

The Maryland-National Capital Park and Planning Commission
Prince George's County Planning Department
Development Review Division
301-952-3530



Note: Staff reports can be accessed at <http://mncppc.iqm2.com/Citizens/Default.aspx>

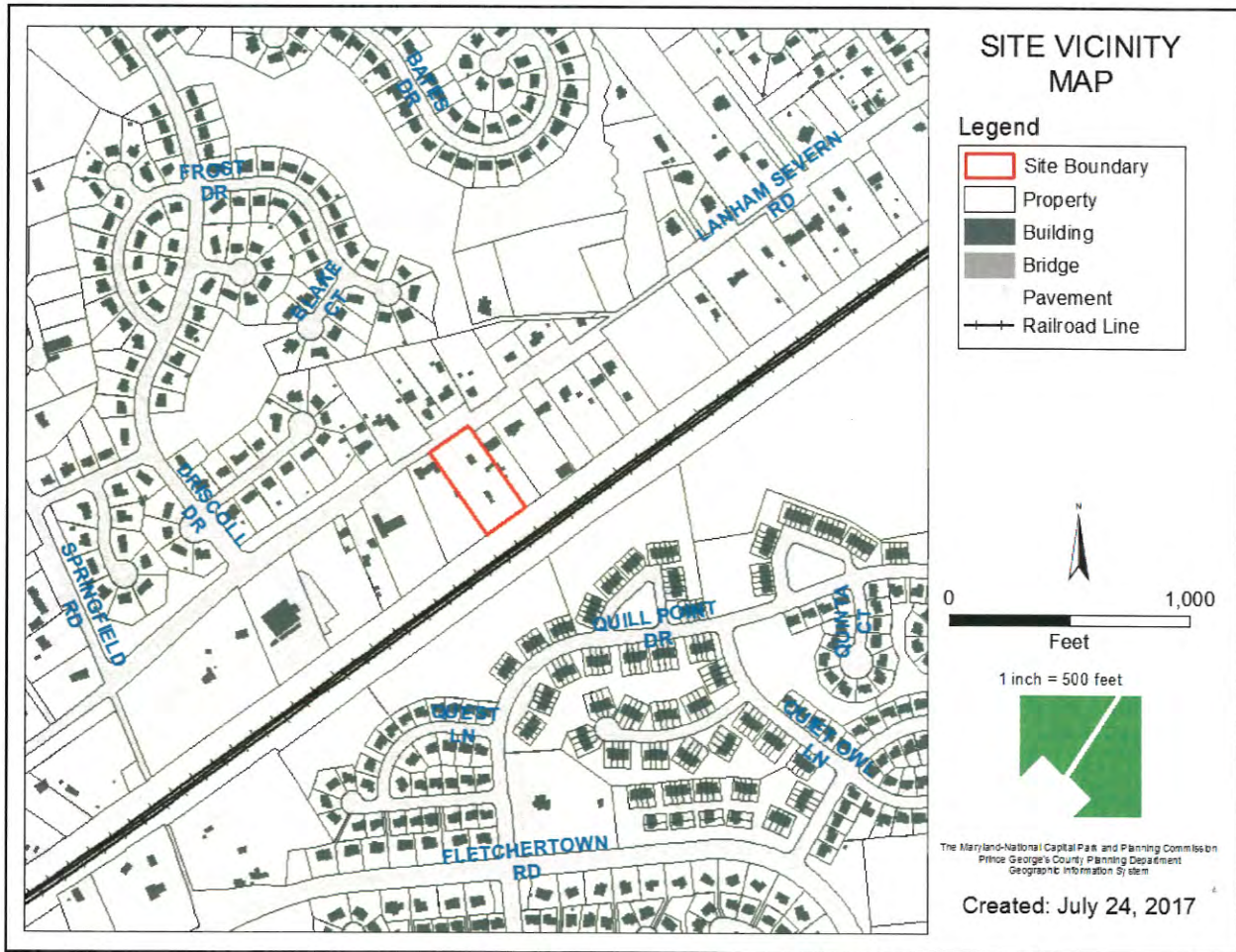
Detailed Site Plan Alternative Compliance

DSP-15009
AC-17018

Application	General Data	
Project Name: Redeemed Christian Church of God, Lanham Location: On the south side of MD 564 (Lanham-Severn Road), approximately 0.25 mile northeast of Springfield Road. Applicant/Address: The Redeemed Christian Church 12025 Lanham-Severn Road Bowie, MD 20720	Planning Board Hearing Date:	05/17/18
	Staff Report Date:	05/04/18
	Date Accepted:	09/01/15
	Planning Board Action Limit:	N/A
	Plan Acreage:	1.86
	Zone:	R-R
	Dwelling Units:	N/A
	Gross Floor Area:	3,243 sq. ft.
	Planning Area:	71A
	Council District:	04
	Election District:	14
	Municipality:	N/A
	200-Scale Base Map:	210NE11

Purpose of Application	Notice Dates	
The conversion of an existing single-family dwelling to a church use with parking. Alternative compliance from the requirements of Section 4.7, Buffering Incompatible Uses, of the 2010 <i>Prince George's County Landscape Manual</i> .	Informational Mailing:	05/22/15
	Acceptance Mailing:	08/27/15
	Sign Posting Deadline:	04/16/18

Staff Recommendation		Staff Reviewer: Ivy R. Thompson Phone Number: 301-952-4326 Email: Ivy.Thompson@ppd.mncppc.org	
APPROVAL	APPROVAL WITH CONDITIONS	DISAPPROVAL	DISCUSSION
	X		



THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

PRINCE GEORGE'S COUNTY PLANNING BOARD

STAFF REPORT

SUBJECT: Detailed Site Plan DSP-15009
Type 2 Tree Conservation Plan TCP2-029-2016
Alternative Compliance AC-17018
Redeemed Christian Church of God, Lanham

The Development Review staff has completed its review of the subject application and appropriate referrals. The following evaluation and findings lead to a recommendation of APPROVAL with conditions, as described in the Recommendation section of this report.

EVALUATION

This detailed site plan was reviewed and evaluated for compliance with the following criteria:

- a. Conformance to the requirements of the following sections of the Prince George's County Zoning Ordinance:
 - (1) 27-429, Purposes of the Rural Residential (R-R) Zone.
 - (2) 27-441, Uses Permitted in residential zones.
 - (3) 27-442, Regulations in residential zones.
- b. Conformance to the requirements of the 2010 *Prince George's County Landscape Manual*.
- c. Conformance to the requirements of the Prince George's County Woodland and Wildlife Habitat Conservation Ordinance.
- d. Conformance to the Prince George's County Tree Canopy Coverage Ordinance.
- e. Referral comments.

