opportunities for a broad spectrum of elderly and handicapped residents not otherwise readily available. The Assisted Living Facility will be operated in compliance with any licensing and other regulatory requirements pursuant to Section 107.01 (20.3). In so doing, the combined facilities will help promote the health, safety, morals, comfort, convenience, and welfare of the present and future inhabitants of the County by providing safe and modern living and care facilities for its residents. Moreover, the facilities will provide increased employment opportunities for a range of service and professional employees.

(2) *To implement the General Plan, Area Master Plans, and Functional Master Plans;*

Response: The subject Application is in conformance with the recommendations of the 2002 General Plan. The site is in the General Plan's Developing Tier where the vision strives to "maintain a pattern of low- to moderate- density suburban residential communities, distinct commercial centers, and employment areas that are increasingly transit serviceable." Several General Plan goals seek the following which are supported to some degree by the subject proposal:

- *Maintain low- to moderate-density land uses* - by developing a modest two-story, 65,608 square foot Adult Day Care Center and Assisted Living Facility;
- *Reinforce existing suburban residential neighborhoods* - by providing for extended residential care for a segment of the population;
- *Preserve and enhance environmentally sensitive areas* - by providing afforestation and meeting all sustainability requirements of Section 4.9 of the Landscape Manual, including protection of the stream headwater and Primary Management Area adjacent to the property by meeting all stormwater management requirements. Also, the site has an approved Natural Resources Inventory (NRI 148/06/01).
- *Encourage contiguous expansion of development where public facilities and services can be more efficiently provided* - by leveraging the sites infill location adjacent to existing development. Additionally, the proposal is consistent with the first strategy under Developing Tier Policy 1 which is to promote a greater mix of uses and housing choices in communities focused around human-scale, mixed-use centers accessible by multiple transportation nodes.

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The subject property lies within Neighborhood B of the Enterprise Community set forth in the 1990 Largo-Lottsford Master Plan and Sectional Map Amendment (SMA). Master plan recommendations are based on several of the following principles applicable to the instant request (Master Plan Page 58):

"The living areas may include a variety of residential housing types and densities, local public facilities..., quasi-public facilities (religious institutions, day care centers, etc.) and locally oriented retail and service commercial uses to serve the convenience needs of the residents.... The Planning Area should contain units to accommodate a variety of lifestyles. The Plan recommends a mix of single-family ... and multifamily units.... It is also the intention of the Plan that housing within Largo-Lottsford provide for changing lifestyles: single people, childless couples, and households with families, residents looking for upscale housing, and retired and the elderly...."

Two master plan guidelines (Page 71) encourage the provision of appropriate sites for the development of senior citizen housing and related facilities in locations convenient to social and welfare facilities and convenient to shops, public transportation, and other needs of senior citizens, including the provision of ample outdoor livable space, meeting rooms, and recreational facilities. In approving existing SE-4256, it was already determined that such housing and related institutional uses are appropriate at the subject property. By virtue of a less intensive overall development, the proposed uses certainly remain compatible with the 1990 Largo Lottsford Master Plan recommendations. Also, the instant request is grounded in the cited master plan principles and guidelines by virtue of providing continued housing options for different population cohorts and changing life styles.

Additionally, development will be consistent with the recommendations contained in several functional master plans as described in more detail below. The County intends that functional master plans inform master plans regarding the functional element designated. It is solely through the development review process that the details of a development proposal and its impacts on infrastructure and existing planning master/functional plan policies are evaluated and mitigated, not through application of broad General Plan policies, or even those of older master plans. Evaluation of a specific development proposal impacts cannot be qualified against broad goals, policies and strategies articulated by various tiers of plans (e.g., general, master, functional, sector) in isolation.

A review of the Approved March 2008 Public Safety Facilities Master Plan reveals that the proposed site is within Police District II, Bowie. The plan recommends a new Woodmore - Glen Dale police station at some point in the future when needed and to be located adjacent to the existing Glen Dale Fire/EMS Station. This recommendation is also contained in the September 2008 General Plan Growth Policy Update. The site is also very close to the M-NCPPC Park Police facility at off of Enterprise Road. Also, the 2008 Public Safety Facilities Master Plan (Map 4) appears to indicate the subject property is within the minimum five-minute

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response time for fire and emergency management services. Additionally, this functional plan encourages incorporating crime prevention elements through environmental design, such as safe pedestrian and vehicular access and parking management, surveillance and private security, and an overall quality environment that ensures resident safety on the property and in the building. The site will be developed in accordance with many of these crime prevention strategies, such as limited access, convenient parking and effective lighting. The adequacy of both police and fire facilities was determined acceptable during approval of Preliminary Plan 4-12020.

The September 2010 Approved Water Resources Functional Master Plan is a policy document primarily intended to guide decisions about growth and development, land preservation, environmental and water resource protection, and the infrastructure needed to support land use. The plan outlines numerous actions to be taken by the public sector in pursuing goals and describes general strategies to minimize negative impacts from land development activities. Stormwater management policies and other smart growth principles are incorporated into the site development. Also, Leadership in Energy & Environmental Design (LEED) site standards will be utilized to protect water resources and promote energy conservation. While the proposed development is not seeking LEED certification it will be incorporating key LEED design principles.

Also, the site incorporates environmental site design (ESD) principles with a substantial amount of woodland reforestation/afforestation and minimization of impervious surfaces to slow down runoff and increase infiltration. Some ESD techniques being considered are use of cisterns, rain gardens, and rain barrels among other methods. The solutions selected will be determined upon approval of the stormwater management technical plan. An onsite storm drain system and retention pond for water quality and quantity control is provided to accommodate the 10 and 100 and 1 year storm as approved in Conceptual Stormwater Management Concept letter (CSD No. 46822-2005-03) and DPW&T Technical Design/construction Plan 1300-2009-00. Natural Resources Inventory (NRI-48-06-01) was approved in conjunction with Preliminary Plan 4-12020.

The 2005 Approved Countywide Green Infrastructure Plan (GIP) identifies a contiguous network of environmentally sensitive areas and recommends goals, policies, strategies and objectives to preserve, protect, and enhance these areas by 2025. The subject property is largely within the GIPs Evaluation Area and also contains portions of the Regulated area along the south property line in the vicinity of the off-site stream and 100-year floodplain, including a portion of what appears to be the steep slopes along the north and east property lines. There are two Regulated areas located on the northeastern and south-southeastern portions of the site. The woodlands to be saved and areas to be reforested are within the Regulated and Evaluation areas. The DPW&T in reviewing Preliminary Plan of Subdivision 4-12020 for the subject property indicated (December 22, 2006) that 100-year floodplain delineation is not required because the drainage area is less than 50 acres and has no evidence of stream channelization and the stormwater management concept letter is not requiring a floodplain study. Nevertheless, proposed development of the site together with afforestation of a substantial amount of woodland is consistent with the environmental goals contained in the GIP. A significant effort to provide a

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vegetated buffer to enhance and improve the existing off-site stream valley is provided through 1.83 acres of reforestation/afforestation within and adjacent to the PMA. These areas will be heavily forested and additionally stabilized with grasses and wildflower mixtures. Planting are designed to promote and enhance wildlife habitat. Bird boxes will also be installed for the viewing pleasure of residents and habitat diversity. Plantings such as Butterfly bushes will also be installed to promote the enjoyment of the natural setting. There are no wetlands on-site.

There is a minimal PMA disturbance request for a total of 1,600 SF or 0.04 acres as a result of the required roadway widening and the construction of the SWM Pond required by the approved CSD Letter. This encroachment/disturbance is necessary to provide an adequate drainage conveyance channel to towards Regulated portion of the Stream Channel located off site.

The subject property is also consistent with the County's Ten Year Water and Sewerage Plan and is appropriate for development. The majority of the site is within Water and Sewer Systems Area 4 and the remainder (north and east portions of site) is in Systems Area 3, meaning the site is or will be served by public water and sewer.

The site was surveyed (Phase I archeological) in May 2008 and was found by the Historic Preservation staff not to contain any documented historic sites or resources. However, the property is adjacent to Lottsford Vista Road, a designated historic road.

The extreme southeast corner of the property is within the Outer Horizontal Surface for Andrews Air Force Bases' right runway (Zone F) as designated in the JLUS Interim Land Use Controls area. Zone F establishes an imaginary height limit of 500 feet above the runway surface, far in excess of the proposed site/building elevation height at 246 feet above sea level. Also, the property is outside of the 65 dBA and above noise contours and is outside of the Accident Potential Zone (APZs).

3) *To promote the conservation, creation and expansion of communities that will be developed with adequate public facilities and services;*

Response: The subject property is one of the last parcels to be developed in this suburban community. To the Applicant's knowledge there are adequate public facilities to serve the property. The site is in Sewer and Water Categories 3 and 4 and the Applicant is pursuing a request to place the entire site in Category 3. Approval of Preliminary Plan 4-12020 limited total development to uses that generate no more than 18 AM and 27 PM peak-hour vehicle trips.

(4) *To guide the orderly growth and development of the county, while recognizing the needs of agriculture, housing, industry, and business;*

Response: The proposal recognizes the existing need for alternative housing options for segments of the population and for serving the care needs of adults. In addition, the proposal will create additional employment opportunities for construction and human services workers.

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An estimated 100 employees will work full and part time at the facility upon completion.

(5) *To provide adequate light, air and privacy;*

Response: The design of the proposed 65,608 square-foot two-story building will not diminish the provision of adequate light, air, and privacy as can be readily discerned from the building location and design. All housing will be in one structure as opposed to five separate congregate living buildings approved in the existing SE-4256. All living quarters will have windows with views to the outdoors.

(6) *To promote the most beneficial relationship between the uses of land and buildings and protect landowners from the adverse impacts of adjoining development;*

Response: The proposed uses and development provide a beneficial relationship between adjacent and adjoining residential and open space uses. A single building is proposed near the center of the site that is substantially setback and buffered from Lottsford Vista Road and from the single-family dwellings adjacent to the north. Public parkland adjoins the site to the east and south and provides both privacy and open space to residents of the facility and helps buffer the site from adjacent neighborhoods. Exterior lighting is provided for parking areas and building security without causing glare onto adjacent properties.

(7) *To protect the County from fire, flood, panic and other dangers,*

Response: The proposed development will provide for internal fire suppression measures and will be built in accordance with all building codes which will serve to protect the County from fire, flood, panic and other dangers. The site plan demonstrates improved site and roadway access with the dedication of additional right-of-way and improvements to Lottsford Vista Road. Proposed development will also enhance the environmental setting of the property in relationship to adjoining properties.

(8) *To provide sound, sanitary housing in a suitable and healthy living environment within the economic reach of all County residents;*

Response: The proposed uses are specifically designed and intended to satisfy this purpose. In fact, the Applicant has abandoned the currently approved congregate living concept that was designed to occupy five (5) separate buildings in order to maximize building and service efficiencies by consolidating all activity into one building, thus creating a more healthy and managed living environment for residents.

(9) *To encourage economic development activities that provides desirable employment and a broad protected tax base,*

Response: The proposed 65,608 square-foot building will provide substantial employment opportunities during construction and continued employment for administrative, human service,

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and maintenance workers in the facility upon completion.

(10) To prevent the overcrowding of land,

Response: Approval of this application will substantially reduce overcrowding and overdevelopment of the site from the development already approved in SE-4256. One building will be constructed instead of five (5) individual buildings dispersed across the site. This has the effect of reducing the amount of lot coverage and helps preserve a residential character in the community.

(11) To lessen the danger and congestion of traffic on the streets, and to insure the continued usefulness of all elements of the transportation system for their planned functions;

Response: An initial Traffic Impact Study dated July 25, 2008 has been submitted and it evaluated the impact of an (80) unit Assisted Living Facility, a (160) student day care center, and a (40) adult day care facility as approved in SE-4256 on the existing and future traffic conditions in the area. Traffic counts, intersection turning movements, pedestrian counts and field observations were conducted from 6:30AM to 9:30AM and 3:30PM to 6:30PM on Tuesday May 13 and Wednesday May 14, 2008 at several intersections along Lottsford Vista Road:

- Lottsford Road
- Yellowwood Lane
- Cleary Lane
- Forbes Boulevard
- MD 704

The existing conditions capacity analysis at the time revealed study area intersections operated within acceptable critical lane volume (CLV) standards. The study also examined background (proposed development estimates supplied by M-NCPPC staff) and came to the same conclusion. The study concluded that all five studied intersections operate within acceptable CLV limits of 1450 for signalized intersections or Level of Service (LOS) E (delay greater than 50 seconds) for unsignalized intersections. With the addition of the approved development levels on the subject property and background traffic added-in, the study found a slight increase in CLV at the two signalized study area intersections and a slight increase in delay at the unsignalized study area intersection. However, the study area intersections were found to operate within acceptable CLV and LOS limits.

An updated traffic count was performed on Wednesday, November 14, 2012 to evaluate (78 bed Assisted Living facility (63 dwelling units) and (15) Adult Day Care occupants. (See Exhibit 1). The analysis examined vehicle turning movement counts, including pedestrian and bicycle counts at the intersections formed by Lottsford Vista Road/Cleary Lane and Lottsford Vista Road/Forbes Boulevard as directed by M-NCPPC transportation planning staff. Traffic condition diagrams were also included pursuant to planning staff requests. Traffic data collection at these intersections occurred during the times of 6:30AM to 9:30AM and 3:30PM

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and 6:30PM. The AM peak hour was 7:30AM to 8:30AM for both intersections. The PM peak hour was 5:00PM to 6:00PM for Lottsford Vista Road/Forbes Boulevard intersection and 5:30PM to 6:30 PM for the Lottsford Road/Cleary Lane intersection. It was determined during the review and approval of Preliminary Plan 4-12020 that the proposed levels of development would generate no more than 18 AM and 27 PM peak-hour vehicle trips. Based on the above, the proposal will not affect the health, safety, or welfare of residents or workers and will maintain adequate access and levels of service on the transportation system.

(12) To insure the social and economic stability of all parts of the County;

Response: The subject proposal will provide assisted living housing opportunities for a segment of the population that generally seeks and depends upon social and economic stability in their living conditions and interactions. The adult day care component allows for care givers to be able to continue working and still have family members at the assisted living facility. The facilities will provide employment for county residents, educational opportunities to allow employees to advance, business opportunities for local businesses, especially minority and disadvantaged businesses.

(13) To protect against undue noise, and air, and water pollution, and to encourage the preservation of stream valleys, steep slopes, lands of natural beauty, dense forest, scenic vistas, and other similar features;

Response: The proposed development will decrease lot coverage and increase open space significantly more than would occur under existing SE-4256. Development is removed from the Primary Management Area (PMA) along the Folly Branch stream along portions of the southern property line. The PMA contains (0.41 acres) associated with the (75') Stream Buffer along the Regulated Folly Branch located on an adjacent park property. A small disturbance of 1,600 square feet (0.04 acres) is necessitated by the required road widening and SWM pond construction necessary to provide adequate drainage conveyance to the regulated portion of the stream on the adjacent park property.

Stormwater Management facilities will provide water quality, channel protection storage, and control of the peak discharge rate from the 10, 100 and 1 Year storm event. The pond will be landscaped with plants and trees. There are no scenic vistas or similar features proximate to the subject property, other than the adjacent parkland. There are no wetlands on the property. Grading and use of retaining walls has been substantially reduced from that required in SE-4256. A Natural Resources Inventory (NRII 148/06) was approved on February 28, 2007. Stormwater Concept Plan (No. 46822-2005-03) is approved and the site has an approved Technical Design/Construction Plan.

(14) To provide open space, to protect scenic beauty and natural features of the County as well as to provide recreational space,

Response: The Zoning Ordinance allows up to 60% lot coverage and the proposed 34.38% lot coverage is substantially below this level. Also, the proposal provides ample open space with

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65.62% of the site remaining free of impervious surface coverage. Several active and passive outdoor recreational areas and facilities are proposed for the convenience and enjoyment of the residents, such as walkways, sitting pavilions, trellis/arbor, gazebos, patios, horseshoe and shuffleboard courts, and a putting green. The required amount of woodland conservation is 3.28 acres, of which 0.36 acres is preserved and another 1.83 acres are replaced through afforestation/reforestation. An additional 1.09 acre credit is achieved for conservation of woodlands off-site.

