

March 13, 2024


Maurene Epps-McNeil  
Zoning Hearing Examiner  
County Administration Building  
Upper Marlboro, MD 20772

**RE: SPE-2022-012 – LOL Childcare Stations**

Dear Ms. Epps-McNeil:

On **March 7, 2024**, after review of the technical staff report, the Prince George's County Planning Board approved the transmittal of the recommendation. Therefore, the application is hereby transmitted directly to the District Council/Zoning Hearing Examiner, and the technical staff's recommendation constitutes the Planning Board's recommendation.

Very truly yours,

  
James R. Hunt, Chief  
Development Review

Enclosure

cc: Persons of Record



The Maryland-National Capital Park and Planning Commission  
 Prince George's County Planning Department  
 Development Review Division  
 301-952-3530

Note: Staff reports can be accessed at <https://www.mncppc.org/883/Watch-Meetings>

## Special Exception LOL Childcare Station

## SPE-2022-012

REQUEST	STAFF RECOMMENDATION
A special exception to allow the use of a day care center for children within an existing shopping center.	With the conditions recommended herein: <ul style="list-style-type: none"> <li>• Approval of Special Exception SPE-2022-012</li> </ul>

<b>Location:</b> South of Breezewood Drive, approximately 1,250 feet east of Cherrywood Lane.	
Gross Acreage:	53.88
Zone:	CGO
Prior Zone:	M-U-I
Dwelling Units:	N/A
Gross Floor Area:	2,100 sq. ft.
Lots:	0
Parcels:	17
Planning Area:	67
Council District:	04
Municipality:	Greenbelt
<b>Applicant/Address:</b> LOL Enterprises LLC 6250 Greenbelt Road Greenbelt, MD 20770	
<b>Staff Reviewer:</b> Dominique Lockhart <b>Phone Number:</b> 301-952-3411 <b>Email:</b> Dominique.Lockhart@ppd.mncppc.org	



Planning Board Date:	03/07/2024
Planning Board Action Limit:	N/A
Staff Report Date:	02/22/2024
Date Accepted:	12/21/2023
Informational Mailing:	01/11/2024
Acceptance Mailing:	01/25/2024
Sign Posting Deadline:	N/A

The Planning Board encourages all interested persons to request to become a person of record for this application. Requests to become a person of record may be made online at [http://www.mncppcapps.org/planning/Person\\_of\\_Record/](http://www.mncppcapps.org/planning/Person_of_Record/). Please call 301-952-3530 for additional information.

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THE MARYLAND-NATIONAL CAPITAL  
PARK AND PLANNING COMMISSION

PRINCE GEORGE'S COUNTY PLANNING BOARD

**TECHNICAL STAFF REPORT:**

TO: The Prince George's County Planning Board  
The Prince George's County District Council

VIA: Jeremy Hurlbutt, Supervisor, Zoning Section  
Development Review Division

FROM: Dominique Lockhart, Planner III, Zoning Section  
Development Review Division

SUBJECT: Special Exception SPE-2022-012  
LOL Childcare Station

REQUEST: A special exception to allow the use of a day care center for children within an  
existing shopping center.

RECOMMENDATION: **APPROVAL, with conditions**

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**NOTE:**

The Prince George's County Planning Board has scheduled this application on the consent agenda, for transmittal to the Zoning Hearing Examiner, on the agenda date of March 7, 2024.

You are encouraged to become a person of record in this application. Requests to become Persons of Record should be submitted electronically, by email to: ZHE@co.pg.md.us. Questions about becoming a person of record should be directed to the Hearing Examiner at 301-952-3644. All other questions should be directed to the Development Review Division at 301-952-3530.

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The Zoning staff has reviewed the subject application and presents the following evaluation and findings leading to a recommendation of APPROVAL, with conditions, as described in the Recommendation section of this technical staff report.

## I. EVALUATION CRITERIA

**A. Prince George's County Zoning Ordinance.** Special exceptions (SPEs) are reviewed and decided by the Prince George's County Zoning Hearing Examiner. Pursuant to Section 27-3604(e) of the Prince George's County Zoning Ordinance, SPEs may only be approved upon a finding that all the following standards are met:

1. The proposed use and site plan are in harmony with the purpose of this Subtitle;
2. The proposed use is in conformance with all the applicable requirements and regulations of this Subtitle;
3. The proposed use shall be consistent with the General Plan and shall conform with the relevant goals, policies, and strategies of the applicable Area Master Plan, Sector Plan, or Functional Master Plan for the subject property and its surrounding area;
4. The proposed use will not adversely affect the health, safety, or welfare of residents or workers in the area;
5. The proposed use will not be detrimental to the use or development of adjacent properties or the general neighborhood;
6. The proposed site plan is in conformance with an approved Type 2 Tree Conservation Plan; and
7. The proposed site plan demonstrates the preservation and/or restoration of the regulated environmental features in a natural state to the fullest extent possible in accordance with the requirements of Subtitle 24: Subdivision Regulations.

In addition, all SPE applications must comply with Section 27-5401 of the Zoning Ordinance, regarding setbacks, landscaping, buffering, and screening.

**B. Prince George's County Woodland and Wildlife Habitat Conservation Ordinance.** Pursuant to Section 25-119(a)(2)(B) of the Prince George's County Code, SPE applications shall include a Type 2 tree conservation plan (TCP2) or a standard letter of exemption. If a site requires approval of a TCP2, with an associated SPE application, the TCP2 is reviewed simultaneously with the associated plan. This application has an existing Type 2 Tree Conservation Plan (TCP2-030-00-01) that was approved under the standards that came into effect on September 1, 2010.

- C. **Prince George’s County Tree Canopy Coverage Ordinance.** Per Section 25-127(a) of the Prince George’s County Code, the requirements of the Prince George’s County Tree Canopy Coverage Ordinance are not applicable to the site due to the application proposing less than 5,000 square feet of disturbance.

**II. BACKGROUND**

- A. **Request:** This application seeks a special exception (SPE) to allow the use of a day care center for children within an existing shopping center.

**B. Development Data Summary:**

	<b>EXISTING</b>	<b>EVALUATED</b>
Zone(s)	CGO	CGO
Use	Indoor recreation facility	Day care center for children*
Lot(s)	0	0
Parcel(s)	55	55
Total Gross Acreage	53.88	53.88
Gross Floor Area	700,000 sq. ft.	2,100 sq. ft.

**Note:** \*The proposed day care center will be located in the same building as an existing indoor recreation facility by the name of LOL Stations Fun Center. The day care center will have a different entrance/exit, and the space will be in a separate walled off area. Floor plans have been submitted with the application.

- C. **Location and Site Description:** The subject property is part of the existing developed Beltway Plaza Mall site, which is located at 6000 Greenbelt Road, south of Breezewood Drive, approximately 1,250 feet east of Cherrywood Lane. The area subject to this SPE comprises portions of five parcels located on Tax Map 26 in Grid B-4, which are recorded in the Prince George’s County Land Records, in Plat Book ME 261, Plat No. 50 (Parcel 4, 6, B, and G) and in Plat Book ME 260, Plat No. 10 (Parcel PP). The subject property is also located within the City of Greenbelt.
- D. **Proposed Use:** The subject application is for a SPE, to allow a day care center for children that will accommodate a maximum of 40 children. The applicant’s statement of justification (SOJ) states that the day care center will be open on weekdays only. Use specific standards for the proposed day care are contained in Section 27-5402(x) of the Prince George’s County Zoning Ordinance, and are analyzed in Finding III.C. below.
- E. **Neighborhood and Surrounding Uses:** The general neighborhood is bordered by I-95/495 (Capital Beltway) to the north, Cherrywood Lane to the east, Greenbelt Road to the south, and Kenilworth Avenue to the west. The neighborhood contains a mix of residential and commercial uses. The immediate uses surrounding the larger Beltway Plaza Mall site are as follows:

- North—** Breezewood Drive, with multifamily residential development in the Regional Transit-Oriented, Low-Intensity-Edge Zone beyond.
- East—** Land in the Agriculture and Preservation Zone, which is developed with Greenbelt Middle School, athletic fields, and a school bus parking facility.
- South—** Commercial development in the Commercial, General, Office (CGO) Zone and Greenbelt Road beyond.
- West—** Cherrywood Lane, with commercially developed land and undeveloped woodland in the CGO Zone beyond.

**F. History and Previous Approvals:** The Beltway Plaza site is the subject of multiple prior approvals.

In 1989, the Prince George’s County Planning Board approved Departure from Sign Design Standards DSDS-403, which allowed for a maximum of 2,141 square feet of building signage area for the Beltway Plaza mall building.

The Planning Board approved Alternative Compliance AC-00005 in 2000, for the landscape buffer provided along Beltway Plaza’s eastern boundary shared with the Greenbelt Middle School property. AC-00005 allowed for the bufferyard to be planted with fewer plant units than required at the time. This alternative compliance approval predated the 2013 *Approved Greenbelt Metro Area and MD 193 Corridor Sector Plan and Sectional Map Amendment* (Greenbelt Metro Area and MD 193 Corridor Sector Plan and SMA), which specifies that the provisions of the Landscape Manual regarding alternative compliance do not apply within the development district (page 206).

The 2001 *Greenbelt Metro Area Approved Sector Plan and Sectional Map Amendment* rezoned the Beltway Plaza property from the prior Light Industrial Zone to the Commercial Shopping Center (C-S-C) Zone and superimposed the Development District Overlay (D-D-O) Zone.

The sectional map amendment contained in the Greenbelt Metro Area and MD 193 Corridor Sector Plan rezoned the Beltway Plaza site from the prior C-S-C and D-D-O Zones to the Mixed-Use-Infill (M-U-I) and D-D-O Zones.

On March 28, 2019, the Planning Board approved Conceptual Site Plan CSP-18010 (PGCPB Resolution No. 19-35), for redevelopment of Beltway Plaza, subject to three conditions. The CSP provided for a five-phased redevelopment of the site, to consist of up to 250 two-family and/or single-family attached dwelling units, and up to 2,250 multifamily units (for a maximum of 2,500 total residential units), as well as a range of 435,000 to 700,000 square feet of commercial development. Phase 1, as described in the CSP, is for development of a residential transition zone on the north side of the Beltway Plaza site. The CSP anticipates this area will be exclusively residential in character, and includes the transformation of the existing mall ring road, in the Phase 1 area, into a pedestrian-oriented urban street.

The Planning Board approved Preliminary Plan of Subdivision (PPS) 4-19023 on March 12, 2020 (PBCPB Resolution No. 2020-26), subject to 18 conditions. The PPS approved development of up to 2,500 multifamily dwelling units and up to 700,000 square feet of commercial space on 55 parcels at the Beltway Plaza site. The approved development concept included a reduction in commercial area on-site, to be achieved in phases by razing sections of the existing mall building and replacing it with mixed-use buildings. Additional residential and mixed-use buildings are to be located at the core of the development, as well as in outlying areas of the site. While the mix of residential unit types changed from the CSP with the approval of this PPS, the number of allowable units is within the maximum units that were permitted by the CSP. The PPS further found that while the Greenbelt Metro Area and MD 193 Corridor Sector Plan and SMA includes recommendations for a mix of housing types to be included in the redevelopment of the Plaza, it also provides flexibility for design to respond to market conditions.

On September 9, 2021, the Planning Board approved Detailed Site Plan DSP-20020 (PBCPB Resolution No. 2021-113), subject to five conditions. The DSP approved Phase 1 of the redevelopment of Beltway Plaza, which includes the area of this SPE, to include 750 multifamily residential dwelling units, a hotel, recreation center, and limited streetscape improvements.

On November 29, 2021, the Prince George’s County District Council approved Prince George’s County Council Resolution CR-136-2021, the Countywide Sectional Map Amendment, which reclassified the subject property from the M-U-I Zone to the CGO Zone, effective April 1, 2022.

No development has occurred to date, as approved by DSP-20020. Per Section 27-3604(a) of the Zoning Ordinance, SPE applications are reviewed to ensure they are appropriate for the location and zone where they are proposed. There is currently no timeline on when the mall will begin redevelopment. If the day care is relocated to a different location, a new SPE will be required.

**III. COMPLIANCE WITH APPLICABLE PROVISIONS OF THE ZONING ORDINANCE**

This application, to permit a day care center for children use through an SPE, is being reviewed in accordance with the Prince George’s County Zoning Ordinance. The analysis of all required findings for approval are provided below.

**A. General Special Exception Findings**—Section 27-3604(e) of the Zoning Ordinance provides the following applicable findings:

**1) A Special Exception may be approved if:**

**A) The proposed use and site plan are in harmony with the purpose of this Subtitle.**

The purposes of Subtitle 27 of the Prince George’s County Code, as set forth in Section 27-1300 of the Zoning Ordinance, are to protect the health, safety, and welfare of the public; to promote compatible



relationships between various land uses; to guide orderly development; and to ensure adequate public facilities and services. The proposed SPE is in harmony with these purposes as follows:

Staff find that the proposed use will protect and promote the health, safety, morals, comfort, convenience, and welfare of the present and future inhabitants of the County. A day care center will allow families that live in the surrounding neighborhoods to come together and cultivate another social community within the County. At the same time, parents will have another option for a safe and controlled environment for their kids. The proposed day care will operate Monday through Friday and will serve kids from the ages of six weeks old to five years old. The center will operate with 12 staff members and a limit of 40 kids at one time.

The proposed day care center will also serve as a beneficial economic opportunity for Beltway Plaza Mall as it awaits redevelopment. The use is proposed to be a destination for residents, while allowing those same residents to visit Beltway Plaza Mall and the larger Greenbelt community upon their arrivals and exits.

The proposed day care center can be accessed from inside of the mall or via a parking deck, where an entrance to the building is located on the upper level.

No exterior renovations are planned to take place on the building façade. Majority of the work for establishing the day care center use will take place interior to the building. The exception is the outdoor playground area, which will be located on the upper-level parking deck with added safety features to include controlled vehicular access, fencing, a shade canopy, and signage.

Per Section 27-5202(a) of the Zoning Ordinance, all accessory uses and structures shall obtain any other applicable County, municipal, State, or Federal permits. A condition has been included herein requiring the applicant to detail how the shade canopy will be adhered to the ground and to show it on the final SPE site plan.

The proposed SPE use and site plan demonstrate harmony with the purposes of Subtitle 27 of the County Code.

**(B) The proposed use is in conformance with all the applicable requirements and regulations of this Subtitle;**

The proposed use is in conformance with the requirements and regulations set forth in Subtitle 27.

The proposed use is being evaluated according to the general required findings of approval for all SPEs contained in Section 27-3604(e).

In addition, all SPE applications must comply with Section 27-5401 of the Zoning Ordinance regarding setbacks, landscaping, buffering, and screening, which is discussed in Finding III.B. below.

The application also demonstrates conformance with Section 27-5402(x), Additional Requirements for Specific Special Exception Uses, pertaining to a Day Care Center for Children, as discussed in Finding III.C. below.

**(C) The proposed use shall be consistent with the General Plan and shall conform with the relevant goals, policies, and strategies of the applicable Area Master Plan, Sector Plan, or Functional Master Plan for the subject property and its surrounding area;**

The 2014 *Plan Prince George's 2035 Approved General Plan* (Plan 2035) classifies this application as located within the Established Communities Growth Policy Area. These areas are most appropriate for context-sensitive infill and low- to medium-density development. The application is consistent with the goals, policies, and strategies of Plan 2035, because the proposed use will not alter or adversely impact the existing neighborhood framework which consists of a mix of residential and commercial uses.

Another objective of Plan 2035 is “supporting neighborhood reinvestment in existing public infrastructure, services, and facilities and designing diverse and distinct communities that promote walkability and convenient access to employment, retail, and entertainment options (page 15).” The proposed day care center will be in the existing Beltway Plaza mall which is a benefit to the larger community by offering another diverse service option to residents.

The Greenbelt Metro Area and MD 193 Corridor Sector Plan and SMA recommends Mixed Use Commercial land use on the subject property. Integrated uses at Beltway Plaza include residential, commercial (office and retail), park and open space (page 91). The proposed use is consistent with the recommended land use. The sector plan describes Mixed Use Commercial land use as “properties that contain a mix of uses which are predominantly non-residential, including commerce, office, institutional, civic, and recreational uses. These properties may include a residential component but are primarily commercial in nature (page 89). In addition, the Greenbelt Metro Area and MD 193 Corridor Sector Plan and SMA recommends the following goals, policies, and strategies to help advance the purpose and intent of the plan:

**Policy 1: Support the phased, comprehensive redevelopment of Beltway Plaza into a pedestrian-friendly, mixed-use development (page 105).**

**Strategy 1.1: Rezone the entire Beltway Plaza Property to permit comprehensive, well designed, mixed-use redevelopment (page 105).**

The proposed day care center is an institutional use, and endeavors to strengthen the shopping center by adding a new service to an existing use until the Beltway Plaza Mall redevelops. The proposed day care center is consistent with the Greenbelt Metro Area and MD 193 Corridor Sector Plan and SMA's recommended Mixed-Use Commercial land use and supports Policy 1 and Strategy 1.1 noted above.

Staff find that the proposed use is consistent with Plan 2035 and conforms to the relevant goals, policies, and strategies of the Greenbelt Metro Area and MD 193 Corridor Sector Plan and SMA for the subject property and its surrounding area. The SPE application, as requested, conforms to this finding.

**(D) The proposed use will not adversely affect the health, safety, or welfare of residents or workers in the area;**

Staff find that the proposed use of a day care center for children will not adversely affect the health, safety, or welfare of residents or workers in the area. No exterior renovations are proposed for the building with this SPE application. Minor improvements will take place on the upper level of the connected parking deck to install the playground area. The disturbance to the parking deck will be limited to fence posts around the approximately 2,300-square-foot playground area.

**(E) The proposed use will not be detrimental to the use or development of adjacent properties or the general neighborhood; and**

The general neighborhood consists of primarily residential and commercial uses. The proposed use does not propose any changes to the exterior building facade and will be adequately buffered from adjacent uses. The day care center will be located on the right upper level of the mall. This portion of the mall is surrounded on two sides by existing surface parking areas. The property boundary to the north is approximately 250 feet away, and the property boundary to the east is approximately 470 feet away.

The outdoor playground area will be located on the upper-level parking deck with added safety features to include controlled vehicular access, fencing, a shade canopy, and signage. These features will not be a detriment to the adjacent property.

Given the modest improvements to the existing site, staff find the proposed use will not be detrimental to the use or development of adjacent properties or the general neighborhood.