FINDINGS

Based upon the analysis of the subject application, the Zoning Review staff recommends the following findings:

1. **Request:** The subject application is a request to convert a 1.86-acre property improved with a 3,243-square-foot single-family dwelling in the Rural Residential (R-R) Zone to a 120-seat church with associated parking.

2. **Development Data Summary:**

	EXISTING	PROPOSED
Zone(s)	R-R	R-R
Use(s)	Single-Family Dwelling	Church
Acreage	1.86	1.86
Parcels	1	1
Total Gross Floor	3,243 sq. ft.	3,243 sq. ft.

Parking Required:

Church 30
(1 parking space per 4 seats for 120 seats)

Total Parking Required: 30

Total Parking Provided: 31

Loading Spaces Required: 0
(one space for 10,000–100,000 square feet of GFA)

Loading Spaces Provided: 0

3. **Location:** The subject property is located on the south side of MD 564 (Lanham-Severn Road), approximately 0.25 mile northeast of Springfield Road. The area includes large wooded single-family lots.
4. **Surrounding Uses:** The property is bounded to the northwest by MD 564 and the Springfield Manor subdivision; to the southeast by the Penn Central Railroad; to the south by a church; and to the north by a single-family detached residence. All the surrounding land uses are in the R-R Zone.
5. **Previous Approvals:** There are no previous Prince George’s County Planning Board approvals for the subject property, which is composed of Parcel 92. The property is located on Tax Map 28 in Grid E-4. The existing structure was originally built as a single-family dwelling in approximately 1928.
6. **Design Features:** The property is a rectangular parcel and is accessed directly from MD 564. The property is currently developed with a 3,243-square-foot gross floor area (GFA), two-story, single-family dwelling and garage that will be used for storage once the building is converted to a 120-seat church. An asphalt driveway from MD 564 connects to the proposed landscaped parking area. There is no signage proposed.
- There is no lighting of the building or parking lot proposed. However, a condition is included in the Recommendation section of this report for the provision of full-optic cut-off lighting on the site plan.
7. **Prince George’s County Zoning Ordinance:** Staff has reviewed the subject detailed site plan (DSP) against the relevant requirements of the Zoning Ordinance and finds it in compliance, as follows:

- a. The subject application is in conformance with the requirements of Section 27-441(b), which governs permitted uses in residential zones. The proposed church, which is located on a lot between one and two acres in size, is a permitted use subject to Footnote 52, which states the following:

A church or similar place of worship that is located on a lot between one (1) and two (2) acres in size shall require a Detailed Site Plan in accordance with Part 3, Division 9, of this subtitle. In addition to the requirements of Section 27-285(b), the following requirements shall be met:

- (A) **The minimum setback for all buildings shall be twenty-five (25) feet from each lot line.**

The minimum setback for the existing building is 25 feet from all lot lines, which is in conformance with this requirement.

- (B) **When possible, there should be no parking or loading spaces located in the front yard; and**

The proposed parking area is located at the southeast side of the property, which is the side yard of the subject property.

- (C) **The maximum allowable lot coverage for the zone in which the use is proposed shall not be increased. (CB-76-1993)**

The existing building footprint (3,243 square feet), when combined with the proposed parking/vehicular access area (10,183 square feet), totals 16.6 percent of lot coverage, which is 8.4 percent less than the maximum lot coverage of 25 percent permitted in the R-R Zone.

- b. The DSP is in general compliance with the requirements of Section 27-442, Regulations, for development in the R-R Zone.
- c. The DSP is in general compliance with the requirements of Section 27-285(b)(1) for satisfying the site design guidelines of Subtitle 27, Part 3, Division 9, of the Prince George's County Code, such as parking, loading and circulation. The site plan proposes installation of a parking area that provides ingress and egress to the site with a 22-foot-wide drive aisle to support on-site vehicular circulation and queuing. The parking lot is provided at the side of the structure, the parking spaces are located as near as possible to the proposed church, and there is only one parking aisle. While the site plan does not address lighting, staff has recommended that the site plan show full-optic cut-off lighting to provide a balanced lighting pattern on the property, while not causing a glare onto nearby properties, in accordance with the site design guidelines.
8. **2010 Prince George's County Landscape Manual:** The site, as a conversion to a church use, is subject to the requirements of the 2010 *Prince George's County Landscape Manual* (Landscape Manual). The site is subject to Section 4.2, Landscape Strips Along Streets; Section 4.3, Parking Lot Requirements; Section 4.4, Screening Requirements; Section 4.7, Buffering Incompatible Uses; and Section 4.9, Sustainable Landscaping Requirements, of the Landscape Manual because it involves a change of use from a lower to higher intensity on the subject property. The following standards apply:

- a. **Section 4.2, Landscape Strips Along Streets**—The site is subject to Section 4.2, which requires that, for all nonresidential uses, a landscape strip shall be provided on the property abutting all private and public streets. A landscape schedule has been provided for the strip required along MD 564 that complies with the requirements of the Landscape Manual.
- b. **Section 4.3, Parking Lot Requirements**—The site is subject to Section 4.3, which requires that the minimum planting requirements are calculated as a percentage of the parking lot based on its size. A landscape schedule is provided that indicates compliance with the Landscape Manual requirements.
- c. **Section 4.4, Screening Requirements**—Section 4.4 requires that all dumpsters, loading spaces, and mechanical areas be screened from adjoining residential uses, land in any residential zone, and constructed public streets. The site plan does not show any dumpsters, loading spaces, or mechanical equipment that would trigger compliance with this requirement.
- d. **Section 4.7, Buffering Incompatible Uses**—The site is subject to Section 4.7 along two property lines. A landscape schedule has been provided that indicates compliance with the Landscape Manual requirement along the southern property line, but not along the eastern property line.

The applicant has filed a request for alternative compliance from Section 4.7 for a reduction in the required building setback and landscape bufferyard width along the eastern property line, adjacent to a single-family dwelling on Parcel 2.

BUFFERYARD 3—REQUIRED: 4.7 Buffering Incompatible Uses, along the eastern property line, adjacent to Parcel 2

Length of bufferyard	345 feet
Minimum building setback	40 feet
Landscape yard width	30 feet
Fence or wall	Yes
Percent with existing trees	10%
Plant units (120 per 100 l. f.)	155*

*50 percent reduction credited for fence per Section 4.7(c)(4)(E)(ii)

BUFFERYARD 3—PROVIDED: 4.7 Buffering Incompatible Uses, along the eastern property line, adjacent to Parcel 2

Length of bufferyard	345 feet
Minimum building setback	25 feet
Landscape yard width	25 feet
Fence or wall	Yes, six-foot-high board-on-board
Percent with existing trees	10%
Plant units (120 per 100 l. f.)	155**

**Includes 40 plant units for 4 existing trees over 12 inches caliper

Justification

The applicant has filed a request for alternative compliance from the Section 4.7 requirements of the Landscape Manual. The application proposes a reduction in the required landscape buffer width, in addition to the building setback proposed along the eastern property line, due to space limitations.

