



The Maryland-National Capital Park and Planning Commission
 Prince George's County Planning Department
 Development Review Division
 301-952-3530

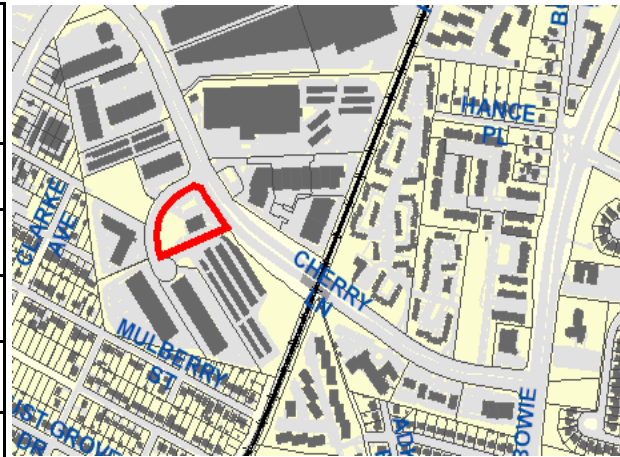
Note: Staff reports can be accessed at <http://mncppc.iqm2.com/Citizens/Default.aspx>

Detailed Site Plan Cherry Lane Storage

DSP-22007

REQUEST	STAFF RECOMMENDATION
Construction of a 3 story 108,273-square-foot consolidated storage facility with 895 units and a manager's office.	With the Conditions Recommended herein: <ul style="list-style-type: none"> •Approval of Detailed Site Plan DSP-22007 •Approval of Type2 Tree Conservation Plan TCP2-020-2022

Location: In the southwest quadrant of the intersection of Cherry Lane and Cherry Lane Court.	
Gross Acreage:	2.33
Zone:	IE
Zone Prior:	I-1
Reviewed per prior Zoning Ordinance:	Section 24-1703(b)
Dwelling Units:	N/A
Gross Floor Area:	108,273 sq. ft.
Planning Area:	62
Council District:	01
Municipality:	N/A
Applicant/Address: Cherry Lane Project, LLC 4719 Hampden Lane, 3rd Floor Bethesda, MD 20814	
Staff Reviewer: Terre Butler Phone Number: 301-780-2458 Email: Terre.Butler@ppd.mncppc.org	



Planning Board Date:	09/22/2022
Planning Board Action Limit:	09/22/2022
Staff Report Date:	09/06/2022
Date Accepted:	06/13/2022
Informational Mailing:	03/16/2022
Acceptance Mailing:	05/31/2022
Sign Posting Deadline:	08/16/2022

The Planning Board encourages all interested persons to request to become a person of record for this application. Requests to become a person of record may be made online at http://www.mncppcapps.org/planning/Person_of_Record/. Please call 301-952-3530 for additional information.

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THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

PRINCE GEORGE'S COUNTY PLANNING BOARD

STAFF REPORT

SUBJECT: Detailed Site Plan DSP-22007
Type 2 Tree Conservation Plan TCP2-020-2022
Cherry Lane Storage

The Urban Design staff has reviewed the detailed site plan for the subject property and presents the following evaluation and findings leading to a recommendation of APPROVAL with conditions, as described in the Recommendation section of this technical staff report.

EVALUATION CRITERIA

The property is within the Industrial, Employment (IE) Zone, formerly Light Industrial (I-1). This application, however, is being reviewed and evaluated in accordance with the prior Prince George's County Zoning Ordinance, pursuant to Sections 27-1704(b) and 27-1903(c) of the Zoning Ordinance, which allow a detailed site plan application to be reviewed under the prior Zoning Ordinance. This detailed site plan was reviewed and evaluated for conformance with the following criteria:

- a. The requirements of the Prince George's County Zoning Ordinance in the Light Industrial (I-1) Zone and the site design guidelines;
- b. The requirements of Preliminary Plan of Subdivision 4-82092;
- c. The requirements of the 2010 *Prince George's County Landscape Manual*;
- d. The requirements of the Prince George's County Woodland and Wildlife Habitat Conservation Ordinance;
- e. The requirements of the Prince George's County Tree Canopy Coverage Ordinance; and
- f. Referral comments.

FINDINGS

Based upon the analysis of the subject application, Urban Design staff recommends the following findings:

1. **Request:** This detailed site plan (DSP) requests the development of a 108,273-square-foot consolidated storage facility with 895 units and a manager's office.

2. **Development Data Summary:**

	Existing	Proposed
Zone	I-1	IE (I-1 Prior)
Use(s)	Office	Consolidated Storage Facility
Acreage	2.33	2.33
Gross Floor Area (sq. ft.)	28,862	108,273 sq. ft

Zoning Regulations

	Required	Proposed
Green Area (percentage)	10	11

OTHER DEVELOPMENT DATA

Parking Spaces

	Required	Provided
Consolidated Storage Facility-108,273 sq. ft.		
1 per 50 units with interior access	18	18
4 per 1,000 sq. ft. of gross floor area office	5	5
2 per employee (manager's office)	2	2

Note: *Accessible spaces are included in the total number of required and provided parking spaces.

Loading Spaces

	Required	Provided
2 loading spaces for up to 10,000 sq. ft. of gross floor area	2	2
1 loading space for each additional 40,000 sq. ft.	3	3
Total	5	5

Bicycle Spaces

	Required	Provided
6 spaces for up to 101 parking spaces	6	6
TOTAL	6	6

3. **Location:** The subject site is located in the southwest quadrant of Cherry Lane and Cherry Lane Court, in Planning Area 62 and Council District 1. The site is zoned Industrial, Employment (IE), previously the Light Industrial (I-1) Zone. The property is identified with a current street address of 14435 Cherry Lane Court, Laurel. The property is also known as Parcel 6 on Tax Map 006, Grid C4 and is subject to the 2010 *Approved Master Plan and Sectional Map Amendment for Subregion 1 (Planning Areas 60, 61, 62, and 64)*.

4. **Surrounding Uses:** The subject property is adjacent to a two-story office building to the north; to the east is the Cherry Lane right-of-way. There is an existing consolidated storage facility located to the south. Lastly, there are warehouse/distribution uses located to the west of the site. All of the surrounding properties are also zoned IE.
5. **Previous Approvals:** The subject property consists of 2.33 acres and is located on Tax Map 6 in Grid C-4 and consists of one parcel known as Parcel 6 recorded among the Prince George’s County Land Records in Plat Book NLP 119 at page 48 titled “Parcel 6, Cherry Lane Center,” dated March 30, 1984. Parcel 6 is developed with 28,862-square-foot gross floor area (GFA) of commercial office use. The subject DSP proposes to raze the existing building and construct a new 108,273-square-foot consolidated storage building.

On November 18, 1982, Preliminary Plan of Subdivision (PPS) 4-82096 titled “Cherry Lane Center” was approved by the Prince George’s County Planning Board (PGCPB Resolution No. 82-206) and approved five parcels on a 14.2-acre property for uses permitted in the I-1 Zone. All parcels were subsequently platted and have been developed except for Parcel 4. The site has an approved Stormwater Management Concept Plan 2354-2022.

6. **Design Features:** The site contains an existing four-story, 28,862-square-foot office building that is proposed to be razed for construction of a three-story, 108,273-square-foot consolidated storage facility with 895 storage units and a 1,200-square-foot manager’s office. The site will have two vehicular access points from Cherry Lane Court, with access gates and fencing surrounding the site. The site will contain 25 parking spaces to include one handicapped-accessible space, five 12 foot by 45 foot loading spaces, eleven RV and boat spaces, and three bike racks, to include a total of six bike spaces. The site will contain a 10 foot by 10 foot dumpster pad and enclosure.

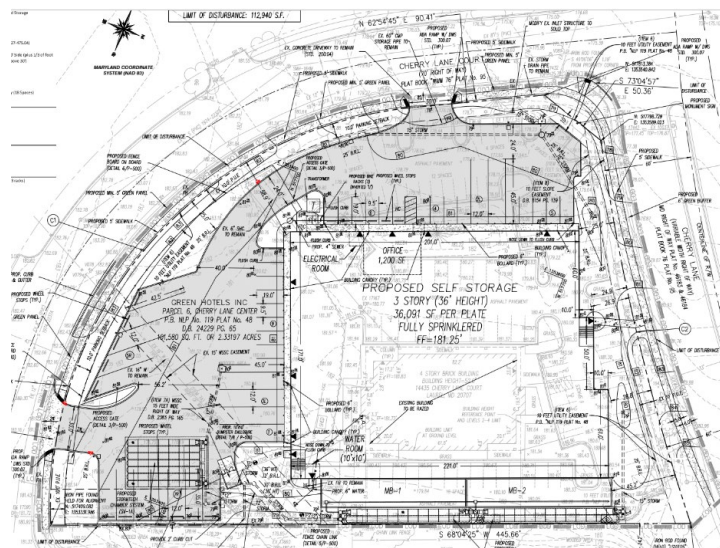
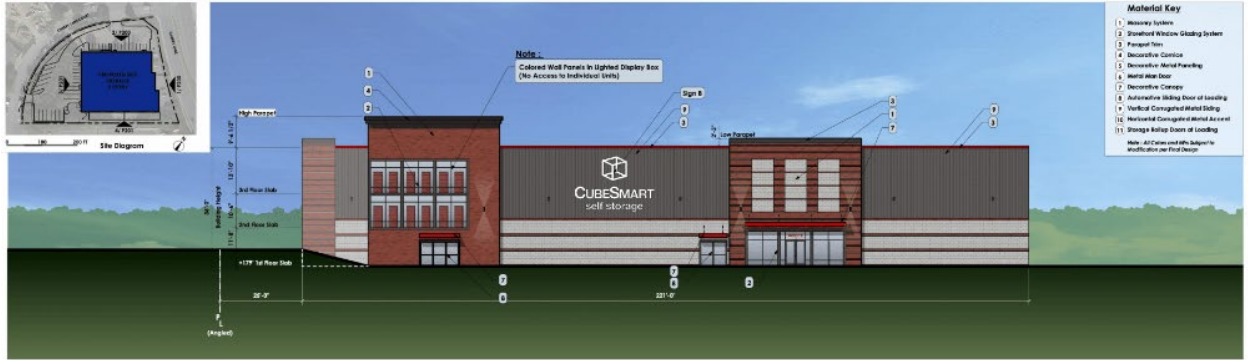


Figure 1: Site Plan

Architecture

The applicant is proposing a modern architecture style for the building. The building will be three stories and 36 feet tall. The building materials will consist of a combination of masonry and decorative metal paneling. The building will include decorative canopies,

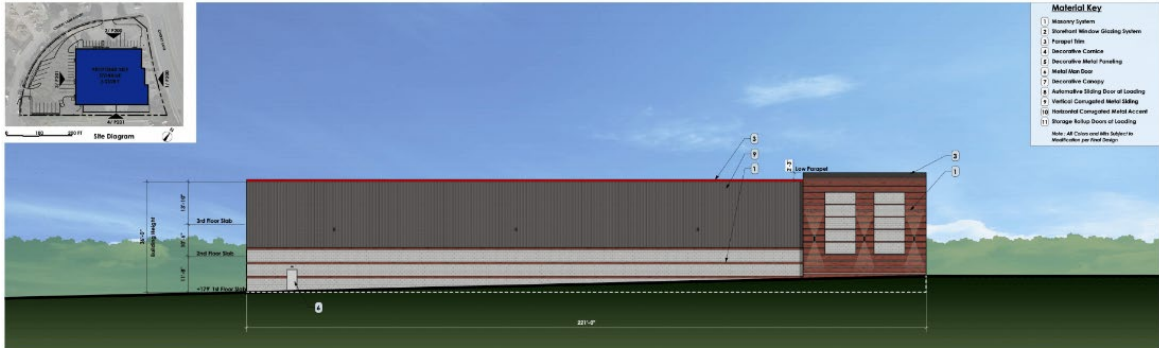
colored wall panels in lighted display boxes, and automatic sliding doors and storage rollup doors in loading areas.



2 - Proposed Design-Front Elevation Facing Cherry Lane Court (NW)



1 - Proposed Design- Side Elevation Facing Cherry Lane (NE)



4 - Proposed Design- Back Elevation Facing Adj. Building (SE)



3 - Proposed Design- Side Elevation Along Office Side (SW)

Figure 2: Architectural Elevations

Signage

The site will contain two building-mounted signs. The first sign will be located on the side elevation facing Cherry Lane from the northeast and will be a total of 203.28 square feet and will be 6 feet by 33 feet long. The sign will include the logo with the words "CUBE SMART." The second sign will be located on the front elevation facing Cherry Lane Court from the northwest, will total 411.63 square feet, will measure 16 feet by 24 feet long, and will include the logo with the words "CUBE SMART self-storage."

Lighting

This DSP proposes building-mounted and pole-mounted lighting throughout the site to illuminate the driveways, parking areas, and open spaces on the site. A photometric plan was submitted with this application and reflects adequate lighting throughout the site, with minimal spillover onto adjacent neighboring properties. Staff recommends approval of the lighting, as proposed.

Dumpster Enclosure

The dumpster enclosure is located on the southwest side of the building and will contain a 10 foot by 10 foot pad with a composite plank gate and an 8-foot-tall masonry enclosure to match the color of the proposed building.

COMPLIANCE WITH EVALUATION CRITERIA

7. **Prince George's County Zoning Ordinance:** The subject DSP has been reviewed for compliance with the requirements of the I-1 Zone and the site design guidelines of the Prince George's County Zoning Ordinance.
 - a. This DSP is in conformance with the requirements of Section 27-473(b) of the Prince George's County Zoning Ordinance, which governs uses in the I-1 Zone. The proposed consolidated storage use is a permitted use in the I-1 Zone. The consolidated storage use is permitted by-right in the I-1 Zone.
 - b. Section 27-474 of the Zoning Ordinance provides additional regulations for development in industrial zones, including requirements for setbacks, net lot area, lot frontage, building coverage, and green area. The subject DSP meets all these requirements, as shown on the submitted plans, and is in conformance with the Zoning Ordinance.
 - c. This DSP is in conformance with all of the applicable site design guidelines, as referenced in Section 27-283 of the Zoning Ordinance and contained in Section 27-274 of the Zoning Ordinance.
 - d. This DSP is in conformance with the requirements of Section 27-475.04 of the Zoning Ordinance, which governs consolidated storage uses. The proposed facility is in conformance with this section.
8. **Preliminary Plan of Subdivision 4-82092:** The Planning Board approved PPS 4-82092 on November 18, 1982 (PGCPB Resolution No. 82-202), for five parcels on a 14.2-acre property, for uses permitted in the I-1 Zone. The PPS was approved without any conditions

of approval and the record plat does not include any notes related to development of Parcel 6.

9. **2010 Prince George's County Landscape Manual:** This DSP application is subject to the requirements of Section 4.2, Landscape Strips Along Streets; Section 4.3, Parking Lot Requirements; and Section 4.9, Sustainable Landscaping Requirements, of the 2010 *Prince George's County Landscape Manual*. The landscape and lighting plan provided with the subject DSP contains the required schedules demonstrating conformance to these requirements.
10. **Prince George's County Woodland and Wildlife Habitat Conservation Ordinance:** The site is subject to the provisions of the 2010 Woodland and Wildlife Habitat Conservation Ordinance (WCO) because the property is greater than 40,000 square feet and will result in more than 5,000 square feet of woodland clearing. This project is also subject to the 2018 *Environmental Technical Manual*. Type 2 Tree Conservation Plan TCP2-020-2022 was submitted with the subject application and requires revisions to be found in conformance with the WCO.

According to the TCP2, the woodland conservation threshold for this 2.33-acre property is 15 percent of the net tract area, or 0.35 acres. The total woodland conservation requirement, based on the amount of clearing proposed, is 1.10 acres. The woodland conservation requirement is proposed to be satisfied with 1.10 acres of off-site woodland conservation credits.

Section 25-122(c)(1) of the Prince George's County Code prioritizes methods to meet the woodland conservation requirements. The applicant submitted a revised statement of justification (SOJ) dated August 10, 2022, requesting approval of off-site woodland conservation, as reflected on the TCP2 worksheet. The applicant states that the existing forest stand is isolated, very young, and dominated with invasive species, such as callery pear, with a low priority for both preservation and restoration, per the approved forest stand delineation. The applicant explains that the site does not contain adequate amounts of native material to facilitate natural regeneration, or any existing planting areas to connect to off-site. There are no specimen, champion, or historic trees in good condition that can be used for preservation credit on-site. They further explain that the project's development viability is directly related to the proposed building size, therefore, a reduction in building footprint to accommodate on-site preservation or afforestation/reforestation is greatly diminished. The applicant states that the proposed parking and loading facilities are required for the successful operations of the proposed self-storage facility, and that any reduction to these site elements would have a detrimental impact on the operations and successful patronage of the building. The applicant states that the next logical step is to provide the requirement off-site, prioritizing off-site afforestation/reforestation of connected planting areas using transplanted native stock. This method would be prioritized above all other priorities on the remainder of the list. Staff supports the applicant's request to meet the woodland preservation requirements, as stated on their SOJ, through a combination of off-site afforestation/reforestation and preservation.

It was noted that the woodland net tract value (0.54-acre) in the site statistics table on Sheet 1 of the TCP2 is inconsistent with the TCP2 worksheet and associated table on Sheet 2 (0.56-acre). Furthermore, both of these values are inconsistent with the woodland net tract value (0.74 acre) in the site statistics table on the approved natural resources inventory

(NRI). An extra line was added to the site statistics table on the TCP2 entitled “woodland in a utility easement” for the area of existing woodlands within the public utility easement, which appears to have been incorrectly deducted from the total existing woodland area to give these inconsistent net tract area values. The standard approved site statistics table format must be used on the TCP2. The existing woodland net tract value on the approved NRI (0.74-acre) must be reflected in all tables and in the TCP2 worksheet. The proposed woodland clearing value must be adjusted accordingly and calculations rerun in the TCP2 worksheet.

Additional technical revisions to the TCP2 are required and included in the conditions listed at the end of this memorandum.

11. **Prince George’s County Tree Canopy Coverage Ordinance:** The DSP is subject to the requirements of the Prince George’s County Tree Canopy Coverage Ordinance. Section 25-128 of the County Code requires a minimum percentage of tree canopy coverage on projects that propose more than 5,000 square feet of disturbance. The subject DSP provides the required schedule demonstrating conformance to this requirement through woodland conservation and the provision of new plantings on the subject property.
12. **Referral Comments:** The subject application was referred to the concerned agencies and divisions. The referral comments are summarized, as follows, and are incorporated herein by reference:
 - a. **Subdivision**—In a memorandum dated August 22, 2022 (Gupta to Butler), the Subdivision Section noted that the DSP is in general conformance with the approved PPS. Technical corrections have been added as conditions herein.
 - b. **Transportation**—In a memorandum dated August 26, 2022 (Patrick to Butler), the Transportation Planning Section noted that the plan is acceptable and meets the finding required for a DSP, as described in the prior Zoning Ordinance.
 - c. **Environmental Planning**—In a memorandum dated August 17, 2022 (Juba to Butler), the Environmental Planning Section noted that the property does not contain any regulated environmental features and the area does not contain any specimen trees. Technical revisions for the TCP2 have been conditioned herein.
 - d. **Community Planning**—In a memorandum dated June 21, 2022 (Green to Butler), it was noted that pursuant to Part 3, Division 9, Subdivision 3, of the prior Zoning Ordinance, master plan conformance is not required for this application.
 - e. **Washington Suburban Sanitary Commission (WSSC)**—In a memorandum dated June 24, 2022 (Watkins to Butler), WSSC provided standard comments on the subject DSP. WSSC’s comments will be addressed through their own separate permitting process.
 - f. **Maryland State Highway Administration (SHA)**—In an email dated August 12, 2022 (Woodroffe to Butler), it was noted that SHA had no comments on the subject application.

- g. **Permits Department**—In a memorandum dated August 22, 2022 (Bartlett to Butler), the Permits Department provided technical comments that have been added as conditions.
 - h. **Prince George’s County Fire/EMS Department**—In a memorandum dated June 13, 2022 (Reilly to Butler), the Fire/EMS Department provided technical comments.
13. As required by Section 27-285(b) of the Zoning Ordinance, the DSP represents a reasonable alternative for satisfying the site design guidelines of Subtitle 27, Part 3, Division 9, of the County Code, without requiring unreasonable cost and without detracting substantially from the utility of the proposed development for its intended use.
14. Per Section 27-285(b)(4) of the Zoning Ordinance, which became effective on September 1, 2010, a required finding for approval of a DSP is as follows:
- (4) The Planning Board may approve a Detailed Site Plan if it finds that the regulated environmental features have been preserved and/or restored in a natural state to the fullest extent possible.**

The regulated environmental features on the subject property have been preserved and/or restored to the fullest extent possible, based on the limits of disturbance shown on the TCP2.

RECOMMENDATION

Based upon the foregoing evaluation and analysis, the Urban Design staff recommends that the Planning Board adopt the findings of this report and APPROVE Detailed Site Plan DSP-22007 and Type 2 Conservation Plan TCP2-020-2022, for Cherry Lane Storage, subject to the following conditions:

- 1. Prior to certification, the detailed site plan (DSP) shall be revised as follows:
 - a. Revise General Note 6 to state Parcel 6 instead of Lot 11.
 - b. Revise the property’s boundary bearings and distances to conform with the record plat.
 - c. Show dimensions of the handicapped-accessible space and access aisle on the plan to demonstrate that the required dimensions of 11 feet by 19 feet, with a 5-foot striped access aisle (the length of the space), or 8 feet by 19 feet, with an 8-foot striped access aisle are met. When one handicapped-accessible space is required for a site, that one space must be van accessible.
 - d. Provide the total square footage of 108,237 on the plan and on the storage building, in addition to the 36,091 square feet per story already shown.