**(F) The proposed site plan is in conformance with an approved Type 2 Tree Conservation Plan; and**

The application has an existing Type 2 Tree Conservation Plan (TCP2-030-00-01) that was approved under the standards that came into effect on September 1, 2010. The existing TCP2 is not proposed to be amended with this application and no previous environmental conditions of approval are directly related to this application.

**(G) The proposed site plan demonstrates the preservation and/or restoration of the regulated environmental features in a natural state to the fullest extent possible in accordance with the requirements of Subtitle 24: Subdivision Regulations.**

This site is not associated with any regulated environmental features (REF), such as streams, wetlands, or associated buffers, no 100-year regulated County floodplain is mapped on-site, and no primary management area (PMA) is mapped on-site.

**(2) In addition to the above required findings, in a Chesapeake Bay Critical Area Overlay (CBCAO) Zone, a special exception shall not be granted:**

**(A) Where the existing lot coverage in the CBCAO exceeds that allowed by this Subtitle, or**

This criterion is not applicable, as the proposed development is not located within the Chesapeake Bay Critical Area Overlay (CBCAO) Zone.

**(B) Granting the special exception would result in a net increase in the existing lot coverage in the CBCAO.**

This criterion is not applicable, as the proposed development is not located within the CBCAO Zone.

**B. Special Exception General Required Findings—Section 27-5401 provides the following applicable findings:**

**(a) Required Findings**

**In addition to the required findings for the approval of a special exception specified in Section 27-3604(e), Required Findings, all special exception applications shall comply with Subsections (b) and (c), below, and all regulations applicable to the proposed use(s) as specified in Section 27-5402, Additional Requirements for Specific Special Exception Uses.**

The subject application demonstrates conformance with the subsections regarding setbacks, landscaping, buffering, and screening, as analyzed below.

**(b) Setbacks**

**All setbacks shall be measured from the boundary line of the land for which the special exception is requested or approved, regardless of whether this boundary line is a lot, property, street, or other line. This Section applies to all setback requirements of this Subtitle which are specifically applicable to the special exception use.**

The submitted site plan shows the required building setback lines for the site. A condition has been included herein requiring the applicant to provide building setbacks as measured from the boundary line of the requested SPE area.

**(c) Landscaping, Buffering, and Screening**

**(1) All landscaping required for a special exception, including any amendments to landscaping, buffering, and screening requirements which may be proposed by the applicant, shall be approved at the same time the special exception is approved. A special exception shall comply with the Landscape Manual through the approval of a landscape plan. The District Council may require additional landscaping, screening, or buffering if it determines that the amount required by the Landscape Manual is insufficient to adequately protect adjacent uses.**

**(2) Amendments to landscaping, buffering, and screening required in an approved special exception shall be made in accordance with Section 27-3604(i), Changes to Approved Special Exceptions: Minor Changes.**

The subject application is not subject to the requirements of the 2018 *Prince George's County Landscape Manual* (Landscape Manual), per Section 1.1 of the Landscape Manual, as this development will not need a grading or building permit, and the proposed use will not be a higher intensity use than the existing commercial uses within the shopping center.

**C. Additional Requirements for Specific Special Exception Uses—Per Section 27-5402(x), the following applicable additional requirements are provided:**

**(1) A day care center for children may be permitted, subject to the following:**

**(B) An ample outdoor play or activity area shall be provided, in accordance with the following:**

- (i) All outdoor play areas shall have at least seventy-five (75) square feet of play space per child for fifty percent (50%) of the licensed capacity or seventy-five (75) square feet per child for the total number of children to use the play area at one (1) time, whichever is greater;**

The licensed capacity for the day care center will be 40 children. The proposed outdoor play area is approximately 2,300 square feet, which provides 115 square feet per child, well above the minimum requirement. No more than 50 percent of the licensed capacity will utilize the play area at one time.

- (ii) All outdoor play areas shall be located at least twenty-five (25) feet from any dwelling on an adjoining lot, and shall be enclosed by a substantial wall or fence at least four (4) feet in height;**

A surface parking area and Breezewood Drive to the north separates the existing Beltway Plaza mall building from the nearby multifamily development. No other residential developments are adjacent to the site.

Since the outdoor play area will be located on the upper level of a parking deck, a 6-foot-high viny fence is proposed to surround the play area in addition to 55-gallon barrels. Staff recommend a condition that bollards be used to better protect the play area from cars that will be parking on either side of the play area.

- (iii) A greater set back from adjacent properties or uses or a higher fence may be required by the District Council if it determines that it is needed to protect the health and safety of the children utilizing the play area;**

Staff find that the proposed setback and fence height of six feet is adequate to protect the health and safety of the children utilizing the play area. The fence will surround the entire play area and will include two egress/ingress doorways. Details of the proposed fence were submitted with the SPE application.

- (iv) Any off-premises outdoor play or activity area shall be located in proximity to the day care center, and shall be safely accessible without crossing (at grade) any hazardous area, such as a street or driveway;**

The proposed outdoor play area is located on the property and is not separated from the day care center by any hazardous areas such as a street or driveway.

- (v) The play area shall contain sufficient shade during the warmer months to afford protection from the sun;**

A canopy tent is proposed to shade the play area during the warmer months and provide protection from the sun. In addition, a safety floor mat will be placed on the ground when the play area is open. Details of both features were submitted with the SPE application.

Staff have conditioned that the shade structure location be shown on the site plan. Staff also conditioned that the tent be replaced by a more durable and higher quality shade structure, such as a canvas sun screen, with permanent structural elements affixed to the parking deck.

Per Section 27-5202(a), all accessory uses and structures shall obtain any other applicable County, municipal, state, or federal permits. A condition has been included herein requiring the applicant to detail how the shade canopy will be adhered to the ground.

- (vi) Sufficient lighting shall be provided on the play area if it is used before or after daylight hours to insure safe operation of the area; and**

The applicant's SOJ notes the outdoor play area will only be utilized during daylight hours. The parking deck where the play area is located contains existing light fixtures throughout the parking deck. In addition, the larger overall Beltway Plaza Mall site contains adequate lighting.

- (vii) Outdoor play shall be limited to the hours between 7 a.m. and 9 p.m.;**

The outdoor play area will be accessible between the hours of 7:00 a.m. and 9:00 p.m. for the day care center patrons. However, the applicant's SOJ notes the outdoor play area will only be utilized during daylight hours.

- (2) In addition to the requirements of Section 27-3604(c), Special Exception Submittal Requirements, the site plan shall show:**

- (A) The proposed enrollment;**

The proposed enrollment for this application is 40 children and is noted on the site plan.

**(B) The location and use of all buildings located on adjoining lots; and**

The site plan shows the location and use of all buildings located on adjoining lots. The adjoining lots of the special exception boundary are all located within the overall Beltway Plaza mall site.

**(C) The location and size of outdoor play or activity areas.**

The location and size of the outdoor play area is shown on the site plan. The play area will be approximately 2,300 square feet and will be located on the upper level of the adjoining parking deck. Parking deck vehicular traffic will be rerouted around the play area perimeter. Between the play area and the building entrance, there is a 5-foot-wide sidewalk. Children and staff will not have to move between cars or around traffic to get to the play area. The site plan also shows two U-shaped bicycle racks at the building entrance to accommodate cyclists.

**D. Development Standards—**Section 27-6, Development Standards, of the Zoning Ordinance, provides the following applicable development standards. This SPE is consistent with the applicable standards, and the following discussion is offered:

**1. Section 27-6300 Off-Street Parking and Loading**

In accordance with the parking and loading regulations contained in Section 27-6305 of the Zoning Ordinance, a day care center for children requires 1.0 spaces per 10 children. This application proposes a limit of 40 children and, therefore, would require four parking spaces.

The proposed day care center can be accessed from inside of the mall or via a parking deck, where an entrance to the building is located on the upper level. There is a single vehicular access point to the site from an existing internal parking lot ramp. Directional arrows are proposed throughout the parking lot to direct vehicle circulation on-site.

The upper level of the parking deck currently contains 183 parking spaces. The applicant proposes to remove 25 spaces near the building entrance to make room for and provide safe access for the proposed play area. The applicant also proposes to add five parking spaces that are dedicated for the day care center. The remaining total of 163 spaces meets the parking requirement for the day care center. No loading spaces are required for this use.

As shown on the site plan, the mall will still have a surplus of over 600 parking spaces.



**2. Section 27-6600 Fences and Walls**

This SPE proposes the installation of a 6-foot-high white vinyl fence to enclose the outdoor play area, as shown on the plan. This fence meets the requirements of Section 27-6600 of the Zoning Ordinance, regarding the applicable location, height, and material regulations.

**3. Section 27-61200 Neighborhood Compatibility Standards**

This SPE will have minimal impact on surrounding uses. The proposed use is located inside the existing Beltway Plaza Mall and will make no changes to the exterior of the building, apart from the addition of the outdoor play area. The character of the existing neighborhood will not be impacted, while the proposed use aims to provide a much-needed service to the community.

**4. Section 27-61500 Signage**

Three signs are proposed with this SPE application to include one caution sign, and two reserved parking signs. The locations of the various signs are shown on the site plan.

**IV. COMPLIANCE WITH APPLICABLE PROVISIONS OF THE 2018 PRINCE GEORGE'S COUNTY LANDSCAPE MANUAL**

The proposed development is not subject to the requirements of the Landscape Manual, per Section 1.1 of the Landscape Manual, as this development will not need a grading or building permit, and because the proposed use is not a higher intensity use than the existing commercial shopping center.

**V. COMPLIANCE WITH APPLICABLE PROVISIONS OF THE 2010 PRINCE GEORGE'S COUNTY WOODLAND AND WILDLIFE HABITAT CONSERVATION ORDINANCE**

Section 27-6803 of the Zoning Ordinance requires that this property be subject to the provisions of the Prince George's County Woodland and Wildlife Habitat Conservation Ordinance because the property is greater than 40,000 square feet and has a previously approved TCP2. The approved Type 2 Tree Conservation Plan (TCP2-030-00-01) was submitted with the SPE application.

The prior M-U-I Zone was used for the approved TCP2, but the current CGO Zone contains the same woodland conservation and afforestation thresholds. Therefore, there are no changes to the overall woodland conservation requirement on the TCP2 worksheet. Since no grading permit will be required with this application, and the scope of the limits of disturbance of this SPE falls within the existing limits of disturbance of the approved TCP2, no changes to the existing TCP2 are required. The SPE is found to be in conformance with TCP2-030-00-01.

**VI. COMPLIANCE WITH APPLICABLE PROVISIONS OF THE PRINCE GEORGE’S COUNTY TREE CANOPY COVERAGE ORDINANCE**

Per Section 25-127(a) of the County Code, the requirements of the Prince George’s County Tree Canopy Coverage Ordinance are not applicable to the site due to the application proposing less than 5,000 square feet of disturbance.

**VII. REFERRAL COMMENTS**

The subject application was referred to the concerned agencies and divisions. The referral comments are incorporated herein, by reference, and major findings are summarized as follows:

- A. **Community Planning**—In a memorandum dated January 22, 2024 (Dickerson to Lockhart), the Community Planning Division indicated that master plan conformance is required for this application. This SPE application is consistent with Plan 2035 and conforms to the relevant goals, policies, and strategies of the Greenbelt Metro Area and MD 193 Corridor Sector Plan and SMA.
- B. **Transportation Planning**—In a memorandum dated February 6, 2024 (Daniels to Lockhart), the Transportation Planning Section provided a review of compliance with the 2009 *Approved Countywide Master Plan of Transportation* and a review of the applicable Part 27-6 development standards. Staff find that the proposed plan does not impair the ability to make transportation-related recommendations that are supported by an approved master plan or functional master plan.
- C. **Environmental Planning**—In a memorandum dated February 5, 2024 (Juba to Lockhart), the Environmental Planning Section analyzed the application’s conformance with the Greenbelt Metro Area and MD 193 Corridor Sector Plan and SMA and applicable sections of the Zoning Ordinance. The following discussion was offered:

**Existing Conditions/Natural Resources Inventory**

Section 27-3604(c), Special Exception Submittal Requirements, of the Zoning Ordinance, requires an approved natural resources inventory (NRI) plan with SPE applications. An approved NRI-156-201801 was submitted with the application, which expires on April 5, 2024. This site is not associated with any REFs such as streams, wetlands, or associated buffers. No 100-year regulated County floodplain is mapped on-site. No PMA, which is comprised of REFs, 100-year floodplain, and any adjacent steep slopes, is mapped on-site. This site is not within a Tier II catchment area. According to the Maryland Department of Natural Resources Wildlife and Heritage Service, there are no records for rare, threatened, or endangered species mapped on-site. No woodlands, specimen, champion, or historic trees exist on-site.

**Specimen Trees**

There are no specimen trees, champion trees, or trees that are part of a historic site, or are associated with a historic structure on this property.

### **Stormwater Management**

Section 27-3604(c) requires an approved stormwater management (SWM) concept plan and associated approval letter to be included with SPE applications. A SWM concept approval letter and associated plan were not submitted with the application for this site; however, the Prince George's County Department of Permitting, Inspections and Enforcement (DPIE) issued a prior approval (38318-2020-00) for the overall site associated with DSP-20020, which expires on April 27, 2024. No grading permit is required for this development proposal; however, the project may be subject to further review at the time of permit, and DPIE reserves the right to impose restrictions, if necessary, prior to issuing a permit. No further information is required at this time regarding SWM with this SPE application.

### **Soils**

Section 27-6809, Unsafe Lands, of the Zoning Ordinance, requires all applications to conform to the requirements pertaining to unsafe land in Section 24-4300, Environmental Standards, of the Prince George's County Subdivision Regulations. The predominant soils found to occur on the overall site, according to the United States Department of Agriculture Natural Resource Conservation Service Web Soil Survey, include Elkton-Urban land complex, Christiana-Downer-Urban land complex, ChristianaDowner complex, Fallsington-Urban land complex, Galestown-Urban land complex, SassafrasUrban land complex, and Urban land-Russett-Christiana complex.

According to available information, no Marlboro clay exists on-site; however, unsafe soils containing Christiana complexes are mapped on this property. Christiana complexes are considered unsafe soils that exhibit shrink/swell characteristics during rain events, which make it unstable for structures. The area of proposed development has already been previously graded and developed. No steep slopes are identified on areas where structures are proposed on top of steep slopes. A geotechnical review was not requested with this application, as the site was considered mostly flat, but may be required for review by the County with a future development application, in conformance with Prince George's County Council Bill CB-94-2004.

- D. **Subdivision**—In a memorandum dated February 5, 2024 (Gupta to Lockhart), the Subdivision Section provided a review of conditions attached to prior approvals and noted technical revisions to the site plan, which have been included as conditions in the Recommendation section of this technical staff report.
- E. **Historic Preservation**—In a memorandum dated January 23, 2023 (Stabler to Lockhart), the Historic Preservation Section indicated that a search of current and historic photographs, topographic and historic maps, and locations of currently known archeological sites indicates the probability of archeological sites within the subject property is low. A Phase I archeology survey is not recommended. The subject property does not contain and is not adjacent to any designated Prince George's County historic sites or resources.
- F. **Permit Review**—In a memorandum dated January 22, 2024 (Shaffer to Lockhart), the Permit Review Section provided technical comments to be addressed at the time of permitting, if applicable.

- G. **Prince George’s County Fire/EMS Department**—As of the writing of this technical staff report, the Fire/EMS Department did not offer any comments on this subject application.
- H. **Prince George’s County Department of Permitting, Inspections and Enforcement (DPIE)**—In a memorandum dated January 26, 2024 (Giles to Lockhart), DPIE offered no objection to the SPE.
- I. **Prince George’s County Health Department**—In a memorandum dated January 9, 2024 (Adepoju to Lockhart), the Health Department made the following comments/recommendations:
  - 1. The facility must apply for licensure to the Maryland Department of Education’s Division of Early Childhood.
  - 2. The facility must have an environmental assessment inspection by the Prince George’s County Health Department Division of Environmental Engineering and Policy Program.
  - 3. Ensure that the construction of the relocated playground is designed, constructed, maintained, and operated according to the guidelines and standards indicated in the Maryland State Department of Education Playground and Water safety manual, and the Maryland Department of Health Injury and Violence Prevention for playground safety guidelines.
- J. **Washington Suburban Sanitary Commission (WSSC)**—As of the writing of this technical staff report, WSSC did not offer any comments on this subject application.
- K. **City of Greenbelt**—In a memorandum dated January 22, 2024 (Jordan to Shapiro), the City of Greenbelt informed staff that the City Council voted in support of the application.

**VIII. COMMUNITY FEEDBACK**

As of the writing of this technical staff report, no correspondence has been received from the surrounding community.

**IX. RECOMMENDATION**

Based on the applicant’s statement of justification, the analysis contained in the technical staff report, associated referrals, and materials in the record, the applicant has demonstrated conformance with the required special exception findings, as set forth in Section 27-3604(e) (in general) and the applicable findings of Section 27-5402(x), Day Care Center for Children, of the Prince George’s County Zoning Ordinance. Staff find that the proposed application satisfies the requirements for approval, and that the application will be in conformance with the Prince George’s County Zoning Ordinance requirements.

Therefore, staff recommend APPROVAL of Special Exception SPE-2022-012, LOL Childcare Station, subject to the following condition:

1. Prior to certification of the special exception (SPE) site plan, the following revisions shall be made, or information shall be provided:
  - a. Label the parcels with their plat recording reference.
  - b. Label the parcel boundaries with their bearings and distances in accordance with their record plats.
  - c. Provide building setback distances from the area of the SPE to the north and east property boundaries.
  - d. Revise General Note 3 to state the correct play area square footage and dimensions of 46.17 feet by 50 feet, as shown on the site plan.
  - e. Provide a minimum of two pedestrian crosswalks from the drive aisles to the facility entrance.
  - f. Replace 55-gallon barrels with a detail and location of permanent bollards.
  - g. Provide the location of the shade structure on the site plan. Replace the tent with a more durable and higher quality shade structure, such as a canvas sun screen, with permanent structural elements affixed to the parking deck, subject to approval by the Zoning Section of the Development Review Division of the Maryland National Capital Park and Planning Commission.