The applicant has indicated that it would be difficult and impractical to provide the required building setback and landscape yard width, to allow for the full width of the Section 4.7 buffer, due to the location of the existing building.

A Section 4.7 Type C bufferyard is required along the property's eastern property boundary, adjacent to an existing single-family home. This bufferyard requires a 40-foot building setback, a 30-foot-wide landscape yard, and 120 plant units for every 100 linear feet of property line, with 155 plant units with the provision of a fence. As an alternative to the normal requirements of Section 4.7, the landscape plan proposes to provide a minimum 25-foot building setback and a landscape yard that includes a 6-foot-high, sight-tight, board-on-board fence and 155 plant units, including 4 existing trees, 9 proposed shade trees, and 3 proposed evergreen trees. The applicant suggests that the landscaping proposed along the eastern property line, in addition to the six-foot-high, sight-tight, board-on-board fence, will provide an adequate visual barrier and will screen the adjacent single-family residence from the property. However, the calculations shown in the schedule do not reflect the preservation of the four existing trees located in the northeast area of the site. Therefore, the correct number of existing plant materials should be revised, along with other technical plan corrections, as included in the Recommendation section of this report.

The Planning Director recommends APPROVAL of alternative compliance for Section 4.7, Buffering Incompatible Uses, of the 2010 *Prince George's County Landscape Manual*, for Redeemed Christian Church, subject to two conditions, which have been included in this report in the Recommendation section.

- e. **Section 4.9, Sustainable Landscaping Requirements**—The site is subject to Section 4.9, which requires that a percentage of the proposed plant materials be native plants. The schedule provided shows that the native plant requirements are being met.
9. **Prince George's County Woodland and Wildlife Habitat Conservation Ordinance:** The subject project is not exempt from the requirements of the Woodland and Wildlife Habitat Conservation Ordinance (WCO), as it proposes more than 16,000 square feet of land disturbance. A Type 2 Tree Conservation Plan (TCP2-029-16) was submitted as part of this application and is discussed in greater detail in Finding 11(g) of this staff report.
10. **Prince George's County Tree Canopy Coverage Ordinance:** The project is subject to the requirements of the Tree Canopy Coverage Ordinance because it proposes more than 5,000 square feet of disturbance. This must be provided and is addressed as a recommended condition of approval of this project.
11. **Referrals:** The subject application was referred to the concerned agencies and divisions. The referral comments are summarized with any noted revisions and recommendations assigned as recommended conditions of approval:

- a. **Community Planning**—The application is consistent with the *Plan Prince George’s 2035 Approved General Plan* (Plan Prince George’s 2035) policies for the Established Communities area and the 2006 *Approved Master Plan for Bowie and Vicinity and Sectional Map Amendment for Planning Areas 71A, 71B, 74A, 74B* (Bowie and Vicinity Master Plan and SMA) policies for residential development.
- b. **Transportation**—Lanham-Severn Road (MD 564) is a collector roadway listed on the Bowie and Vicinity Master Plan and SMA with four lanes of traffic and 80 feet of right-of-way. No structures are shown within the right-of-way. Access to the subject property is being provided by an existing driveway on MD 564. A 26-foot-wide driveway is shown on the site plan, along with paved parking. On-site parking and circulation is acceptable. The paved shoulder on MD 564 does not appear to be wide enough for any overflow parking from the church, and the roadway has high-speed traffic. Some consideration should be given to restricting parking on MD 564 by the operating agency, in the vicinity of the church, for traffic safety concerns. There are no sidewalks shown on the site plan, other than a concrete ramp for handicap access.
- c. **Trails**—The site is located between the state highway and the railroad line for MARC Train service (Parcel 17). Both the 2009 *Approved Countywide Master Plan of Transportation* (MPOT) and the master plan recommend bicycle and pedestrian improvements along MD 564, some of which have been completed and others of which will have to be provided via a future capital improvement project. The MPOT includes the following wording regarding this master plan facility:

MD 564 Side path and On-Road Bicycle Facilities (Shared-use side path and designated bike lanes): Provide continuous bicycle and pedestrian improvements along MD 564 with either a wide sidewalk or side path for pedestrians and recreational cyclists, and wide curb lanes, bike lanes, or shoulders for on-road bicyclists if practical and feasible. These facilities are needed to improve pedestrian safety along this heavily traveled corridor. They will improve access to numerous commercial areas and MARC (page 21).

The master plan reiterates this planned improvement by recommending a “Dual Bikeway,” with a sidepath and designated bike lanes along MD 564. On-road bicycle facilities are currently provided along existing MD 564, between Old Town Bowie and MD 193 (Greenbelt Road), consistent with the January 2015 Maryland State Highway Administration (SHA) Bicycle Policy and Design Guidelines. However, it appears that an SHA capital improvement project will be required to provide the sidepath comprehensively for the MD 564 corridor. The north side of the road (opposite the subject site) is the most appropriate location for the trail, as this side of the road immediately abuts numerous residential communities, while the south side of the road (along the frontage of the site) parallels the railroad tracks.

The Complete Streets element of the MPOT includes the following policies regarding sidewalk construction and the accommodation of pedestrians:

POLICY 1: Provide standard sidewalks along both sides of all new road construction within the Developed and Developing Tiers.

POLICY 2: All road frontage improvements and road capital improvement projects within the developed and Developing Tiers shall be designed to accommodate all modes of transportation. Continuous sidewalks and on-road bicycle facilities should be included to the extent feasible and practical.

Consistent with these policies and the frontage improvements required in the vicinity of the subject site, the provision of a standard sidewalk along the site's entire frontage of MD 564 is recommended. Also, one sidewalk connection is recommended from the public right-of-way, along MD 564, to the building entrance.

From the standpoint of nonmotorized transportation, it is determined that this plan is acceptable, fulfills the intent of applicable master plans and functional plans, fulfills prior conditions of approval, and meets the finding required for a DSP, as described in Section 27-285 of the Zoning Ordinance, if the recommended conditions are placed.

- d. **State Highway Administration (SHA)**—The subject project is a change of use from a single-family residence use to a church. Since the project has direct access on MD 564, SHA requires the applicant to provide a trip generation study for review to SHA. If the number of trips for all uses (whether for day care or worship purposes) during the AM and PM peak hours is found to be equal to (or exceeds) 50 trips, SHA will require the applicant to submit a traffic impact study for review. These requirements will be enforced by SHA through their permitting process.

