

APPLICATION FORM

DO NOT WRITE IN THIS SPACE

Application No.(s): _____ Planning Board Review Planning Director Review
 Acceptance Date: _____ 70-day limit: _____ Limit waived–New limit: _____
 Posting Waived Posting Date: _____ No. of Signs Posted: _____ Agenda Date: _____
 Application Fee: _____ Posting Fee: _____ Case Reviewer: _____
 Subdivision Development Review Committee Date: _____
 Referral Mail-Out Date: _____ Referral Due Date: _____
 Date of Informational Mailing: _____ Date of Acceptance Mailing: _____

APPLICATION TYPE: DSP Revision of Case # _____ Companion Cases: _____

Payment option: Check (payable to M-NCPPC) Credit Card General Plan Growth Policy: VI

PROJECT NAME: GIAC Son Buddhist Temple Corp.

Complete address (if applicable) 11801 Laurel Bowie Road, Laurel, MD 20707 Tax Account #: 1063825, 1063833
 Geographic Location (distance related to or near major intersection) Police District #: VI
 0' Southeast from the intersection of Snowden Road and Laurel Bowie Road (Route 197).

Total Acreage: 1.64 ac.	Aviation Policy Area: N/A	Election District: 10
Tax Map/Grid: 014F3	Current Zone(s): R-R	Council District: 1
WSSC Grid: 215NE09	Existing Lots/Blocks/Parcels: 27 and 28	Dev. Review District:
Planning Area: 62	In Municipal Boundary: N/A	Is development exempt from grading permit pursuant to 32-127(a)(6)(A): <input type="checkbox"/> Y <input checked="" type="checkbox"/> N

(2002) General Plan Tier: Developed Developing Rural Area of proposed LOD: 1.65 ac.

Proposed Use of Property and Request of Proposal: Single Family/Buddhist Temple, Parsonage, and required parking lot.	Please list and provide copies of resolutions of previously approved applications affecting the subject property: NRI-150-2019, S-182-2019
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Applicant Name, Address & Phone: GIAC SON BUDDHIST TEMPLE CORP 11801 Laurel Bowie Road, Laurel, MD 20707 Phone: 301-792-7499 Owner Name, Address & Phone: (if same as applicant indicate same/corporation see Disclosure) SAME AS ABOVE	Consultant Name, Address & Phone: Ram Shrestha, PE. 7425 Morrison Drive Greenbelt, Maryland 20770 email: newah.engineer@gmail.com phone:240-581-0078 Contact Name, Phone & E-mail: Luu L. Phu 2524 Nestle Brook Trail, Virginia Beach, VA. 223456 email: luulphu@gmail.com phone; 757-401-5895
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SIGNATURE (Sign where appropriate; include Application Form Disclosure for additional owner's signatures)

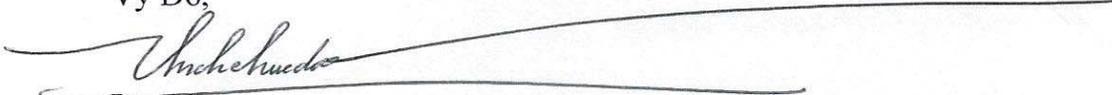
<u>XY DO</u> Owner's Signature typed & signed	<u>4/21/22</u> Date	<u>RAM SHRESTHA</u> Applicant's Signature typed & signed	<u>4/21/22</u> Date
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Contract Purchaser's Signature typed & signed	Date	Applicant's Signature typed & signed	Date
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The purpose of this affidavit is to certify that pursuant to The Process Guidelines for Development Review Applications, Informational Mailing letters regarding the application for pre-application number DSP-20002, and name of the project Giac Son Buddhist Temple were mailed to all adjoining property owners, registered associations, municipalities within a mile, and previous parties of record on March 17, 2022.

I solemnly affirm under the penalties of perjury that the contents of the foregoing paper are true to the best of my knowledge, information, and belief

Vy Do,



President
Gaic Son Buddhist Temple

Stamp of Notary Public

Mr. Do has subscribed before me on 04/10/2022



Dawn Nguyen
NOTARY PUBLIC
Prince George's County, Maryland
My Commission Expires: 10/03/2024

The purpose of this affidavit is to certify that pursuant to The Process Guidelines for Development Review Applications, Formal Acceptance letters regarding the application for pre-application number DSP-20002, and name of the project Giac Son Buddhist Temple were mailed to all adjoining property owners, registered associations, municipalities within a mile, and previous parties of record on **January 17, 2023**.

I solemnly affirm under the penalties of perjury that the contents of the foregoing paper are true to the best of my knowledge, information, and belief.

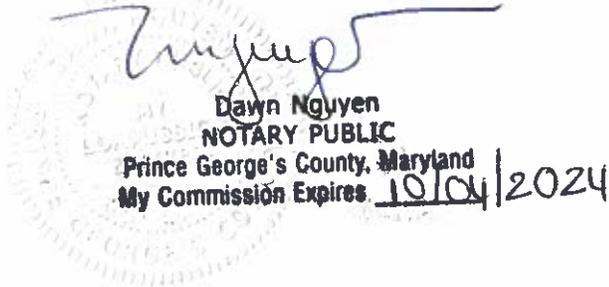
Vy Do,



President
Giac Son Buddhist Temple

Stamp of Notary Public

Mr. DO has subscribed before me on the 17th of January, 2023.



Dawn Nguyen
NOTARY PUBLIC
Prince George's County, Maryland
My Commission Expires 10/04/2024

January 16, 2023

MS. ELIZABETH HOBBS
MONTPELIER WOODS HOMEOWNERS ASSOCIATION
10204 SNOWDEN RD
LAUREL, MD 20708-3120

Dear MS. HOBBS,

Re: *DSP-20002, Giac Son Buddhist Temple*

This letter is to inform you that The Maryland-National Capital Park and Planning Commission, M-NCPPC is ready to accept the subject application. The address of the subject property is 11801 Laurel Bowie Road, Laurel, MD, which is located at the east of Laurel Bowie Rd. (MD-197) at the intersection with Snowden Road. The subject property consists of approximately 1.64 acres. The nature of the proposed request is proposed prayer hall, a statue platform, associated parking and stormwater management system and landscaping etc. The proposed prayer hall will be used for a community gathering/worship and for a religious event. An existing house and one shed will remain. However other sheds will be razed and removed. The existing proposed development will reduce the runoff flow to the adjacent properties and will not be increasing any significant runoff.

Once the application is formally accepted, it will be scheduled for a future Planning Board hearing. If you have not already registered to become a person of record, you are encouraged to do so at this time. Persons of Record are entitled to certain rights under zoning and subdivision laws, but registration is required. You may register online at <http://www.pgplanning.org/1586/Become-a-Person-of-Record>. or you may submit your name, address, and the above-referenced application number and name by mailing a written request to:

The Maryland-National Capital Park and Planning
Commission Development Review Division
14741 Governor Oden Bowie Drive
County Administration Building, 4th Floor
Upper Marlboro, MD 20772

If you have already registered to become a person of record from an earlier mailing for this application DSP-2002, you do not have to register again. Being a person of record on a separate application on the same property does not make you a person of record for the subject application. You must request to become a person of record for each separate application.

If you have any questions about this application, you may contact Mr. Luu L. Phu, at 703-327-9358 or Ram Shrestha at 240-581-0078 email: giacsonbuddisttemple@gmail.com or the M-NCPPC case reviewer, Andrew Shelly at 301-952-3530

Sincerely,



Luu L. Phu, P.E.

SUBDIVISION CASES – PRELIMINARY PLAN/CONSERVATION SKETCH PLAN:**Type of Application (Check all that apply)**

Conventional <input type="checkbox"/>	Comprehensive Design <input type="checkbox"/>	Conservation Sketch Plan <input type="checkbox"/>	Pre-Preliminary Plan <input type="checkbox"/>
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Variation, Variance or Alternative Compliance Request(s)

Yes No

Applicable Zoning/Subdivision Regulation Section(s):

Total Number of Proposed:

Lots _____ Outlots _____ Parcels _____ Outparcels _____

Number of Dwelling Units:

Attached _____ Detached _____ Multifamily _____

Gross Floor Area (Nonresidential portion only):

SUBDIVISION CASES – FINAL PLAT:Water/Sewer: DER Health Dept.

Number of Plats:

CSP/DSP/SDP No.:

WSSC Authorization No.:

Preliminary Plan No.:

Approval Date of Preliminary Plan:

URBAN DESIGN AND ZONING CASES:

Details of Request:

Buddhist Temple, Parsonage and required parking lot.

Zoning Ordinance Section(s):

Sec. 27-442, Sec. 27-285, Sec, 27-281 (b), and (c) (1) (A).

Total Number of Proposed:

Lots _____ Outlots _____ Parcels 2 _____ Outparcels _____

Number of Dwelling Units:

Attached _____ Detached _____ Multifamily _____

Gross Floor Area (Nonresidential portion only):

Variance Request

Yes No

Applicable Zoning/Subdivision Regulation Section(s):

Departure Request

Yes No

Application Filed

Yes No

Alternative Compliance Request

Yes No

Application Filed

Yes No

APPLICATION FORM DISCLOSURE

List all persons having at least five percent (5%) interest in the subject property **ONLY required for Special Exception and Zoning Map Amendment Applications.**

Owner(s) Name - printed	Signature and Date	Residence Address

If the property is owned by a corporation, please fill in below.

Officers	Date Assumed Duties	Residence Address	Business Address

Board of Directors	Date Assumed Duties	Date Term Expires	Residence Address	Business Address

THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
14741 GOVERNOR ODEN BOWIE DRIVE
UPPER MARLBORO, MD 20772
DEVELOPMENT REVIEW DIVISION
301-952-3530



Development Review Division

Pre-application Conference – Comments

Pre-application Conference Meeting Date: 8/1/2022

The Pre-application Conference is intended both for the applicant to seek guidance on the development proposal AND for staff to seek basic information about the project.

1. General Project Information				
Case Number/s: DSP-22026		Municipal boundary:	Master Plan:	
Project Name: GIAC SON BUDDHIST TEMPLE CORP.		Metro Station:	Planning Area: 62	
Project Location: ON SOUTHEAST FROM THE INTERSECTION OF SNOWDEN ROAD AND LAUREL BOWIE ROAD (ROUTE 197).		Police District: 14	Water/Sewer:	
Project Description: TEMPLE		Center or Corridor:		
2. Follow-up Actions to Pre-application Conference				
Items prepared and included with this summary:	Zoning sketch map, mailing lists and receipt	Informational Mailing & Notice of Neighborhood meeting template	Sign Posting for neighborhood meeting template	Application filing instructions
8-5-2022				Refer to email 8-5-2022
3. Planners Comments		Planners Name	Planners Email Address	
Subdivision		Mridula Gupta	Mridula.gupta@ppd.mncppc.org	
Zoning		Jeremy Hurlbutt	Jeremy.hurlbutt@ppd.mncppc.org	
Urban Design		Jill Kosack	Jill.kosack@ppd.mncppc.org	
Community Planning		David Green	Davida.green@ppd.mncppc.org	
Transportation Planning Pedestrian & Bicycle Facilities		Glen Burton		
Historic Preservation Archeology		Tyler Smith Jennifer Stabler Amelia Chisholm	Tyler.smith@ppd.mncppc.org Jennifer.stabler@ppd.mncppc.org Amelia.chisholm@ppd.mncppc.org	
Environmental Planning				
Geotech/Soils				
Special Projects				
Parks				
4. Application Submission				
Agent - Please submit this form with your complete application package on first submission for pre-acceptance review.			Date: (MM/DD/YYYY)	
Agent Name: RAM L. SHRESTHA, P.E., CFM				
Agent Phone #: 240-581-0078			Agent E-mail: NEWHAH.ENGINEER@GMAIL.COM	

*NOTE: Per Sections 24-3302(d) and 27-3404(d), Pre-Application Conference (Effect of Conference), the pre-application conference is **ONLY** meant to facilitate the application review process. Discussions at the pre-application conference are neither binding nor final. Furthermore, a pre-application conference request does not constitute the filing of an application. Processing time for application review does not begin until and application is submitted and determined to be complete in accordance with Section 24-3305 and 27-3404, Determination of Completeness.*



Development Review Division

Pre-application Conference – Comments

Pre-application Conference Meeting Date: 8/1/2022

Subdivision:	Additional Referral Comments
Reviewer: Mridula Gupta	<ul style="list-style-type: none"> The subject property consists of two tax parcels known as Parcel 27 as described in Liber 39305 folio 166 and Parcel 28 as described in Liber 39719 folio 144. The property is located on Tax Map 14 in Grid F-3 and is approximately 1.64-acres. Parcels 27 and 28 have remained in their current shape and acreage since at least 1981. The property is currently improved with a single-family residence and several accessory structures, though no prior development approvals exist for the property. The existing buildings appear on aerial imagery dating from 1965, with additions being made to existing residence located on Parcel 27 around 2019. The engineering boundary survey, and the concept plans appear to be based upon a survey performed in 2018, and therefore do not reflect this later addition. The subject property is zoned RR, however the applicant proposes development pursuant to the prior R-R zoning of the property, and pursuant to the prior Zoning Ordinance and Subdivision Regulations. Section 24-107(c)(7)(C) of the prior Subdivision Regulations provides for exemption to filing a preliminary plan of subdivision (PPS) for any subdivision of land by deed of a lot prior to January 1, 1982, provided that the development proposed is in addition to a development in existence prior to January 1, 1990, and does not exceed 5,000 sf of gross floor area (GFA). The applicant proposes to raze two of the existing accessory structures located on Parcel 28 to provide parking, and addition of a 4,625 square-foot building on Parcel 27 for institutional use. Parcels 27 and 28 will be developed and considered as one buildable lot for the purpose of conformance with the Zoning Ordinance. The existing single-family residence on Parcel 27 is proposed to remain and be used as a parsonage, and thus will continue to be used as a single-family residence. Since the proposed 4,625 square-foot addition does not exceed 5,000 square feet, the proposed development on the site will be exempt from filing a PPS and a final plat before permits are approved. The site plan should show all existing structures located on the property, including their use, GFA, and whether they are to remain.
Zoning:	<p>Reviewer: Jeremy Hurlbutt</p> <p>The applicant will process under the prior zoning where the property is zoned R-R. Place of worship on lot 1-2 Ac is a permitted use subject to footnote 52</p> <p>“ A church or similar place of worship that is located on a lot between one (1) and two (2) acres in size shall require a Detailed Site Plan in accordance with Part 3, Division 9, of this Subtitle. In addition to the requirements of Section 27-285(b), the following requirements shall be met:</p> <p>(A) The minimum setback for all buildings shall be twenty-five (25) feet from each lot line;</p> <p>(B) When possible, there should be no parking or loading spaces located in the front yard; and</p> <p>(C) The maximum allowable lot coverage for the zone in which the use is proposed shall not be increased.</p> <p>(CB-76-1993)”</p> <p>Only comment is that some of the parking is in the front yard and this should be addressed in the submittal.</p>
Urban Design:	Reviewer: Jill Kosack

Under the prior R-R zoning, a detailed site plan is required for a place of worship on a lot between 1-2 acres in size. It appears that Alternative Compliance is required for Section 4.7 of the Landscape Manual. This should be submitted with the DSP.

Community Planning:

Reviewer: Dave Green

The 2010 Subregion 1 Approve Master Plan and Sectional Map Amendment recommends Low-Density Residential Land Use on the subject property.



Development Review Division

Pre-application Conference – Comments

Pre-application Conference Meeting Date: 8/1/2022

Transportation Planning:	Additional Referral Comments
Reviewer: Glen Burton	
	No issues with the DSP. May require a PPS . More information is needed. Pedestrian & Bicycle Facilities:
Historic Preservation:	
Reviewer: Tyler Smith/Jennifer Stabler/Amelia Chisholm	
	The existing building at 11801 Laurel Bowie Road should be documented on an Maryland Inventory of Historic Properties form. Archeology: No major issues. A Phase I survey may be recommended if the project requires a Preliminary Plan of Subdivision
Environmental Planning:	
Reviewer: Marc Juba and Don Sinn	
	No major issues. An NRI-El and standard letter of exemption from the Prince George’s County Woodland and Wildlife Habitat Conservation Ordinance (WCO) should be adequate for submission with this DSP application; however, if a preliminary plan of subdivision is required, then an NRI-EL will not be adequate and an approved full NRI will be required to be submitted with this DSP application instead. MJ 8/1/2022 Geotechnical: Christiana Clay is mapped onsite but the site is flat. No slope or geotechnical issues are anticipated. DS 7/25/2022
Special Projects:	
Reviewer:	
Parks:	
Reviewer:	

March 17, 2022

WEST LAUREL CIVIC ASSOCIATION
15811 STRAUGHN DR
LAUREL, MD 20707

Dear WEST LAUREL CIVIC ASSOCIATION,

Re: DSP-20002, Giac Son Buddhist Temple

A Detailed site plan for the above-referenced project will be submitted for review to the Development Review Division of The Maryland-National Capital Park and Planning Commission, M-NCPPC.

The address of the subject property is 11801 Laurel Bowie Road, Laurel, MD which is located at the east of Laurel Bowie Rd. (MD-197) at the intersection with Snowden Road. The subject property consists of approximately 1.64 acres. The nature of review is for a proposed prayer hall, a statue platform, associated parking and stormwater management system and landscaping etc. The proposed prayer hall will be used for a community gathering/worship and for a religious event. An existing house and one shed will remain. However other sheds will be razed and removed. The existing proposed development will reduce the runoff flow to the adjacent properties and will not be increasing any significant runoff.

*If you wish to become a Person of Record to this application, you may submit your request online at <http://www.pgplanning.org/1586/Become-a-Person-of-Record> or by written request to the Development Review Division of the M-NCPPC, 14741 Governor Oden Bowie Drive, Upper Marlboro, MD 20772. Please reference the Pre-Application Number and the Name of Project in your request. At this time no government agency has reviewed the application. **After** the application has been filed, you may contact the M-NCPPC at 301-952-3530.*

IMPORTANT: This notice is your opportunity to interact with the applicant prior to the acceptance of the subject application. Once an application is accepted, it may be subject to mandatory action time frames that are established by law. Contacting the applicant as soon as possible after receiving this notice will help facilitate your ability to receive information and/or establish a time when the applicant may meet with you or your civic group to provide information and answer questions about the development proposed. Any concerns regarding an applicant's failure to provide information or engage in dialogue about the proposed development should be directed in writing to the same mailing address listed for becoming a party of record. Please be sure to include the application number with any such correspondence.

If you are interested in receiving more information about this application, reviewing a copy of a site plan, or meeting to discuss the project, you may contact Mr. Luu L. Phu, at 703-327-9358 or Ms. Dawn Nguyen at (301) 792-7499 email: giacsonbuddisttemple@gmail.com

Sincerely,

A handwritten signature in black ink, consisting of a series of loops and a long horizontal stroke.

Luu L. Phu, P.E.



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
Prince George's County Planning Department (301) 952-3208
Planning Information Services (301)-952-3195
14741 Governor Oden Bowie Drive, Suite L2 www.mncppc.org
Upper Marlboro, MD 20772

Date: 1/14/20

MAILING LIST - RECEIPT

This receipt is to acknowledge that Dawn Nguyen of (name of company, if applicable) Gaic Son Buddhist Temple Corp received the following lists as described by the categories below:

- | | | |
|--|------------------|-----------|
| <input checked="" type="checkbox"/> Registered community organization list | Total Record(s): | <u>15</u> |
| <input checked="" type="checkbox"/> Adjoining property owners list | Total Record(s): | <u>11</u> |
| <input checked="" type="checkbox"/> Municipalities within one mile list | Total Record(s): | <u>0</u> |

This list is valid for 90 days from the date referenced above. Applicants shall obtain an updated mailing list if notifications are not sent within 90 days.

This property is located on WSSC Grid: 215NE09

Hilary Covington

Planning Information Services Staff

NOTE: Copy of this form must be included with Application submittal package.

The Maryland-National Capital Park & Planning Commission Results

Prince George's County Planning Department

Date: Tuesday, January 14, 2020

Time: 10:30:04 AM

Total Record(s): 11

Layer: Property

ACCOUNT: 0996819
 LOT: 1
 BLOCK:
 PARCEL:
 PLAT: A10-7609
 OWNER_NAME: WASHINGTON TERESA A
 HOUSE_NUMBER: 009807
 STREET_NAME: SNOWDEN
 STREET_TYPE: RD
 CITY: LAUREL
 ZIP5: 20708
 PROPERTY_DESC:
 MAIL_STREET: 9807 SNOWDEN RD
 MAIL_CITY: LAUREL
 MAIL_STATE: MD
 MAIL_ZIP5: 20708
 ICO_NAME:

Layer: Property

ACCOUNT: 3706595
 LOT:
 BLOCK:
 PARCEL:
 PLAT: 10208056
 OWNER_NAME: MARYLAND REAL EST INVEST LMTD PTNS
 HOUSE_NUMBER: 011800
 STREET_NAME: LAUREL BOWIE
 STREET_TYPE: RD
 CITY: LAUREL
 ZIP5: 20708
 PROPERTY_DESC: PARCEL K
 MAIL_STREET: 6000 MONROE RD
 MAIL_CITY: CHARLOTTE
 MAIL_STATE: NC
 MAIL_ZIP5: 28212
 ICO_NAME: SUITE 100

Layer: Property

ACCOUNT: 3169562
 LOT: 30
 BLOCK:
 PARCEL:
 PLAT: 10183048
 OWNER_NAME: RAMIREZ-CUETO LEONIDAS A SR
 HOUSE_NUMBER: 009802
 STREET_NAME: SNOWDEN

STREET_TYPE: RD
CITY: LAUREL
ZIP5: 20708
PROPERTY_DESC:
MAIL_STREET: 9802 SNOWDEN RD
MAIL_CITY: LAUREL
MAIL_STATE: MD
MAIL_ZIP5: 20708
ICO_NAME:

Layer: Property

ACCOUNT: 1063825
LOT:
BLOCK:
PARCEL: 027
PLAT:
OWNER_NAME: GIAC SON BUDDHIST TEMPLE CORP
HOUSE_NUMBER: 011801
STREET_NAME: LAUREL BOWIE
STREET_TYPE: RD
CITY: LAUREL
ZIP5: 20707
PROPERTY_DESC:
MAIL_STREET: 11801 LAUREL BOWIE RD
MAIL_CITY: LAUREL
MAIL_STATE: MD
MAIL_ZIP5: 20707
ICO_NAME:

Layer: Property

ACCOUNT: 1051580
LOT:
BLOCK:
PARCEL: 021
PLAT:
OWNER_NAME: HITAFFER JAMES V
HOUSE_NUMBER: 009819
STREET_NAME: SNOWDEN
STREET_TYPE: RD
CITY: LAUREL
ZIP5: 20707
PROPERTY_DESC:
MAIL_STREET: 9819 SNOWDEN RD
MAIL_CITY: LAUREL
MAIL_STATE: MD
MAIL_ZIP5: 20708
ICO_NAME:

Layer: Property

ACCOUNT: 1063833
LOT:
BLOCK:
PARCEL: 028
PLAT:
OWNER_NAME: GAIC SON BUDDHIST TEMPLE CORP
HOUSE_NUMBER: 000000

STREET_NAME: LAUREL BOWIE
STREET_TYPE: RD
CITY: LAUREL
ZIP5: 20708
PROPERTY_DESC:
MAIL_STREET: 11801 LAUREL BOWIE RD
MAIL_CITY: LAUREL
MAIL_STATE: MD
MAIL_ZIP5: 20708
ICO_NAME:

Layer: Property

ACCOUNT: 1097484
LOT:
BLOCK:
PARCEL: 029
PLAT:
OWNER_NAME: IGLESIA MISIONERA PENTECOSTES
HOUSE_NUMBER: 011711
STREET_NAME: LAUREL BOWIE
STREET_TYPE: RD
CITY: LAUREL
ZIP5: 20707
PROPERTY_DESC:
MAIL_STREET: 11342 FRANCES DR
MAIL_CITY: BELTSVILLE
MAIL_STATE: MD
MAIL_ZIP5: 20705
ICO_NAME:

Layer: Property

ACCOUNT: 1109610
LOT:
BLOCK:
PARCEL:
PLAT: A10-5865
OWNER_NAME: FOURTH B-W PARKWAY LTD PTNRSHP
HOUSE_NUMBER: 011737
STREET_NAME: SOUTH LAUREL
STREET_TYPE: DR
CITY: LAUREL
ZIP5: 20708
PROPERTY_DESC: PT PAR A (.216 AC DFR TO STATE OF MD FOR 96-97)
MAIL_STREET: 1960 GALLOWS RD
MAIL_CITY: VIENNA
MAIL_STATE: VA
MAIL_ZIP5: 22182
ICO_NAME: SUITE 300

Layer: Property

ACCOUNT: 3169570
LOT: 31
BLOCK:
PARCEL:
PLAT: 10183048
OWNER_NAME: WILSON MONICA R & WILLIAM B

HOUSE_NUMBER: 009800
STREET_NAME: SNOWDEN
STREET_TYPE: RD
CITY: LAUREL
ZIP5: 20708
PROPERTY_DESC:
MAIL_STREET: 9800 SNOWDEN RD
MAIL_CITY: LAUREL
MAIL_STATE: MD
MAIL_ZIP5: 20708
ICO_NAME:

Layer: Property

ACCOUNT: 1051572
LOT:
BLOCK:
PARCEL: 030
PLAT:
OWNER_NAME: BUTT WASIM & NAIRA
HOUSE_NUMBER: 011709
STREET_NAME: LAUREL BOWIE
STREET_TYPE: RD
CITY: LAUREL
ZIP5: 20707
PROPERTY_DESC:
MAIL_STREET: 4523 CENTENNIAL LN
MAIL_CITY: ELLICOTT CITY
MAIL_STATE: MD
MAIL_ZIP5: 21042
ICO_NAME:

Layer: Property

ACCOUNT: 9999999
LOT:
BLOCK:
PARCEL:
PLAT:
OWNER_NAME: UNKNOWN
HOUSE_NUMBER:
STREET_NAME: ACCOUNT UNKNOWN
STREET_TYPE:
CITY:
ZIP5:
PROPERTY_DESC: ACCOUNT UNKNOWN BY M-NCPPC. SEND ANY INFO TO PPD-GIS@PPD.MNCPPC.ORG
MAIL_STREET:
MAIL_CITY:
MAIL_STATE:
MAIL_ZIP5:
ICO_NAME:

The Maryland-National Capital Park & Planning Commission Results

Prince George's County Planning Department

Date: Tuesday, January 14, 2020

Time: 10:18:32 AM

Total Record(s): 15

Layer: Registered Association

ARCDBA.Registered_Association_Py.OBJECTID: 572
 ARCDBA.Registered_Association_Py.ASSOCIATION_NUMBER: 755
 ARCDBA.Registered_Association_Py.SHAPE: Polygon
 ARCDBA.CMS_COMS_DB.OBJECTID: 3
 ARCDBA.CMS_COMS_DB.COMS_ID: 755
 ARCDBA.CMS_COMS_DB.ORGANIZATION_NAME: ARBORY CONDOMINIUMS
 ARCDBA.CMS_COMS_DB.TYPE_: HOME OWNERS
 ARCDBA.CMS_COMS_DB.CONTACT:
 ARCDBA.CMS_COMS_DB.STREET_NUMBER: 7644
 ARCDBA.CMS_COMS_DB.STREET_NAME: ARBORY COURT
 ARCDBA.CMS_COMS_DB.STREET_LINE_2:
 ARCDBA.CMS_COMS_DB.CITY: LAUREL
 ARCDBA.CMS_COMS_DB.STATE: MD
 ARCDBA.CMS_COMS_DB.ZIPCODE: 20707
 ARCDBA.CMS_COMS_DB.NUMBER_OF_MEMBERS: 7
 ARCDBA.CMS_COMS_DB.REGISTRATION_DATE: 5/15/2017

Layer: Registered Association

ARCDBA.Registered_Association_Py.OBJECTID: 394
 ARCDBA.Registered_Association_Py.ASSOCIATION_NUMBER: 416
 ARCDBA.Registered_Association_Py.SHAPE: Polygon
 ARCDBA.CMS_COMS_DB.OBJECTID: 27
 ARCDBA.CMS_COMS_DB.COMS_ID: 416
 ARCDBA.CMS_COMS_DB.ORGANIZATION_NAME: WEST LAUREL CIVIC ASSOCIATION
 ARCDBA.CMS_COMS_DB.TYPE_: CIVIC
 ARCDBA.CMS_COMS_DB.CONTACT:
 ARCDBA.CMS_COMS_DB.STREET_NUMBER: 15811
 ARCDBA.CMS_COMS_DB.STREET_NAME: STRAUGHN DRIVE
 ARCDBA.CMS_COMS_DB.STREET_LINE_2:
 ARCDBA.CMS_COMS_DB.CITY: LAUREL
 ARCDBA.CMS_COMS_DB.STATE: MD
 ARCDBA.CMS_COMS_DB.ZIPCODE: 20707
 ARCDBA.CMS_COMS_DB.NUMBER_OF_MEMBERS: 1700
 ARCDBA.CMS_COMS_DB.REGISTRATION_DATE: 1/12/2005