# LOL CHILDCARE STATION

Special Exception

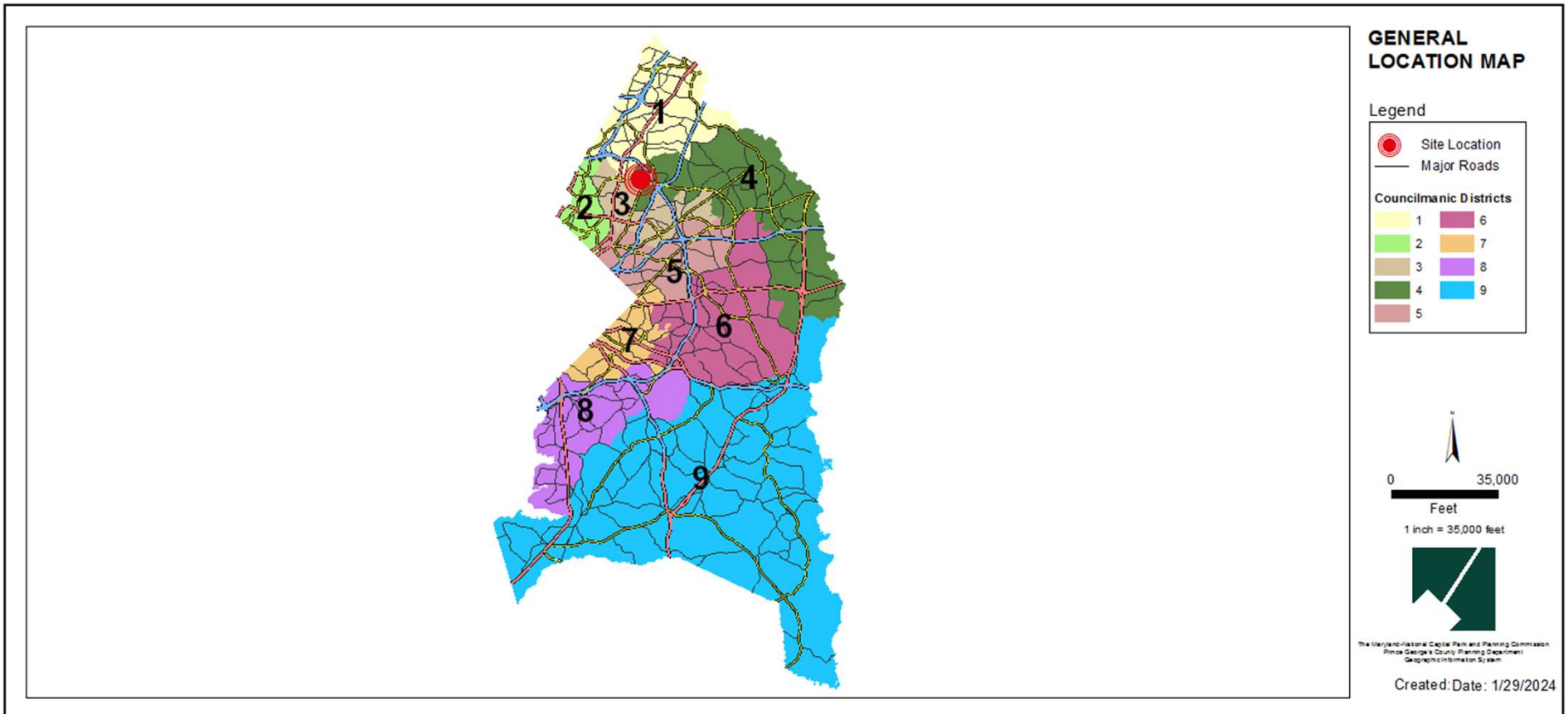
Staff Recommendation: APPROVAL with conditions



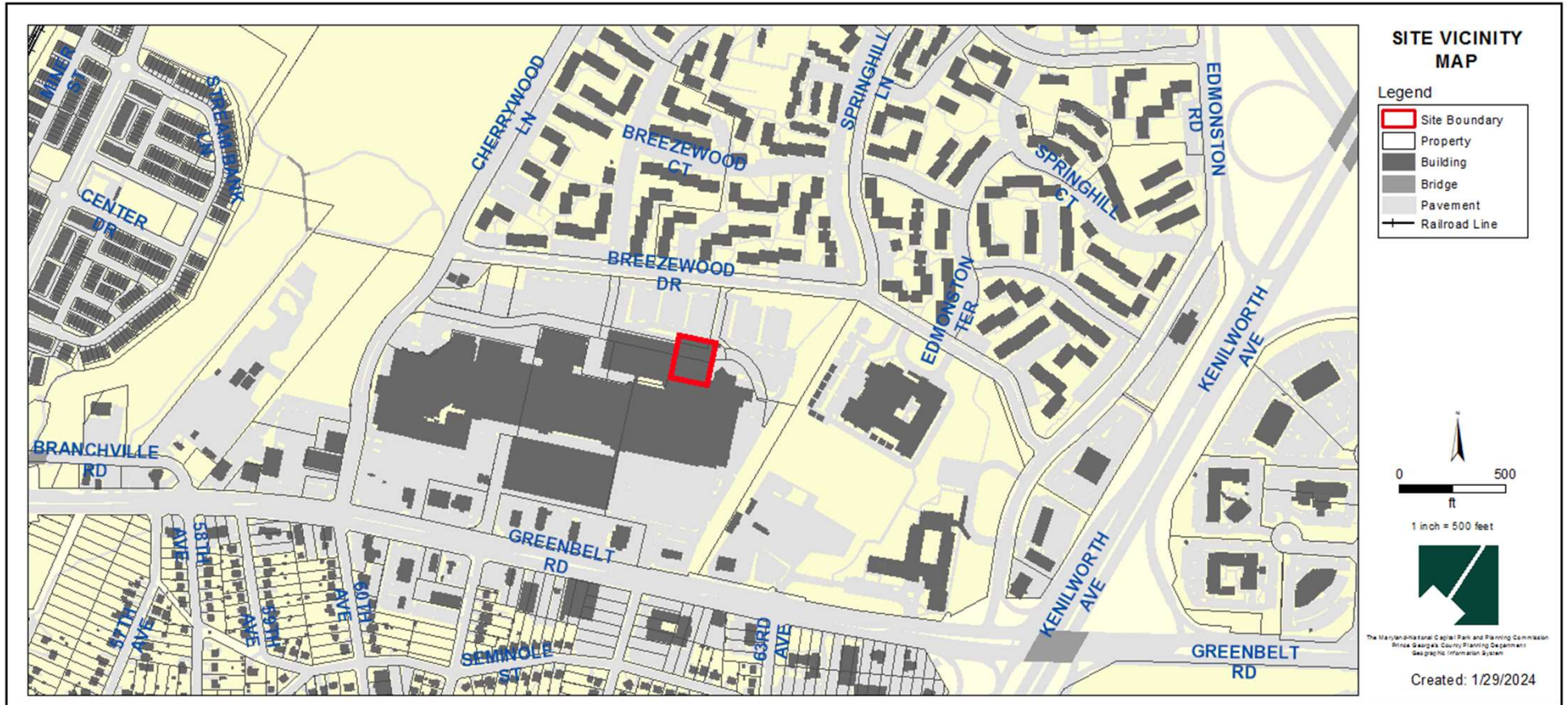
# GENERAL LOCATION MAP

Council District: 04

Planning Area: 067



# SITE VICINITY MAP



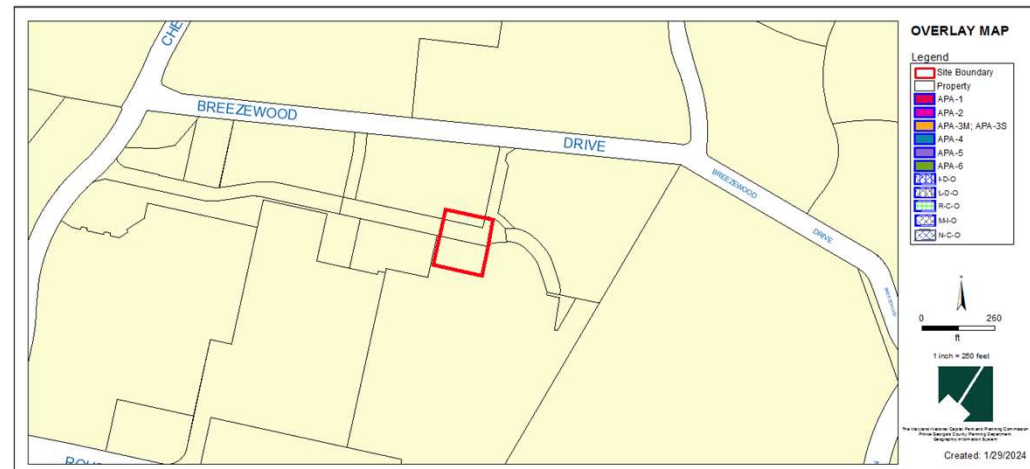
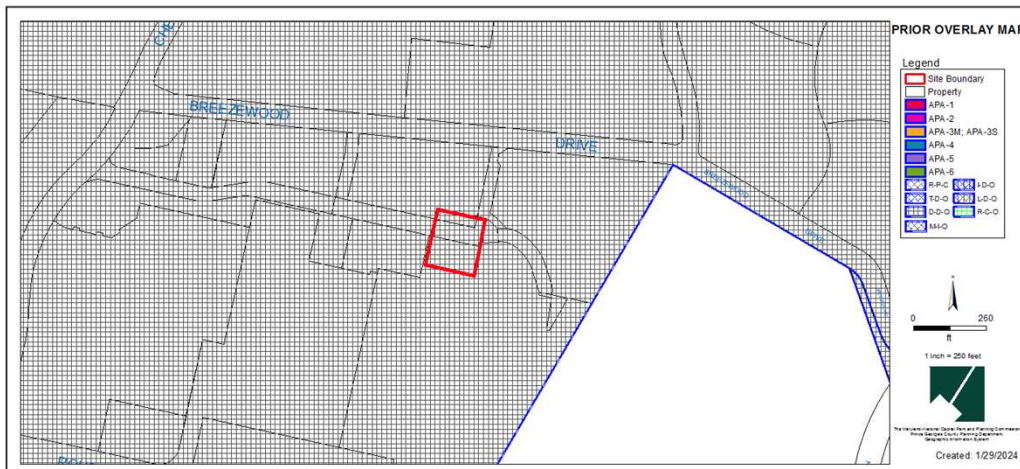


# ZONING MAP (PRIOR AND CURRENT)

Property Zone: CGO



# OVERLAY MAP (PRIOR AND CURRENT)



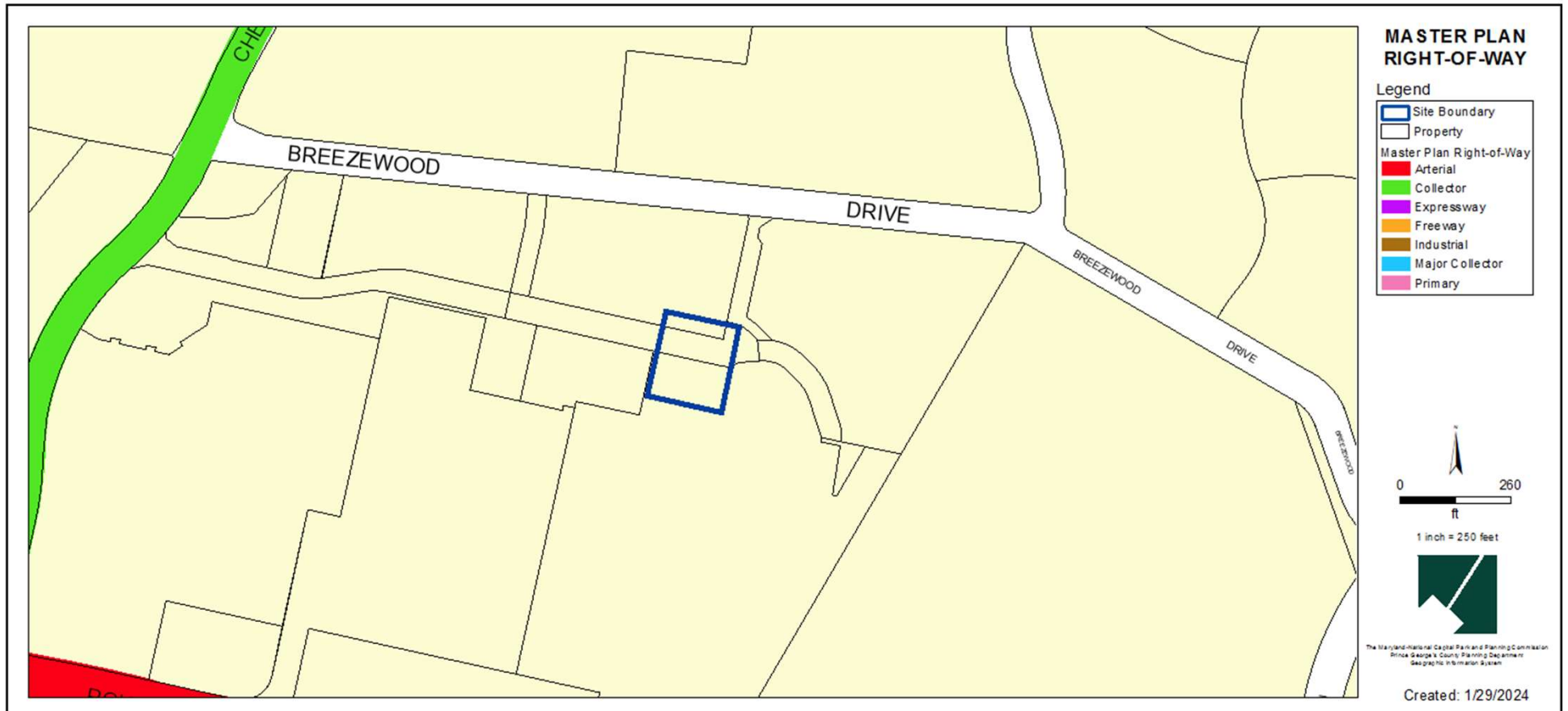
# AERIAL MAP



# SITE MAP



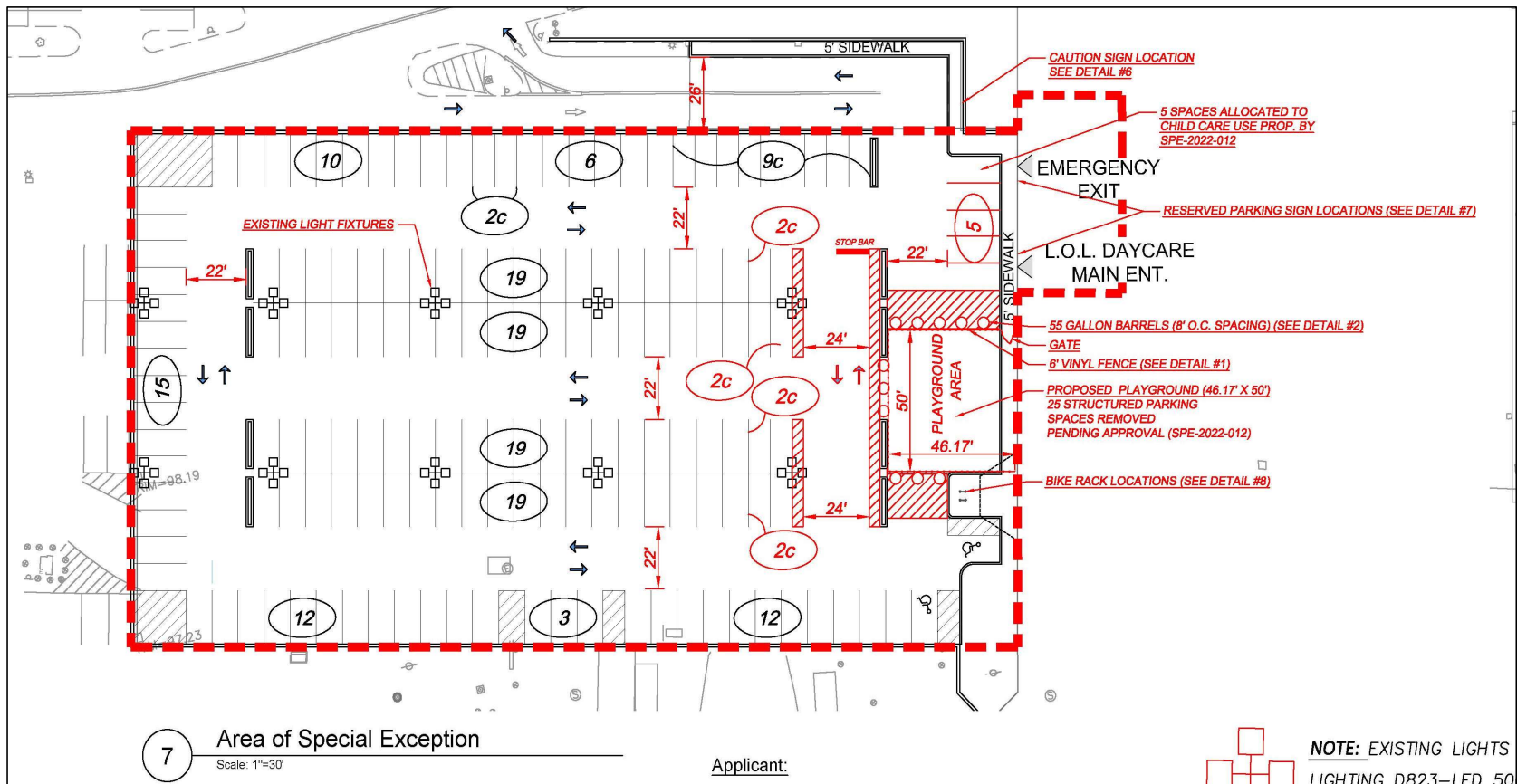
# MASTER PLAN RIGHT-OF-WAY MAP



## BIRD'S-EYE VIEW WITH APPROXIMATE SITE BOUNDARY OUTLINED



# SITE PLAN



# PLAY AREA DETAILS



5 Playground Rendering  
Typical Detail N.T.S.



1 6' White Vinyl Fence Detail  
Typical Detail N.T.S.



2 55 Gallon Water/Sand Barrel Detail  
Typical Detail N.T.S.  
Spacing of Cyl. Barrels  
Refer to Site Plan for exact number and location



3 20' x 40' Shade Canopy Detail  
Typical Detail N.T.S.



4 Safety Floor Detail  
Typical Detail N.T.S.



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# STAFF RECOMMENDATION

**APPROVAL** with conditions

**Major/Minor Issues:**

- None

**Applicant Required Mailings:**

- Informational Mailings: 1/11/2024
- Acceptance Mailings: 1/25/2024



Beltway Plaza Mall  
6250 Greenbelt Road  
Greenbelt, MD 20770  
301/885-2888  
www.LOLstations.com

**YOUR FUN & CELEBRATION PLACE!**

**LOL CHILDCARE STATION  
STATEMENT OF JUSTIFICATION  
SPE-2022-012  
Revised 6/12/23**

LOL Enterprises LLC has been operating as Laugh Out Loud (LOL) Stations MEGA Fun Center in Beltway Plaza Mall since opening in its current location in November 2014.