- e. **Subdivision**—The subject property is composed of Parcel 92, a deed parcel recorded in Liber 33962 at Folio 60 of the Prince George's County Land Records on June 23, 2003. Parcel 92 has never been the subject of a preliminary plan of subdivision (PPS) or final plat. The property is located on Tax Map 28 in Grid E-4, and is approximately 1.86 acres. The site is currently improved with one single-family dwelling and accessory structures. The site has frontage on MD 564, which is designated as an 80-foot-wide master plan collector. The plan should be revised to reflect an 80-foot-wide master plan right-of-way, instead of a 120-foot-wide master plan right-of-way. The purpose of this DSP is to construct a parking lot for a proposed church. No change of GFA is proposed; however, the existing and proposed GFA is not provided on the plan, and should be. Additionally, PGAtlas aerials indicate that accessory structures exist on the property, which should be calculated as existing GFA. Prior to certification of the DSP, the existing structures should be shown on the plan and labeled as "to remain" or "to be removed."

Pursuant to Section 24-107(c)(7)(C) of the Subdivision Regulations, a site is exempt from the requirement of filing a PPS and final plat if the development proposed is in addition to a development in existence prior to January 1, 1990 and does not exceed 5,000 square feet of GFA. A review of aerial imagery via PGAtlas confirms that the site was developed with additional GFA after January 1, 1990. Therefore, in order to demonstrate conformance with Section 24-107(c)(7)(C), prior to certification of the DSP, the applicant must provide a GFA tabulation, which provides the GFA on-site on January 1, 1990 and the date of construction and size of all subsequent additions afterward. Any development in excess of 5,000 square feet of GFA since January 1, 1990, will require approval of a PPS and final plat prior to building permits.

- f. **Permits**—Permit Review staff offered information regarding correcting information on the site plan. These corrections, observations, and recommendations are addressed via revised site plans or as proposed conditions in the Recommendation section of this report.
- g. **Environmental Planning**—Wooded areas are concentrated principally along the southwestern half of the property. According to mapping research and as documented with the approved NRI, regulated environmental features, which include wetlands, a stream, associated buffers, and a primary management area (PMA) are found on the property. Based on available information, it does not appear that steep slopes or areas of 100-year floodplain occur on-site. This site is within the Horsepen Branch sub-watershed, which is a stronghold watershed that flows into the Patuxent River basin. The entire site is within an area designated as a Tier II Catchment Area according to the Maryland Department of the Environment (MDE). The predominant soils found to occur on-site, according to the U.S. Department of Agriculture (USDA), Natural Resource Conservation Service (NRCS), Web Soil Survey (WSS), include Russett-Christiana-Urban complex (0–5 percent slopes). According to available information, Marlboro clay is not present on-site; however, Christiana complexes are found on this property. According to the Sensitive Species Project Review Area map prepared by the Maryland Department of Natural Resources, Natural Heritage Program, there are no rare, threatened, or endangered species mapped to occur on, or in the vicinity, of this property. The site does not share frontage with any scenic or historic roads. The site is currently located within Environmental Strategy Area 2 (formerly the Developing Tier) of the Regulated Environmental Protection Areas Map, as designated by Plan Prince George’s 2035. This site is also located within the 2006 Bowie and Vicinity Master Plan and SMA. According to the 2017 *Approved Prince George’s Count Resource Conservation Plan: A Countywide Functional Master Plan*, the site contains no regulated, evaluation, and network gap areas within the designated network of the plan.

An approved Natural Resources Inventory (NRI-114-14-01) was submitted with the application, which was approved on June 24, 2016. There is a PMA comprised of wetlands, wetlands buffer, and stream buffer that extends across a small portion of the southern side of the site. No areas of 100-year floodplain occur on-site. This site contains 0.47 acre of woodlands on-site. This site is within a Tier II Catchment Area. The Prince George’s Soil Conservation District (SCD) may require an expanded buffer/setback from the on-site stream. This will be determined by SCD at the time of review of the grading, erosion, and sediment control plan.

Prince George’s County Woodland and Wildlife Habitat Conservation Ordinance: This site is subject to the provisions of the WCO. A Type 2 Tree Conservation Plan (TCP2-029-16) was submitted with the current application.

The associated worksheet on the submitted TCP2 shows that the site has a woodland conservation threshold of 15 percent and a woodland conservation requirement of 0.29 acre; however, the correct threshold for land zoned R-R is 20 percent. Upon review of the proposal, with the official woodland conservation worksheet and the correct zoning, the woodland conservation requirement is 0.38 acre. Because the applicant proposes to preserve 0.45 acre of woodland conservation, which is more than the requirement, conformance with the WCO can be satisfied with a recommended condition requiring the applicant to revise the worksheet prior to approval of the TCP2. The plans require other minor technical revisions to demonstrate compliance with the WCO and the

requirements of the Environmental Technical Manual, which are recommended as conditions of approval.

Primary Management Impacts (PMA): The Zoning Ordinance requires that the Planning Board find that: "...the site plan demonstrates the preservation and/or restoration of the regulated environmental features in a natural state to the fullest extent possible" (Section 27-285(b)(4)).

Impacts to regulated environmental features must first be avoided and then minimized. If impacts to the regulated environmental features are proposed, a statement of justification (SOJ) must be submitted in accordance with Section 27-285(b)(4). The justification must address how each impact has been avoided and/or minimized.

An SOJ for the proposed impacts was date stamped as received on March 16, 2017. The on-site PMA is comprised of a stream, wetland, and associated buffers. The SOJ requests validation of 45 square feet (0.001 acre) of impacts to the wetland buffer for a necessary outfall to safely convey stormwater to the stream. Staff supports this proposed impact because it is necessary for the proposed development to occur.

Soils: The predominant soils found to occur on-site, per the USDA NRCS WSS include Russett-Christiana-Urban complex (0-5 percent slopes). Marlboro clay is not identified on the property; however, Christiana complexes are known to occur on-site. Because this is an urban land mix and there are no additional structures proposed, there are no development restrictions of concern, as it relates to this application. The County may require a soils report in conformance with Prince George's County Council Bill CB-94-2004 during the building permit process review.

Stormwater Management: An approved Stormwater Management (SWM) Concept Plan (16074-2014-01) and letter dated March 23, 2015, was submitted with the subject application. The approved concept shows the use of two micro-bioretenion areas, which will ultimately drain into the stream adjoining the property to the south. No revisions are required for conformance with the approved SWM.