- e. Show any existing or proposed fire hydrants and fire department connections (FDC). A hydrant must be provided within 200 feet of the proposed FDC, as hose is laid by the fire department. The FDC should be arranged on the front, address side of the building, and be visible from the fire hydrant serving it.
 - f. A fire hydrant must be provided within 500 feet of the most remote portion of the building as hose is laid by the fire department.
2. Prior to certification of the detailed site plan, the Type 2 tree conservation plan (TCP2) shall be revised, as follows:
- a. Add the standard off-site woodland conservation notes.
 - b. The Liber and folio of the recorded easement shall be added to the standard TCP2 note on the plan. The following note is placed on the plan sheet during preparation, and is filled in by hand after recordation of the easement:

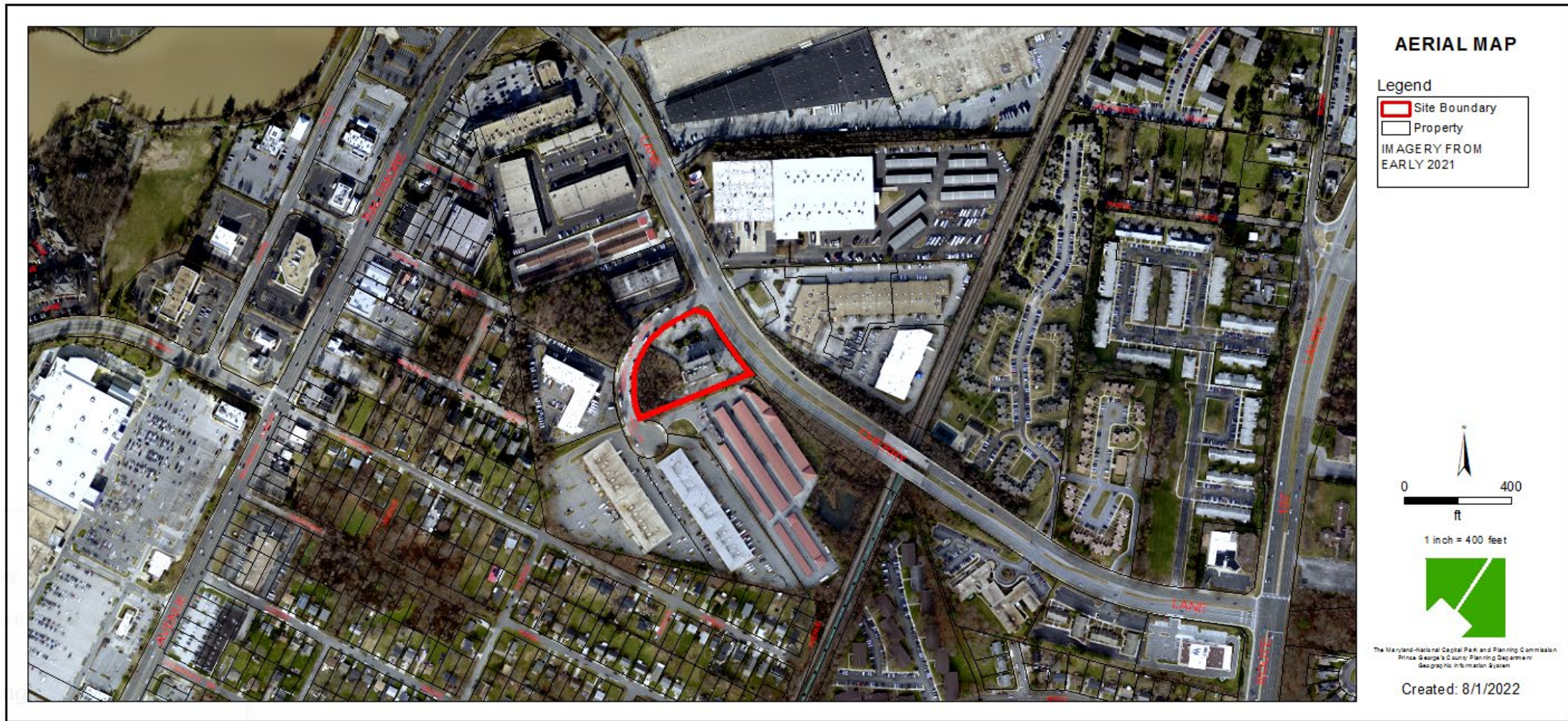
“Woodlands preserved, planted or regenerated in fulfillment of woodland conservation requirements on-site have been placed in a woodland and wildlife habitat conservation Guidance for Preparation and Recording of On-site Woodland Conservation Easements Environmental Planning Section, Prince George’s County Planning Department easement recorded in the Prince George’s County Land Records at Liber ___folio___. Revisions to this TCP2 may require a revision to the recorded easement.”
 - c. Make the following changes to the standard TCP notes on Sheet 1:
 - (1) Revise General Note 6 to state that "The property is within Environmental Strategy Area 2 (formerly the Developing Tier). This site is currently zoned Industrial, Employment (I-E). However, the applicant has opted to apply the zoning standards to this application that were in effect prior to April 1, 2022, for the Light Industrial (I-1) Zone."
 - (2) Add standard General Note 9 to the TCP2 plan.
 - d. Revise the Site Statistics Table on Sheet 1 to match the required standard table format, per the 2018 *Environmental Technical Manual*.
 - e. Revise all references to woodland net tract value on the TCP2 to match that of the approved natural resources inventory.
 - f. Revise the TCP2 worksheet, as follows:
 - (1) Add the correct TCP number to the worksheet.
 - (2) Add the correct project name in the "Property Description" or "Subdivision Name" box.
 - (3) Update the net tract value and revise the calculations.

- g. Remove all tree canopy coverage notes from the TCP2.
- h. Remove the Curve Data table from the TCP2.
- i. Darken the proposed building footprint and the proposed parking and circulation linework on each sheet of the TCP so they are clearly distinguishable from the existing building and parking.
- j. Add the TCP2 case number (TCP2-020-2022) to the TCP2 Environmental Planning Section approval block.
- k. The qualified professional must sign and date their certification on the TCP2.

CHERRY LANE STORAGE

Detailed Site Plan

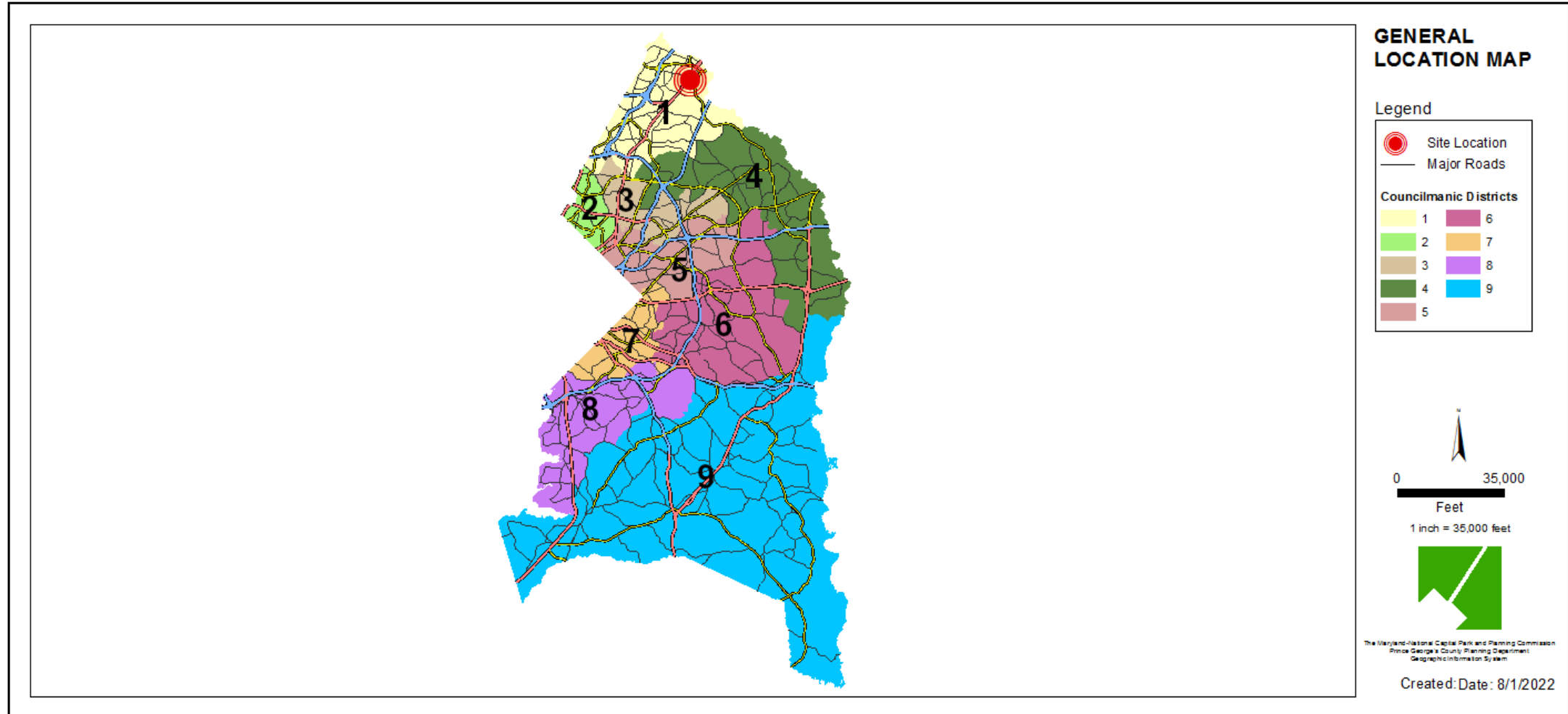
Staff Recommendation: APPROVAL with conditions



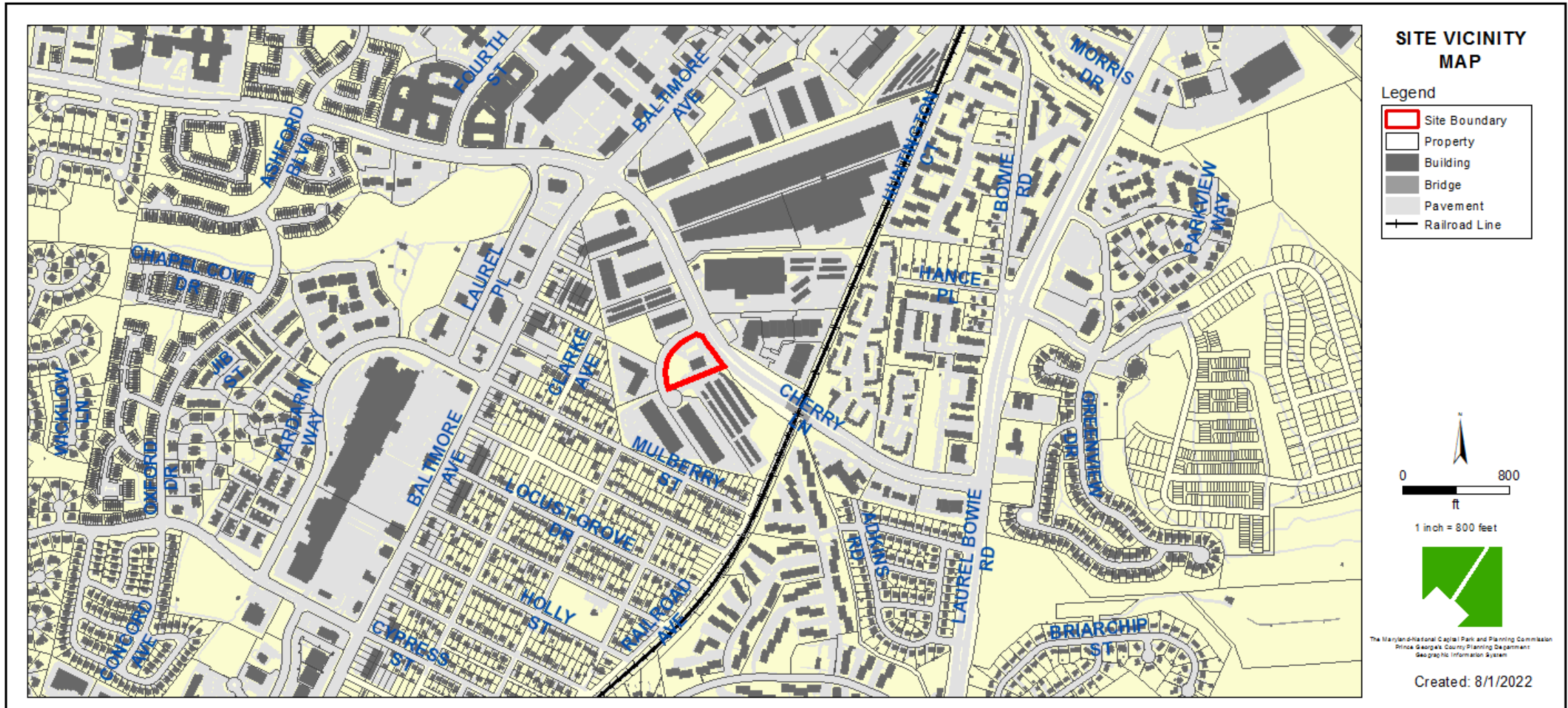
GENERAL LOCATION MAP

Council District: 01

Planning Area: 62



SITE VICINITY MAP



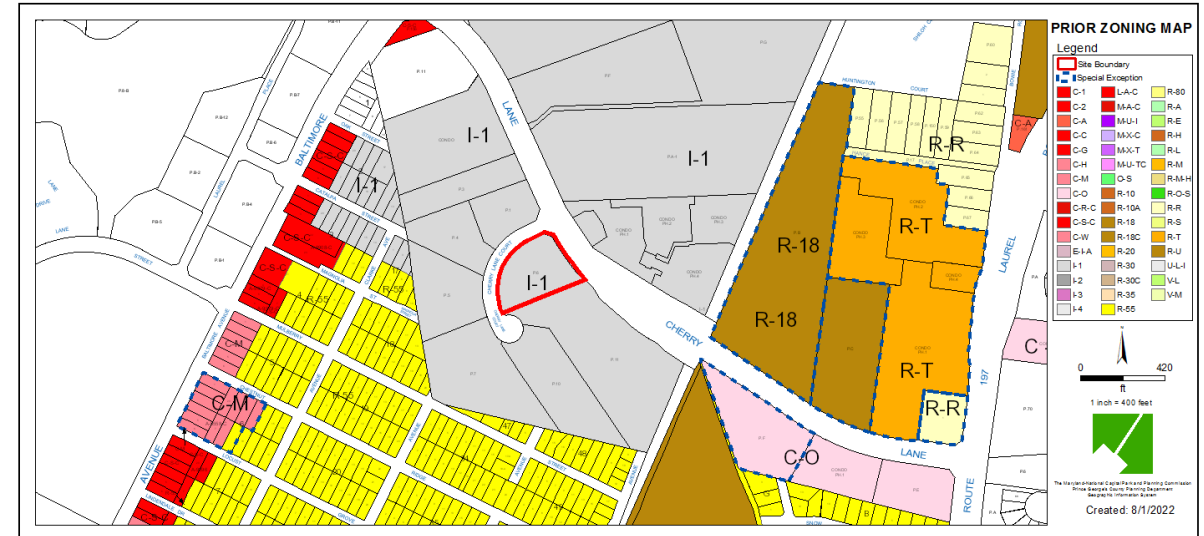
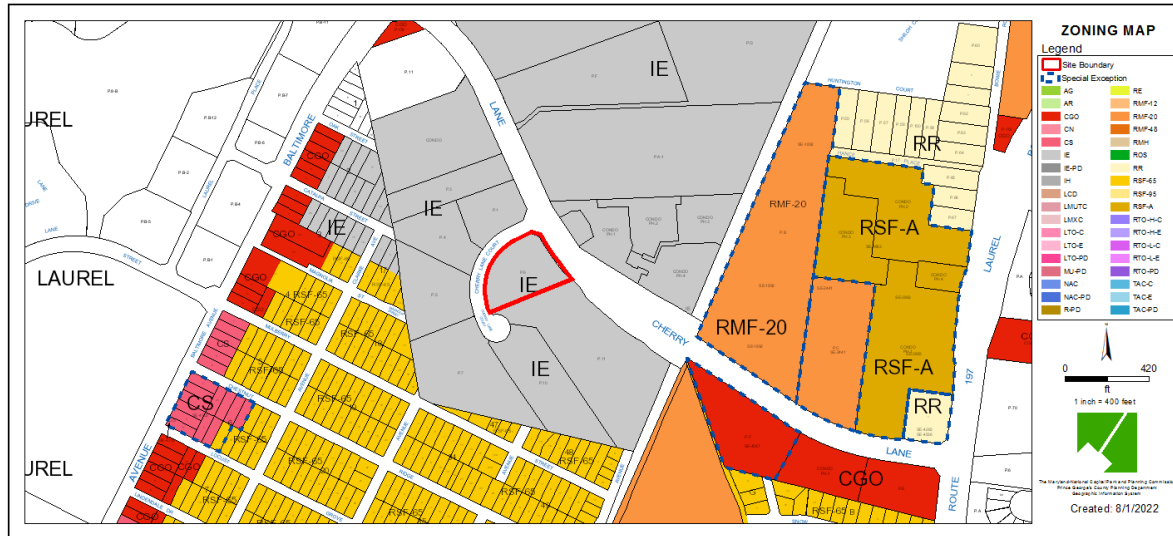
ZONING MAPS (NEW AND PRIOR)

Property Zone: I-E

Prior Zone: I-1

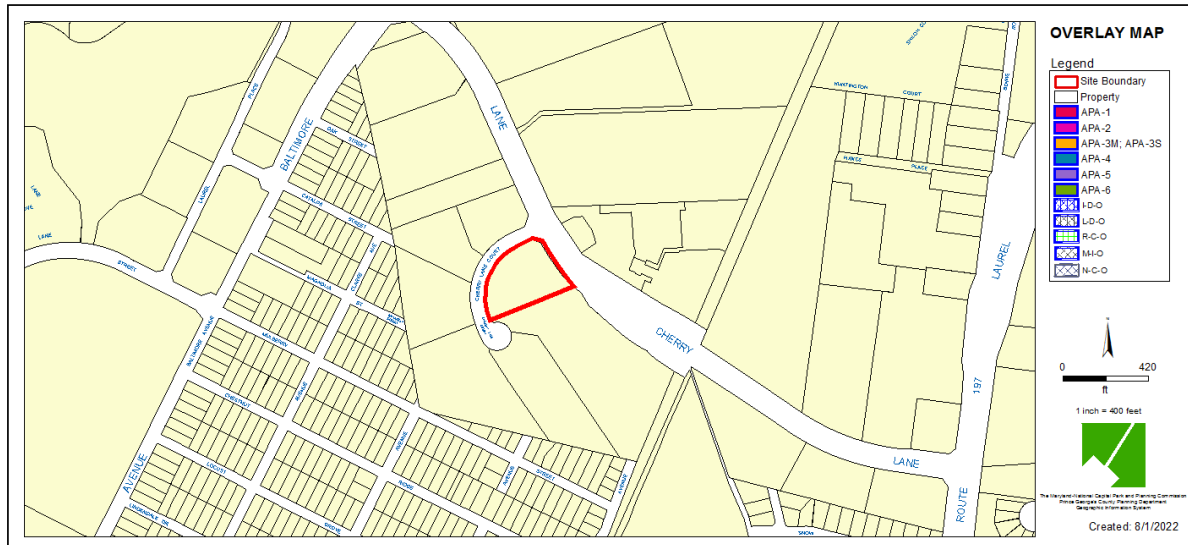
NEW ZONING MAP

PRIOR ZONING MAP

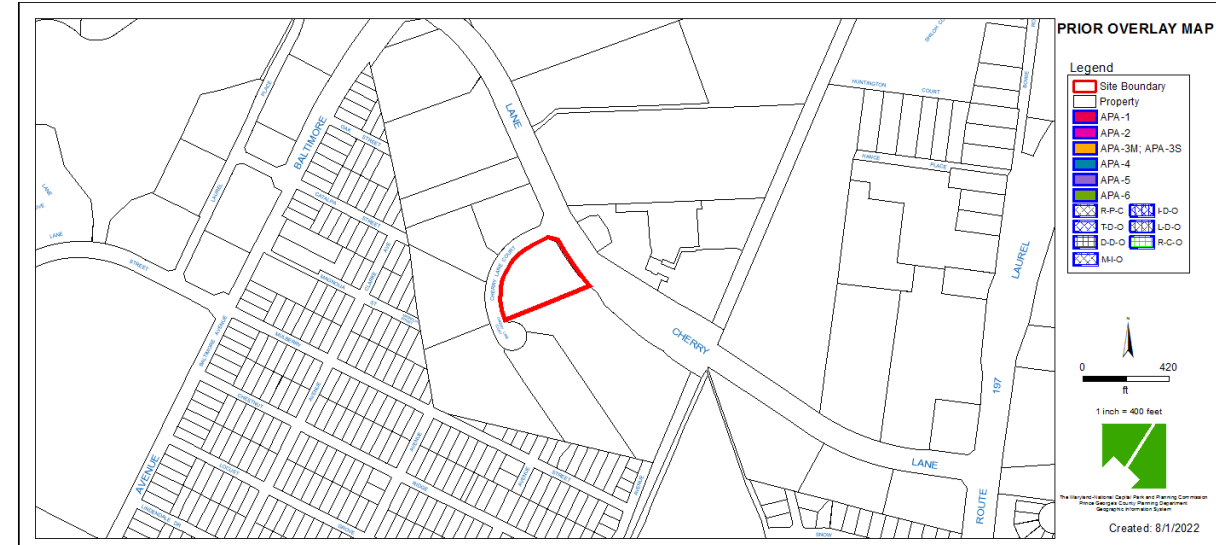


OVERLAY MAPS (NEW AND PRIOR)