Layer: Registered Association

ARCDBA.Registered_Association_Py.OBJECTID: 469
 ARCDBA.Registered_Association_Py.ASSOCIATION_NUMBER: 264
 ARCDBA.Registered_Association_Py.SHAPE: Polygon
 ARCDBA.CMS_COMS_DB.OBJECTID: 44
 ARCDBA.CMS_COMS_DB.COMS_ID: 264
 ARCDBA.CMS_COMS_DB.ORGANIZATION_NAME: MAYFAIR HOMES ASSOCIATION, INC.
 ARCDBA.CMS_COMS_DB.TYPE_: HOMEOWNERS
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 ARCDBA.CMS_COMS_DB.STREET_NAME: CHERRY LANE COURT

ARCDBA.CMS_COMS_DB.STREET_LINE_2: C/O DH BADER MNGEMNT, SUITE 210
 ARCDBA.CMS_COMS_DB.CITY: LAUREL
 ARCDBA.CMS_COMS_DB.STATE: MD
 ARCDBA.CMS_COMS_DB.ZIPCODE: 20707
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 ARCDBA.CMS_COMS_DB.STREET_NAME: CHERRY LANE COURT
 ARCDBA.CMS_COMS_DB.STREET_LINE_2: C/O DH BADER MANAGEMENT SERVICES, INC.,SUITE 210
 ARCDBA.CMS_COMS_DB.CITY: LAUREL
 ARCDBA.CMS_COMS_DB.STATE: MD
 ARCDBA.CMS_COMS_DB.ZIPCODE: 20707
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 ARCDBA.CMS_COMS_DB.REGISTRATION_DATE: 1/12/2005

Layer: Registered Association

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 ARCDBA.CMS_COMS_DB.STREET_NUMBER:
 ARCDBA.CMS_COMS_DB.STREET_NAME: P.O.BOX 3252
 ARCDBA.CMS_COMS_DB.STREET_LINE_2: ATTENTION: JERRY STRASBAUGH
 ARCDBA.CMS_COMS_DB.CITY: OAKTON
 ARCDBA.CMS_COMS_DB.STATE: VA
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Layer: Registered Association

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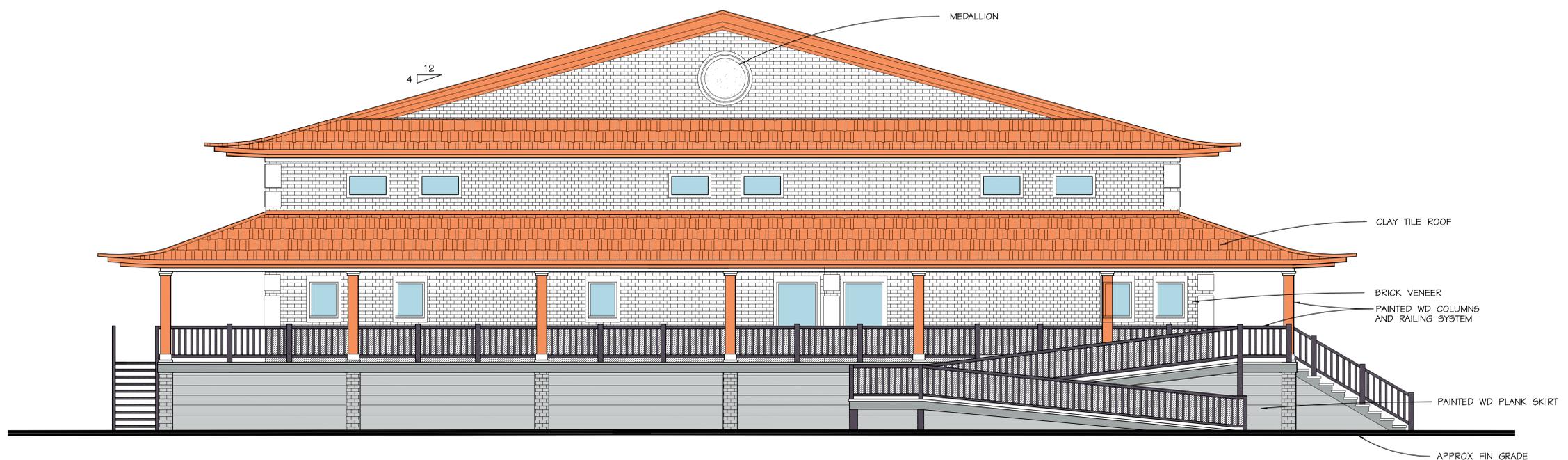
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 ARCDDBA.CMS_COMS_DB.TYPE : HOMEOWNERS
 ARCDDBA.CMS_COMS_DB.CONTACT:
 ARCDDBA.CMS_COMS_DB.STREET_NUMBER: 14435
 ARCDDBA.CMS_COMS_DB.STREET_NAME: CHERRY LANE COURT
 ARCDDBA.CMS_COMS_DB.STREET_LINE_2: C/O DAVID VAUGHN-DH BADER MANAGEMENT, SUITE 210
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 ARCDDBA.CMS_COMS_DB.REGISTRATION_DATE: 7/10/2008

PROJ. NO.	DATE	DESIGNED	DRAWN	CHECKED
18010	5 APR 2021			



A EXTERIOR ELEVATION @ LAUREL BOWIE ROAD (SOUTH WEST)
1/4" = 1'-0"



B EXTERIOR ELEVATION @ LAUREL SNOWDEN ROAD (NORTH WEST)
1/4" = 1'-0"

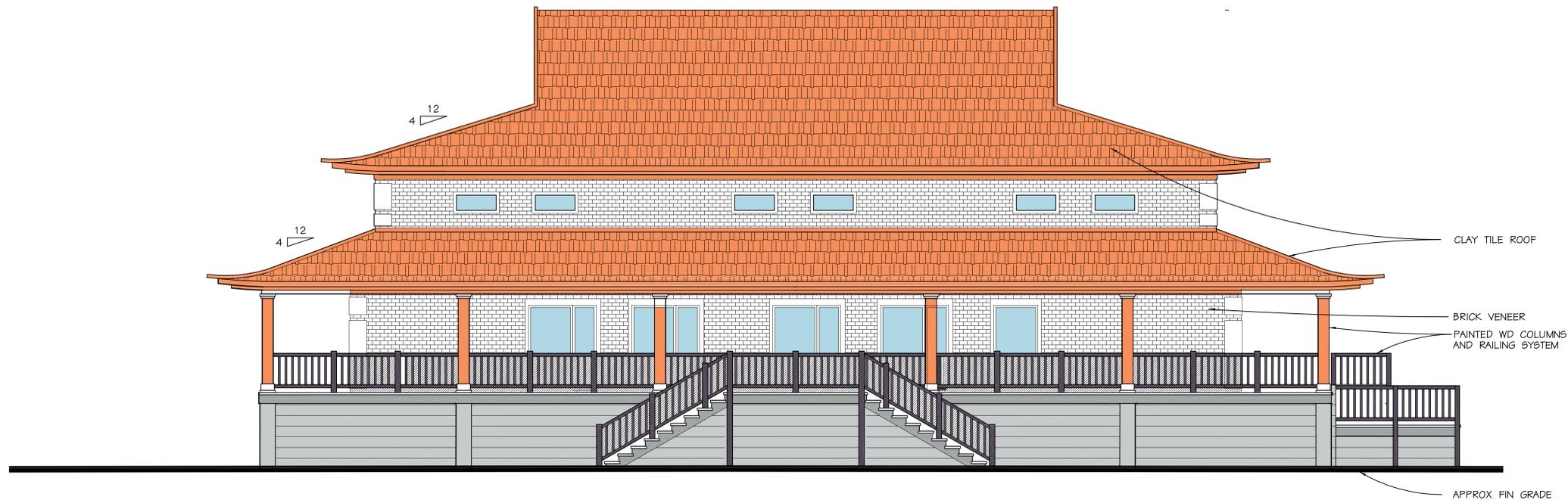
PROJECT NO
18010
DATE
5 APR 2021

11801 LAUREL BOWIE RD
LAUREL, MD

GIACSON BUDDHIST TEMPLE
EXTERIOR ELEVATIONS

LEMOLÉ ARCHITECTS
2869 PRODUCTION RD
SUITE 102
WIRGINA BEACH, VIRGINIA 23454
757-228-2600
SRLEMOLÉ@GMAIL.COM

PROJ. MGR.	SRL	DESIGNED	SRL	DRAWN	SRL	CHECKED	SRL
DATE							
REVISION							
SYMBOL							
PROJECT NO.	18010	DATE	5 APR 2021				



A
EXTERIOR ELEVATION @ REAR SIDE (NORHT EAST)
1/4" = 1'-0"



B
EXTERIOR ELEVATION @ LEFT SIDE (NORTH WEST)
1/4" = 1'-0"

11801 LAUREL BOWIE RD
LAUREL, MD
GIACSON BUDDHIST TEMPLE
EXTERIOR ELEVATIONS

LEMOLE ARCHITECTS
2869 PRODUCTION RD
SUITE 102
VIRGINIA BEACH, VIRGINIA 23454
757-228-2620
SRLEMOL@GMAIL.COM

STATE ETHICS COMMISSION
45 CALVERT STREET, 3RD FLOOR
ANNAPOLIS, MD 21401
410-260-7770
1-877-669-6085

This Form Is To Be Filed With:
CLERK OF THE COUNTY COUNCIL
COUNTY ADMINISTRATION BUILDING
ROOM 2198
UPPER MARLBORO, MD 20772
301-952-3600

Business Entity¹ Affidavit
(Form PG 2)

General Information

The Prince George's County land use ethics law (General Provisions Article, §§ 5-833 to 5-839, Annotated Code of Maryland) ("Public Ethics Law") requires this affidavit to be filed where a business entity is deemed to be an applicant in an application filed with the District Council. This can occur, for example, when a business entity is a title owner or contract purchaser of land that is the subject of an application, a trustee having an interest in the land (except those described in a mortgage or deed of trust), or the holder of 5 percent or more interest in an entity having an interest in the land (provided that it has substantive involvement in the disposition of the land, or substantive activities pertaining specifically to land development in Prince George's County). Applicant can also include a business entity in which a 5 percent or greater interest is held by another applicant.

In completing this form, you should also review §§ 5-833 to 5-839 of the Public Ethics Law. These provisions include the affidavit requirement, define applicants and agents, set out District Council member disqualification requirements, and specify ex parte disclosure procedures. Please note that there may be situations where there is more than one applicant involved, requiring one or more submissions of this form (or Form PG 1 Individual Applicant Affidavit). You may direct questions about the affidavit or other requirements of the Law to the State Ethics Commission office by phone, at 410-260-7770, or in writing, at the above address. Copies of the Public Ethics Law may be obtained at the Commission's website <http://ethics.maryland.gov/public-ethics-law/>. Additionally, there is a Special Ethics Law Memo on the Prince George's County land use ethics law at <http://ethics.maryland.gov/download/local-gov/local-gov-forms/PG%20County%20Zoning%20Memo.pdf>, that contains additional filing information, including timing requirements.

If the applicant business entity is a corporation listed on a national stock exchange or regulated by the Securities Exchange Commission, then its officers, its directors, or its shareholders having a 5 percent or greater interest in the corporation are required to file an affidavit **only if** these persons have made a payment or have solicited a payment as outlined in the Public Ethics Law **and** if the corporation itself completes Part B of the affidavit. If required to file, these persons will file the Individual Applicant Affidavit, Form PG 1.

Filing Deadline

You must file a signed original of this affidavit with the Clerk of the County Council no later than 30 days prior to the District Council's consideration of the application. You must file a supplemental affidavit as expeditiously as possible whenever a payment/contribution is made after the original affidavit was filed and prior to Council's consideration. Please note that under § 5-835(a) of the Public Ethics Law, payments/contributions during the pendency of an application are generally prohibited.

PART A. Business Entity Applicant

Identifying Information

Name of Applicant VY DO Case No. (where applicable) DSP-20002
Address of Applicant 11801 LAUREL BOWIE RD., LAUREL
Identity of the Property/
Subject of Application Parcels 27 & 28 Type of Application DSP
(see § 5-833(d))

¹Section 5-833 of the Public Ethics Law defines a business entity as a corporation, a general partnership, a joint venture, a limited liability company, a limited partnership or a sole proprietorship.

Applicant Payment/Contribution to Member Information (check or complete applicable blanks)

1. Was a payment/contribution made by the applicant to a treasurer or a continuing committee, either directly or through a political action committee (PAC), during the 36 months before the application was filed or during the pendency of the application? Yes No

If the answer to #1 above is yes, list below the name of the member or members and the date or dates of the payment/contribution:

<u>Name of Member</u>	<u>Date</u>
_____	_____
_____	_____
_____	_____

If the payment/contribution was through a PAC, identify the PAC and the date of the transfer to the treasurer or continuing committee:

_____	_____
_____	_____

Solicitation and other Payment/Contribution Information

2. Did the applicant solicit a person or business entity to make a payment/contribution to a member during the 36 months before the application filing or during the pendency of the application?
 Yes No

If the answer to #2 above is yes, and a contribution was made, list below the name of the member or members, the date or dates of the payment/contribution, and the name of the contributor:

<u>Name of Member</u>	<u>Date</u>	<u>Name of Contributor</u>
_____	_____	_____
_____	_____	_____
_____	_____	_____

PART B. Directors, Officers and Stockholders (see § 5-838(b)) (For Corporations Only)

***Note: For a corporation's application to be processed, this section must be completed in full (place a check at the beginning of each question to indicate the action has been completed).**

1. All directors, officers, and stockholders with a 5 percent or greater interest have been notified of the disclosure requirement as provided in the Law and are identified as follows (list name and title – if the corporation has no directors, officers or stockholders with a 5 percent or greater interest, so state):

2. Affidavits (Form PG 1 Individual Applicant Affidavit) from those individuals identified in question #1 above, who have made or solicited contributions and are therefore required to disclose, are either attached or on file with the Clerk of the County Council **OR** there are no individuals required to file affidavits.

I hereby make oath or affirmation that the contents of this affidavit are true and correct to the best of my knowledge, information and belief.



Signature (original to be filed with the Clerk)

4/21/2022

Date

VY DO

Printed Name of Signer
PRESIDENT

Title of Signer (Authorized to sign for the business entity)

Ram L. Shrestha, P.E., CFM, M.A.S.C.E
CIVIL, LAND DEVELOPMENT & WATER RESOURCES ENGINEER

August 15th, 2022.

Maryland National Park and Planning Commission
14741 Governor Oden Bowie Drive
Upper Marlboro, Maryland 20772
Urban Design Section

Report: **Giac Son Buddhist Temple.**
 Statement of Justification to request the use of the Prior Prince George's
 County Zoning Ordinance.

To whom it may concern.

Introduction:

On behalf of our client, Giac Son Buddhist Temple Corp (“Applicant”), Newah Engineers, hereby submits this explanation/justification for utilizing the prior Prince George’s County Zoning Ordinance (please see the statement of DSP justification for full introduction), and a request to use of the original Detailed Site Plan number prior to the Pre-application Conference Meeting.

Justification Statement

In 2019, we received a Zoning Verification Letter form MNCPP stating that” a *church or similar place of worship that located on a lot between one and two acres in size is permitted, subject to the detailed site plan review in accordance to Part3, Division 9 of Section 27-441(b) (D) of the Prince George’s County Zoning Ordinance* (please see attached documents)”.

Since the above date on, we have been working utilizing the information of the Prince George’s County prior zoning ordinance and have acquired all the Detailed Site Plan’s supporting documents to formally submit this DSP #20002.

The most important supporting documents includes: approved Concept Storm Water Management Plan and Letter (Case#51711-2019-00), approved TCP Exemption Letter (S104-2022) and approved NRI Equivalency Letter (NRI-150-219), and Detailed Site Plan. These documents have been prepared following the guidelines of the Prior Zoning Ordinance.

In addition, in 2020 we acquired a Detailed Site Plan number 20002 for this project. We would like to continue using the previous number due to the fact that we have already sent notification letters using DPS-20002 to all adjoining property owners, municipalities, associations and parties of records. If we were to use another number, it will create confusion between the agencies, and all the parties of records.

For the reasons stipulated above, if we were to change and update all the references and supporting documents to comply with the current zoning ordinance and use the new DSP number assigned during the Pre-application Conference Meeting, it would create an extraordinary hardship to our client.

Ram L. Shrestha, P.E.

We believe that since MNCPPC is offering the option to use the prior zoning ordinance, our client will benefit by saving time and resources if the Prior Zoning Ordinance regulations were followed. Similarly, to allow our client the use of the DSP number obtained in 2020, will avoid a hardship and confusion between the county agencies and the public.

Conclusion:

In light of the above information, we respectfully request that the DSP process for review and approval will allow us to continue using the prior Zoning Ordinance regulation, and will allow us to continue using the DSP #20002 that was originally acquired in 2020. Your favorable consideration is greatly appreciated.

Sincerely,

Ram L. Shrestha

Ram Lal Shrestha, P.E.

Engineer

Ram L. Shrestha, P.E., CFM, M.A.S.C.E
CIVIL, LAND DEVELOPMENT & WATER RESOURCES ENGINEER

STATEMENT OF JUSTIFICATION
GIAC SON BUDDHIST TEMPLE

Giac Son Buddhist Temple Corp DSP-20002
December 23rd, 2022.

Applicant

Giac Son Buddhist Temple Corp
11801 Laurel Bowie Road
Laurel Maryland 20707
301-792-7499

Engineer

Ram Shrestha, PE.
7425 Morrison Drive
Greenbelt, Maryland 20770
Contact: Ram Shrestha
240-581-0078

Ram L. Shrestha, P.E., CFM, M.ASCE
CIVIL, LAND DEVELOPMENT & WATER RESOURCES ENGINEER

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1.0 INTRODUCTION/OVERVIEW

The owner of the property forming the subject matter of this application is Giac Son Buddhist Temple Corp (“Owner”). The property which is the subject of this application consists of 1.64 acres of land which was conveyed to the Owner by deed dated January 15th, 2017, and recorded among the Land Records of Prince George’s County at Book 39719 Page 144 and Book 39305 Page 166 (the “Property”). The Property is located southeast from the intersection of Snowden Road and Laurel Bowie Road and is more particularly described as Parcels 27 and 28, Tax Map 14/D3.

The property has frontage with Laurel Bowie Road A-4, which is designated as a 120’ wide master plan arterial and Snowden Road which is classified as county road.

The Property is currently zoned R-R. The Property is located on a lot between 1 and 2 acres in size. Section 27-441 (b) table of uses foot note 52 allows a church or similar place of worship that is located on a lot between one (1) and two (2) acres in size shall require a Detailed Site Plan in accordance with Part 3, Division 9, of this Subtitle. In addition to the requirements of [Section 27-285\(b\)](#), the following requirements shall be met:

- A) The minimum setback for all buildings shall be twenty-five (25) feet from each lot line;
- (B) When possible, there should be no parking or loading spaces located in the front yard; and
- (C) The maximum allowable lot coverage for the zone in which the use is proposed shall not be increased.

This Detailed Site Plan is filed in accordance with the above condition.

2.0 RECENT DEVELOPMENT HISTORY OF THE SUBJECT PROPERTY AND SUMMARY OF DEVELOPMENT PROPOSAL

As noted above, the property is zoned R-R. The property is irregularly shaped is improved with the remnants of a former residential compound, which contains a single-family home, gravel parking, a gravel gathering area located at the side of the single family building and two sheds and bears a street address of 11801 Laurel Bowie Road. The subject property is bounded to the north by Snowden Road, to the west by Laurel Bowie Road, to the east by single detached residential dwellings, and to the south by a parking lot and a church. These adjacent properties are zoned R-R (Rural Residential) and C-A (Ancillary Commercial).

Since most of the required documents acquired for this DSP were obtained prior to April 1st, 2022, the Prince George’s County prior zoning ordinance has been used to justify the development of the Property.

The subject property is accessed through a driveway along Laurel Bowie Road. Similarly, access to the proposed Buddhist temple will be through a Laurel Bowie Road. The driveway access will follow the requirements of the Department of Permitting, Inspection and Enforcement (DPIE). The purpose of this DSP is to construct a Buddhist Temple and required parking lot.

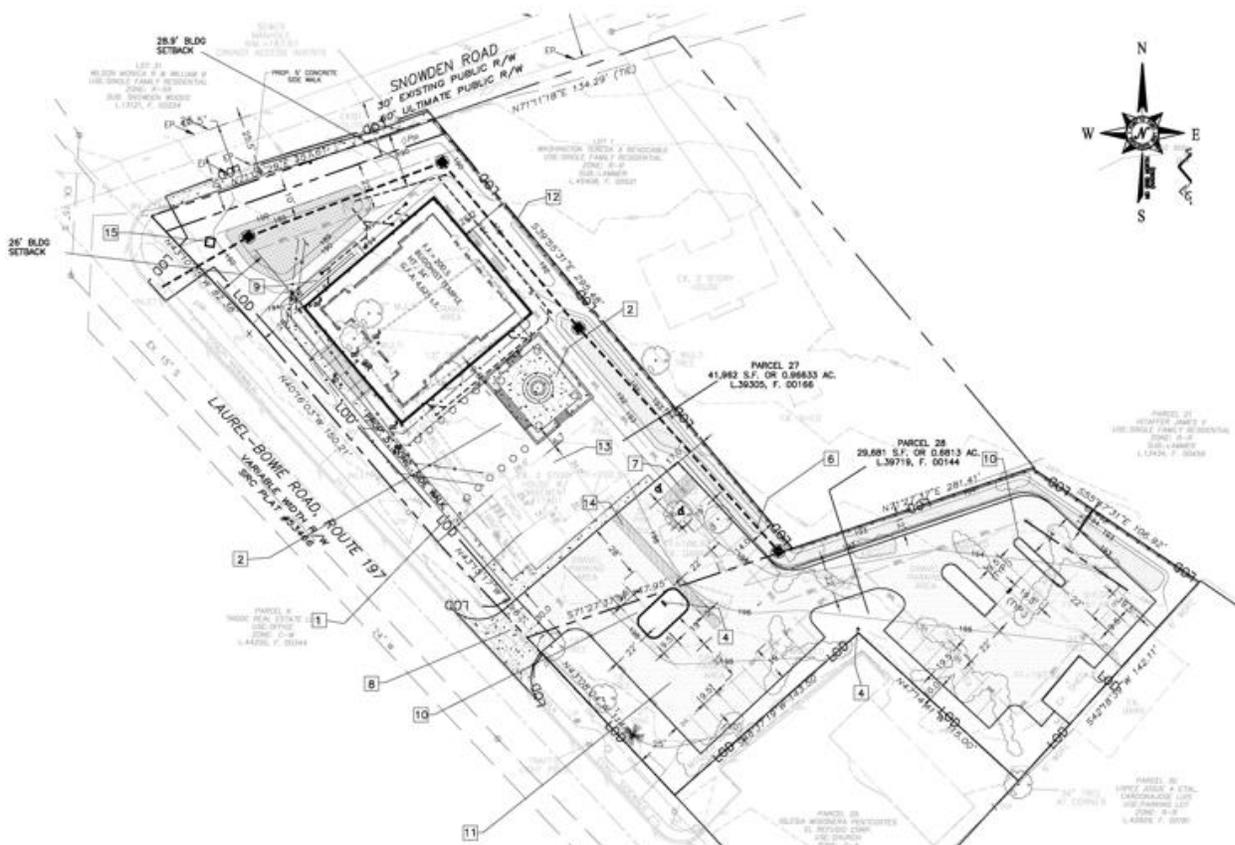
The existing single-family home located on Parcel 27 will continue be used as a single-family home. Since Buddhist temples require a dwelling to be provided to the clergy, the use of this single-family home will be a parsonage. Section 27-424.01 allows a parsonage as an accessory building which is accessory to churches or similar uses. The other structures on Parcel 28 will be razed to provide the required parking. Parcels 27 and 28 will be developed and considered as one buildable lot for the purpose of conformance with the zoning ordinance.

According to section 24-107. Subdivision- Jurisdiction (c) (7) , which stipulates that “*any subdivision of land by deed of a lot prior to January 1, 1982, provided: (C) The development proposed is in addition to a development in existence prior to January 1, 1990, and does not exceed five thousand (5,000) square feet of gross floor area*”, the proposed 4,625 square-foot addition does not exceed 5,000 square feet; therefore, the proposed development for this property will be exempt from filing a Preliminary Plan and final plat of subdivision.

The DSP is in general compliance with the requirements of Section 27-442. Regulations, for development in the R-R Zone and 27-285(b) (1) for satisfying the site guidelines of Subtitle 27, Part 3, Division 9, of the Prince George’s County Code, such as parking, loading and circulation. The site plan proposes installation of parking areas that provides ingress and egress to the site with a 22-foot-wide drive aisle to support on-site vehicular circulation and queuing. The parking lot is provided at the side of the structure, and the parking stalls are located as near as possible to the church. The site plan addresses lighting and has include a photometric study that includes show full-optic cut-off lighting to provide a balanced lighting pattern on the property, while not causing any glare onto the nearby properties, in accordance with the site design guidelines.

The existing building footprint (7,209 square feet), when combined with the proposed parking/vehicular access area (24,478 square feet), existing house and praying platform totals 49% percent of the lot coverage, which is below the maximum lot coverage of the 50% permitted in the R-R Zone.

Other previous approvals for the site include TCP exemption #S-104-2022, a Stormwater Management Concept Approval #51711-2019-00 and, and a Natural Resource Inventory NRI-Equivalency Letter # 150-2019. Pursuant to the Approved Mater Plan and Sectional Map Amendment (SMA) for Subregion (Planning Areas 60, 61, 62 and 64), the subject property is zoned R-R (Rural-Residential).



3.0 CONFORMANCE WITH THE GENERAL PURPOSES OF DSP'S

The general purposes of Detailed Site Plan (DSP) are contained in §27-281(b) of the Zoning Ordinance, and are expressed as follows:

- (b) **General purposes.**
 - (1) **The general purposes of Detailed Site Plans are:**
 - (A) **To provide for development in accordance with the principles for the orderly, planned, efficient, and economical development contained in the General Plan, Master Plan or other approved plans;**

COMMENT: The Subject Property is located in Laurel Maryland at southwest from the intersection of Laurel Bowie Road and Snowden Road, and it is governed by the Approved Mater Plan and Sectional Map Amendment (SMA) for Subregion (Planning Areas 60, 61, 62 and 64).

General Plan:

This proposal is consistent with the vision, policies and strategies contained within the 2002 Prince George's County Approved General Plan and the Plan Prince George's 2035 Approved General Plan (Plan Prince George's 2035). The subject property in this application is in the Developing Tier of the 2002 General Plan. The vision for the Developing Tier was to maintain a pattern of low- to moderate-density suburban residential communities, distinct commercial centers, and employment areas that are increasingly transit serviceable. Much of the developing tier did not meet the goals for growth envisioned by the 2002 plan, and the Plan Prince George's 2035 Plan established a growth boundary within which growth would be encouraged. The Plan Prince George's 2035 designates the property within an established community within the Growth Boundary. The plan describes established communities as most appropriate for context sensitive infill and low- to medium-density development. The proposed church and school are permitted uses that contribute to the fulfillment of the General Plan goals.

Approved Mater Plan and Sectional Map Amendment (SMA) for Subregion (Planning Areas 60,61, 62 and 64):

The subject property is located within the boundaries of the Approved Mater Plan and Sectional Map Amendment (SMA) for Subregion (Planning Areas 60, 61, 62 and 64) The Master Plan identified the subject property as rural residential. The Applicant's request as represented by this instant application remains fully in compliance with the Approved Mater Plan and Sectional Map Amendment (SMA) for Subregion (Planning Areas 60, 61, 62 and 64)

(B) To help fulfill the purposes of the zone in which the land is located;

COMMENT: The specific purposes of the R-R Zone are set forth in Section 27-428(a) (1) of the Zoning Ordinance. Those purposes are as follows:

- (1) The purposes of the R-R Zone are:**
 - (A) To provide for and encourage variation in the size, shape, and width of one-family detached residential subdivision lots, in order to better utilize the natural terrain;**
 - (B) To facilitate the planning of one-family residential developments with moderately large lots and dwellings of various sizes and styles;**
 - (C) To encourage the preservation of trees and open spaces; and**
 - (D) To prevent soil erosion and stream valley flooding.**

COMMENT: The proposed development advances many of the specific purposes set forth above. The Giac Son Buddhist Temple will provide open spaces around the building and its design utilizes the natural terrain to maintain the essence of the existing topography. To encourage the reforestation of the open areas, these areas will be landscaped with native species of shrubs and trees.

In view of the above, the Applicant submits that the purposes of the R-R Zone are met and satisfied.

(C) To provide for development in accordance with the site design guidelines established in this Division; and

COMMENT: The Site Design Guidelines, contained in Section 27-274, are addressed in detail below.

(D) To provide approval procedures that are easy to understand and consistent for all types of Detailed Site Plans.