Given the recent and planned housing expansion within a few blocks of the Mall, we see a current and impending need for child care to accommodate the needs of new families moving into the area.

The owners see an opportunity to fulfill the goal of offering a place to play on weekends with a day care program on the weekdays.

Monday, October 24, 2022, I participated in a Pre-Application Conference to review plans for initiating a new day care program as an additional program within the existing Laugh Out Loud (LOL) Stations MEGA Fun Center. Below are reviewer comments along with responses to specific concerns.

I am fully aware of the Beltway Plaza Mall mixed-use development plan, which includes partial demolition of our current location to widen road access for a private street and the remaining portion of the building will be conveyed to the City of Greenbelt for a recreation center.

I have an agreement with the property owner to move to another location at some time before or after the first multifamily residential structure is completed or when construction makes it necessary.

Our goal is to continue operations of the fun center and day care while continuing to plan future relocation within Beltway Plaza Mall. We will reopen in our new location prior to the demolition and ensure continuity of service to parents with children in our care.

See attached a revised Site Plan for Phase 1 development that includes the first multifamily residential structure. In this plan, notice that the LOL Stations building will still be intact through that construction period.

There are no other businesses that are front-facing on the rear upper deck or having a direct entrance with or from LOL Stations, so this parking area is used almost exclusively by our patrons as it is outside of the Mall and off the beaten path. There are 2 public access doorways (entrances/exits) from the rear upper parking deck into the Mall and one would then travel approximately 60 Feet inside the mall to the former Big Lot store, which is currently vacant and then Shopper's World another 20' further. There is a church in back of LOL Stations facing the opposite direction and cannot be accessed from the rear upper parking deck. Neither the church nor future retailers assuming the vacant Big Lot space will adversely affect the day care and vice versa.

Indicated in the Site Map data table are 5 dedicated parking sites directly in front of the LOL Childcare Station entrance doors, which surpasses the actual requirement of 4 for not more than 40 enrolled kids.

To ensure the safety of the children, note the inset entitled "Proposed Playground" with the placement directly in front of the building. Parking deck traffic will be rerouted around the playground perimeter. To and from the playground, there is a 5' wide sidewalk and the distance from the day care entrance to the playground door is approximately 8'. Children and staff will not have to move between cars or in and around traffic to get to the playground.

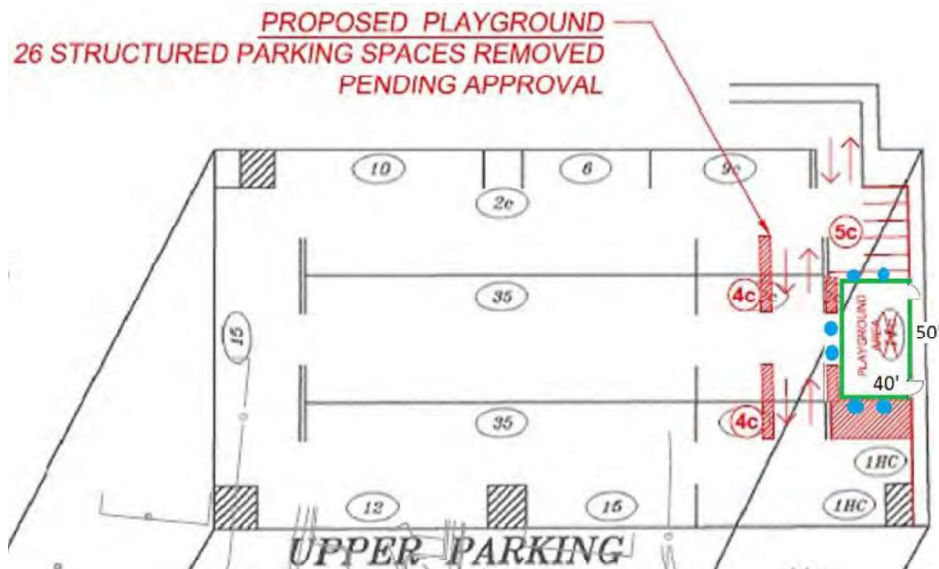
We plan to surpass Office of Child Care requirements of 1,500SF of play space, which calls for half the enrollment number multiplied by 75SF for a total of only 1,500SF. The playground fencing will enclose a 40' x 50' area for a total of 2,000SF. There will be an additional 500SF of space for play structures.

Placement of the outdoor playground and redirection of traffic will eliminate 26 parking spaces as indicated on the Site Plan.

6' high white vinyl fence panels with open slats (depicted below) will enclose the entire 2,000SF area and will include 2 egress doors for safety. Children and staff will never need to step into the road.



The Playground (green rectangle) will be 2,000SF. There are 2 raised curbs (6" H x 15" W x 2.5' L) along the left long side with an opening of 2' between. 55-gallon water/sand barrels (blue circles in above depiction) will be used as traffic barriers for an extra measure of safety around 3 sides of the playground.





A sidewalk runs parallel to the building and at the opposite end of the playground where no barrier is needed. In case of an emergency, staff could direct children safely on to the sidewalk and either into the day care entrance doors or away in the opposite direction to the mall doors.

Below is a rendering of the playground placement in front of the building with vinyl fencing panels 6'H, 50'L and 40'W (depicted by the green lines). The sidewalk, which spans completely in front of the building, is 5'W and goes the length of the fencing. Note the depiction of the 55-gallon barrels that will be placed around the fencing to serve as traffic safety barriers. Again, traffic will be re-routed around the playground.



To ensure adequate shading during sunny days, see below canopy tent which will cover up to a 20' x 40' space within the Playground area. Additionally, the black safety floor covers below will be used under an actual play system, particularly where falling may be expected when children are climbing or swinging.



Also attached is the requested interior floor design that includes the fun center along with the day care. The fun center operates on Saturdays and Sundays

A detailed floor plan for just the day care is also attached.

As LOL Stations MEGA Fun Center opens to the public only on Saturdays and Sundays and infrequently for private or special events on the weekdays, the rear parking deck is used almost exclusively by fun center customers. When LOL Stations fun center is closed, the rear upper deck is blocked off with cones and a chain.

With plans for the day care to only open on weekdays, the upper deck will be made available during those times with 12 staff and a limit of 40 concurrent kids escorted by one parent dropping off in the morning and picking up in the evening, I'm projecting a maximum number of 104 trips per day to and from the LOL Childcare Station for 520 trips per week and 27,040 per year. When the day care operation closes for the day (after hours), the upper deck will be made inaccessible by replacing the cones and chains.

It is possible for staff and parents to arrive via bicycle, walk up the ramp, or take the stairs up to the rear upper deck. They can also walk into the mall and use the escalator or elevator, then walk through the mall on to the upper deck and through the LOL Childcare Station doors.

**Detailed Responses to Prince George’s County Zoning Ordinances  
& Code Requirements for Day Care Use and Special Exceptions**

**27-5402(x)**

**(x) Day Care Center for Children**

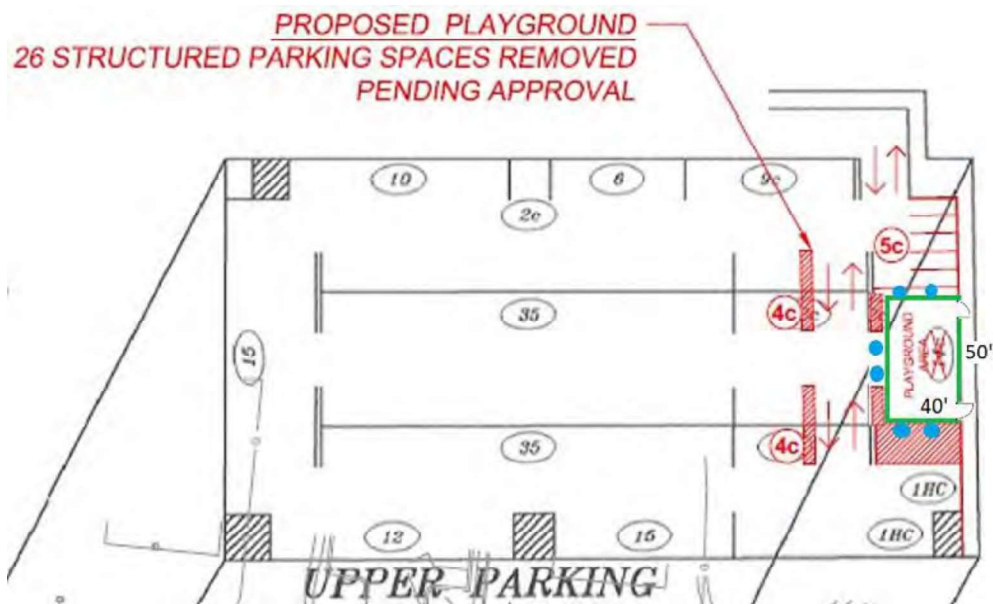
1. A day care center for children may be permitted, subject to the following:
  - A. The District Council may specify the maximum number of children to be enrolled, which may not be increased by State or local health, education, or fire regulations.
    - We expect to be licensed for a capacity of 40 children, which requires a minimum 35 SF per child according to the Office of Child Care for a minimum of 1,400 SF. However, we are planning for a 2,100 SF facility, more than required.
  - B. An ample outdoor play or activity area shall be provided, in accordance with the following:
  - C.
    - i. All outdoor play areas shall have at least seventy-five (75) square feet of play space per child for fifty percent (50%) of the licensed capacity or seventy-five (75) square feet per child for the total number of children to use the play area at one (1) time, whichever is greater;
      - The playground capacity in the playground will be maximum 20 children playing at one time. Office of childcare requires half the enrollment number, multiplied by 75SF for a total of only 1,500SF minimum for the playground area. The playground fencing will enclose a 40’ x 50’ area for a total of 2,000SF. There will be an additional 500SF of space for play structures.
    - ii. All outdoor play areas shall be located at least twenty-five (25) feet from any dwelling on an adjoining lot, and shall be enclosed by a substantial wall or fence at least four (4) feet in height;
      - There are no dwellings within the plaza and 6’ high white vinyl fence panels with open slats (depicted below) will enclose the entire 2,000SF area and will include 2 egress doors for safety.



- iii. A greater set back from adjacent properties or uses or a higher fence may be required by the District Council if it determines that it is needed to protect the health and safety of the children utilizing the play area;
  - As previously indicated, we will be using a 6’ high fence.

iv. Any off-premises outdoor play or activity area shall be located in proximity to the day care center, and shall be safely accessible without crossing (at grade) any hazardous area, such as a street or driveway;

- Children and staff will never need to step into the road. To ensure the safety of the children, note the inset entitled “Proposed Playground” with the placement directly in front of the building. Parking deck traffic will be rerouted around the playground perimeter. To and from the playground, there is a 5’ wide sidewalk and the distance from the day care entrance to the playground door is approximately 8’. Children and staff will not have to move between cars or in and around traffic to get to the playground.



- The Playground (green rectangle) will be 2,000SF. There are 2 raised curbs (6”H x 15”W x 2.5’L) along the left long side with an opening of 2’ between.
- 55-gallon water/sand barrels (blue circles in above depiction) will be used as traffic barriers for an extra measure of safety around 3 sides of the playground.



- Below is a rendering of the playground placement in front of the building with vinyl fencing panels 6'H, 50'L and 40'W (depicted by the green lines). The sidewalk, which spans completely in front of the building, is 5'W and goes the length of the fencing. Note the depiction of the 55-gallon barrels that will be placed around the fencing to serve as traffic safety barriers. Again, traffic will be re-routed around the playground.



- v. The play area shall contain sufficient shade during the warmer months to afford protection from the sun; To ensure adequate shading during sunny days, see below canopy tent which will cover up to a 20' x 40' space within the Playground area.





- vi. Sufficient lighting shall be provided on the play area if it is used before or after daylight hours to insure safe operation of the area; and
    - The play area will only be used during daylight hours.
  - vii. Outdoor play shall be limited to the hours between 7 a.m. and 9 p.m.;
    - Yes, outdoor play shall be limited to the hours between 7am and 9pm.
- D. In the CGO, CS, IE, and IH zones, a special exception for a day care center for children shall be allowed only if the Council finds that existing development and uses in the neighborhood (particularly on adjacent properties) will not adversely affect the proposed use.
- There are no other businesses that are front-facing on the rear upper deck or having a direct entrance with or from LOL Stations, so this parking area is used almost exclusively by our patrons as it is outside of the Mall and off the beaten path. There are 2 public access doorways (entrances/exits) from the rear upper parking deck into the Mall and one would then travel approximately 60 Feet inside the mall to the former Big Lot store, which is currently vacant and then Shopper's World another 20' further. There is a church in back of LOL Stations facing the opposite direction and cannot be accessed from the rear upper parking deck. Neither the church nor future retailers assuming the vacant Big Lot space will adversely affect the day care and vice versa.
2. In addition to the requirements of Section [27-3604\(c\)](#), Special Exception Submittal Requirements, the site plan shall show:
    - A. The proposed enrollment;
    - B. The location and use of all buildings located on adjoining lots; and
    - C. The location and size of outdoor play or activity areas.
  3. Any day care center for children which has, on or before the effective date of this Ordinance, fully complied with the provisions of this Subtitle in effect at the time the use commenced shall not be required to meet the requirements of this Section, provided that the use has not been expanded or changed since that time. Any expansion or change shall be governed by the provisions of this Section, or of Section [27-5102\(d\)\(2\)\(A\)](#), Day Care Center for Children.
  4. For the purposes of this Section, enrollment shall mean the largest number of children enrolled in the center in any one (1) session.

## **27-3604(e)**

### **(e) Required Findings**

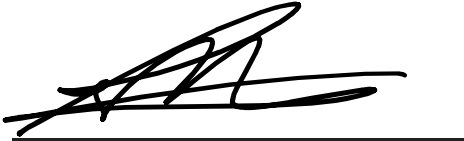
1. A special exception may only be approved if:
  - A. The proposed use and site plan are in harmony with the purpose of this Subtitle;

- LOL Enterprises LLC has been operating as Laugh Out Loud (LOL) Stations MEGA Fun Center in Beltway Plaza Mall since opening in its current location in November 2014. Our current customers are children and families and the day care accessory plan continues to support the same target as we expand our services.
- B. The proposed use is in conformance with all the applicable requirements and regulations of this Subtitle;
- LOL Stations is and will remain in conformance with all applicable requirements and regulations.
- C. The proposed use will not substantially impair the integrity of any validly approved Area Master Plan, Sector Plan, or Functional Master Plan, or, in the absence of an Area Master Plan, Sector Plan, or Functional Master Plan, the General Plan;
- LOL Enterprises LLC has been operating as Laugh Out Loud (LOL) Stations MEGA Fun Center in Beltway Plaza Mall since opening in its current location in November 2014. Given the recent and planned housing expansion within a few blocks of the Mall, we see a current and impending need for child care to accommodate the needs of new families moving into the area. The owners see an opportunity to fulfill the goal of offering a place to play on weekends with a day care program on the weekdays. The day care is an accessory addition and there will be no substantial change to the Area, Sector, Functional or General Plans, other than showing the play area.
- D. The proposed use will not adversely affect the health, safety, or welfare of residents or workers in the area;
- The proposed use will not adversely affect the health, safety, or welfare of residents or workers in the area. Instead, the use seeks to accommodate the needs of new families moving into the area. The owners see an opportunity to fulfill the goal of offering a place to play on weekends with a day care program on the weekdays.
- E. The proposed use will not be detrimental to the use or development of adjacent properties or the general neighborhood; and
- The day care is an accessory addition to an already existing and operating business, and there will be no detriment to the use or development of adjacent properties or the general neighborhood.
- F. The proposed site plan is in conformance with an approved Type 2 Tree Conservation Plan; and
- The day care is an accessory addition to an already existing and operating business, and there will be no impact to the Type 2 Tree Conservation Plan as there will be no destruction or installation of trees.
- G. The proposed site plan demonstrates the preservation and/or restoration of the regulated environmental features in a natural state to the fullest extent possible in accordance with the requirements of Subtitle 24: Subdivision Regulations.
- The day care is an accessory addition to an already existing and operating business, and there will be no impact on the environment nor a need to preserve or restore regulated environmental features.
2. In addition to the above required findings, in a Chesapeake Bay Critical Area Overlay (CBCAO) Zone, a special exception shall not be granted:

- The day care is an accessory addition to an already existing and operating business and is NOT in a Chesapeake Bay Critical Area.
- B. Where the existing lot coverage in the CBCAO exceeds that allowed by this Subtitle, or
- C. Where granting the special exception would result in a net increase in the existing lot coverage in the CBCAO.

I, Regina Bethea, do hereby declare under penalty of perjury under the laws of the State of Maryland that the foregoing is true and correct.

EXECUTED ON THIS DAY, March 12, 2023



Regina Bethea  
Signature Name (type or print)

Chief Managing Member/Owner  
Relationship to Project

LOL Stations, Beltway Plaza Mall, 6250 Greenbelt Road, Greenbelt, MD 20770  
Project Address



January 22, 2024

Chair Peter A. Shapiro  
Prince George's County Planning Board  
1616 McCormick Drive  
Largo, MD 20774

RE: SPE-2022-012, LOL Childcare Station

Dear Chair Shapiro:

We are writing to express support for SPE-2022-012, which City Council voted five (5) to one (1) to support on January 22, 2024, with the conditions below.

Greenbelt Planning Staff has worked with the applicant to address the review comments supplied to M-NCPPC staff during the Subdivision and Development Review Committee (SDRC) process. The applicant and property owner have agreed to the following conditions:

- The property owner agrees to install at least two (2) bike racks under the existing building awning.
- The Applicant agrees to fill the barrels with water to add mass and install the barrels with no more than 8 feet of spacing between each barrel.
- The Applicant must obtain all relevant permits for construction from Prince George's County Permitting, Inspections, and Enforcement (DPIE).
- The Applicant agrees that the large shade canopy will meet all County permitting requirements, and erecting this structure may require a building permit from Prince George's County DPIE.
- All play equipment must meet the standards of the State of Maryland for a childcare center.
- The Applicant agrees to update their submittal to include ITE Land Use classifications and peak hour trip generation.