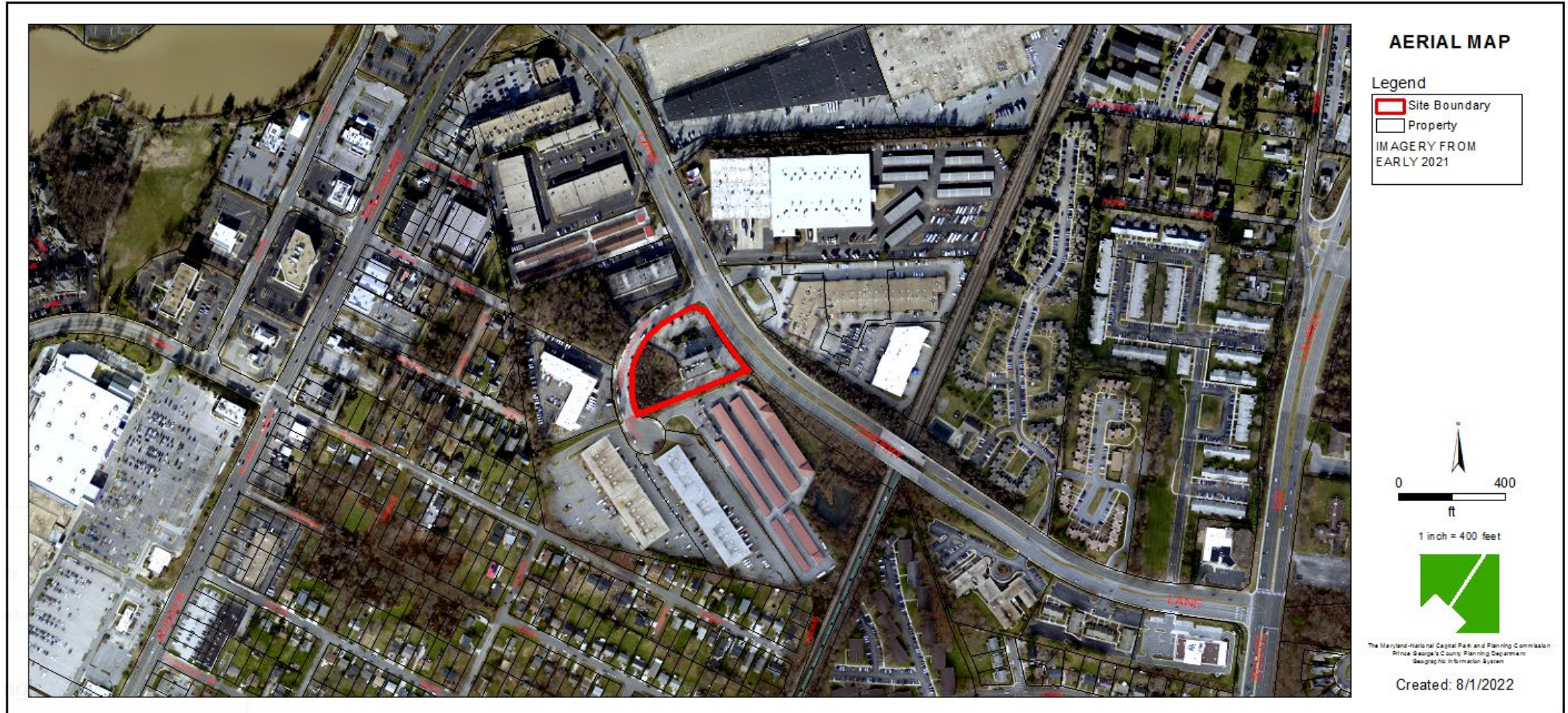
NEW OVERLAY MAP



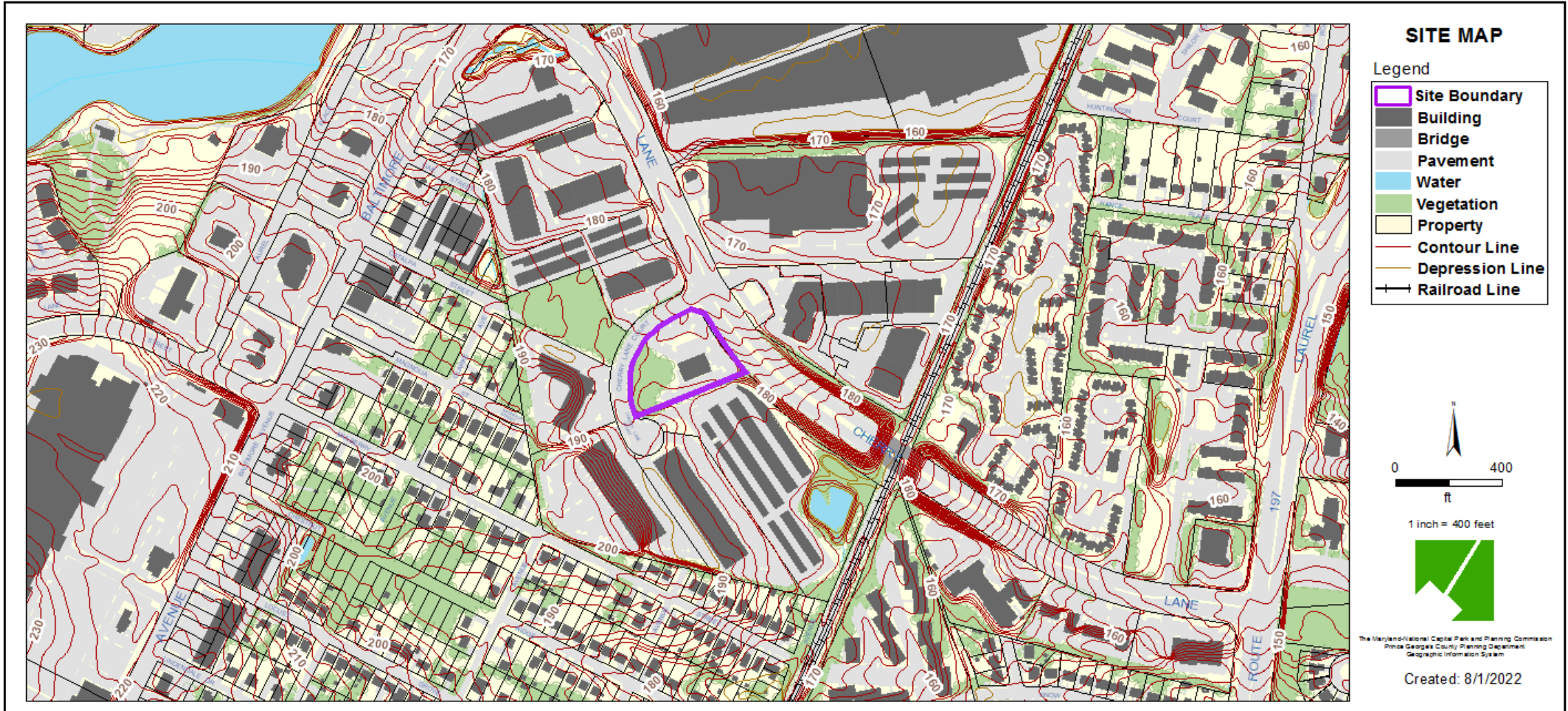
PRIOR OVERLAY MAP



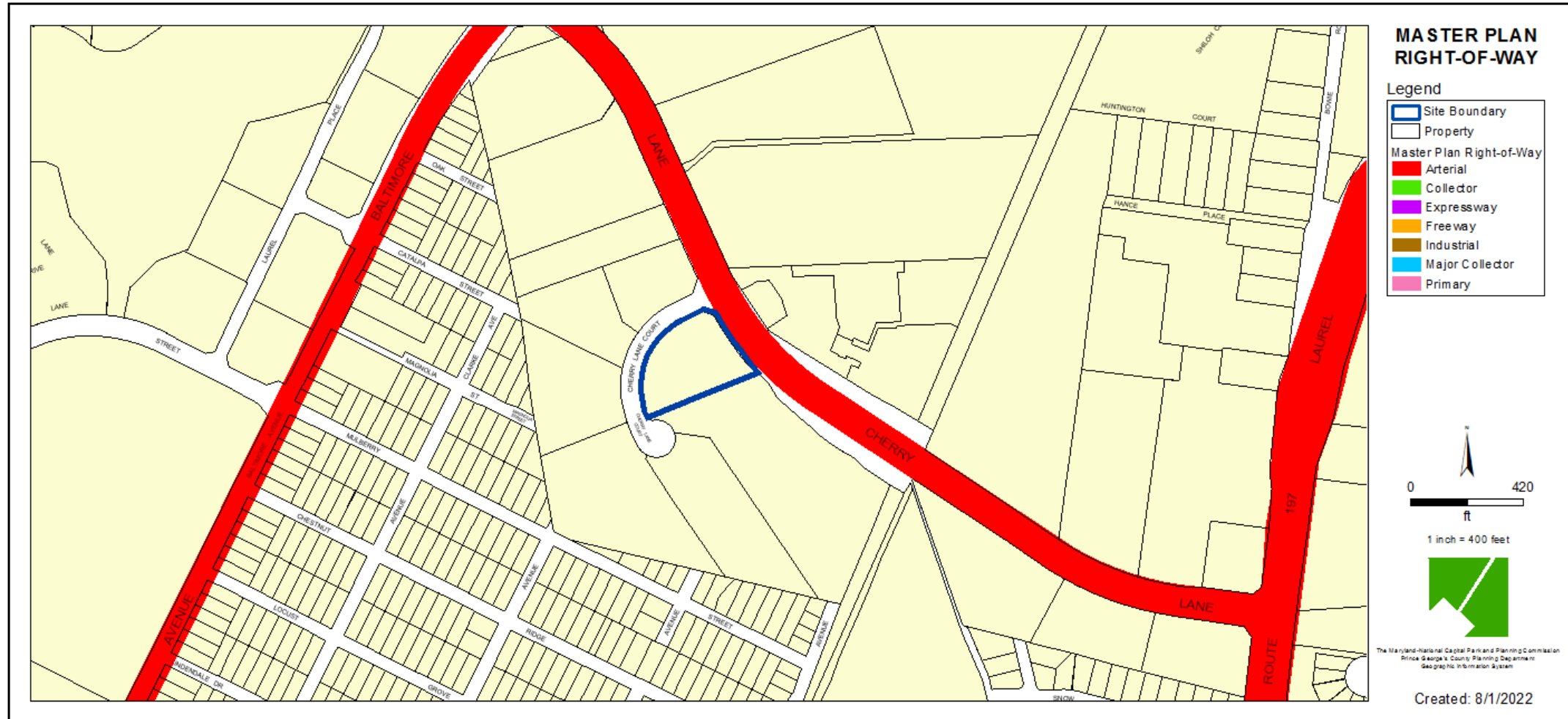
AERIAL MAP



SITE MAP



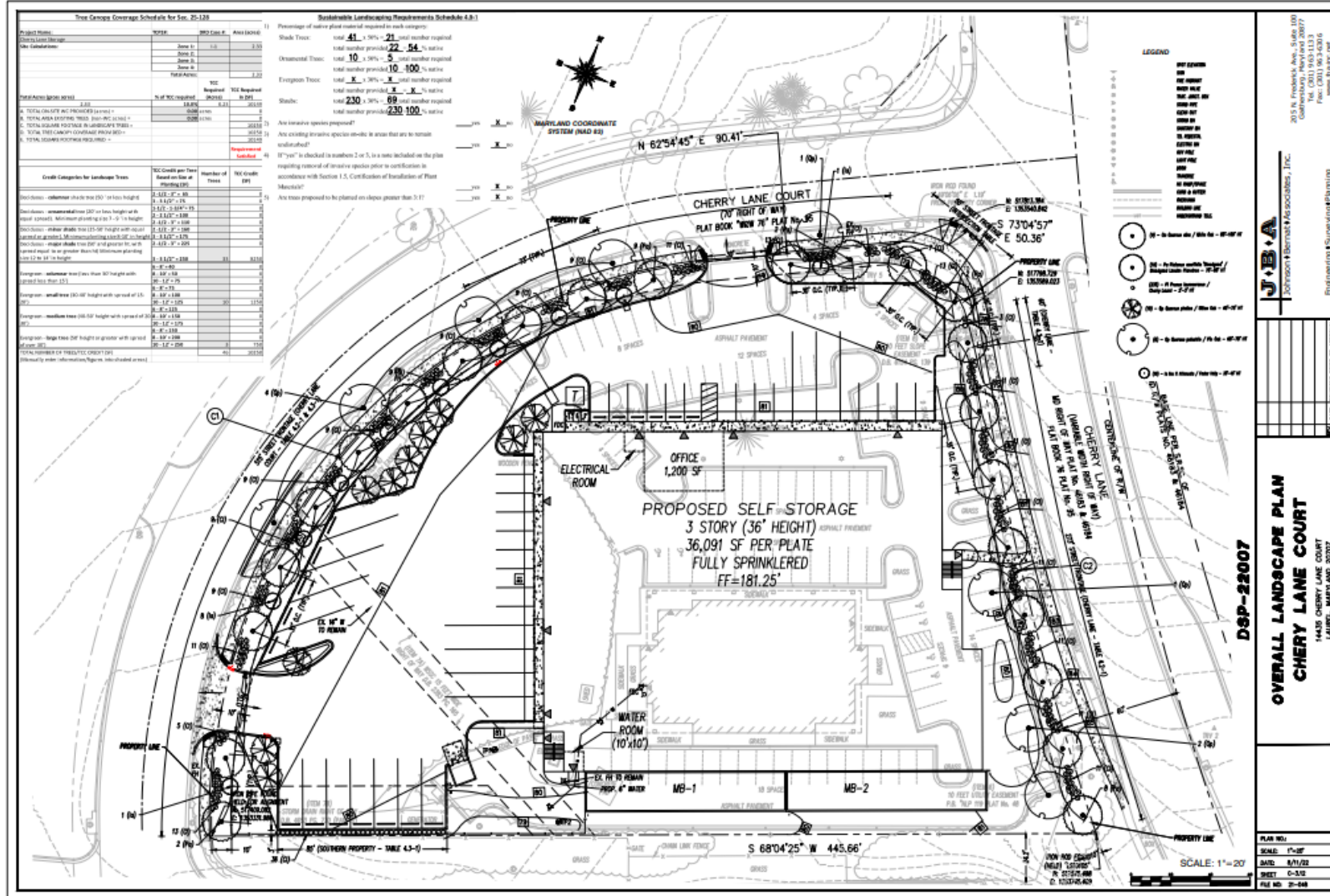
MASTER PLAN RIGHT-OF-WAY MAP



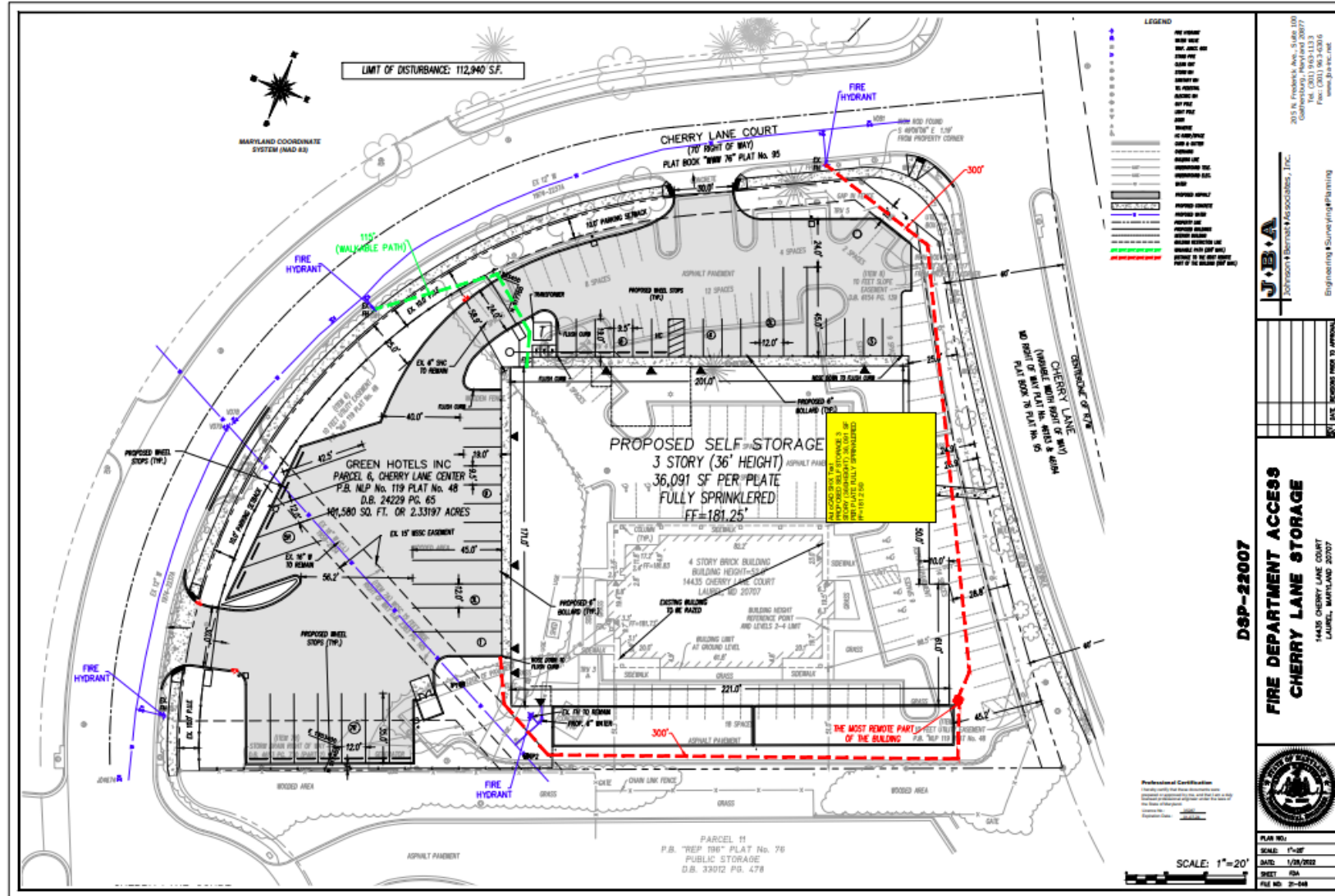
BIRD'S-EYE VIEW WITH APPROXIMATE SITE BOUNDARY OUTLINED



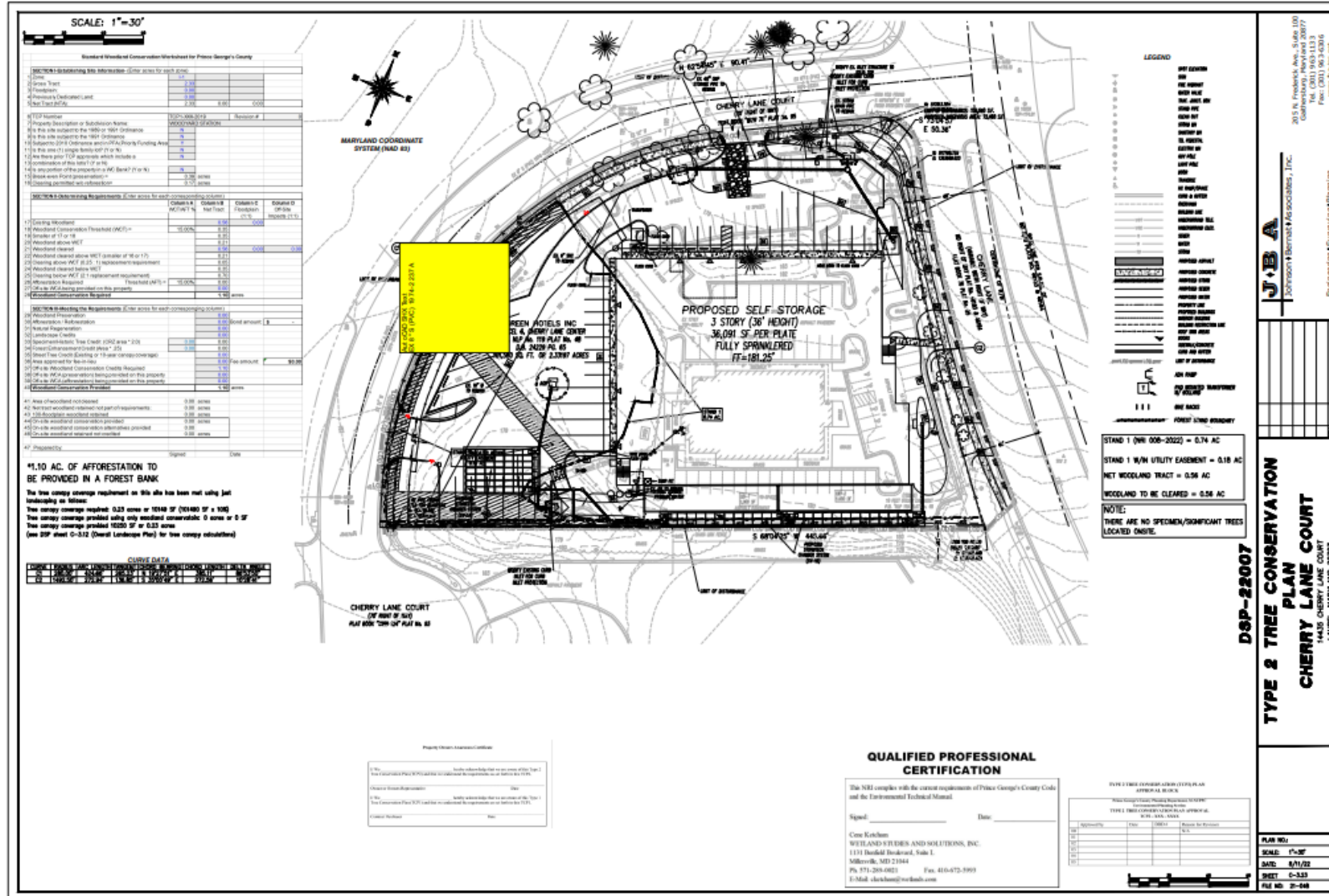
LANDSCAPE PLAN



FIRE DEPARTMENT ACCESS PLAN



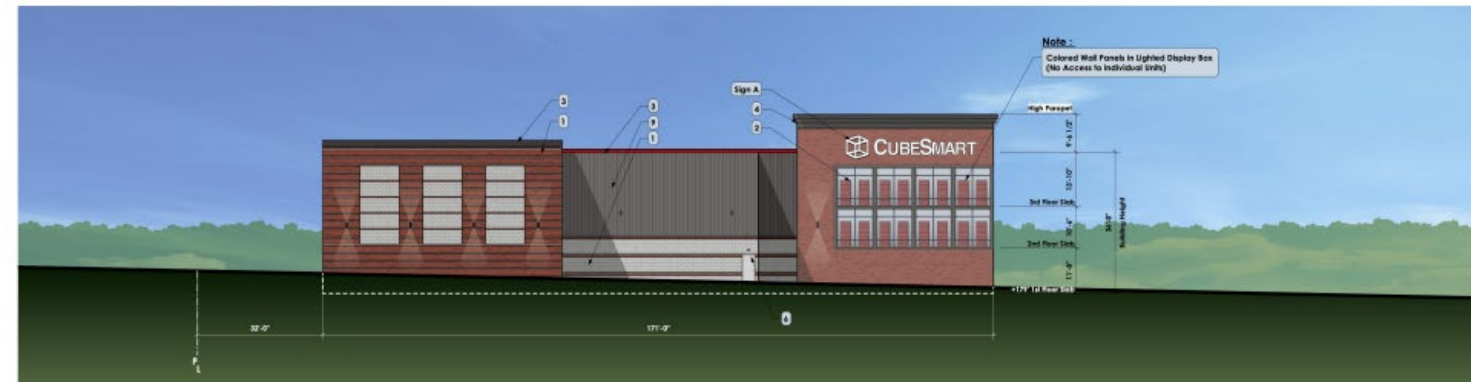
TYPE II TREE CONSERVATION PLAN



PROPOSED EXTERIOR ELEVATIONS – NW & NE VIEW

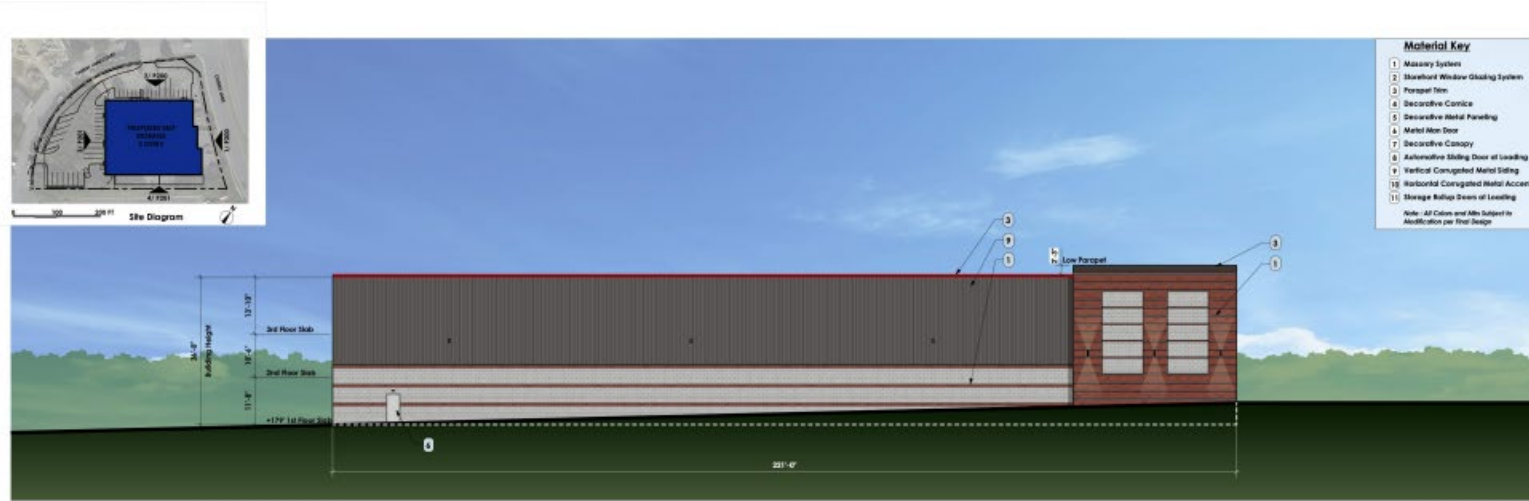


2 - Proposed Design-Front Elevation Facing Cherry Lane Court (NW)



1 - Proposed Design- Side Elevation Facing Cherry Lane (NE)

PROPOSED EXTERIOR ELEVATIONS SE & SW VIEW

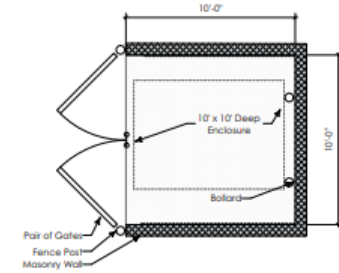


4 - Proposed Design- Back Elevation Facing Adj. Building (SE)

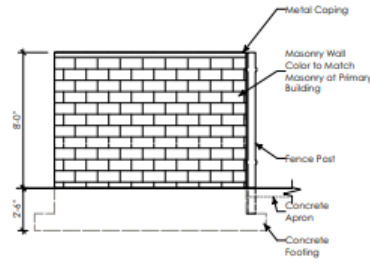


3 - Proposed Design- Side Elevation Along Office Side (SW)

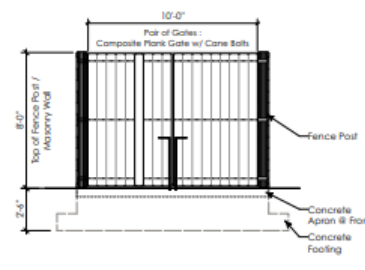
SIGNAGE AND FENCING DETAILS



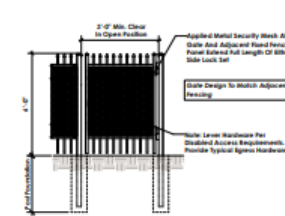
7 Dumpster Enclosure Plan Detail
 P-500 Scale: 3/8" = 1'-0"