COMMENT: The Subject Property is zoned R-R. The proposed Buddhist Temple will provide to the community with programs, activities and services that will bring spiritual comfort and serve as therapeutic agent. This development will be consistent with all types of religious projects and will not contain approval procedures difficult to understand.

4.0 CONFORMANCE WITH SPECIFIC PURPOSES OF THE DETAILED SITE PLAN

Sec. 27-281 (c) lists the specific purposes of a detailed site plan. There are four specific purposes listed, each of which is addressed below:

Sec. 27-281 (c) (1)(A): To show the specific location and delineation of buildings and structures, parking facilities, streets, green areas, and other physical features and land uses proposed for the site.

COMMENT: The submitted Detailed Site Plan demonstrates the location of the existing and proposed structures associated with the Buddhist Temple.

Sec. 27-281 (c)(1)(B): To show specific grading, planting, sediment control, tree preservation, and storm water management features proposed for the site.

COMMENT: The submitted DSP included in this application shows the specific grading and landscape planting areas proposed for the site. There is also an approved stormwater management concept plan.

The Prince George's County Landscape Manual is applicable to this project because the subject site will need a site grading and building permit as stated in section 1.1(c) and (d) of the Landscape Manual; therefore, sections 4.2, 4.3, 4.7, 4.9 are required.

Since the setback requirements stipulated in the 2010 Landscape Manual are not met in some areas on the property due to space limitations, the unusually shaped parcels, and infill sites, make the alternative compliance necessary.

The Alternative Compliance #AC-22009 has been submitted and it is part of the Development Activity Monitoring System. This alternative compliance seeks the relief from the setbacks from section 4.7-1 (Buffering Incompatible Uses Requirements) requiring a 30 ft. landscape buffer, and a 40' building restriction line (BRL). As a result, alternative compliance is necessary

- along the 212' between the building and rear side of the Property (table 1),
- along the 73.5' between the parking lot and the rear side of the property (table 2),
- along the 133.64' between the parking lot and the northeast side of the property (table 3),
- along the 106.92' between the parking lot and the northeast side of the property (table 4),
- and along the 142.11' between the parking lot and southeast side of the property (table 5).

The remaining required buffers are in compliance with the requirements of section 4.7 and 4.2 of the Prince George's County Landscape Manual, and do not need alternative compliance. Further explanation and description are found in the Alternative Compliance request AC#22009.

The project is in compliance with the Prince George's County Environmental Manual- Tree Canopy Requirement. The required landscaping on site meets the minimum tree canopy coverage as depicted in the Tree Canopy Coverage chart.

Sec. 27-281 (c)(1)(C): To locate and describe the specific recreation facilities proposed, architectural form of buildings, and street furniture (such as lamps, signs, and benches) proposed for the site.

COMMENT: The purpose of the DSP is to construct a Buddhist Temple. The architectural elevations, street furniture, lights and building sign are included with the Detailed Site Plan.

Sec. 27-281 (b)(1)(D): To describe any maintenance agreements, covenants, or construction contract documents that are necessary to assure that the Plan is implemented in accordance with the requirements of this Subtitle.

COMMENT: The Buddhist Temple will have a board of trustees which will ensure the maintenance of all common areas, including the storm water management facilities. The board of trustees will assure that the construction contract documents are implemented properly in accordance with the requirements of this subtitle.

5.0 CONFORMANCE WITH CRITERIA OF APPROVAL--DETAILED SITE PLANS

The Planning Board must find that the Detailed Site Plan satisfies the criteria of approval set forth in Section 27-285(b) of the Zoning Ordinance. These criteria are set forth below.

(b) Required findings.

- (1) The Planning Board may approve a Detailed Site Plan if it finds that the plan represents a reasonable alternative for satisfying the site design guidelines, without requiring unreasonable costs and without detracting substantially from the utility of the proposed development for its intended use. If it cannot make these findings, the Planning Board may disapprove the Plan.**

Comment: The Applicant is proposing to construct a Buddhist Temple for the use of the community and existing members. The building has been designed to meet the desires and needs of the future membership. As currently contemplated, the Temple will contain warship hall, a family alter, and offices.

The Applicant submits that the proposed DSP for the Buddhist Temple represents a reasonable alternative for satisfying the site design guidelines. The building proposed is consistent with the character of the area and based on the analysis required by Section 27-285 (b)(1) of the Zoning Ordinance, the DSP represents a reasonable alternative for satisfying the site guidelines for Subtitle 27, Part 3. Division 9, of the county code without requiring unreasonable cost and without detracting substantially from the utility of the proposed development for its intended use.

The design guidelines are set forth in Sections 27-283 and 27-274 of the Zoning Ordinance. Section 27-283 applies to Detailed Site Plans, and states that the site design guidelines are the same as those required for a Conceptual Site Plan. However, the guidelines shall only be used in keeping with the character and purpose of the proposed type of development. The design guidelines themselves, set forth in Section 27-274, address parking, loading and circulation, lighting, views from public areas, green area, site and streetscape amenities, grading, service areas, public spaces and architecture. Each of these guidelines is addressed below (to the extent applicable):

Section 27-274(a) (1) General. The proposed plan should promote the purposes of the Conceptual Site Plan.

COMMENT: The purposes of Conceptual Site Plans are listed in Section 27-272. The General Purposes include providing for development in accordance with the Master Plan and helping fulfill the purposes of the zone in which the land is located. As noted above, the property is

zoned R-R and the proposed religious development is consistent with recommendations of the Master Plan and General Plan.

The Specific Purposes of Conceptual Site Plans include explaining the relationships between the proposed uses and illustrating approximate locations of building and parking.

Parking, Loading and circulation

General guidance is given regarding the location of the parking and ADA access to the temple. Given the small size of the temple and the membership, the parking requirements are not great, so the area of parking is small. The use of landscape islands to separate the parking spaces and the two-way traffic flow throughout the parking area provides the most efficient design. There is not loading space provided due to the small general floor are of the building. As one of the unique characteristics of the Buddhist temples, the members do not attend at specifics times or day during the week; therefore, the parking lot is never completely full.

Lighting

The Buddhist Temple proposes a photometric study that along the street and the outside of the building will be adequate lit at the building entrances.

Views

The Buddhist Temple is located east from the intersection of Snowden Road and Laurel Bowie Road Route-197. The only access is provided through Route 197. The views from both right-of-ways are in conformance with the landscape manual.

Green Area

As noted above, the board of trustees will provide green areas planted with native species for the use and benefit of the members and visitors.

Site and Streetscape amenities

The residents will have access to the Buddhist temple and Courtyard, which will be maintained by the members and board members.

Grading

The Buddhist Temple and required parking will be graded in accordance with the detailed site plan and an approved erosion and sediment control plan at the time of development.

Service Areas

No service areas are associated with the Buddhist Temple.

Public Spaces

There are no public spaces designed into the proposed development, but the Buddhist Temple and Courtyard will be open for the community for prayer and meditation.

Architecture

The architecture for the proposed community building is included with the application. The building will be an attractive red brick building with a clay tile roof and stucco gable. The design will be complementary to the existing adjacent homes and will not alter the aesthetic features or value of the neighborhood.

Townhouses

Section 27-274(a)(11) addresses townhouses and three family dwellings. This site design guideline is in applicable to the proposed development as no townhouses are proposed and the Detailed Site Plan review is limited to Buddhist Temple.

- (2) The Planning Board shall also find that the Detailed Site Plan is in general conformance with the approved Conceptual Site Plan (if one was required).**

COMMENT: This criterion is inapplicable as no conceptual site plan was required for the Subject Property.

- (3) The Planning Board may approve a Detailed Site Plan for Infrastructure if it finds that the plan satisfies the site design guidelines as contained in Section 27-274, prevents offsite property damage, and prevents environmental degradation to safeguard the public's health, safety, welfare, and economic well-being for grading, reforestation, woodland conservation, drainage, erosion, and pollution discharge.**

COMMENT: The proposed Detailed Site Plan is not an infrastructure site plan and therefore this criterion is not applicable to the subject Detailed Site Plan.

- (4) The Planning Board may approve a Detailed Site Plan if it finds that**

the regulated environmental features have been preserved and/or restored in a natural state to the fullest extent possible in accordance with the requirement of Subtitle 24-130(b)(5).

COMMENT: In addition to this specific finding, Section 27-282(e)(10) requires that a Statement of Justification be submitted describing how the proposed design preserves and restores the regulated environmental features to the to the fullest extent possible. At the subject property, there are no regulated environmental features present on site and therefore the criterion is not applicable to the subject Detailed Site Plan.

6.0. CONCLUSION

In conclusion, the Applicant submits that the proposed DSP represents a most reasonable alternative for satisfying the site design guidelines without requiring unreasonable costs and without detracting substantially from the utility of the proposed development for its intended use. In addition, the Planning Board can find that there are no regulated environmental features on site. For these reasons, the Applicant respectfully requests approval of the DSP for the Giac Son Buddhist Temple.

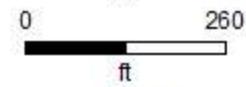
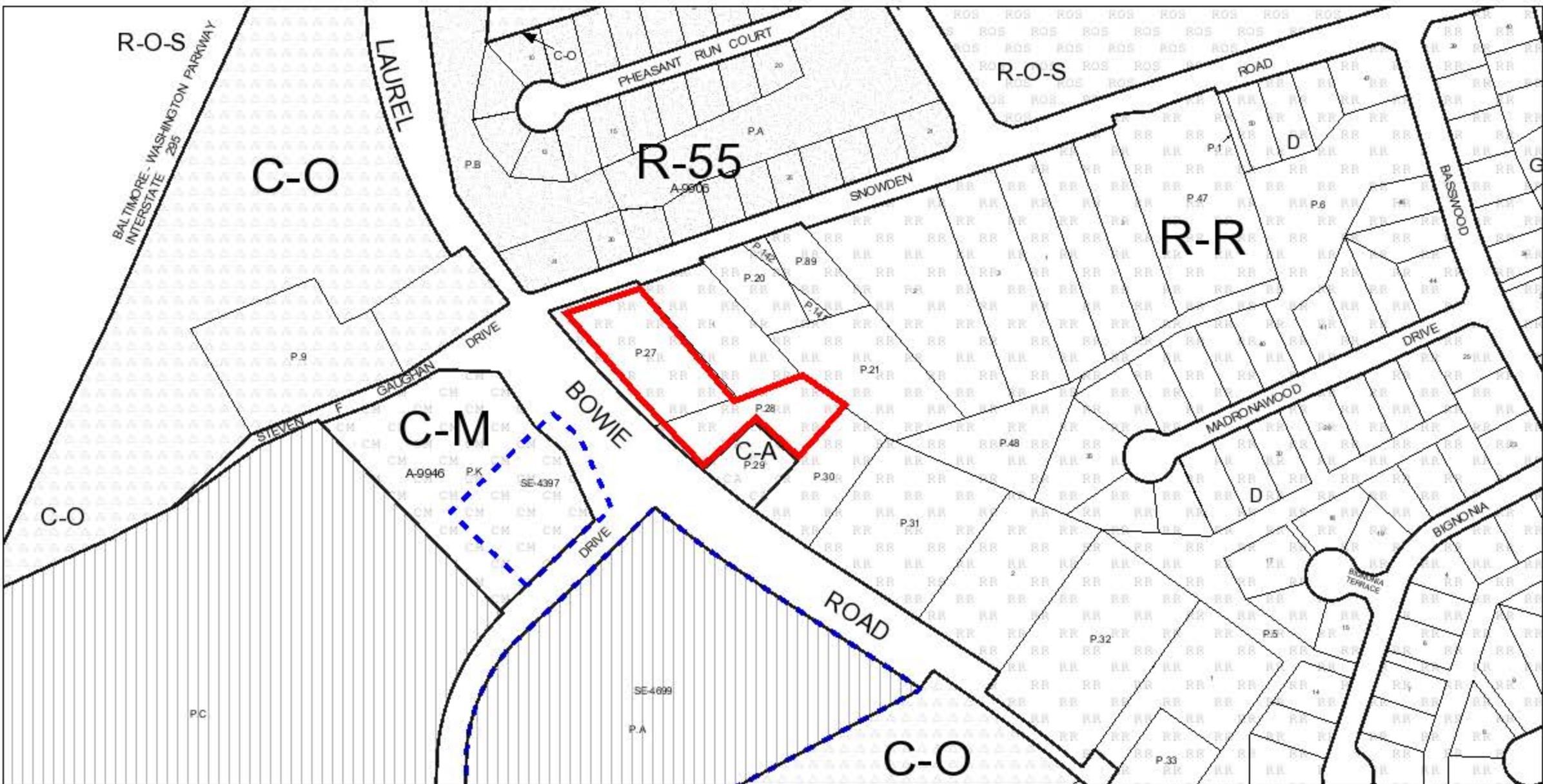
Respectfully submitted,

Ram L. Shrestha

Ram L. Shrestha, M.S., P.E., CFM

PRIOR ZONING SKETCH MAP

APP NO: DSP-20002
EXISTING ZONE: _____
PLANNING AREA: 62
WSSC GRID: 215NE09
TAX MAP: 14
TAX GRID: F2
COUNCIL DISTRICT: 1



1 inch = 250 feet



The Maryland-National Capital Park and Planning Commission
Prince Georges County Planning Department
Geographic Information System

Created: 11/17/2022

STANDARD DRAWING LEGEND & ABBREVIATIONS

	EXISTING (E.)	NEW
BITUMINOUS PAVEMENT		
BUILDING		
CONCRETE (CONC.)	CONC.	
MINOR CONTOUR	---16---	---16---
MAJOR CONTOUR	---16---	---16---
CURB AND GUTTER		
DRY SWALE		
GRASS CHANNEL		
MICRO BIORETENTION		
FIRE HYDRANT (F.H.)		
SIGN		
TREE		
OVERHEAD (OH.) LINE	—OHE _x —	—OHE _x —
SANITARY (SAN.) SEWER	—SS—	—SS—
APPROX. ELECTRIC LINE	—E—	—E—
APPROX. WATER LINE	—W—	—W—
APPROX. GAS LINE	—G—	—G—
APPROX. TELEPHONE LINE	—T—	—T—
LIMIT OF DISTURBANCE	—LOD—	—LOD—
SAN. SEWER MANHOLE		
STORM DRAIN MANHOLE		
SANITARY SEWER CLEANOUT		
LIGHT POLE		
UTILITY POLE		
WATER VALVE (W.V.)		
BACK OF CURB	BC	BC
CONCRETE MONUMENT FOUND	CMF	CMF
EDGE OF PAVEMENT	EP	EP
FIRE HYDRANT	FH	FH
GAS VALVE	GV	GV
IRON PIN SET	IPS	IPS
IRON PIN FOUND	IPF	IPF
INVERT	INV.	INV.
PROPOSED	PROP.	PROP.
SANITARY SEWER CLEANOUT	CO	CO
SANITARY MANHOLE	SSMH	SSMH
STORM DRAIN MANHOLE	SDMH	SDMH
TOP OF CURB	TC	TC
TYPICAL	TYP.	TYP.
WATER METER	WM	WM
WATER VALVE	WV	WV

DETAILED SITE PLAN

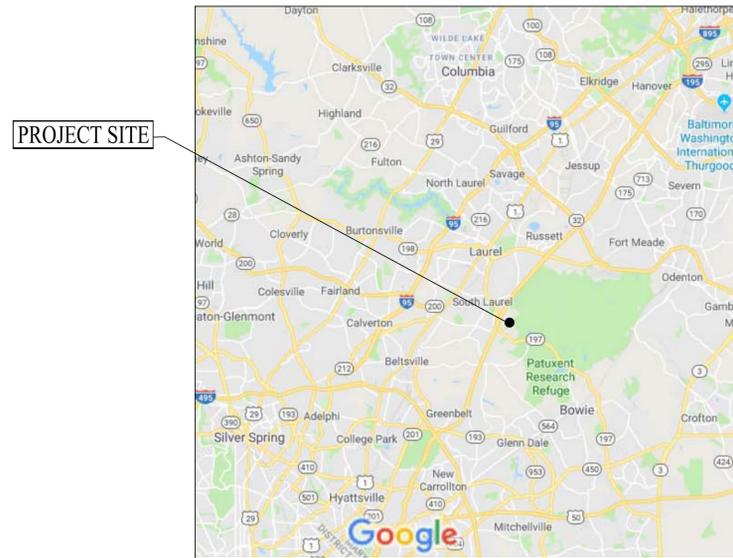
FOR

GIAC SON BUDDHIST TEMPLE

11801 LAUREL BOWIE ROAD
LAUREL, MD 20708

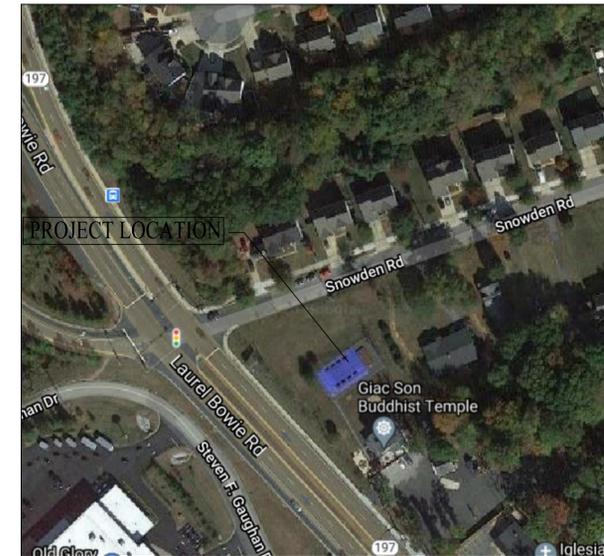
STABILIZATION NOTE:

STABILIZATION PRACTICES ON ALL PROJECTS MUST BE IN COMPLIANCE WITH THE REQUIREMENTS OF COMAR 26.17.1.08 G REGULATIONS BY JANUARY 9, 2013, REGARDLESS OF WHEN AN EROSION AND SEDIMENT CONTROL PLAN WAS APPROVED. FOLLOWING INITIAL SOIL DISTURBANCE OR RE-DISTURBANCE, PERMANENT OR TEMPORARY STABILIZATION MUST BE COMPLETED WITHIN THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERIMETER DIKES, SWALES, DITCHES, PERIMETER SLOPES, AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL (3:1); AND SEVEN (7) CALENDAR DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE NOT UNDER ACTIVE GRADING.



VICINITY MAP

ADC MAP 5289G2
WSSC GRID 219 NE 09



LOCATION MAP

APPLICANT / OWNER
GIAC SON BUDDHIST TEMPLE CORP.
1801 LAUREL BOWE RD.
LAUREL, MD 20708
PHONE: 301-792-7499

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF STATE OF MARYLAND.

LICENSE NO: 41016, EXPIRATION DATE: 8-11-2023

MISS UTILITY
FOR LOCATION OF UTILITIES CALL 1-800-257-7777
48 HOURS IN ADVANCE OF ANY WORK IN THE VICINITY

SHEET INDEX

- SHEET 1 OF 16 COVER SHEET
- SHEET 2 OF 16 APPROVAL SHEET
- SHEET 3 OF 16 EXISTING SITE CONDITIONS
- SHEET 4 OF 16 SITE PLAN
- SHEET 5 OF 16 UTILITY LAYOUT
- SHEET 6 OF 16 LANDSCAPE PLAN
- SHEET 7 OF 16 ARCHITECTURAL ELEVATIONS
- SHEET 8 OF 16 ARCHITECTURAL ELEVATIONS
- SHEET 9 OF 16 PRAYER PLATFORM
- SHEET 10 OF 16 PRAYER FOUNDATION PLAN
- SHEET 11 OF 16 PHOTOMETRIC PLAN
- SHEET 12 OF 16 LANDSCAPE DETAILS
- SHEET 13 OF 16 LANDSCAPE DETAILS
- SHEET 14 OF 16 SITE PLAN DETAILS
- SHEET 15 OF 16 SITE PLAN DETAILS
- SHEET 16 OF 16 SITE PLAN DETAILS

UTILITY CERTIFICATION:

FROM UTILITY COMPANY RECORDS, FURTHER THAT THIS PROJECT HAS BEEN CAREFULLY COORDINATED WITH EACH INVOLVED UTILITY COMPANY, AND ALL AVAILABLE UNDERGROUND UTILITY INFORMATION RELATIVE TO THIS PLAN HAS BEEN SOLICITED FROM THEM.

R. Shrestha 12/23/2022
DATE
RAM L. SHRESTHA, P.E.
MD. REG. # 41016

I HEREBY CERTIFY THAT THIS PLAN CONFORMS TO THE REQUIREMENTS WITH SUBTITLE 32, DIVISION 2 OF THE CODE OF PRINCE GEORGE'S COUNTY WATER RESOURCES PROTECTION AND GRADING CODE; AND THAT I OR MY STAFF HAVE INSPECTED THIS SITE AND THAT DRAINAGE FLOWS FROM UPHILL PROPERTIES ONTO THIS SITE, AND FROM THIS SITE ONTO DOWNHILL PROPERTIES, HAVE BEEN ADDRESSED IN SUBSTANTIAL ACCORDANCE WITH APPLICABLE CODES, AND SIGNED, SEALED AND DATED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF MARYLAND.

R. Shrestha 12/23/2022
DATE
RAM L. SHRESTHA, P.E.
MD. REG. #41016



THIS BLOCK FOR OFFICIAL USE ONLY
OR label certifies that this plan meets conditions of final approval by the Planning Board, its designee or the District Council.

M-NCPCC
APPROVAL

PROJECT NAME: GIAC SON BUDDHIST TEMPLE
PROJECT NUMBER: DSP-20002

For Conditions of Approval see Site Plan Cover Sheet or Approval Sheet
Revision number must be included in the Project Number

REVISIONS	DESCRIPTION	DATE	KEY

GIAC SON BUDDHIST TEMPLE
11801 LAUREL BOWIE ROAD
LAUREL, MARYLAND

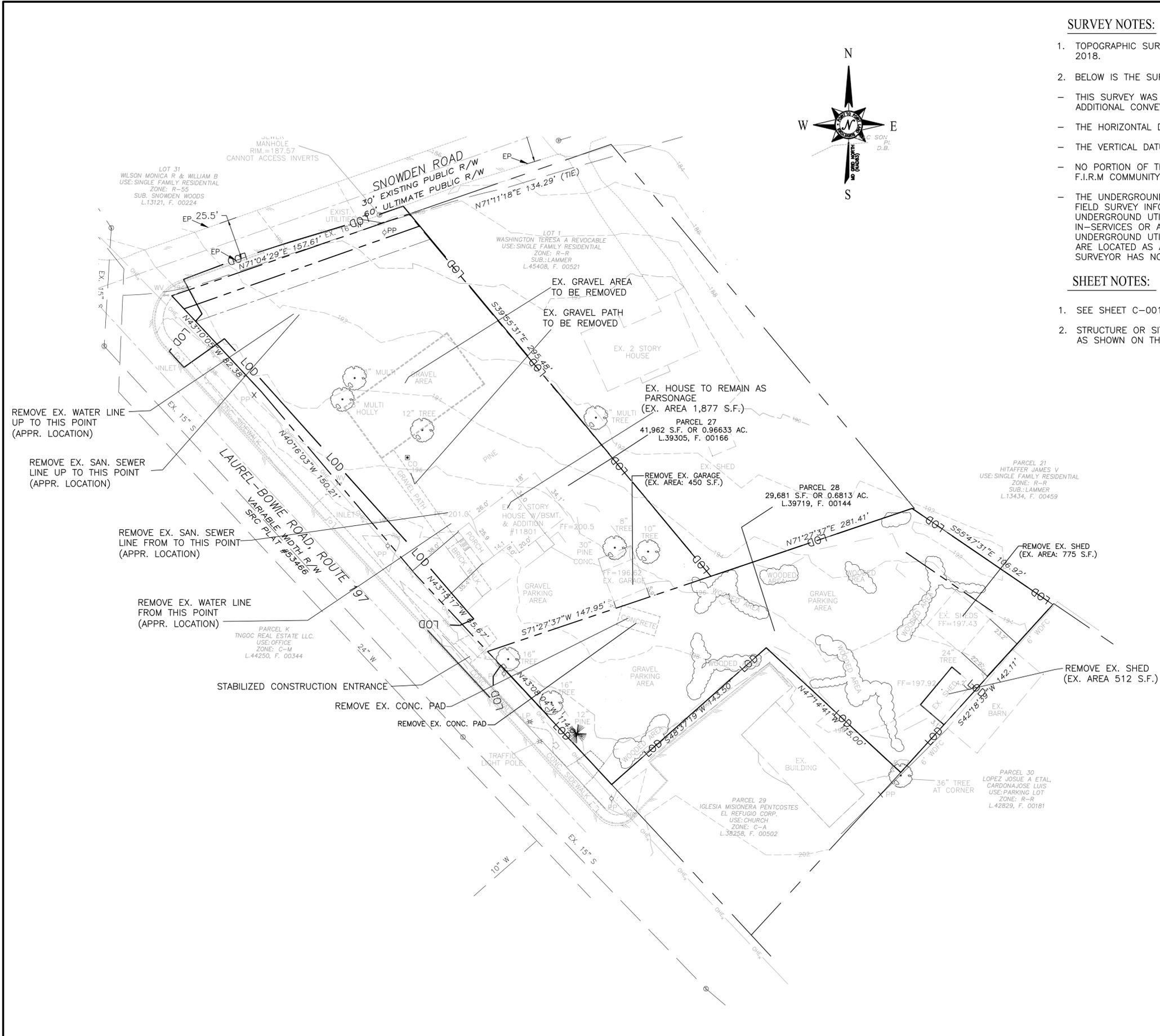
COVER SHEET

RAM L. SHRESTHA, PE
7425 MORRISON DR.
GREENBELT, MD 20770
PH 240-581-0078

DESIGN	DRAWN	CHECKED	PROJ.MGR.	DATE	SCALE	GRAPHIC
				12/23/22		

SHEET
1
1 OF 16

COMMENTS:



SURVEY NOTES:

1. TOPOGRAPHIC SURVEY WAS PROVIDED BY POINT TO POINT LAND SURVEYOR ON JAN 19, 2018.
2. BELOW IS THE SURVEY NOTES PROVIDED BY "POINT TO POINT LAND SURVEYOR"
 - THIS SURVEY WAS PREPARED WITHOUT BENEFIT OF A TITLE REPORT WHICH MAY REVEAL ADDITIONAL CONVEYANCES, EASEMENTS, OR RIGHT-OF-WAY NOT SHOWN HERON.
 - THE HORIZONTAL DATUM SHOWN HERON IS BASED ON MARYLAND GRID NORTH NAD83.
 - THE VERTICAL DATUM SHOWN HERON IS BASED ON NAVD88 PER GPS OBSERVATIONS.
 - NO PORTION OF THIS PROPERTY IS LOCATED IN A SPECIAL FLOOD AREA AS PER F.I.R.M COMMUNITY PANEL NO. 2452080020C DATED 6-18-1987.
 - THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM ABOVE GROUND FIELD SURVEY INFORMATION. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICES OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

SHEET NOTES:

1. SEE SHEET C-001 ABBREVIATIONS AND LEGEND.
2. STRUCTURE OR SITE FEATURE, WHICH IS NOT INDICATED TO BE REMOVED AS SHOWN ON THIS SHEET, SHALL REMAIN.



UTILITY CERTIFICATION:

FROM UTILITY COMPANY RECORDS, FURTHER THAT THIS PROJECT HAS BEEN CAREFULLY COORDINATED WITH EACH INVOLVED UTILITY COMPANY, AND ALL AVAILABLE UNDERGROUND UTILITY INFORMATION RELATIVE TO THIS PLAN HAS BEEN SOLICITED FROM THEM.

Ram L. Shrestha
 RAM L. SHRESTHA, P.E.
 MD. REG. # 41016
 DATE: 10/28/2022

I HEREBY CERTIFY THAT THIS PLAN CONFORMS TO THE REQUIREMENTS WITH SUBTITLE 32, DIVISION 2 OF THE CODE OF PRINCE GEORGE'S COUNTY WATER RESOURCES PROTECTION AND GRADING CODE, AND THAT I OR MY STAFF HAVE INSPECTED THIS SITE AND THAT DRAINAGE FLOWS FROM UPHILL PROPERTIES ONTO THIS SITE, AND FROM THIS SITE ONTO DOWNHILL PROPERTIES, HAVE BEEN ADDRESSED IN SUBSTANTIAL ACCORDANCE WITH APPLICABLE CODES, AND SIGNED, SEALED AND DATED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF MARYLAND.

Ram L. Shrestha
 RAM L. SHRESTHA, P.E.
 MD. REG. #41016
 DATE: 10/28/2022

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF STATE OF MARYLAND.