The City views this application as a needed land use in this part of Greenbelt. We are looking forward to working with the business owner in the future.

If you have any questions regarding the City's position on this matter, please contact Ryan Sigworth, AICP, Community Planner, at 240-542-2042.

Sincerely,



Emmett V. Jordan  
Mayor

cc: Greenbelt City Council  
Josué Salmerón, City Manager  
Tim George, Assistant City Manager  
Terri Hruby, Director of Planning & Community Development  
Jaime Fearer, Assistant Planning Director  
Advisory Planning Board

Via email and mail



February 9, 2024

## MEMORANDUM

**TO:** Dominique Lockhart, AICP, Planner III, Zoning Section, Development Review Division

**VIA:** Adam Dodgshon, Planning Supervisor, Placemaking Section, Community Planning Division. *AD*

**VIA:** David A. Green, MBA, Planner IV, Long-Range Planning, Community Planning Division *DG*

**FROM:** Garrett Dickerson, Planner II, Placemaking Section, Community Planning Division Community Planning Division *GD*

**SUBJECT:** SPE- 2022-012 LOL CHILDCARE STATION

## FINDINGS

Community Planning Division staff finds that, pursuant to 27-3604 (e)(1)(C) Special Exception of the Zoning Ordinance, this special exception application is consistent with Plan 2035 and shall conform with the relevant goals, policies, and strategies of the 2013 *Approved Greenbelt Metro Area and MD 193 Corridor Sector Plan and Sectional Map Amendment* for the subject property and its surrounding area.

## BACKGROUND

**Application Type:** Special Exception for a Childcare Station in the Mixed-Use zone.

**Planning Area:** 67

**Community:** Greenbelt

**Location:** LOL Stations, 6250 Greenbelt Road, Greenbelt, MD 20770

**Size:** The existing family center is in the Beltway Plaza Mall. The property is subject to Preliminary Plan of Subdivision (PPS)4-19023, which approved Mixed Use Commercial and Multifamily Residential development for the overall 53.88-acre property of the Beltway Plaza Mall. Detailed Site Plan DSP-20020 was approved for Phase 1 of the development, and some lots and parcels were recorded in accordance with these approvals. The existing recreation center and proposed uses are located on three parcels-Parcel B and Parcel 6 both recorded in Plat Book 261-50, and Parcel PP recorded in Plat Book 260-10

**Existing Uses:** Family Fun Center

**Future Land Use:** Mixed Use

2 SPE-2022-012 LOL  
CHILDCARE STATION

**Existing Zoning:** CGO (Commercial, General and Office)

**Proposal:** Special exception to open a childcare program within LOL Stations, an existing Family Fun Center, for forty infants to preschoolers that would be served Monday through Friday from 6am to 6pm.

**Character of the Neighborhood:** The facility is surrounded by garden style apartment complexes and autocentric retail establishments.

#### **GENERAL PLAN, MASTER PLAN, AND SMA**

**General Plan:** The subject property is located in the Established Communities. “Plan 2035 classifies existing residential neighborhoods and commercial areas served by public water and sewer outside of the Regional Transit Districts and Local Centers, as Established Communities. Established communities are most appropriate for context-sensitive infill and low- to medium-density development. Plan 2035 recommends maintaining and enhancing existing public services (police and fire/EMS), facilities (such as libraries, schools, parks, and open space), and infrastructure in these areas (such as sidewalks) to ensure that the needs of existing residents are met,” (page 20)

**Analysis:** The requested special exception is consistent with Plan 2035 because the application provides context -sensitive expansion of an existing business to serve the existing residential neighborhood and thus is consistent with the Establish Communities as designated by the Prince George’s County Growth Policy Map. (Map 1, page 18-20)

**Master Plan:** *The 2013 Approved Greenbelt Metro Area and MD 193 Corridor Sector Plan and Sectional Map Amendment* recommends Mixed Use Commercial land use on the subject property. The Master Plan describes Mixed Use Commercial land use as “properties that contain a mix of uses which are predominantly non-residential, including commerce, office, institutional, civic, and recreational uses. These properties may include a residential component but are primarily commercial in nature. (page.89) The proposed use conforms with the recommended land use.

In addition, the Master plan recommends the following policies and strategies to help advance the purpose and intent of the plan:

#### **Chapter V – Where do we go from here?**

**Policy 1:** Support the phased, comprehensive redevelopment of Beltway Plaza into a pedestrian- friendly, mixed-use development. (page105)

3 SPE-2022-012 LOL  
CHILDCARE STATION

1. Strategy 1.1 Rezone the entire Beltway Plaza Property to permit comprehensive, well designed, mixed-use redevelopment.

**Analysis:** The proposed use endeavors to strengthen the shopping center by adding a new service to an existing use. The proposed daycare center is consistent with the Master Plan recommended Mixed-Use Commercial land use and supports Policy 1 above.

**Aviation/MIOZ:** This application is not located within an Aviation Policy Area or the Military Installation Overlay Zone  
SPE-2022-012

**SMA/Zoning:** The 2013 *Approved Greenbelt Metro Area and MD 193 Corridor Sector Plan and Sectional Map Amendment* reclassified the subject property into the MUI (Mixed Use Infill) zone.

On November 29, 2021, the District Council approved CR-136-2021, the Countywide Sectional Map Amendment (“CMA”) which reclassified the subject property from MUI to CGO (Commercial, General and Office) zone (effective April 1, 2022)

**MASTER PLAN SUBSTANTIAL IMPAIRMENT ISSUE**

None

**OVERLAY ZONE CONFORMANCE ISSUES**

None

c: Long-range Agenda Notebook





Countywide Planning Division  
Historic Preservation Section

February 6, 2024

**MEMORANDUM**

TO: Dominique Lockhart, Development Review Division

FROM: Leah Daniels, Transportation Planning Section, Countywide Planning Division

VIA: **N&** Noelle Smith, AICP, Transportation Planning Section, Countywide Planning Division

**SUBJECT: SPE-2022-012 LOL Childcare Station**

**Proposal**

The subject Special Exception (SPE) application proposes the development of a day care facility inside an existing amusement center operation. The property is located within the Beltway Plaza Mall along Greenbelt Road. The SPE application is subject to and was reviewed using the standards of Section 27 of the current Zoning Ordinance.

**Prior Conditions of Approval**

The subject site has several prior approvals. However, there are no prior conditions of approval applicable for this application.

**Master Plan Compliance**

**Master Plan Right of Way**

The site is subject to the 2009 *Countywide Master Plan of Transportation (MPOT)* and 2013 *Approved Greenbelt Metro Area and MD 193 Corridor Sector Plan*. The site is located on the second story at the rear of the Beltway Plaza Mall. This portion of the Beltway Plaza Mall property fronts Breezewood Drive.

**Comment:** There is no right-of-way designation for Breezewood Drive.

**Master Plan Pedestrian and Bike Facilities**

The 2013 *Approved Greenbelt Metro Area and MD 193 Corridor Sector Plan* recommends a shared roadway along the property's frontage on Breezewood Drive.

**Comment:** The plan proposes provisions for the safe movement of pedestrians and bicyclists upon entering the parking lot. The applicant has proposed a 5-foot-wide sidewalk along the front of the building that continues down the parking lot ramp with 2 U-shaped bicycle racks provided at the entrance. Staff also recommend the addition of pedestrian crosswalks from the drive aisles to the facility entrance.

**Transportation Planning Review**

**Zoning Ordinance Compliance**

Section 27-3604 of the Prince George's County Zoning Ordinance (Ordinance) provides guidance for special exceptions. The section references the approval criteria for a special exception and is copied below:

**Section 27-3604(e)**

**Required Findings**

**(1) A special exception may only be approved if:**

- A. The proposed use and site plan are in harmony with the purpose of this Subtitle;**
- B. The proposed use is in conformance with all the applicable requirements and regulations of this Subtitle;**
- C. The proposed use shall be consistent with the General Plan and shall conform with the relevant goals, policies, and strategies of the applicable Area Master Plan, Sector Plan, or Functional Master Plan for the subject property and its surrounding area;**
- D. The proposed use will not adversely affect the health, safety, or welfare of residents or workers in the area;**
- E. The proposed use will not be detrimental to the use or development of adjacent properties or the general neighborhood; and**
- F. The proposed site plan is in conformance with an approved Type 2 Tree Conservation Plan; and**
- G. The proposed site plan demonstrates the preservation and/or restoration of the regulated environmental features in a natural state to the fullest extent possible in accordance with the requirements of Subtitle 24: Subdivision Regulations.**

**Comment:** The applicant is proposing the renovation of an existing amusement center operation to accommodate a child daycare facility during weekdays. The expansion of this use into a childcare facility has required the applicant to construct a play area on the second story parking lot adjacent to the facility. The applicant is proposing a single access point to the site from an existing internal parking lot ramp. Additionally, directional arrows are proposed throughout the parking lot to direct vehicle circulation on site. This use has the potential to support the planned residential growth for the area. Staff finds that the proposed plan does not impair the ability to make transportation-related recommendations that are supported by an approved Master Plan or Functional Master Plan.

**Conclusion**

Based on the findings presented above, staff concludes that the vehicular, pedestrian, and bicycle access and circulation for this plan is acceptable, consistent with the site design guidelines pursuant to Section 27 and meets the findings for pedestrian and bicycle transportation purposes if the following conditions are met:

- 1. Prior to the acceptance of the Special Exception, the applicant, and the applicant's heirs, successors, and/or assigns shall:
  - a. Provide pedestrian crosswalks from the drive aisles to the facility entrance.



Countywide Planning Division  
Environmental Planning Section

301-952-3650

February 5, 2024

**MEMORANDUM**

**TO:** Dominique Lockhart, Planner III, Zoning Section

**VIA:** Thomas Burke, Planning Supervisor, Environmental Planning Section *TB*

**FROM:** Marc Juba, Planner III, Environmental Planning Section *MJ*

**SUBJECT: SPE-2022-012; LOL Childcare Station**

The Environmental Planning Section (EPS) has reviewed the special exception (SPE) submitted for Childcare Station, SPE-2022-012, received on December 22, 2023. No comments were provided in a Subdivision Development Review Committee (SDRC) meeting on January 5, 2024. Revised information was received from the applicant on January 31, 2024. The Environmental Planning Section finds the application in conformance with the Environmental Regulations of Section 24-4300 and Sections 27-3604(e)(1)(C), 27-3604(e)(1)(G), and within 27-6800, and recommends approval of SPE-2022-012, subject to the findings at the end of this memorandum.

**BACKGROUND**

The EPS previously reviewed the following applications and associated plans for the subject site:

<b>Review Case #</b>	<b>Associated Tree Conservation Plan or Natural Resources Inventory #</b>	<b>Authority</b>	<b>Status</b>	<b>Action Date</b>	<b>Resolution Number</b>
NA	TCPII/030/00	Staff	Approved	6/5/2000	NA
CSP-05007	NA	Planning Board	Dismissed	2/21/2019	NA
CSP-18010	TCP1-008-10	Planning Board	Approved	3/14/2019	19-35
NA	NRI-156-2018	Staff	Approved	9/20/2018	NA
NA	NRI-156-2018-01	Staff	Approved	4/05/2019	NA
4-19023	TCP1-008-10-01	Planning Board	Approved	3/12/2020	2020-26
DSP-20020	TCP2-030-00-01	District Council	Approved	1/31/2022	2021-113

DSP-20020-01	NA	Planning Director	Approved	10/19/2023	NA
SPE-2022-012	NA	Planning Board	Pending	Pending	Pending

**PROPOSED ACTIVITY**

The current application is for a special exception to allow the use of a day care center for children within an existing shopping center. The proposed alterations are confined to an existing building and parking garage. No grading permit will be required with this project.

**GRANDFATHERING**

The project is subject to the environmental regulations and woodland conservation requirements contained in Subtitles 24, 25, and 27 because the application has an existing approved Type 2 Tree Conservation Plan (TCP2-030-00-01) that was approved under the standards that came into effect on September 1, 2010.

**SITE DESCRIPTION**

The overall 53.88 acres site is located at the southeast corner of the intersection of Breezewood Drive with Cherrywood Lane. The proposed day care center will be within a portion of one of the buildings on-site and on the top deck of an existing parking garage. The property is comprised of 17 parcels, and is within the Commercial, General and Office (CGO) Zone. The site is currently fully developed as a shopping center.

**PREVIOUSLY APPROVED CONDITIONS**

The existing TCP2 is not proposed to be amended with this application and no previous environmental conditions of approval are directly related to this application.

**GENERAL PLAN CONFORMANCE**

The site is located within the Environmental Strategy Area 1 (formerly the Developed Tier) of the Regulated Environmental Protection Areas Map as designated by *Plan Prince George's 2035 Approved General Plan* (Plan 2035), and within the Established Communities of the General Plan Growth Policy of Plan 2035.

**MASTER PLAN CONFORMANCE**

**APPROVED GREENBELT METRO AREA AND MD 193 CORRIDOR SECTOR PLAN AND SECTIONAL MAP AMENDMENT**

This site falls within the Beltway Plaza section of the *Approved Greenbelt Metro Area and MD 193 Corridor Sector Plan* (2013).

In the approved sector plan, the Beltway Plaza section and the Environmental Infrastructure section contains goals, policies and strategies. The following policies have been determined to be applicable to the current project. The text in **BOLD** is the text from the master plan and the plain text provides comments on plan conformance.

Beltway Plaza Section (Policy 1): Support

**Policy 1: Support the phased, comprehensive redevelopment of Beltway Plaza into a pedestrian-friendly, mixed-use development.**

**Strategy 1.7: Incorporate environmental site design techniques and innovative approaches to stormwater management, reduction of impervious surfaces, green roofs, and other sustainable development practices in all phases of development.**

An updated final stormwater design plan may be required by the Department of Permitting, Inspections, and Enforcement (DPIE) prior to permit issuance that will evaluate water quality of runoff proposed to discharge off-site due to the garage rooftop alterations. The site is located outside of the designated floodplain. The applicant is encouraged to reduce impervious surfaces to the fullest extent practicable and to utilize other sustainable development practices.

Environmental Infrastructure Section

**Policy 2: Conserve water and avoid using potable water for non-potable uses.**

Implementing conservation landscaping techniques that reduce water consumption and the need for fertilizers or chemical applications is encouraged on the roof of the garage.

The capture and reuse of stormwater for grey water or other uses should be incorporated into the site's final design if possible.

**Policy 3: Reduce flooding and its detrimental effects on human and natural resources.**

A final stormwater design plan may be required by DPIE prior to permit that will evaluate water quality of runoff that will discharge off-site. The site is located outside of the designated floodplain.

**Policy 4: Implement environmentally sensitive design (ESD) building techniques and reduce overall energy consumption.**

An emphasis on implementing green building techniques and utilizing low-energy use appliances and renewable energy sources such as solar, wind, and geothermal is encouraged.

**Policy 5: Preserve and enhance the existing urban tree canopy.**

The site was previously developed with a shopping mall with multiple buildings and associated parking. Only the eastern edge of the site is wooded and has been preserved. Conformance with Subtitle 25, Division 3, the Tree Canopy Coverage Ordinance will be evaluated by the Urban Design Section.

**Policy 6: Reduce light pollution and intrusion into residential communities and environmentally sensitive areas.**

The use of alternative lighting technologies is encouraged so that light intrusion onto surrounding residential areas to the north and into the green corridor associated to the west of Cherrywood Drive is minimized. The use of full cut-off optic light fixtures should be used. Lighting will be evaluated by the Urban Design Section.

**CONFORMANCE WITH THE 2017 GREEN INFRASTRUCTURE PLAN**

The 2017 *Countywide Green Infrastructure Plan* was approved with the adoption of the *Approved Resource Conservation Plan: A Countywide Functional Master Plan* (CR-11-2017) on March 7, 2017. Although the northwestern corner of the overall site is mapped within an Evaluation Area, this area is fully developed and isolated from regulated portions of the network by Cherrywood Lane to the west and Breezewood Drive to the north. No regulated environmental features (REF) are associated with this mapped evaluation area.

No green infrastructure elements mapped on the subject site will be directly impacted with this special exception. The overall site has been graded under previous approvals and the design of the site meets the zoning requirements and the intent of the growth pattern established in the *Plan Prince George's 2035 Approved General Plan*. No further grading is proposed with this application.

Based on the proposed layout, the project demonstrates conformance with the applicable policies and strategies of the *Countywide Green Infrastructure Plan*.

**ENVIRONMENTAL REVIEW**

**Existing Conditions/Natural Resource Inventory**

Section 27-3604(c) Special Exception Submittal Requirements requires an approved natural resource inventory (NRI) plan with special exception applications. An approved NRI-156-2018-01 was submitted with the application, which expires on April 5, 2024. This site is not associated with any regulated environmental features (REFs), such as streams, wetlands, or associated buffers. No 100-year regulated County floodplain is mapped on-site. No primary management area (PMA), which is comprised of REFs, 100-year floodplain, and any adjacent steep slopes, is mapped on-site. This site is not within a Tier II catchment area. According to the Maryland Department of Natural Resources Wildlife and Heritage Service, there are no records for rare, threatened, or endangered species mapped on-site. No woodlands, specimen, champion, or historic trees exist on-site.

**Woodland Conservation**

Section 27-6803 requires that this property be subject to the provisions of the Prince George's County Woodland and Wildlife Habitat Conservation Ordinance (WCO) because the property is greater than 40,000 square feet and has a previously approved Type 2 tree conservation plan. An approved Type 2 Tree Conservation Plan (TCP2-030-00-01) was submitted with the SPE application.

Although the Commercial, General and Office zoning used with this SPE application differs from the Mixed Use Infill (M-U-I) zoning used on the approved TCP2, the woodland conservation and afforestation thresholds remain the same, resulting in no changes to the overall woodland conservation requirement of the TCP2 worksheet. Since no grading permit is required with this application and the scope of the limits of disturbance (LOD) of this SPE falls within the existing LOD of the approved TCP2, no changes to the existing TCP2 are required. Therefore, the SPE is found to be in conformance with TCP2-030-00-01.

### **Specimen Trees**

Section 25-122(b)(1)(G) requires that “Specimen trees, champion trees, and trees that are part of a historic site, or are associated with a historic structure, shall be preserved. The design shall either preserve the critical root zone of each tree in its entirety or preserve an appropriate percentage of the critical root zone in keeping with the tree’s condition, and the species’ ability to survive construction as provided in the [Environmental] Technical Manual.”

There are no specimen trees, champion trees, or trees that are part of a historic site, or are associated with a historic structure on this property.