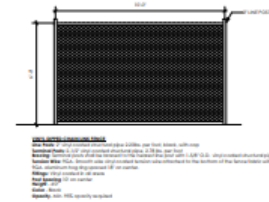
8 Dumpster Enclosure Elevation Details
 P-500 Scale: 3/8" = 1'-0"



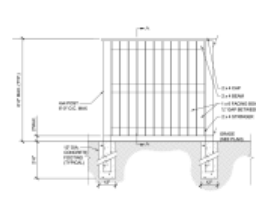
2 Wall-Mounted Signs B - 411.63 SF
 P-500 Scale: 1/4" = 1'-0"



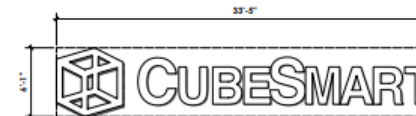
4 Site Man Gate Detail
 P-500 Scale: 3/8" = 1'-0"



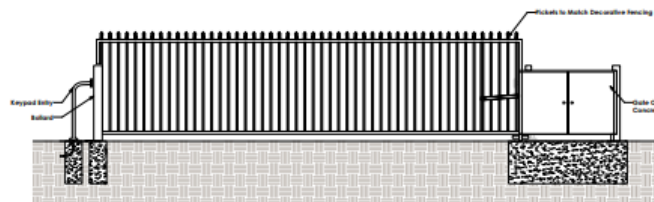
5 Site Chain Link Fencing Detail
 P-500 Scale: 3/8" = 1'-0"



6 Board on Board Wood Fencing Detail
 P-500 Scale: 3/8" = 1'-0"



1 Wall-Mounted Signs A - 203.28 SF
 P-500 Scale: 1/4" = 1'-0"



3 Site Vertical Pivot Gate Detail
 P-500 Scale: 3/8" = 1'-0"

PROPOSED WALL-MTD SIGNAGE ANALYSIS						
SGN	QUANTITY	TYPE	WIDTH	HEIGHT	AREA	SUMMATION
A	1	WALL-MOUNTED	33'-5"	6'-1"	203.28 SF	WARRANTY
B	1	WALL-MOUNTED	24'-0"	14'-11"	411.63 SF	WARRANTY
TOTAL PROPOSED WALL-MOUNTED SIGN AREA					614.91 SF	
Per 27-416.18(b)(2) TOTAL ALLOWED WALL-MOUNTED SIGN AREA (20' x 2' = 400.00 SF)					400.00 SF	SIGNAGE COMPLIES
Per 27-416.18(b)(2) TOTAL ALLOWED SIGN AREA (148' x 11.2' = 1657.76 SF)					1657.76 SF	
TOTAL CALCULATED WALL-MOUNTED SIGN AREA (148' x 11.2' = 1657.76 SF)					1657.76 SF	

STAFF RECOMMENDATION

APPROVAL with conditions

- DSP-22007 Conditions
- TCP2-020-2022

Minor Issues:

- Technical Issues

Applicant Required Mailings:

- Requirements Satisfied

LAW OFFICES
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Bradley S. Farrar
L. Paul Jackson, II*
*Also admitted in the District of Columbia

March 15, 2022

VIA ELECTRONIC MAIL

Ms. Jill S. Kosack, Acting Supervisor
Prince George's County Planning Department
Development Review Division
14701 Governor Oden Bowie Drive
Upper Marlboro, MD 20772

RE: Detailed Site Plan (DSP-22007)
CHERRY LANE SELF STORAGE

Dear Ms. Kosack:

On behalf of our client, Cherry Lane Project, LLC (Applicant), Shipley & Horne, P.A., hereby submits this Statement of Justification in support of a proposed Detailed Site Plan, DSP-22007, for the development of a three (3) story, 108,273 square-foot, consolidated storage facility with 895-units and a 1,200 square-foot resident manager's office. The subject application includes proposed parking, fencing, signage, landscaping, as well as architectural elevations of the proposed building. Said property has a premise address of 14435 Cherry Lane Court, Laurel, Maryland 20707, and consists of approximately 2.33 acres (the "Property"). As of the writing of this statement of justification, the Property is zoned I-1 (Light-Industrial) which permits consolidated storage by right, subject to approval of a Detailed Site Plan.

ELECTION TO UTILIZE I-1 ZONING PROCEDURES (Section 27-1904 (d))

On April 1, 2022, the approved Countywide Sectional Map Amendment ("CMA") and the updated Prince George's County Zoning Ordinance ("New Zoning Ordinance") will become effective and rezone the Property to the newly created IE (Industrial, Employment) Zone. Notwithstanding, the Applicant elects to utilize the applicable provisions of the I-1 Zone pursuant to Sections 27-1902 and 27-1903 of the New Zoning Ordinance. In accordance with the requirements of Section 27-1904(d) of the New Zoning Ordinance, the Applicant elects to utilize the provisions of the I-1 Zone for the proposed consolidated storage use since it has spent significant time and money preparing a detailed site plan application (including all accompanying supporting plans/documents) to meet all the regulations and requirements applicable to the I-1 Zone. Further, the Applicant recognizes that the I-1 Zone provisions have been successfully utilized for

development of consolidated storage uses throughout the County for decades. Therefore, the I-1 Zone regulations/procedures offers the most efficient and established procedures for review and approval of the Applicant’s desired use at this time.

I. Site Location and Description:

The Property is located along the west side of Cherry Lane and abuts existing Cherry Lane Court in Planning Area 62 and Council District 1. The Property is identified with a current street address of 14435 Cherry Lane Court, Laurel, Maryland 20707. The Property is also known as Parcel 6 on Tax Map 006, Grid C4. A location aerial photographic image showing the subject Property and its surrounding environs is included as **Exhibit 1** below. The subject site is an irregular-shaped lot designed with the proposed building facing/fronting Cherry Lane, and the rear of the building facing Cherry Lane Court (which curves around the northwest side of the site). Vehicular access is designed from two points on existing Cherry Lane Court.

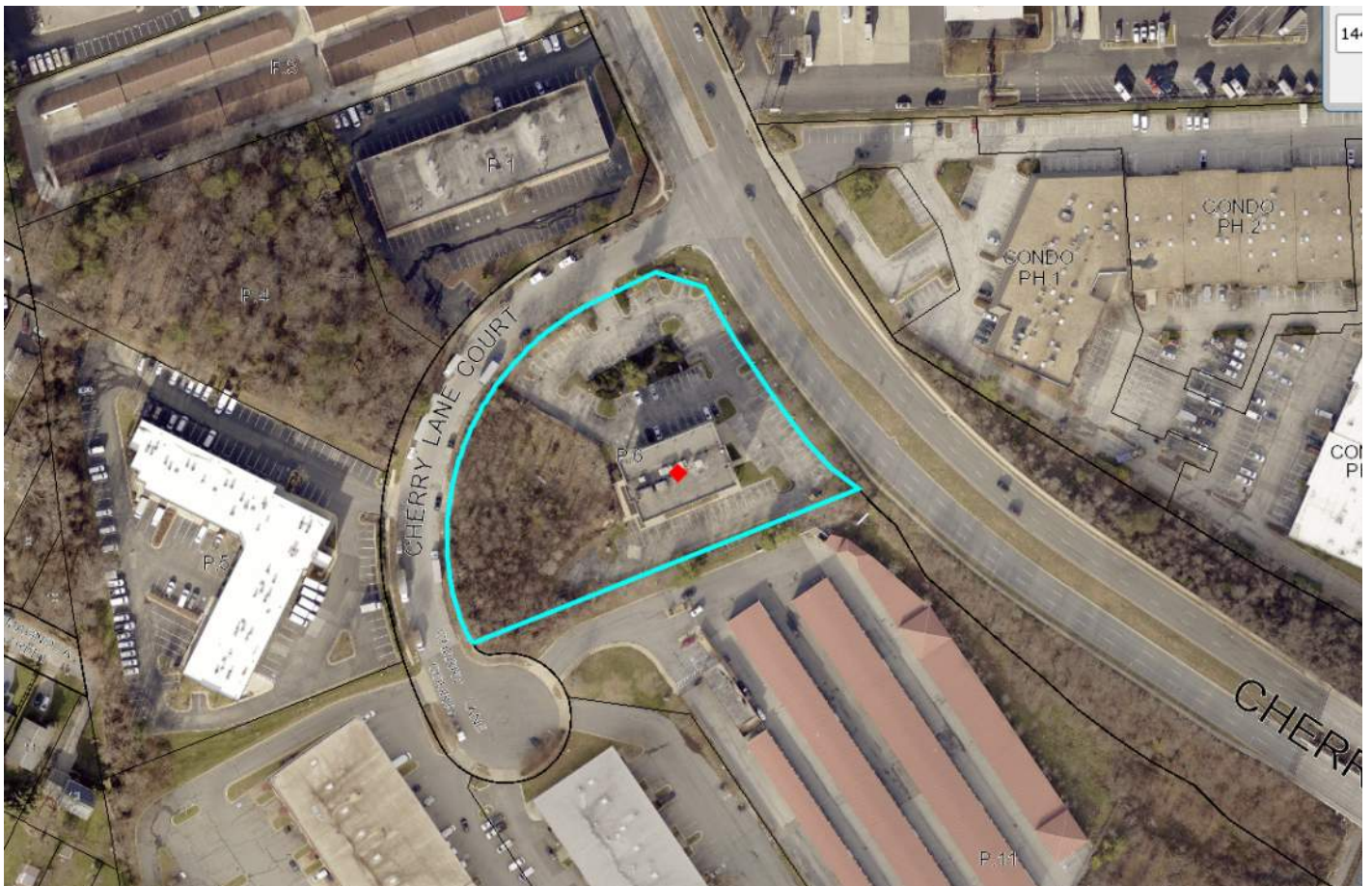


Exhibit 1 (not to scale)

II. Existing and Surrounding Uses:

To the north of the Property is a 2-story office building; to the east is the Cherry Lane right-of way; to the south is an existing consolidated storage facility; and, to the west are various warehouse/distribution uses. All surrounding properties will be zoned IE (per the CMA) as of April 1, 2022. A zoning/location map showing the subject Property in the center (Parcel 6) is included as **Exhibit 2** below:

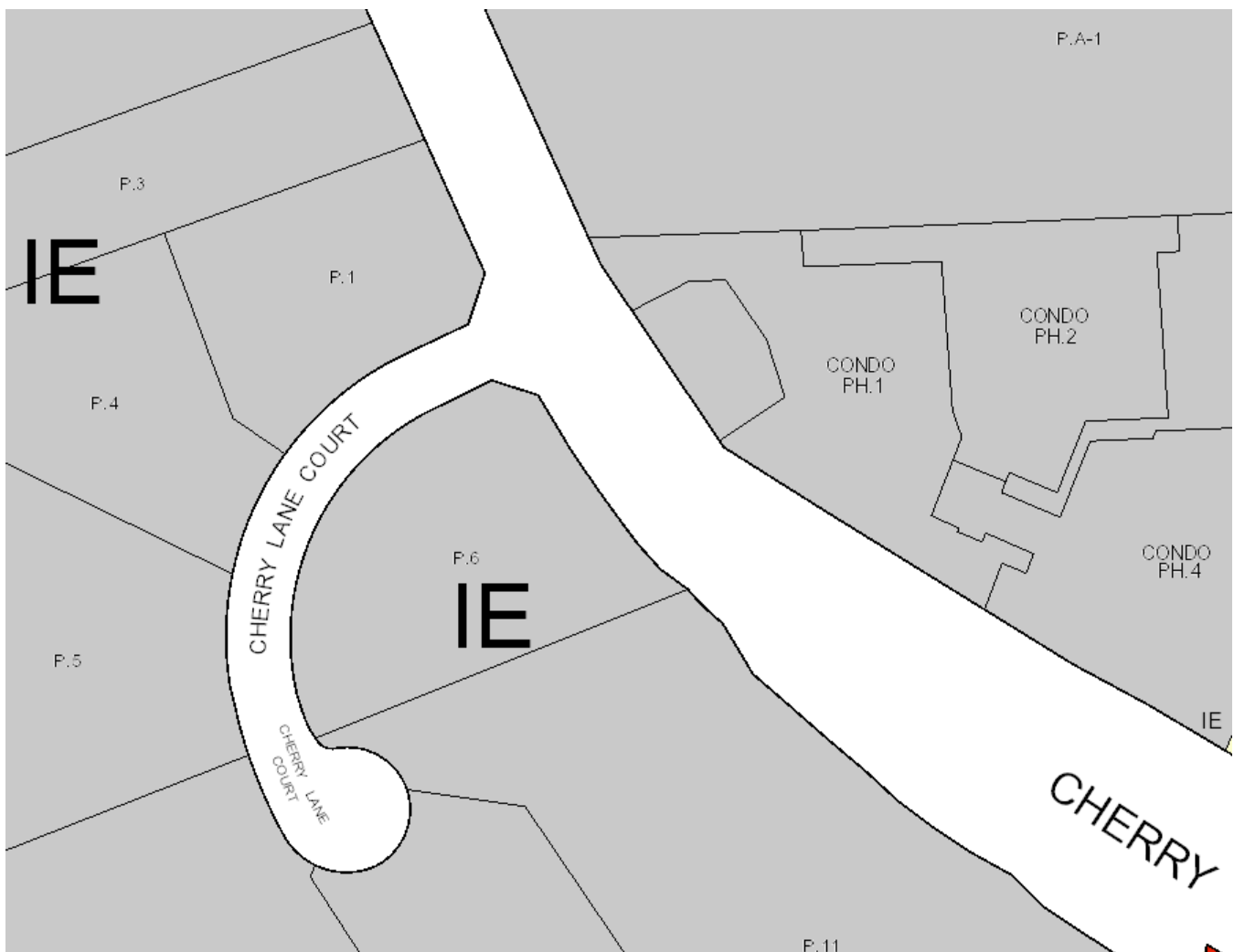


Exhibit 2 (not to scale)

III. Description of Subject Property and Development Proposal:

As discussed above, the purpose of this Detailed Site Plan is for the development of a 108,273 square-foot, 895-unit consolidated storage facility, and its associated parking, fencing, signage, and

landscaping. A total of 884 of the 895 storage units will be accessed from the interior of the building. The building is proposed to be 36-feet in height, and will include a 1,200 square-foot resident manager's office. The Property is approximately 2.33197 acres in size, is currently zoned I-1, (which will become the IE Zone effective April 1, 2022, per the CMA), and is developed with an existing 28,000 square-foot office building (and its related surface parking) that was constructed in approximately 1987. The Property is surrounded by light industrial, employment, and/or retail uses. The site is also flanked by Cherry Lane to the east and Cherry Lane Court to the north and west.

The site is subject to the *2010 Approved Master Plan and Sectional Map Amendment for Subregion 1 (Planning Areas 60, 61, 62, and 64)* (the "Master Plan"). Further, the Property is subject to Preliminary Plan of Subdivision (4-82096) approved by the Prince George's County Planning Board on November 18, 1982. The proposed consolidated storage development use is permitted by right in the I-1 Zone (and the IE Zone) and further meets the use requirements of Section 27-475.04 of the Zoning Ordinance.

A. Parking, Loading and Access:

The proposed detailed site plan has been designed to support a three (3) story, 108,273 square-foot building with 895-units and a 1,200 square-foot resident manager's office. The following parking and loading facilities are reflected on the submitted plan:

Parking Requirements

1.0 per 50 units with Interior Access Only (18 Spaces)

4.0 per 1,000 SF GFA Office (5 Spaces)

2.0 per Resident Manager (2 Spaces)

Total Req. Parking = 25 spaces

Total Parking Prov.= 25 spaces

Loading Requirements

2.0 for up to 10,000 sf (2 spaces)

1.0 for each additional 40,000 (3 Spaces)

Total Req. Loading = 5 spaces

Total Loading Prov.= 5 spaces

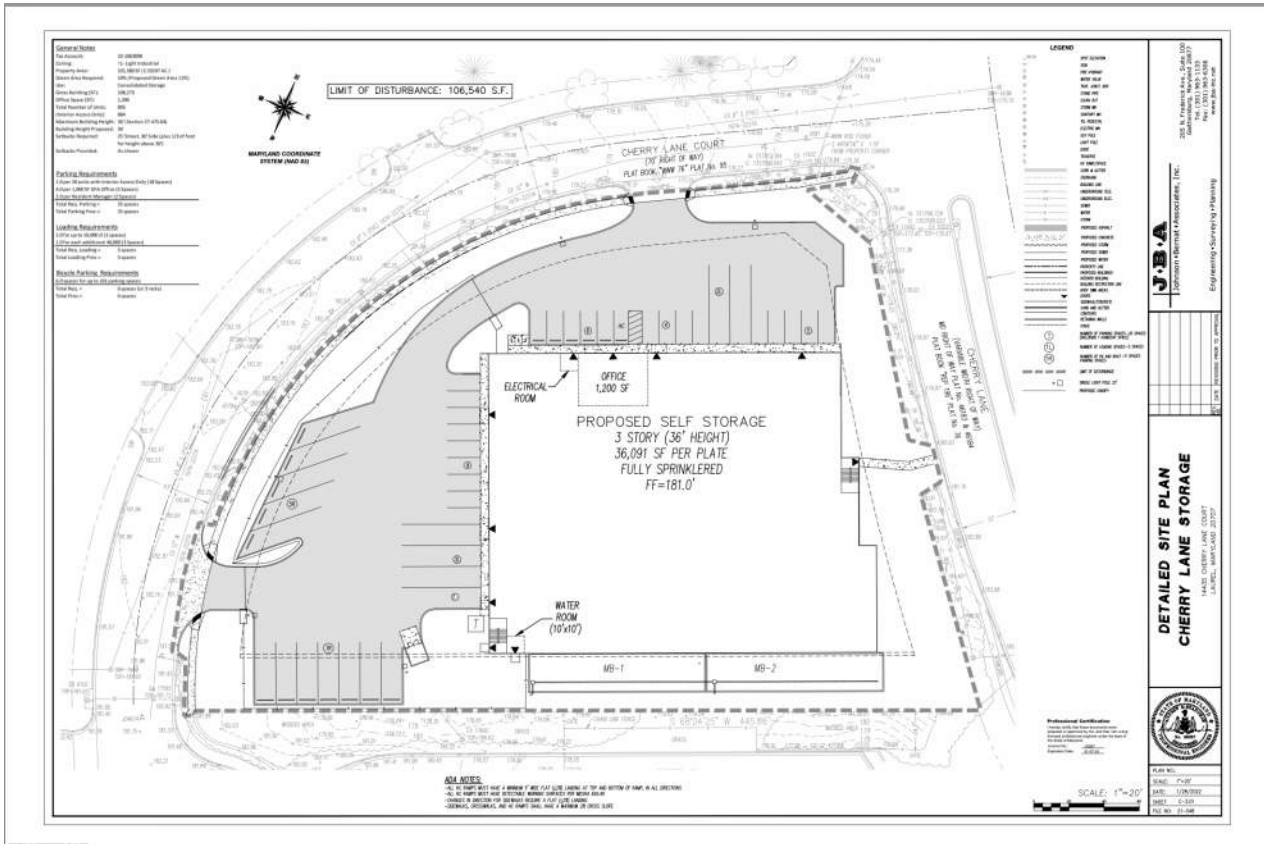
Bicycle Parking Requirements

6.0 spaces for up to 101 parking spaces

Total Req. = 6 spaces (or 3 racks)

Total Prov.= 6 spaces

Access to the site will be achieved from two separate driveway entrances from existing Cherry Lane Court. Parking and loading spaces will be provided on the north and west sides of the building. The proposed site plan for the project is reflected below:



Site Plan (not to scale)

B. Building Design:

The architectural elevations submitted with the subject application demonstrate that the materials and building signage proposed for the 3-story building will include high-quality materials to create variations in facades to break up the overall building massing. Proposed materials include exterior masonry walls and an energy-efficient, textured metal-insulated sandwich panel system. To facilitate facade variations and create visual interest, contrasting colors have been utilized in both the masonry and the metal panels. The roofline also has height, material, and color variations to continue the visual effect of breaking up the building’s massing. Storefront glazing windows are provided at various locations along the Northwest and Northeast facades. Building signage is proposed along facades with main street frontages (Cherry Lane Court- NW Facade and the Cherry Lane- NE Facade) and is within allowable sizes in accordance with Part 12 of the Zoning Ordinance based on proposed linear width of the building.

The proposed building is 36’ in height and will contain 895 individual storage units (884 interior and 11 exterior accessed units). All exterior accessed units will be screened from view from any public street and adjoining properties. The site will include perimeter fencing which will be 6 feet in height and be constructed with a combination of either vinyl coated chain link fence and/or “board on board” pressure treated wood fence. This application also proposes landscaping in conformance with the County’s *Landscape Manual* and provides plantings along streets, parking lot perimeter(s), and interior planting areas within the parking lot.

The proposed building and parking lot meets all required setbacks for the main building and parking lot in the I-1 Zone. Specifically, the main building is 25 feet from the public right-of-way and 32 feet from adjoining property (i.e., 30 feet + 1/3 foot for every foot in height the main building is above 30 feet = 32 feet). Similarly, the parking lot is located 10 feet from the public right-of-way.

C. Green and Sustainable Building Techniques:

The building proposed in this application will include a variety of energy efficient and green building features including:

- thermally efficient exterior walls
- thermal roof with high solar reflectance
- LED lighting with occupancy sensor controls throughout.

Additionally, the Applicant will institute the use of low impact development techniques and Environmental Site Design (ESD) in the handling of storm water runoff, to the maximum extent practicable.

IV. Development Data Summary:

	<u>EXISTING</u>	<u>PROPOSED (DSP-20048)</u>	<u>REQUIRED Parking & Loading</u>
Zone(s)	I-1	I-1	-
Use(s)	Office	Consolidated Storage	-
Acreage	2.33	2.33	-
Gross Floor Area	0	108,273 sq ft	-
Parcels	1	1	-
Number of Internally Accessed Units	N/A	884	-
Number of Externally Accessed Units	N/A	11	-
Total Number of	N/A	895	-

Storage Units			
Office Space (sq. ft.)	0	1,200 sq ft	-
Dwelling Units	N/A	N/A	-
Variance	No	No	
<u>Parking & Loading Spaces</u>			
Standard	0	24	24
RV & Boat Spaces	0	11	N/A
Handicapped Spaces	0	1	1 (van accessible)
Total	0	36	26
Loading Spaces (12' x 45')	0	5	5

V. Relationship to County Plans and Policies:

General Plan:

This proposal is consistent with the vision, policies, and strategies contained within Plan Prince George’s 2035 Approved General Plan (Plan Prince George’s 2035). The Plan Prince George’s 2035 land use map identifies the subject property as “Employment/Industrial”. This generalized future land use category is defined as:

	Industrial/ Employment	Manufacturing and industrial parks, warehouses and distribution. May include other employment, such as office and service uses.	N/A
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The instant proposal is consistent with the above land use category description in that it proposes a consolidated storage use permitted by right in the I-1 Zone that will be used to meet the needs of existing and future residents/workers in the immediate vicinity. Consolidated storage is a common light-industrial use that is similar to storage/distribution activities in industrial/employment areas. It should also be noted that the Plan Prince George’s 2035 acknowledges that 61% of seniors and millennials prefer multifamily housing (although said housing type constituting only 32% of County housing stock). The demand for and potential growth in multifamily housing will create a greater need for storage of materials within consolidated storage facilities such as the one proposed in this application. For all these reasons the proposed consolidated storage use in this detailed site plan is consistent with applicable general plan recommendations in Plan Prince George’s 2035.