(15) To protect and conserve the agricultural industry and natural resources,-

Response: Development of the subject property for assisted living/adult day care uses will not eliminate farmland and will not threaten any of the County's natural resources.

(2) The proposed use is in conformance with all the applicable requirements and regulations of this Subtitle;

Response: Upon approval of the subject Special Exception and a companion Detailed Site Plan, the proposed uses will be in conformance with all applicable requirements and regulations of Subtitle 27. The proposed uses are both permitted by Special Exception in accordance with Section 27-441 (b) (2) and Footnote 77 in the Residential Table of Uses of the Zoning Ordinance and will conform to all applicable requirements and regulations of this Subtitle. Also, the companion Assisted Living Facility will comply with all licensing and other regulatory requirements as required by Section 107.01 (20.3) of the Zoning Ordinance.

(3) The proposed use will not substantially impair the integrity of any validly approved Master Plan or Functional Master Plan, or, in the absence of a Master Plan or Functional Master Plan, the General Plan;

Response: As discussed above in Item 2 under Section 27-317, the proposed uses are compatible with and will not substantially impair the integrity of the approved 1990 Largo-Lottsford Master Plan, the General Plan or relevant functional master plans. The sum and substance of the analysis herein supports that there is no such impairment. In fact, the subject property is already approved (SE-4256) for a (72) unit Congregate Living Facility, a 40-person Adult Day Care Center, and a 160-capacity child day care component.

The proposed uses also implement some of the land use principles underlying the recommendations in the 1990 Largo-Lottsford Master Plan which call for a variety of housing types, local public facilities, and quasi-public facilities (such as religious institutions, day care centers, etc.) to help serve and accommodate a variety of lifestyles.

The proposal has preserved sensitive environmental features associated with the Primary Management area as required and is consistent with the Green Infrastructure Functional Plan.

To the Applicant's knowledge there are no public safety deficiencies created by the proposed development.

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(4) *The proposed use will not adversely affect the health, safety, or welfare of residents or workers in the area;*

Response: The proposed uses will not adversely affect the health, safety and welfare of the workers in the area as evidenced by the foregoing analysis. Further, the proposed uses are specifically intended to enhance the health, safety and welfare of its elderly and/ or handicapped residents. The proposed facilities will be professionally managed by trained administrators and human service and health care professionals with over 110 years of combined experience caring for the elderly.

(5) *The proposed use will not be detrimental to the use or development of adjacent properties or the general neighborhood; and*

Response: The proposed uses will not be detrimental to the use or development of the adjacent properties or the general neighborhood. In fact, the proposal significantly reduces site disturbance, the number of uses allowed, and the amount of development below that which can occur under approved SE-4256. The proposed Adult Day Care Center and Assisted Living facilities in the R-R Zone are preordained compatible with adjacent land uses subject to satisfying their specific Special Exception requirements.

(6) *The proposed site plan is in conformance with an approved Tree Conservation Plan.*

Response: Tree Conservation Plan Type I (No. 1-009-10) was approved as part of Preliminary Plan 4-12020, including a variance to Section 25-122(b) (1)(G) related to the removal of specimen trees identified on the NRI. Tree Canopy coverage has been met as described on the Landscape Plan (Sheet3 of 5). Natural Resources Inventory (NRI-148-06-01) was approved on July 18, 2011.

(7) *The proposed site plan demonstrates the preservation and/or restoration of the regulated environmental features in a natural state to the fullest extent possible in accordance with the requirement of Subtitle 24-130 (b) (5).*

(b) *In addition to the above required findings, in a Chesapeake Bay Critical Area Overlay Zone, a Special Exception shall not be granted:*

- (1) *where the existing lot coverage in the CBCA exceeds that allowed by this Subtitle, or*
- (2) *where granting the Special Exception would result in a net increase in the existing lot coverage in the CBCA.*

Response: The site plan provides for the preservation and/or restoration of regulated environmental features in a natural state to the fullest extent possible in accordance with the requirement of Subtitle 24-130 (b) (5). Preliminary Plan 4-12020 was approved on September 12, 2013 along with a Type 1 Tree Conservation Plan (TCP1-010-10). This approval also granted a variance to Section 25-122(b) (1) (G) of the Woodland Conservation Ordinance for removal of some specimen trees. Also, the subject property is not within the Chesapeake Bay Critical Area Overlay Zone.

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B. Section 27-464.04 Assisted Living Facility Requirements:

Section 27-464.04 (Part 3, Division (9) of the Zoning Ordinance establishes specific additional guidelines and regulations that apply to assisted living facilities whether they are located in residential or commercial zones as follows:

(a) *An assisted living facility permitted (P) in the Table of Uses shall be subject to the following:*

(1) *Guidelines for development:*

(A) *The following guidelines shall be considered:*

(i) *If more than one (1) building is proposed, residential units should be clustered together in small to medium size groups to give a more residential character to the site.*

Response: Only one building is proposed to accommodate both the Adult Day Care Center and Assisted Living facilities. This will significantly improve compatibility with the residential character of the community over the development concept approved in SE-4256 for six individual buildings.

(ii) *The entry to the assisted housing site should provide easy recognition of the facility and a safe and unambiguous vehicular route to the building entry and passenger drop-off area.*

Response: A 30-foot-wide driveway entrance, located opposite the intersection of Cleary Lane with Lottsford Vista Road leads to a 24-foot-wide driveway aisle that extends the entire distance to the main building entrance and (49) space parking lot. A masonry wall on each side of the site's entrance identifies the address and facility name. Sign details are included with this application on the Architectural Plan Sheet A5.17.

(iii) *The radius and width of the entry drive should allow cars and vans to maneuver easily.*

Response: The radius and 24-foot width of the entry driveway is sufficiently wide to allow cars and vans to maneuver easily.

(iv) *The drop-off area should be close and convenient to the building entry, but should be spacious enough to accommodate wheelchairs, open car doors, and passing cars.*

Response: The driveway circle leading to the building entrance provides a 24-foot-wide travel lane that is amply wide enough to accommodate wheelchairs, open car doors and passing cars. Also, seven (7) parking spaces are provided within this circle to increase convenience with all parking spaces located within 170 of the front entrance door.

(v) *A canopy or cover offering protection from the weather should normally be*

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provided over the building entry and passenger drop-off area.

Response: The proposed building design provides a permanent roof structure or canopy that is attached to the building entrance and covers the passenger drop-off area and building entrance. The canopy extends from the building to over a portion of the landscaped entry circle.

(2) **Requirements:**

(A) A recreational facilities plan shall be submitted demonstrating that sufficient recreational facilities or opportunities are provided to serve the prospective resident population. Facilities may be provided on site or within adjoining development. In any case, but particularly if on adjoining property, there shall be a staging plan for the facilities constructed. Recreational areas should be clustered together to increase levels of activity, use of amenities, and the sense of vitality of the community.

Response: Exhibit 2 provides the programmatic descriptions for both the Adult Day Care Center and Assisted Living components and outlines the philosophy of “live well” care as well as describing the various recreational facilities, activities and amenities to be provided. All recreations facilities are on site. The site plan shows a complete circular pedestrian pathway system that allows for the exercise of residents as well as access to all passive and active recreational facilities. The location of two shuffleboard courts and two horseshoe pits near the rear or north side of the building allow safe and ample play zones for each sport. A putting green is shown west of and near the driveway circle along with a small gazebo for walking, sitting, gathering or relaxing. The synthetic putting green is bordered by two horse shoe pits. A 16' by 24' pavilion is located adjacent to the main building entrance which will facilitate overall building activities or picnics. It can also serve as a party area for families visiting their loved ones on special events. A trellis walkway is proposed between the rear of the main building and a building wing oriented to the northeast leading to the outdoor patio area. The patio provides residents opportunities to observe wildlife and wildflower gardens in a relaxed setting. This area will also host table games and movable furniture for social gatherings. Also, multiple Purple Martin bird houses will populate the stream valley enhancement area which will be reforested with native plants designed to spawn wildlife diversity. Wildflower seed mixtures will be used along the stream valley along with butterfly bushes to add summer viewing pleasure. Passive seating areas are located along all vantage points around the building to enjoy both the passive and active recreational features. The bird boxes will also be provided in the vicinity of the proposed stormwater pond to provide enjoyment to residents and help control insects. The interior of the building will contain a therapy area for massage, aroma, and other natural holistic therapies. There are several libraries, computer rooms, exercise areas and dining rooms. Also, there is a large community meeting room for large resident/family gatherings, including being available for community meetings. Sidewalks that encircle the building will be of sufficient width to allow the passage of two wheelchairs.

(B) The facility shall not be more than four (4) stories.

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Response: A two-story building is proposed 35 feet in height consistent with the residential scale of the neighborhood.

(C) The facility shall be located on a minimum of three and one-half (3.5) acres of land.

Response: The subject property contains 7.52 net acres.

(D) The subject property shall be adjoining residentially zoned land.

Response: The subject property is adjacent to residentially (R-R) zoned and developed land on the north and west. Parkland in the R-O-S Zone is to the east and south.

(E) A Detailed Site Plan shall be approved for the facility in accordance with Part 3, Division 9, of this Subtitle

Response: The site plan for this Special Exception has been prepared in accordance with the purposes and procedures for Detailed Site Plans (DSP) contained in Sections 27-281 and 27-285 of the Zoning Ordinance. The site plan also incorporates many of the site design guidelines for DSP preparation in Sections 27-274 and 27-282. The Applicant has made every attempt to incorporate pertinent site design guidelines in accordance with the findings required for DSP approval by Section 27-285(b). Specific design details related to building elevations and materials, exterior lighting, design of benches, trash enclosures, signs, and fences, walkways and paths, entrance signs, and the specific size and layout of some of the recreation facilities that are required to be shown on a DSP is incorporated in the plan drawings submitted with this Special Exception. It is the Applicant's request that the Special Exception site plans be concurrently reviewed as though they were the companion DSP application (DSP-12064). Such a detailed review of the DSP elements as part of the Special Exception review will hopefully result in an expedited approval of the DSP once it is accepted for final processing.

C. Section 27-332. Adult Day Care Center (Specific Special Exception Requirements):

(a) An adult day care center may be permitted, subject to the following:

(1) The subject property shall be suitable for the type of facility proposed, taking into account the character of surrounding properties and the general neighborhood, and any other uses on the subject property;

Response: The subject property has already been determined suitable for a 40-person Adult Day Care Center, including a 72-person Congregate Living Facility and 160- Child Day Care Center. Said uses have already been determined compatible with the character of surrounding properties, the general neighborhood, and the area master plan through approval of existing Special

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Exception (SE-4256). Moreover, the overall development levels proposed herein are substantially reduced from those approved in SE-4256 (i.e., the Child Day Care Center is deleted, the Adult Day Care Center is reduced from a maximum of 40 to 15 persons, and the 72 person Congregate Living Facility is decreased to a total of 63 units containing 78 beds. There will be within the proposed Assisted Living Facility. There will be 15 double occupant units (30 beds) and 48 single occupant units (48 beds). In addition, the development envelope is substantially reduced because only one building is now proposed while six are approved in SE-4256.

(2) The subject property shall be of sufficient size to accommodate a facility of the scope proposed;

Response: The subject property contains 7.52 net acres. The proposed 65,608 square-foot Assisted Living Facility building will contain space for the 15-person Adult Day Care Center. Certainly, with the overall level of approved development reduced and the Adult Day Care Center capacity reduced by 25 persons, this requirement is satisfied.

(3) Vehicular access to the subject property shall be adequate, taking into account the scope of the facility, the type and amount of traffic expected to be generated, and the type, service level, and capacity of the streets along which the subject property has frontage; and

Response: As discussed in the above section of this justification statement (Conformance with the Zoning Ordinance), vehicular access to the subject property will be adequate and intersections in the study area will operate within acceptable critical lane volume (CLV) standards and Level-of-Service (LOS) limits as defined in the Guidelines for the Analysis of the Traffic Impact of Development Proposals.

*(4) A statement shall be submitted explaining:
(A) The policies and goals of the center;*

Response: The goal of the Adult Day Care Center is to provide a comfortable, secure place for senior citizens to go, where they can socialize, remain busy and engaged, and be productive throughout the day. Exhibit 2 explains the Applicant's philosophy of care, mission statement, goals, history, and program and service descriptions for the type of care provided. Services and facilities provided for both the adult day care and the assisted living functions are described.

(B) The characteristics and number of occupants to be served;

Response: The center will service up to a maximum of 15 individuals during the week and on Saturday. It is anticipated that approximately 80% will be female.

(C) The type of care and activities proposed;

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Response: Clients will be given personal care and supervision, with properly trained and accredited adult day care providers. Clients will participate in a wide variety of social, recreational and academic activities, such as arts and crafts, reading, games, field trips, and educational activities such as reading and lectures. They will also have access to the many medical and social services provided in the assisted living building.

(D) Operating methods and procedures proposed;

Response: The Adult Day Care Center will operate Monday through Friday between the hours of 7:30 AM to 6:00 PM, and on Saturday from 9:00 AM to 5:00PM, with after care until 8:00 PM each day. The facility will have a separate entrance from the Assisted Living complex and separate areas for resting, restrooms, and medical exams will be available. Procedures will be in place to allow day care residents to use some of the recreation facilities available to Assisted Living residents and allow participation in joint social activities such as field trips. For security reasons there is only one main entrance to the building. There is no separate entrance into the Adult Day Care. There is a medical exam room and public restrooms and common lounge areas for resting for the adult day care participants, but nothing specifically dedicated as such.

(E) The type and amount of traffic expected to be generated; and

Response: Adult day care generated traffic will be minimal because the 15- occupant capacity facility will operate a van service to transport residents from their residence to the facility and back, including trips during the day.

(F) Other appropriate aspects of the center's operation.

Response: The Adult Day Care Center will provide all of the customary and necessary equipment and activities generally found in similar operations.

Based on the foregoing, the Applicant respectfully requests approval of SE-4667 to allow both the requested Adult Day Care and Assisted Living facilities as permitted by Special Exception in the R-R Zone. Approval of both will allow the Applicant to resubmit pending DSP-12064 for the Assisted Living facility as required by Section 27-464.04 (a) (2) (E).

D. Section 27-428 - R-R Zone (Rural Residential):

(a) Purposes.

(1) The purposes of the R-R Zone are:

(A) To provide for and encourage variation in the size, shape, and width of one-family detached residential subdivision lots, in order to better utilize the natural terrain;

(B) To facilitate the planning of one-family residential developments with moderately large lots and dwellings of various sizes and styles;

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- (C) *To encourage the preservation of trees and open spaces; and*
- (D) *To prevent soil erosion and stream valley flooding.*

Response: Approval of the requested Special Exception for both the Adult Day Care facility and Assisted Living facility will not be inconsistent with the above purposes of the R-R Zone, nor will approval of the Detailed Site Plan associated with the Assisted Living Facility. Such institutional uses are typically considered compatible with low-density residential development and commonly occur within residential communities. Approval of the requested Special Exception will ensure that the site is utilized in a manner that complements the surrounding residential zoning. A large amount of open space is provided with over 65% of the site remaining undeveloped. Required woodland conservation is provided and appropriate stormwater management practices are conceptually approved.

(b) *Uses.*

(1) *The uses allowed in the R-R Zone are as provided for in the Table of Uses (Division 3 of this Part).*

Response: Both proposed uses are permitted in the R-R Zone with approval of a Special Exception and in the case of the Assisted Living facility with approval of a Detailed Site Plan pursuant to Footnote 77 in the Residential Table of Uses. A Special Exception may be approved upon showing conformance with prescribed standards and requirements as herein demonstrated. Also, Special Exception uses are not required to establish that they will be a benefit to the community. In this case, uses very similar to those herein proposed have already been approved for the property in SE-4256. Absent any probative evidence of harm or disturbance to the neighboring area and uses or of other factors causing disharmony, there is no justification for denial of the Special Exception or Detailed Site Plan.

(c) *Regulations.*

(1) *Additional regulations concerning the location, size, and other provisions for all buildings and structures in the R-R Zone are as provided for in Divisions 1 and 5 of this Part, the Regulations Tables (Division 4 of this Part), General (Part 2), Off-Street Parking and Loading (Part 11), Signs (Part 12), and the Landscape Manual.*

Response: The proposal is in compliance with pertinent regulations in the R-R Zone and with other sections of the Zoning Ordinance that are discussed elsewhere herein.