Ram L. Shrestha
 LICENSE NO: 41016, EXPIRATION DATE: 8-11-2023

GIAC SON BUDDHIST TEMPLE
11801 LAUREL BOWIE ROAD
 MARYLAND
 LAUREL

EXISTING SITE CONDITIONS

RAM L. SHRESTHA, PE
 7425 MORRISON DR.
 GREENBELT, MD 20770
 PH 240-581-0078

DESIGN	DRAWN	CHECKED	PROJ.MGR.
RLS	LJP		
DATE :	10/28/22	SCALE:	GRAPHIC

SHEET

3

3 OF 16

COMMENTS:

EXISTING SITE CONDITIONS

SCALE: 1" = 30'

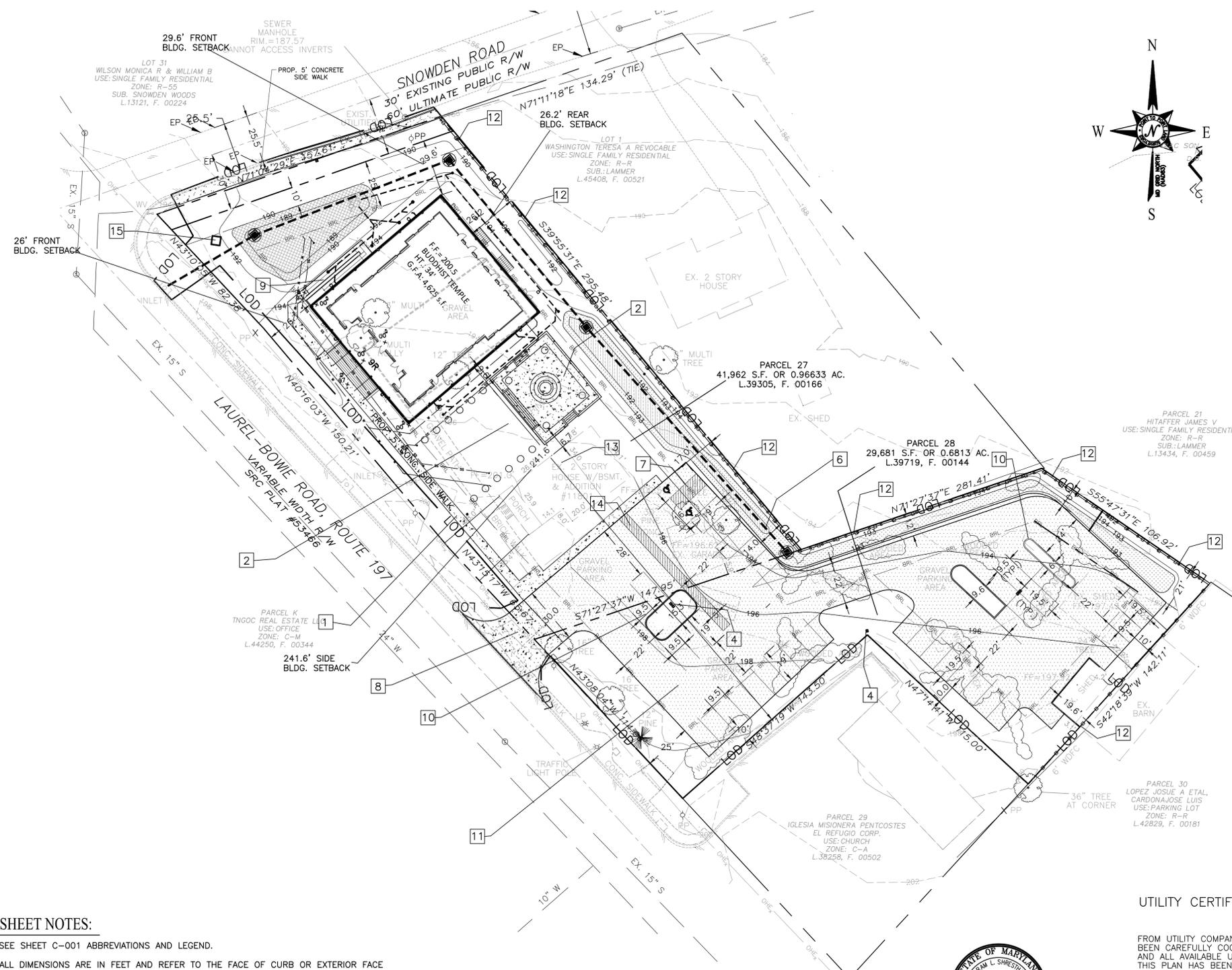


GRAPHIC SCALE



THIS BLOCK FOR OFFICIAL USE ONLY
 QR label certifies that this plan meets conditions of final approval by the Planning Board, its designee or the District Council.
M-NCPPC APPROVAL

PROJECT NAME:	GIAC SON BUDDHIST TEMPLE
PROJECT NUMBER:	DSP-20002
For Conditions of Approval see Site Plan Cover Sheet or Approval Sheet <small>Revision number must be included in the Project Number</small>	



SITE NOTES:

- PROJECT NAME: GIAC SON BUDDHIST TEMPLE.
- TOTAL ACREAGE: PARCEL 27 = 0.96 AC. & PARCEL 28 = 0.68 AC. TOTAL GROSS TRACT AREA: 1.64 AC.
- PRIOR ZONE: R-R
- PROPOSED USE OF THE PROPERTY: BUDDHIST TEMPLE (INTITUTIONAL /EDUCATIONAL)
- NUMBER OF LOTS: PARCELS 27 AND 28
- BREAKDOWN OF PROPOSED DWELLING BY TYPE: N/A
- 200 SHEET NO: 215NE09
- TAX MAP/GRID: 014F3
- AVIATION POLICY AREA/N/A
- EXISTING WATER/SEWER DESIGNATION: S3 AND W3
- PROPOSED WATER/SEWER DESIGNATION: S3 AND W3
- STORMWATER MANAGEMENT CONCEPT PLAN NUMBER: 51711-2019-00, EXP DATE: 06/2/2022.
- 10-FOOT PUBLIC UTILITY EASEMENT ALONG ALL RIGHT-OF-WAY.
- THERE ARE NO CEMETERIES ON OR CONTIGUOUS TO THE PROPERTY.
- THERE ARE NO HISTORIC SITES ON OR IN THE VICINITY OF THE PROPERTY.
- THERE IS STREAM AND WETLANDS WITHIN THE SITE.
- THERE IS NO 100 YEAR FLOOD PLAIN ON SITE.
- THERE IS NO CHESAPEAKE BAY CRITICAL AREA OVERLAY WITHIN THE SITE.
- BOUNDARY BASED ON BOUNDARY SURVEY DETERMINED BY POINT TO POINT LAND SURVEYORS.
- APPLICANT: GIAC SON BUDDHIST TEMPLE CORP
- PROPERTY LOCATION: 11801 LAUREL BOWIE ROAD, LAUREL, MD 20707
- PARKING REQUIREMENT:
 - PARKING REQUIRED:
 - OFFICES: 672 S.F. OF OFFICE AREA: @1 PER 250 S.F. OF THE FIRST 2,000 SF. OF GFA. = 3 SPACES
 - BUDDHIST TEMPLE MAIN SANCTUARY: OCCUPANCY: 160 SEATS @1 PER 4 SEATS= 40 SPACES
 - TOTAL REQUIRED: 43 SPACES
 - PARKING PROVIDED:
 - STANDARD SPACES (9.5' X 19'): 51 SPACES
 - HANDICAPPED (16' MIN. X 19'): 2 SPACES
 - TOTAL PROVIDED: 53 SPACES
- THE PARSONAGE IS ONLY FOR MEMBERS OF THE TEMPLE; THEREFORE, THE REQUIRED PARKING SPACES ARE INCLUDED IN THE BUDDHIST TEMPLE MAIN SANCTUARY.
- THE BUDDHIST TEMPLE MAIN DIFFERENCE AMONG OTHER RELIGIOUS USES IS THAT IT WILL ONLY REACH FULL OCCUPANCY CAPACITY 5 TIMES DURING THE YEAR.
- THE MAIN EVENTS WHEN THE TEMPLE WILL REACH FULL MEMBERSHIP CAPACITY ARE AS FOLLOWS:
 - LUNAR NEW YEAR (JANUARY AND FEBRUARY)
 - COMPASSIONATE FESTIVAL (END OF MARCH OR BEGINNING OF APRIL)
 - VESAK DAY (MAY OR JUNE)
 - ULUMBANA DAY (AUGUST)
 - MID AUTUMN FESTIVAL (SEPTEMBER).
- GENERAL FLOOR AREA: 4,625 S.F.
- LOT COVERAGE:
 - REQUIRED: 50%
 - PROVIDED: 49%
- BUILDING HEIGHT:
 - PROPOSED BUILDING (BUDDHIST TEMPLE) = 34'-6"
 - EXISTING BUILDING (PARSONAGE/RECTORY) = 27'
- BUDDHIST TEMPLE'S SETBACKS:
 - a. FRONT: LAUREL BOWIE ROAD= 26'
 - SNOWDEN ROAD= 29.6'
 - b. SIDE: 214.6'
 - c. REAR: 26.2'

SITE KEYNOTES

- 1 5' WALKWAY
- 2 BUDDHA STATUE
- 3 LIGHT POLE
- 4 PROPOSED BUILDING
- 5 SWM PIPE
- 6 HANDICAPPED SPACES
- 7 30 FEET WIDE ENTRANCE
- 8 HANDICAPPED RAMP
- 9 TYPICAL CONCRETE CURB
- 10 ASPHALT PARKING
- 11 6' BOARD ON BOARD FENCE
- 12 PARSONAGE
- 13 5' WALKWAY
- 14 MONUMENT SIGN

SHEET NOTES:

- SEE SHEET C-001 ABBREVIATIONS AND LEGEND.
- ALL DIMENSIONS ARE IN FEET AND REFER TO THE FACE OF CURB OR EXTERIOR FACE OF BUILDING UNLESS OTHERWISE NOTED.
- FOR CLARIFICATION PURPOSE, PROPOSED UNDERGROUND UTILITIES, UNDERGROUND STORM PIPING AND LANDSCAPE FEATURES ARE NOT SHOWN IN THIS SHEET.

APPLICANT/OWNER:
 GIAC SON BUDDHIST TEMPLE CORP.
 11801 LAUREL BOWIE RD.
 LAUREL, MD 20708
 PHONE: 301-792-7499

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF STATE OF MARYLAND.

Ram L. Shrestha
 LICENSE NO: 41016, EXPIRATION DATE: 8-11-2023



UTILITY CERTIFICATION:

FROM UTILITY COMPANY RECORDS, FURTHER THAT THIS PROJECT HAS BEEN CAREFULLY COORDINATED WITH EACH INVOLVED UTILITY COMPANY, AND ALL AVAILABLE UNDERGROUND UTILITY INFORMATION RELATIVE TO THIS PLAN HAS BEEN SOLICITED FROM THEM.

Ram L. Shrestha 12/23/2022
 RAM L. SHRESTHA, P.E. DATE
 MD. REG. # 41016

I HEREBY CERTIFY THAT THIS PLAN CONFORMS TO THE REQUIREMENTS WITH SUBTITLE 32, DIVISION 2 OF THE CODE OF PRINCE GEORGE'S COUNTY WATER RESOURCES PROTECTION AND GRADING CODE; AND THAT I OR MY STAFF HAVE INSPECTED THIS SITE AND THAT DRAINAGE FLOWS FROM UPHILL PROPERTIES ONTO THIS SITE, AND FROM THIS SITE ONTO DOWNHILL PROPERTIES, HAVE BEEN ADDRESSED IN SUBSTANTIAL ACCORDANCE WITH APPLICABLE CODES, AND SIGNED, SEALED AND DATED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF MARYLAND.

Ram L. Shrestha 12/23/2022
 RAM L. SHRESTHA, P.E. DATE
 MD. REG. #41016

SITE LAYOUT
 SCALE: 1" = 30'



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M-NCPPC APPROVAL

PROJECT NAME: GIAC SON BUDDHIST TEMPLE
 PROJECT NUMBER: DSP-20002

For Conditions of Approval see Site Plan Cover Sheet or Approval Sheet
 Revision number must be included in the Project Number

GIAC SON BUDDHIST TEMPLE
11801 LAUREL BOWIE ROAD
 LAUREL, MARYLAND

SITE PLAN

RAM L. SHRESTHA, PE
 7405 MORRISON DR.
 GREENBELT, MD 20770
 PH. 240-581-0078

SHEET
4
 4 OF 16

COMMENTS:

REVISIONS	DESCRIPTION	DATE	KEY

STORM DRAINAGE SHEDULE:

DI #1
SINGLE WR INLET (STD. 374.23)
RIM = 193.50
INV. OUT (12" RCP) = 191.50

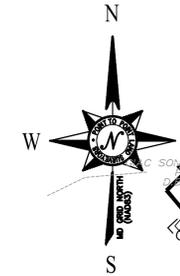
DI #2
SINGLE WR INLET (STD. 374.23)
RIM = 192.50
INV. IN (12" RCP) = 190.00
INV. OUT (12" RCP) = 189.50

DI #3
SINGLE WR INLET (STD. 374.23)
RIM = 189.50
INV. IN (12" RCP) = 188.30
INV. OUT (12" RCP) = 188.00

DI #4
SINGLE WR INLET (STD. 374.23)
RIM = 189.50
INV. IN (12" RCP) = 187.00
INV. OUT (12" RCP) = 186.90
AND CONNECT TO EX. CURB INLET AT INV. = 186.30

STORM DRAINAGE NOTES

1. ALL UNDERGROUND STORM PIPE SHALL BE REINFORCED CONCRETE PIPE (RCP.)
2. ALL UNDERGROUND ROOF DRAIN SHALL BE 6" PVC AND AT SLOPE OF 1.00%.



UTILITY CERTIFICATION:

FROM UTILITY COMPANY RECORDS, FURTHER THAT THIS PROJECT HAS BEEN CAREFULLY COORDINATED WITH EACH INVOLVED UTILITY COMPANY, AND ALL AVAILABLE UNDERGROUND UTILITY INFORMATION RELATIVE TO THIS PLAN HAS BEEN SOLICITED FROM THEM.

R. Shrestha 12/23/2022
DATE
RAM L. SHRESTHA, P.E.
MD. REG. # 41016

I HEREBY CERTIFY THAT THIS PLAN CONFORMS TO THE REQUIREMENTS WITH SUBTITLE 32, DIVISION 2 OF THE CODE OF PRINCE GEORGE'S COUNTY WATER RESOURCES PROTECTION AND GRADING CODE; AND THAT I OR MY STAFF HAVE INSPECTED THIS SITE AND THAT DRAINAGE FLOWS FROM UPHILL PROPERTIES ONTO THIS SITE, AND FROM THIS SITE ONTO DOWNHILL PROPERTIES, HAVE BEEN ADDRESSED IN SUBSTANTIAL ACCORDANCE WITH APPLICABLE CODES, AND SIGNED, SEALED AND DATED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF MARYLAND.

R. Shrestha 12/23/2022
DATE
RAM L. SHRESTHA, P.E.
MD. REG. #41016

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF STATE OF MARYLAND.

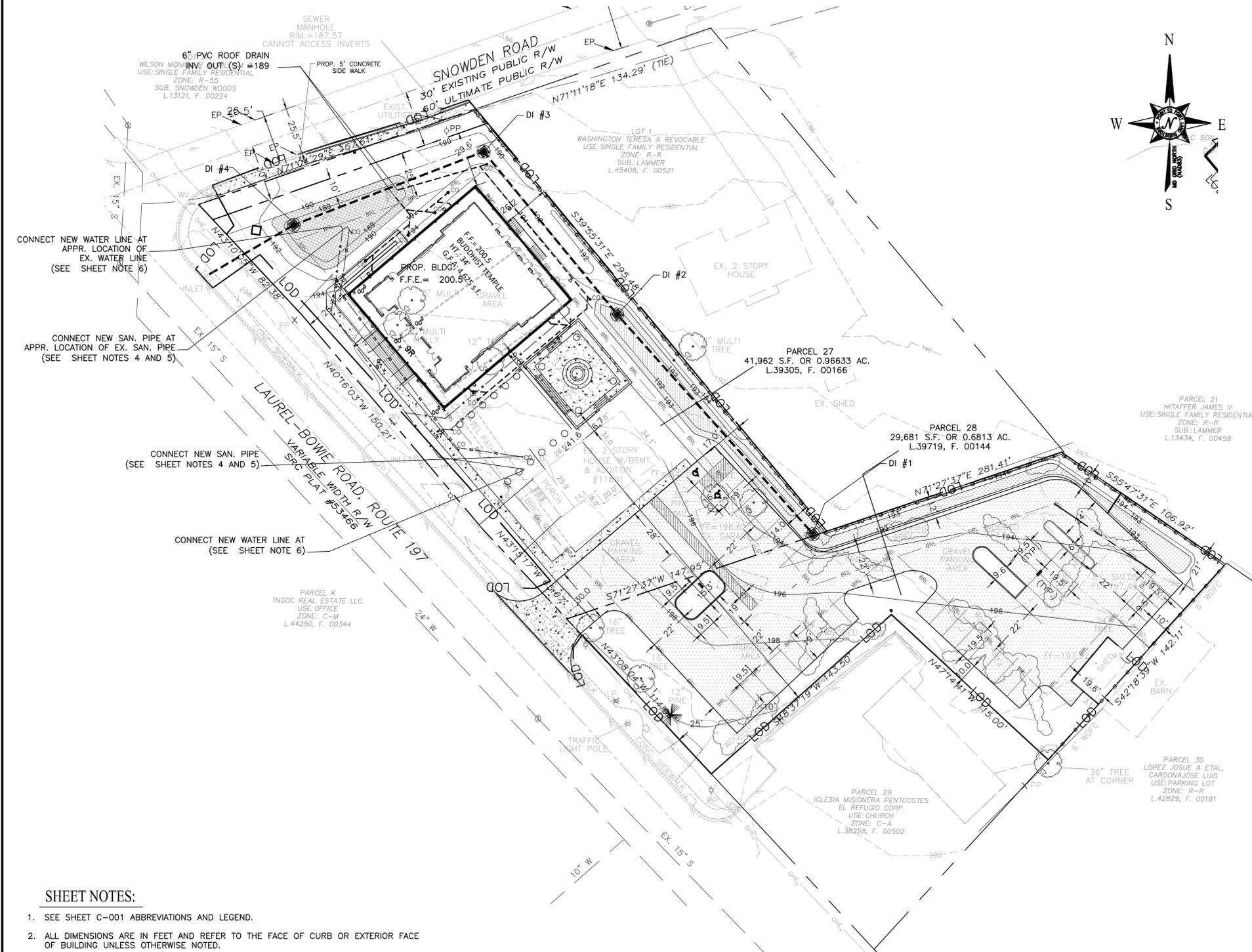
R. Shrestha
LICENSE NO: 41016, EXPIRATION DATE: 8-11-2023

REVISIONS	DESCRIPTION	DATE	KEY

GIAC SON BUDDHIST TEMPLE
11801 LAUREL BOWIE ROAD
LAUREL MARYLAND
UTILITY LAYOUT

DESIGN	DRAWN	CHECKED	PROJ. MGR.
DATE :	04/26/22	SCALE:	GRAPHIC

SHEET
5
5 OF 16
COMMENTS:



SHEET NOTES:

1. SEE SHEET C-001 ABBREVIATIONS AND LEGEND.
2. ALL DIMENSIONS ARE IN FEET AND REFER TO THE FACE OF CURB OR EXTERIOR FACE OF BUILDING UNLESS OTHERWISE NOTED.
3. LANDSCAPE FEATURES ARE NOT SHOWN IN THIS SHEET FOR CLARIFICATION PURPOSE.
4. PROVIDE MIN. 4" PVC PIPE OR MATCH EXISTING PIPE SIZE WHICHEVER IS GREATER. IF THE EX. SAN. PIPE SIZE IS LESS THAN 4", REMOVE THE ENTIRE EX. SAN PIPE UP TO THE POINT OF THE CONNECTION TO CITY SAN. PIPE, AND PROVIDE ALL NEW 6" PVC PIPE FOR THE ENTIRE OF PROJECT.
5. MIN. SLOPE FOR 4" PIPE IS 1.5% AND 1.0% FOR 6" PIPE. WORK SHALL BEGIN AT THE POINT OF CONNECTION TO THE UPSTREAM. 2' MIN. COVER IS REQUIRED.
6. PROVIDE NEW CPCV WATER LINE TO MATCH EX. SIZE. 3.5' MIN. COVER IS REQUIRED.

UTILITY LAYOUT
SCALE: 1" = 30'



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M-NCPPC
APPROVAL

PROJECT NAME: GIAC SON BUDDHIST TEMPLE
PROJECT NUMBER: DSP-20002

For Conditions of Approval see Site Plan Cover Sheet or Approval Sheet
Revision number must be included in the Project Number

SHEET NOTES:

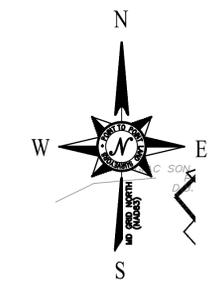
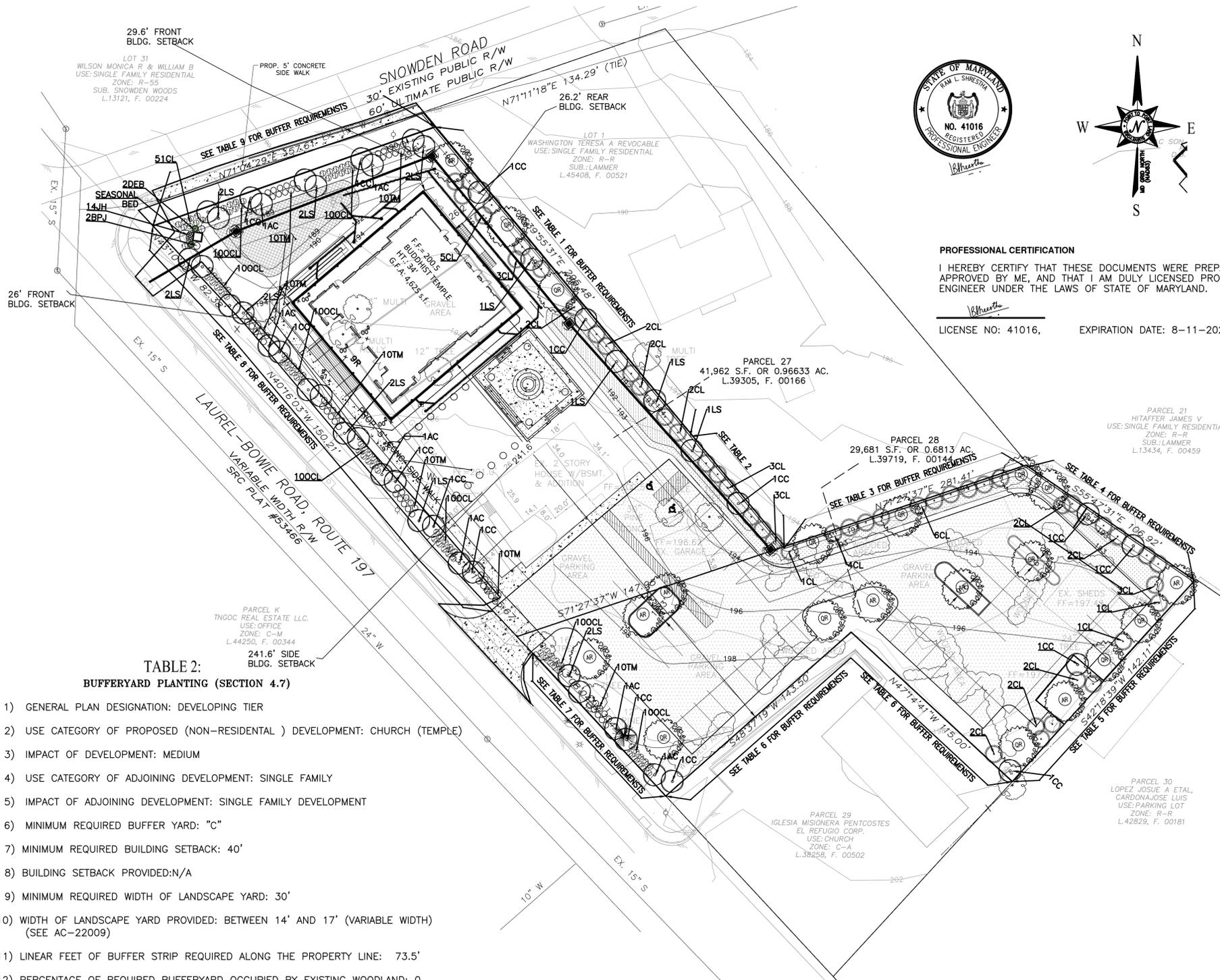
- SEE SHEET C-001 ABBREVIATIONS AND LEGEND.
- ALL DIMENSIONS ARE IN FEET AND REFER TO THE FACE OF CURB OR EXTERIOR FACE OF BUILDING UNLESS OTHERWISE NOTED.

TABLE 1:

BUFFERYARD PLANTING (SECTION 4.7)

- GENERAL PLAN DESIGNATION: DEVELOPING TIER
- USE CATEGORY OF PROPOSED (NON-RESIDENTIAL) DEVELOPMENT: CHURCH (TEMPLE)
- IMPACT OF DEVELOPMENT: MEDIUM
- USE CATEGORY OF ADJOINING DEVELOPMENT: SINGLE FAMILY
- IMPACT OF ADJOINING DEVELOPMENT: SINGLE FAMILY DEVELOPMENT
- MINIMUM REQUIRED BUFFER YARD: "C"
- MINIMUM REQUIRED BUILDING SETBACK: 40'
- BUILDING SETBACK PROVIDED: 25'
- MINIMUM REQUIRED WIDTH OF LANDSCAPE YARD: 30'
- WIDTH OF LANDSCAPE YARD PROVIDED: 26.2' (SEE AC-22009)
- LINEAR FEET OF BUFFER STRIP REQUIRED ALONG THE PROPERTY LINE: 212.00'
- PERCENTAGE OF REQUIRED BUFFERYARD OCCUPIED BY EXISTING WOODLAND: 0
- SIX FOOT FENCE OR WALL OR FIVE FOOT BERM EMPLOYED IN BUFFERYARD: YES
- TOTAL OF PLANT UNIT REQUIRED IN BUFFER STRIP: 106 X 1.20 = 127.2 P.U. (4.7-3 (F))
- NUMBER OF PLANT UNITS PROVIDED:

SHADE TREES:	03 X 10 P.U. =	30 P.U.
EVERGREEN PROVIDED:	14 X 5 P.U. =	70 P.U.
ORNAMENTAL TREES:	05 X 5 P.U. =	25 P.U.



PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF STATE OF MARYLAND.
 LICENSE NO: 41016, EXPIRATION DATE: 8-11-2021

Project Name:	TCP2#:	DRD Case #:	Area (acres)
Gian Son Buddhist Temple	5-128-2021		
Site Calculations:			
Zone 1:	R-R		1.64
Zone 2:			
Zone 3:			
Zone 4:			
Total Acres:			1.64
Total Acres (gross acres)	% of TCC required	TCC Required (Acres)	TCC Required In (SF)
1.64	15.0%	0.25	10716
A. TOTAL ON-SITE WC PROVIDED (acres) = 0 B. TOTAL AREA EXISTING TREES (non-WC acres) = 0 C. TOTAL SQUARE FOOTAGE IN LANDSCAPE TREES = 13615 D. TOTAL TREE CANOPY COVERAGE PROVIDED = 13615 E. TOTAL SQUARE FOOTAGE REQUIRED = 10716 Requirement Satisfied			

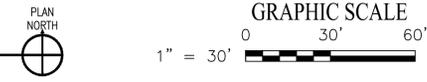
Credit Categories for Landscape Trees	TCC Credit per Tree Based on Size at Planting (SF)	Number of Trees	TCC Credit (SF)
Deciduous - columnar shade tree (50' or less height)	2-1/2 - 3" = 65 3-3 1/2" = 75		0
Deciduous - ornamental tree (20' or less height with equal spread). Minimum planting size 7-9' in height	1-1/2 - 1-3/4" = 75 2-1/2" = 100	39	4290
Deciduous - minor shade tree (25-50' height with equal spread or greater). Minimum planting size 8-10' in height	2-1/2 - 3" = 110 3-3 1/2" = 175		0
Deciduous - major shade tree (50' and greater ht. with spread equal to or greater than ht) Minimum planting size 12 to 14' in height	2-1/2 - 3" = 225 3-3 1/2" = 250	17	3825
Evergreen - columnar tree (less than 30' height with spread less than 15')	6-8" = 40 8-10" = 50 10-12" = 75		0
Evergreen - small tree (30-40' height with spread of 15-20')	6-8" = 75 8-10" = 100 10-12" = 125		0
Evergreen - medium tree (40-50' height with spread of 20-30')	6-8" = 125 8-10" = 150 10-12" = 175	44	5500
Evergreen - large tree (50' height or greater with spread of over 30')	6-8" = 150 8-10" = 200 10-12" = 250		0
TOTAL NUMBER OF TREES/TCC CREDIT (SF)		100	13615
Prepared by: <i>[Signature]</i> Date: 12/23/2022 Revised June 2011			

TABLE 2:
BUFFERYARD PLANTING (SECTION 4.7)

- GENERAL PLAN DESIGNATION: DEVELOPING TIER
- USE CATEGORY OF PROPOSED (NON-RESIDENTIAL) DEVELOPMENT: CHURCH (TEMPLE)
- IMPACT OF DEVELOPMENT: MEDIUM
- USE CATEGORY OF ADJOINING DEVELOPMENT: SINGLE FAMILY
- IMPACT OF ADJOINING DEVELOPMENT: SINGLE FAMILY DEVELOPMENT
- MINIMUM REQUIRED BUFFER YARD: "C"
- MINIMUM REQUIRED BUILDING SETBACK: 40'
- BUILDING SETBACK PROVIDED: N/A
- MINIMUM REQUIRED WIDTH OF LANDSCAPE YARD: 30'
- WIDTH OF LANDSCAPE YARD PROVIDED: BETWEEN 14' AND 17' (VARIABLE WIDTH) (SEE AC-22009)
- LINEAR FEET OF BUFFER STRIP REQUIRED ALONG THE PROPERTY LINE: 73.5'
- PERCENTAGE OF REQUIRED BUFFERYARD OCCUPIED BY EXISTING WOODLAND: 0
- SIX FOOT FENCE OR WALL OR FIVE FOOT BERM EMPLOYED IN BUFFERYARD: YES
- TOTAL OF PLANT UNIT REQUIRED IN BUFFER STRIP: 36.75 X 1.20 = 42 P.U. (4.7-3 (F))
- NUMBER OF PLANT UNITS PROVIDED:

SHADE TREES:	0 X 10 P.U. =	00 P.U.
EVERGREEN PROVIDED:	7 X 5 P.U. =	35 P.U.
ORNAMENTAL TREES:	2 X 5 P.U. =	10 P.U.