Approved Master Plan and Sectional Map Amendment for Subregion 1:

The subject property is located within the boundaries of the *Approved Master Plan and Sectional Map Amendment for Subregion 1*. This Master Plan contains a future land use

recommendation of “Industrial” use for the Property. The Master Plan states that light-industrial land use includes industrial parks that consist of multiple building on large lots, concentrated in developed industrial areas such as land along Cherry Lane east of US 1. The subject Property is in such a “light-industrial” area as it is surrounded by properties which have been developed with light industrial uses in the I-1 Zone. The Economic Development chapter of the Master Plan also identifies strategies for redevelopment of existing industrial areas which includes the following:

- Ensure that new and replacement flex and industrial stock meets required design standards, modern-day loading requirements and current capacity needs.
- Incentivize industrial users to renovate or rehabilitate their industrial properties by encouraging building frontages compatible with the area and locating operations, materials production and storage of materials to the rear of these properties.

(See Master Plan pgs. 78-79).

Development of this site presents a unique opportunity to take an industrial property containing an office building that is largely vacant and over 32 years old and rehabilitate it to meet the above Master Plan’s goals and vision for economic development. Specifically, the proposed consolidated storage use meets all current I-1 Zone regulations and represents replacement/redevelopment of an older structure with a modern and attractive 3-story masonry building that will be highly compatible with surrounding development. This new building will very likely increase the commercial tax base for the County (over and above the assessed value of the current office building) and provide a consolidated storage use to serve the storage needs anticipated for residents and workers of the general area/neighborhood.

Requirements of the Zoning Ordinance:

Section 27-473, Uses Permitted in Industrial Zones: A consolidated storage facility is a permitted use in the I-1 Zone in accordance with Section 27-475.04, Consolidated Storage. The site will be developed in accordance with the regulations of the I-1 Zone.

Section 27-474, Regulations for the I-1 Zone: The proposed parcel for light industrial development appears to be sufficient in size to meet the regulations for the I-1 Zone as stated in Section 27-474. The property will be required to provide a 25-foot setback from the ultimate right-of-way line of all streets, which shall be at least 35 feet from the centerline, unless it is greater as shown on an approved plan, master plan, or capital improvement program per Section 27-474(b), Footnote 4. Additionally, a minimum 30-foot setback combined total for both sides is required

along the side yard adjoining non-residentially zoned land. This detailed site plan complies with these requirements.

Section 27-475.04, Consolidated Storage: The proposed consolidated storage use in the I-1 Zone has to be developed in accordance with this section, which requires a detailed site plan to be approved in accordance with Part 3, Division 9 of Subtitle 27. Additional requirements in this section include that the entrances to individual consolidated storage units may not be visible from a street or from adjoining land in any commercial zone, which includes all four sides of the subject property, that they shall be oriented toward the interior of the development or completely screened from view, and that the maximum height of the building shall be 36 feet. The improvements proposed in this detailed site plan complies with these requirements.

Other Design Issues: The I-1 Zone does not typically require detailed site plan approval, except for certain uses, such as the consolidated storage use in this application. However, the I-1 Zone allows a wide range of other uses (such as warehouse/distribution facilities) which exist and are adjacent to the subject Property. These uses are highly compatible with the proposed consolidated storage facility in this application.

Approved Countywide Green Infrastructure Plan:

The subject Property is not specifically identified for preservation within the boundaries of the Approved Countywide Green Infrastructure Plan and does not contain any regulated areas, evaluation areas, or network gaps.

County's Ten Year Water and Sewerage Plan:

The 2010 Water and Sewer Plan placed this property in water and sewer Category 3, Planned or Existing Community System, and within Tier 1 under the Sustainable Growth Act, the site will, therefore, be served by public systems. The existing development on the Property is served by public water and sewer systems.

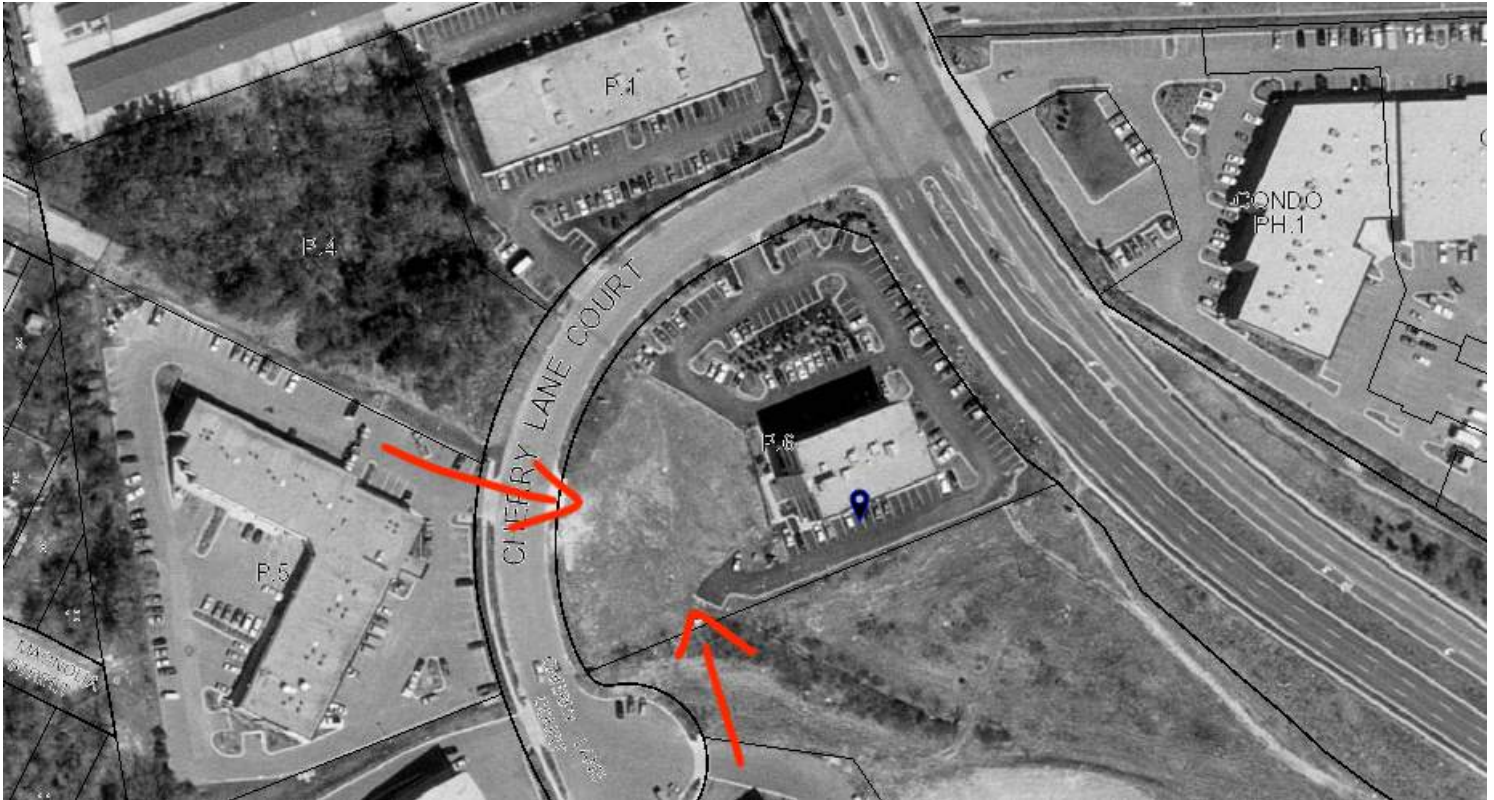
Stormwater Management:

A site development concept plan (No. 2354-2022) has been submitted and is pending approval with the Department of Permitting, Inspections, and Enforcement. According to the concept plan, the proposed design quantity and quality management of stormwater will be through the provision of onsite micro-bioretenion facilities. The proposed site development concept plan design ensures that this site's development does not result in on-site or downstream flooding.

Woodland Conservation Ordinance:

This Property is subject to the provisions of the Prince George's County Woodland and Wildlife Habitat Conservation Ordinance because the property is greater than 40,000 square feet in area and contains more than 10,000 square feet of existing woodlands. The approved NRI for the Property notes that said woodlands represents a very young tree stand and is dominated by invasive

species. Further, historic aerial imagery from PgAtlas.com circa 1998 shows the area of the woodland on the Property not existing (see below):



A Tree Conservation Plan 2 has been submitted with this detailed site plan application.

VI. Relationship to Requirements in the Zoning Ordinance:

Section 27-281 - Purposes of Detailed Site Plans:

(b) General DSP Purposes:

(1) The general purposes of Detailed Site Plans are:

- (A) To provide for development in accordance with the principles for the orderly, planned, efficient and economical development contained in the General Plan, Master Plan, or other approved plan;**

Response: The subject Property will continue to be developed in accordance with the relevant land use policy recommendations contained in the 2035 General Plan (which recommends an

employment/industrial future land use) and the *Approved Master Plan and Sectional Map Amendment for Subregion 1* (which recommends an industrial land use) (See Section V herein).

(B) To help fulfill the purposes of the zone in which the land is located;

The purposes of the I-1 Zone are found in Section 27-469 and include the following:

Section 27-469. - I-1 Zone (Light Industrial)

(a) Purposes.

(1) The purposes of the I-1 Zone are:

- (A) To attract a variety of labor-intensive light industrial uses;**
- (B) To apply site development standards which will result in an attractive, conventional light industrial environment;**
- (C) To create a distinct light industrial character, setting it apart from both the more intense Industrial Zones and the high-traffic-generating Commercial Zones; and**
- (D) To provide for a land-use mix which is designed to sustain a light industrial character.**

Response: The consolidated storage use is a permitted use in the I-1 Zone and is consistent with the land-use recommendations for the property within the 2035 General Plan and the applicable Master Plan which recommends an industrial/employment land use.

(b) Landscaping, screening, and buffering of development in the I-1 Zone shall be provided in accordance with the provisions of the Landscape Manual. In addition, the following applies:

- (1) At least ten percent (10%) of the net lot area shall be maintained as green area.**
- (2) Any landscaped strip adjacent to a public right-of-way required pursuant to the provisions of the Landscape Manual shall not be considered part of the required green area.**
- (3) A vehicle towing station permitted in the I-1 Zone shall be screened by a wall or fence at least six (6) feet high, or by an evergreen screen, unless the adjoining property is used for a vehicle towing station or a vehicle salvage yard.**

Response: The submitted site plan demonstrates that 11 percent of the property will be maintained as a green area. The subject application has also been designed to meet all other applicable requirements of the *Landscape Manual* and Tree Canopy Coverage Ordinance.

(c) Outdoor storage.

(1) Outdoor storage shall not be visible from a street.

Response: No outdoor storage is proposed on the subject property other than RV and boat spaces in the rear of the proposed building. Notwithstanding, said RV and boat spaces will be screened by a sight-tight fence (with an associated electric security gate) as well as perimeter landscaping so as not be visible from a public street.

(d) Uses.

(1) The uses allowed in the I-1 Zone are as provided for in the Table of Uses (Division 3 of this Part).

Response: Consolidated storage in accordance with Section 27-475.04 is a permitted use in the I-1 Zone.

(e) Regulations.

(1) Additional regulations concerning the location, size, and other provisions for all buildings and structures in the I-1 Zone are as provided for in Divisions 1 and 5 of this Part, the Regulations Tables (Division 4 of this Part), General (Part 2), Off-Street Parking and Loading (Part 11), Signs (Part 12), and the Landscape Manual.

Response: The submitted site plan has been designed in accordance with the above requirements.

Section 27-281(b) - Purposes of Detailed Site Plans - Continued:

(C) To provide for development in accordance with the site design guidelines established in this Division; and

Response: The proposed development is designed in accordance with site design guidelines in this Division. The “general” site design guidelines are found in Section 27-283 and require the following:

(a) The Detailed Site Plan shall be designed in accordance with the same guidelines as required for a Conceptual Site Plan (Section 27-274).

(b) The guidelines shall only be used in keeping with the character and purpose of the proposed type of development, and the specific zone in which it is to be located.

(c) These guidelines may be modified in accordance with Section 27-286.

Response: The subject DSP-22007 has been developed in accordance with the site plan design guidelines contained in Section 27-274 that pertain to the following relevant design elements:

Section 27-274 – Design Guidelines

(1) General

(A) The Plan should promote the purposes of the Conceptual Site Plan.

Response: This finding is not applicable to the subject application. There is no underlying conceptual design plan associated with the subject Property.

(2) Parking, loading, and circulation.

(A) Surface parking lots should be located and designed to provide safe and efficient vehicular and pedestrian circulation within the site, while minimizing the visual impact of cars. Parking spaces should be located to provide convenient access to major destination points on the site. As a means of achieving these objectives, the following guidelines should be observed:

- (i) Parking lots should generally be provided to the rear or sides of structures;**
- (ii) Parking spaces should be located as near as possible to the uses they serve;**
- (iii) Parking aisles should be oriented to minimize the number of parking lanes crossed by pedestrians;**
- (iv) Large, uninterrupted expanses of pavement should be avoided or substantially mitigated by the location of green space and plant materials within the parking lot, in accordance with the Landscape Manual, particularly in parking areas serving townhouses; and**
- (v) Special areas for van pool, car pool, and visitor parking should be located with convenient pedestrian access to buildings.**

Response: The proposed parking compound is designed so that all loading requirements for the storage facility can be fully met on-site without creating the need for a departure. All parking and loading space sizes and driveway aisles have been designed in accordance with Part 11 of the Zoning Ordinance.

(B) Loading areas should be visually unobtrusive and located to minimize conflicts with vehicles or pedestrians. To fulfill this goal, the following guidelines should be observed:

- (i) **Loading docks should be oriented toward service roads and away from major streets or public view; and**
- (ii) **Loading areas should be clearly marked and should be separated from parking areas to the extent possible.**

Response: The submitted landscape plan demonstrates compliance with the above two design standards.

(C) Vehicular and pedestrian circulation on a site should be safe, efficient, and convenient for both pedestrians and drivers. To fulfill this goal, the following guidelines should be observed:

- (i) **The location, number and design of driveway entrances to the site should minimize conflict with off-site traffic, should provide a safe transition into the parking lot, and should provide adequate acceleration and deceleration lanes, if necessary;**
- (ii) **Entrance drives should provide adequate space for queuing;**
- (iii) **Circulation patterns should be designed so that vehicular traffic may flow freely through the parking lot without encouraging higher speeds than can be safely accommodated;**
- (iv) **Parking areas should be designed to discourage their use as through-access drives;**
- (v) **Internal signs such as directional arrows, lane markings, and other roadway commands should be used to facilitate safe driving through the parking lot;**
- (vi) **Drive-through establishments should be designed with adequate space for queuing lanes that do not conflict with circulation traffic patterns or pedestrian access;**
- (vii) **Parcel pick-up areas should be coordinated with other on-site traffic flows;**
- (viii) **Pedestrian access should be provided into the site and through parking lots to the major destinations on the site;**
- (ix) **Pedestrian and vehicular circulation routes should generally be separated and clearly marked;**

- (x) **Crosswalks for pedestrians that span vehicular lanes should be identified by the use of signs, stripes on the pavement, change of paving material, or similar techniques; and**
- (xi) **Barrier-free pathways to accommodate the handicapped should be provided.**

Response: The limits of the parking compound, on-site circulation driveway aisle widths, and parking spaces sizes have been fully designed in accordance with the requirements of Part 11 of the Zoning Ordinance and will provide safe, efficient on-site circulation for both pedestrians and drivers. All pedestrian sidewalks routes are ADA compliant to accommodate access into the building for the physically handicapped.

(3) Lighting.

- (A) **For uses permitting nighttime activities, adequate illumination should be provided. Light fixtures should enhance the site's design character. To fulfill this goal, the following guidelines should be observed:**
 - (i) **If the development is used at night, the luminosity, orientation, and location of exterior light fixtures should enhance user safety and minimize vehicular/pedestrian conflicts;**
 - (ii) **Lighting should be used to illuminate important on-site elements such as entrances, pedestrian pathways, public spaces, and property addresses. Significant natural or built features may also be illuminated if appropriate to the site;**
 - (iii) **The pattern of light pooling should be directed on-site;**
 - (iv) **Light fixtures fulfilling similar functions should provide a consistent quality of light;**
 - (v) **Light fixtures should be durable and compatible with the scale, architecture, and use of the site; and**
 - (vi) **If a variety of lighting fixtures is needed to serve different purposes on a site, related fixtures should be selected. The design and layout of the fixtures should provide visual continuity throughout the site.**

Response: The lighting proposed in this DSP meets all of the above requirements. All prominent on-site elements, such as the main entrance to the building, will be consistently lit throughout the

appropriate portions of the day. The site also utilized full cut-off optics to limit light spill-over into adjacent properties.

(4) Views.

- (A) Site design techniques should be used to preserve, create, or emphasize scenic views from public areas.**

Response: There are no on-site or adjacent public areas or incompatible uses associated with the submitted DSP-22007 application. The proposed building reflects a modern architectural design with quality materials that should be aesthetically pleasing to passing motorists along Cherry Lane and Cherry Lane Court.

(5) Green area.

- (A) On-site green area should be designed to complement other site activity areas and should be appropriate in size, shape, location, and design to fulfill its intended use. To fulfill this goal, the following guidelines should be observed:**
- (i) Green area should be easily accessible in order to maximize its utility and to simplify its maintenance;**
 - (ii) Green area should link major site destinations such as buildings and parking areas;**
 - (iii) Green area should be well-defined and appropriately scaled to meet its intended use;**
 - (iv) Green area designed for the use and enjoyment of pedestrians should be visible and accessible, and the location of seating should be protected from excessive sun, shade, wind, and noise;**
 - (v) Green area should be designed to define space, provide screening and privacy, and serve as a focal point;**
 - (vi) Green area should incorporate significant on-site natural features and woodland conservation requirements that enhance the physical and visual character of the site; and**
 - (vii) Green area should generally be accented by elements such as landscaping, pools, fountains, street furniture, and decorative paving.**

Response: Section 27-469(b)(1) requires that in the I-1 Zone at least ten percent (10%) of the net lot area be maintained as a green area. Based on the submitted site plan, approximately 11% of the property will be maintained as a green area. The subject application has also been designed to meet all applicable requirements of the *Landscape Manual* and Tree Canopy Coverage Ordinance.

(6) Site and streetscape amenities.

(A) Site and streetscape amenities should contribute to an attractive, coordinated development and should enhance the use and enjoyment of the site. To fulfill this goal, the following guidelines should be observed:

- (i) The design of light fixtures, benches, trash receptacles, bicycle racks and other street furniture should be coordinated in order to enhance the visual unity of the site;**
- (ii) The design of amenities should take into consideration the color, pattern, texture, and scale of structures on the site, and when known, structures on adjacent sites, and pedestrian areas;**
- (iii) Amenities should be clearly visible and accessible, and should not obstruct pedestrian circulation;**
- (iv) Amenities should be functional and should be constructed of durable, low maintenance materials;**
- (v) Amenities should be protected from vehicular intrusion with design elements that are integrated into the overall streetscape design, such as landscaping, curbs, and bollards;**
- (vi) Amenities such as kiosks, planters, fountains, and public art should be used as focal points on a site; and**
- (vii) Amenities should be included which accommodate the handicapped and should be appropriately scaled for user comfort.**

Response: Although no streetscape amenities are proposed as part of this light-industrial use, proposed features such as light fixtures, bike racks, and fencing have been designed to coordinate with and offer visual unity throughout the site. Street frontage improvements will be completed along all public right-of-ways that abut the subject Property. These improvements will include pedestrian sidewalks, street trees and full compliance with Sections 4.2 and 4.3 of the *Landscape Manual*.

(7) Grading.

- (A) Grading should be performed to minimize disruption to existing topography and other natural and cultural resources on the site and on adjacent sites. To the extent practicable, grading should minimize environmental impacts. To fulfill this goal, the following guidelines should be observed:**
 - (i) Slopes and berms visible from streets and other public areas should appear as naturalistic forms. Slope ratios and the length of slopes should be varied if necessary to increase visual interest and relate manmade landforms to the shape of the natural terrain;**
 - (ii) Excessive grading of hilltops and slopes should be avoided where there are reasonable alternatives that will preserve a site's natural landforms;**
 - (iii) Grading and other methods should be considered to buffer incompatible land uses from each other;**
 - (iv) Where steep slopes cannot be avoided, plant materials of varying forms and densities should be arranged to soften the appearance of the slope; and**
 - (v) Drainage devices should be located and designed so as to minimize the view from public areas.**

Response: All grading will conform to the above regulations and the approved Site Development Concept Plan.

(8) Service areas.

- (A) Service areas should be accessible, but unobtrusive. To fulfill this goal, the following guidelines should be observed:**
 - (i) Service areas should be located away from primary roads, when possible;**
 - (ii) Service areas should be located conveniently to all buildings served;**
 - (iii) Service areas should be effectively screened or enclosed with materials compatible with the primary structure; and**

- (iv) Multiple building developments should be designed to form service courtyards which are devoted to parking and loading uses and are not visible from public view.**

Response: The above guidelines largely do not apply to a consolidated storage facility in the I-1 Zone. Notwithstanding, the trash dumpster for the proposed building will be screened by an appropriate enclosure. A detail of said dumpster enclosure is reflected in the detailed site plan set.

(9) Public spaces.

- (A) A public space system should be provided to enhance a large-scale commercial, mixed-use, or multifamily development. To fulfill this goal, the following guidelines should be observed:**
 - (i) Buildings should be organized and designed to create public spaces such as plazas, squares, courtyards, pedestrian malls, or other defined spaces;**
 - (ii) The scale, size, shape, and circulation patterns of the public spaces should be designed to accommodate various activities;**
 - (iii) Public spaces should generally incorporate sitting areas, landscaping, access to the sun, and protection from the wind;**
 - (iv) Public spaces should be readily accessible to potential users; and**
 - (v) Pedestrian pathways should be provided to connect major uses and public spaces within the development and should be scaled for anticipated circulation.**

Response: The above guidelines do not apply to a consolidated storage facility in the I-1 Zone.

(10) Architecture.

- (A) When architectural considerations are referenced for review, the Conceptual Site Plan should include a statement as to how the architecture of the buildings will provide a variety of building forms, with a unified, harmonious use of materials and styles.**
- (B) The guidelines shall only be used in keeping with the character and purpose of the proposed type of development and the specific zone in which it is to be located.**
- (C) These guidelines may be modified in accordance with Section 27-277.**

Response: Other than the location of entrances to individual storage units, there are no specific architectural considerations within Section 27-475.04 that apply to consolidated storage uses. The proposed 3-story building will contain 895 individual storage units (884 interior and 11 exterior accessed units). All exterior accessed units will be screened from view from any public street. The architectural elevations submitted with the subject application demonstrate that the materials and building signage proposed for the building will include high-quality materials to create variations in facades and break up the overall building massing. Proposed materials include exterior masonry walls and an energy-efficient, textured metal-insulated sandwich panel system and decorative metal panels. To facilitate facade variations and create visual interest, contrasting colors have been utilized in both the masonry and the metal panels. The roofline also has height, material, and color variations to continue the visual effect of breaking up the building's massing. Storefront glazing windows are provided at various locations along the Northwest and Northeast facades. Building signage is proposed along facades with main street frontages (Cherry Lane Court- NW Facade and the Cherry Lane- NE Facade) and is within allowable sizes based on proposed street frontage.

Section 27-281(c) – Specific Purposes of Detailed Site Plans:

(c) Specific Purposes.

(1) The specific purposes of Detailed Site Plans are:

- (A) To show the specific location and delineation of buildings and structures, parking facilities, streets, green areas, and other physical features and land uses proposed for the site;**
- (B) To show specific grading, planting, sediment control, tree preservation, and storm water management features proposed for the site;**
- (C) To locate and describe the specific recreation facilities proposed, architectural form of buildings, and street furniture (such as lamps, signs, and benches) proposed for the site; and**
- (D) To describe any maintenance agreements, covenants, or construction contract documents that are necessary to assure that the Plan is implemented in accordance with the requirements of this Subtitle.**

Response: The DSP and related plans show all the above information that is relevant to a consolidated storage use in an industrial zone.