Conclusion:

As discussed herein, the proposed (15) occupant Adult Day Care Center and associated (63) occupant Assisted Living Facility are in harmony with the general purposes of the Zoning Ordinance (Section 27-102(a) (1-15)), the purposes for Special Exceptions (Section 27-317), and the specific Special Exception requirements for Adult Day Care and Assisted Living (Section 27-441(b)(2) Table of Uses (Footnote 77) and Part 6, Division 5 (Section 27-464.04) for Assisted Living; including Section 27-332 for Adult Day Care, respectively. The proposal is also in compatible with the purposes of the R-R Zone. Moreover, the type of uses proposed have already been determined to be compatible with

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surrounding development and relevant County land use policies as evidenced by the approval of existing Special Exception (SE-4256).

The Applicant believes the proposed development concept with one (1) building is immensely preferable to the vast lot coverage and site disruption that would be caused by development of six (6) individual buildings under SE-4526. Over 65% of the property is preserved as green area to help maintain the residential character of the surrounding neighborhood.

Therefore, the Applicant respectfully requests that this Special Exception be approved to allow both the Assisted Living facility in conjunction with the required Adult Day Care facility. Upon approval, the applicant will submit the required Detailed Site Plan application for the Assisted Living facility.

Please call me if you have any questions.

Sincerely,



Arthur J. Horne, Jr.

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Please note: *The content included is intended to serve as a working document. Final approval will be granted by the both Board of Directors of Presidential Care, LLC. and Stoddard Baptist Home Foundation, Inc. In addition, an annual review of this document will be conducted to examine any modifications needed to reflect current trends and needs of Sycamore Hill.*

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Presidential Estate at Sycamore Hill Uniqueness

Our approach is unique at Presidential Estates at Sycamore Hill (PESH) because we see a different way of assisting our elderly population by providing the ideal solution. We will establish a facility that not only meets their medical, physical, spiritual and emotional needs - we will focus on wellness and keeping our residents as independent as possible. By providing a tailored plan of assistance, we can nourish social connection in a home like environment, respect individual dignity and personal preference.

Our Philosophy of Care/Mission Statement: "We Care About Caring"

At Presidential Estates at Sycamore Hill, we promote respect, dignity and the self-worth of all our residents and strive to give them excellent quality of life as defined by the resident, individually and as a group. We will empower residents through current events, motivation, decision making and resident councils meetings. Through our cultures change approach, we will encourage self-determination in activities, socialization, food preference, preferred lifestyle and freedom to practice religion of their choice. Presidential Estates at Sycamore Hill is not just a care giving facility; it is their home and community.

We also value the time, skills and respect the opinions of our staff. We are committed to providing a reasonable, structured work environment for each team member. We do not expect staff to do work for which they are not trained, however; we do expect them to share their suggestions for improving any aspect of PESH's working operations or care giving ideas that would enhance our senior living community. We aim to provide sustenance for our workers and families, but also allow them space to make a difference in our facility through caring and assistance to our community's most vulnerable members (our resident's).

Our Goal: To enhance and preserve the dignity of an aging community, who are unable to live independently; through services that address the medical, physical, emotional and social needs in a compassionate and safe environment.

Brief History of Presidential Estates at Sycamore Hill

In 2001, the enterprising Stoddard Baptist Home Board of Directors purchased Sycamore Hill Senior Assisted Living Facility, now referred to as Presidential Estates at Sycamore Hill with the intentions of providing quality elder care to senior citizens in an intimate and caring setting.

As a smaller facility, Sycamore Hill cared for 14 senior citizens with varied needs. Sycamore Hill provided a home like setting where staff developed a caring rapport for each resident. Daily activities included healthy and medical assistance, home cooked meals, grooming assistance and recreational activities.

Future Plans of Presidential Estates at Sycamore Hill

In June 2009, the leadership of Stoddard Baptist Home Foundation, decided to temporarily cease providing services in order expand its services. Sycamore Hill plans to develop the current site, which will rest on 8.9 acres of land into a 78-bed assisted living facility for individuals ranging from 45 years of age or older. With the expectation of employing at least 100 employees of which 85 percent are Prince George's County residents, the redeveloped Sycamore Hill would offers services and programs such as Alzheimer's and Dementia Care, general medical assistance as well as dietary and culinary Services. The new site will provide private living areas, scenic walking paths, several dining rooms, café and lounge areas, spa services, activity rooms, library ready rooms, a barber shop, beauty salon, and a variety of adult day care services.

Relation to Stoddard Baptist Home, Inc.

Experience in elder care, began when the Stoddard Baptist Home in D.C. was founded in 1902 as a home primarily for aging pastors and their wives. After several locations and expansion projects, Stoddard now successful rest on Newton Street in the Mount Pleasant area of Washington, DC. Because of Stoddard's rich history many of the aging parishioners preferred to be cared for by Stoddard. Stoddard Baptist Home offers specialized care in a loving, inviting environment. The facility has been recognized for operating as a sound organization, with strong ties to several local churches and community organizations. Stoddard continues to hold a five star rating from the Centers for Medicaid and Medicare Services. In addition, Stoddard has a very active board of Directors and approximately 30 percent are Prince George's County Residents.

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“Live Well”

It is certain that in Prince George’s County, Maryland the elderly population is expected to increase substantially.

As our communities age, someone must meet the challenge of ensuring that senior citizens live healthy, are cared for with compassion most importantly feel valued. In essence, we believe that every senior citizen should **“Live Well!”**

Inspired by this mantra, we believe that Presidential Estates residents will:

- *
* Be empowered to live a healthy and active life through our various programs
Have a positive self esteem
- *
* Find a new level of happiness through hospitality
- *
* Feel valued and appreciated for their gifts and the wisdom they bring
- *
* Be encouraged to try and have new experiences in life be it through our culinary services or through our daily activities

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We are dedicated to caring for residents while focusing on their quality of life. Wellness is the essence of our approach to senior living; we are committed to making healthy living the foundation of every aspect of life. Presidential Care also exemplifies our promise to take the time necessary to understand the unique qualities, likes, dislikes, daily routines, family relations and medical concerns of our residents. We firmly believe our residents should have the option of living their lives in the community they are custom too in a family style setting and remain connected to their friends, family, social and faith based organizations.

We offer the following programs and services to its residents and community at large:

- ~ 24-hour care and services
- ~ Comfortable, Safe and Home Like Setting
- ~ Specialized Alzheimer's and Dementia Care Units
- ~ Case Management Service
- ~ Wellness Program and Medication Management Service
- ~ Lifestyle Dining Service
- ~ Housekeeping and Linen Service
- ~ General Gift Shop and Kiosk
- ~ Mini Ice Cream and Coffee Shops
- ~ Beauty/Barber Shop
- ~ Community Room for Social Gathering, Community Meetings, Events and Activities
- ~ Library/Reading Rooms
- ~ Aquatics Programs
- ~ Covered Outdoor areas and barbeque deck
- ? ~ Mini-golf green

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- ~ Outdoor game areas
- ~ Physical, Occupational and Speech Therapy will be available in our well-equipped Rehabilitation Center
- ~ The beautiful outside garden areas will provide positive esthetically pleasing environment, an opportunities for nature watching for our residents while safely enjoying the outdoors.

Our walking trails provide more than just physical exercise; they also allow residents opportunities to observe indoor activities when outdoors

- ~ Programs, outing and events offer something for everyone through Therapeutic Recreation Program.
- ~ Emergency Response System is monitored 24-hours a day, seven days a week.

Small pets like birds, fish will flourish and accent the environment. Flora and fauna will be present to enhance the resident common spaces. Views from each resident room will observe the beautiful natural landscaping of the Sycamore Hill site.

A Culture of Hospitality

Impact Statement

Creating an ambiance of comfort and harmony is essential to ensuring that every Presidential Estates resident and/or guests feel as if they are actually home.

“The Pineapple Program” or the Hospitality Services Program will seek to brighten the day of every resident simply through the warmth and attentiveness of Presidential Estates staff.

Programmatic Description

“The Pineapple Program” offers both PESH residents and their visitor’s world class services, rarely seen in traditional assistant living facilities.

Services would include but are not limited to the following:

Daily, freshly baked cookies to be displayed in the Admissions Office or the Hospitality Station/Center

Complimentary daily newspapers/magazines

Fresh flowers in common areas

“Official Resident” Greeter

Resident to Resident Buddy Program

Monthly socials for residents and their invited guests (Board, Family, Elected Officials)

Official welcome party/meet and greet for every new resident

Electronic monitors displayed throughout Presidential Estates informing both residents and guests of:

- Dining Menus or “Featured Meal of the Day
- . Activities for the Day
- . Pictures of new residents
- . Helpful tips
- . Quotes of the Day

Tools/Resources

- Reading Materials- Washington Post, Prince George’s County Gazette, Magazines, AARP
- Free Wi-Fi access

Affiliated Departments

- Admissions
- Culinary Services
- Administration
- Social Services
- Therapeutic Recreation

Reporting & Accountability

The Pineapple Program will report to the Administrator of the facility.

Miscellaneous

It is important that every PESH employee views themselves and their role in the organization as an ambassador for the organization and its mission. Therefore, every Ambassador should have the following personality characteristics:

- Friendly
- Compassionate
- Helpful
- Pleasant
- High degree of professionalism
- Knowledgeable about organization and its programs

Nursing & Medical Services

Impact Statement

Nursing Services seeks to provide an interdisciplinary approach to optimize, maintain and improve resident's well-being and quality of life. Incumbent with this, Nursing Services strives to provide compassionate care, counseling, health education, and direct clinical care.

Programmatic Description

- Nursing Services will provide clinical care 24 hours a day, including:
 - Resident Assessments
 - Nursing Diagnosis
 - Outcome Identification
 - Developing plans of care and interventions
 - Administers medication and treatments as ordered by the attending physician
 - Communicates, interacts, and educates residents and family members
 - Collaborates with the interdisciplinary team, residents and family members
 - Directs and participates in residents, staff and facility emergencies in accordance with policies and procedures.
 - Documents plan of care and activities as ordered by the attending physician.

Tools/ Resources

Residents' vital signs equipment, medications carts, bedside equipment, linen carts, furniture for nursing station, resident rooms, activity areas and all other equipment required to provide care for the residents and staff.

Affiliated Departments

Administration

Finance

Materials Management/Purchasing

External Pharmacy Services

- Therapeutic Recreation Activities
- Contracted Rehabilitation Services
- Medical Director
- Food and Nutrition Services/Culinary Dietician
-

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Laundry Services
Social Services
Chaplin Services
Aquatics/ Exercise Program
Information Technology Services
Health Information Management
Quality Improvement/Infection Control
Staffing Coordinator/Transportation Department

Environmental Services
Engineering Services
Human Resources
Cosmetology and Massage
Admission Services
Hospitality/Community Welfare Services

Reporting & Accountability

Nursing hours of care will meet the standards of Prince George's County and Maryland State Regulations of 2.5 per resident within 24 hour a day. (.4 of above hours of care will be provided by a licensed nurse RN/LPN).

Nursing Services will utilize electronic documentation to record all appropriate data, involving resident care and treatments, as ordered by the attending physician, and will also include Continuous Quality Improvement/Infection Control.

Miscellaneous

Staff training, education and development
Survey Readiness

Pharmaceutical Services

Impact Statement

Pharmaceutical services will address the daily medication, administrative and documentation needs of Presidential Estate at Sycamore Hill. Pharmaceutical well-designed program responds with today's innovative, full-featured technology solutions. This will allow staff to focus on completing tasks efficiently, accurately and safely while streamlining medication pass, treatment, communication and data access.

Programmatic Description

A unique function for the prescribers as part of a standard offering is a web-based overview. It will allow physicians fast and easy prescription requests and refills as well as bill access, utilization analysis, consultant reports, a variety of resources and full records of all medications delivered to the facility.

Tool/Resources

The pharmaceutical program will allow physicians to E-prescribe and electronically sign prescriptions, access patient medical records and view comprehensive reference libraries.

Resident/Families

Specific to residents and/or their responsible parties will be able to access a secure web portal designed to put important health information. Residents and/or their families can receive and pay pharmacy bills, maintain and print medical records, access reference libraries and have the ability to "list a pharmacist".

Electronic Medical Record/Medication Storage - Electronic medication management enhances efficiency while ensuring greater resident safety.

Tool

- ~ Electronic medical records and electronic prescribing
- ~ Clinical and management real time dashboard and reporting
- ~ Facility management (admissions, discharges, transfers)
- ~ Scheduling, review and submission of 45-day assessments, care plans, MARs
- ~ Electronic chart and scheduling (MAR, TAR, ADL, Rehabilitation)
- ~ Care Planning based on defined problems.

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Affiliated Departments

- Administration
- Admissions
- Adult day Care
- Medical Director
- Physicians
- Nursing
- Dietician Service
- Community Welfare

Culinary/Dietician Services

Impact Statement

Dining is the heart of our home and most often one of life's daily pleasures. When we enhance the dining experience for our residents, we nourish their souls, as well as their bodies. As caregivers committed to maximizing the quality of life and quality of care for the residents, residing at Presidential Estates at Sycamore Hill, it is our mission to best serve our residents nutritional needs while caring for their psychological and psychosocial needs. When we honor our resident's preferences in dining, we listen closely to understand the needs. Our goal is to apply our knowledge, expertise and creativity to custom dining experience to meet each resident's objectives.

Programmatic Description

The residents at Presidential Estates at Sycamore Hill have a choice of having meals in the dining room or their own room. You can have breakfast in a dining room on your respective floor and lunch and dinner in the main dining room. Music, good conversation and fabulous good are served on a daily basis.

The dining program for the Dementia Villages will be person centered and focused on the needs of each individual. There will be small dining areas within each village, where residents can form bonds with other residents and staff. There will also be small stations where basic foods can be prepared in the presences of residents so that they can enjoy the natural aromas of food items being prepared like coffee and bread, and if able, they may participate in the process. All residents will have their overall diet monitored closely by a nutritionist/dietician under the specific direction of their physician.

Tools/Resources

- Three balance nutritional meals plus Snacks
- Daily Menus
- Special Diets and Food Allergies

Family Style Food Service Program

This will create a fine dining experience for our residents. Resident will order from a menu and be served multiple courses, some entrees are cooked to order. Fruits and vegetables are market fresh and served daily. All meals are homemade with the assistance of some special recipes and prepared to perfection.

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Affiliates

- Admission
- Nursing
- Hospitality (Community Welfare)
- Finance
- Materials Management
- Therapeutic Recreation
- Cosmetology Services
- Medical Director
- Physician

Reporting and Accountability

COMAR Regulation
Department of Health Mental Hygiene
Office of Healthcare Quality
Administration

Adult Day Care

Impact Statement

Promoting Independence, dignity and quality of life, stimulating social interaction in a safe environment, the senior center offer the right combination of social, creative, fitness and health activities to keep members physically active and socially engaged reducing the risk of isolation, loneliness and depression.

Programmatic Description

- The program will operate Monday –Friday during the hours of 7:30am to 6:30pm, insure safe arrival and departure for all members, in house resident receive services per service plan and doctor's orders
- Meals and snacks are well-balanced, quality and quantity to meet the daily nutritional needs of each member with specific attention given to the preferences and dietary restrictions of each member. Menu written and meal monitored by Register Dietician.
- * ➤ The department will meet the staffing requirements for program services, opening with (1) Department Manager and (1) Activity Assistance, staffing modification will be as need.
- Volunteers
- Transportation services will be provided by caregivers, private and public transportation and facility vehicle

Services

Just a few of our regularly schedules programs would include:

- * ➤ Focus on wellness and fitness
- * ➤ Therapeutic individual and group activities
- * ➤ Activities adapted for all levels of abilities, including Alzheimer's dementia
- * ➤ Bingo, card games of all types
- * ➤ Daily exercise class, Brain fitness activities
- * ➤ Current events, reminiscing, discussion groups, reading groups
- * ➤ Community outing
- Special guests including but not limited to therapy dogs, musicians, historians, children and others
- * ➤ Computer games, Internet access and computer classes with adaptive software for seniors

Tools / Resources

Tools and supplies would include, but not limited to the following:

- ✓ ~ Computers

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- ~ Wii game, Wii fit
- ~ Books
- ~ Arts and Crafts supplies
- ~ Brain fitness software for seniors
- ~ Smart TV for activity room
- ~ Therapeutic board/group game for Alzheimer's and Dementia members
- ~ Schools, Senior Centers, Colleges, AKC Therapy Dog Program, Churches, University of Maryland School of Music and Art

Affiliated Departments

- Admissions
- Finance
- Materials Management/Purchasing
- Rehabilitation
- Transportation
- Food and Nutrition Services/ Dietician
- Nursing Department
- Therapeutic Recreation Activities
- Social Service Department

Reporting & Accountability

Operating of the center will be according to the regulation for Adult Day Care COMAR 32.02.02.22 Department of Health and Mental Hygiene, Office of Health Care Quality.