LANDSCAPE PLAN
SCALE: 1" = 25'



GIAC SON BUDDHIST TEMPLE
11801 LAUREL BOWIE ROAD
LAUREL, MARYLAND

LANDSCAPE PLAN

LUU L PHU, PE
2524 NESTLEBROOK TRAIL
VIRGINIA BEACH, VA 23466
PH: 757-401-5895

SHEET **6** OF 16

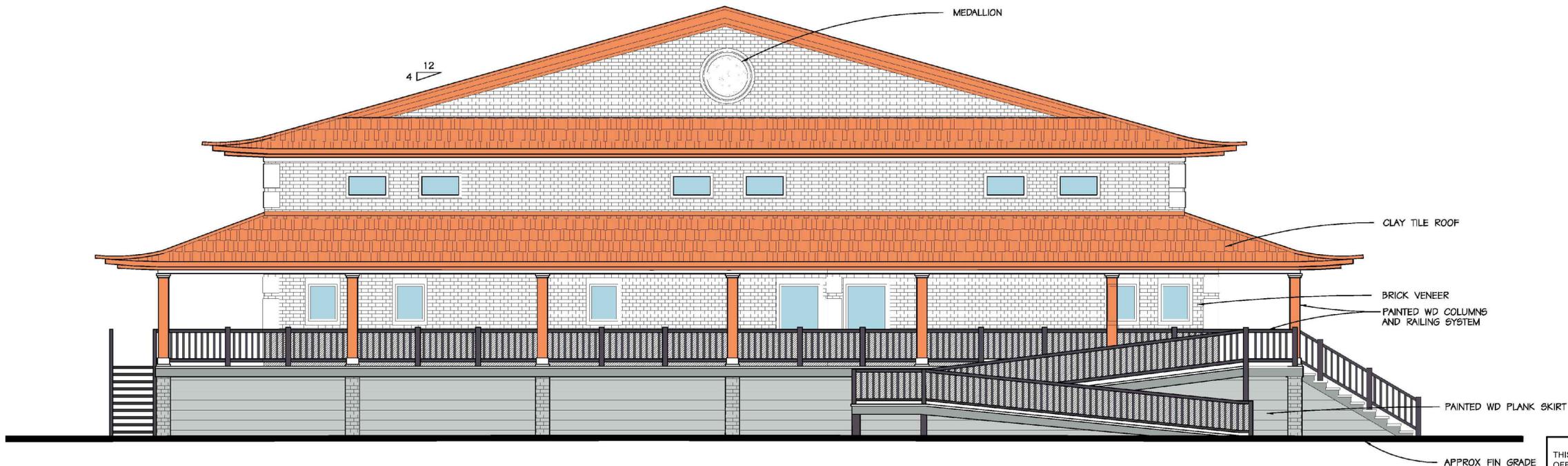
COMMENTS:

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M-NCPPC APPROVAL
 PROJECT NAME: GIAC SON BUDDHIST TEMPLE
 PROJECT NUMBER: DSP-20002
 For Conditions of Approval see Site Plan Cover Sheet or Approval Sheet. Revision number must be included in the Project Number.



A EXTERIOR ELEVATION@ LAUREL BOWIE ROAD (SOUTH WEST)
 1/4" = 1'-0"

- CLAY TILE ROOF
- BRICK VENEER
- PAINTED WD COLUMNS AND RAILING SYSTEM
- PAINTED WD PLANK SKIRT
- APPROX FIN GRADE



B EXTERIOR ELEVATION@ LAUREL SNOWDEN ROAD (NORTH WEST)
 1/4" = 1'-0"

- MEDALLION
- CLAY TILE ROOF
- BRICK VENEER
- PAINTED WD COLUMNS AND RAILING SYSTEM
- PAINTED WD PLANK SKIRT
- APPROX FIN GRADE

ARCHITECTURAL ELEVATIONS
 SCALE: 1" = 1/4"

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M-NCPPC APPROVAL

PROJECT NAME: GIAC SON BUDDHIST TEMPLE
 PROJECT NUMBER: DSP-20002

For Conditions of Approval see Site Plan Cover Sheet or Approval Sheet
 Revision number must be included in the Project Number

REVISIONS	KEY	DATE	DESCRIPTION

GIAC SON BUDDHIST TEMPLE
11801 LAUREL BOWIE ROAD
 LAUREL MARYLAND

ARCHITECTURAL ELEVATIONS

RAM L. SHRESTHA, PE <small>7425 MORRISON DR. GREENBELT, MD 20770 PH. 240-581-0078</small>	DESIGN	CHECKED	PROJ.MGR.
	RLS	LLP	
DATE :	12/23/22	SCALE:	GRAPHIC

SHEET

7

7 OF 16

COMMENTS:



A EXTERIOR ELEVATION @ REAR SIDE (NORTH EAST)
 1/4" = 1'-0"



B EXTERIOR ELEVATION @ LEFT SIDE (NORTH WEST)
 1/4" = 1'-0"

REVISIONS	DESCRIPTION	DATE	KEY

GIAC SON BUDDHIST TEMPLE
11801 LAUREL BOWIE ROAD
 LAUREL MARYLAND
 EXISTING SITE CONDITIONS

RAM L. SHRESTHA, PE
 7425 MORRISON DR.
 GREENBELT, MD 20770
 PH. 240-581-0078

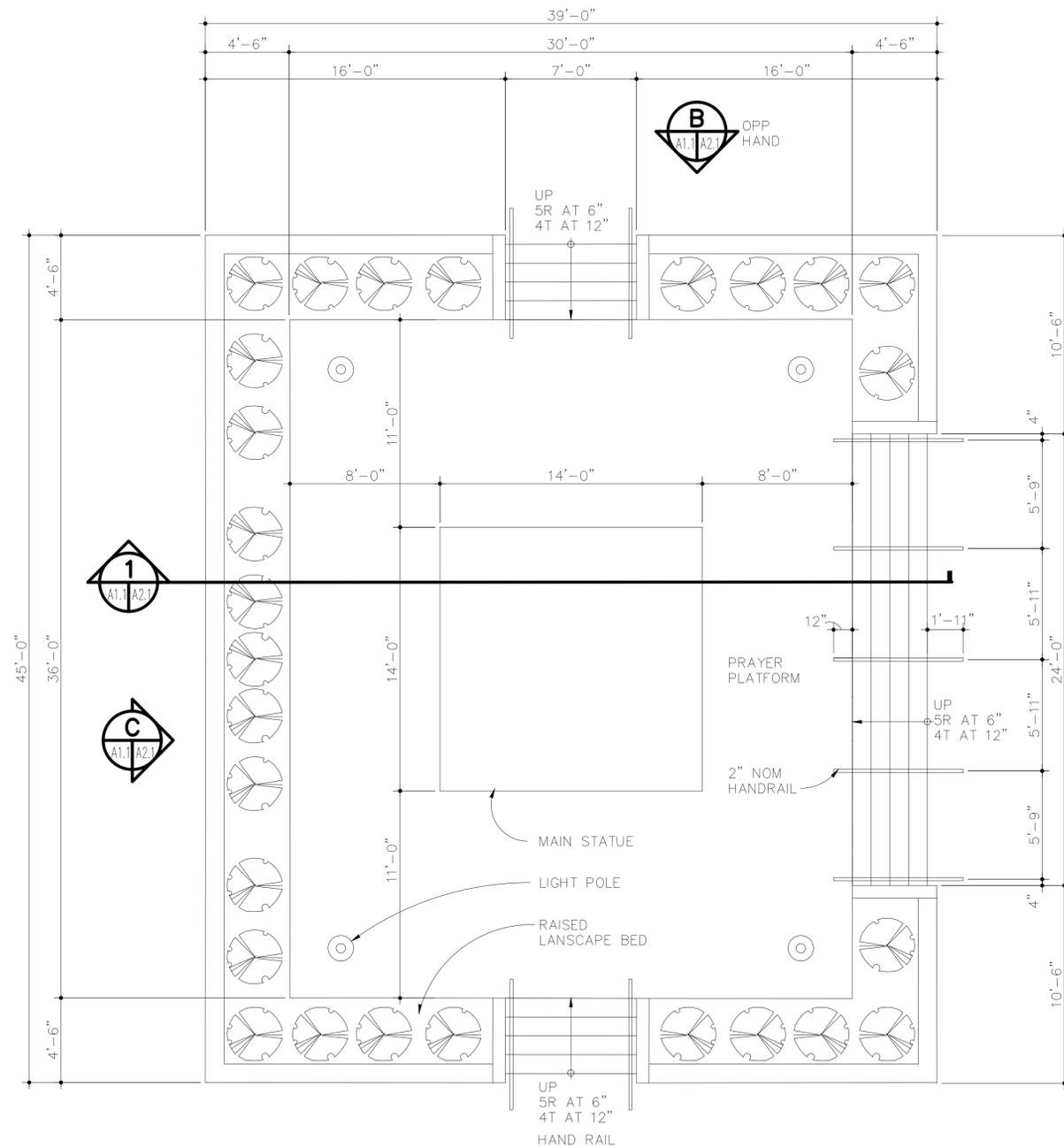
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DATE : 12/23/22 SCALE: GRAPHIC

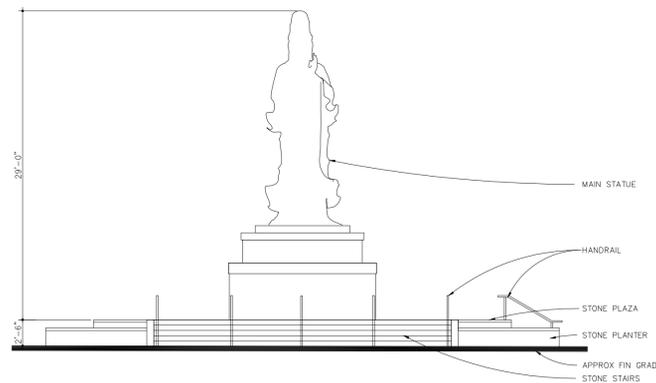
SHEET
8
 8 OF 16
 COMMENTS:

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M-NCPPC APPROVAL

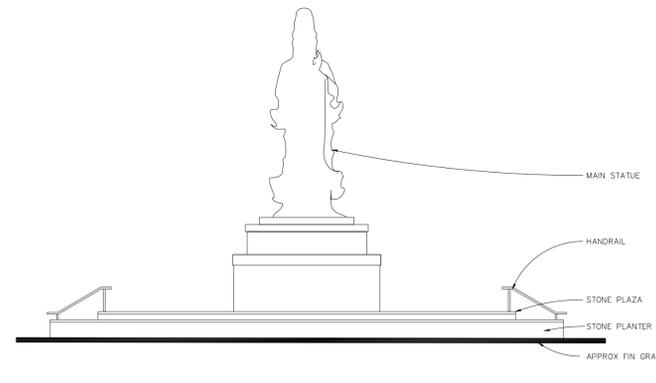
PROJECT NAME:	GIAC SON BUDDHIST TEMPLE
PROJECT NUMBER:	DSP-20002
For Conditions of Approval see Site Plan Cover Sheet or Approval Sheet Revision number must be included in the Project Number	



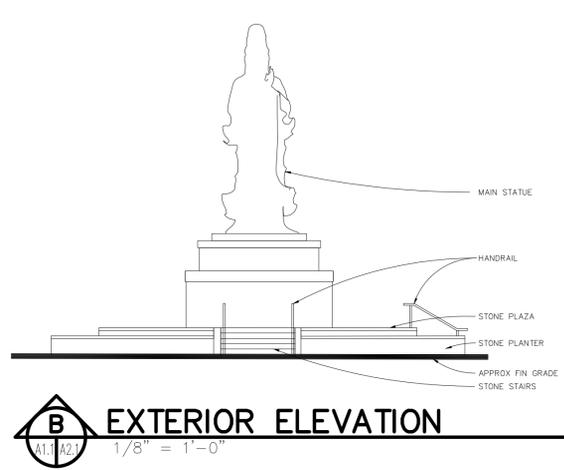
PRAYER PLATFORM PLAN
1/4" = 1'-0"



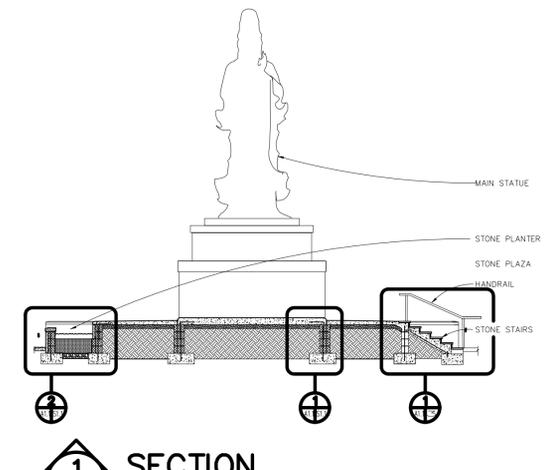
EXTERIOR ELEVATION A
1/8" = 1'-0"



EXTERIOR ELEVATION C
1/8" = 1'-0"

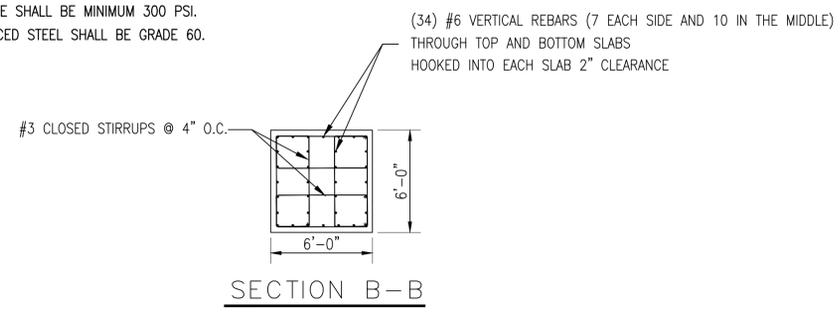


EXTERIOR ELEVATION B
1/8" = 1'-0"

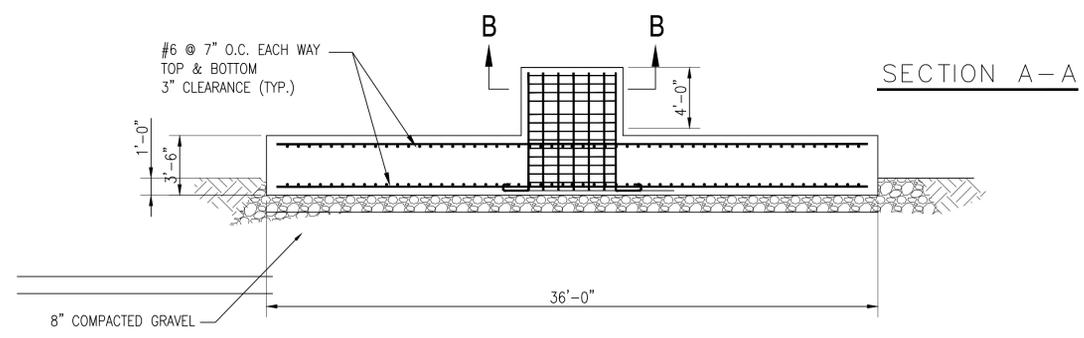


SECTION 1
1/8" = 1'-0"

- NOTES:**
1. CONCRETE SHALL BE MINIMUM 300 PSI.
 2. REINFORCED STEEL SHALL BE GRADE 60.



SECTION B-B



SECTION A-A

REVISIONS	DESCRIPTION	DATE	KEY

GIAC SON BUDDHIST TEMPLE
11801 LAUREL BOWIE ROAD
LAUREL MARYLAND

PRAYER PLATFORM PLAN

RAM L. SHRESTHA, PE
7425 MORRISON DR.
GREENBELT, MD 20770
PH 240-581-0078

DESIGN	DRAWN	CHECKED	PROJ.MGR.
RLS	LJP		

DATE : 12/23/22 SCALE: GRAPHIC

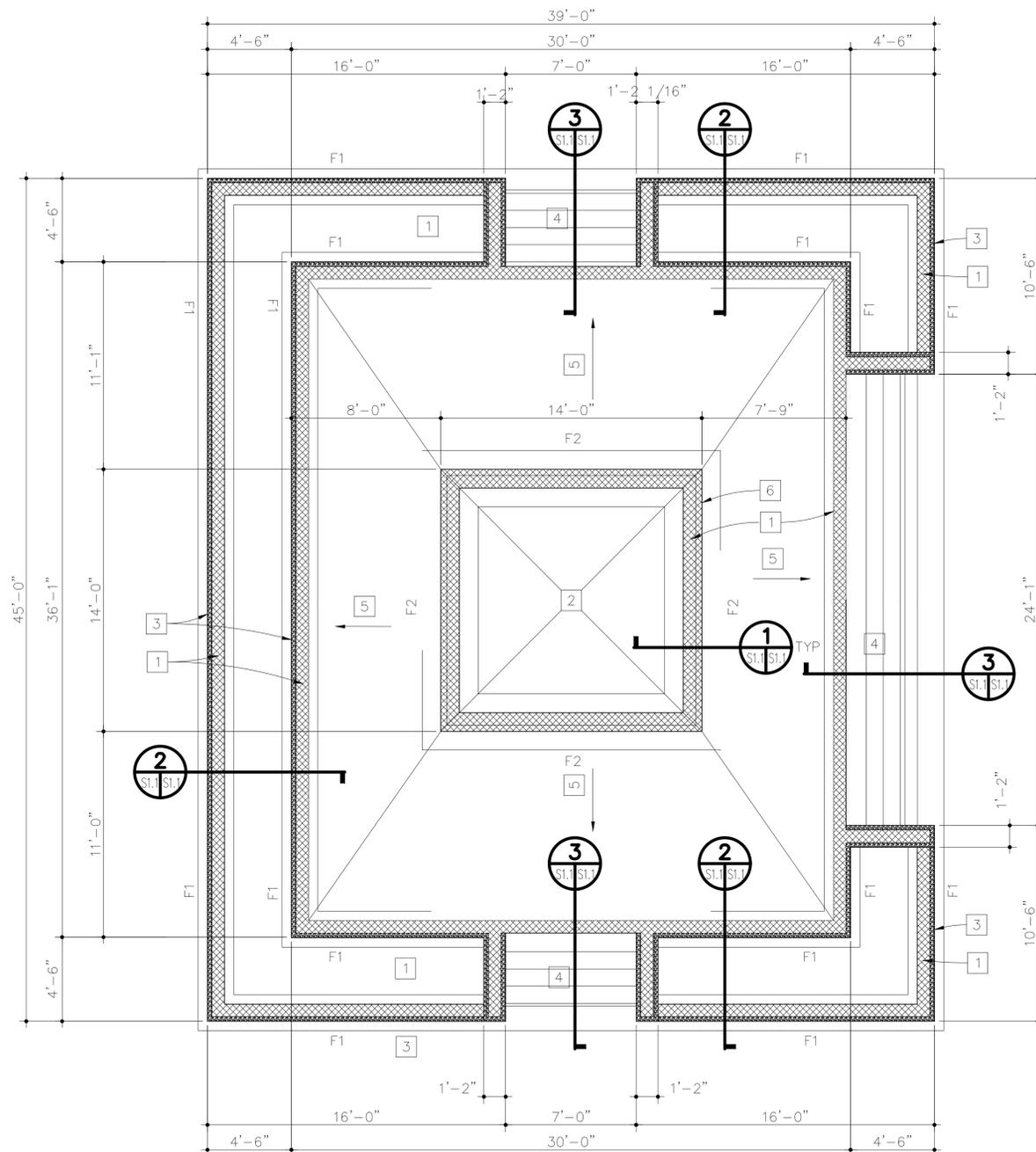
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M-NCPPC APPROVAL

PROJECT NAME: GIAC SON BUDDHIST TEMPLE
PROJECT NUMBER: DSP-20002
For Conditions of Approval see Site Plan Cover Sheet or Approval Sheet. Revision number must be included in the Project Number.

SHEET **9** OF 16

COMMENTS:



FOUNDATION PLAN

1/4" = 1'-0"

FOUNDATION GENERAL NOTES

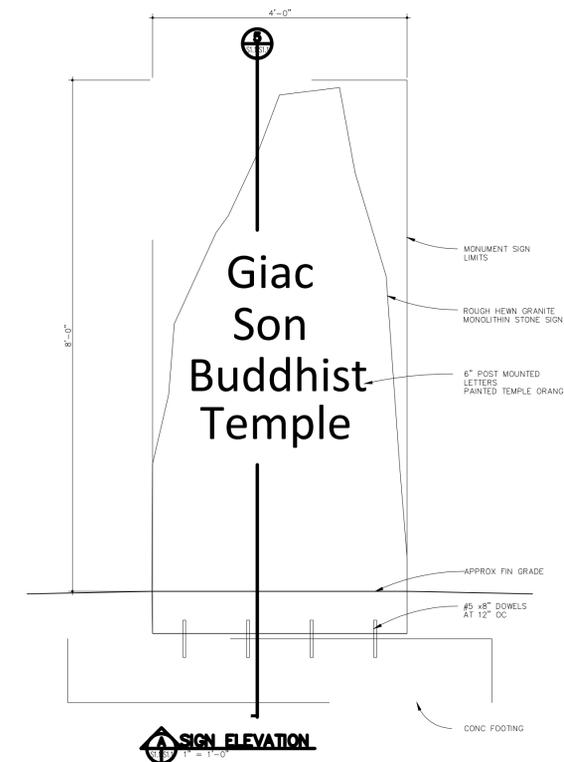
1. ALL FOOTINGS SHALL BEAR ON SUITABLE UNDISTURBED SOIL OR COMPACTED FILL WITH A MINIMUM BEARING CAPACITY OF 1,500 PSI
2. FOOTING SHALL EXTEND A MINIMUM OF 12" INTO UNDISTURBED SOIL OR COMPACTED FILL. ALL BOTTOMS OF FOOTING ELEVATIONS SHALL BE A MINIMUM OF 16" BELOW FINISH GRADE
3. ALL EARTH FORMED FOOTINGS SHALL CONFORM TO THE SHAPES, LINES, AND DIMENSIONS OF THE FOOTING DETAILS AS INDICATED ON THE PLANS AND DETAILS.
4. CONCRETE FOR FOOTINGS SHALL OBTAIN A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS.
5. CONCRETE FOR SLABS SHALL OBTAIN A MINIMUM COMPRESSIVE STRENGTH OF 3,500 PSI AT 28 DAYS
6. CONTROLLED FILL PLACED UNDER SLABS AND FOOTINGS SHALL BE PLACED IN MAXIMUM LOOSE 8" LIFTS AND COMPACTED TO A MINIMUM OF 95% OF THE MAXIMUM DRY DENSITY IN ACCORDANCE WITH ASTM D-1557
7. CONCRETE FLOOR SLABS SHALL CONSIST OF A 4" CONCRETE SLAB ON A 10 MIL POLY VAPOR BARRIER WITH JOINTS LAPPED NOT LESS THAN 6" ON MINIMUM 4" COMPACTED POROUS FILL. SLAB SHALL BE REINFORCED WITH 6x6 W2.0xW2.0 WWF CENTERED IN THE SLAB. LAP SHEETS 6" MIN
8. POROUS FILL MATERIAL SHALL BE SELECT SANDY MATERIAL FREE FROM ALL ORGANIC OR OTHER DELETERIOUS MATERIAL NOT MORE THAN 30% BY WEIGHT PASSING A NO. 2 SIEVE
9. PROVIDE TERMITE TREATMENT UNDER ALL CONCRETE SLABS
10. PROVIDE #5 REENRANT STEEL @ EACH OPENING

FOUNDATION NOTES

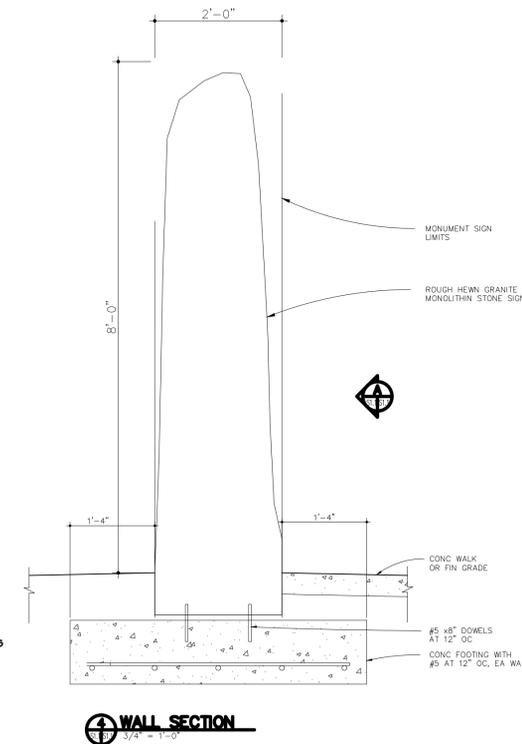
- 1 8" CMU WITH #5 AT 48" OC, GROUT SOLID GROUT ALL REMAINING CELLS SOLID 4" CMU AS OCCURS UNDER STONE VENEER OR PLAZA CONCRETE SLAB
- 2 8" STEEL TROWELED CONC SLAB OVER 4" MIN POROUS FILL ON CONTROL FILL COMPACTED TO 95% STD PROCTOR SLOPE 1"
- 3 STONE VENEER
- 4 4" CONC STAIR SLAB TURN DN SLAB TO FOOTING
- 5 4" BROOM FIN CONC SLAB OVER 4" MIN POROUS FILL ON CONTROL FILL COMPACTED TO 95% STD PROCTOR SLOPE 1"
- 6 4" CMU, GROUT SOLID

FOOTING SCHEDULE

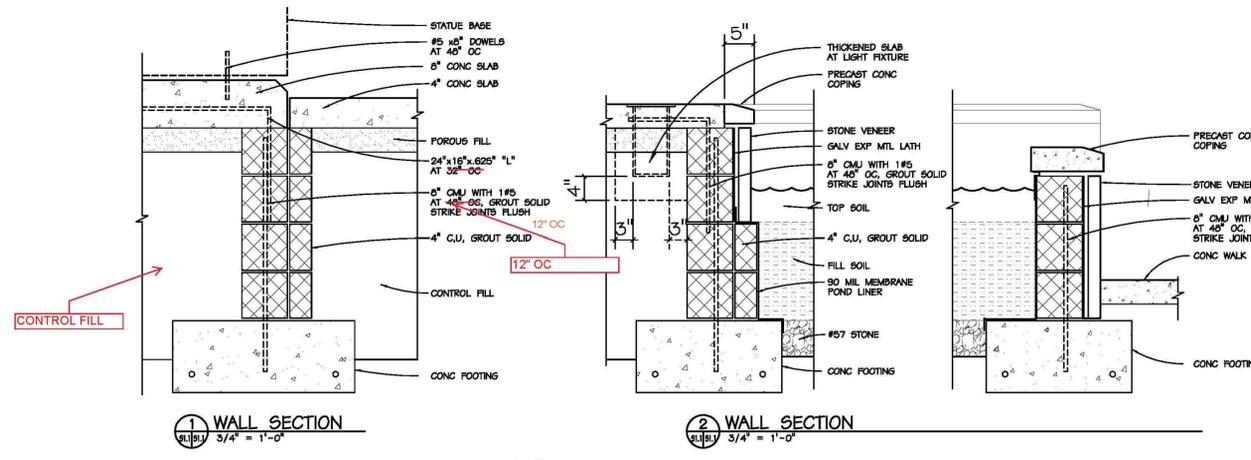
MARK	SIZE	REINF
F1	24"x12"x CONT	2#5 CONT
F2	36"x12"x CONT	3#5 CONT
F3	48"x48"x12"	#5@14" OC EA WAY BOTTOM



SIGN ELEVATION



WALL SECTION



1 WALL SECTION

2 WALL SECTION

3 WALL SECTION

REVISIONS	KEY	DATE	DESCRIPTION

GIAC SON BUDDHIST TEMPLE
11801 LAUREL BOWIE ROAD
 MARYLAND
 LAUREL

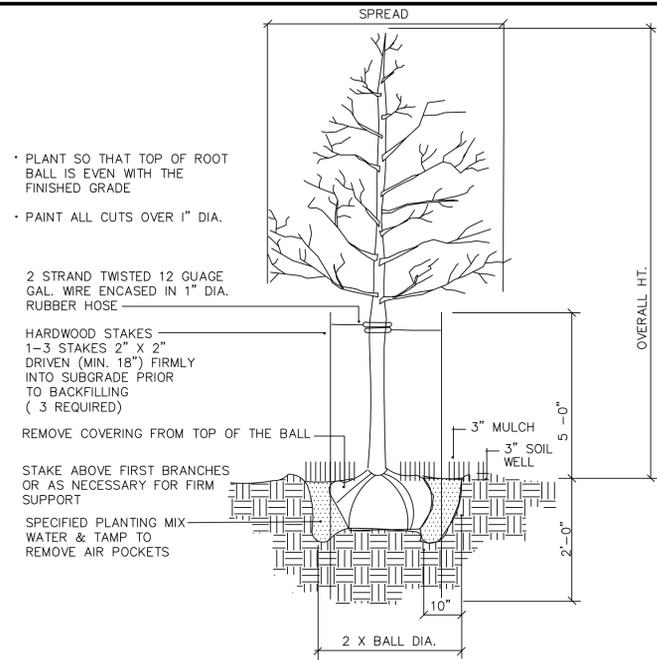
FOUNDATION PLAN

RAM L. SHRESTHA, PE
 7425 MORRISON DR.
 GREENBELT, MD 20770
 PH 240-581-0078

DESIGN	DRAWN	CHECKED	PROJ.MGR.
RLS	LLP		

SCALE: GRAPHIC
 DATE: 12/23/22

SHEET
10
 10 OF 16
 COMMENTS:



DECIDUOUS TREE PLANTING-VERTICAL STAKES

SCALE: NOT TO SCALE

- PLANT SO THAT TOP OF ROOT BALL IS EVEN WITH THE FINISHED GRADE
- PAINT ALL CUTS OVER 1" DIA.