- h. **Historic Preservation**—The property has been extensively graded and disturbed over time. A search of current and historic photographs, topographic and historic maps, and locations of currently known archeological sites indicates that the probability of archeological sites within the subject property is low. This proposal will not impact any known Prince George's County historic sites, historic resources, or archeological resources.
- i. **Prince George's County Department of Permitting, Inspections and Enforcement (DPIE)**—The property is located on the south side of MD 564 (Lanham-Severn Road), northeast of Springfield Road. Lanham-Severn Road is a State of Maryland-maintained roadway; therefore, coordination with SHA is required. A soils investigation report, which includes subsurface exploration and geotechnical engineering evaluation for the proposed buildings and environmental site design (ESD), is required. All storm drainage systems and facilities are to be in accordance with DPIE's standards and specifications. The proposed DSP is consistent with the approved SWM dated March 23, 2015, which incorporates the site development plan review pertaining to SWM (Section 32-182(b)). The following comments are provided pertaining to this approval phase:

- (1) Final site layout, exact impervious area locations are shown on plans.
- (2) Exact acreage of impervious areas has been provided.
- (3) Proposed grading is shown on concept plans.
- (4) Delineated drainage areas at all points of discharge from the site have been provided.
- (5) Stormwater volume computations have been provided. Provide a best management practices summary table to define ESD target volumes and ESD provided volumes for entire limit of disturbance.
- (6) Erosion/sediment control plans that contain the construction sequence, and any phasing necessary to limit earth disturbances and impacts to natural resources, and an overlay plan showing the types and locations of ESD devices and erosion and sediment control practices, are not included in the submittal.
- (7) A narrative in accordance with the code has been provided.

j. **Prince George's County Police Department**—After visiting the site and meeting with DPIE inspectors, the following observations are noted:

- There are noticeable cracks in the foundation on the structure.
- DPIE inspectors communicated that there is a court order not to use the building for church services because they do not have a Use and Occupancy permit (U&O).
- There is a question as to whether a sprinkler system was installed when the addition was constructed.
- A neighbor, who lives across the street, communicated that when the church has been in session the music has been very loud. The house on the property to the left is very close to the property line.
- Located on the lot to the right, at 12007, is another residential property converted into a church.

k. **City of Bowie**—No comment. There is no impact on the City.

12. Based on the analysis and as required by Section 27-285(b)(1) of the Zoning Ordinance, the DSP represents a reasonable alternative for satisfying the site design guidelines of Subtitle 27, Part 3, Division 9, of the County Code without requiring unreasonable cost and without detracting substantially from the utility of the proposed development for its intended use.
13. Section 27-285(b)(4) of the Zoning Ordinance requires that a DSP demonstrate that regulated environmental features have been preserved and/or restored, to the fullest extent possible, if environmental features exist. The preservation of regulated environmental features has been preserved and/or restored, to the fullest extent possible, as detailed on the Type 2 Tree Conservation Plan (TCP2-029-16).

RECOMMENDATION

Based upon the foregoing evaluation and analysis, the Development Review staff recommends that the Planning Board adopt the findings of this report and APPROVE Detailed Site Plan DSP-15009, Type 2 Tree Conservation Plan TCP2-029-16, and Alternative Compliance AC-17018 for Redeemed Christian Church of God, Lanham, subject to the following conditions:

1. Prior to certification of the detailed site plan, the following revisions to the site plan shall be made or information provided:
 - a. Reflect an 80-foot-wide master plan right-of-way, instead of a 120-foot-wide master plan right-of-way.
 - b. Show all existing gross floor area on the site plan and label each structure as “to remain” or “to be removed.”
 - c. Provide a gross floor area (GFA) tabulation, which provides the GFA on-site on January 1, 1990, and the date of construction and size of all subsequent additions.
 - d. Provide a standard sidewalk along the subject site’s entire frontage of MD 564 (Lanham-Severn Road), unless modified by the Maryland State Highway Administration.
 - e. Provide one sidewalk connection from the public right-of-way and sidewalk along MD 564 (Lanham-Severn Road) to the building entrance.
 - f. Provide full-optic cut-off lighting on the site plan.
 - g. Add a Tree Canopy Coverage schedule demonstrating conformance.
 - h. Clearly show the location and dimension of the landscape bufferyards and landscape strips on the site plan.
 - i. Recalculate the Section 4.7 bufferyard on the eastern property line, in accordance with the 2010 *Prince George’s County Landscape Manual*, to reflect the appropriate measurements and required and provided plant units.
2. Prior to signature of the Type 2 tree conservation plan (TCP2), the following revisions to the TCP2 shall be made:
 - a. Revise the worksheet to show the correct zoning of the property as Rural Residential.
 - b. Add the symbols used to represent the wetland buffer and intermittent stream to the legend.
 - c. Add a column to the Specimen Tree table to indicate that Specimen Tree 1 (ST-1) is to be saved.
 - d. Add the TCP2 approval block to each sheet of the TCP2, with the TCP2 number included.

- e. Remove the Forest Stand Summary table from the TCP2.
 - f. Identify the location of Specimen Tree (ST-1) on the plan with its critical root zone, in accordance with approved Natural Resources Inventory NRI-144-14-01.
3. Prior to signature of the Type 2 tree conservation plan (TCP2), the required woodland conservation easement documents shall be prepared and submitted to the Environmental Planning Section for review by the Office of Law and submitted for recordation to the Office of Land Records. The following note shall be added to the standard TCP2 notes on the plan, as follows:
- “Woodlands preserved, planted, or regenerated in fulfillment of on-site woodland conservation requirements have been placed in a Woodland and Wildlife Habitat Conservation Easement recorded in the Prince George’s County Land Records at Liber _____ Folio _____. Revisions to this TCP2 may require a revision to the recorded easement.”
4. Prior to issuance of the first grading permit, copies of the recorded woodland conservation easement documents, with the liber and folio, shall be provided to the Environmental Planning Section, and the liber and folio of the recorded easement shall be added to the Type 2 tree conservation plan.

ITEM:

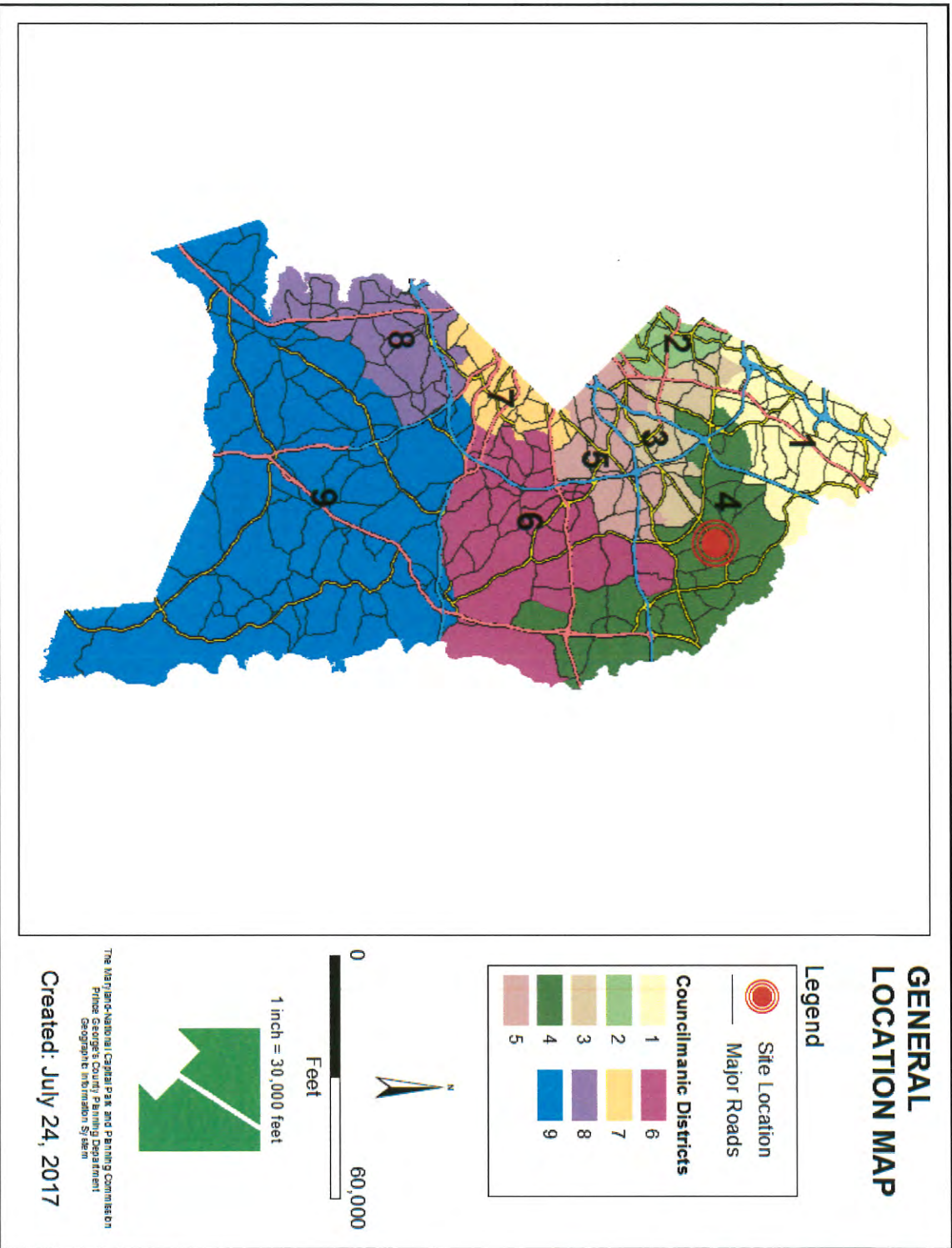
CASE: DSP-15009

**REDEEMED CHRISTIAN CHURCH OF GOD,
LANHAM**

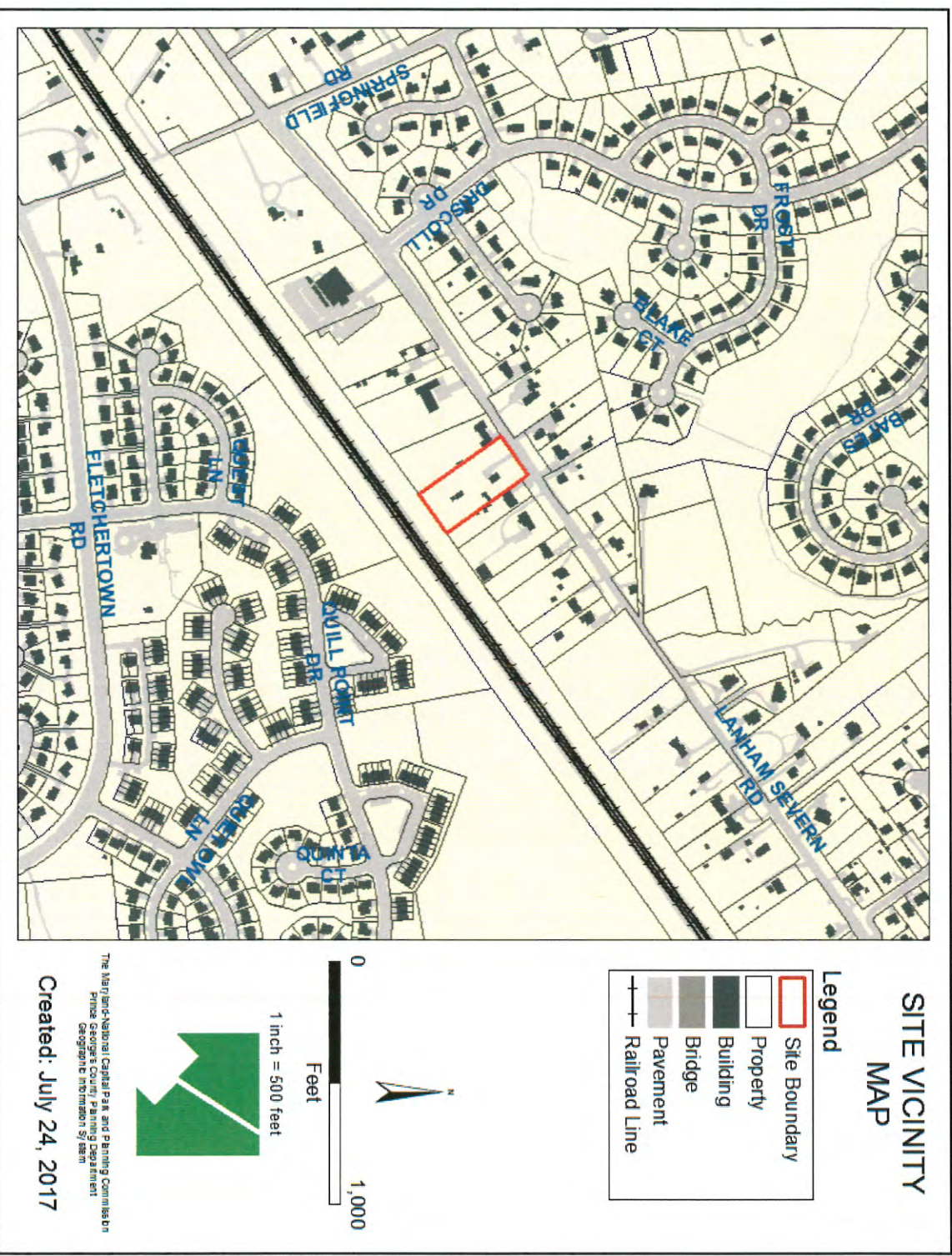
THE PRINCE GEORGE'S COUNTY PLANNING DEPARTMENT