Miscellaneous

Our center will operate on a philosophy of providing needed services, share and coordinate activity spaces with AL, using a holistic approach promoting independence and self-confidence. Presidential Care Adult Day Care will offer numerous benefits to those who need it, including but not limited to:

- ~ Opportunities for social interaction with peers
- ~ Programs that stimulate ADLs
- ~ Physical Therapy, if needed in a nonmedical environment
- ~ The chance to live with families while continuing to be independent

Therapeutic Recreation

Impact Statement

Specialized recreation that focuses on providing recreation and/or leisure services for the residents, family and community. Presidential Estate at Sycamore Hill's concept of therapeutic recreation is meeting the resident's psychological and social needs through meaningful, daily activities. *

Therapeutic recreations services are provided by trained certified recreational therapists with emphasis in four areas: 1) treatment; 2) leisure, 3) educational and 4) participation.

Treatment is provided to rehabilitate impaired functions that help to maintain the highest quality of life and highest level of functioning ability for the residents. *

Programmatic Description

Therapeutic recreational therapists are expected to assess each resident, formulate treatment plans that will address the areas of needs, implement the treatment plan and document progress.

Recreational therapists offer individual opportunities to pursue their choice of activities. We believe that leisure experience provide an opportunity for pleasure, freedom of expression and self-determination, which enhance the quality of individual life and are vital to one's overall health and well-being.

Benefits of Therapeutic Recreation

Improves quality of life. Prevents decline in physical, cognitive and psychosocial functioning. Possible reduction of anxiety and stress related issues.

Recreational therapist utilizes a wide range of activities and community based techniques to improve the physical, cognitive, emotional, social and leisure needs of the residents. Recreational therapists assist to develop skills, knowledge and behaviors for daily living and community involvement. The therapist works with the residents and family to incorporate specific interests and community resources into therapy to achieve optimal therapeutic outcome as outlined in their treatment plan.

Small pets like birds, fish will flourish and accent the environment. Flora and fauna will be present to enhance the resident common spaces. Views from each resident room will observe the beautiful natural landscaping of the Sycamore Hill site.

Tools/Resources

- ~ Atriums Walking Trails will provide more than just a physical exercise, they also will allow resident, family member of the community the opportunity to observe indoor activities when outdoors watching through our crystal windows.

- ~ Library/Reading Rooms – Our library program will provide material and services for our residents. Specifically, the program strives to enhance the large print collections senior series and will continue to improve library services by scheduling program and special events addressing the needs of the seniors and caregivers. Also, our program will continue to collaborate with area agencies serving seniors in order to utilize community resources more effectively.
- ~ Outdoor Shuffle Board – The regulation size storable, shuffle board court – offer activity lifestyle choice making senior living both active and fun.
- ~ Exercise Rooms – sit and fit exercise program that promotes health aging, functional fitness and rehabilitative exercises.
- ~ Chapel
- ~ Therapy Pool
- ~ Family Lounge
- ~ Community Meeting Rooms
- ~ Outside patio area (community friendly)
- ~ Dining Hall
- ~ Village Plaza and Kiosk
- ~ Ice Cream Social Bar
- ~ Large Outside Victorian Bird Cage
- ~ Wellness Center
- ~ Doctors' Office
- ~ Transportation Coordination/vehicle

Affiliated Departments

- Nursing Services *
- Hospitality/Community Welfare Services
- Administration
- Finance
- Continuous Quality Improvement
- Materials Management/Purchasing

Reporting and Accountability

Therapeutic recreation will utilize electronic documentation to record all appropriate data. Involving resident care and treatment plan as ordered by the attending physician. The department will operate according to COMAR regulation, Department of Health and Mental Hygiene Office of Health Care Quality.

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Aquatics & Exercise Program

205
- 60
145

96
3/145
12

25
24

Impact Statement

The Aquatics Exercise Program will enhance residents' quality of life by improving the health of their circulatory system. The program will also assist in building residents' muscle tissue, reduce age-related muscle loss, keep their bodies more limber and flexible, and reduce risk of falls. This program will help residents look younger, feel better, have more energy, sleep better, have fewer medical clinic visits and remain more active in all areas of their lives.

Programmatic Description

- * Aquatic Program Instructor requires a Bachelor Degree related to health exercise training, current lifeguard certification, cardio-pulmonary resuscitation certification/CPR and first-aid certification.

Pool depth for the residents should be slightly above waist level with easily accessible pool entry

Water temperature of pool must be maintained between 83-88 degrees Fahrenheit.

- * Low intensity water aquatics classes for residents will be provided (3) times a week for 45 minutes, on an ongoing basis. The aquatics classes will focus on cardiovascular endurance, strength training, improving balance and flexibility and to reduce age related muscle loss. Aquatics exercises are also a safe and effective way for residents who are overweight to start getting in shape.

Licensed nurses RN/LPN will be required to obtain an order from the attending physician before a resident can participate in the Aquatics Program.



Tools/ Resources

Flotation belts and life vest

Recommend to have an Automatic External Defibrillator (AED) available and Nursing Services support in the event of a resident cardiac emergency Water weights

Water dumbbells

Water ergo cycle

- Underwater stationary bike
- Large Towels

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Affiliated Departments

- Administration
- Finance
- Materials Management/Purchasing
- Therapeutic Recreation Activities
- Nursing Services
- Information Technology Services
- Continuous Quality Improvement
- Environmental Services
- Engineering Services
- Hospitality/Community Welfare Services

Reporting & Accountability

Aquatics Program Coordinator will utilize electronic documentation to record all appropriate data, involving resident aquatics exercises. The resident outcomes of aquatics exercises will also be tracked by the facility's Continuous Quality Improvement Program.

Miscellaneous

The program could be expanded to include an exercise a program for employees at Presidential Estates at Sycamore Hill, Stoddard Baptist Nursing Home and Stoddard Baptist Global Care - Washington Center for Aging Services in an effort to enhance employee health and wellness.

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Cosmetology & Massage Services

Impact Statement

Residents don't have far to go for grooming and to look like a millionaire. Enhancing and preserving the dignity of each resident is a daily mission for the Hair Health Center, which cares about both the inner and outer beauty of every resident.

Programmatic Description

Hair Health Care Center will provide services Tuesday through Thursday; however hours of operations may need to be adjusted based on the needs and type of resident (9 am - 5pm) *

The hours of operation must be visibly printed inside and/or outside of the Hair Health Care Center. Should the Hair Health Care Center decided to operated by appointment only, this information should also be made visible in our outside the shop. *

Services would include but are not limited to the following:

- Basic Hand Manicures and Pedicures
- . Facials
- . Full Body Massages
- . Companion Services for PESH guests.

Note: In order to maintain the highest standards of safety, all Presidential Estates residents are to be screened prior to receiving any form of services,

* Tools/ Resources

- * Stackable chairs w/ arm rests
- * (2) Massage Chairs
- * Licensed Cosmetologist/Massage Therapists/Nail Technicians
- * Separate accommodations for grooming services and massage services
- * Salon Supplies and Equipment, hair dryers, towels, etc.

Affiliated Departments

Nursing & Medical Services
Administration

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Reporting & Accountability

Each state has beauty services regulations. It is very important to remember that three (3) major licenses are required to operate a beauty salon. They are:

- **Owners**- license covers the facility operation
- **Manager**- license covers the key person overseeing the salon
- **Operator** – license covers other person working the salon/shop- individualized if there is more than one person occupying the shop

The "Hair Health Care Center" will ultimately report to the Administrator of the facility

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Community Welfare

Solving a potential crisis for a senior citizen in need is the drive behind the Community Welfare Program. We seek to address the needs of senior citizens in both Presidential Estates at Sycamore Hill or the community.

Programmatic Description

Through sustaining and nurturing relationships with our neighbors, and friends in the community, the Community Welfare Program will create a presence in the surrounding neighborhoods in the Mitchellville area. In addition to educating and creating awareness concerning aging and eldercare.

Services would include but are not limited to the following:

- Identifying candidates for the Emergency Indigent Fund
- Working with Indigent Senior Citizens
- Hosting Public Health Fairs or Awareness Campaigns
- Consistent Seminars
- Special Events
- Partnerships with local and state organizations such as Health and Sanitation, Department on Aging; etc., The Community Foundation of Prince George's County
- Medication Aid Assistance

Tools/Resources

Publications – Quarterly Newsletters, Annual Reports
Data Analysis

Affiliations/Relationships with civic/governmental and business...as
Department of Health and Sanitation, Chamber of Commerce
Social Network Applications- Twitter, Face Book, etc.
Website

Affiliated Departments

- Administration
- Admissions
- Fund Development
- Board of Directors
- Volunteer Services
- Marketing/Public Relations/Communications
- Pharmaceutical Services

Reporting and Accountability

The Community Welfare Program will be responsible for reporting its actions and initiatives to the Presidential Care, LLC. This program will work jointly with the Fund Development Office, Marketing and the Volunteer Services.

Miscellaneous

It is imperative that the mission of Presidential Estates at Sycamore Hill is honored in addition to promoting services that align with both Stoddard's values and that of Prince George's County, MD.

Providing beneficial charitable acts on a consistent basis assures for:

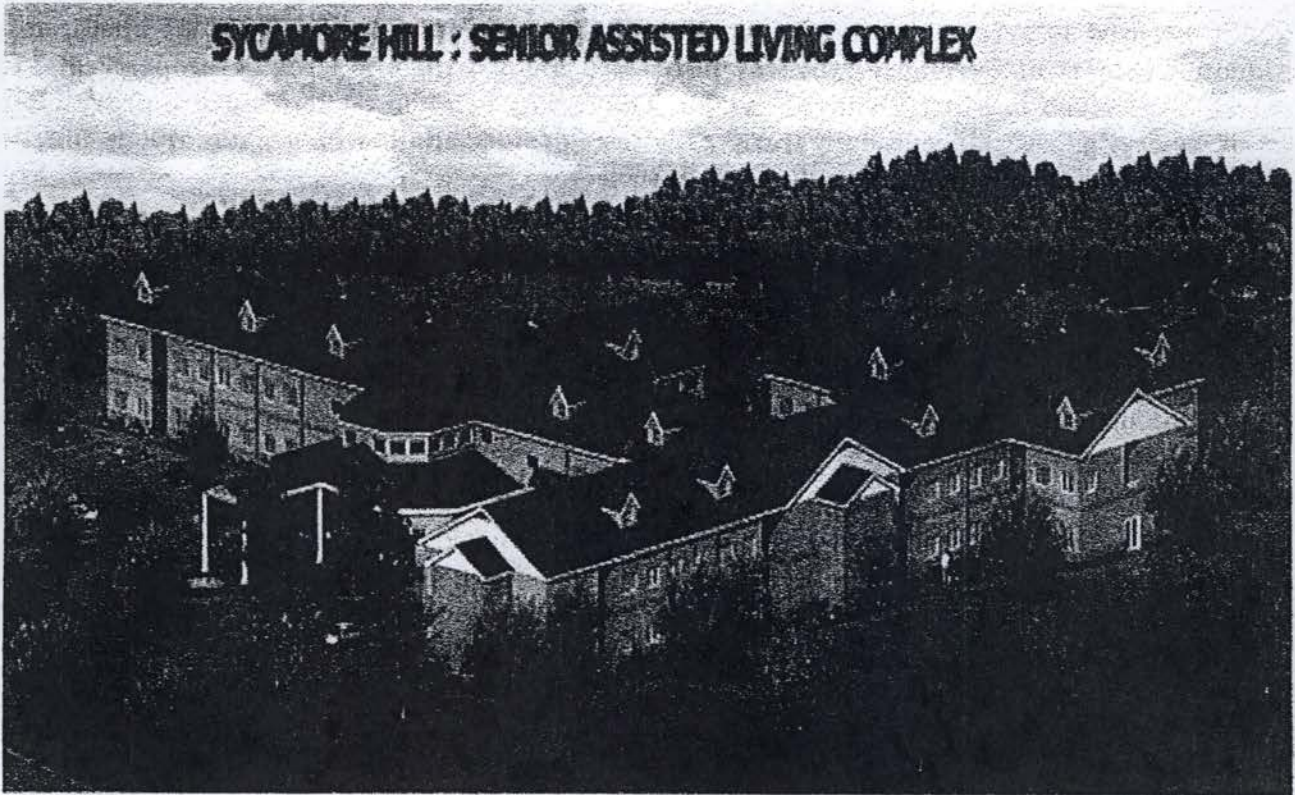
- A need has been met
- Greater Awareness
- Positive Image in Community
- Strong relationships with like-minded organizations and individuals
- Support of local business
- Connections with community based organizations, educational centers and churches

SE-4667

Presidential Estates 
AT SYCAMORE HILL

"Helping the Citizens of Prince George's County Live in Dignity"

SYCAMORE HILL : SENIOR ASSISTED LIVING COMPLEX



3911 Lottsford Vista Road
Mitchellville, Maryland 20721
(301) 918-9441
www.livewell1.org

Presidential Care, LLC

WHO WE ARE

Presidential Care is the sister facility to Stoddard Baptist Home, which has a history of providing more than 110 years of housing and social services to the aging population in the metropolitan area. Several board members are residents of Prince George's County and are retirees, professionals and activists for human services and development. They share the vision of making the quality of life for the aging population their highest priority. Rev. Thomas J. Henderson serves as Chairman of the board and Mr. Steven A. Nash serves as the President and CEO. The goal of Presidential Care is to plan and develop the Mitchellville property of 8.9 acres as an assisted living site by providing 75 Assisted Living Units and modified adult day care services.

CURRENT OPERATIONS

At present, Presidential Care owns and operates Presidential Estates at Sycamore Hill, which is currently licensed to accommodate and provide care for 14 residents. In 2001, the operation of Presidential Estates at Sycamore Hill was purchased along with 8.9 acres of property at 3911 Lottsford Vista Road in Mitchellville Maryland. The facility is a home-like residence providing 24 hours of supervised assistance in daily living activities for older adults who are not able to function independently, but do not require nursing home services.

FUTURE PLANS

Presidential Care is committed to fulfill the vision of creating an "assisted living campus" by providing services for the elderly in a loving, caring and interactive environment. This project is a multi-million dollar venture and the expected timeframe of development for the entire project to be completed is three years.

In May of 2002, Presidential Care, LLC engaged and contracted the professional services of Arel Architects, Inc. This planning has focused on the expansion of assisted living units. Arel is providing for the scope of planning to address the long-term land use and final development of the property. Presidential Care will focus on developing the expanded assisted living segment of the project.

For more information, contact Mr. Steven Nash at:

(301) 918-4008 or (202) 328-7400 extension 1305

PROJECT/COMMUNITY BENEFITS

SE-4667

- ❖ *Our "Assisted Living Program" will serve the needs of Prince George's County residents who are most in need of daily living assistance.*
- ❖ *We will provide an estimation of 100 employment opportunities on various levels. It is anticipated that the majority of these jobs will be filled by the County's residents.*
- ❖ *We will support the County's medical, psychosocial and aging initiative.*
- ❖ *The new developed structure will improve and enhance the property's site and environment.*
- ❖ *There will be an increase in public safety via enhanced street and traffic control.*
- ❖ *We will promote and maintain a compassionate/friendly environment, as well as support the County's liveable community Green Initiatives.*

PROJECT PARTNERS

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Mr. Sam Alexander
Mr. John Hayes



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Stoddard Baptist
HOME FOUNDATION, INC.