F. Section 27-285. - Planning Board procedures

(b) Required Findings

- (1) The Planning Board may approve a Detailed Site Plan if it finds that the plan represents a reasonable alternative for satisfying the site design guidelines, without requiring unreasonable costs and without detracting substantially from the utility of the proposed development for its intended use. If it cannot make these findings, the Planning Board may disapprove the Plan.**

Response: This application is in harmony with the site design guidelines provided in Section 27-274.

- (2) The Planning Board shall also find that the Detailed Site Plan is in general conformance with the approved Conceptual Site Plan (if one was required).**

Response: A conceptual site plan was not required for this project.

- (3) The Planning Board may approve a Detailed Site Plan for Infrastructure if it finds that the plan satisfies the site design guidelines as contained in Section 27-274, prevents offsite property damage, and prevents environmental degradation to safeguard the public's health, safety, welfare, and economic well-being for grading, reforestation, woodland conservation, drainage, erosion, and pollution discharge.**

Response: The Applicant is not proposing an infrastructure only DSP, therefore the above finding is not applicable to the application.

- (4) The Planning Board may approve a Detailed Site Plan if it finds that the regulated environmental features have been preserved and/or restored in a natural state to the fullest extent possible in accordance with the requirement of Subtitle 24-130(b)(5).**

Response: The approved NRI for the subject Property reflects that the site does not contain any sensitive environmental features.

G. Additional Requirements for Specific Use – Consolidated Storage

Section 27-475.04. - Consolidated Storage.

- (a) Beginning June 23, 1988, a Detailed Site Plan shall be approved for consolidated storage developments in accordance with Part 3, Division 9, of this Subtitle to ensure compliance with the provisions of this Section. Consolidated storage**

constructed pursuant to a building permit issued prior to this date; consolidated storage for which grading permits were issued prior to this date, subject to Subsection (b); and consolidated storage for which applications for building permits were filed on September 22, 1987, and which are actively pending as of October 25, 1988, subject to Subsection (b), need not meet these requirements.

(1) Requirements.

- (A) No entrances to individual consolidated storage units shall be visible from a street or from adjoining land in any Residential or Commercial Zone (or land proposed to be used for residential or commercial purposes on an approved Basic Plan for a Comprehensive Design Zone, or any approved Conceptual or Detailed Site Plan).**
- (B) Entrances to individual consolidated storage units shall be either oriented toward the interior of the development or completely screened from view by a solid wall, with landscaping along the outside thereof.**

Response: The proposed building will contain 895 individual storage units (884 interior and 11 exterior accessed units). All exterior accessed units will be screened from view from any public street. There is no adjoining land to the site that is in a commercial or residential zone that would have any views of any externally accessed storage units.

- (C) The maximum height shall be thirty-six (36) feet. Structures exceeding this height and approved before January 1, 2000, shall not be considered nonconforming.**

Response: The maximum height of the proposed building addition is thirty-six (36) feet high.

- (D) Notwithstanding any other requirement of this Section, the expansion of an existing consolidated storage use within a building in the I-1 Zone after November 30, 2016, shall be limited to a maximum of fifty (50) additional individual units and may not be less than one-half mile from another consolidated storage use in the I-1 Zone. However, this Section shall not apply to a consolidated storage use expansion constructed pursuant to an approved preliminary plan, final plat, and detailed site plan, where the consolidated storage use is adequately buffered from view from any public right-of-way.**

Response: The proposed consolidated storage facility does not represent an expansion of an existing facility. Therefore, this section does not apply.

- (b) In order for a consolidated storage for which a grading permit had been issued prior to June 23, 1988, or for which application for a building permit was filed on September 22, 1987, and which is actively pending as of October 25, 1988, to**

be exempted from the Detailed Site Plan requirement of Subsection (a), the permit application or the attendant site plan must identify the consolidated storage as the proposed use, and the warehouse must comply with paragraph 1 of Subsection (a). In addition, a proposed consolidated storage use within a business park development project with existing and proposed uses, within a detailed site plan application, filed and accepted by the Planning Board, and which is actively pending, pursuant to an approved preliminary plan of subdivision in a valid status as of November 30, 2016 shall be exempt from the prescriptions of Subsection (a) of this Section.

Response: The proposed consolidated storage use is for new construction; therefore, this standard does not apply to this application.

- (c) Unless otherwise exempted from the prescriptions of this Section, consolidated storage shall be a permitted use in the I-1 Zone, subject to the following additional requirements:**
 - (i) A detailed site plan is approved for the proposed development of the use, in accordance with Part 3, Division 9 of this Subtitle;**
 - (ii) The required technical staff report prepared and submitted to the administrative record for the detailed site plan application shall include a current, countywide inventory of the locations, dates of approval, and any conditions of approval for consolidated storage uses located on property within one-half mile of the boundaries of the property on which the proposed consolidated storage use will be located; and**
 - (iii) The Planning Board and/or the District Council shall consider, in its review of a detailed site plan application pursuant to this Section, the inventory submitted to the administrative record in accordance with Subsection (b) of this Section, above, for purposes of finding conformance with the required findings of approval set forth in Part 3, Division 9 of this Subtitle.**

Response: The technical staff, Planning Board and/or District Council, will address the procedural requirements of Sections 27-475.04(c)(ii & iii) during their review of the subject application.

H. Building Signs:

Only two building signs are proposed with the subject DSP application. A 411.63 square-foot sign is proposed along the front (northwest) elevation of the building facing Cherry Lane Court, and a 203.28 square-foot sign is proposed along the side (northeast) elevation of the building facing Cherry Lane. The proposed building signage will be mounted directly on the architectural face of the building. As a result, the proposed signage is entitled to a fifty-percent (50%) reduction in

accordance with Section 27-591(a) of the Zoning Ordinance. The proposed building signage has been designed to be in full compliance with the sign area requirements in Section 27-613(c)(3)(B) of the Zoning Ordinance.

Other than signs identifying the property address and interior directional and parking identification signs, no other signs are being proposed on the Property. Further, monument or other freestanding signs that are typical with most DSP applications for consolidated storage are not being proposed on the subject Property.

Response: Section 27-613(a) outlines the locational requirements for building signs as follows:

Section 27-613. – Attached to a building or canopy.

(a) Location.

- (1) In all Commercial and Industrial Zones (except the I-3 and U-L-I Zones), signs may be attached to the walls or roof of a building or to a canopy that is located at least ten (10) feet behind a street line. No signs may be erected on the top of a canopy. No sign shall be erected on a rear wall or canopy attached to a rear wall so that it is visible from any land in any Residential Zone or land proposed to be used for residential purposes on an approved Basic Plan for a Comprehensive Design Zone, approved Official Plan for an R-P-C Zone, or any approved Conceptual or Detailed Site Plan.**

Response: The proposed signage complies with this standard. The building is setback more than ten (10) feet from the street line. There is no residentially zoned land proximate to the proposed signage. None of the building signage proposed will be visible from residential land or land proposed to be used for residential purposes.

Section 27-613(c) outlines the general area requirements for building signs as follows:

(c) Area. (See Figure 66.)

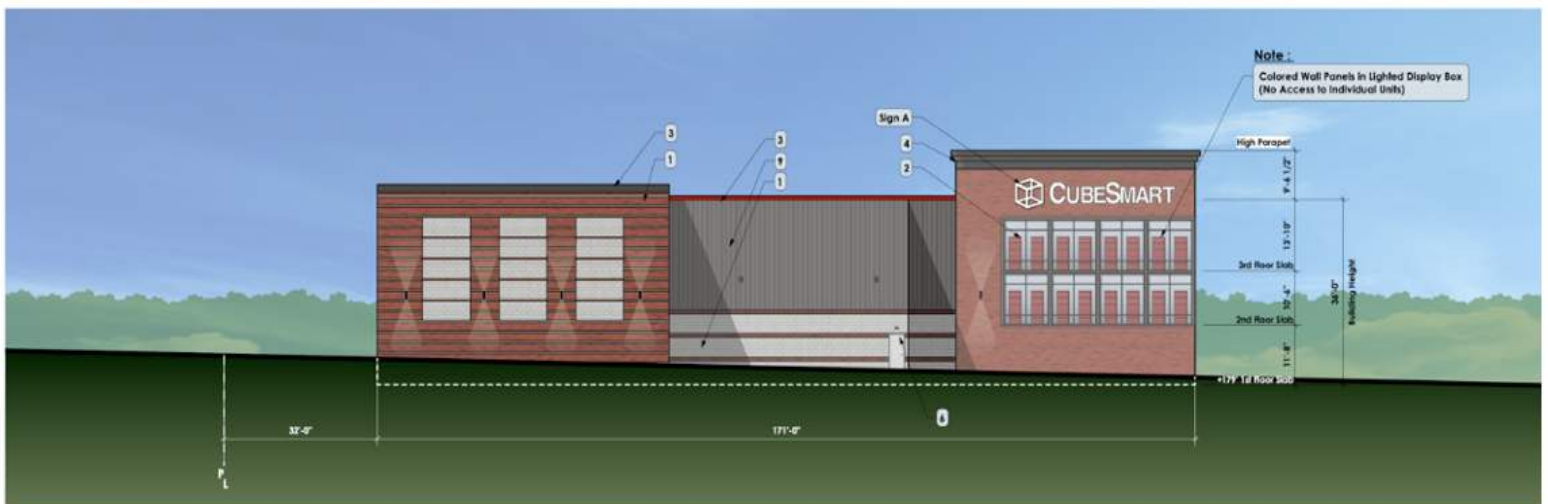
(1) In general.

- (A) The maximum permissible area of building and canopy signs is dependent upon the building or canopy width, the distance between the edge of the canopy and the street line toward which the sign faces, and whether the permissible sign area is divided between the building and the canopy.**

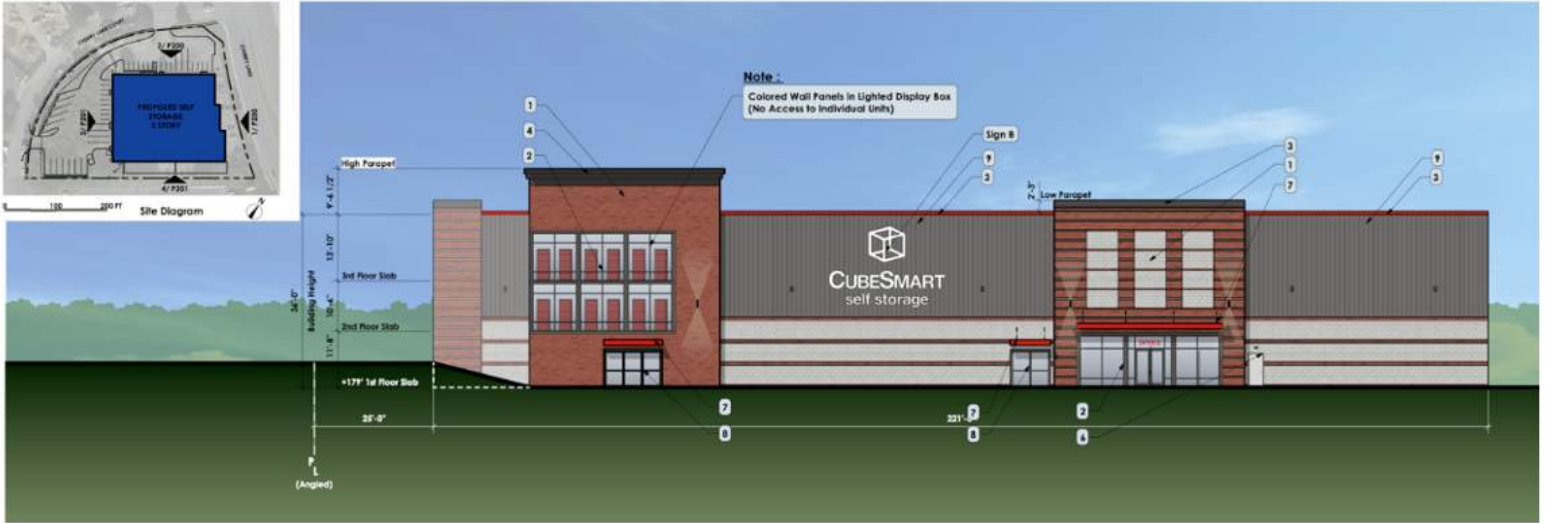
Response: The width of the building measured along the portion of the building containing the principal entrance is 221 linear feet.

- (3) **Commercial Zones (except the C-O Zone) and Industrial Zones (except the I-3 and U-L-I Zones).**
 - (B) **In all Commercial Zones (except the C-O Zone) and all Industrial Zones (except the I-3 and U-L-I Zones), if all of the permissible sign area is to be used on any building occupied by only one (1) use that is not located within an integrated shopping or industrial center or office building complex, the following applies:**
 - (i) **Each building shall be allowed a sign having an area of at least sixty (60) square feet.**
 - (ii) **Except as provided in (i), above, the area of all of the signs on a building shall be not more than two (2) square feet for each one (1) lineal foot of width along the front of the building (measured along the wall facing the front of the lot or the wall containing the principal entrance to the building, whichever is greater), to a maximum of four hundred (400) square feet.**

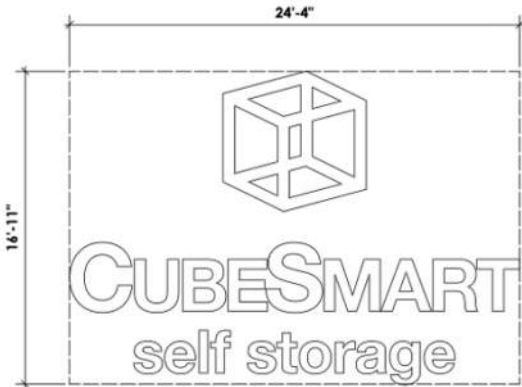
Response: The instant proposal includes two (2) building mounted signs along the northeast and northwest elevations of the building. The specifications of these signs are in compliance with the signage regulations in Part 12 of the Zoning Ordinance that are applicable to the I-1 Zone and include the following details:



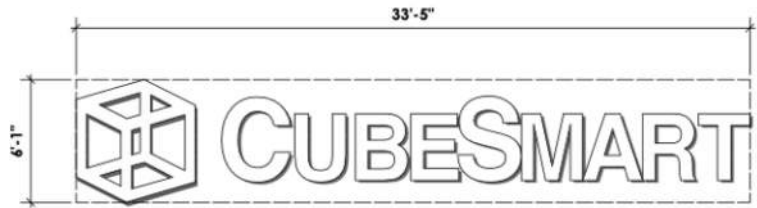
1 - Proposed Design- Side Elevation Facing Cherry Lane (NE)



2 - Proposed Design-Front Elevation Facing Cherry Lane Court (NW)



2 Wall-Mounted Signs B - 411.63 SF
 P-500 Scale: 1/4" = 1'-0"



1 Wall-Mounted Signs A - 203.28 SF
 P-500 Scale: 1/4" = 1'-0"

PROPOSED WALL-MTD SIGNAGE ANALYSIS						
SIGN	QUANTITY	TYPE	WIDTH	HEIGHT	AREA	ILLUMINATION
A	1	Wall-Mounted	33' - 5"	6' - 1"	203.28 SF	Internally
B	1	Wall-Mounted	24' - 4"	16' - 11"	411.63 SF	Internally
TOTAL PROPOSED WALL-MOUNTED SIGN AREA :					614.91 SF	
Per 27-613(3)(B)(ii) TOTAL ALLOWED WALL-MOUNTED SIGN AREA (221 LF x 2 = 442, Max 400 SF) :					400.0 SF	SIGNAGE COMPLIES
Per 27-591(a) 50% Area Reduction : TOTAL CALCULATED WALL-MOUNTED SIGN AREA (614.91/2 = 307.46) :					307.46 SF	

VII. Previous Approvals:

Preliminary Plan of Subdivision 4-82096: Pursuant to the provisions of Subtitle 24, Prince

March 15, 2022
Cherry Lane Self Storage, DSP-22007
Page 27

George's County Code, the Prince George's County Planning Board APPROVED Preliminary Plan of Subdivision 4-82096 on November 18, 1982 via PGCPB Resolution No. 82-206. Said preliminary plan did not include any conditions of approval.

VIII. Conclusion:

As noted herein, the submitted applications are in substantial conformance with the required findings for detailed site plans provided in Section 27-285(b), the site design guidelines provided in Section 27-274(a), the general purposes of detailed site plans provided in Section 27-281(b). The submitted application is in harmony with the purposes of the I-1 Zone as provided in Section 27-469(a) and is in conformance with the additional requirements for consolidated storage as provided in Section 27-475.04(a)(1). The subject application is also in conformance with the land use recommendations within the 2035 General Plan and the *Approved Master Plan and Sectional Map Amendment for Subregion I*. Therefore, based upon the foregoing statement of justification and the accompanying application plans and documents, the Applicant respectfully requests approval of the Detailed Site Plan application, DSP-22007.

Thank you in advance for your consideration of this application. If you have any questions or comments, please do not hesitate to contact me.

Sincerely,

A handwritten signature in blue ink, appearing to read "Robert J. Antonetti, Jr.", with a stylized flourish at the end.

Robert J. Antonetti, Jr.

RJA/jjf

cc: Cherry Lane Project, LLC
Andrew M. Bradshaw, P.E.
Rebekah Brown, R.A.

August 22, 2022

MEMORANDUM

TO: Tierre Butler, Planner II, Urban Design Section
VIA: Mridula Gupta, Planner III, Subdivision Section *MG*
FROM: Mahsa Vatandoost, Planner II, Subdivision Section *MV*
SUBJECT: DSP-22007; Cherry Lane Storage

The property considered in this Detailed Site Plan DSP-22007 is located on Tax Map 6 in Grid C-4, and consists of one parcel known as Parcel 6 recorded among the Prince George's County Land Records in Plat Book NLP 119 at page 48 titled "Parcel 6, Cherry Lane Center" dated March 30, 1984. The property consists of 2.33 acres and is located within the Industrial, Employment (IE) Zone. This application, however, is reviewed pursuant to the prior Light Industrial (I-1) zoning of the subject property and pursuant to the prior Prince George's County Zoning Ordinance and Subdivision Regulations.

Parcel 6 is currently developed with a 4-story, approximately 28,862 square feet gross floor area (GFA) of commercial use, specifically for office space. The subject DSP proposes to raze the existing building and construct a new 108,273 square feet consolidated storage building.

The property is subject to Preliminary Plan of Subdivision (PPS) 4-82096 titled "Cherrylane Center" which was approved by the Prince George's Planning Board on November 18, 1982 (PGCPB Resolution No. 82-206). PPS 4-82096 approved five parcels on a 14.2- acre property for uses permitted in the I-1 Zone. All parcels were subsequently platted and all of them have been developed except Parcel 4. This DSP proposes to raze the existing building and construct a new 108,273 square feet consolidated storage building which requires a determination by the Transportation Planning Section (TPS) whether the trips generated by the new use on Parcel 6 will be within the trip cap established with PPS 4-82096. At the Subdivision and Development Review Committee meeting for this case on June 24, 2022, the TPS staff determined that given the existing and proposed uses on the property, the consolidated storage facility proposed in this DSP will be a much lower trip generator than the existing general office building.

PPS 4-82096 was approved without any conditions of approval. In addition, the record plat does not include any notes related to development of Parcel 6.

Additional Comments:

1. Bearings and distances shown on the site plan for the northern and southern property lines of Parcel 6 do not conform to the record plat. The DSP should be revised to depict the property line bearings and distances in conformance with the record plat. Otherwise, a plat of correction will be required following the approval of this DSP and prior to the issuance of the building permit, to correct the property line bearings and distances which will be approved with this DSP.

Recommended Conditions:

1. Prior to signature approval, the detailed site plan shall be revised as follows:
 - a. Revise General Note 6 to state Parcel 6 instead of Lot 11.
 - b. Revise the property's boundary bearings and distances to conform with the record plat.

This referral is provided for the purposes of determining conformance with any underlying subdivision approvals for the subject property and Subtitle 24. The DSP has been found to be in conformance with the approved preliminary plan of subdivision. All bearings and distances must be clearly shown on the site plan and must be consistent with the record plat, or permits will be placed on hold until the plans are corrected.



Countywide Planning Division
Transportation Planning Section

14741 Governor Oden Bowie Drive
Upper Marlboro, Maryland 20772
TTY: (301) 952-4366
www.mncppc.org/pgco

301-952-3680

August 26, 2022

MEMORANDUM

TO: Tierre Butler, Urban Design Section, Development Review Division

FROM: *BAP* Benjamin Patrick, Transportation Planning Section, Countywide Planning Division

VIA:  William Capers III., PTP, Transportation Planning Section, Countywide Planning Division

SUBJECT: DSP-22007: Cherry Lane Self Storage

Proposal:

The subject application proposes the development of a 108,273-square foot consolidated storage facility on 2.33 acres. The subject site is located in the southwest quadrant of the intersection of Cherry Lane and Cherry Lane Court, and within the I1 zoning district. The transportation planning review of the referenced DSP application was evaluated under the prior Section 27, Zoning Ordinance.

Prior Conditions of Approval:

The site is subject to the previously approved preliminary plan of subdivision 4-97102 (PGCPB No. 98-56(A)), that includes the following condition that is applicable to this application:

2. Prior to the submittal of a building permit within proposed Parcel 9 of the subject property, as shown on the Preliminary Plat of Subdivision, the applicant, his heirs, successors and/or assigns shall submit an acceptable traffic signal warrant study to the County Department of Public Works and Transportation (DPW&T) for the intersection of Cherry Lane and Cherry Lane Court. The applicant shall utilize a new 12-hour count and analyze signal warrants under total future traffic as well as existing traffic. If deemed warranted by DPW&T, the applicant shall bond the signal prior to the release of the initial building permit for Proposed Parcel 9, and install the signal at a time when directed by the DPW&T
3. Total development of this 11.28-acre site shall be limited to the warehouse facility and any related structures which currently exist on the site, plus an additional 75,000 square foot warehouse or mini warehouse and storage facility, or other permitted uses which generate no more vehicle trips than those generated by the existing uses plus 30 AM and 30 PM peak hour vehicle trips. Any development other than that identified herein above shall require an additional Preliminary Plat of Subdivision with a new determination of the adequacy of transportation facilities.

Comment: Condition 2 shall carry forward and is enforceable at the time of building permit and therefore is not addressed with this application.

In regard to condition 3, PPS 4-97012 established a trip cap for the subject site that limits the development to the existing structures on site and an additional development up to 75,000 square feet of various warehouse/storage uses that generate no more than 30 AM and 30 PM peak hour trips. The proposal for this DSP is for a 108,273 square foot consolidated storage building of which 1,200 square feet will include a manager's office. Using the ITE Trip Generation Manual, 11th edition for a mini-warehouse or self-storage land use, staff was able to determine that the proposed building and office space will generate a total of 21 AM and 21 PM peak hour trips. The proposed square footage is above the approved square footage in the PPS; however, the land use is specified as a mini warehouse/self-storage facility and the subject application considers the removal of the existing structures.

Per condition 3, the proposal will not exceed the trip cap of an additional 30 AM and 30 PM trips established in 4-97012 and staff finds that the current proposal is within the approved trip cap.

Master Plan Compliance:

Master Plan Right of Way

This development case is subject to 2009 *Approved Countywide Master Plan of Transportation* (MPOT) and the 2010 *Approved Subregion 1 Master Plan* area. The subject property has frontage along Cherry Lane which is designated as master planned arterial roadway.

Comment: The right of way along the property's Cherry Lane frontage was previously dedicated and recorded under PB 76 at P. No. 95 and is accurately shown on the plan consistent with the master plan's recommendation.

Master Plan Pedestrian and Bicycle Facilities

The MPOT provides policy guidance regarding multimodal transportation and the Complete Streets element of the MPOT recommends how to accommodate infrastructure for people walking and bicycling.