### **Preservation of Regulated Environmental Features (REF)/Primary Management Area (PMA)**

Section 27-6808, Regulated Environmental Features (REF) of the Zoning Ordinance, requires all applications to conform to the requirements pertaining to regulated environmental features in Section 24-4300 Environmental Standards, of Subtitle 24: Subdivision Regulations. This site is not associated with any REF.

### **Stormwater Management**

Section 27-3604(c) of the Zoning Ordinance requires an approved stormwater management (SWM) concept plan and associated approval letter to be included with special exception applications. A SWM Concept Approval Letter and associated plan, were not submitted with the application for this site; however, DPIE issued a prior approval (#38318-2020-00) for the overall site associated with DSP-20020 which expires on April 27, 2024. No grading permit is required for this development proposal; however, the project may be subject to further review at the time of permit and DPIE reserves the right to impose restrictions, if necessary, prior to permit. No further information is required at this time regarding stormwater management with this SPE application.

### **Soils**

Section 27-6809, Unsafe Lands of the Zoning Ordinance, requires all applications to conform to the requirements pertaining to unsafe land in Section 24-4300, Environmental Standards, of Subtitle 24: Subdivision Regulations.

The predominant soils found to occur on the overall site, according to the U.S. Department of Agriculture (USDA) Natural Resource Conservation Service (NRCS) Web Soil Survey (WSS), include Elkton-Urban land complex, Christiana-Downer-Urban land complex, Christiana-Downer complex, Fallsington-Urban land complex, Galestown-Urban land complex, Sassafras-Urban land complex, and Urban land-Russett-Christiana complex.

According to available information, no Marlboro clay exists on-site; however, unsafe soils containing Christiana complexes are mapped on this property. Christiana complexes are considered unsafe soils that exhibit shrink/swell characteristics during rain events, which make it unstable for structures. The area of proposed development has already been previously graded and developed. No steep slopes are identified on areas where structures are proposed on-top of steep slopes. A geotechnical review was not requested with this application as the site was considered mostly flat but may be required for review by the County with a future development application in conformance with CB-94-2004.

**Summary of Recommended Findings and Conditions**

The Environmental Planning Section recommends approval of the Special Exception SPE-2022-012 subject to the following recommended findings:

**Recommended Findings**

1. There are no regulated environmental features (REFs) on the subject property.
2. No specimen trees exist on the subject property.





February 5, 2024

**MEMORANDUM**

**TO:** Dominique Lockhart, Planner III, Zoning Section

**VIA:** Sherri Conner, Planning Supervisor, Subdivision Section *SC*

**FROM:** Mridula Gupta, Planner IV, Subdivision Section *MG*

**SUBJECT:** SPE-2022-012; LOL Childcare Station

The area subject to this Special Exception (SPE) comprises portions of five parcels located on Tax Map 26 in Grid B-4, which are recorded in the Prince George's County Land Records in Plat Book ME 261, Plat No. 50 (Parcel 4, 6, B, and G) and in Plat Book ME 260, Plat No. 10 (Parcel PP). The property lies in the Commercial, General and Office Zone (CGO). The SPE proposes the addition of an accessory use of a day care center for children, to include an outdoor play area, to serve 40 children from infants to preschool age, located within an existing structure currently used for an indoor recreation center (LOL Stations Family Fun Center). An adjoining parking deck is proposed to be used as the outdoor play area.

This SPE was accepted for review on December 21, 2023 and comments were previously provided at the SDRC meeting held on January 5, 2024. This referral response is based on revised plans received on January 31, 2024.

The subject property is part of the existing developed Beltway Plaza Mall site. The property is subject to Preliminary Plan of Subdivision (PPS) 4-19023, approved on March 12, 2020. The PPS approved 55 parcels for mixed-use redevelopment of the site including 2,500 dwelling units and 700,000 square feet of commercial development on the overall 53.88-acre property of the Beltway Plaza Mall. Detailed Site Plan DSP-20020 was approved on September 30, 2021, for Phase 1 of the new development and some lots and parcels, including Parcels 4, 6, B, and G (portions of which are included in this subject SPE), were recorded in accordance with these approvals. Redevelopment has not yet proceeded in accordance with PPS 4-19023 and DSP-20020. This SPE proposes a daycare in an existing building which is to be demolished in the future, once redevelopment in accordance with PPS 4-19023 and DSP-20020 proceeds.

Preliminary Plan of Subdivision 4-19023 also includes the area of Parcel PP, which is recorded on a final plat approved in accordance with Section 24-108(a)(3) of the prior Subdivision Regulations, and is a result of adjustment of common boundary lines between parcels recorded on a plat which was approved prior to October 27, 1970. However, at this time, the final plat for this area has not been recorded in accordance with 4-19023. Therefore, any development on Parcel PP is subject to the current plat for the parcel (Plat Book ME 260, Plat No. 10) and as allowed under Section 24-

3402(b)(1) of the Subdivision Regulations. For the subject SPE, the existing structure located on Parcel PP, which was constructed around 1988 per available state tax records and aerial imagery, will continue to be used for commercial use, and no additional gross floor area is proposed. The applicant submitted a trip generation analysis, dated January 30, 2024, for the proposed use. The analysis demonstrates that the trips generated by the day care center will be a total of 23 trips. Therefore, in accordance with Section 24-3402(b)(1)(C), the proposed development within the area of Parcel PP does not require the approval of a PPS prior to the issuance of a building permit.

Preliminary Plan of Subdivision 4-19023 was approved subject to 18 conditions of which the following conditions are relevant to the review of this SPE.

2. **A substantial revision to the mix of uses on the subject property that affects Subtitle 24 adequacy findings, as set forth in a resolution of approval, shall require approval of a new preliminary plan of subdivision prior to approval of any building permits.**

Preliminary Plan of Subdivision 4-19023 was evaluated for a mix of uses including residential, office, hotel, and retail. This SPE proposes addition of an institutional use, which, while not evaluated by 4-19023, does not equate to a substantial revision to the mix of uses which would affect Subtitle 24 adequacy findings made with the PPS.

3. **Total development within the subject property shall be limited to uses that would generate no more than 1,703 AM and 2,882 PM peak-hour vehicle trips. Any development generating an impact greater than that identified herein above shall require a new preliminary plan of subdivision, with a new determination of the adequacy of transportation facilities.**

The applicant submitted a trip generation analysis, dated January 30, 2024, for the proposed use. The analysis demonstrates that the total trips generated by the day care center, along with the trips generated by the development approved under DSP-20020, will be within the trip cap established with 4-19023. The Transportation Planning Section should evaluate the trip generation analysis submitted by the applicant, for conformance with this condition.

8. **Prior to approval of building permits, the applicant and the applicant's heirs, successors, and/or assignees shall convey to the business owner association the private streets and open space parcels, as identified on the approved preliminary plan of subdivision and applicable detailed site plan. Land to be conveyed shall be subject to the following:**

- a. **A copy of the deed for the property to be conveyed shall be submitted to the Subdivision and Zoning Section of the Development Review Division, Upper Marlboro, Maryland.**
- b. **All waste matter of any kind shall be removed from the property, and all disturbed areas shall have a full stand of grass or other vegetation upon completion of any phase, section, or the entire project.**
- c. **The conveyed land shall not suffer the disposition of construction materials or soil filling, other than the placement of fill material associated with permitted**

**grading operation that are consistent with the permit and minimum soil class requirements, discarded plant materials, refuse, or similar waste matter.**

- d. Any disturbance of land to be conveyed to the association shall be in accordance with an approved site plan and tree conservation plan. This shall include, but not be limited to, the location of sediment control measures, tree removal, temporary or permanent stormwater management facilities, utility placement, and stormdrain outfalls.**
- e. Stormdrain outfalls shall be designed to avoid adverse impacts on land to be conveyed to the association. The location and design of drainage outfalls that adversely impact property to be conveyed shall be reviewed and approved by the Development Review Division.**
- f. The Prince George's County Planning Board, or its designee, shall be satisfied that there are adequate provisions to ensure retention and future maintenance of the property to be conveyed.**

Parcel B is to be conveyed to the business owner's association (BOA) and developed as a private street to provide access to proposed multifamily development after partial demolition of the building adjacent to the parking deck. However, the existing building is proposed to be used as a day care center for children until such time that construction proceeds in accordance with the current approvals for the subject site. The applicant has provided in their statement of justification that they have an agreement with the property owner to move to another location at some time before or after the first multifamily residential structure is completed or when construction makes it necessary. In accordance with Section 27-3604(b)(2) of the Zoning Ordinance, a site plan reviewed and approved as part of the SPE will be the governing site plan. The Zoning Section and Urban Design Section should evaluate whether this SPE, once approved, will supersede DSP-20020 for the subject site area and/or whether the appropriate application for consideration of this interim condition should be the DSP. In accordance with Note 7 on the final plat for Parcels 4, 6, B, and G, the BOA needs to be established and the common areas conveyed to the BOA prior to the approval of building permits. Conformance to this condition and Note 7 of the final plat will need to be demonstrated with a building permit, if any, filed for the development.

**Additional Comments:**

- 1. The site area located in Parcels 4, 6, B, and G has an automatic certificate of adequacy (ADQ) associated with 4-19023, pursuant to Section 24-4503(a)(1), effective April 1, 2022. The ADQ is valid until April 1, 2034, unless it expires in accordance with the provisions of Section 24-4503(c). The site area located in Parcel PP does not have an ADQ in accordance with Sections 24-4503(a)(1) and 24-4503(a)(3) of the Subdivision Regulations.
- 3. The subject site includes five parcels recorded in Plat Book ME 261 plat no. 50 and Plat Book 260 plat no. 10. The lotting pattern in accordance with the most current plats is shown on the SPE site plan. However, the parcels are not labeled with their recording reference, and the property line bearings and distances are not shown. These should be added to the site plan to conform with the current record plats.

**Recommended conditions of approval:**

1. Prior to signature approval of the Special Exception (SPE), the site plan shall be modified as follows:
  - a. Label the parcels with their plat recording reference.
  - b. Label the parcel boundaries with their bearings and distances in accordance with their record plats.

The referral is provided for the purpose of determining conformance with any underlying subdivision approvals for the subject property and Subtitle 24. The plans are in conformance with the approved preliminary plan of subdivision. All bearings and distances must be clearly shown on the SPE and must be consistent with the record plat or permits will be placed on hold. There are no other subdivision issues at this time.



Countywide Planning Division  
Historic Preservation Section

301-952-3680

January 23, 2024

**MEMORANDUM**

**TO:** Dominique Lockhart, Zoning Section, Development Review Division

**VIA:** Thomas Gross, Planning Supervisor, Historic Preservation Section, Countywide Planning Division **TWG**

**FROM:** Tyler Smith, Historic Preservation Section, Countywide Planning Division **TAS**  
Amelia Chisholm, Historic Preservation Section, Countywide Planning Division **AGC**  
Jennifer Stabler, Historic Preservation Section, Countywide Planning Division **JAS**

**SUBJECT: SPE-2022-012 LOL Childcare Station**

The subject property is located within the Beltway Plaza Mall, south of Breezewood Drive, and approximately 1,250 feet east of Cherrywood Lane. The subject property is zoned Commercial, General Office (CGO) and located within the 2013 *Approved Greenbelt Metro Area and MD 193 Corridor Sector Plan* area. The subject application proposes a 2,100 square foot day care with a 2,000 square foot playground as an accessory program within an existing entertainment center.

The 2013 *Approved Greenbelt Metro Area and MD 193 Corridor Sector Plan* includes goals and policies related to historic preservation (pages 175-178). However, these are not specific to the subject site or applicable to the proposed development. A search of current and historic photographs, topographic and historic maps, and locations of currently known archeological sites indicates the probability of archeological sites within the subject property is low. A Phase I archeology survey is not recommended. The subject property does not contain, and is not adjacent to, any designated Prince George's County Historic Sites or resources. Historic Preservation staff recommend approval of SPE-2022-012, LOL Childcare Station, with no conditions.



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

14741 Governor Oden Bowie Drive  
Upper Marlboro, Maryland 20772  
www.pgplanning.org

January 22, 2024

**MEMORANDUM**

TO: Dominique Lockhart, Zoning Review

FROM: Kelsey Shaffer, Permit Review Section, Development Review Division <sup>KLS</sup>

SUBJECT: Referral Comments for SPE-2022-012 – LOL Childcare Station

1. Parking space dimensions shall be demonstrated on the site plan.
2. All handicap parking space dimensions shall be demonstrated on the site plan, and at least one handicap space provided for the proposed day care center shall be van accessible.
3. Drive aisle widths for all driveway aisles shall be demonstrated on the site plan.
4. The height of all proposed light fixtures shall be demonstrated on the site plan.
5. Per Section 27-5402(x)(2)(B), the site plan shall show the location and use of all buildings located on adjoining lots.
6. The parking tabulation for the proposed day care shall be included in the overall parking tabulation for the entire site.
7. Per the parking tabulation provided for the overall site, a 50% reduction to the total number of parking spaces required was applied per the Approved Greenbelt Metro Area and MD 193 Corridor Plan and SMA. However, this case is being reviewed under the current Zoning Ordinance, so the prior approved Greenbelt Metro Area SMA no longer applies. The parking tabulation shall be re-calculated using the current Zoning Ordinance parking standards.
8. A 20' by 40' shade canopy is proposed to provide shade over the playground area of the proposed day care. If this canopy is going to be a permanent structure, then it must meet all standards of the CGO Zone in the current Zoning Ordinance. These standards shall be demonstrated on the site plan.



Angela D. Alsobrooks  
County Executive

THE PRINCE GEORGE'S COUNTY GOVERNMENT  
Department of Permitting, Inspections and Enforcement  
Site/Road Plan Review Division



**MEMORANDUM**

January 26, 2023

**TO:** Dominique Lockhart, Senior Planner  
Development Review Division, M-NCPPC

**FROM:** Mary C. Giles, P.E., Associate Director *Mary Giles*  
Site/Road Plan Review Division, DPIE

**Re:** LOL Childcare Stations  
Special Exception Request, SPE-2022-012

**CR:** Breezewood Drive (Greenbelt)  
**CR:** Springhill Lane (Greenbelt)

This is in response to referral number SPE-2022-012, the Department of Permitting, Inspections and Enforcement (DPIE) offers the following:

- The proposed development is located at 6250 Greenbelt Road, approximately 915 feet southwest of the intersection of Breezewood Drive and Springhill Lane.
- The applicant proposes a special exception to the zoning ordinance to permit a childcare program within LOL Stations (existing family fun center).
- Below are comments from the DPIE Water and Sewer Unit:
  - The 2018 Water and Sewer Plan designates the subject property in Water and Sewer Category 3, inside the Sewer Envelope, in the Growth Tier, and within Tier 1 under the Sustainable Growth Act, approved for development on the public sewer system.
- DPIE has no objection to SPE-2022-012.

If you have any questions or require additional information, please contact Mr. Steve Snyder, P.E., the District Engineer for the area, at 301.883.5710.

cc: Steve Snyder, P.E., District Engineer, S/RPRD, DPIE  
LOL Enterprises LLC., 6250 Greenbelt Road, Greenbelt, MD 20770  
Regina Bethea, 6250 Greenbelt Road, Greenbelt, MD 20770

Date: January 9, 2024

To: Dominique Lockhart, Urban Design, M-NCPPC

From: Adebola Adepaju, Environmental Health Specialist, Environmental Engineering/ Policy Program

Re: SPE-2022-012 LOL CHILDCARE STATION

The Environmental Engineering / Policy Program of the Prince George's County Health Department has completed a desktop health impact assessment review of the special exception plan submission for the LOL Childcare Station located Beltway Plaza Mall at and has the following comments / recommendations:

1. The facility must apply for licensure to the Maryland Department of Education's Division of Early Childhood. Contact the Prince George's County office of Child Care for assistance located at 807 Brightseat Road in Landover, MD or call (301) 333-6940.
2. The Facility must have an environmental assessment inspection by the Prince George's County's Health Department Division of Environmental Engineering and Policy Program located at 9201 Basil Court Suite 305 in Largo, Maryland 20774 or call (301) 883-7681.
3. Ensure that the construction of the relocated playground designed, constructed, maintained and operated according to the guidelines and standards indicated in the Maryland State Department of Education Playground and Water safety manual and the Maryland Department of Health's Injury and Violence prevention for Playground safety guidelines.
4. During the construction phases of this project, noise should not be allowed to adversely impact activities on the adjacent properties. Indicate intent to conform to construction activity noise control requirements as specified in Subtitle 19 of the Prince George's County Code.
5. During the construction phases of this project, no dust should be allowed to cross over property lines and impact adjacent properties. Indicate intent to conform to construction activity dust control requirements as specified in the 2011 Maryland Standards and Specifications for Soil Erosion and Sediment Control.

If you have any questions or need additional information, please contact me at 301-883-7677 or [aoadepaju@co.pg.md.us](mailto:aoadepaju@co.pg.md.us).