STODDARD BAPTIST HOME FOUNDATION BOARD OFFICERS

Mr. Binkley J. Garrison, Chairman

Mr. Nathaniel A. Wilson, Vice Chairman

Mrs. Donna Purchase, Treasurer

Mrs. Juanita B. Thompson, Secretary

Mr. Steven A. Nash, President and CEO

PRESIDENTIAL CARE, LLC BOARD MEMBERS

Rev. Thomas J. Henderson, Chairman

Rev. W. Ronald Evans, Vice Chairman

Rev. Amaziah C. Harper, Treasurer

Mrs. Muriel M. Wade, Secretary


Mr. Steven A. Nash, President and CEO

WEST ELEVATION

NORTH ELEVATION

EAST ELEVATION

SOUTH ELEVATION

Property Address: 3911 Lottsford Vista Road Mitchellville, MD 20721	Sycamore Hill Assisted Living Exterior Elevations	 <small>8827 Adenlow Way, Temple Hills, MD 20748</small>
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Presidential Estates at Sycamore Hill • 3911 Lottsford Vista Road • Mitchellville, MD 20721

*For information about our services, please contact
Mrs. Sharon Middleton, Assisted Living Manager, at (301) 918-9441
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April 3, 2014

MEMORANDUM

TO: Taslima Alam, Senior Planner, Zoning Section
VIA: Ruth Grover, Planner Coordinator, Urban Design Section
FROM: Jill Kosack, Senior Planner, Urban Design Section *JK*
SUBJECT: Special Exception SE-4667, Sycamore Hill

The Urban Design Section has reviewed the revised information provided in support of the Special Exception application, SE-4667, for an assisted living facility and adult day care center complex. This referral replaces all previous Urban Design referrals issued for the subject application. The subject property measures approximately 7.91 acres, is zoned Rural Residential (R-R) and is currently improved with a single-family detached dwelling. It is the subject of previously approved, but never established, Special Exception SE-4256 for a 12-resident congregate living facility. It also is the subject of a previously approved Preliminary Plan of Subdivision, 4-12020, that was approved by the Planning Board on July 11, 2013. As part of the subject project, the applicant proposes to replace the existing single-family detached dwelling on the site with a 65,608-square-foot building for up to 78 residents (63 units) in the assisted living facility and up to 15 adult day care patients. The site is surrounded in three directions by the Vista Gardens East Subdivision, including single-family detached residential units to the north in the R-R Zone, and M-NCPPC-owned vacant land to the east and south, in the Reserved Open Space (R-O-S) Zone. The site is bounded to the west by the public right-of-way of Lottsford Vista Road, with single-family detached units in the Willow Grove and George J. Cleary Subdivisions, in the R-R Zone, beyond.

ZONING ORDINANCE

The project is subject to the following sections of the Zoning Ordinance: Section 27-428, R-R (Rural Residential) Zone; Section 27-441, Uses Permitted in Residential Zones; Section 27-442, Regulations; Section 27-317, Required Findings for a Special Exception; Section 27-332, Additional Requirements for an Adult Day Care Center; and Section 27-464.04, Additional Requirements for an Assisted Living Facilities. The following requirements warrant discussion at this time:

1. Footnote 77 of Section 27-441(b) (2) of the Table of Uses, which allows Assisted Living

Facilities in the R-R Zone, states: "Up to seventy-five (75) dwelling units are permitted only if adjoining and operated by the same organization as an adult day care use, approved by Special Exception. All assisted living facilities standards and requirements in Part 6, Division 5, must be met, including Detailed Site Plan approval under Part 3, Division 9".

Comment: The application proposes 63 assisted living dwelling units, with a maximum total of 78 residents, and an adjoining adult day care, as required by this footnote. The applicant is required to gain Detailed Site Plan approval for the assisted living component of the proposal.

2. Section 27-442 of the Zoning Ordinance contains regulations for the residential zones, including required setbacks, maximum height, etc. The submitted site plan appears to conform to these requirements; however, notes should be added to the plan demonstrating how all relevant requirements are being met.
3. Section 27-332(a) Special Exceptions sets forth the following urban-design- related required findings for a special exception for an adult day care center:

(1) The subject property shall be suitable for the type of facility proposed, taking into account the character of surrounding properties and the general neighborhood, and any other uses on the subject property;

Comment: Generally, adult day care centers are compatible with residential single-family detached neighborhoods, in part because they may provide services to some of the area's residents. Architectural elevations for the proposed building were provided, but no photographs of the surrounding area were provided. Evaluation of the architecture is provided below.

(2) The subject property shall be of sufficient size to accommodate a facility of the scope proposed;

Comment: The proposed lot coverage is only 35 percent or approximately half, of the 60 percent allowed by the Zoning Ordinance. The subject property's has an elevation change of 46 feet across the property, necessitating expansive grading for the building and parking areas, leaving the rest of the property with steep slopes. However, the applicant was able to create usable outdoor recreation areas. The Urban Design Section would suggest that the subject property is of sufficient size to accommodate the proposed facility.

4. Part 6, Division 5, Section 27-464.04(a) includes the following additional urban-design related requirements for assisted living facilities:

(1) Guidelines for development.

(A) The following guidelines shall be considered:

(i) If more than one (1) building is proposed, residential units should be clustered together in small to medium size groups to give a more residential character to the site.

Comment: Since only one 65,608 square-foot building is proposed on the subject site, this urban-design related requirement is not relevant to the subject application.

- (iv) **The drop-off area should be close and convenient to the building entry, but should be spacious enough to accommodate wheelchairs, open car doors, and passing cars.**

Comment: The submitted site plan shows a drop-off area, that is 24 feet wide, right in front of the building entry. The Urban Design Section would suggest that this area is close and convenient to the entry and should be spacious enough to accommodate passing cars, wheelchairs and open car doors.

- (v) **A canopy or cover offering protection from the weather should normally be provided over the building entry and passenger drop-off area.**

Comment: The submitted site plan shows a canopy over the building entry and the passenger drop-off area.

(2) Requirements.

- (A) **A recreational facilities plan shall be submitted demonstrating that sufficient recreational facilities or opportunities are provided to serve the prospective resident population. Facilities may be provided on site or within adjoining development. In any case, but particularly if on adjoining property, there shall be a staging plan for the facilities constructed. Recreational areas should be clustered together to increase levels of activity, use of amenities, and the sense of vitality of the community.**

Comment: The submitted recreational plan includes the following outdoor facilities, all of which are on-site: two horse shoe pits, two shuffleboard courts, a putting green, a nine-foot gazebo, a 16-foot by 24-foot pavilion, an outdoor patio on the north side of the building with moveable furniture, and a 6-foot-wide concrete walkway around the building with multiple benches overlooking the wooded areas of the site. The provided indoor facilities include an exercise room, along with passive areas such as a library and computer room. The Urban Design Section suggests that the submitted site plan demonstrates provision of sufficient recreational facilities to serve the prospective resident population.

- (E) **A Detailed Site Plan shall be approved for the facility in accordance with Part 3, Division 9, of this Subtitle.**

Comment: A condition of the Special Exception approval should be that approval of a detailed site plan be required prior to the issuance of the building permit for the project.

ARCHITECTURAL REVIEW

The submitted application included proposed architectural elevations that were very small and blurry and difficult to fully evaluate, especially given the odd building shape. The proposed two-story building includes a gabled, asphalt-shingled roof with dormers. The majority of the exterior would be finished in a combination of a light-colored fiber cement cedar shake panels and brown fiber cement masonry/simulated stone. Detail features include a fiber cement accent band, some hardi-plank siding, exterior insulation finishing system (EIFS) quoins and fiberglass columns along with multiple windows and doors on all sides. The architectural package also included a design for the entrance sign, which is a

four-foot to seven-foot-high, curved, light tan, masonry block sign on either side of the entrance drive with a precast concrete cap and precast concrete spheres. The SE requirements include that the facility take into account the surrounding properties and the general neighborhood, which would relate to architectural and sign design too. The Urban Design Section was able to gain some insight into the character of the general neighborhood by referencing imagery available on the internet, since the applicant did not provide photographs. Based on that review, the Urban Design Section would suggest that the applicant redesign the building and entrance sign taking into consideration the following in order to make the design more suitable for the neighborhood:

1. The entrance sign design should include a majority brick finish and remove the precast concrete spheres, in order to be similar to the existing entrance signs for adjacent residential communities. Additionally, the development's name and address information should not be separate metal letters that are mounted onto the sign, but rather be integrated into the sign face, which is more standard design in the surrounding residential area.
2. The applicant should reconsider the window style and trim and make it more residential in nature, by standardizing the window style for all of the windows, adding shutters, and/or providing uniform trim around each window.
3. The applicant should consider further the choice of proposed exterior materials. The color of the proposed cedar shakes appears too light next to the darker simulated stone creating an unbalanced appearance. Also, while the proposed materials are high quality in nature, they do not appear to be prevalent in the general neighborhood, which includes more brick and traditional siding.
4. The applicant should consider not using quoins, which appear excessive and are not necessarily characteristic of the neighborhood. Additionally, due to the quality of the images, it was difficult to evaluate the proposed columns, which should be carefully styled to blend with the proposed architecture and that of the general neighborhood.

LANDSCAPE MANUAL

The proposed project is subject to the requirements of the 2010 *Prince George's County Landscape Manual* (Landscape Manual) as follows:

Section 4.2 - Requirements for Landscaped Strips along Streets

Comment: The subject property only has frontage on one street, Lottsford Vista Road, which is a designated historic roadway. Therefore, the requirements of Section 4.6 supersede the requirements of this section. The submitted site plan provides schedules demonstrating conformance to this section which should be removed from the plan.

Section 4.3 - Parking Lot Requirements

Comment: The proposed development has one parking lot which is 26,572 square feet and is required to provide eight percent of interior parking lot landscaping. The submitted site plan provides the correct schedule showing the requirements of this section being met.

Section 4.4 - Screening Requirements

Comment: The requirement that dumpsters and loading spaces be screened from adjacent public roads and residential properties is met by the provision of a six-foot-tall, concrete

masonry unit dumpster enclosure and proposed landscaping.

Section 4.5 – Stormwater Management Facilities

Comment: The subject site plan proposes a stormwater management pond on-site that will have to be landscaped per this section.

Section 4.6 Buffering Development from Streets

Comment: Properties with frontage on a historic road, such as Lottsford Vista Road, in the Developing Tier, need to provide a 20-foot-wide buffer planted with a minimum of 80 plant units per 100 feet of frontage, excluding driveway openings. The submitted site plan does not note or provide a schedule showing conformance to these requirements. The plan should be revised to conform to the requirements of this section prior to approval or the applicant should apply for alternative compliance (AC) pursuant to Section 1.3 of the Landscape Manual. If the AC is recommended for approval, the AC number and the date it was recommended for approval should be noted on the plan and the AC case should be brought forward as a companion to the SE application.

Section 4.7 - Buffering Incompatible Uses

Comment: A Type “B” bufferyard, including a 30-foot building setback and a 20-foot-wide landscaped yard, is provided as required along the northern property line where the assisted living facility/adult day care is adjacent to single-family detached dwellings. The correct schedules have been provided showing the site plan's conformance to the requirements of this section. ✓

Section 4.9 - Sustainable Landscaping Requirements

Comment: The SE is subject to the requirements of Section 4.9 for all proposed plantings. The plan includes some of the information necessary to demonstrate conformance to Section 4.9, but it does not provide the correct schedule per the Landscape Manual. The Landscape Manual Section 4.9 schedule should be provided on the plan demonstrating conformance to all of the requirements of Section 4.9.

TREE CANOPY COVERAGE

The application is subject to the requirements of the Tree Canopy Coverage Ordinance (TCC) as it involves land disturbance of more than 5,000 square feet. The SE area of 7.91 acres is zoned R-R and is required to provide 15 percent, or 1.19 acres, of tree canopy coverage. A tree canopy coverage worksheet has been provided on the landscape plan specifying that this requirement is being met through the provision of 2.22 acres of on-site woodland conservation. The Urban Design Section was unable to verify this number as a copy of the tree conservation plan was not provided to us. The acreage of on-site woodland conservation should be verified by the Zoning Section prior to signature approval.

URBAN DESIGN RECOMMENDATIONS

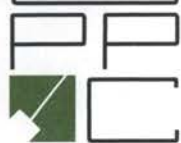
Based on the above analyses, the Urban Design Section would suggest the following revisions to the plans and submitted materials:

1. A condition should be included in the Zoning Section's recommendation stating that prior to the

issuance of any grading permits for the assisted living facility, a Detailed Site Plan should be reviewed and approved for the subject development.

2. The plans should be revised to note all applicable regulations of the R-R Zone and the proposed plan's conformance. ?
3. The proposed architecture and entrance sign should be revised as described in detail above. ?
4. The Section 4.2 schedules should be removed from the plan and a Section 4.6 schedule and notes should be added to the plan demonstrating the project's conformance to its requirements. If such demonstration cannot be made, the applicant should apply for, and bring forward as a companion case, an Alternative Compliance application and a note including information regarding the AC application should be included on the plans.
5. A Section 4.9 Landscape Manual schedule should be provided on the plan demonstrating conformance to all of its requirements.
6. The amount of on-site woodland conservation claimed for TCC credit should be verified against the amount shown on the Type 2 Tree Conservation Plan.

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April 8, 2014

MEMORANDUM

TO: Taslima Alam, Senior Planner, Zoning Section

VIA: Katina Shoulars, Supervisor, Environmental Planning Section 

FROM: Megan Reiser, Planner Coordinator, Environmental Planning Section **MR**

SUBJECT: **Sycamore Hill; SE-4667 and TCP2-003-14**

The Environmental Planning Section (EPS) has reviewed the above referenced Special Exception application, SE-4667, stamped as received by the Environmental Planning Section on February 24, 2014.

The Environmental Planning Section recommends approval of SE-4667 and TCP2-003-14 subject to the conditions noted at the end of this memorandum.

Background

The Environmental Planning Section (EPS) previously reviewed the subject property in 1996 as part of Special Exception (SE-4256) and its associated Type I Tree Conservation Plan, TCPI-49-96. The Environmental Planning Section also previously reviewed a Natural Resources Inventory, NRI-048-06, approved July 18, 2011, for the subject property. A Preliminary Plan of Subdivision 4-07100 and TCPI-49-96-01 was reviewed by EPS; however, this application was withdrawn. A Preliminary Plan of Subdivision 4-12020 and its associated Type I Tree Conservation Plan, TCP1-010-10, were approved by the Planning Board on July 11, 2013; the conditions of approval can be found in Resolution 13-82.

This special exception proposes an adult daycare center and assisted living facility.

Grandfathering

The project is subject to the environmental regulations contained in Subtitles 24, 25, and 27 that came into effect on September 1, 2010 and February 1, 2012 because the project has a previous preliminary plan approval (4-12020) that was subject to the regulations.

Site Description

The 7.91-acre site, in the R-R zone, is located on the east side of Lottsford Vista Road, approximately 760 feet south of US 50 (John Hanson Highway). The site is developed with an existing one-story brick structure currently used for adult daycare.

A review of the information available indicates that there are no streams, wetlands or floodplain on the subject property; however, there is a Primary Management Area (PMA) along the southern portion of the property associated with an intermittent stream located on the adjacent property. The site drains to an unnamed tributary of Folly Branch, in the Patuxent River basin. There are steep slopes located on-site and the predominant soil types on the site are Collington-Wist Urban land complex, Marr-Dodon complex, and Marr-Dodon-Urban land complex. Marlboro clay is not found to occur in the vicinity of this property. Based on information obtained from the Maryland Department of Natural Resources Natural Heritage Program, there are no rare, threatened or endangered species found to occur on or adjacent to this site. Lottsford Vista Road is a designated historic road. The proposed development associated with this preliminary plan is not a noise generator. Lottsford Vista Road is designated as a collector roadway and the nearby US 50 is designated as a freeway, and is a source of traffic-generated noise. The entire site is located within the designated network of the Green Infrastructure Plan. This property is located in the Developing Tier as reflected in the 2002 General Plan.

Master Plan Conformance

The Largo-Lottsford master plan does not contain any environmental policies or strategies specific to the subject site as part of the review of this application.

Countywide Green Infrastructure Plan Conformance

The entire site is located within the designated network of the Green Infrastructure Plan and includes all three designations; Regulated, Evaluation, and Network Gap areas. There are two Regulated areas located on the northeastern and south-southeastern portions of the property. The Regulated area on the south-southeastern portion of the site is associated with an off-site regulated stream. A small area of Network Gap is located on the northwestern corner of the site, adjacent to the intersection of Lottsford Vista Road and Vista Grande Drive. The remainder of the site is mapped as Evaluation area.