POLICY 2: All road frontage improvements and road capital improvement projects within the Developed and Developing Tiers shall be designed to accommodate all modes of transportation. Continuous sidewalks and on-road bicycle facilities should be included to the extent feasible and practical.

POLICY 3: Develop bicycle-friendly roadways in conformance with the latest standards and guidelines, including the 1999 AASHTO *Guide for the Development of Bicycle Facilities*.

POLICY 4: Identify sidewalk retrofit opportunities for small area plans within the Developed and Developing Tiers to provide safe routes to schools, pedestrian access to mass transit, and more walkable communities.

Comment: There are no master planned bicycle and pedestrian facilities that impact the subject site and therefore are not included with the DSP application. However, the latest plan submission

includes sidewalks and associated ADA ramps along the site's entire frontage on Cherry Lane Court and Cherry Lane consistent with the MPOT recommended goals and polices.

Zoning Ordinance Compliance

Section 27-283 provides guidance for detailed site plans. The section references the following design guidelines described in Section 27-274(a):

(2) Parking, loading, and circulation

- (A) Surface parking lots should be located and designed to provide safe and efficient vehicular and pedestrian circulation within the site, while minimizing the visual impact of cars. Parking spaces should be located to provide convenient access to major destination points on the site. As a means of achieving these objectives, the following guidelines should be observed:
 - (ii) Parking spaces should be located as near as possible to the uses they serve.
 - (iii) Parking aisles should be oriented to minimize the number of parking lanes crossed by pedestrians.
- (C) Vehicular and pedestrian circulation on a site should be safe, efficient, and convenient for both pedestrians and drivers. To fulfill this goal, the following guidelines should be observed:
 - (viii) Pedestrian access should be provided into the site and through parking lots to the major destinations on the site.
 - (ix) Pedestrian and vehicular routes should generally be separate and clearly marked.

Comment:

The latest DSP includes two access points to the site via Cherry Lane Court. Surface parking is provided on the north and west side of the building that is connected by an internal drive aisle. Sidewalks are provided along the building adjacent to the surface parking spaces proposed. The internal vehicle circulation and sidewalk connections allow for appropriate pedestrian and vehicular movement on site.

Transportation Planning Review:

The purpose of this DSP is for the construction of a consolidated self-storage building at the corner of Cherry Lane and Cherry Lane Court. Access is provided via two separate entrances on Cherry Lane Court. The northern entrance provides access to the main entrance of the building and a surface parking area. A gated drive aisle is provided from the north of the building that provides access to the western side of the building which includes an additional parking area. The western side of the building can be accessed via the drive aisle or the western entrance from Cherry Lane Court which is also gated. The multiple access points to the site and large surface parking areas will allow for acceptable vehicular circulation within the site and is acceptable by staff.

Sidewalks are proposed along the site's entire frontage along Cherry Lane Court and Cherry Lane. In addition to the sidewalks along the frontage, sidewalks are provided along the west and north sides of the building that allow for pedestrian paths to the entrances. Bicycle parking is provided at the main entrance to the building and includes three inverted U bicycle racks. Direct pedestrian

access is proposed on the east side of the building via a sidewalk link to the proposed sidewalk along Cherry Lane. The sidewalks proposed are not continuous along the perimeter of the building, however, given the need for the facility to be secured this would not be feasible. In consideration of the use of the site, staff find that bicycle and pedestrian circulation is acceptable for this application.

A total of 25 parking spaces are required and 25 parking spaces are proposed. As previously mentioned, the surface parking areas are connected via an internal drive aisle and the distribution of spaces in these two areas is acceptable. Loading spaces are also provided in both parking areas and meet the minimum required. A total of 5 loading spaces are required and 5 loading spaces are proposed. The proposed parking for the subject site is acceptable by staff.

In consideration of the scope of this application, the Transportation Planning Section recommends approval of DSP-22007 Cherry Lane Self Storage with no conditions.

Countywide Planning Division
Environmental Planning Section

301-952-3650

August 17, 2022

MEMORANDUM

TO: Tierre Butler, Planner II, Urban Design Section, DRD

VIA: Thomas Burke, Supervisor, Environmental Planning Section, CWPD *TB*

FROM: Marc Juba, Planner III, Environmental Planning Section, CWPD *MJ*

SUBJECT: Cherry Lane Storage; DSP-22007 and TCP2-020-2022

The Environmental Planning Section (EPS) has reviewed the above referenced Detailed Site Plan (DSP-22007) initially received on June 13, 2022. Comments were provided to the applicant at the Subdivision and Development Review Committee (SDRC) meeting on June 24, 2022. Revised plans and documents were received on August 12, 2022, in response to these comments. The EPS recommends approval of DSP-22007, with recommended findings and conditions listed at the end of this memorandum.

BACKGROUND

The following applications and associated plans were previously reviewed for the subject site:

Development Review Case #	Associated Tree Conservation Plan or Natural Resources Inventory #	Authority	Status	Action Date	Resolution Number
4-97102	NA	Planning Board	Approved	2/27/2003	98-56
NA	NRI-008-2022	Staff	Approved	2/11/2022	NA
DSP-22007	TCP2-020-2022	Planning Board	Pending	Pending	NA

PROPOSED ACTIVITY

The current application is for the development of a three-story, 108,273 square-foot consolidated storage facility with 895 units and a 1,200 square-foot resident manager’s office. The existing building and parking lot on-site will be demolished prior to construction. The current zoning for the site is Industrial, Employment (I-E); however, the applicant has opted to apply the zoning standards to this application that were in effect prior to April 1, 2022, for the Light Industrial (I-1) Zone.

GRANDFATHERING

This project is not grandfathered with respect to the environmental regulations contained in Subtitle 25 and prior Subtitles 24 and 27 because the project is subject to a new Type 2 tree conservation plan (TCP2), and has no previous TCP approvals.

REVIEW OF PRIOR APPROVALS

Preliminary Plan of Subdivision 4-97102

Condition #1: Development of this site shall be in conformance with the approved Stormwater Concept Plan #898007620.

The applicant has submitted and obtained a new stormwater concept plan approval from the Department of Permitting, Inspections and Enforcement (DPIE) (Case #2354-2022-00). This new approval supersedes Stormwater Concept Plan #898007620. Final stormwater design will be reviewed and approved by DPIE prior to the issuance of any grading permits.

ENVIRONMENTAL REVIEW

Natural Resources Inventory/Existing Conditions Plan

The site has an approved Natural Resources Inventory Plan (NRI-008-2022), which correctly shows the existing conditions of the property. This site was completely graded in the early 1990s for the construction of the existing office building and associated parking currently located on-site. The remaining area of the site has naturally regenerated into one forest stand covering a total of 0.74- acre on-site. The quality of these woodlands is considered poor as they are dominated by invasive species, such as callery pear (*Pyrus calleryana*) and Japanese honeysuckle (*Lonicera japonica*). According to the NRI Forest Analysis and Priorities Table, this forest stand is designated with a low priority for preservation and restoration. This forest stand is not mapped within any Regulated or Evaluation Areas within the 2017 *Green Infrastructure Plan*. This site is not associated with any regulated environmental features (REF), such as streams, wetlands, 100-year floodplain, or associated buffers. The site is not mapped within primary management area (PMA).

Woodland Conservation

The site is subject to the provisions of the 2010 Woodland and Wildlife Habitat Conservation Ordinance (WCO), because the property is greater than 40,000 square feet, and will result in more than 5,000 square feet of woodland clearing. This project is also subject to the 2018 *Environmental Technical Manual*. TCP2-020-2022 was submitted with the subject application and requires revisions to be found in conformance with the WCO.

According to the TCP2, the woodland conservation threshold (WCT) for this 2.33-acre property is 15 percent of the net tract area, or 0.35 acres. The total woodland conservation requirement, based on the amount of clearing proposed, is 1.10 acres. The woodland conservation requirement is proposed to be satisfied with 1.10 acres of off-site woodland conservation credits.

Section 25-122(c)(1) prioritizes methods to meet the woodland conservation requirements. The applicant submitted a revised statement of justification (SOJ) dated August 10, 2022, requesting approval of off-site woodland conservation, as reflected on the TCP2 worksheet. The applicant states that the existing forest stand is isolated, very young, and dominated with invasive species, such as callery pear, with a low priority for both preservation and restoration, per the approved

forest stand delineation (FSD). The applicant explains that the site does not contain adequate amounts of native material to facilitate natural regeneration, or any existing planting areas to connect to off-site. There are no specimen, champion, or historic trees in good condition that can be used for preservation credit on-site. They further explain that the project's development viability is directly related to the proposed building size, therefore, a reduction in building footprint to accommodate on-site preservation or afforestation/reforestation is greatly diminished. The applicant states that the proposed parking and loading facilities are required for the successful operations of the proposed self-storage facility, and that any reduction to these site elements would have a detrimental impact on the operations and successful patronage of the building. The applicant states that the next logical step is to provide the requirement off-site, prioritizing off-site afforestation/reforestation of connected planting areas using transplanted native stock. This method would be prioritized above all other priorities on the remainder of the list. Staff support the applicants' request to meet the woodland preservation requirements, as stated on their SOJ, through a combination of off-site afforestation/reforestation and preservation.

It was noted that the woodland net tract value in the site statistics table (0.54-acre) on Sheet 1 of the TCP2 is inconsistent with TCP2 worksheet and associated table on Sheet 2 (0.56-acre). Furthermore, both of these values are inconsistent with the woodland net tract value (0.74-acre) in the site statistics table on the approved NRI. An extra line was added to the site statistics table on the TCP2 entitled "woodland in a utility easement" for the area of existing woodlands within the public utility easement, which appears to have been incorrectly deducted from the total existing woodland area to give these inconsistent net tract area values. The standard approved site statistics table format must be used on the TCP2. The existing woodland net tract value on the approved NRI (0.74-acre) must be reflected in all tables and in the TCP2 worksheet. The proposed woodland clearing value must be adjusted accordingly and calculations rerun in the TCP2 worksheet.

Additional technical revisions to the TCP2 are required and included in the conditions listed at the end of this memorandum.

Specimen Trees

Approved NRI-008-2022 indicates that no specimen, champion, or historic trees have been identified on the subject property. No further information is required with this application.

Preservation of Regulated Environmental Features/Primary Management Area

Section 27-285(b)(4) of the Zoning Ordinance requires the following finding: "The Planning Board may approve a Detailed Site Plan if it finds that the regulated environmental features have been preserved and/or restored in a natural state to the fullest extent possible in accordance with the requirement of Subtitle 24-130 (b)(5)."

No regulated environmental features (REF) exist on-site; therefore, none will be impacted by the proposed development, and staff find that the REF have been preserved and/or restored in a natural state to the fullest extent possible, in accordance with the requirement of Section 27-285(b)(4).

Soils

The predominant soils found to occur, according to the U.S. Department of Agriculture (USDA) Natural Resource Conservation Service (NRCS) Web Soil Survey (WSS), include Urban land and Beltsville-Urban land complex (0-5 percent slopes).

No unsafe soils containing Marlboro clay or Christiana complexes have been identified on or within the immediate vicinity of this property. Staff have determined that no major geotechnical issues are anticipated.

Stormwater Management

An approved stormwater management (SWM) concept letter and plan (#2354-2022) was submitted with this application. The approved SWM concept plan shows the use of two micro-bioretention areas across the site and one underground storm water chamber system beneath the proposed parking lot. No further information is required regarding SWM with this application.

SUMMARY OF RECOMMENDED FINDINGS AND CONDITIONS

The Environmental Planning Section recommends approval of DSP-22007 and TCP2-020-2022, subject to the following findings and conditions.

Recommended Findings:

1. The property does not contain any regulated environmental features.
2. The application area does not contain any specimen trees.

Recommended Conditions:

1. Prior to certification of the DSP, the TCP2 shall be revised as follows:
 - a. Add the standard off-site woodland conservation notes.
 - b. The liber and folio of the recorded easement shall be added to the standard Type 2 Tree Conservation Plan note on the plan. The following note is placed on the plan sheet during preparation, and is filled in by hand after recordation of the Easement:

"Woodlands preserved, planted or regenerated in fulfillment of woodland conservation requirements on-site have been placed in a woodland and wildlife habitat conservation Guidance for Preparation and Recording of On-site Woodland Conservation Easements Environmental Planning Section, Prince George's County Planning Department easement recorded in the Prince George's County Land Records at Liber ____folio___. Revisions to this TCP2 may require a revision to the recorded easement."
 - c. Make the following changes to the standard Type 2 Tree Conservation Plan notes on Sheet 1:
 - i. Revise General Note #6 to state that "The property is within Environmental Strategy Area 2 (formerly the Developing Tier). This site is currently zoned Industrial, Employment (I-E). However, the applicant has opted to apply the zoning standards to this application that were in effect prior to April 1, 2022, for the Light Industrial (I-1) Zone."

- ii. Add standard General Note #9 to the TCP2 plan.
- d. Revise the Site Statistics Table on Sheet 1 to match the required standard table format, per the 2018 *Environmental Technical Manual*.
- e. Revise all references to woodland net tract value on the TCP2 to match that of the approved NRI.
- f. Revise the TCP2 worksheet as follows:
 - i. Add the correct TCP number to the worksheet.
 - ii. Add the correct project name in the "Property Description" or "Subdivision Name" box.
 - iii. Update the net tract value and revise the calculations.
- g. Remove all tree canopy coverage notes from the TCP2.
- h. Remove the Curve Data table from the TCP2.
- i. Darken the proposed building footprint, and proposed parking and circulation linework on each sheet of the TCP so it is clearly distinguishable from the existing building and parking.
- j. Add the TCP2 case number (TCP2-020-2022) to the TCP2 Environmental Planning Section approval block.
- k. The qualified professional must sign and date their certification on the TCP2.

June 21, 2022

MAJOR ISSUES MEMORANDUM

TO: Tierre Butler, Planner II, Urban Design, Development Review Division

FROM: Dave A. Green, MBA, Planner IV, Long Range Planning Section, Community Planning Division 

SUBJECT: DSP-22007 CHERRY LANE STORAGE

Location: The subject site is in the SOUTHWEST QUADRANT OF THE INTERSECTION OF CHERRY LANE AND CHERRY LANE COURT

Size: 2.33 acres.

Existing Use: Vacant Lot

Proposal: DEVELOPMENT OF A 3-STORY 108,273-SQUARE-FOOT CONSOLIDATED STORAGE FACILITY WITH 895 UNITS AND A 1,200-SQUARE-FOOT RESIDENT MANAGER'S OFFICE.

The Community Planning Division has identified no major issues.

1 - WSSC Plan Review Comments

Created by: Damilola Ibikunle
On: 06/17/2022 03:54 PM

A001- DSP-22007 - Cherry Lane Storage

----- 0 Replies -----

2 - WSSC Plan Review Fee

Created by: Damilola Ibikunle
On: 06/17/2022 03:55 PM

The Required WSSC Plan review fee of \$1693.00 has been paid

----- 0 Replies -----

3 - WSSC Standard Comments for all Plans

Created by: Damilola Ibikunle
On: 06/17/2022 03:55 PM

1. WSSC comments are made exclusively for this plan review based on existing system conditions at this time. We will reevaluate the design and system conditions at the time of application for water/sewer service.
2. Coordination with other buried utilities:
 - a. Refer to WSSC Pipeline Design Manual pages G-1 and G-2 for utility coordination requirements.
 - b. No structures or utilities (manholes, vaults, pipelines, poles, conduits, etc.) are permitted in the WSSC right-of-way unless specifically approved by WSSC.
 - c. Longitudinal occupancy of WSSC rights-of-way (by other utilities) is not permitted.
 - d. Proposed utility crossings of WSSC pipelines or rights-of-way that do not adhere to WSSCs pipeline crossing and clearance standards will be rejected at design plan review. Refer to WSSC Pipeline Design Manual Part Three, Section 3.
 - e. Failure to adhere to WSSC crossing and clearance standards may result in significant impacts to the development plan including, impacts to proposed street, building and utility layouts.
 - f. The applicant must provide a separate Utility Plan to ensure that all existing and proposed site utilities have been properly coordinated with existing and proposed WSSC facilities and rights-of-way.
 - g. Upon completion of the site construction, utilities that are found to be located within WSSCs rights-of-way (or in conflict with WSSC pipelines) must be removed and relocated at the applicants expense.
3. Forest Conservation Easements are not permitted to overlap WSSC existing or proposed easements. Potential impacts to existing Forest Conservation Easements (due to proposed water and/or sewer systems) must be reviewed and approved by County staff.
4. Unless otherwise noted: ALL extensions of WSSCs system require a request for Hydraulic Planning Analysis and need to follow the System Extension Permit (SEP) process. Contact WSSCs Development Services Center at (301-206-8650) or visit our website at [www.wsscwater.com/Development Services](http://www.wsscwater.com/Development%20Services) for requirements. For information regarding connections or Site Utility (on-site) reviews, you may visit or contact WSSCs Permit Services at (301) 206-4003.

----- 0 Replies -----

4 - WSSC Design & Hydraulics Comments

Created by: Garrett Watkins

On: 06/24/2022 05:17 AM

The existing water main shown on plan should be labeled with pipe material.

There is a 16-inch diameter water main located on this property. WSSC records indicate that the pipe material is Prestressed Concrete Cylinder Pipe (PCCP). It is the applicant's responsibility to test pit the line and determine its exact horizontal and vertical location as well as to verify the type of pipe material. The applicant's engineer is responsible for coordinating with WSSC for monitoring and inspecting test pits for this project.

For water pipelines larger than 12-inch diameter, the minimum separation from a building or dwelling is to be determined based on the following factors: maintain a minimum horizontal separation of twenty-five (25) feet and consider potential property damage and physical injury during construction, maintenance and failure of the pipeline in assessing whether a greater separation is warranted. Select the separation so that the existing or proposed foundation of the building or dwelling will not be damaged during the construction, maintenance and failure of the pipeline. 16-inch water pipelines must have the greater of: a minimum of 15 feet horizontal separation from any building or dwelling or a 1:1 slope from the bottom of the foundation of the existing or proposed building to the bottom edge of the pipeline trench.

Water pipelines larger than 12-inch, including PCCP mains, must have a minimum of 25 feet horizontal separation from any building or dwelling. The building must also be outside the WSSC existing or proposed easement.

Notes for Special Construction Requirements within the Vicinity of Existing PCCP water mains shall be added to all design plans, including the Erosion and Sediment Control Plans. See WSSC 2017 Pipeline Design Manual, Part Three, Section 3.i. - Working in the Vicinity of Existing PCCP 30-inch and Larger Water Mains.

WSSC easements must be free and clear of other utilities, including storm drain systems, ESD devices, gas, electric, telephone, CATV, etc., with the exception of allowed crossings designed in accordance with the WSSC 2017 Pipeline Design Manual. Landscaping and Hardscaping are also not allowed without approval. Under certain conditions (and by special request) the items listed above may be permitted within the WSSC easement. However, this will be evaluated on a case by case basis and if allowed, will require execution of a special agreement and/or Hold Harmless Agreement between WSSC and the developer.

WSSCs minimum easement width for a 16-inch water is 25 feet.

Balconies or other building appurtenances must not encroach within WSSC easements. Water/Sewer pipeline alignment should maintain a minimum 5-foot horizontal clearance from storm-drain pipeline/structures and other utilities. Review of plan submitted does not meet these requirements.

Submit an Excavation Support System Plan (ESS) to WSSC for review if your project involves subsurface features such as an underground parking garage or a deep excavation which will require tiebacks in the area of existing or proposed WSSC mains. This ESS Plan submission should be made at the time of Design Plan Submission. If, however, the excavation support work will be done before the Design Plan Submission, it will be necessary to submit the plan as a Non-DR Plan to WSSC. No work should be done in the vicinity of WSSC mains until the ESS Plans have been reviewed by WSSC. If no ESS Plans are required for the project, the engineer should provide a letter from the Project Structural Engineer certifying that the building does not require it.

Follow WSSC Demolition/Abandonment procedures to obtain a county raze permit. Failure to obtain an SDC fixture credit permit inspection prior to the removal of existing fixtures will result in the issuance of Basic Credit Only. To obtain System Development Charge (SDC) credits for existing plumbing fixtures, an SDC Fixture Count Inspection must be completed by a WSSC Regulatory Inspector before removal of fixtures or demolition of the structure. The inspection requires a permit which can only be obtained through a WSSC Registered Master Plumber. SDC Fixture Credit Procedures are available at the WSSC Permit Services website.

Any grading change in pipe loading (including but not limited to proposed fill or excavation), adjustment to manhole rims, fire hydrant relocations, placement of access roads or temporary haul roads, temporary sediment control devices, paving construction or construction related activity of any kind over an existing WSSC water or sewer main or within an existing WSSC right-of-way requires advance approval by WSSC. Any proposed public street grade establishment plan (GEP) with an existing WSSC water or sewer main of any size located within the existing or proposed public street right-of-way requires WSSC approval directly on the original GEP prior to approval of the GEP by the County Department of Public Works and Transportation. Any work (design, inspection, repair, adjustment, relocation or abandonment of existing WSSC facilities) is done at the sole expense of the applicant/builder/developer. Contact WSSC Relocations Unit at (301) 206-8672 for review procedures and fee requirements. See WSSC 2017 Pipeline Design Manual, Part Three, Section 5 & Section 11.

Show and label all existing nearby water and/or sewer service connections that may be impacted by the proposed development.

Site Utility System reviews are required for projects with proposed water connections greater than 2-inch or sewer connections greater than 4-inch. Contact the WSSC Permit Services Unit on (301) 206-8650 for submittal requirements or view our website.

----- 0 Replies -----

5 - Critical Comment.

Created by: Garrett Watkins
On: 06/24/2022 07:07 AM

The proposed building is shown inadequately clear of what records show as an existing 16-inch PCCP. The easement width for the 16-inch is also inadequate. See comment "WSSC Design & Hydraulics Comments" for detailed comment.

----- 0 Replies -----

6 - WHC.

Created by: Garrett Watkins
On: 06/24/2022 07:09 AM

Provide the source of information for the existing Water House Connection. See 85OS0123. Proposed connections to existing PCCP require the removal of the PCCP. See page W-25.9 of the Pipeline Design Manual and Standard Detail W/13.1.

----- 0 Replies -----

From: [Kwesi Woodroffe](#)
To: [Butler, Tierre](#)
Cc: [PPD-PGCreferalls](#)
Subject: RE: SDRG RESPONSE: DSP-22007 CHERRY LANE STORAGE; SHA; KW
Date: Friday, August 12, 2022 10:38:29 AM
Attachments: [image010.png](#)
[image011.png](#)
[image012.png](#)
[image013.png](#)
[image014.png](#)
[image015.png](#)
[image017.png](#)
[image018.png](#)
[image019.png](#)
[image020.png](#)
[image021.png](#)
[image022.png](#)
[image023.png](#)

[EXTERNAL EMAIL] Exercise caution when opening attachments, clicking links, or responding.

Tierre,

I have no comments on the subject referral.