## APPLICATION FORM

APPLICATION TYPE: _____ <input type="checkbox"/> Revision of Case # _____		
Companion Cases: _____		
Payment option: <input type="checkbox"/> Credit Card <input type="checkbox"/> Check (payable to M-NCPPC) <i>Do not submit payment until requested by staff</i>		
PROJECT NAME: _____		
Complete address (if applicable) _____		
Geographic Location (distance related to or near major intersection) _____		
Total Acreage:	Aviation Policy Area:	Election District:
Tax Map/Grid:	Current Zone(s):	Council District:
WSSC Grid:	Existing Lots/Blocks/Parcels:	Dev. Review District:
Planning Area:	In Municipal Boundary:	Is development exempt from grading permit pursuant to 32-127(a)(6)(A)? <input type="checkbox"/> Yes <input type="checkbox"/> No
Tax Account #:	Police District #:	General Plan Growth Policy:
Proposed Use of Property and Request of Proposal:		Please list previously approved applications affecting the subject property:
Applicant Name, Address & Phone:		Consultant Name, Address & Phone:
Owner Name, Address & Phone: (if same as applicant indicate same/corporation see Disclosure)		Contact Name, Phone & E-mail:

**SIGNATURE** (Sign where appropriate; include Application Form Disclosure for additional owner's signatures):

\_\_\_\_\_  
 Owner's Signature (signed) Date

\_\_\_\_\_  
 Applicant's Signature (signed) Date

\_\_\_\_\_  
 Contract Purchaser's Signature (signed) Date

\_\_\_\_\_  
 Applicant's Signature (signed) Date

<b>FOR STAFF USE ONLY</b>	Application No.(s): _____
---------------------------	---------------------------

<b>SUBDIVISION CASES: Preliminary Plan of Subdivision/Conservation Sketch Plan</b>	
Type of Application (Check all that apply): <input type="checkbox"/> Conventional Subdivision <input type="checkbox"/> Conservation Subdivision <input type="checkbox"/> Conservation Sketch Plan <input type="checkbox"/> Subdivision Ordinance Interpretation <input type="checkbox"/> Vacation Petition	
Variation, Variance or Alternative Compliance Request(s): <input type="checkbox"/> Yes <input type="checkbox"/> No	Applicable Zoning/Subdivision Regulation Section(s): _____
Total Number of Proposed: Lots _____ Outlots _____ Parcels _____ Outparcels _____	
Number of Dwelling Units: Attached _____ Detached _____ Multifamily _____	Gross Floor Area (Nonresidential portion only): _____
<b>SUBDIVISION CASES: Final Plat</b>	
Water/Sewer: <input type="checkbox"/> DER <input type="checkbox"/> Health Department	Number of Plats: _____
Detailed Site Plan No.: _____	WSSC Authorization No.: _____
Approval Date of Preliminary Plan: _____	
<b>URBAN DESIGN AND ZONING CASES</b>	
Type of Application (Check all that apply): <input type="checkbox"/> Certification of Nonconforming Use <input type="checkbox"/> Conservation Plan <input type="checkbox"/> Detailed Site Plan <input type="checkbox"/> Planned Development <input type="checkbox"/> Secondary Amendment <input type="checkbox"/> Special Exception <input type="checkbox"/> Zoning Map Amendment <input type="checkbox"/> Zoning Ordinance Interpretation	
Details of Request:	Applicable Zoning Ordinance Section(s):
Total Number of Proposed: Lots _____ Outlots _____ Parcels _____ Outparcels _____	
Number of Dwelling Units: Attached _____ Detached _____ Multifamily _____	Gross Floor Area (Nonresidential portion only): _____
Variance Request: <input type="checkbox"/> Yes <input type="checkbox"/> No	Applicable Zoning/Subdivision Regulation Section(s): _____
Departure Request: <input type="checkbox"/> Yes <input type="checkbox"/> No	Application Filed: <input type="checkbox"/> Yes <input type="checkbox"/> No
Alternative Compliance Request: <input type="checkbox"/> Yes <input type="checkbox"/> No	Application Filed: <input type="checkbox"/> Yes <input type="checkbox"/> No

**APPLICATION FORM DISCLOSURE**

List all persons having at least five percent (5%) interest in the subject property ONLY required for Special Exception and Zoning Map Amendment Applications.

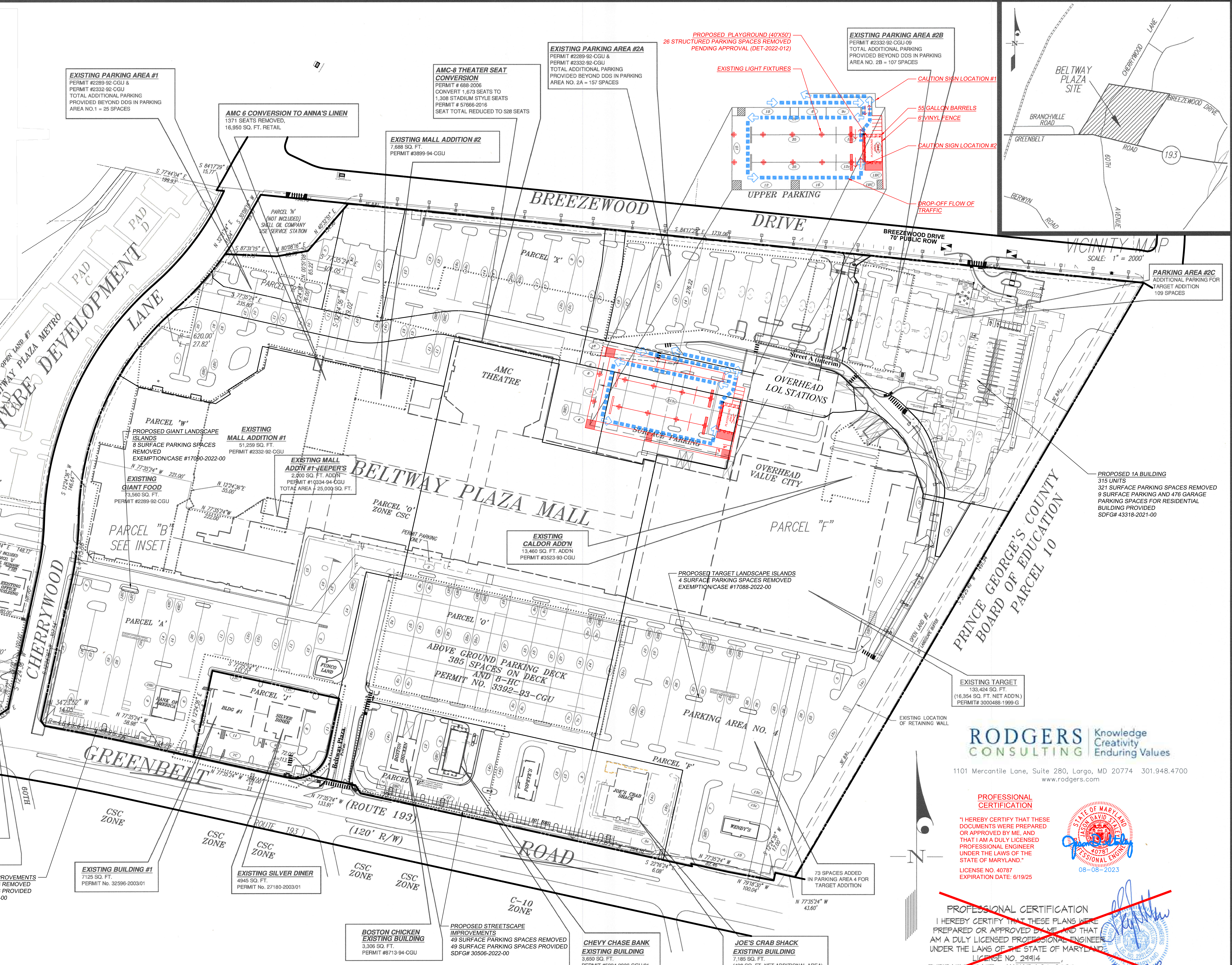
<b>Owner(s) Name</b> (printed)	<b>Signature and Date</b>	<b>Residence Address</b>

If the property is owned by a corporation, please fill in below.

<b>Officers</b>	<b>Date Assumed Duties</b>	<b>Residence Address</b>	<b>Business Address</b>

<b>Officers</b>	<b>Date Assumed Duties</b>	<b>Date Term Expires</b>	<b>Residence Address</b>	<b>Business Address</b>

PERMIT	DESCRIPTION	SPACES
16,950 sq. ft. (1 sp/200 sq. ft.)	+85 spaces	
PERMIT #053-369	Reduction for AMC 8 Conversion	-91 spaces
1. A. Mill, Bank, Bob's Big Boy, Golden Dome, Popeye's, Bennigan's, Wendy's, and all buildings on West side of Cherrywood Lane =	Reduction for AMC 8 Conversion	-255 spaces
609,234 sq. ft.	Subtotal =	-346 spaces
2. AMC Academy 6 = 1,371 seats (demolished w/23267-2005)	Building 1A	-468 spaces
54,114 sq. ft.	(171 Two B.R. x 1.33 sp/unit)	
3. AMC Academy 8 = 1,673 seats (existing) (SEE ITEM NO.14 BELOW)	Subtotal =	3,816 spaces
3. Complex Odeon = 534 seats (demolished @ 2332-92)	TOTAL REQUIRED =	3,908 spaces*
TOTAL = 3,578 / 3,308 existing seats - SEE ITEM NO.14. BELOW	*Approved Greenbelt Metro Area and MD 193 Corridor Plan and SMA (March 2013), Chapter VI, pg. 225 - Subarea "Beltway Plaza"	
663,348 sq. ft.	Minimum Parking Required (As a Percentage of the Minimum Specified in Section 27-506(a)) = 90%	
	Handicap Required = 20 + 1/100 over 1,000 =	47 spaces
	III. PARKING PROVIDED =	3,694 spaces (1,795 SURPLUS)
	Previous parking provided =	4,033 spaces
	Standard Spaces =	2,633 spaces
	Compact Spaces =	1,054 spaces
	Parallel Spaces =	8 spaces
	(1,180 max. spaces allowed @ 1/3 of total required)	
	LOADING SPACES =	97 spaces
	NOTE: ALL SPACES ARE 12' X 33' OR LARGER	



PERMIT	DESCRIPTION	SPACES
3,296 spaces	Per net building area added =	+729 spaces
145,693 sq. ft.	Reduction for Complex Odeon & AMC 6 Demo	-476 spaces
13,260 SQ. FT.	PERMIT #4548-96-CGU	
1,825 SQ. FT.	PERMIT # 2689-2013	
4,945 SQ. FT.	PERMIT NO. 27180-2003-01	
4,945 SQ. FT.	PERMIT NO. 27180-2003-01	
3,306 SQ. FT.	PERMIT #2713-94-CGU	
4,945 SQ. FT.	PERMIT NO. 27180-2003-01	
3,650 SQ. FT.	PERMIT #5924-2006-CGU/01	
420 SQ. FT. NET ADDITIONAL AREA	PERMIT #24289-2010-CGU/04	

1. ZONE: CSC  
 2. EXISTING AND PROPOSED USE: INTEGRATED SHOPPING CENTER/MALL  
 3. LEGAL DESCRIPTION: BELTWAY PLAZA SUBDIVISION  
 Parcel A: WW40 At No. 40  
 Parcel B: WW45 At No. 40  
 Parcel C: WW52 At No. 18  
 Parcel D: WW56 At No. 1  
 Parcel E: WW56 At No. 15  
 Parcel F: WW75 At No. 78  
 Parcel G: WW75 At No. 78  
 Parcel H: WW75 At No. 31  
 Parcel I: VJ178 At No. 98  
 Parcel J: VJ178 At No. 98  
 Parcel K: REP202 At No. 22  
 Parcel L: REP202 At No. 22  
 Parcel M: REP202 At No. 22  
 Parcel N: REP202 At No. 22  
 Parcel O: REP202 At No. 22  
 Parcel P: REP202 At No. 22  
 Parcel Q: REP202 At No. 22  
 Parcel R: REP202 At No. 22  
 Parcel S: REP202 At No. 22  
 Parcel T: REP202 At No. 22  
 Parcel U: REP202 At No. 22  
 Parcel V: REP202 At No. 22  
 Parcel W: REP202 At No. 22  
 Parcel X: REP202 At No. 22  
 Parcel Y: REP202 At No. 22  
 Parcel Z: REP202 At No. 22  
 4. Total Site Area = 64.38 Ac.

DATE	DESCRIPTION	REVISION
1-26-2018	UPDATED FOR ACADEMY 8 SEAT REDUCTION	
2-22-2013	ADDRESSED UNPCPC PERMIT COMMENT	

PREPARED FOR:  
 QUANTUM COMPANIES  
 4912 DEL RAY AVENUE  
 BETHESDA, MARYLAND 20814  
 ATTN: DAVID SULLIVAN  
 PHONE: 301-440-1398

**PARKING PLAN AND OVERALL SITE PLAN**

**BELTWAY PLAZA  
 LAUGH OUT LOUD - CHILDCARE STATION  
 SPE #2022-012**

SCALE: 1" = 100'  
 ZONING: CSC  
 G. L. W. FILE NO.: 91-062

DATE: JANUARY 2018  
 TAX MAP - GRID: 26 & 34  
 SHEET: 1 of 2

BERWYN (NO. 21) ELECTION DISTRICT  
 PRINCE GEORGE'S COUNTY, MARYLAND

**RODGERS CONSULTING** Knowledge Creativity Enduring Values  
 1101 Mercantile Lane, Suite 280, Largo, MD 20774 301.948.4700  
 www.rodgers.com

**PROFESSIONAL CERTIFICATION**  
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
 LICENSE NO. 40787  
 EXPIRATION DATE: 6/19/25

~~PROFESSIONAL CERTIFICATION~~  
 I HEREBY CERTIFY THAT THESE PLANS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
 LICENSE NO. 24914  
 EXPIRATION DATE: JANUARY 20, 2020

L:\CADD\2022\2022-012\2022-012-PARKING PLAN - OVERALL\2022-012-012.DWG, PLOTTED: 3/6/2018 4:25 PM, LAST SAVED: 3/6/2018 4:25 PM, PLOTTED BY: Anne E. Bell

Note: Site Plan base information originally prepared by Gutshick Little & Weber, P.A. - portions of which are used herewith.

**GENERAL NOTES**

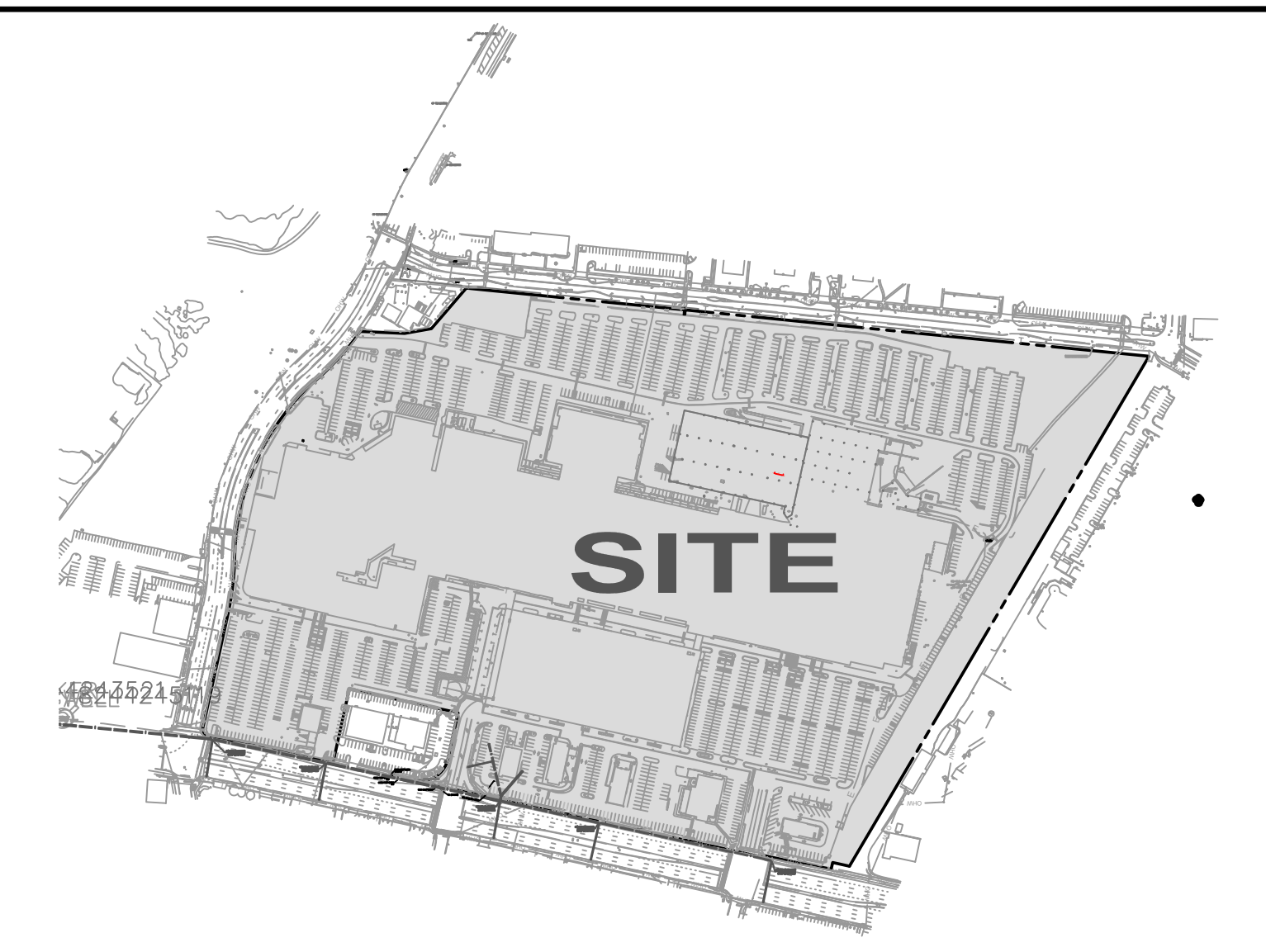
- 1. SUBDIVISION NAME: BELTWAY PLAZA MALL
- 2. TOTAL ACREAGE: 53.88 ACRES
- 3. EXISTING ZONE: C-G-O
- 4. PROPOSED USE OF PROPERTY: CHILDCARE STATION
- 5. NUMBER OF LOT, PARCELS, OUTLOTS & OUTPARCELS: 17 PARCELS
- 6. BREAKDOWN OF PROPOSED DWELLING UNITS BY TYPE: NONE BY THIS APPLICATION
- 7. GROSS FLOOR AREA: 910,785 SF
- 8. 200 FOOT MAP REFERENCE: 210 & 211 NE05
- 9. TAX MAP NUMBER AND GRID: TAX MAP 26, GRID A4 & B4
- 10. AVIATION POLICY AREA: NONE
- 11. WATER/SEWER DESIGNATION (EXISTING): W-3/S-3
- 12. WATER/SEWER DESIGNATION (PROPOSED): W-3/S-3
- 13. STORMWATER MANAGEMENT CONCEPT NUMBER: 38318-2020-0
- 14. 0-FOOT PUBLIC UTILITY EASEMENT ALONG ALL RIGHTS-OF-WAY: NONE  
(ONLY 10-FOOT PUE PROVIDED)  
COMBINATION (SEE DSP-20020)
- 15. MANDATORY PARK DEDICATION: NO
- 16. CEMETERIES ON OR CONTIGUOUS TO THE PROPERTY: NO
- 17. HISTORIC SITES ON OR IN THE VICINITY OF THE PROPERTY: YES-GREENBELT HISTORIC DISTRICT 67-004-00
- 18. WETLANDS: NO
- 19. 100-YEAR FLOODPLAIN: NO
- 20. WITHIN CHESAPEAKE BAY CRITICAL AREA: NO
- 21. SOURCE OF TOPOGRAPHY: GLW, 2015
- 22. APPLICANT: LOL ENTERPRISES LLC



1 6' White Vinyl Fence Detail  
Typical Detail N.T.S.