The site plan submitted with the subject application shows a small area of woodland preservation and significant reforestation along the Regulated areas. Portions of the Regulated and Evaluations areas are proposed to be graded to accommodate stormwater management and site grading. The combination of preservation and reforestation as proposed is in general conformance with the Green Infrastructure Plan.

The following policies support the stated measurable objectives of the Countywide Green Infrastructure Plan:

Policy 1: Preserve, protect, enhance or restore the green infrastructure network and its ecological functions while supporting the desired development pattern of the 2002 General Plan.

The subject property contains all three designations of the Countywide Green Infrastructure Plan, with regulated environmental features located along the south-southeastern property line. There is an off-site stream and the stream buffer is located on-site. The portion of the buffer that is currently wooded will remain undisturbed and reforestation measures are proposed in the remaining open buffer areas.

Policy 2: Preserve, protect, and enhance surface and ground water features and restore lost ecological functions.

This development proposal is to construct an assisted living facility with parking. The site has an approved Stormwater Management Concept (26822-2005-03). The Special Exception Site Plan shows one proposed retention pond on the southern portion of the site abutting Lottsford Vista Road for water quality and quantity purposes. The pond outfall will convey water to a grass swale and ultimately to the adjacent off-site stream system along the southern boundary. Untreated off-site stormwater from the west side of Lottsford Vista Road is also being piped onsite, and is shown to be conveyed to a swale connecting with the pond's stormwater.

Policy 3: Preserve existing woodland resources and replant woodland, where possible, while implementing the desired development pattern of the 2002 General Plan.

The property is partially wooded and is subject to the Woodland Conservation Ordinance. Based on TCP1-010-10 approved with Preliminary Plan 4-12020, the project proposes to remove 86 percent of the on-site woodlands and meet the 3.05-acre requirement with on-site and off-site woodland conservation measures including a significant amount of reforestation focused in the most sensitive areas of the site (adjacent to the stream). There are seven specimen trees on-site and six of these trees are proposed to be removed.

Policy 4: Promote environmental stewardship as an important element to the overall success of the Green Infrastructure Plan.

The use of environmentally sensitive building techniques and overall energy conservation should be encouraged.

Policy 5: Recognize the green infrastructure network as a valuable component of the county's Livable Communities Initiative.

All three areas (Regulated, Evaluation, and Network Gap) are located on-site with the largest area mapped as Evaluation area. There are two Regulated areas located on the northeastern and south-southeastern portions of the property. The woodlands that are proposed to be saved and the areas proposed to be reforested are located within the Regulated and Evaluation areas.

The proposed Tree Conservation is in conformance with the Countywide Green Infrastructure Plan.

Conformance with Required Findings for a Special Exception

The required findings for approval of a Special Exception are given in Section 27-317 of the Zoning Ordinance. The **required findings which are environmental in nature are indicated in bold**, and the comments are provided in regular type.

- (a) A Special Exception may be approved if:
 - (3) **The proposed use will not substantially impair the integrity of any validly approved Master Plan or Functional Master Plan, or, in the absence of a Master Plan or Functional Master Plan, the General Plan;**

Comment: The proposed special exception is in conformance with the environmental provisions of the General Plan, the Area Master Plan and the Countywide Green Infrastructure Plan noted herein.

(4) The proposed use will not adversely affect the health, safety, or welfare of residents or workers in the area;

Comment: The proposed use is subject to county and state regulations related to environmental management and safety. With regard to the land use issues that are the subject of this case, staff recommends that the Planning Board find conformance with Subtitle 27.

(6) The proposed site plan is in conformance with an approved Type 2 Tree Conservation Plan; and

A copy of TCP1-010-10 approved with Preliminary Plan 4-12020 was submitted with the subject application. No TCP2 has been received; however, the site design shown on the Special Exception Site Plan is generally the same as what was shown on the approved TCP1.

Recommended Condition: Prior to certification of the Special Exception, a TCP2 in conformance with the Woodland and Wildlife Habitat Conservation Ordinance shall be reviewed and approved by the Planning Director or designee. The plan has been assigned the following plan number; TCP2-003-14.

(7) The proposed site plan demonstrates the preservation and/or restoration of the regulated environmental features in a natural state to the fullest extent possible in accordance with the requirement of Subtitle 24-130 (b)(5).

This site contains regulated environmental features that are required to be preserved and/or restored to the fullest extent possible under Section 27-317(a)(7) of the Zoning Ordinance. The on-site regulated environmental features include streams, stream buffers, wetlands, wetland buffers, 100-year floodplain, and steep slopes. The site also contains an isolated wetland along the northeastern property line.

Section 27-296(c)(1)(L) of the Zoning Ordinance requires the submittal of: "A statement of justification describing how the proposed design preserves and restores the regulated environmental features to the fullest extent possible." A letter of justification was submitted and reviewed as part of this application.

Impacts to the regulated environmental features should be limited to those that are necessary for the development of the property. Necessary impacts are those that are directly attributable to infrastructure required for the reasonable use and orderly and efficient development of the subject property or are those that are required by County Code for reasons of health, safety, or welfare. Necessary impacts include, but are not limited to, adequate sanitary sewerage lines and water lines, road crossings for required street connections, and outfalls for stormwater management facilities. Road crossings of streams and/or wetlands may be appropriate if placed at the location of an existing crossing or at the point of least impact to the regulated environmental features. Stormwater management outfalls may also be considered necessary impacts if the site has been designed to place

the outfall at a point of least impact. The types of impacts that can be avoided include those for site grading, building placement, parking, stormwater management facilities (not including outfalls), and road crossings where reasonable alternatives exist. The cumulative impacts for the development of a property should be the fewest necessary and sufficient to reasonably develop the site in conformance with County Code.

A letter of justification for the proposed impacts was stamped as received by EPS on February 24, 2014. The special exception proposes impacts to the PMA in order to install vegetative stormwater drainage to direct the project stormwater to an off-site stream system. This impact will cause 1,600 square feet of disturbance to stream buffer including 390 square feet of woodlands removed.

The proposed impacts have been minimized to ensure that adequate drainage conveyance channels will be provided to direct stormwater from two stormwater management systems to the adjacent off-site regulated stream.

The impacts related to stormwater management are considered necessary for the orderly development of the subject property. The impacts cannot be avoided because they are required by other provisions of the County Code. The development is providing water quality and quantity controls and the impacts have been designed to minimize, to the fullest extent possible, the impacts to the PMA.

Recommended Finding: The regulated environmental features on the subject property have been preserved and/or restored to the fullest extent possible based on the limits of grading shown on the Special Exception Site Plan submitted for review. The impacts approved are for the construction of a vegetated stormwater drainage swale in the stream buffer because this impact cannot be avoided.

Review of Previously Approved Conditions

The following text addresses previously approved environmental conditions related to the subject applications. The text in **BOLD** is the actual text from the previous cases or plans. The plain text provides the comments on the plan's conformance with the conditions.

PGCPB No. 13-82, File No. 4-12020

- 6. The detail site plan and Type 2 tree conservation plan shall be designed to accommodate appropriate landscape and signage treatments for the frontage of historic Lottsford Vista Road in accordance with the *Prince George's County Landscape Manual*.**

Comment: A copy of TCP1-010-10 approved with Preliminary Plan 4-12020 was submitted with the subject application. No TCP2 has been received; however, the site design shown on the Special Exception Site Plan is generally the same as what was shown on the approved TCP1. It is recommended that conformance with this, and all conditions of approval regarding the treatment of historic Lottsford Vista Road, be reviewed in detail with the detailed site plan application.

Environmental Review

Note: As revisions are made to the plans submitted the revision boxes on each plan sheet shall be used to describe what revisions were made, when, and by whom. In the case of Tree Conservation Plans, the sheets shall also be signed and dated by the qualified professional preparing the plans.

1. An approved Natural Resources Inventory, NRI-48-06-01, signed July 18, 2011, was submitted with the application. There is a stream buffer and PMA found to occur on the subject property. The FSD indicates one forest stand totaling 2.57 acres and seven specimen trees.

Comment: No revisions are required for conformance to the NRI.

2. The approved Stormwater Management Concept letter and plan were submitted and stamped as received on February 24, 2014. The concept requires water quality and quantity controls to be provided by a retention pond as shown on the plan.

Comment: No revisions are required for conformance to the stormwater management concept approval.

3. Section 25-122(b)(1)(G) requires that "Specimen trees, champion trees, and trees that are part of a historic site or are associated with a historic structure shall be preserved and the design shall either preserve the critical root zone of each tree in its entirety or preserve an appropriate percentage of the critical root zone in keeping with the tree's condition and the species' ability to survive construction as provided in the Technical Manual."

Effective October 1, 2009, the State Forest Conservation Act was amended to include a requirement for a variance if a specimen, champion, or historic tree is proposed to be removed. This state requirement was incorporated in the adopted County Code effective on September 1, 2010.

A Subtitle 25 Variance Application, a statement of justification in support of a variance, and a tree removal plan were stamped as received by EPS on February 24, 2014. The current application seeks variance approval for the removal of specimen trees 1,2, 3, 5, 6, and 7. These are the same trees previously approved for removal by a variance granted by the Planning Board associated with Preliminary Plan 4-12020. The justification for the removal of the trees remains the same as the previous approval.

The specimen tree summary table contained within the statement of justification shows the removal of six of the seven on-site specimen trees.

Section 25-119(d) of the WCO contains six required findings [text in bold] to be made before a variance can be granted. The Letter of Justification submitted seeks to address the required findings for all six specimen trees as a group; however, details specific to individual trees has also been provided. Staff agrees with the approach to the analysis because there are similar concerns for all of the trees with respect to the required findings and because the location, species and condition of the trees have been assessed separately as necessary.

(A) Special conditions peculiar to the property have caused the unwarranted hardship

Condition rating scores were generated for the specimen trees on this site in accordance with Section 4.2.3c of the Technical Manual (which references The Guide to Plant Appraisal prepared by the Council of Tree & Landscape Appraisers and published by the International Society of Arboriculture). The condition rating scores range from 69 to 94 with conditions such as poor, fair, good, and excellent.

The six trees (Tulip Poplar, Red Oak and Silver Maple) proposed for removal are located in areas where intense grading and structures are proposed. These trees are located in the central and northeast corner of the site. A 36 inch White Oak will remain along the northeast property corner. The condition and location of the specimen trees proposed for removal are a special condition peculiar to the property. Specifically due to the topography which ranges in elevation between 130 -190 feet, and would require intense grading to bring the site to a developable grade and allow positive drainage.

(B) Enforcement of these rules will deprive the applicant of rights commonly enjoyed by others in similar areas

Without proper grading, the site would not be developable and flooding may be an issue. If other properties include trees in similar locations and in similar condition on a site, the same considerations would be provided during the review of the required variance application.

(C) Granting the variance will not confer on the applicant a special privilege that would be denied to other applicants

The proposed grading in the location of the specimen trees is necessary to bring the site to a developable level and ensure positive drainage. Several trees are located centrally and their preservation would preclude reasonable development of the site. If other properties include trees in similar locations and in similar condition on a site, the same considerations would be provided during the review of the required variance application. Approval of this variance will not constitute a special privilege to the applicant.

(D) The request is not based on conditions or circumstances which are the result of actions by the applicant

The applicant has taken no action to date on the subject property.

(E) The request does not arise from a condition relating to land or building use, either permitted or nonconforming, on a neighboring property

The requested variance does not arise from a condition relating to the land or building use, either permitted or nonconforming on a neighboring property. There are no existing conditions on the neighboring properties that have any impact on the location or size of the trees.

(F) Granting of the variance will not adversely affect water quality

Granting the variance to remove the specimen trees will not directly affect water quality because the reduction in tree cover caused by specimen tree removal is minimal. Specific requirements regarding stormwater management for the site will be further reviewed by the Department of Public Works and Transportation.

Recommended Finding: The required findings of Section 25-119(d) have been adequately addressed by the applicant for the removal of specimen trees 1,2, 3, 5, 6, and 7.

Summary of Recommended Findings and Conditions

The Environmental Planning Section recommends approval of Special Exception SE-4667 and TCP2-003-14 subject to the following findings and conditions:

Recommended Findings:

1. The regulated environmental features on the subject property have been preserved and/or restored to the fullest extent possible based on the limits of grading shown on the Special Exception Site Plan submitted for review. The impacts approved are for the construction of a vegetated stormwater drainage swale in the stream buffer because this impact cannot be avoided.
2. The required findings of Section 25-119(d) have been adequately addressed by the applicant for the removal of specimen trees 1,2, 3, 5, 6, and 7.

Recommended Conditions:

1. Prior to certification of the Special Exception, a TCP2 in conformance with the Woodland and Wildlife Habitat Conservation Ordinance shall be reviewed and approved by the Planning Director or designee. The plan has been assigned the following plan number; TCP2-003-14.

If you have any questions concerning these comments, please contact me at 301-952-3650 or by e-mail at megan.reiser@ppd.mncppc.org

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THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

Prince George's County Planning Department
Countywide Planning Division, Transportation Planning Section

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April 1, 2014

MEMORANDUM

TO: Taslima Alam, Zoning Section, Development Review Division
FROM: Eric Jenkins, Transportation Planning Section, Countywide Planning Division
VIA:  Tom Masog, Transportation Planning Section, Countywide Planning Division
SUBJECT: SE-4667, Sycamore Hill

The Transportation Planning Section has reviewed the special exception application referenced above. The subject parcel consists of approximately 7.9 acres of land in the R-R zone for the purpose of constructing an assisted living facility with an accessory adult day care center. The parcel is located on the east side of Lottsford Vista Road at the intersection of Cleary Lane and south of John Hanson Highway (US 50). The applicant is seeking a special exception for an assisted living facility of 65,608 square feet.

Review Comments

A special exception is required for an assisted living facility in the R-R Zone. The special exception is reviewed for compliance with general special exception requirements, including the determination that the use will not be detrimental to the health, safety, and welfare of residents and workers in the area. Section 27-464.04 of the Zoning Ordinance contains specific language on Assisted Living Facility requirements in terms of transportation.

- The entry to the assisted housing site should provide easy recognition of the facility and a safe and unambiguous vehicular route to the building entry and passenger drop-off area.
- The radius and width of the entry drive should allow cars and vans to maneuver easily.
- The drop-off area should be close and convenient to the building entry.

The existing parcel is improved with a single family detached dwelling that is being used as a congregate living facility for 12 adults (elderly or physically handicapped). This structure would be demolished and replaced with an assisted living facility and adult day care center of 65,608 square feet. Access to the site would be from a two lane driveway opposite Cleary Lane on Lottsford Vista Road. An earlier Special Exception (SE-4256) was approved on June 26, 2001. This approval allowed for the existing congregate living facility for 12 adults in the former single family dwelling, and four additional new buildings which were never constructed. They were approved to house a congregate living facility of 72 total occupants, a child care center to accommodate 160 children, and a 40-person adult day care center.

The applicant wants to continue operating the 15-person adult day care center in the proposed assisted living facility. The new assisted living facility of 65,608 square feet would include 63 dwelling units in the senior housing section. The proposed uses; adult day care and assisted living, are low traffic generators. The proposed uses in the 65,608-square-foot building with 63 assisted living units (78 occupants) and the 15-person adult day center will generate 18 AM peak-hour trips and 27 PM peak-hour

trips. The proposed uses in the 65,608 square foot building will generate 121 fewer AM peak hour trips and 119 fewer PM peak hour trips than the previous special exception request. Also, this special exception appears to be fully consistent with the recent Preliminary Plan of Subdivision 4-12020. In particular, this application is consistent with the approved trip cap on that plan.

Vehicular access to the site is adequate and consistent with the requirements of Section 27-464.04. The access takes into account the scope of the facility, and the amount of traffic expected to be generated. The County may require safety improvements such as turn lanes at the site access point if deemed necessary.

A traffic count was submitted by the applicant. Under existing conditions there is a delay of 15.8 seconds in the AM peak hour and 18.2 seconds in the PM peak hour at the critical intersection. Background traffic for through movements on Lottsford Vista Road was increased by two percent to account for traffic growth. Under background traffic conditions there is a delay of 18.6 seconds in the AM peak hour and 21.9 seconds in the PM peak hour. With site traffic added under total traffic conditions the delay is 18.8 seconds during the AM peak hour and 22.1 seconds during the PM peak hour. Vehicle delay in any movement exceeding 50.0 seconds is deemed to be an unacceptable operating condition at unsignalized intersections. The critical intersection operates far below this threshold.