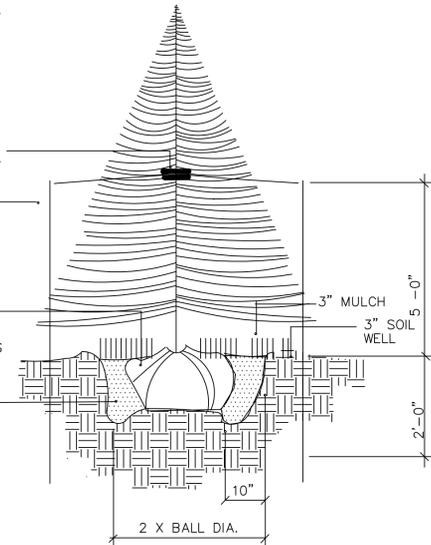
2 STRAND TWISTED 12 GAUGE GAL. WIRE ENCASED IN 1" DIA. RUBBER HOSE

HARDWOOD STAKES 1-3 STAKES 2" X 2" DRIVEN (MIN. 18") FIRMLY INTO SUBGRADE PRIOR TO BACKFILLING (3 REQUIRED)

REMOVE COVERING FROM THE TOP OF THE BALL

STAKE ABOVE FIRST BRANCHES OR AS NECESSARY FOR FIRM SUPPORT

SPECIFIED PLANTING MIX WATER & TAMP TO REMOVE AIR POCKETS



EVERGREEN TREE PLANTING-VERTICAL STAKES

SCALE: NOT TO SCALE

TABLE 3:

BUFFERYARD PLANTING (SECTION 4.7)

- 1) GENERAL PLAN DESIGNATION: DEVELOPING TIER
- 2) USE CATEGORY OF PROPOSED (NON-RESIDENTAL) DEVELOPMENT: CHURCH (TEMPLE)
- 3) IMPACT OF DEVELOPMENT: MEDIUM
- 4) USE CATEGORY OF ADJOINING DEVELOPMENT: SINGLE FAMILY
- 5) IMPACT OF ADJOINING DEVELOPMENT: SINGLE FAMILY DEVELOPMENT
- 6) MINIMUM REQUIRED BUFFER YARD: "C"
- 7) MINIMUM REQUIRED BUILDING SETBACK: 40'
- 8) BUILDING SETBACK PROVIDED: N/A'
- 9) MINIMUM REQUIRED WIDTH OF LANDSCAPE YARD: 30'
- 10) WIDTH OF LANDSCAPE YARD PROVIDED: 12' (SEE AC-22009)
- 11) LINEAR FEET OF BUFFER STRIP REQUIRED ALONG THE PROPERTY LINE: 133.64'
- 12) PERCENTAGE OF REQUIRED BUFFERYARD OCCUPIED BY EXISTING WOODLAND: 0
- 13) SIX FOOT FENCE OR WALL OR FIVE FOOT BERM EMPLOYED IN BUFFERYARD: YES
- 14) TOTAL OF PLANT UNIT REQUIRED IN BUFFER STRIP: 66.82 X 1.20 = 81 P.U. (4.7-3 (F))
- 15) NUMBER OF PLANT UNITS PROVIDED:
 - SHADE TREES: 3 X 10 P.U. = 30 P.U.
 - EVERGREEN PROVIDED: 11 X 5 P.U. = 55 P.U.
 - ORNAMENTAL TREES: 0 X 5 P.U. = 00 P.U.

TABLE 4:

BUFFERYARD PLANTING (SECTION 4.7)

- 1) GENERAL PLAN DESIGNATION: DEVELOPING TIER
- 2) USE CATEGORY OF PROPOSED (NON-RESIDENTAL) DEVELOPMENT: CHURCH (TEMPLE)
- 3) IMPACT OF DEVELOPMENT: MEDIUM
- 4) USE CATEGORY OF ADJOINING DEVELOPMENT: SINGLE FAMILY
- 5) IMPACT OF ADJOINING DEVELOPMENT: SINGLE FAMILY DEVELOPMENT
- 6) MINIMUM REQUIRED BUFFER YARD: "C"
- 7) MINIMUM REQUIRED BUILDING SETBACK: 40'
- 8) BUILDING SETBACK PROVIDED: N/A'
- 9) MINIMUM REQUIRED WIDTH OF LANDSCAPE YARD: 30'
- 10) WIDTH OF LANDSCAPE YARD PROVIDED: BETWEEN 10' AND 21' (VARIABLE WIDTH) (SEE AC-22009)
- 11) LINEAR FEET OF BUFFER STRIP REQUIRED ALONG THE PROPERTY LINE: 106.92'
- 12) PERCENTAGE OF REQUIRED BUFFERYARD OCCUPIED BY EXISTING WOODLAND: 0
- 13) SIX FOOT FENCE OR WALL OR FIVE FOOT BERM EMPLOYED IN BUFFERYARD: YES
- 14) TOTAL OF PLANT UNIT REQUIRED IN BUFFER STRIP: 53.46 X 1.20 = 64 P.U. (4.7-3 (F))
- 15) NUMBER OF PLANT UNITS PROVIDED:
 - SHADE TREES: 2 X 10 P.U. = 20 P.U.
 - EVERGREEN PROVIDED: 7 X 5 P.U. = 35 P.U.
 - ORNAMENTAL TREES: 2 X 5 P.U. = 10 P.U.

TABLE 5:

BUFFERYARD PLANTING (SECTION 4.7)

- 1) GENERAL PLAN DESIGNATION: DEVELOPING TIER
- 2) USE CATEGORY OF PROPOSED (NON-RESIDENTAL) DEVELOPMENT: CHURCH (TEMPLE)
- 3) IMPACT OF DEVELOPMENT: MEDIUM
- 4) USE CATEGORY OF ADJOINING DEVELOPMENT: SINGLE FAMILY
- 5) IMPACT OF ADJOINING DEVELOPMENT: SINGLE FAMILY DEVELOPMENT
- 6) MINIMUM REQUIRED BUFFER YARD: "C"
- 7) MINIMUM REQUIRED BUILDING SETBACK: 40'
- 8) BUILDING SETBACK PROVIDED: N/A'
- 9) MINIMUM REQUIRED WIDTH OF LANDSCAPE YARD: 30'
- 10) WIDTH OF LANDSCAPE YARD PROVIDED: BETWEEN 10' AND 19.6' (VARIABLE WIDTH) (SEE AC-22009).
- 11) LINEAR FEET OF BUFFER STRIP REQUIRED ALONG THE PROPERTY LINE: 142.11'
- 12) PERCENTAGE OF REQUIRED BUFFERYARD OCCUPIED BY EXISTING WOODLAND: 0%
- 13) SIX FOOT FENCE OR WALL OR FIVE FOOT BERM EMPLOYED IN BUFFERYARD: YES
- 14) TOTAL OF PLANT UNIT REQUIRED IN BUFFER STRIP: 72 X 1.20 = 87 P.U. (4.7-3 (F))
- 15) NUMBER OF PLANT UNITS PROVIDED:
 - SHADE TREES: 4 X 10 P.U. = 40 P.U.
 - EVERGREEN PROVIDED: 8 X 5 P.U. = 40 P.U.
 - ORNAMENTAL TREES: 2 X 5 P.U. = 10 P.U.

TABLE 6:

BUFFERYARD PLANTING (SECTION 4.7)

- 1) GENERAL PLAN DESIGNATION: DEVELOPING TIER
- 2) USE CATEGORY OF PROPOSED (NON-RESIDENTAL) DEVELOPMENT: CHURCH (TEMPLE)
- 3) IMPACT OF DEVELOPMENT: MEDIUM
- 4) USE CATEGORY OF ADJOINING DEVELOPMENT: CHURCH
- 5) IMPACT OF ADJOINING DEVELOPMENT: MEDIUM
- 6) MINIMUM REQUIRED BUFFER YARD: N/A
- 7) MINIMUM REQUIRED BUILDING SETBACK: N/A
- 8) BUILDING SETBACK PROVIDED: N/A
- 9) MINIMUM REQUIRED WIDTH OF LANDSCAPE YARD: N/A
- 10) WIDTH OF LANDSCAPE YARD PROVIDED: N/A
- 11) LINEAR FEET OF BUFFER STRIP REQUIRED ALONG THE PROPERTY LINE: N/A
- 12) PERCENTAGE OF REQUIRED BUFFERYARD OCCUPIED BY EXISTING WOODLAND: 0
- 13) SIX FOOT FENCE OR WALL OR FIVE FOOT BERM EMPLOYED IN BUFFERYARD: NO
- 14) TOTAL OF PLANT UNIT REQUIRED IN BUFFER STRIP: N/A
- 15) NUMBER OF PLANT UNITS PROVIDED:
 - SHADE TREES: X 10 P.U. = 00 P.U.
 - EVERGREEN PROVIDED: X 5 P.U. = 00 P.U.
 - ORNAMENTAL TREES: X 5 P.U. = 00 P.U.

TABLE 7:

REQUIREMENTS FOR LANDSCAPE STRIP ALONG STREET SECTION 4.2-1

LINEAR FEET OF STREET FRONTAGE, NOT INCLUDE DRIVEWAY ENTRANCE: 107'

- 1) GENERAL PLAN DESIGNATION: DEVELOPING TIER
- 2) OPTION SELECTED: 1
- 3) IS THERE A PUBLIC UTILITY EASEMENT ALONG THE FRONTAGE OF THE PROPERTY: YES
- 4) IS THERE AN OVERHEAD UTILITY ALONG THE FRONTAGE OF THE PROPERTY: YES
- 5) NUMBER OF TREE PLANTS REQUIRED:
 - a. 3 SHADE TREES (OR 6 ORNAMENTAL TREES - UNDER OVERHEAD UTILITY)
 - b. 31 SHRUBS
- 6) TOTAL OF PLANTS PROVIDED:
 - a. 6 ORNAMENTAL TREES
 - b. 31 SHRUBS

PLAN LIST

LABEL	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	CONDITION	SPACING
SHADE TREES						
Ar	10	ACER RUBRUM CULTIVARS	RED MAPLE	2 1/2"-3" CAL.	B&B	PER PLAN
Qr	12	QUERCUS RUBRA (BOREALIS)	RED OAK	2 1/2"-3" CAL.	B&B	PER PLAN
ORNAMENTAL TREES						
LS	19	LAGERSTROEMIA SSP	GRAPE MYRTLE	7'-9' HT.	B&B	PER PLAN
CC	15	Cercis candensis	Redbud	7'-9' HT.	B&B	PER PLAN
AC	7	Amelanchier canadensis	Serviceberry	7'-9' HT.		PER PLAN
EVERGREEN TREES						
CL	52	CUPRESSOCYPARIS LEYLANDI	LEYLAND CYPRESS	6'-7' HT.	B&B	PER PLAN
SHRUBS						
TM	70	Taxus x media 'Desiformis'	Dense Yew	30"-36"	CONTAINER	PER PLAN
OCL	80	Prunus laurocerasus "Otto Luyken"	Otto Luyken Cherry Laurel	30"-36"	CONTAINER	PER PLAN
BPJ	2	Juniperus chinensis "Blue Point"	Blue Point Juniper	6'-8'	B & B	PER PLAN
DEB	2	Buxus sempervernis "Suffruticosa"	Dwarf English Boxwood	16"-18"	CONTAINER	PER PLAN
JH	14	Juniperus horizontalis	Creeping Juniper	1 Galon	CONTAINER	PER PLAN



PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF STATE OF MARYLAND.

Ram L. Shrestha

LICENSE NO: 41016,

EXPIRATION DATE: 8-11-2023

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QR label certifies that this plan meets conditions of final approval by the Planning Board, its designee or the District Council.

M-NCPPC APPROVAL

PROJECT NAME: GIAC SON BUDDHIST TEMPLE

PROJECT NUMBER: DSP-20002

For Conditions of Approval see Site Plan Cover Sheet or Approval Sheet
Revision number must be included in the Project Number

GIAC SON BUDDHIST TEMPLE
11801 LAUREL BOWIE ROAD
LAUREL MARYLAND

LANDSCAPE DETAILS

LUU L PHU, PE
2524 NESTLEBROOK TRAIL
VIRGINIA BEACH, VA 23466
PH 757-401-5895

DESIGN	DRAWN	CHECKED	PROJ.MGR.
	LUP	CAD	
DATE :	12/21/2022		
SCALE :	GRAPHIC		

SHEET

12

12 OF 16

COMMENTS:

TABLE 8:

REQUIREMENTS FOR LANDSCAPE STRIP ALONG STREET SECTION 4.2-1

LINEAR FEET OF STREET FRONTAGE, NOT INCLUDE DRIVEWAY ENTRANCE: 259'

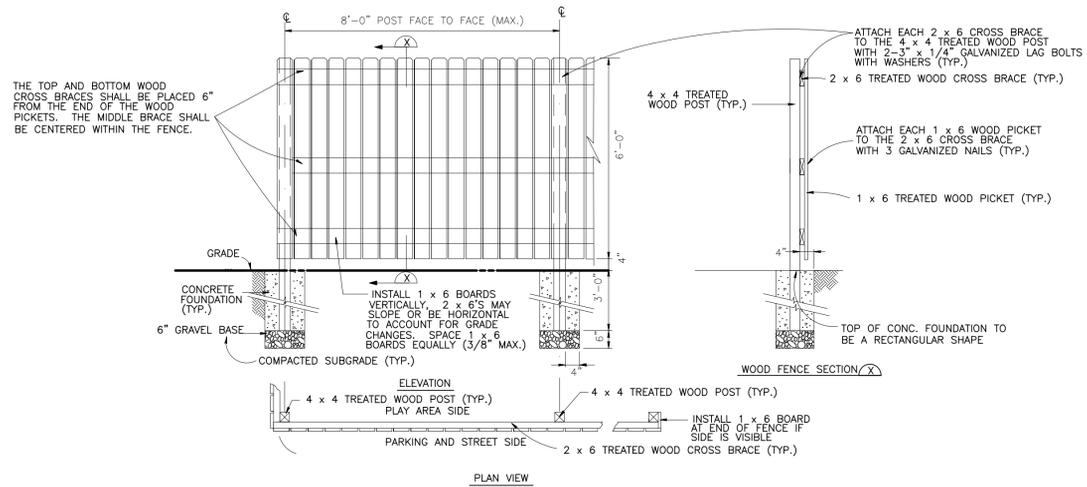
- 1) GENERAL PLAN DESIGNATION: DEVELOPING TIER
- 2) OPTION SELECTED: 1
- 3) IS THERE A PUBLIC UTILITY EASEMENT ALONG THE FRONTAGE OF THE PROPERTY: YES
- 4) IS THERE A OVERHEAD UTILITY ALONG THE FRONTAGE OF THE PROPERTY: YES
- 5) NUMBER OF TREE PLANTS REQUIRED:
 - a. 8 SHADE TREES (OR 16 ORNAMENTAL TREES – UNDER OVERHEAD UTILITY)
 - b. 74 SHRUBS
- 6) TOTAL OF PLANTS PROVIDED:
 - a. 16 ORNAMENTAL TREES
 - b. 80 SHRUBS

TABLE 9:

REQUIREMENTS FOR LANDSCAPE STRIP ALONG STREET SECTION 4.2-1

LINEAR FEET OF STREET FRONTAGE, NOT INCLUDE DRIVEWAY ENTRANCE: 157.61'

- 1) GENERAL PLAN DESIGNATION: DEVELOPING TIER
- 2) OPTION SELECTED: 1
- 3) IS THERE A PUBLIC UTILITY EASEMENT ALONG THE FRONTAGE OF THE PROPERTY: YES
- 4) IS THERE A OVERHEAD UTILITY ALONG THE FRONTAGE OF THE PROPERTY: YES
- 5) NUMBER OF TREE PLANTS REQUIRED:
 - a. 5 SHADE TREES (OR 10 ORNAMENTAL TREES – UNDER OVERHEAD UTILITY)
 - b. 45 SHRUBS
- 6) TOTAL OF PLANTS PROVIDED:
 - a. 10 ORNAMENTAL TREES
 - b. 45 SHRUBS



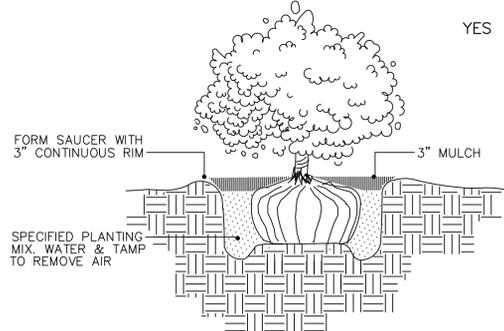
6' P. TREATED WOOD BOARD ON BOARD SCREEN FENCE SECTION

TABLE II SCHEDULE 4.9-1 SUSTAINABLE LANDSCAPING REQUIREMENTS

- 1) PERCENTAGE OF NATIVE PLANT MATERIAL REQUIRED IN EACH CATEGORY:
 - SHADE TREES: TOTAL 22% X 50% = 11% TOTAL NUMBER REQUIRED TOTAL NUMBER PROVIDED 22% = 100% NATIVE
 - ORNAMENTAL TREES: TOTAL 41% X 50% = 20.5% TOTAL NUMBER REQUIRED TOTAL NUMBER PROVIDED 21% = 100% NATIVE
 - EVERGREEN TREES: TOTAL 52% X 30% = 15.6% TOTAL NUMBER REQUIRED TOTAL NUMBER PROVIDED 52% = 100% NATIVE
 - SHRUBS: TOTAL 150% X 30% = 45% TOTAL NUMBER REQUIRED TOTAL NUMBER PROVIDED 150% = 100% NATIVE
- 2) ARE INVASIVE SPECIES PROPOSED? YES NO
- 3) ARE EXISTING INVASIVE SPECIES ON-SITE IN AREAS THAT ARE TO REMAIN UNDISTURBED? YES NO
- 4) IF "YES" IS CHECKED IN NUMBER 2 OR 3, IS A NOTE INCLUDED ON THE PLAN REQUIRING REMOVAL OF INVASIVE SPECIES PRIOR TO CERTIFICATION IN ACCORDANCE WITH SECTION I.5, CERTIFICATION ON INSTALLATION OF PLANT MATERIALS? YES NO
- 5) ARE TREES PROPOSED TO BE PLANTED ON SLOPES GREATER THAN 3:1? YES NO

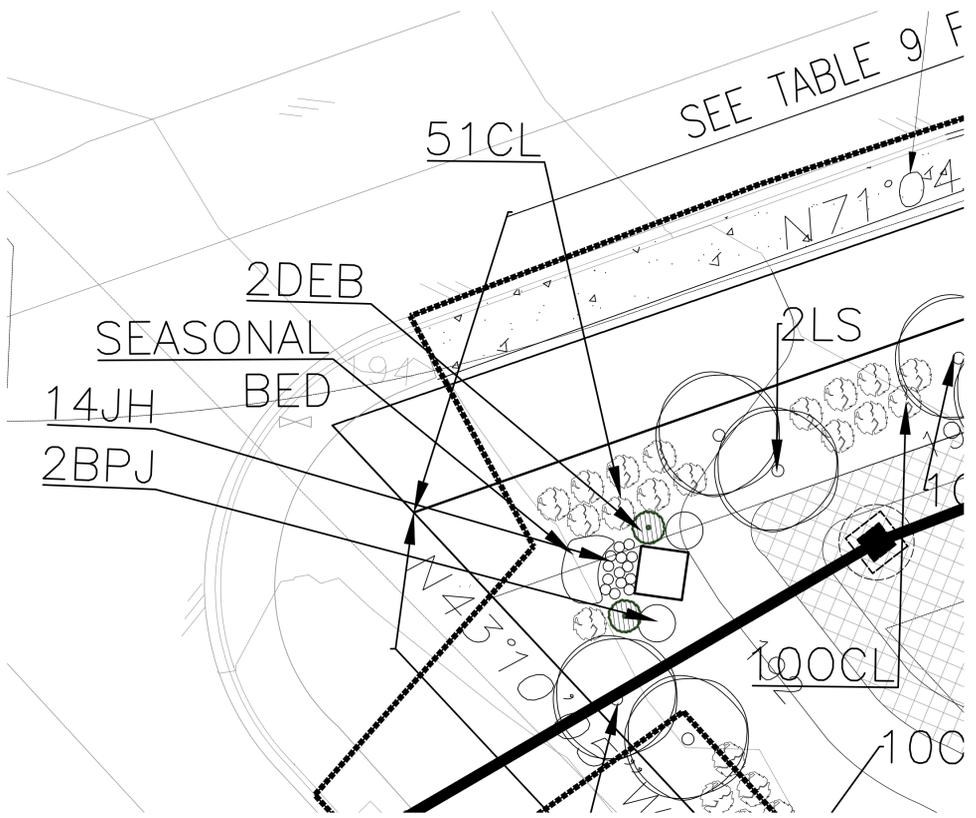
TABLE 10: INTERIOR PLANTING FOR PARKING LOT 7,000 SQUARE FEET OR LARGER SECTION 4.3-2

- 1) PARKING LOT AREA 26,270 SQFT.
- 2) INTERIOR LANDSCAPE AREA REQUIRED 8%: 2,100 SQFT.
- 3) INTERIOR LANDSCAPE AREA PROVIDED: 2,230 SQFT.
- 4) NUMBER OF SHADE TREE REQUIRED: 8
- 5) NUMBER OF SHADE TREE PROVIDED: 8
- 6) IS A MINIMUM OF 160 SQFT. OF CONTIGUOUS PERVIOUS LAND AREA PROVIDED PER SHADE TREE? YES
- 7) IS THERE A PLANTING ISLAND ON A AVERAGE EVERY 10 SPACES?: YES
- 8) IS THERE A CURB OR WHEEL STOP PROVIDED FOR ALL PARKING SPACES ABUTTING A PLANTING OR PEDESTRIAN AREA? YES
- 9) ARE THE PLANTING ISLANDS THAT ARE EITHER PARALLEL OR PERPENDICULAR TO PARKING SPACES ON BOTH SIDES A MINIMUM OF 9 FEET WIDE? YES
- 10) IS THE PLANTING ISLAND THAT IS PERPENDICULAR TO PARKING SPACES ON ONE SIDE MINIMUM 6 FEET WIDE? YES



SHRUB PLANTING

SCALE: NOT TO SCALE



MONUMENT SIGN PLANTING DETAIL

SCALE: NOT TO SCALE



PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF STATE OF MARYLAND.