2 55 Gallon Water/Sand Barrel Detail  
Typical Detail N.T.S.



DSP KEY  
1"=400'



3 20' x 40' Shade Canopy Detail  
Typical Detail N.T.S.



4 Safety Floor Detail  
Typical Detail N.T.S.

**PLAYGROUND AREA CALCULATION (OFFICE OF CHILD CARE)**

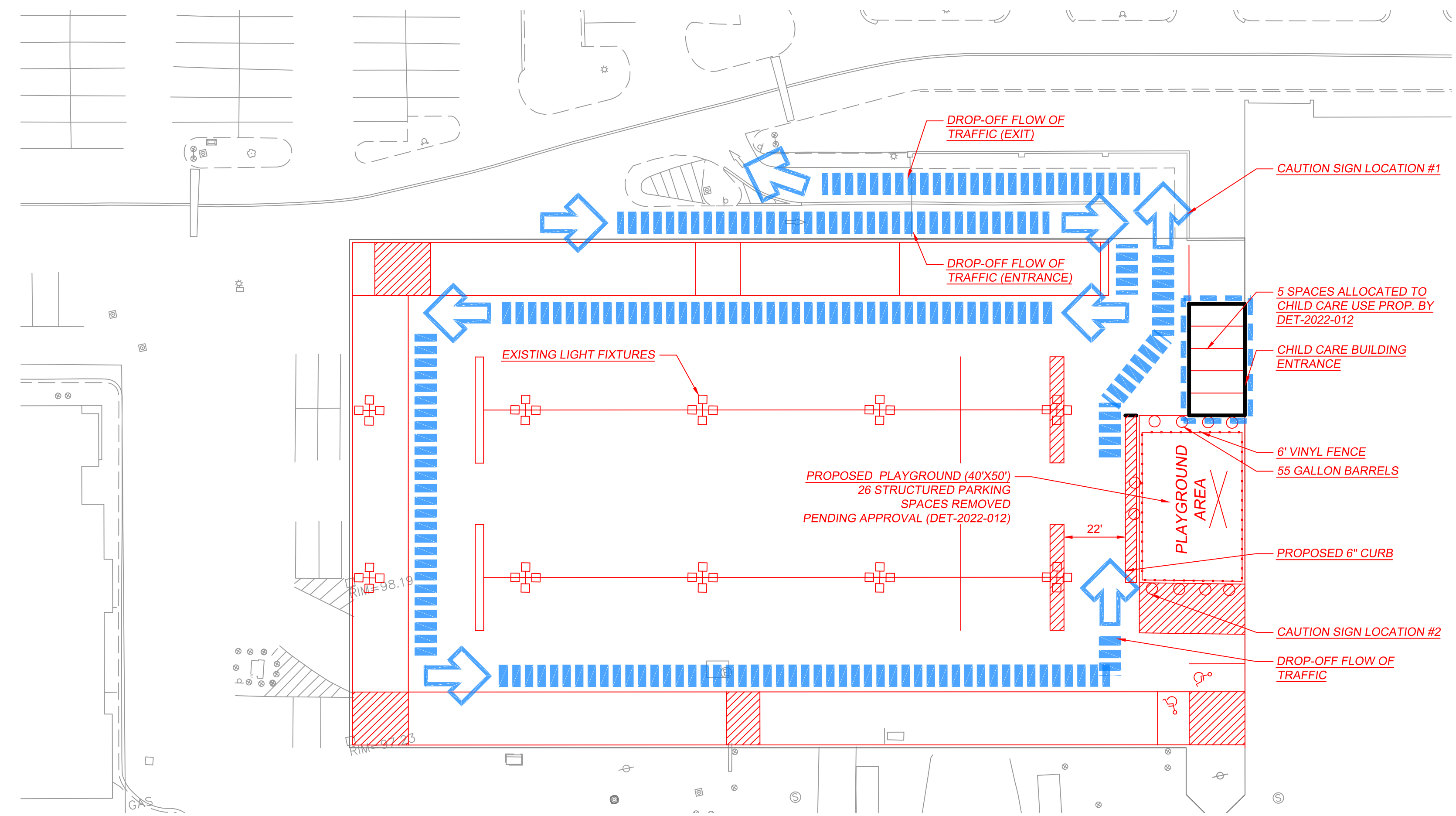
- 1. ENROLLMENT: 40 CHILDREN
- 2. AREA REQUIRED BY OFFICE OF CHILD CARE: 1,500 SQUARE FEET  
50% OF ENROLLMENT x 75 SQUARE FEET = 1,500
- 3. AREA PROPOSED: 40' X 50' 2,000 SQUARE FEET

**PARKING SCHEDULE (PER TABLE 27-6305(a)):**

- 1. PARKING REQUIRED (COMMUNITY SERVICE USE / DAY CARE FOR CHILDREN / INSIDE THE BELTWAY)
  - 1.1. LOL ENROLLMENT: 40 CHILDREN
  - 1.2. PARKING RATE: 1 SPACE / 10 CHILDREN
  - 1.3. PARKING REQUIRED: 4 SPACES
- 2. PARKING PROVIDED: 5 SPACES
  - 2.1. STANDARD SPACES: 5 SPACES

**INDOOR AREA CALCULATION (OFFICE OF CHILD CARE)**

- 1. ENROLLMENT: 40 CHILDREN
- 2. AREA REQUIRED= ENROLLMENT X 35 SQUARE FEET: 1,400 SQUARE FEET  
40 x 35 SQUARE FEET = 1,400
- 3. AREA PROVIDED: 2,100 SQUARE FEET



7 Parking Deck Inset Detail  
Scale: 1"=30'



5 Playground Rendering  
Typical Detail N.T.S.



6 Caution Sign Detail  
Typical Detail N.T.S.  
Size: 18" tall x 12" wide  
Material: metal

Applicant:  
**LOL Enterprises LLC**  
c/o Regina Bethea, Chief Managing Member/Owner

CALL "MISS UTILITY" AT  
1-800-257-7777  
48 Hours Before Start of Construction

NOTE: PROPOSED UTILITIES SHOWN ARE FOR INFORMATIONAL PURPOSES AND ARE SUBJECT TO CHANGE AT FINAL ENGINEERING.

Owner/Developer:  
**GB Mail Limited Partnership c/o Quantum Co.**  
The Quantum Building  
4912 Del Ray Avenue  
Bethesda, MD 20814

**BELTWAY PLAZA**

ELECTION DISTRICT No. 21  
PRINCE GEORGE'S COUNTY, MARYLAND  
TAX MAP 26, 34 GRID A1, A4, B1, B4, C4  
200 FOOT MAP 210NE05, 210NE06, 211NE05, 211NE06

**RODGERS CONSULTING**

1101 Mercantile Lane, Suite 280, Largo, Maryland 20774  
Ph: 301.948.4700 Fx: 301.948.6256 www.rodgers.com

	BY	DATE
BASE DATA	CADD	----
DESIGNED	--	----
DRAWN	--	----
REVIEWED	CH	----
RODGERS CONTACT	NAT BALLARD	
RELEASE FOR	<input type="checkbox"/>	
BY	DATE	----

DET-2022-012  
WSSC MAP 210NE05, 210NE06  
TAX MAP NUMBER & GRID: 26, GRID A4, B4

**LAUGH OUT LOUD CHILDCARE STATION**  
SPE #2022-012

PROFESSIONAL CERTIFICATION  
"I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND."  
LICENSE NO. 40787  
EXPIRATION DATE: 6/19/25



SCALE	N.T.S.
JOB No.	1287A
DATE	MAR 2023
SHEET No.	2 of 2

CASE NO: SPE-2022-012  
CASE NAME: LOL CHILDCARE STATION  
PARTY OF RECORD: 2  
PB DATE: 03-07-2024

LOL ENTERPRISES LLC  
6250 GREENBELT ROAD  
GREENBELT MD 20740  
(CASE NUMBER: SPE-2022-012)

REGINA BETHEA  
LOL ENTERPRISES LLC  
6250 GREENBELT ROAD  
GREENBELT MD 20770  
(CASE NUMBER: SPE-2022-012)

# ZONING SKETCH MAP

APP NO: SPE-2022-012

EXISTING ZONE: \_\_\_\_\_

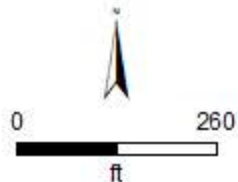
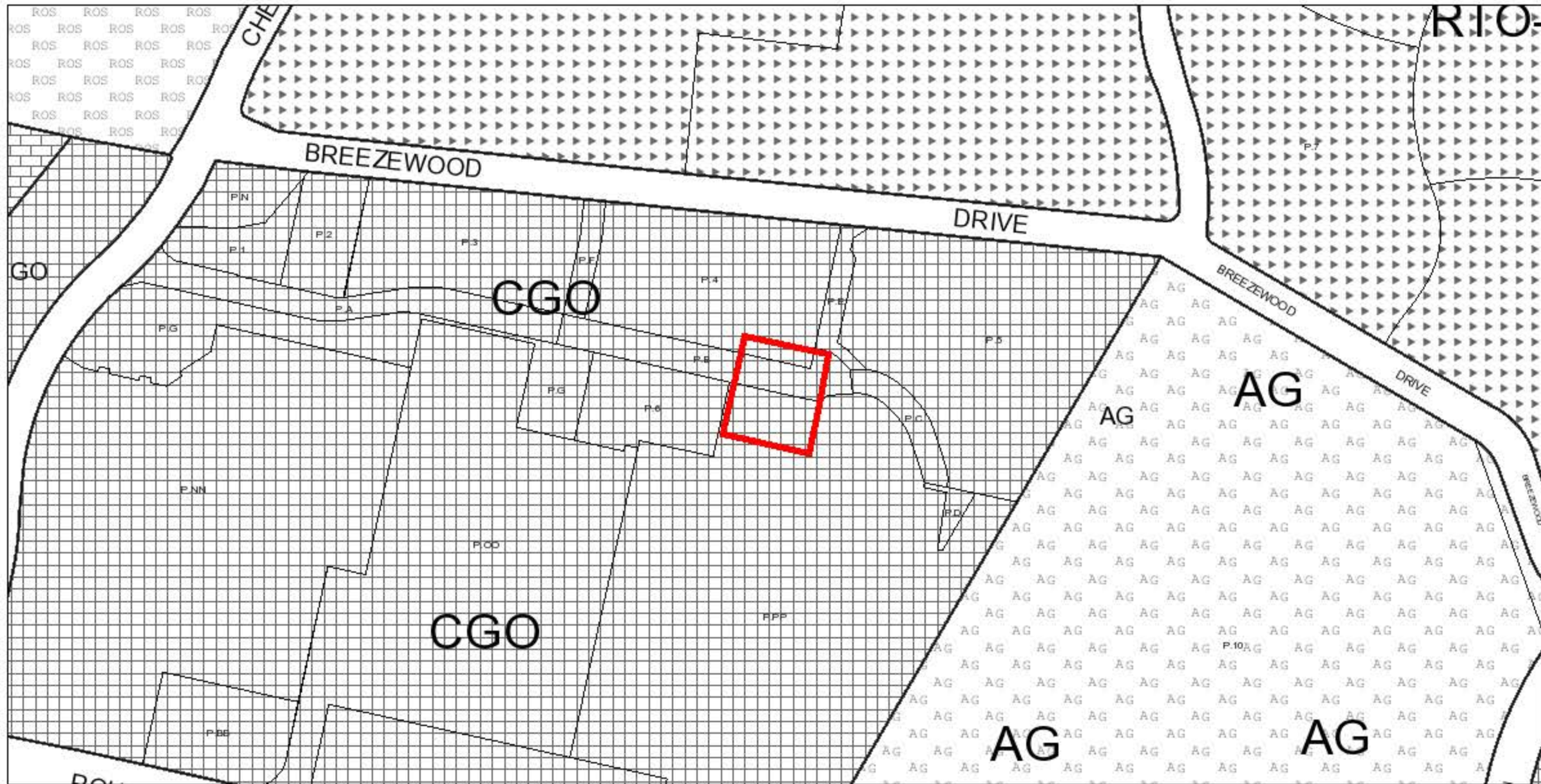
PLANNING AREA: 67

WSSC GRID: 211NE05

TAX MAP: 26

TAX GRID: B4

COUNCIL DISTRICT: 4



The Maryland-National Capital Park and Planning Commission  
Prince Georges County Planning Department  
Geographic Information System

Created: 9/6/2023



**ATTORNEY AT LAW**

Stan Brown, Esq.

Stan Derwin Brown Law Office, LLC  
1300 Caraway Court, Suite 202 • Largo, Maryland 20774-5462  
Telephone: 301.883.8888 • Fax: 301.883.8606  
Website: [StanBrown.law](http://StanBrown.law)  
E-mail: [attorney@StanBrown.law](mailto:attorney@StanBrown.law)  
*Licensed in Maryland & Washington, D.C.*

---

To: Clerk of the Council  
All Parties of Record  
Zoning Hearing Examiner  
Planning Board  
District Council

Fr: Stan Brown, People's Zoning Counsel

Date: March 12, 2024

Re: SE 2022-012 - LOL Enterprises, LLC

**NOTICE OF INTENTION TO PARTICIPATE**

Pursuant to Prince George's County Zoning Ordinance § 27-139.01 (C) (Powers & Duties), this memo is formal notification that the People's Zoning Counsel intends to participate in the above-noted pending zoning cases before the Prince George's County District Council, the Prince George's County Planning Board and/or the Prince George's County Zoning Hearing Examiner. Please file this memo in your official file for the record in the above-noted zoning cases.

Stan Brown, Esq.  
People's Zoning Counsel















ZONING HEARING EXAMINER  
**HEARING**  
FOR INFORMATION

**301-952-3644**  
Email: ZHE@co.pg.md.us

HEARING INFORMATION: VERTICAL HEARING  
*SE-2022-012*  
PLEASE CONTACT CITY OFFICE IF YOU WOULD  
LIKE TO BECOME A MEMBER OF THE PUBLIC  
AGREEMENT THE REQUEST BEFORE THE  
HEARING DATE.

*MAY 22 2024 9:30am*

REQUEST A REQUEST FOR A DAY CARE  
CENTER FOR 40 CHILDREN WITHIN 200 FT  
RADIUS MALL ON 5938 AMES JONES COO  
PLAZA MALL ON GREENBELT ROAD, GREENBELT,  
MD 20770











***STATE OF MARYLAND***  
***Department of Assessments and Taxation***

---

I, DANIEL K. PHILLIPS OF THE STATE DEPARTMENT OF ASSESSMENTS AND TAXATION OF THE STATE OF MARYLAND, DO HEREBY CERTIFY THAT THE DEPARTMENT, BY LAWS OF THE STATE, IS THE CUSTODIAN OF THE RECORDS OF THIS STATE RELATING TO LIMITED LIABILITY COMPANIES , OR THE RIGHTS OF LIMITED LIABILITY COMPANIES TO TRANSACT BUSINESS IN THIS STATE, AND THAT I AM THE PROPER OFFICER TO EXECUTE THIS CERTIFICATE.

I FURTHER CERTIFY THAT LOL ENTERPRISES LLC (W14407480) , REGISTERED DECEMBER 06, 2011, IS A LIMITED LIABILITY COMPANY EXISTING UNDER AND BY VIRTUE OF THE LAWS OF THE STATE OF MARYLAND, AND THAT THE LIMITED LIABILITY COMPANY IS AT THE TIME OF THIS CERTIFICATE IN GOOD STANDING TO TRANSACT BUSINESS.

IN WITNESS WHEREOF, I HAVE HEREUNTO SUBSCRIBED MY SIGNATURE AND AFFIXED THE SEAL OF THE STATE DEPARTMENT OF ASSESSMENTS AND TAXATION OF MARYLAND AT BALTIMORE ON THIS MAY 01, 2024.



Daniel K. Phillips  
Director



700 East Pratt Street, 2nd Flr, Ste 2700, Baltimore, Maryland 21202  
Telephone Baltimore Metro (410) 767-1344 / Outside Baltimore Metro (888) 246-5941  
MRS (Maryland Relay Service) (800) 735-2258 TT/Voice

Online Certificate Authentication Code: Uk8VrIAZjEeni4jEziAcug  
To verify the Authentication Code, visit <http://dat.maryland.gov/verify>



## Sign Posting Affidavit

I, Regina Bethea, hereby certify that the subject property was posted with  
(print or type name)

10 sign(s) on Saturday, April 20, 2024  
(specify number) (date)

I further certify that the signs were inspected on Saturday, May 4, 2024 (7 to 15 days  
after site was posted) and were maintained in a reasonable manner.

Signature: 

**DO NOT SUBMIT THIS AFFIDAVIT UNTIL THE SITE HAS BEEN INSPECTED**

Application Number: SPE-2022-012 Application Name: LOL Childcare

Contact Person & Telephone: Regina Bethea, 240/461-0613

Company Name & Address: LOL Enterprises LLC

Capacity in which you are acting: Chief Executive and Owner  
(owner, applicant, agent)

**Note:** Attach legible, close-up photograph(s) showing sign(s) in place and at least one additional photograph from a distance sufficient to show physical improvements or natural characteristics to identify the subject property.

Return this affidavit and photographs **saved as one PDF and emailed to [PGCReferrals@ppd.mncppc.org](mailto:PGCReferrals@ppd.mncppc.org) Subject: CaseNo-CaseName and "Posting Affidavit"** not later than 14 days prior to the Planning Board hearing date.

Signs installed on Saturday, April 20



Breezewood A



Breezewood B



Cherrywood & Breezewood A



Cherrywood & Breezewood B



Greenbelt at Wendy's A



Greenbelt at Wendy's B



Cherrywood & Greenbelt A



Cherrywood & Greenbelt B



Cherrywood Back Lot A Planet Fitness



Cherrywood Back Lot B Plant Fitness



Signs checked on Saturday, May 4, 2024



Breezewood A

Breezewood B

Cherrywood & Breezewood A

Cherrywood & Breezewood B

Greenbelt at Wendy's A



Breezewood A

Breezewood B

Cherrywood & Breezewood A

Cherrywood & Breezewood B

Greenbelt at Wendy's A



Greenbelt at Wendy's B

Cherrywood & Greenbelt A

Cherrywood & Greenbelt B

Cherrywood Back Lot A Planet Fitness

Cherrywood Back Lot B Planet Fitness



Greenbelt at Wendy's B

Cherrywood & Greenbelt A

Cherrywood & Greenbelt B

Cherrywood Back Lot A Planet Fitness

Cherrywood Back Lot B Planet Fitness