Lottsford Vista Road is a master plan roadway with a recommended right-of-way width of 80 feet in the *Approved Glenn Dale Seabrook Lanham & Vicinity Master Plan and Sectional Map Amendment*. The dedication of 40 feet from the State Highway Administration (SHA) baseline of Lottsford Vista Road is shown correctly on the submitted plan, and will be obtained once the underlying preliminary plan is recorded.

Conclusion

The Transportation Planning Section finds that the special exception use application poses no issue regarding the required special exception finding.

While the plan may be acceptable for SE approval, the applicant will need to comply with any outstanding preliminary plan conditions, and apply to the County Department of Permitting, Inspections and Enforcement for any needed access permits. The permit(s) pursuant to this case should not require review of the Maryland State Highway Administration.

MEMORANDUM

TO: Taslima Alam, Senior Planner, Zoning Section

FROM: Debbie Gallagher, Information and Permit Review Supervisor *DA*

SUBJECT: Sycamore Hill (SE-4667)

1. Is the site plan in accordance with the Subdivision Regulations? Refer to Subdivision Office for review. ✓
2. A Tree Conservation Plan or exemption letter must be provided. Refer to Environmental Planning for review. ✓
3. Refer to Urban Design for review for conformance with the Landscape Manual.
4. If the childcare center is proposing not to locate on this property any longer place a not next to the use on the coversheet.
5. Please identify on the site plan where all uses will occupy the building.
6. Note 24 states "the property lies partially within the JLUS Interim Land use Control Area. The not shall include which area and which requirement the property may be subject to. Refer to Community Planning for review.
7. The right-of-way and center line of Lottsford Vista Road must be provided on the site plan to ensure that the landscape strip does not fall within the proposed right-of-way.
8. Where did the 505 linear feet come from for schedule B of the landscape schedule?
9. There is an existing sign shown to the left of the driveway that must be removed. Place a note on the plan.
10. One sign is required for an Institution use of a maximum of 48 square feet, 8 feet in height one per street. It appears that a Departure from Sign Design Standards may be required based on this proposal.
- ✓ 11. An Adult Daycare must address the requirements of Section 27-332 of the Special Exception Section.

12. Detailed Site Plan is required for the Assisted Living pursuant to footnote 77, as well as a Special Exception. ✓

March 26, 2014

MEMORANDUM

TO: Taslima Alam, Zoning Section

VIA: Whitney Chellis, Subdivision Section *SN for WC*

FROM: Williamayah, Subdivision Section *WIM*

SUBJECT: Sycamore Hill, SE-4667

The subject property is known as Parcel 45, located on Tax Map 53 in Grid A-2, and is approximately 79.3 acres. The current configuration of the property is the result of a fee simple conveyance to the State of Maryland along the western property boundary that abuts Lottsford Vista Road, recorded in Liber 6873 at Folio 383. This public right-of-way dedication was a legal division of land pursuant to Section 24-107(c)(5) of the Subdivision Regulations. The property is improved with a vacant single-family detached dwelling that has been used as a Congregate Living Facility for twelve (12) elderly or physically handicapped residents, per SE-4256, and a wooden barn. Both structures are to be removed. The applicant has submitted a special exception for an Adult Day Care for 15 persons and associated Assisted Living Facility that will accommodate 78 occupants housed in 15 double occupant units (30 beds) and 48 single occupant units (48 beds). The site plan proposes one 65,608-square-foot building to accommodate both uses.

The site is the subject of Preliminary Plan of Subdivision (PPS) 4-12020 for Sycamore Hill Assisted Living. The Prince George's County Planning Board adopted the resolution of approval (PGCPB Resolution No. 13-82) on September 12, 2013. The validity period for the preliminary plan is September 12, 2015. A final plat for the subject property must be accepted by the M-NCPPC before the preliminary plan expires or a new preliminary plan is required. The applicant may request an extension of the validity period for the preliminary plan beyond the validity date. The resolution for the approved PPS contains thirteen conditions and the following conditions in **bold** relate to the review of this application:

- 1. Prior to signature approval of the preliminary plan of subdivision, the following technical corrections shall be made:**

The PPS was signature approved on November 8, 2013.

- 2. Development of this site shall be in conformance with Stormwater Management Concept Plan 46822-2005-02 and any subsequent revisions.**

The approval date for Stormwater Management concept Plan 46822-2005-02 should be added to General Note 21 on the site plan.

6. **The detail site plan and Type 2 tree conservation plan shall be designed to accommodate appropriate landscape and signage treatments for the frontage of historic Lottsford Vista Road in accordance with the *Prince George's County Landscape Manual*.**
7. **Prior to approval of the detailed site plan, the landscape buffer yard treatment and entrance features along historic Lottsford Vista Road shall be reviewed to ensure that the design is in keeping with the desired visual characteristics of the historic road.**

The following excerpt from Finding 20—Environmental of the resolution discusses the treatment of the landscape buffer yard and entrance features along historic Lottsford Vista Road and states the following:

The Landscape Manual addresses the requirements with regard to buffering scenic and historic roads. These provisions will be evaluated at the time of the review of the DSP. Adjacent to a historic road, the Landscape Manual requires a Section 4.6 landscape buffer (Buffering Development from Special Roadways) based on the property being located within the Developing Tier. In the Developing Tier, the required buffer along a historic road is a minimum of 20 feet wide to be planted with a minimum of 80 plant units per 100 linear feet of street frontage, excluding driveway openings. The 20-foot-wide scenic buffer is required to be provided behind the public utility easement. Landscaping is a cost effective treatment which provides a significant visual enhancement to the appearance of a historic road.

The design of the landscape buffer and entrance treatment proposed along Lottsford Vista Road should be reviewed at the time of the associated DSP to ensure that the overall treatment is in keeping with the desired visual characteristics of the historic road; integrated into an overall streetscape treatment along Lottsford Vista Road; which should include coordination of signage, materials, and plant species choices.

A special exception landscape plan has been submitted for review; however a Section 4.2 landscape buffer is shown along historic Lottsford Vista Road. The landscape plan should show a Section 4.6 landscape buffer (Buffering Development from Special Roadways) as discussed in Finding 15 of the PPS. The special exception site plan provided does not address signage. Further conformance to Conditions 6 and 7 should be reviewed by the Urban Design Section and the Environmental Planning Section.

8. **At the time of final plat, the applicant and the applicant's heirs, successors and/or assignees shall grant a ten-foot-wide public utility easement along the public rights-of-way of Lottsford Vista Road as delineated on the approved preliminary plan of subdivision.**

A ten foot PUE is along the public right-of-way of Lottsford Vista Road has been shown on the site plan.

9. **The applicant and the applicant's heirs, successors, and/or assignees shall construct an eight-foot-wide sidewalk in accordance with county standards and specifications along the subject site's entire frontage of Lottsford Vista Road, unless modified by the Department of Public Works and Transportation.**

An eight-foot-wide sidewalk along the subject site's entire frontage of Lottsford Vista Road has been shown on the site plan.

- ✓ 10. **A substantial revision to the mix of uses on the subject property that significantly affects Subtitle 24 adequacy findings may require the approval of a new preliminary plan of subdivision prior to approval of any building permits.**

The mix of uses proposed on the subject property conforms to the PPS.

- ✓ 11. **Total development within the subject property shall be limited to uses which generate no more than 18 AM and 27 PM peak-hour vehicle trips. Any development generating an impact greater than that identified herein above shall require a new preliminary plan of subdivision with a new determination of the adequacy of transportation facilities.**

Conformance to the above trip cap should be reviewed by the Transportation Planning Section.

12. **At the time of final plat approval, the applicant and the applicant's heirs, successors, and/or assignees shall dedicate 40 feet of right-of-way from the State Highway Administration (SHA) baseline on Lottsford Vista Road as delineated on the approved preliminary plan of subdivision.**

The required dedication has of 40 feet of right-of-way from the SHA baseline on Lottsford Vista Road as delineated on the approved PPS has been shown on the site plan.

13. **At the time of final plat, the following note shall be placed on the plat:**

"This plat lies partially within the JLUS Interim Land Use Controls area as established by Subtitle 27, Part 18 (CB-3-2012)."

General Note 24 of the site plan addresses the location of the subject property within the JLUS Interim Land Use Controls area.

Site Plan Comments:

The Subdivision Section recommends the following conditions:

1. Prior to certification of the revision to the detailed site plan the following technical corrections should be required:
 - a) The approval date for Stormwater Management Concept Plan 46822-2005-02 shall be added to Note 21 of the site plan.

SE-4667 is in substantial conformance with the approved Preliminary Plan of Subdivision 4-12020, if the above comments have been addressed. Failure of the site plan and record plat to match (including bearings, distances, and lot sizes) will result in permits being placed on hold until the plans are corrected. There are no other subdivision issues at this time.




THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

Prince George's County Planning Department
Countywide Planning Division, Transportation Planning Section

(301) 952-3680
www.mncppc.org

April 8, 2014

MEMORANDUM

TO: Taslima Alam, Development Review Division
FROM:  Fred Shaffer, Transportation Planning Section, Countywide Planning Division
SUBJECT: Special Exception Review for Master Plan Trail Compliance

The following Special Exception was reviewed for conformance with the 2009 *Approved Countywide Master Plan of Transportation* and/or the appropriate area Master Plan in order to provide the Master Plan Trails.

Special Exception Number: SE-4667

Name: Sycamore Hill

Type of Master Plan Bikeway or Trail

Municipal R.O.W.*	<u> </u>	Public Use Trail Easement	<u> </u>
PG Co. R.O.W.*	<u> X </u>	Nature Trails	<u> </u>
SHA R.O.W.*	<u> X </u>	M-NCPPC – Parks	<u> </u>
HOA	<u> </u>	Bicycle Parking	<u> </u>
Sidewalks	<u> X </u>	Trail Access	<u> </u>

*If a Master Plan Trail is within a city, county, or state right-of-way, an additional two - four feet of dedication may be required to accommodate construction of the trail.

The Transportation Planning Section has reviewed the special exception application referenced above for conformance with the 2009 *Approved Countywide Master Plan of Transportation* and/or the appropriate area master/sector plan in order to implement planned trails, bikeways, and pedestrian improvements. Staff recommendations based on current or proposed conditions are also included in this memo.

The subject application is located along the east side of Lottsford Vista Road just south of US 50. The subject application proposes an adult day care and assisted living facility.

Review Comments (Master Plan Compliance and Prior Approvals)

The subject application includes standard sidewalks along both Princess Garden Parkway and MD 450. Also in the vicinity are well marked striped crosswalks and pedestrian refuges at the crossings of both roads. These improvements were implemented at the time the MD 564 and MD 450 intersection improvements were made. The 2009 *Approved Countywide Master Plan of Transportation* includes the following recommendations for bicycle and pedestrian facilities along Lottsford Vista Road:

Lottsford Vista Road Sidewalks and On-Road Bicycle Facilities: Continuous accommodations for bicycles and pedestrians are needed. Sidewalks are currently fragmented. This will improve access to the Washington Business Park (MPOT, page 27).

This recommendation was evaluated at the time of the Preliminary Plan, and it was determined that bicyclists and pedestrians will be accommodated via an eight-foot wide sidepath or wide sidewalk. Approved Preliminary Plan 4-12020 included the following condition of approval regarding the master plan facility along Lottsford Vista Road:

9. The applicant and the applicant's heirs, successors, and/or assignees shall construct an eight-foot-wide sidewalk in accordance with county standards and specifications along the subject site's entire frontage of Lottsford Vista Road, unless modified by the Department of Public Works and Transportation.

The subject application also includes a standard sidewalk along one side of the entrance road, along the perimeter of the building, and designated crosswalks at appropriate locations in the parking lot. No additional conditions of approval are necessary. However, the condition for the master plan trail along Lottsford Vista Road is reiterated below, consistent with prior approvals. The proposed sidewalk and crosswalk connections on-site will adequately link future residents of the facility with the master plan trail along Lottsford Vista Road.

Conclusion

1. The applicant and the applicant's heirs, successors, and/or assignees shall construct an eight-foot-wide sidewalk in accordance with county standards and specifications along the subject site's entire frontage of Lottsford Vista Road, unless modified by the Department of Public Works and Transportation.



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

14741 Governor Oden Bowie Drive
Upper Marlboro, Maryland 20772
TTY: (301) 952-4366
www.mncppc.org/pgco

Prince George's County Planning Department
Community Planning Division

301-952-4225

April 9, 2014



MEMORANDUM

TO: Taslima Alam, Zoning Section, Development Review Division
VIA: Martin Matsen, Supervisor, Community Planning North Division
FROM: William Washburn, Planner Coordinator, Community Planning North Division
SUBJECT: **Special Exception – SE-4667, Sycamore Hill Day Care**

DETERMINATION

- The application is consistent with the 2002 General Plan Development Pattern policies for the Developing Tier of low- to moderate-density residential development.
- The application conforms to the 1990 *Approved Master Plan and Sectional Map Amendment for Largo-Lottsford and Vicinity* land use recommendations for residential uses and certain nonresidential uses permitted through Special Exceptions on the proposed development site.

BACKGROUND

Location: East side of Lottsford Vista Road across from its intersection with Cleary Lane

Size: 7.91 acres

Existing Use: Adult day care facility

Proposal: Special Exception for adult day care center for 15 persons and assisted living facility with 78 persons housed

GENERAL PLAN, MASTER PLAN AND SMA

2002 General Plan: Developing Tier. The vision for the Developing Tier is to maintain a pattern of low- to moderate-density suburban residential communities, distinct commercial Centers, and employment areas that are increasingly transit serviceable.

Master Plan: *Approved Master Plan and Sectional Map Amendment for Largo-Lottsford and Vicinity* (1990).

- Planning Area/Community: Planning Area 73/Enterprise Community
- Land Use: Residential suburban
- Environmental: The master plan identified a Primary Management Area on the southern border of the proposed development site. Refer to the Environmental Planning Section referral for conformance with the Environmental chapter of the 1990 *Largo-Lottsford Approved Master Plan Amendment and Adopted Sectional Map Amendment* and the 2005 *Countywide Green Infrastructure Plan*.
- Historic Resources: None identified
- Transportation: Lottsford Vista Road is an existing collector (C-144). The nearest Metrorail station is New Carrollton.
- Public Facilities: None identified
- Parks & Trails: None identified
- SMA/Zoning: The 1990 *Largo-Lottsford SMA* classified this property in the R-R (Rural Residential) Zone, which permits a maximum density of 2.17 dwelling units per net acre.

PLANNING COMMENTS

There are no master plan or General Plan issues related to this proposed Special Exception.

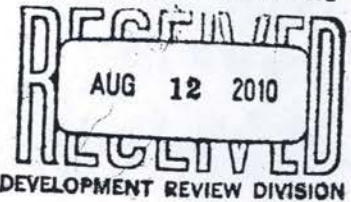
c: Ivy A. Lewis, Community Planning Division

Prince George's County Health Department

Division of Environmental Health

M-NCPPC

P.G. PLANNING DEPARTMENT



Memorandum:

Date: August 30, 2010

To: Taslima Alam, Zoning Section, Development Review Division, M-NCPPC

From: *Patty McLaughlin*
Patty McLaughlin, Subdivision Review Specialist, Environmental Engineering Program

Re: Special Exception Plan No. SE-4667 Sycamore Hill
Tax Map 053, Grid A-2

301-883-7634

The Environmental Engineering Program has reviewed the Special Exception Plan for Sycamore Hill. This proposed assisted living facility and adult day care facility will require that the kitchens be licensed by this office and thus this office has the following comments to offer:

Assisted Living Facility:

1. Per the Code of Maryland Regulations (COMAR) 10.07.14 governing Assisted Living Programs, "an assisted living program with a licensed capacity of 17 or more beds shall comply with the food service regulations in COMAR 10.15.03. The proposed occupancy of 75 beds/residents will require that the facility be equipped with a commercial grade kitchen. A complete set of plans for the kitchen, along with the required \$300.00 plan review fee, must be submitted to this office for review/approval. Please contact the Plan Review/Institutions Program at (301) 883-7650 for further information. Refer to the enclosures.
2. The overall facility will be licensed by the Maryland State Department of Health and Mental Hygiene (DHMH). Please contact them at (410) 402-8217 for further information.