Thanks, Kwesi

Kwesi Woodroffe
Regional Engineer
District 3 Access Management
MDOT State Highway Administration
KWoodroffe@mdot.maryland.gov
301-513-7347 (Direct)
1-888-228-5003 – toll free
Office Hours
M-Thurs.: 6:30a-3:30p
Fr: 6:30a-10:30a
9300 Kenilworth Avenue,
Greenbelt, MD 20770
<http://www.roads.maryland.gov>



From: ePlan <ePlan@ppd.mncppc.org>

Sent: Friday, August 12, 2022 10:28 AM

To: Smith, Tyler <Tyler.Smith@ppd.mncppc.org>; Stabler, Jennifer <Jennifer.Stabler@ppd.mncppc.org>; Hall, Ashley <Ashley.Hall@ppd.mncppc.org>; Green, David A <davida.green@ppd.mncppc.org>; Henderson, Tamika <Tamika.Henderson@ppd.mncppc.org>; Franklin, Judith <Judith.Franklin@ppd.mncppc.org>; Capers, William <William.Capers@ppd.mncppc.org>; Burton, Glen <Glen.Burton@ppd.mncppc.org>; Gupta, Mridula <Mridula.Gupta@ppd.mncppc.org>; Conner, Sherri <sherri.conner@ppd.mncppc.org>; Larman, Brooke <Brooke.Larman@ppd.mncppc.org>; PPD-EnvDRDreferrals <ppd-envdrdreferrals@ppd.mncppc.org>; Fields, Ernest <Ernest.Fields@ppd.mncppc.org>; 'JVReilly@co.pg.md.us' <JVReilly@co.pg.md.us>; 'Toth, Steven L.' <sltoth@co.pg.md.us>; Giles, Mary C. <mcgiles@co.pg.md.us>; 'Abdullah, Mariwan' <mabdullah@co.pg.md.us>; 'mtayyem@co.pg.md.us' <mtayyem@co.pg.md.us>; 'nwformukong@co.pg.md.us' <nwformukong@co.pg.md.us>; Lord-Attivor, Rene <rlattivor@co.pg.md.us>; 'Snyder, Steven G.' <SGSnyder@co.pg.md.us>; Kwesi Woodroffe <KWoodroffe@mdot.maryland.gov>; Tania Brown <TBrown13@mdot.maryland.gov>; '#DSG Intake' <DSGIntake@wsscwater.com>

Cc: Butler, Tierre <Tierre.Butler@ppd.mncppc.org>; Kosack, Jill <Jill.Kosack@ppd.mncppc.org>; Hunt, James <James.Hunt@ppd.mncppc.org>; Summerlin, Cheryl <Cheryl.Summerlin@ppd.mncppc.org>; Graham, Audrey <Audrey.Graham@ppd.mncppc.org>; Windsor, Theresa <Theresa.Windsor@ppd.mncppc.org>; McLean, Linda <Linda.McLean@ppd.mncppc.org>; Lohman, Regina <Regina.Lohman@ppd.mncppc.org>; Checkley, Andree <andree.checkley@ppd.mncppc.org>; Townsend, Donald <Donald.Townsend@ppd.mncppc.org>; Lohman, Regina <Regina.Lohman@ppd.mncppc.org>; Petroske, Kristin <Kristin.Petroske@ppd.mncppc.org>; Alston, Tricia <Tricia.Alston@ppd.mncppc.org>

Subject: SDRC RESPONSE: DSP-22007 CHERRY LANE STORAGE

Importance: High

Hello,

SDRC Response for **DSP-22007 CHERRY LANE STORAGE** has been received.

Please submit ALL comments to assigned reviewer, **Tierre Butler** Tierre.Butler@ppd.mncppc.org and PGCReferrals@ppd.mncppc.org

Click on the hyperlink to view the SDRC Response Documents:

<https://www.dropbox.com/sh/cycevm3xpqdoudy/AACAxTJdbcll5MugFCFL8Jaca?dl=0>

DUE DATE: AUGUST 22, 2022

Thank you,

Martin Grigsby

Applications Section | Development Review Division



Teams: 240-573-2214 Office: 301-952-3772

14741 Governor Oden Bowie Drive, Upper Marlboro, MD 20772

Martin.Grigsby@ppd.mncppc.org



From: ePlan

Sent: Monday, June 13, 2022 4:32 PM

To: Smith, Tyler <Tyler.Smith@ppd.mncppc.org>; Stabler, Jennifer <Jennifer.Stabler@ppd.mncppc.org>; Hall, Ashley <Ashley.Hall@ppd.mncppc.org>; Green, David A <davida.green@ppd.mncppc.org>; Henderson, Tamika <Tamika.Henderson@ppd.mncppc.org>; Franklin, Judith <Judith.Franklin@ppd.mncppc.org>; Capers, William <William.Capers@ppd.mncppc.org>; Burton, Glen <Glen.Burton@ppd.mncppc.org>; Gupta, Mridula <Mridula.Gupta@ppd.mncppc.org>; Conner, Sherri <sherri.conner@ppd.mncppc.org>; Larman, Brooke <Brooke.Larman@ppd.mncppc.org>; PPD-EnvDRDreferrals <ppd-envdrdreferrals@ppd.mncppc.org>; Fields, Ernest <Ernest.Fields@ppd.mncppc.org>; JVReilly@co.pg.md.us; Toth, Steven L. <sltoth@co.pg.md.us>; Giles, Mary C. <mcgiles@co.pg.md.us>; Abdullah, Mariwan <mabdullah@co.pg.md.us>; mtayyem@co.pg.md.us; nwformukong@co.pg.md.us; Lord-Attivor, Rene <rlattivor@co.pg.md.us>; Snyder, Steven G. <SGSnyder@co.pg.md.us>; kwoodroffe <kwoodroffe@sha.state.md.us>; 'Tania Brown' <TBrown13@mdot.maryland.gov>; #DSG Intake <DSGIntake@wsscwater.com>

Cc: Butler, Tierre <Tierre.Butler@ppd.mncppc.org>; Kosack, Jill <Jill.Kosack@ppd.mncppc.org>; Hunt, James <James.Hunt@ppd.mncppc.org>; Summerlin, Cheryl <Cheryl.Summerlin@ppd.mncppc.org>; Graham, Audrey <Audrey.Graham@ppd.mncppc.org>; Windsor, Theresa <Theresa.Windsor@ppd.mncppc.org>; McLean, Linda <Linda.McLean@ppd.mncppc.org>; Lohman, Regina <Regina.Lohman@ppd.mncppc.org>; Checkley, Andree <andree.checkley@ppd.mncppc.org>; Townsend, Donald <Donald.Townsend@ppd.mncppc.org>; Lohman, Regina <Regina.Lohman@ppd.mncppc.org>; Petroske, Kristin <Kristin.Petroske@ppd.mncppc.org>; Alston, Tricia <Tricia.Alston@ppd.mncppc.org>

Subject: ACCEPTANCE REFERRAL: DSP-22007 CHERRY LANE STORAGE

Importance: High

Hello,

This is an EPlan ACCEPTANCE of **DSP-22007 CHERRY LANE STORAGE** to be reviewed at the **PLANNING BOARD** level.

This case was officially **accepted today, JUNE 13, 2022**

SDRC DATE: JUNE 24, 2022

MAJOR ISSUES DATE: JUNE 28, 2022

REFERRAL DUE DATE: AUGUST 22, 2022

Planning Board Date (Pending): **SEPTEMBER 22, 2022**

- All responses must be emailed to the assigned reviewer and to PGCReferrals@ppd.mncppc.org ;
- attach signed memo's on official letterhead
- attach a signed PDF and Word version of the document.
- The email subject must include: Case number + Case name + Dept + Reviewer initials.
- Please indicate in the body of your email if the attached response is the 1st, 2nd or 3rd

Please submit ALL comments to assigned reviewer, **Tierre Butler** Tierre.Butler@ppd.mncppc.org and PGCReferrals@ppd.mncppc.org

Click on the hyperlink to view the Acceptance Documents:

<https://www.dropbox.com/sh/cycevm3xpqdoudy/AACAxTJdbcll5MugFCFL8Jaca?dl=0>

Thank you,

Martin Grigsby

Applications Section | Development Review Division

 THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
Prince George's County Planning Department

Teams: 240-573-2214 Office: 301-952-3772

14741 Governor Oden Bowie Drive, Upper Marlboro, MD 20772

Martin.Grigsby@ppd.mncppc.org



August 22, 2022

MEMORANDUM

TO: Tierre Butler, Urban Design

FROM: Jason Bartlett, Permit Review Section, Development Review Division

SUBJECT: Referral Comments for DSP-22007 – Cherry Lane Storage

1. Show dimensions of the handicapped space and access aisle on plan to demonstrate that the required dimensions are met of 11' X 19' w/5' striped access aisle (the length of the space) or 8' X 19' w/8' striped access aisle. When one HC space is required for a site, that one space must be van accessible.
2. Provide the total square footage of 108,237 on plan, on storage building in addition to the 36,091 per plate already shown
3. Per Sec. 23-139(b)(1), Driveway entrances shall be limited to a maximum of two (2) on each road. Both entrances to this site are off Cherry Lane Court. The Director may, at his/her discretion, approve dualization, or may deny the construction of a driveway entrance(s) on a street, provided access is available on another public road. If this has already been addressed, please disregard the comment.
4. End comments.

From: [Reilly, James V](#)
To: [Butler, Tierre](#)
Cc: [PPD-PGCrefferrals](#); [Reilly, James V](#)
Subject: FW: ACCEPTANCE REFERRAL: DSP-22007 CHERRY LANE STORAGE
Date: Monday, June 13, 2022 11:02:18 PM
Attachments: [image002.png](#)
[image003.png](#)
[image004.png](#)
[image005.png](#)
[image006.png](#)
[image007.png](#)
[image008.png](#)
[DSP-22007 SUMMARY.pdf](#)
Importance: High

[EXTERNAL EMAIL] Exercise caution when opening attachments, clicking links, or responding.

Good Evening Tierre,

The Office of the Fire Marshal has reviewed the referral for DSP-22007 Cherry Lane Storage. We have the following comments:

1. Please show any existing or proposed fire hydrants. Please show the proposed FDC. A hydrant must be provided within 200' of the proposed FDC as hose is laid by the fire department i.e.; around corners, obstacles, etc. The FDC should be arranged on the front, address side of the building and be visible from the fire hydrant serving it.
2. A fire hydrant must be provided within 500' of the most remote portion of the building as hose is laid by the fire department.

Regards. Jim

James V. Reilly
Contract Project Coordinator III



Office of the Fire Marshal
Division of Fire Prevention and Life Safety
Prince George's County Fire and EMS Department
6820 Webster Street, Landover Hills, MD 20784

Office: 301-583-1830
Direct: 301-583-1838
Cell: 240-508-4931
Fax: 301-583-1945
Email: jvreilly@co.pg.md.us

From: ePlan <ePlan@ppd.mncppc.org>
Sent: Monday, June 13, 2022 4:32 PM
To: Smith, Tyler <Tyler.Smith@ppd.mncppc.org>; Stabler, Jennifer

<Jennifer.Stabler@ppd.mncppc.org>; Hall, Ashley <Ashley.Hall@ppd.mncppc.org>; Green, David A <davida.green@ppd.mncppc.org>; Henderson, Tamika <Tamika.Henderson@ppd.mncppc.org>; Franklin, Judith <Judith.Franklin@ppd.mncppc.org>; Capers, William <William.Capers@ppd.mncppc.org>; Burton, Glen <Glen.Burton@ppd.mncppc.org>; Gupta, Mridula <Mridula.Gupta@ppd.mncppc.org>; Conner, Sherri <sherri.conner@ppd.mncppc.org>; Brooke E. Larman <brooke.larman@ppd.mncppc.org>; PPD-EnvDRDreferrals <ppd-envdrdreferrals@ppd.mncppc.org>; Fields, Ernest <Ernest.Fields@ppd.mncppc.org>; Reilly, James V <JVReilly@co.pg.md.us>; Toth, Steven L. <sltoth@co.pg.md.us>; Giles, Mary C. <mcgiles@co.pg.md.us>; Abdullah, Mariwan <MAbdullah@co.pg.md.us>; Tayyem, Mahmoud <mtayyem@co.pg.md.us>; Formukong, Nanji W. <nwformukong@co.pg.md.us>; Lord-Attivor, Rene <rlattivor@co.pg.md.us>; Snyder, Steven G. <SGSnyder@co.pg.md.us>; kwoodroffe <kwoodroffe@sha.state.md.us>; 'Tania Brown' <TBrown13@mdot.maryland.gov>; #DSG Intake <DSGIntake@wsscwater.com>

Cc: Butler, Tierre <Tierre.Butler@ppd.mncppc.org>; Kosack, Jill <Jill.Kosack@ppd.mncppc.org>; Hunt, James <James.Hunt@ppd.mncppc.org>; Summerlin, Cheryl <Cheryl.Summerlin@ppd.mncppc.org>; Graham, Audrey <Audrey.Graham@ppd.mncppc.org>; Windsor, Theresa <Theresa.Windsor@ppd.mncppc.org>; McLean, Linda <Linda.McLean@ppd.mncppc.org>; Lohman, Regina <Regina.Lohman@ppd.mncppc.org>; Checkley, Andree <andree.checkley@ppd.mncppc.org>; Townsend, Donald <Donald.Townsend@ppd.mncppc.org>; Lohman, Regina <Regina.Lohman@ppd.mncppc.org>; Petroske, Kristin <Kristin.Petroske@ppd.mncppc.org>; Alston, Tricia <Tricia.Alston@ppd.mncppc.org>

Subject: ACCEPTANCE REFERRAL: DSP-22007 CHERRY LANE STORAGE

Importance: High

CAUTION: This email originated from an external email domain which carries the additional risk that it may be a phishing email and/or contain malware.

Hello,

This is an EPlan ACCEPTANCE of **DSP-22007 CHERRY LANE STORAGE** to be reviewed at the **PLANNING BOARD** level.

This case was officially **accepted today, JUNE 13, 2022**

SDRC DATE: JUNE 24, 2022

MAJOR ISSUES DATE: JUNE 28, 2022

REFERRAL DUE DATE: AUGUST 22, 2022

Planning Board Date (Pending): **SEPTEMBER 22, 2022**

- All responses must be emailed to the assigned reviewer and to PGCReferrals@ppd.mncppc.org ;
- attach signed memo's on official letterhead
- attach a signed PDF and Word version of the document.
- The email subject must include: Case number + Case name + Dept + Reviewer initials.
- Please indicate in the body of your email if the attached response is the 1st, 2nd or 3rd

Please submit ALL comments to assigned reviewer, **Tierre Butler** Tierre.Butler@ppd.mncppc.org and PGCReferrals@ppd.mncppc.org

Click on the hyperlink to view the Acceptance Documents:

<https://www.dropbox.com/sh/cycevm3xpqdoudy/AACAxTJdbcll5MugFCFL8Jaca?dl=0>

Thank you,

Martin Grigsby

Applications Section | Development Review Division



Teams: 240-573-2214 Office: 301-952-3772

14741 Governor Oden Bowie Drive, Upper Marlboro, MD 20772

Martin.Grigsby@ppd.mncppc.org



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From: [Reilly, James V](#)
To: [Butler, Tierre](#)
Cc: [PPD-PGCrefferrals](#); [Reilly, James V](#)
Subject: FW: ACCEPTANCE REFERRAL: DSP-22007 CHERRY LANE STORAGE
Date: Monday, June 13, 2022 11:02:18 PM
Attachments: [image002.png](#)
[image003.png](#)
[image004.png](#)
[image005.png](#)
[image006.png](#)
[image007.png](#)
[image008.png](#)
[DSP-22007 SUMMARY.pdf](#)
Importance: High

[EXTERNAL EMAIL] Exercise caution when opening attachments, clicking links, or responding.

Good Evening Tierre,

The Office of the Fire Marshal has reviewed the referral for DSP-22007 Cherry Lane Storage. We have the following comments:

1. Please show any existing or proposed fire hydrants. Please show the proposed FDC. A hydrant must be provided within 200' of the proposed FDC as hose is laid by the fire department i.e.; around corners, obstacles, etc. The FDC should be arranged on the front, address side of the building and be visible from the fire hydrant serving it.
2. A fire hydrant must be provided within 500' of the most remote portion of the building as hose is laid by the fire department.

Regards. Jim

James V. Reilly
Contract Project Coordinator III



Office of the Fire Marshal
Division of Fire Prevention and Life Safety
Prince George's County Fire and EMS Department
6820 Webster Street, Landover Hills, MD 20784

Office: 301-583-1830
Direct: 301-583-1838
Cell: 240-508-4931
Fax: 301-583-1945
Email: jvreilly@co.pg.md.us

From: ePlan <ePlan@ppd.mncppc.org>
Sent: Monday, June 13, 2022 4:32 PM
To: Smith, Tyler <Tyler.Smith@ppd.mncppc.org>; Stabler, Jennifer

Additional Back-up

For

DSP-22007

Cherry Lane Storage

Cherry Lane Storage (DSP-22007)

Planning Board Hearing
September 22, 2022

Revised Findings

(Finding 7, page 7)

7. **Prince George's County Zoning Ordinance:** The subject DSP has been reviewed for compliance with the requirements of the I-1 Zone and the site design guidelines of the Prince George's County Zoning Ordinance.
- a. This DSP is in conformance with the requirements of Section 27-473(b) of the Prince George's County Zoning Ordinance, which governs uses in the I-1 Zone. The proposed consolidated storage use is a permitted use in the I-1 Zone. The consolidated storage use is permitted by-right in the I-1 Zone.
 - b. Section 27-474 of the Zoning Ordinance provides additional regulations for development in industrial zones, including requirements for setbacks, net lot area, lot frontage, building coverage, and green area. The subject DSP meets all these requirements, as shown on the submitted plans, and is in conformance with the Zoning Ordinance. [The staff adopts and incorporates by reference the findings in the applicant's statement of justification dated March 15, 2022, pages 8-9 \(Planning Board Backup, p. 8 through 9 of 52\).](#)
 - c. This DSP is in conformance with all of the applicable site design guidelines, as referenced in Section 27-283 of the Zoning Ordinance and contained in Section 27-274 of the Zoning Ordinance. [The staff adopts and incorporates by reference the findings in the applicant's statement of justification dated March 15, 2022, pages 13-20 \(Planning Board Backup, p. 13 through 20 of 52\).](#)
 - d. This DSP is in conformance with the requirements of Section 27-475.04 of the Zoning Ordinance, which governs consolidated storage uses. The proposed facility is in conformance with this section. [The staff adopts and incorporates by reference the findings in the applicant's statement of justification dated March 15, 2022, pages 21-23 \(Planning Board Backup, p. 21 through 23 of 52\).](#)

~~Strikethrough~~ represents deleted language 1
Underline represents added language

September 20, 2022

MEMORANDUM

TO: The Prince George's County Planning Board

VIA: James Hunt, Chief, Development Review Division
Anne Fothergill, Supervisor, Urban Design Section, Development Review Division

FROM: Tierre Butler, Planner II, Urban Design Section
Development Review Division

SUBJECT: **Item #6 – DSP-22007 Cherry Lane Self Storage**
Planning Board Agenda September 22, 2022 – Staff Revisions to Technical Report

After the publication of the staff report, it was determined that additional clarity is needed regarding the requirement for consolidated storage uses. Staff recommends the following analysis added in bold text.

**Additional Requirements for Specific Use–Consolidated Storage
Section 27-475.04.-Consolidated Storage.**

(a) Beginning June 23, 1988, a Detailed Site Plan shall be approved for consolidated storage developments in accordance with Part 3, Division 9, of this Subtitle to ensure compliance with the provisions of this Section. Consolidated storage constructed pursuant to a building permit issued prior to this date; consolidated storage for which grading permits were issued prior to this date, subject to Subsection (b); and consolidated storage for which applications for building permits were filed on September 22, 1987, and which are actively pending as of October 25, 1988, subject to Subsection (b), need not meet these requirements.

(1) Requirements.

- (A) No entrances to individual consolidated storage units shall be visible from a street or from adjoining land in any Residential or Commercial Zone (or land proposed to be used for residential or commercial purposes on an approved Basic Plan for a Comprehensive Design Zone, or any approved Conceptual or Detailed Site Plan).
- (B) Entrances to individual consolidated storage units shall be either oriented toward the interior of the development or completely screened from view by

a solid wall, with landscaping along the outside thereof.

Analysis: The proposed individual storage units will be screened from view and will not be visible from the street. The proposed building will contain 895 individual storage units to include 884 interior and 11 exterior accessed units. All exterior accessed units will be screened from view from any public street. There is no adjoining land to the site that is in a commercial or residential zone that would have any views of any externally accessed storage units.

- (C) The maximum height shall be thirty-six (36) feet. Structures exceeding this height and approved before January 1, 2000, shall not be considered nonconforming.

Analysis: The proposed consolidated storage facility does not exceed the height requirement. The maximum height of the proposed building is 36 feet high.

- (D) Notwithstanding any other requirement of this Section, the expansion of an existing consolidated storage use within a building in the I-1 Zone after November 30, 2016, shall be limited to a maximum of fifty (50) additional individual units and may not be less than one-half mile from another consolidated storage use in the I-1 Zone. However, this Section shall not apply to a consolidated storage use expansion constructed pursuant to an approved preliminary plan, final plat, and detailed site plan, where the consolidated storage use is adequately buffered from view from any public right-of-way.

Analysis: The proposed consolidated storage facility does not represent an expansion of an existing facility. Therefore, this section does not apply.

- (b) In order for a consolidated storage for which a grading permit had been issued prior to June 23, 1988, or for which application for a building permit was filed on September 22, 1987, and which is actively pending as of October 25, 1988, to be exempted from the Detailed Site Plan requirement of Subsection (a), the permit application or the attendant site plan must identify the consolidated storage as the proposed use, and the warehouse must comply with paragraph 1 of Subsection (a). In addition, a proposed consolidated storage use within a business park development project with existing and proposed uses, within a detailed site plan application, filed and accepted by the Planning Board, and which is actively pending, pursuant to an approved preliminary plan of subdivision in a valid status as of November 30, 2016 shall be exempt from the prescriptions of Subsection (a) of this Section.

Analysis: The proposed consolidated storage use is for new construction; therefore, this standard does not apply to this application.

- (c) Unless otherwise exempted from the prescriptions of this Section, consolidated storage shall be a permitted use in the I-1 Zone, subject to the following additional requirements:
- (i) A detailed site plan is approved for the proposed development of the use, in accordance with Part 3, Division 9 of this Subtitle;
 - (ii) The required technical staff report prepared and submitted to the administrative

record for the detailed site plan application shall include a current, countywide inventory of the locations, dates of approval, and any conditions of approval for consolidated storage uses located on property within one-half mile of the boundaries of the property on which the proposed consolidated storage use will be located; and

- (iii) The Planning Board and/or the District Council shall consider, in its review of a detailed site plan application pursuant to this Section, the inventory submitted to the administrative record in accordance with Subsection (b) of this Section, above, for purposes of finding conformance with the required findings of approval set forth in Part 3, Division 9 of this Subtitle.

Analysis: There are three existing storage facilities located with a half mile of this proposed development. Cube Smart Self Storage located at 8704 Cherry Lane and Public Storage located at 8707 Cherry Lane are both existing facilities. Consolidated storage uses were permitted by right in the I-1 zone without requiring a Detailed Site Plan until Council Bill CB-26-2016 was passed. Cube Smart Self Storage obtained a use and occupancy permit on October 9, 1998 under permit number 5598-1988-0. The Public Storage obtained a use and occupancy permit on January 27, 1998 under permit 541-1988-0. The Public Storage facility located at 1430 Cherry Lane Court was approved under Detailed Site Plan DSP-02025 on September 19, 2002, PGPB Resolution 02-201. The Detailed Site Plan proposed a 74,923-square-foot storage facility in 6 individual 1-story buildings with flat roofs. The DSP was subject to the following conditions:

- 1. Prior to certificate approval of this Detailed Site Plan, the applicant shall make the following revisions to the Detailed Site Plan and Landscape Plan:**
 - a. Provide the required landscape schedules of Sections 4.2 and 4.7 on the Landscape Plan with the required number of plant units, wherever it is applicable.**
 - b. Demonstrate the following easements on the Detailed Site Plan:**
 - **Ten-foot-wide public utility easement along Cherry Lane**
 - **Stormwater management easement in the southeast corner of the subject property**
 - **Access easement, Liber 6935 Folio 171**
 - **Various WSSC R/Ws**
 - **Stormdrain easements**
 - **Ingress/egress easement, Liber 6740 Folio 122**
 - c. Revise the composition of the proposed Section 4.7 bufferyards and Section 4.2 landscape strip to incorporate certain evergreen trees and shrubbery in order to maintain a satisfactory screening effect all year round.**

- 2. Prior to issuance of any permits, a Letter of Exemption shall be obtained from the Environmental Planning Section. The Letter of Exemption shall accompany all future applications for plans and permits.**