LICENSE NO: 41016,

EXPIRATION DATE: 8-11-2021

THIS BLOCK FOR OFFICIAL USE ONLY
 OR label certifies that this plan meets conditions of final approval by the Planning Board, its designee or the District Council.
 M-NCPPC APPROVAL

PROJECT NAME: GIAC SON BUDDHIST TEMPLE
 PROJECT NUMBER: DSP-20002
 For Conditions of Approval see Site Plan Cover Sheet or Approval Sheet
 Revision number must be included in the Project Number

GIAC SON BUDDHIST TEMPLE
 11801 LAUREL BOWIE ROAD
 LAUREL MARYLAND

LANDSCAPE DETAILS

LUU L PHU, PE
 2524 NESTLEBROOK TRAIL
 VIRGINIA BEACH, VA 23456
 PH 757-401-5895

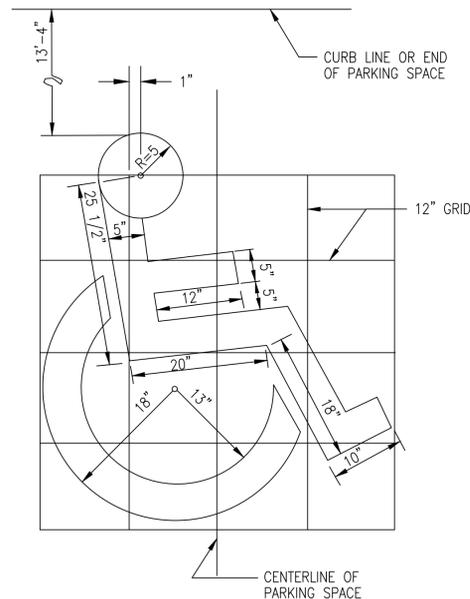
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LFP	CMD	
DATE	12/23/22	SCALE: GRAPHIC

SHEET

13

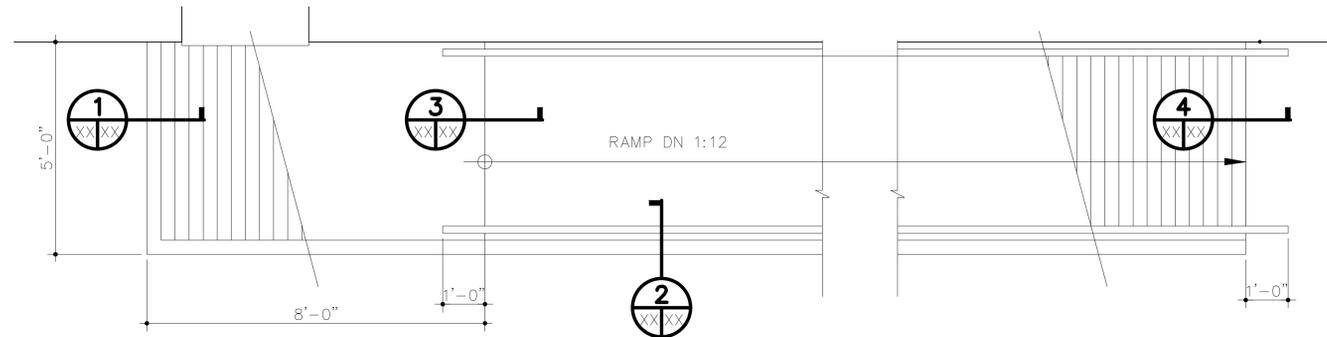
13 OF 16

COMMENTS:



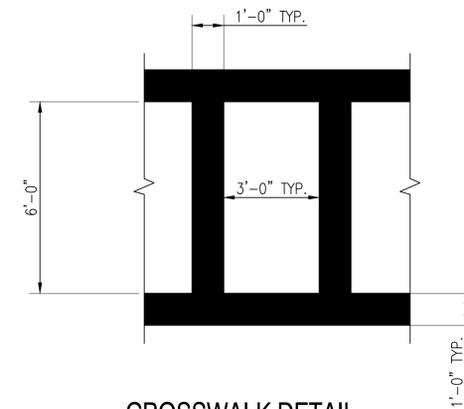
HANDICAP PARKING SYMBOL

NOT TO SCALE



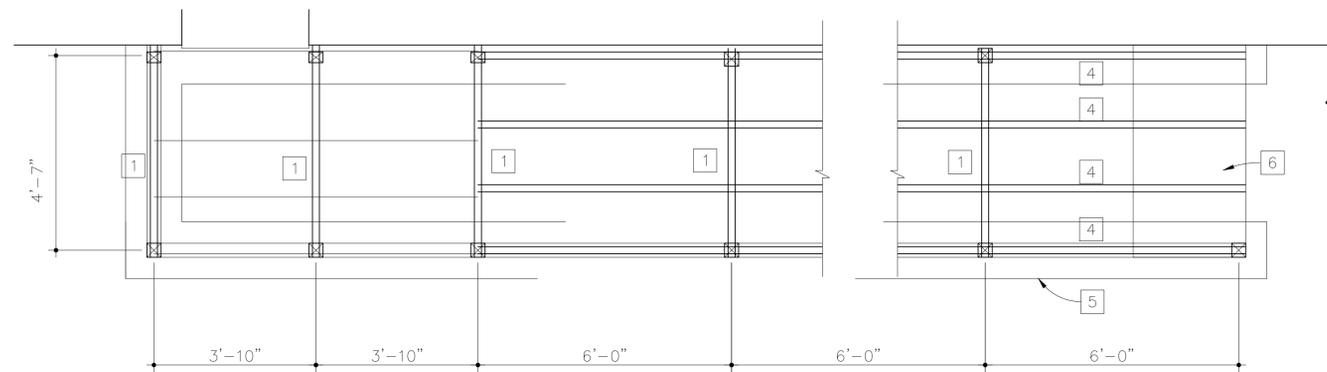
RAMP PLAN

1/2" = 1'-0"



CROSSWALK DETAIL

NOT TO SCALE



TMPL/BUILDING RAMP'S FRAMING PLAN

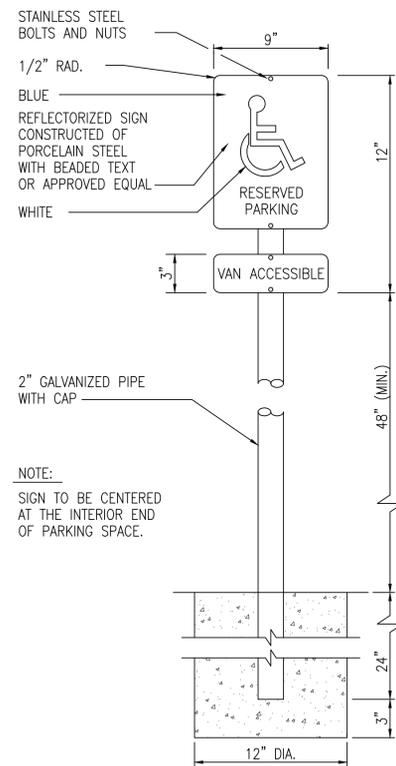
1/2" = 1'-0"

FRAMING PLAN NOTES

- 1 TRTD 2-2X6 GIRDER
- 2 TRTD 2X6 JOISTS AT 16" OC
- 3 TRTD 4x4 POST WITH SIMPSON BC4 POST BASE
- 4 TRTD 2-2X6 STRINGER
- 5 16"x10"xCONT CONC FOOTING
- 6 6" CONC STRINGER LANDING PAD

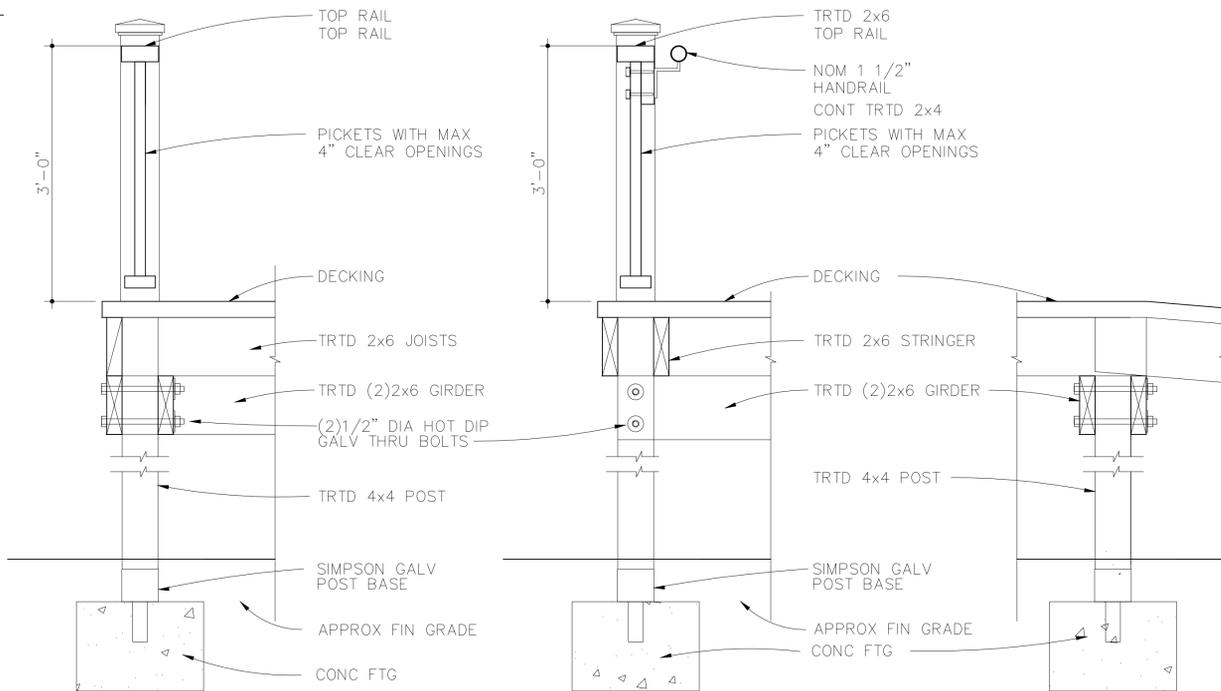


12/23/2022
DATE



HANDICAP PARKING SIGN

NOT TO SCALE



1 DETAIL

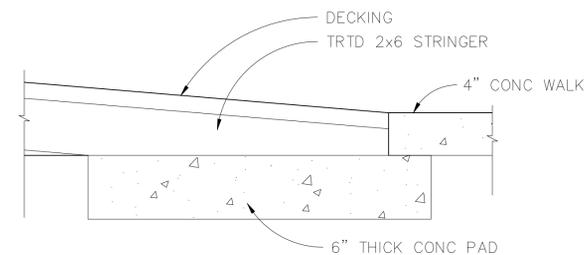
1 1/2" = 1'-0"

2 DETAIL

1 1/2" = 1'-0"

3 DETAIL

1 1/2" = 1'-0"



4 DETAIL

1 1/2" = 1'-0"

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M-NCPPC APPROVAL

PROJECT NAME: GIAC SON BUDDHIST TEMPLE
PROJECT NUMBER: DSP-20002

For Conditions of Approval see Site Plan Cover Sheet or Approval Sheet
Revision number must be included in the Project Number

REVISIONS	DESCRIPTION	DATE	KEY

GIAC SON BUDDHIST TEMPLE
11801 LAUREL BOWIE ROAD
MARYLAND
LAUREL

SITE PLAN DETAILS

DESIGN	DRAWN	CHECKED	PROJ.MGR.

SHEET **14** OF 16

DATE : 10/28/22 SCALE: GRAPHIC

COMMENTS:

POS SALES RECEIPT
Planning Department
Clerk: Theresa.Windsor
Date: 01/18/2023 @ 2:03 P

Description	Ext Price
DSP-Resid/over 10 - Base Fee	2,000.00

Special Questions:
Case Number #? dsp-20002

GIS - Zoning Sketch Map	12.00
Sign - UD w/in ROW All Others	60.00
2 @ \$30.00	

Special Questions:
Case Number #? dsp-200002

Total New Fees	2,072.00
Discount Applied	0.00
Total New Taxes	0.00
Total Due	2,072.00
Total Fees Paid	2,072.00
Total Taxes Paid	0.00
Total Paid	2,072.00

Payment of: 2,072.00 Made By:CREDIT
CARD Auth: 09489D Card#:
xxxxxxxxxxxx4289

Receipt # 6227129

APPLICATION FORM FOR NRI EQUIVALENCY LETTER ONLY

APPLICANT TO FILL OUT THIS SECTION

Owner Name and Address: Giac Son Buddhist Temple Corp 11801 Laurel Bowie Rd Laurel, MD 20707	Agent/Contact, Company, Address, Phone and E-mail (all required): Dawn Nguyen 11801 Laurel Bowie Rd., Laurel, MD 20707 Phone: (301) 792-7499, email: giacsonbuddisttemple@gmail.com Signature: DAWN NGUYEN <small>Digitally signed by DAWN NGUYEN Date: 2019.10.24 09:33:49P</small>
Date: <u>10/24/2019</u>	

PROPERTY OR PROJECT NAME: Giac Son Buddhist Temple

Street Address: 11801 Laurel Bowie RD., Laurel, MD 20707

Previous Applications (NRI, TCP1, or TCP2):

Previous DRD applications: (Preliminary Plan, Site Plan, or Special Exception):

Total Area (acres):	1.64	Tax Account #: 1063833 & 1063825	WSSC Grid: 215 NE 09
---------------------	------	----------------------------------	----------------------

Lot/Block/Parcel:	27 & 28	Current Zone: R-R	Environmental Strategy Area (ESA) (Plan 2035): <input type="checkbox"/> 1 <input checked="" type="checkbox"/> 2 <input type="checkbox"/> 3 <input type="checkbox"/> 4
-------------------	---------	-------------------	---

Proposed Activity: Temple (Worship Place) and associated improvements

Will the proposed project require a DRD application? (Preliminary Plan, Site Plan, or Special Exception) Y N

NRI EQUIVALENCY LETTER CHECKLIST: each box must either be checked or listed as "N/A" for not applicable

For Project Type 1 and 2	For Project Type 1 only:	Project Type 2 only
<input checked="" type="checkbox"/> (1) copy of a proposed Site Plan showing existing conditions (signed) <input type="checkbox"/> (2) copies of any other information provided by the applicant and listed here: <input type="checkbox"/> (3) Coversheet	If Exempt from Woodland Conservation, submit one of the following: <input checked="" type="checkbox"/> Application for Letter of Exemption, or <input type="checkbox"/> Copy of a previously Issued Letter of Exemption (Standard or Numbered)	If subject to Woodland conservation: <input type="checkbox"/> (1) copy of approved TCP2 (if applicable). CBCA #: _____ Other: _____

RESPONSE (TO BE COMPLETED BY EPS STAFF)

Date Received: 11/19/2019 Reviewed for Acceptance by: BFE NRI No.: NRI-150-2019
 Reason for return of the package: N/A Date Returned: N/A
 Dated Accepted: 12/04/2019 Reviewer Assigned: BFE Due Date: 01/04/2020 (30 days from acceptance date)

This **APPROVAL for the above referenced project and location** is based upon information using the submitted proposed site plan and the most current color imagery aerial photography and the PGAtlas.com environmental layers. If the scope of the proposed activity or limits of disturbance change significantly, a full NRI may be required. This letter is valid for five years from the date of issuance, or until such time as a different development activity is proposed, whichever comes first. The submitted request was found to meet the following checked criteria.

<input checked="" type="checkbox"/>	The site qualifies for a Standard or Numbered Letter of Exemption s-182-2019 from the Prince George's County Woodland and Wildlife Habitat Conservation Ordinance.
<input type="checkbox"/>	The site has a previously approved and implemented Type Tree Conservation Plan ().
<input checked="" type="checkbox"/>	The submitted proposed site plan, dated <u>5/17/19</u> and prepared by <u>RAM L. SHRESTHA</u> demonstrates that no regulated environmental features are located on the subject site or no on-site regulated environmental features will be impacted.
<input type="checkbox"/>	The submitted proposed site plan dated _____ and prepared by _____ shows that the proposed work will not result in any significant changes to the limits of disturbance of the previously approved TCP _____ or create any additional impacts to any regulated environmental features.
<input type="checkbox"/>	The site is within the Chesapeake Bay Critical Area Overlay Zone and the submitted site plan demonstrates that the proposed activity will result in less than 500 square feet of disturbance, or no variance is required.
<input type="checkbox"/>	(Other)

A FLOODPLAIN STUDY MAY BE REQUIRED AT THE TIME OF STORMWATER CONCEPT REVIEW.

Preparer Initials: <u>Brent Efuno</u> <small>Digitally signed by Brent Efuno Date: 2019.12.13 15:34:13 -05'00'</small>	Planner Initials: <u>Brent Efuno</u> <small>Digitally signed by Brent Efuno Date: 2019.12.13 15:34:28 -05'00'</small>
Approval Date: <u>12/13/2019</u>	Expiration Date: <u>12/13/2024</u>



VICINITY MAP
NOT TO SCALE

GENERAL NOTES

THIS SURVEY WAS PREPARED WITHOUT BENEFIT OF A TITLE REPORT WHICH MAY REVEAL ADDITIONAL CONVEYANCES, EASEMENTS, OR RIGHTS-OF-WAY NOT SHOWN HEREON.

THE HORIZONTAL DATUM SHOWN HEREON IS BASED ON MARYLAND GRID NORTH NAD83.

THE VERTICAL DATUM SHOWN HEREON IS BASED ON NAVD88 PER GPS OBSERVATIONS.

NO PORTION OF THIS PROPERTY IS LOCATED IN A SPECIAL FLOOD AREA AS PER F.I.R.M. COMMUNITY PANEL NO. 245208020C DATED 6-18-1987.

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM ABOVE GROUND FIELD SURVEY INFORMATION. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

RELEASE DESCRIPTION
DATE:

A SURVEY PREPARED FOR:

GIAC SON BUDDHIST TEMPLE



SURVEY PREPARED BY:

POINT TO POINT LAND SURVEYORS
1010 Pennsylvania Avenue
McDonough, GA 30263
(p) 678-565-4440 (f) 678-565-4497
(w) pointtopointsurveyors.com



TAX MAP: 14
GRID: F3
PARCEL: 27 & 28
CITY: LAUREL
COUNTY: PRINCE GEORGE'S
STATE: MARYLAND
DATE: 19 Jan 2018
DRAWN BY: P2P
CHKD BY: DMM
APPRVD BY: D. MILLER
JOB #: M17.0292
FILE #:

SHEET NUMBER:

1

OF 1 SHEETS

BOUNDARY & TOPOGRAPHIC SURVEY

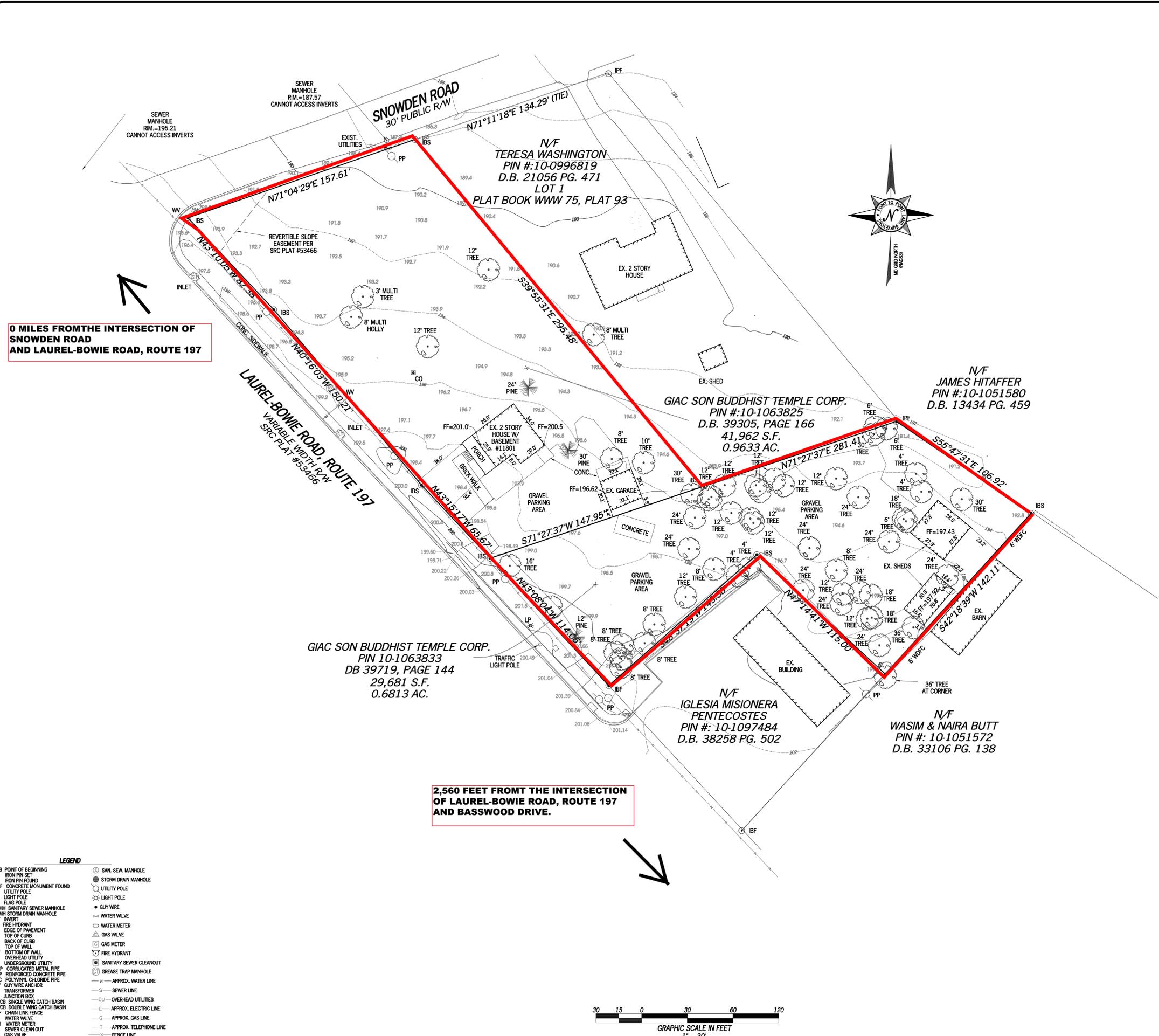
PIN #10-1063825 & 10-1063833
TAX MAP 14 GRID F3 PARCEL 27 & 28
11801 LAUREL BOWIE ROAD
LAUREL, MD 20707
10TH DISTRICT
PRINCE GEORGE'S COUNTY, MARYLAND

SURVEYOR'S CERTIFICATE

THIS IS TO CERTIFY THAT THIS PLAT AND THE SURVEY ON WHICH IT IS BASED WERE PREPARED UNDER MY RESPONSIBLE CHARGE AND IS IN COMPLIANCE WITH REQUIREMENTS SET FORTH IN COMAR, TITLE 9, MARYLAND DEPARTMENT OF LICENSING AND REGULATION FOR PROFESSIONAL LAND SURVEYORS, IN EFFECT AS OF 1995.

THIS PLAT WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT WHICH MAY SHOW ADDITIONAL EASEMENTS, RIGHTS-OF-WAY, OR OTHER RESTRICTIONS OR ENCUMBRANCES NOT SHOWN HEREON.

David M. Miller 1-19-2018
DAVID M. MILLER DATE
PROFESSIONAL LAND SURVEYOR #21427 (LIC. EXP. 12-28-18)



THE PRINCE GEORGE'S COUNTY GOVERNMENT



Department of Permitting, Inspections and Enforcement

Site/Road Plan Review Division

9400 Peppercorn Place, Suite 420

Largo, Maryland 20774

(301) 883-5710



STORMWATER MANAGEMENT CONCEPT APPROVAL

CASE NAME: LAUREL, PARCELS 27, 28_Giac Son Buddist Temple CASE #: 51711-2019-00
APPLICANT'S NAME: Giac Son Buddhist Temple Corp
ENGINEER : Luu L Phu

REQUIREMENTS:

Technical Review is required for PUBLIC/PRIVATE Storm Drain/SWM Construction.

Type of Storm Drainage/SWM Construction is PRIVATE.

These additional approvals are required: STATE HIGHWAY ADMINISTRATION.

These fees apply: REVIEW, FEE-IN-LIEU.

These bonds apply: None.

Required water quality controls: MICRO-BIORETENTION.

Required water quantity controls: None.

A maintenance agreement is required.

No special conditions apply.

Required easements: None.

**Storm Water Management fee payment of \$534.00 in lieu of providing on-site attenuation/quality control measures.
(Fee-In-Lieu subject to change during technical review.)**

CONDITIONS OF APPROVAL:

Please see second page.

APPROVED BY:

Rey De Guzman

APPROVAL DATE: June 2, 2020

EXPIRATION DATE: June 2, 2023

FOR OFFICE USE ONLY

ADC MAP:	5289 G-2	200' SHEET:	215NE09
STREET NAME:	LAUREL BOWIE RD		
WATERSHED:	01-Patuxent River		
NUMBER OF DU'S:	0	COST PER DWELLING:	0

THE PRINCE GEORGE'S COUNTY GOVERNMENT



Department of Permitting, Inspections and Enforcement

Site/Road Plan Review Division

9400 Peppercorn Place, Suite 420

Largo, Maryland 20774

(301) 883-5710



STORMWATER MANAGEMENT CONCEPT APPROVAL

CASE NAME:

LAUREL, PARCELS 27, 28_Giac Son Buddist Temple

CASE #:

51711-2019-00

CONDITIONS OF APPROVAL:

1. THIS PROJECT INVOLVES REDEVELOPMENT OF AN EXISTING DEVELOPED SITE. SITE SHALL BE DESIGNED TO TREAT FOR 100% WQ_v OF THE IMPERVIOUS AREA WITHIN THE PROPOSED DISTURBED AREA AND 100% WQ_v AND CPV FOR NEW IMPERVIOUS AREA USING ESD PRACTICES AND TECHNIQUES.
 2. SITE DEVELOPMENT PERMIT REQUIRED TO INCLUDE ULTIMATE R/W FRONTAGE IMPROVEMENTS, INCLUDING STORM DRAINAGE, STREET TREES AND STREET LIGHTING AND ON-SITE GRADING.
 3. ULTIMATE RIGHTS-OF WAY CONVEYANCE IS REQUIRED PRIOR TO BUILDING PERMIT ISSUANCE. 30 FEET FROM THE ULTIMATE CENTERLINE OF SNOWDEN ROAD.
 4. SHA APPROVAL REQUIRED.
 5. ADEQUACY ANALYSIS OF THE RECEIVING CONVEYANCE SYSTEM IS REQUIRED.
 6. THIS PROJECT INVOLVES CONSTRUCTION OF A WORSHIP COMMUNITY HALL, A CONCRETE PAD FOR A STATUE, MODIFIED PARKING AREA STORMWATER MANAGEMENT FACILITY AND A ROAD FRONTAGE IMPROVEMENT FOR SNOWDEN ROAD.
 7. SOIL BORING REPORT REQUIRED DURING TECHNICAL REVIEW FOR THE PROPOSED MICRO BIO-RETENTION (MB-2) TO CHECK THE GROUND WATER ELEVATION.
 8. 100 YEAR OVERFLOW PATH SHOULD NOT SPILL OVER ADJACENT RESIDENTIAL PROPERTY AND THE 100 YEAR WATER LEVEL ON THE PROPOSED DEVICE (MB-2) AND GRASS CHANNEL SHALL BE PROVIDED DURING TECHNICAL REVIEW.
- REVIEWED BY ZW

STANDARD DRAWING LEGEND & ABBREVIATIONS

	EXISTING (E.)	NEW
BITUMINOUS PAVEMENT		
BUILDING		
CONCRETE (CONC.)		
MINOR CONTOUR		
MAJOR CONTOUR		
CURB AND GUTTER		
DRY SWALE		
GRASS CHANNEL		
MICRO BIORETENTION		
FIRE HYDRANT (F.H.)		
SIGN		
TREE		
OVERHEAD (OH.) LINE		
SANITARY (SAN.) SEWER		
APPROX. ELECTRIC LINE		
APPROX. WATER LINE		
APPROX. GAS LINE		
APPROX. TELEPHONE LINE		
SAN. SEWER MANHOLE		
STORM DRAIN INLET		
STORM DRAIN MANHOLE		
SANITARY SEWER CLEANOUT		
STORM DRAIN PIPE		
SOIL BORING		
LIGHT POLE		
UTILITY POLE		
WATER VALVE (W.V.)		
BACK OF CURB		
CONCRETE MONUMENT FOUND		
EDGE OF PAVEMENT		
FIRE HYDRANT		
GAS VALVE		
IRON PIN SET		
IRON PIN FOUND		
INVERT		
PROPOSED		
STORM DRAIN MANHOLE		
SANITARY SEWER CLEANOUT		
TOP OF CURB		
SANITARY MANHOLE TYPICAL		
WATER METER		
WATER VALVE		

CONCEPTUAL SITE PLAN

FOR

GIAC SON BUDDHIST TEMPLE

11801 LAUREL BOWIE ROAD
LAUREL, MD 20708

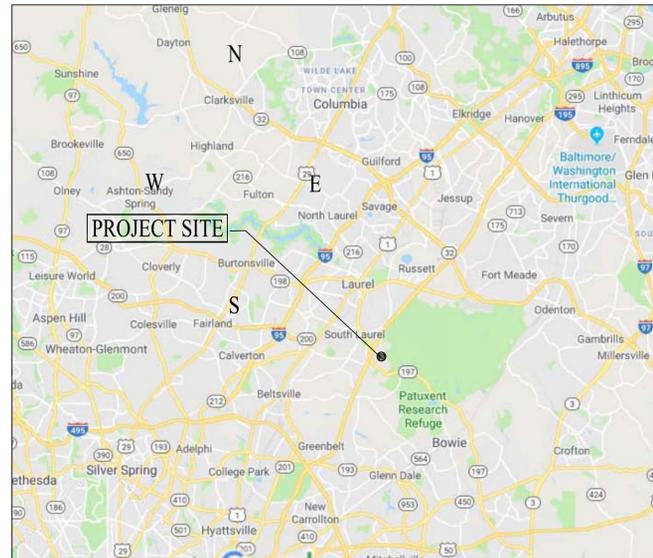
Prince George's County Maryland
Department of Permitting, Inspections & Enforcement
APPROVED PLAN SET

The Department of Permitting, Inspections and Enforcement has completed a review of this document for code compliance. As required by State Code, the design professional(s) responsible for the preparation and content of this document must provide a record copy of these documents with their original seal, signature and date.

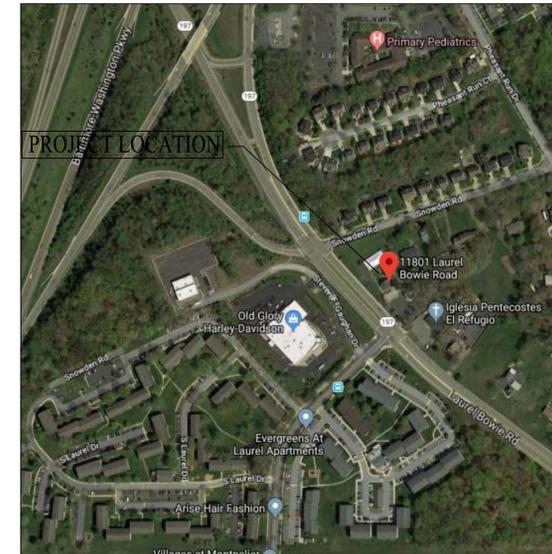
Case Name: LAUREL, PARCELS 27, 28, Giac Son Buddhist Temple
Case Number (Plan Approval #): 51711-2019-0
Case Type: SWM
Issuance Date: 6/2/2020
Address: 11801 LAUREL BOWIE RD LAUREL, Maryland 20708
Lot(s) and Block(s): Parcels 27, 28
Reviewed by ZW

APPROVED BY:

Rey De Guzman



VICINITY MAP
ADC MAP 5289G2
WSSC GRID 219 NE 09



LOCATION MAP

APPLICANT/OWNER:
GIAC SON BUDDHIST TEMPLE CORP.
11801 LAUREL BOWIE RD.
LAUREL, MD 20708
PHONE: 301-792-7499

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF STATE OF MARYLAND.