Adult Day Care Facility:

1. The kitchen in this facility must be a commercial grade kitchen in accordance with COMAR 10.15.03. A complete set of plans for the kitchen, along with the required \$300.00 plan review fee, must be submitted to this office for review/approval. Please contact the Plan Review/Institutions Program at (301) 883-7650 for further information. Refer to the enclosures.

Largo Government Center ♦ 9201 Basil Court, Suite 318 ♦ Largo, Maryland 20774-5310
Telephone: (301) 883-7605 ♦ Fax: (301) 883-7266 ♦ TDD: (301) 883-5025

SE-4667 – Sycamore Hill
Page 2
August 30, 2010

2. The overall facility will be licensed by the Maryland State Department of Health and Mental Hygiene (DHMH). Please contact them at (410) 402-8142 for further information.

General:

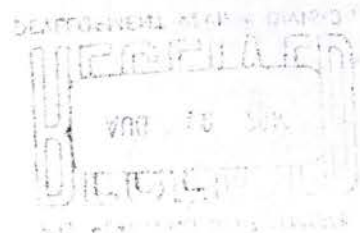
1. A raze permit must be obtained through the Department of Environmental Resources prior to the removal of any existing buildings. Any hazardous materials located in any structures on site must be removed and properly stored or discarded prior to the structures being razed.

Permits, Inspections + Enforcement

If you have any questions, please contact me at (301) 883-7667.

PM: cm

Cc: Beltway Surveys
Bill Edelen, DER, Community Services Division
Evelyn Hoban, PGCHD, Division of Environmental Health, Environmental Engineering
Susan Thweatt, PGCHD, Division of Environmental Health, Plan Review/Institutions





THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

Prince George's County Planning Department
Countywide Planning Division

(301) 952-3650
www.mncppc.org

February 24, 2014

MEMORANDUM

TO: Taslima Alam, Senior Planner, Zoning Section, Development Review Division

VIA: Christine Osei, Planner Coordinator, Special Projects Section, Countywide
Planning Division *CO*

FROM: Jay Mangalvedhe, Senior Planner, Special Projects Section, Countywide Planning
Division *JMA*

SUBJECT: Project: Sycamore Hill: SE-4667

Special Exception application for adult day care center w/15 persons and assisted living facility
w/78 persons housed.

NON-RESIDENTIAL

Police Facilities

The proposed development is within the service area of Police District II, Bowie. There is 267,660 square feet of space in all of the facilities used by the Prince George's County Police Department and the July 1, 2012 (U.S. Census Bureau) county population estimate is 881,138. Using the 141 square feet per 1,000 residents, it calculates to 124,240 square feet of space for police. The current amount of space 267,660 square feet is within the guideline.

Fire and Rescue Service

The Special Projects Section has reviewed this Specific Design Plan for adequacy of fire and rescue services in accordance with Section 24-122.01(d) and Section 24-122.01(e)(1)(C) and (E) of the Subdivision Regulations.

Section 24-122.01(e) (1) (E) states that "A statement by the Fire Chief that the response time for the first due station in the vicinity of the property proposed for subdivision is a maximum of

seven (7) minutes travel time. The Fire Chief shall submit monthly reports chronicling actual response times for call for service during the preceding month”.

The proposed project is served by St. Josephs Fire/EMS Co. 6, a first due response station (a maximum of seven (7) minutes travel time), is located at 2901 St. Josephs drive.

Capital Improvement Program (CIP)

There are no CIP projects for public safety facilities proposed in the vicinity of the subject site.

The above findings are in conformance with the 2008 *Adopted and Approved Public Safety Facilities Master Plan* and the “Guidelines for the Analysis of Development Impact on Fire and Rescue Facilities.

School Facilities

The subdivision has been reviewed for impact on school facilities in accordance with Section 24-122.02 of the Subdivision Regulations and the Adequate Public Facilities Regulations for Schools (CR-23-2001 and CR-38-2002) and concluded that the subdivision is exempt from a review for schools because it is a nonresidential use.

Water and Sewerage Findings

Section 24-122.01(b)(1) states that “the location of the property within the appropriate service area of the Ten-Year Water and Sewerage Plan is deemed sufficient evidence of the immediate or planned availability of public water and sewerage for preliminary or final plat approval.”

The 2008 *Water and Sewer Plan* placed this property in Water and Sewer Category 4, Community System Adequate for development.

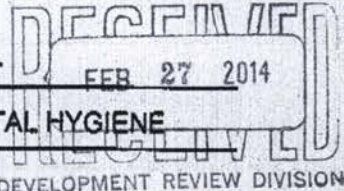
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The Maryland-National Capital Park and Planning Commission
 14741 Governor Oden Bowie Drive, Upper Marlboro, MD 20772 ☐ 301-952-3530
 Development Review Division – 301-952-3749 (fax)

M-NCPPC
 P.G. PLANNING DEPARTMENT

**** REFERRAL REQUEST ****



From:
To:

Date: 2/21/2014 RE-REFERRAL
 To: DR. CLIFFORD MITCHELL, MARYLAND HEALTH & MENTAL HYGIENE
 From: TASLIMA ALAM, SENIOR PLANNER, ZONING SECTION
 Subject: SYCAMORE HILL (SE-4667)

IDENTIFICATION OF MAJOR ISSUES DUE DATE*: 3/7/2014
 *Note: E-mail any major issues/problems to the reviewer by the above date.

SUBDIVISION REVIEW COMMITTEE DATE: N/A

REFERRAL DUE DATE: 3/24/2014

Full Review of New Plan Revision of Previously Approved Plan
 Limited or Special Review Plans/Documents Returned for Second Review Following Revision by Applicant

NOTE: This case is being reviewed at: Planning Board level OR Planning Director level

COMMENTS: Please email major issues to Taslima Alam at Taslima.Alam@ppd.mnccppc.org

Related Cases: _____

REFERRAL REPLY COMMENTS:

No comments.

NOTE: IF YOU HAVE NO COMMENTS, PLEASE INDICATE ABOVE AND FORWARD OR FAX TO THE REVIEWER'S ATTENTION.



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

Prince George's County Planning Department
Historic Preservation Section

(301) 952-3680
www.mncppc.org

March 10, 2014

MEMORANDUM

TO: Taslima Alam, Senior Planner
Zoning Section
Development Review Division

FROM: Jennifer Stabler, Archeology Planner Coordinator *JAS*
Historic Preservation Section
Countywide Planning Division

SUBJECT: **SE-4667 Sycamore Hill**

The subject property comprises 7.90 acres and is located at 3911 Lottsford Vista Road in Bowie, Maryland. The application proposes the construction of a senior citizen center with 78 beds and adult day care for 15 persons.

A Phase I archeological survey was conducted on the subject property in May 2008. One archeological site, 18PR944, was identified through pedestrian survey and shovel testing. Based on the small, non-diagnostic artifact recovery, the lack of stratigraphic integrity, and the existing cultural features, it was determined that site 18PR944 likely postdates the construction of the 1951 residence on the property. It was concluded that site 18PR944 does not represent a significant cultural resource nor is it eligible for listing in the National Register of Historic Places. No further archaeological work was recommended. Staff concurred that due to the lack of stratigraphic integrity and the limited research potential of site 18PR944, no additional archeological work is necessary on the Sycamore Hill property. Four copies of the final Phase I archeology report were received and approved by Historic Preservation staff on March 22, 2010. Historic Preservation staff recommends approval by the Planning Board of SE-4667 without conditions.

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Jack Johnson
County Executive

PRINCE GEORGE'S COUNTY GOVERNMENT



Department of Public Works and Transportation
Office of Engineering

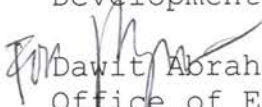


MEMORANDUM

November 2, 2010



TO: Taslima Alam, Senior Planner, Zoning Section
Development Review Division, M-NCPPC

FROM:  Dawit Abraham, P.E., Associate Director
Office of Engineering, EISD, DPW&T

RE: Sycamore Hill Subdivision
Special Exception No. SE-4667

CR: Lottsford Vista Road, 2-5030

In response to the Special Exception Referral Number SE-4667, the Department of Public Works and Transportation (DPW&T) offers the following:

- The subject property is located on the east side of Lottsford Vista Road, approximately 1,100 feet south of John Hanson Highway (MD 50). Right-of-way dedication and frontage improvements in accordance with DPW&T's urban major collector road standards is required for Lottsford Vista Road.
- A full-width, 2-inch mill and overlay for all County roadway frontages is required.
- Conformance with DPW&T street tree and street lighting standards is required.
- Sidewalks are required along all roadways in accordance with Sections 23-105 and 23-135 of the County Road Ordinance.
- Compliance with DPW&T's Utility policy is required. Based upon the plans submitted, proper temporary and final patching and the related mill and overlay in accordance with the established "DPW&T Policy and Specification for Utility Installation and Maintenance Permits" is required.

Taslina Alam
November 2, 2010
Page 2

- All storm drainage systems and facilities are to be in accordance with DPW&T's requirements.
- This plan is consistent with the approved stormwater management plan number 46822-2005-02, dated January 5, 2010.
- The proposed access shall be in line with the existing Cleary Lane and constructed in accordance with DPW&T's urban primary residential road standards.
- A review of the Traffic Impact Study to determine the adequacy of access point(s) and the need for the construction of an acceleration/deceleration lane and a by-pass lane with dedication of the necessary additional right-of-way is required.
- A soils investigation report which includes subsurface exploration and a geotechnical engineering evaluation for public streets is required.
- DPW&T has no objection to the Special Exception Number SE-4667.

If you have any questions or require additional information, please contact Mr. Russell Carroll, District Engineer, at (301) 883-5710.

DA:NE:dar

cc: Russell Carroll, P.E., District Engineer, EISD, OE, DPW&T
Nawaf Esayed, P.E., Engineer III, EISD, OE, DPW&T
Robin Jones, Engineering Technician, EISD, OE, DPW&T
Stoddard Baptist Home/Presidential Care, LLC, 1818 Newton
Street, NW, Washington, DC 20010
Beltway Surveys, 5627 Allentown Road, Suite 105, Suitland,
Maryland 20746
Shipley, Horne, Hewlett, P.A., 1101 Mercantile Lane, Suite
240, Largo, Maryland 20774

Martin O'Malley, Governor
Anthony G. Brown, Lt. Governor



March 11, 2014

Ms. Taslima Alam, Planner
Development Review Division
Maryland- National Capital Park
And Planning Commission
14741 Governor Oden Bowie Drive
Upper Marlboro, Maryland 20772

RE: Prince George's County
MD 950 C (Lottsford Vista Road)
at Cleary Lane
SHA Tracking No: 08APPG041XX
Special Exception No. SE-4667
Sycamore Hill Assisted Living
Mile Post: 0.87

Dear Ms. Alam:

The State Highway Administration (SHA) would thank you for the opportunity to review plans and documents associated with the Sycamore Hill Assisted Living project, located in Prince George's County. The SHA completed a second cursory review and offers the following comments:

Access Management Division Comments:

1. The preliminary plan shows grading, paving, installation of curb and gutter, drainage structures, and an eight (8') foot wide trail being constructed in the SHA right-of-way. The proposed work within the SHA right-of-way will require an access permit. Please note that access permits are subject to review and approval per SHA standards and policies.
2. After review of SHA Plat 49722 and State Highway Location Reference Guide, we have determined that the proposed access opposite Cleary Lane is within State right-of-way. A SHA Access Permit will be required for improvements at this location.
3. The developer's engineer must submit six (6) copies of the Special Exception Site Improvement plans, storm drain design & computations, drainage area mapping, retaining wall design & computations, a CD containing the plans and supporting documentation in PDF for our review.
4. The Access Management Division Plan Review Checklist needs to be utilized in drafting the SHA improvement plans. The checklist can be accessed at www.roads.maryland.gov by selecting the Business Center drop down menu and Permits and Miss Utility Information, Access Permits, Commercial/Industrial/Residential Subdivision Access Permit, Plan Submittal Checklist. Please include a copy of the completed checklist with your next submittal. The checklist can also be accessed directly at <http://www.roads.maryland.gov/ohd2/Plan-check-list.pdf>.

My telephone number/toll-free number is _____

Maryland Relay Service for Impaired Hearing or Speech 1.800.735.2258 Statewide Toll Free

Street Address: 707 North Calvert Street • Baltimore, Maryland 21202 • Phone 410.545.0300 • www.roads.maryland.gov


Ms. Taslima Alam
Sycamore Hill Assisted Living
SHA Tracking No. 08APPG041XX
Special Exception SE-5667
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March 11, 2014

5. The proposed improvements south of MD 950 C and Clearly Lane intersection shall be coordinated with Prince George's County Public Works and Transportation.

In summation: We recommend that the above noted comments be a condition of Special Exception SE-4667 approval. Please include our comments in your staff report to the Planning Board.

If you have any questions or require clarification of the above noted comments, feel free to response in writing directly back to Mr. Steven Foster attention Mr. Michael Bailey. Also you may reach Mr. Bailey at 410-545-5593, or by using our toll free number in Maryland only at 1-800-876-4742 x-5593 or via email at (mbailey@sha.state.md.us).

Sincerely,



Steven Foster, Chief
Access Management Division

SDF/JWR/MB

Attachment

cc: Mr. Pranoy Choudhury, SHA- Access Management Division
Mr. William Joyce, engineer/Joyce Engineering Corporation /10766 Baltimore Avenue/
Beltsville, Maryland 20705 (kenny@joyceeng.com)
Mr. Thomas Masog, M-NCPPC- Transportation Planning Section
Mr. Steve Nash, owner/developer, Presidential Care, LLC owner/1818 Newton Street,
N.W. Washington, D.C. 20010-1091(snash@sbhfdc.org)
Mr. Venu Nemani, SHA- Assistant District Engineer-Traffic
Mr. Ramesh Patel, SHA- Resident Maintenance Engineer, Upper Marlboro Shop
Mr. Steve Snyder, Area Engineer Prince George's County- Department of Public Works
& Transportation (sgsnyder@co.pg.md.us)
Mr. Brian Young, SHA District 3 Metropolitan District Engineer



Rushern L. Baker, III
County Executive

THE PRINCE GEORGE'S COUNTY GOVERNMENT
Department of Permitting, Inspections and Enforcement
Site/Road Plan Review Division



MEMORANDUM

April 10, 2014

TO: Taslima Alam, Senior Planner, Zoning Section
Development Review Division, M-NCPPE

FROM: Mary Giles, P.E., Associate Director
Site/Road Plan Review Division, DPIE *mg*

RE: Presidential Estates at Sycamore Hill
Special Exception No. SE-4667

CR: Lottsford Vista Road, 2-5030



In response to the Special Exception Referral Number SE-4667, the Department of Permitting Inspections and Enforcement (DPIE) offers the following:

- The subject property is located on the east side of Lottsford Vista Road, approximately 1,100 feet south of John Hanson Highway (US 50).
- A full-width, 2-inch mill and overlay for all County roadway frontages are required.
- Conformance with DPW&T street tree and street lighting standards is required.
- Compliance with DPW&T's Utility policy is required. Based upon the plans submitted, proper temporary and final patching and the related mill and overlay in accordance with the established "DPW&T Policy and Specification for Utility Installation and Maintenance Permits" are required.
- All storm drainage systems and facilities are to be in accordance with DPW&T's requirements.
- All storm drainage systems and facilities are to be in accordance with DPW&T's requirements.

Taslina Alam
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- The proposed site has an approved DPW&T Stormwater Management Plan No. 46822-2005-02, dated January 5, 2010. The submitted plan meets the intent and conditions of the approved Stormwater Management concept and technical plan.
- A soils investigation report which includes subsurface exploration and a geotechnical engineering evaluation for public streets is required.
- DPIE has no objection to the Special Exception Number SE-4667.

If you have any questions or require additional information, please contact Mr. Steve Snyder, District Engineer, at 301.636.2060.

MG:IKN:dab

cc: Steve Snyder, P.E., District Engineer, S/RPRD, DPIE
Ikem Nwolisa, Engineer, S/RPRD, DPIE
Stoddard Baptist Home/Presidential Care, 1818 Newton Street,
NW, Washington, DC 20010
Beltway Surveys, 5627 Allentown Road, Suite #105, Suitland,
Maryland 20746