LICENSE NO: 41016, EXPIRATION DATE: 8-11-2021

MISS UTILITY
FOR LOCATION OF UTILITIES CALL 1-800-257-7777
48 HOURS IN ADVANCE OF ANY WORK IN THE VICINITY

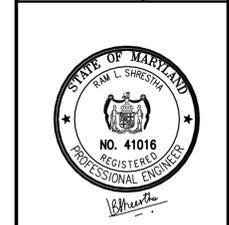
Prince George's County Government Department of Permitting, Inspections and Enforcement Site/Road Plan Review Division 9400 Peppercorn Place, Suite 230 Largo, Maryland 20774																		
Final Plan BMP SUMMARY TABLE																		
Revision Date: November 19, 2014																		
Project Name:	Concept No.:	Permit No.:	Pmt Issue Date:	Cons Cmpl Date:	Maint Agrmt L/F:	Total Site Acreage: 1.64 ac.												
POI	LABEL	NAME	MD NORTH	MD EAST	LAND USE	CONSTRUCTION PURPOSE	DRAINAGE AREA (AC)	TOTAL IMPERVIOUS AREA (AC)	NEW IMPERVIOUS AREA (AC)	EXISTING IMPERVIOUS AREA (AC)	PERCENT IMPERVIOUS	Rv	TARGET P _i (IN)	TARGET VOL (FT ³)	DESIGN VOL (FT ³) ESD Practices	DESIGN VOL (FT ³) Structural Practices	RCN	ON_OFF_SITE
	MB-1	Micro-Bioretention	504,840	1,358,746	Institutional	REDE	0.45	0.26	0.23	0.03	58%	0.57	1.80	1,676	2,184	0	70	On Site
	MB-2	Micro-Bioretention	504,778	1,358,956	Institutional	REDE	0.46	0.29	0.08	0.21	63%	0.62	1.80	1,363	1,383	0	70	On Site
Required ESDs for Site =															3,371	cf		
Provided ESDs =															3,567	cf		

SHEET INDEX

- COVER SHEET
- EXISTING CONDITION & DEMOLITION PLAN
- STORMWATER MANAGEMENT CONCEPT PLAN
- PRE, AND POST DRAINAGE AREA MAP
- ESD DRAINAGE AREA MAP

REVISIONS	KEY	DATE	DESCRIPTION

GIAC SON BUDDHIST TEMPLE
11801 LAUREL BOWIE ROAD
LAUREL, MARYLAND

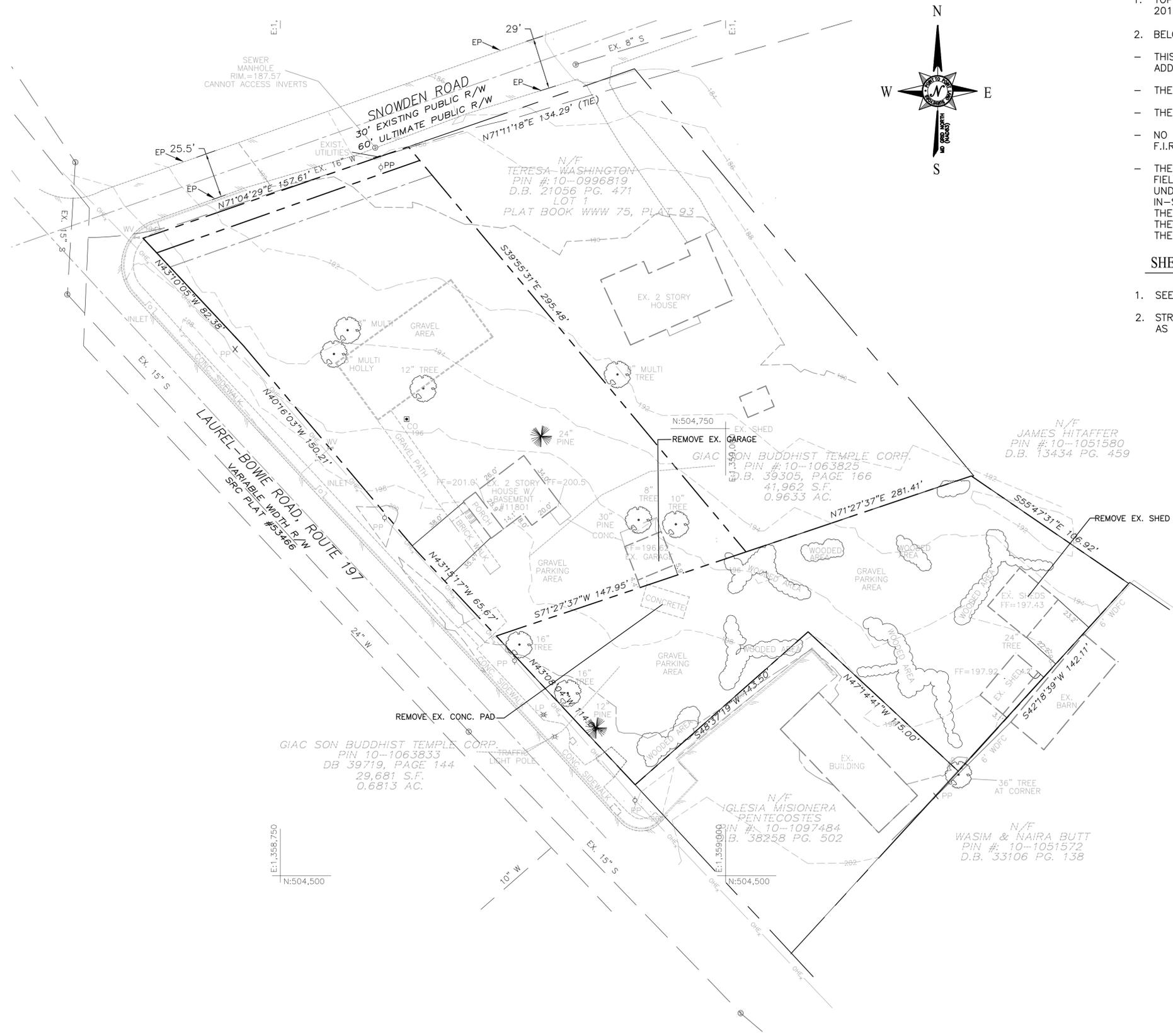


LUU L PHU, PE
2524 NESTLEBROOK TRAIL
VIRGINIA BEACH, VA 23456
PH 757-401-5895

DESIGN: LLP
DRAWN: CAD
CHECKED: PROJ.MGR.
DATE: 4/26/20

SHEET
C-001
1 OF 5

COMMENTS:



SURVEY NOTES:

- TOPOGRAPHIC SURVEY WAS PROVIDED BY POINT TO POINT LAND SURVEYOR ON JAN 19, 2018.
- BELOW IS THE SURVEY NOTES PROVIDED BY "POINT TO POINT LAND SURVEYOR"
 - THIS SURVEY WAS PREPARED WITHOUT BENEFIT OF A TITLE REPORT WHICH MAY REVEAL ADDITIONAL CONVEYANCES, EASEMENTS, OR RIGHT-OF-WAY NOT SHOWN HERON.
 - THE HORIZONTAL DATUM SHOWN HERON IS BASED ON MARYLAND GRID NORTH NAD83.
 - THE VERTICAL DATUM SHOWN HERON IS BASED ON NAVD88 PER GPS OBSERVATIONS.
 - NO PORTION OF THIS PROPERTY IS LOCATED IN A SPECIAL FLOOD AREA AS PER F.I.R.M COMMUNITY PANEL NO. 2452080020C DATED 6-18-1987.
 - THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM ABOVE GROUND FIELD SURVEY INFORMATION. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICES OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

SHEET NOTES:

- SEE SHEET C-001 ABBREVIATIONS AND LEGEND.
- STRUCTURE OR SITE FEATURE, WHICH IS NOT INDICATED TO BE REMOVED AS SHOWN ON THIS SHEET, SHALL REMAIN.

Prince George's County Maryland
 Department of Permitting, Inspections & Enforcement
APPROVED PLAN SET

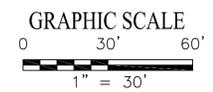
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Case Name: LAUREL, PARCELS 27, 28, Giac Son Buddhist Temple
 Case Number (Plan Approval #): 51711-2019-0
 Case Type: SWM
 Issuance Date: 6/2/2020
 Address: 11801 LAUREL BOWIE RD LAUREL, Maryland 20708
 Lot(s) and Block(s): Parcels 27, 28
 Reviewed by ZW

APPROVED BY:

 Rey De Guzman

EXISTING SITE CONDITIONS & DEMOLITION PLAN
 SCALE: 1"=30'



REVISIONS	DESCRIPTION	DATE	KEY

GIAC SON BUDDHIST TEMPLE
11801 LAUREL BOWIE ROAD
 MARYLAND
 LAUREL

EXISTING SITE CONDITIONS & DEMOLITION PLAN



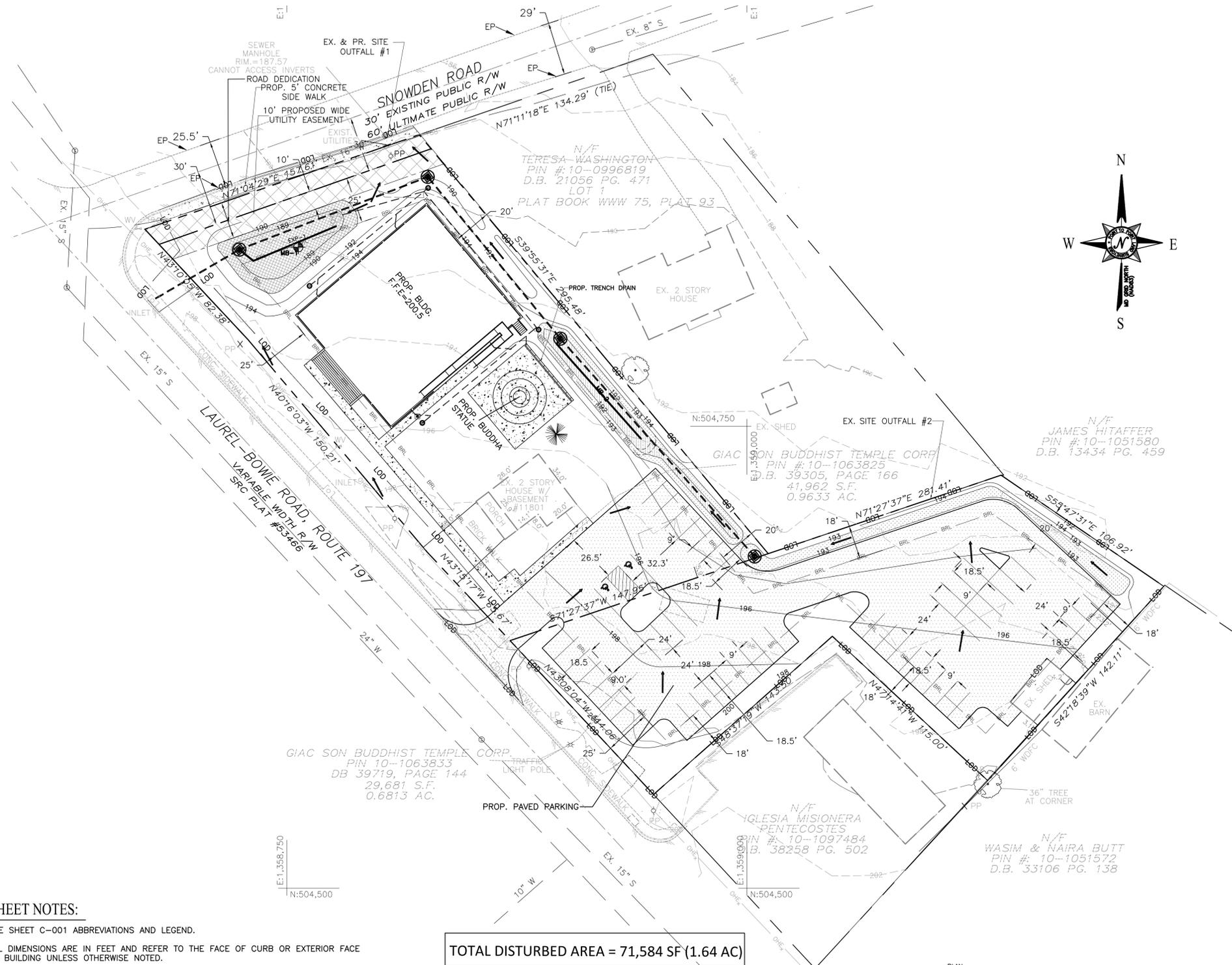
LUU L. PHU, PE
 2524 NESTLEBROOK TRAIL
 VIRGINIA BEACH, VA 23456
 PH 757-401-5895

DESIGN	DRAWN	CHECKED	PROJ.MGR.
L.P.	CAD		

DATE: 04/26/20 SCALE: GRAPHIC

SHEET
C-101
 2 OF 5

COMMENTS:



TOTAL DISTURBED AREA = 71,584 SF (1.64 AC)

SITE LAYOUT
SCALE: 1" = 30'



SITE NOTES:

- PROPERTY ADDRESS: 11801 LAUREL BOWIE RD., LAUREL, MD 20707
- PROPERTY TAX ID: 1063825 & 10633833
- RECORD PLAT: N/A
- THERE ARE NO PRIOR APPROVALS ON RECORDS.
- AREA : PARCEL 27 = 0.96 AC. & PARCEL 28 = 0.68 AC. TOTAL GROSS TRACT AREA: 1.64 AC.
- WATERSHED: UPPER PATUXENT RIVER
- ELECTION DISTRICT: 10, LAUREL
- COUNCILMANC DISTRICT: 1
- EXISTING ZONE: R-R
PROPOSED ZONING: R-R
ADJOINING PROPERTY : R-55 (NORTH), R-R (EAST), C-M (WEST) & C-A (SOUTH)
- PROPOSED USE OF THE PROPERTY: BUDDHIST TEMPLE (PLACE OF WORSHIP)
- MINIMUM LOT WIDTH AT FRONT BUILDING LINE AND FRONT STREET LINE.
FRONT BUILDING SETBACK: 25'
SIDE BUILDING SETBACKS: 35'/17'
REAR BUILDING SETBACKS: 20'
BUILDING HEIGHT : 35 FEET
- STORM WATER MANAGEMENT APPROVAL DATE:
- SEWER/WATER CATEGORIES: S-3/W-3
- TAX MAP/GRID: 0014/00F3
- LOT: N/A, BLOCK: N/A, PARCEL: 27 & 28
- 200 SHEET NO: 215 NE 09
- ENVIRONMENTAL INFORMATION
THERE IS NO 100 YEAR FLOOD PLAIN ON SITE.
THIS PROPERTY IS NOT WITHIN CHESAPEAKE BAY CRITICAL AREA OVERLAY.
THERE ARE NO WETLANDS AND WATER OF THE USA ON SITE.
THERE ARE NO STREAMS WITHIN THE SITE.
- THERE ARE NO KNOWN HISTORICAL SITES IN THE VICINITY OF THE PROPERTY.
- THIS SITE IS EXEMPT FROM THE WOODLAND CONSERVATION ORDINANCE
- THERE ARE NO CEMETERIES ON OR CONTIGUOUS TO THE PROPERTY.
- THE REQUIRED 10' PUBLIC UTILITY EASEMENT WILL PROVIDED AS REQUIRED.
- TOPOGRAPHY SOURCES:
BOUNDARY SURVEY DETERMINED BY POINT TO POINT LAND SURVEYORS.
PRINCE GEORGE COUNTY GIS.
- SOIL TYPES ARE AS FOLLOW:
CdD (CHRISTIANA-DOWNER-URBAN LAND COMPLEX)
RcB (RUSSEL-CHRISTINA COMPLEX)
UdGf (UDORTHENTS, HIGHWAY)
- TEMPLE (PLACE OF WORSHIP)
SEATING CAPACITY = 160
REGULAR PARKING : REQ'D = 40 PROVIDED = 57
HANDICAP PARKING : REQ'D = 02 PROVIDED = 2

SHEET NOTES:

- SEE SHEET C-001 ABBREVIATIONS AND LEGEND.
- ALL DIMENSIONS ARE IN FEET AND REFER TO THE FACE OF CURB OR EXTERIOR FACE OF BUILDING UNLESS OTHERWISE NOTED.

Prince George's County Maryland
Department of Permitting, Inspections & Enforcement
APPROVED PLAN SET

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Case Name: LAUREL, PARCELS 27, 28 Giac Son Buddhist Temple
Case Number (Plat Approval #): 51711C20194
Case Type: SWM
Issuance Date: 6/2/2020
Address: 11801 LAUREL BOWIE RD LAUREL, Maryland 20708
Lot(s) and Block(s): Parcels 27, 28

Reviewed by ZW
APPROVED BY:

Rey De Guzman

REVISIONS	DESCRIPTION	DATE	KEY

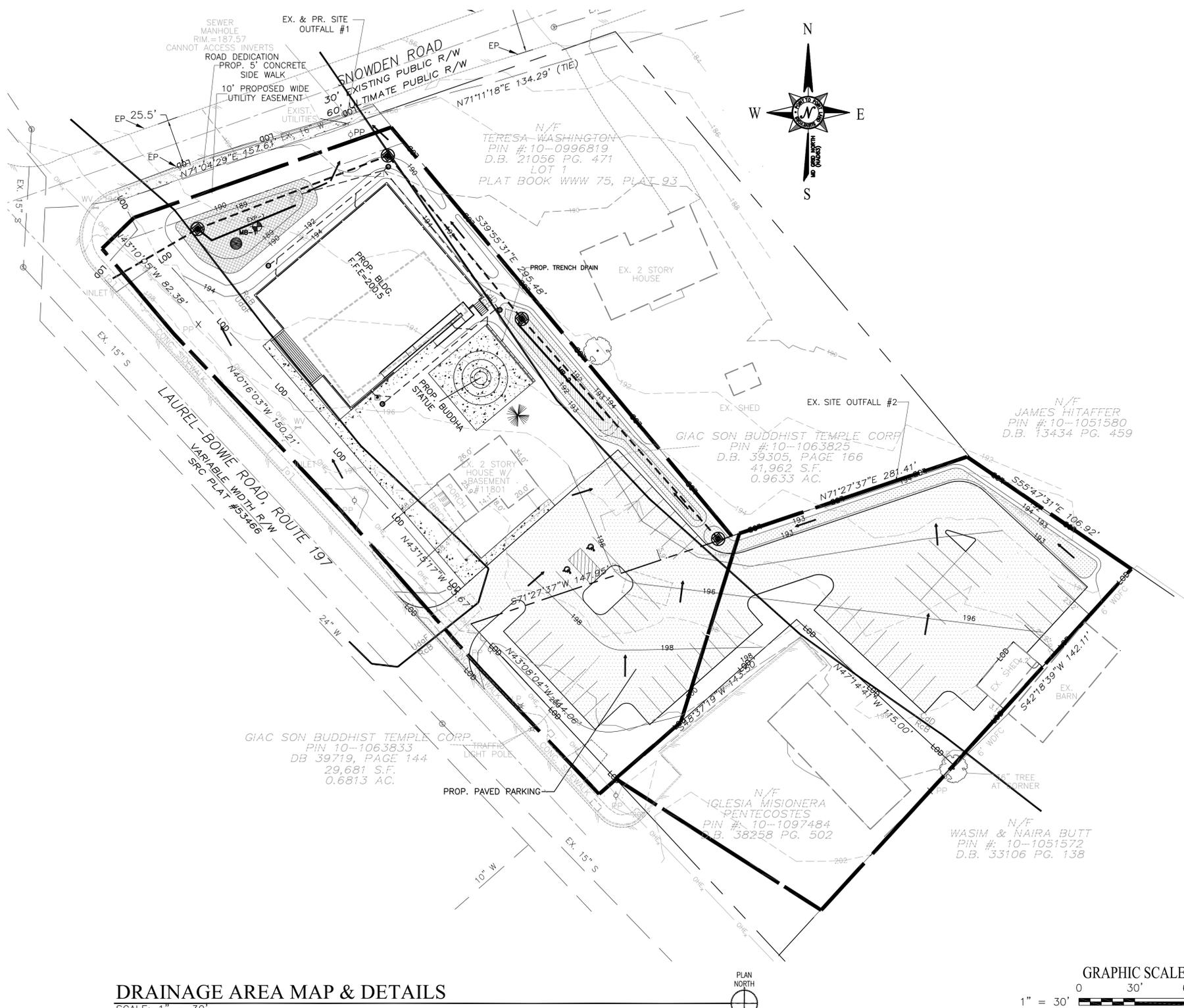
GIAC SON BUDDHIST TEMPLE
11801 LAUREL BOWIE ROAD
LAUREL MARYLAND
STORMWATER MANAGEMENT CONCEPT PLAN



LUU L PHU, PE 2524 NESTLEBROOK TRAIL VIRGINIA BEACH, VA 23456 PH 757-401-5895	DESIGN	PROJ. MGR.	SCALE: GRAPHIC
	DRAWN	CHECKED	
DATE :	04/26/20	SCALE:	GRAPHIC

SHEET
C-102
3 OF 5

COMMENTS:



DRAINAGE AREA MAP & DETAILS
SCALE: 1" = 30'

SITE OUTFALLS FLOW SUMMARY						
Condition	Area (ac.)	Tc (hr)	CN	Q1 (cfs)	Q10 (cfs)	Q100 (cfs)
EX. Site outfall - 1	1.26	0.10	85	2.63	7.25	11.21
EX. Site outfall - 2	0.83	0.10	86	1.83	4.91	7.53
PR. Site outfall	2.05	0.10	85.6	4.43	11.99	18.46

MAP UNIT SYMBOL	SOIL NAME	Highly Erodible (K Rating)	Drainage Class	Hydrologic Class
CdD	Christiana-Downer- Urban land complex, 5 to 15 percent slopes	0.37		D
RcB	Russett-Christiana complex, 2 to 5 percent slopes	0.28	Moderately well drained	C
UdaF	Udorthents, highway, 0 to 65 percent slopes		Well drained	

Prince George's County Maryland
Department of Permitting, Inspections & Enforcement
APPROVED PLAN SET

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Case Name: LAUREL, PARCELS 27, 28, Giac Son Buddhist Temple
Case Number (Plan Approval #): 51711-2019-0
Case Type: SWM
Issuance Date: 6/2/2020
Address: 11801 LAUREL BOWIE RD LAUREL, Maryland 20708
Lot(s) and Block(s): Parcels 27, 28
Reviewed by ZW

APPROVED BY:

Rey De Guzman



REVISIONS	DESCRIPTION	DATE	KEY

GIAC SON BUDDHIST TEMPLE
11801 LAUREL BOWIE ROAD
LAUREL MARYLAND
PRE, AND POST DRAINAGE AREA MAP



LUU L PHU, PE
2524 NESTLEBROOK TRAIL
VIRGINIA BEACH, VA 23456
PH 757-401-5895

DESIGN	DRAWN	CHECKED	PROJ. MGR.
LPH	CAD		

DATE: 04/26/20 SCALE: GRAPHIC

SHEET
C-103
4 OF 4

COMMENTS:

APPLICATION FOR WOODLAND CONSERVATION LETTER OF EXEMPTION (WCO-Ex)

APPLICANT TO FILL OUT THIS SECTION - Refer to www.PGAtlas.com for Information
 HOVER OVER BLANK FIELDS FOR ADDITIONAL INFORMATION

Property Owner Name, Address, and Contact Info: Giac Son Buddhist Temple Corp 11801 Laurel Bowie Road Laurel, MD 20707	Agent/Contact Name, Company, Address, Phone & E-mail: Vy Do 11801 Laurel Bowie Road, Laurel, MD 20707 Phone: (301) 792-7499, email: giacsonbuddisttemple@gmail.com
--	---

Payment by check, money order, or cashier's check ONLY – made payable to M-NCPPC Please indicate name of project, address, or other identifying information on payment. <i>Do not staple payment.</i> Name on Check: <u>GIAC SON BUDDHIST TEMPLE</u> Check No. <u>588</u> APPLICATION FEE - \$50.00 Gov't Projects - Fee Waived	Agent/Contact Signature: Date: <u>04/21/2022</u>
--	---

PROJECT/PROPERTY NAME: **Giac Son Buddhist Temple**

Street Address (if available), *otherwise* Geographic Location in relation to nearest major road intersection:
 11801 & 11715 Laurel Bowie Road, Laurel MD 20707; At the eastern quadrant of Snowden Road & Laurel Bowie Rd (MD-197) intersection.

Companion Case(s) and/or Resolution(s) - Preliminary Plan, Site Plan, Special Exception, etc.:
 NRI-150-2019 (EL) and Permit No. 2038--2021-0

Total Area (acres): <u>1.64 ac.</u>	Tax Account #(s): <u>1063833 & 1063825</u>	
Total Number of Lots and/or Parcels: <u>2</u>	Current Zone(s): <u>R-R</u>	WSSC Grid: <u>215NE09</u>
Lot/Block/Parcel(s): Parcels 27 & 28	Proposed Woodland Clearing (ft ²): <u>0</u>	Environmental Strategy Area (ESA): <small>Located under the Environmental heading in PGAtlas</small> <input type="checkbox"/> 1 <input checked="" type="checkbox"/> 2 <input type="checkbox"/> 3 <input type="checkbox"/> 4
Proposed Activity: <u>Re-development to an existing Buddhist Temple (Place of Worship) which includes new Temple Building, parking, SWM facilities and associated improvement.</u>		

SITE PLAN: Preparer Qualifications: Engineer
 Date: 2/22/22 Prepared by: Ram Shrestha, P.E., Firm: Professional Engineer ID #: 41016

RESPONSE (TO BE COMPLETED BY EPS STAFF)

APPROVAL TYPE: <input type="checkbox"/> Numbered Exemption <input checked="" type="checkbox"/> Standard Exemption	Exemption Number:
Staff Reviewer: <u>WRC</u> Receipt Number: <u>8075</u> Filing Fee: <u>\$50.00</u>	S-104-2022

Your request for a **Standard Letter of Exemption** from the Prince George's County Woodland and Wildlife Habitat Conservation Ordinance (WCO) is hereby **approved**. This Standard Letter of Exemption is issued because the property has no previous TCP approvals and:

Is less than 40,000 square feet in size; and/or

Contains less than 10,000 square feet of woodland; or

The project is subject to the Maryland Forest Conservation Act and will be reviewed by Department of Natural Resources

Your request for a **Numbered Letter of Exemption** from the Prince George's County Woodland and Wildlife Habitat Conservation Ordinance (WCO) is hereby **approved**. This Letter of Exemption is issued because the site is over 40,000 square feet in size and contains over 10,000 square feet of woodland; however the project has no previous TCP approvals and:

Results in the clearing of less than 5,000 square feet of woodland. Proposed clearing is _____ ft². *If application is for a Revision, cumulative clearing to date (not including currently proposed) is _____ ft².*

The activity is a government or linear project that results in the clearing of less than 20,000 square feet of woodland. Proposed clearing is _____ ft². *Revisions: cumulative clearing to date (not including currently proposed) is _____ ft²; or*

The proposed activity is for a timber harvest.

This letter is valid for two years from the date of approval, or until such time as the cumulative woodland clearing exceeds the maximum amount specified above. If a development review application (preliminary plan, detailed site plan, etc.) is required, a Numbered Exemption may be considered invalid in accordance with Section 25-119(b)(5)(A).
A copy of this letter must be submitted at the time of development activity or permit application.

Staff Signature Approval: <u>Wendy</u> Contee, Wendy Date: 2022.05.11 08:57:16 -04'00'	Approval Date: <u>05/11/2022</u> Expiration Date: <u>05/11/2024</u>
--	--



GYAC SON BUDDHIST TEMPLE
 RAM L. SHRESTHA, PE.
 7425 MORRISON DR., GREENBELT, MD. 20770
 OFFICE (240) 581-0078

11801 Laurel Bowie Road
 Laurel MD.
 PRINCE GEORGE'S COUNTY, MARYLAND

Taken from :
 WETLAND INVENTORY GEOSPATIAL WETLAND DATA
www.fws.gov/Wetlands/Data/DataDownload
 (SCALE: 1" = 2000')

VICINITY MAP

Ram L. Shrestha, P.E., CFM, M.ASCE
CIVIL, LAND DEVELOPMENT & WATER RESOURCES ENGINEER

May 6, 2022

Prince Georges' County
Maryland-National Capital Park and Planning Commission
Development Review Division
14741 Governor Oden Bowie Drive,
Upper Marlboro, MD 20772

Re: Exempt from WSSC Checklist and Payment Receipt
Giac Son Buddhist Temple
11801 Laurel Bowie Road
Laurel, MD 20708
Tax Account # 1063825 &1063833

Dear Sir/Madam:

My client has been in process for Detail Site Plan application for the purpose of construction of a temple building, parking and associated improvements. The site comprises of two parcels of land totaling 1.62 acres and is zoned R-R (Rural Residential). The existing size of the gravity sewer line at the temple site is 4" PVC, and the existing water line size is 3/4" copper pipe.

Based on my calculation, the existing size of sewer and water pipes are capable of handling additional usage. I have contacted an engineer at The Washington Suburban Sanitary Commission (WSSC), and confirmed that Site Utility Plan is not required to submit for review since the sewer line is less than 6", and the water line is less than 2". The plumbing permit is required only during the water and sewer connection work being done by the licensed contractor. The contractor just has to pull the plumbing permit when starting the work. We believe due to the non-requirement of Site Utility Plan, a WSSC Checklist and Payment receipt will be exempted to process for Detail Site Plan submission

If you have any questions concerning this submittal, please contact us at your convenience.

Sincerely,

Ram L. Shrestha
Ram Lal Shrestha, P.E.
Engineer