GENERAL LOCATION MAP



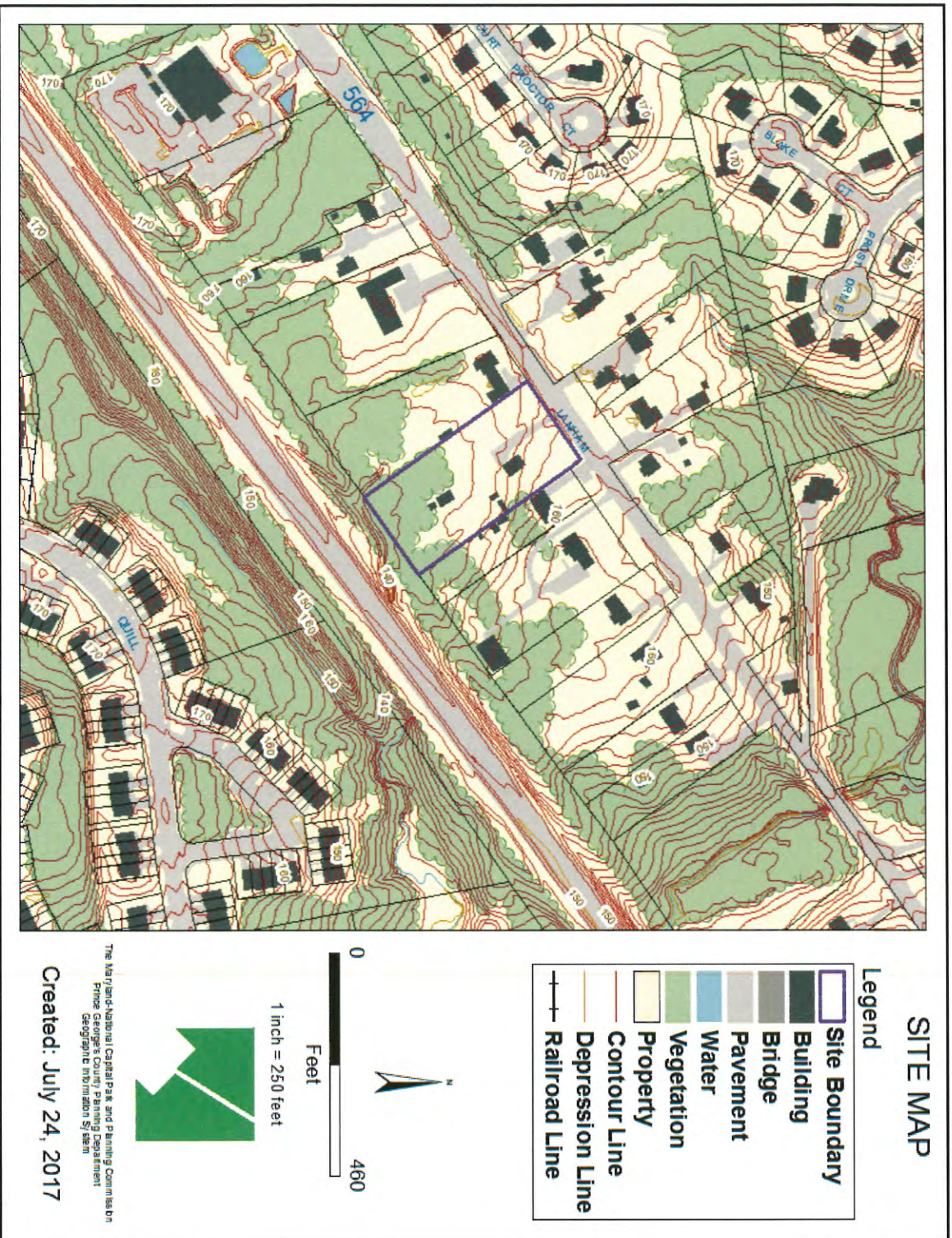
SITE VICINITY



OVERLAY MAP



SITE MAP



MASTER PLAN RIGHT-OF-WAY MAP



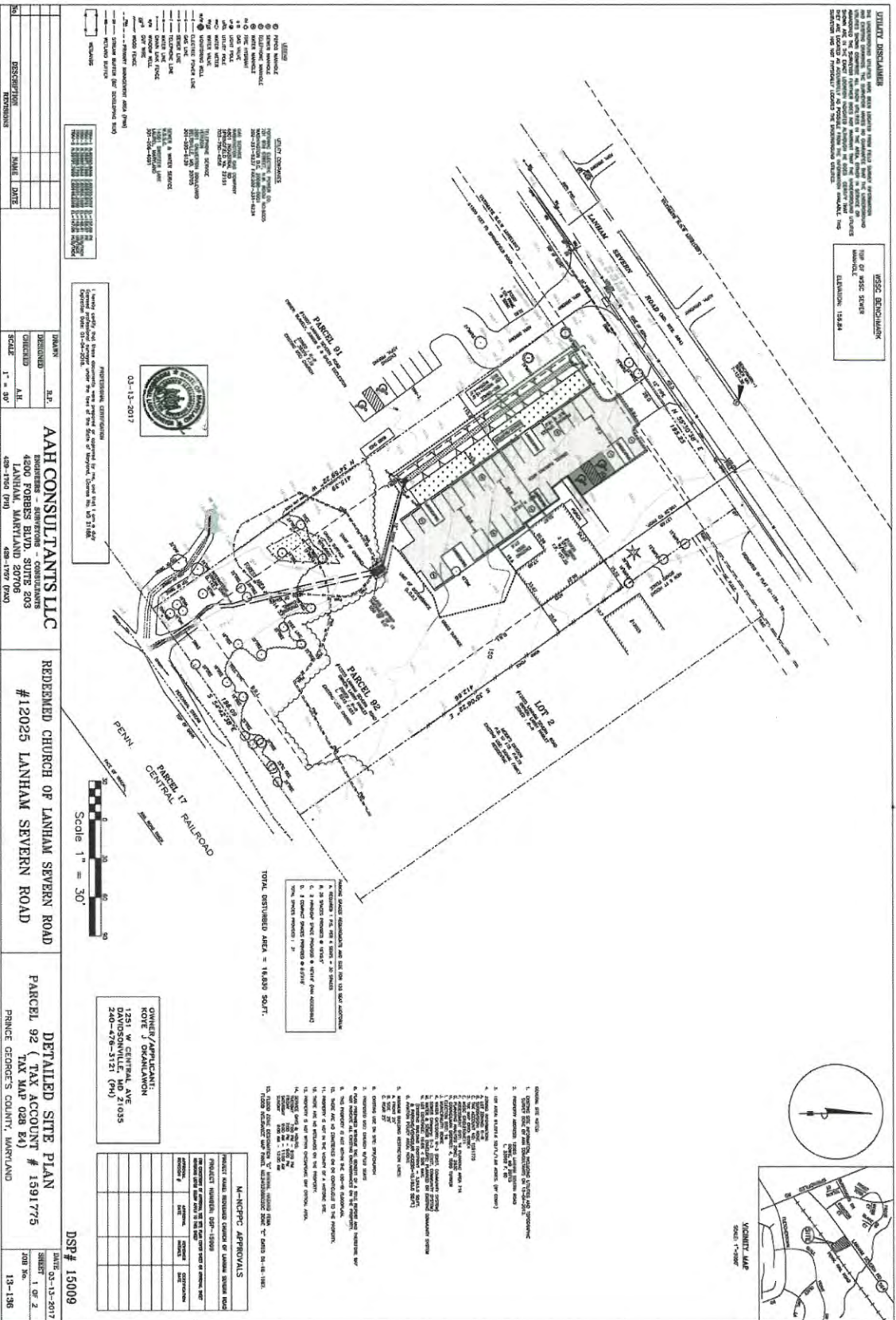
BIRD'S-EYE VIEW WITH

APPROXIMATE SITE BOUNDARY OUTLINED



DETAILED SITE PLAN

Case # DSP-15009



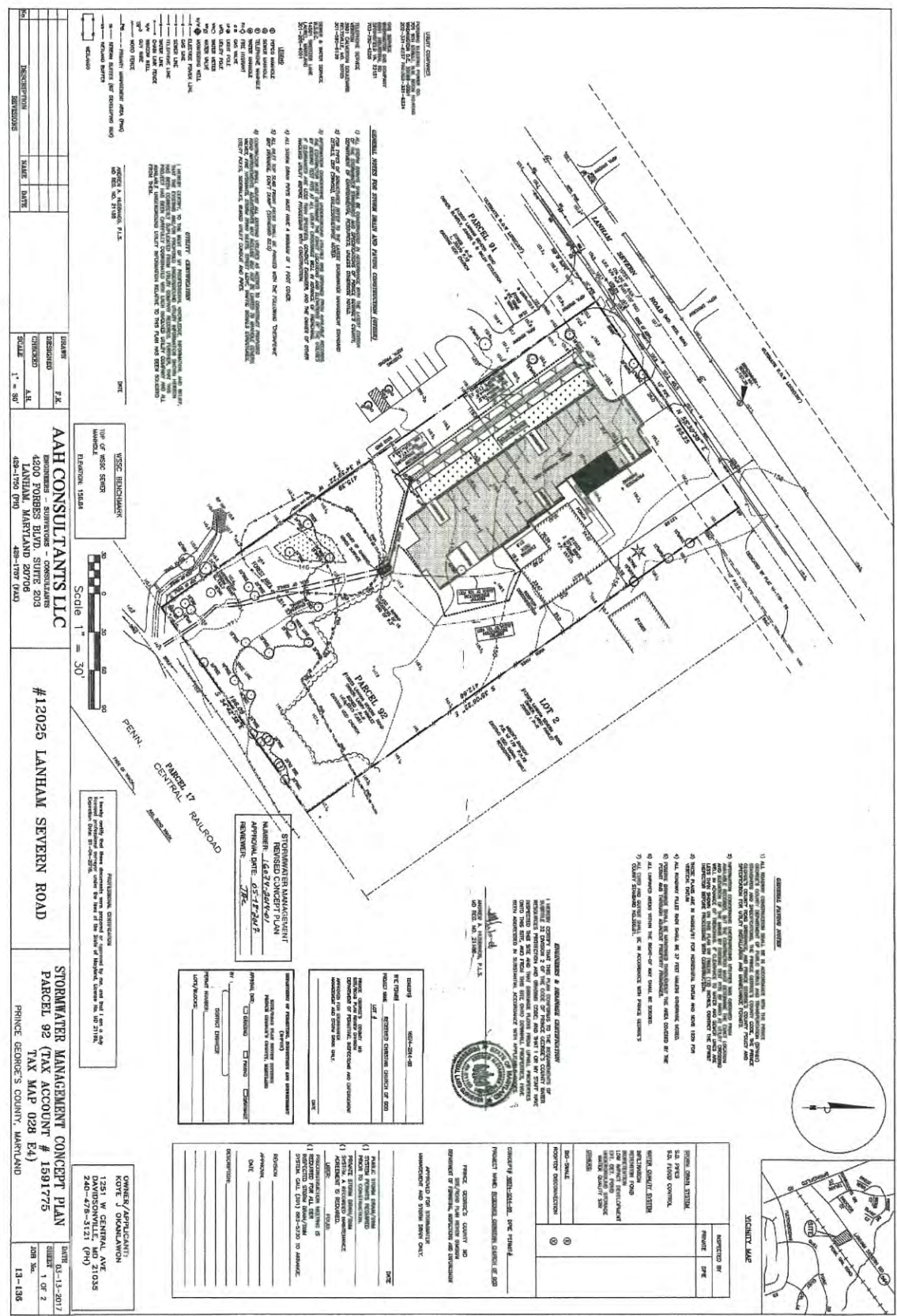
Slide 10 of 14

4/25/2018



STORMWATER MANAGEMENT PLAN

Case # DSP-15009



LEGEND

1. ALL STORMWATER SHALL BE COLLECTED FROM THE ROOFS, DRIVEWAYS, PATIO AREAS, SIDEWALKS, AND DRIVEWAYS AND CONVEYED TO THE STORMWATER MANAGEMENT SYSTEM.

2. ALL STORMWATER SHALL BE COLLECTED FROM THE ROOFS, DRIVEWAYS, PATIO AREAS, SIDEWALKS, AND DRIVEWAYS AND CONVEYED TO THE STORMWATER MANAGEMENT SYSTEM.

3. ALL STORMWATER SHALL BE COLLECTED FROM THE ROOFS, DRIVEWAYS, PATIO AREAS, SIDEWALKS, AND DRIVEWAYS AND CONVEYED TO THE STORMWATER MANAGEMENT SYSTEM.

4. ALL STORMWATER SHALL BE COLLECTED FROM THE ROOFS, DRIVEWAYS, PATIO AREAS, SIDEWALKS, AND DRIVEWAYS AND CONVEYED TO THE STORMWATER MANAGEMENT SYSTEM.

5. ALL STORMWATER SHALL BE COLLECTED FROM THE ROOFS, DRIVEWAYS, PATIO AREAS, SIDEWALKS, AND DRIVEWAYS AND CONVEYED TO THE STORMWATER MANAGEMENT SYSTEM.

6. ALL STORMWATER SHALL BE COLLECTED FROM THE ROOFS, DRIVEWAYS, PATIO AREAS, SIDEWALKS, AND DRIVEWAYS AND CONVEYED TO THE STORMWATER MANAGEMENT SYSTEM.

7. ALL STORMWATER SHALL BE COLLECTED FROM THE ROOFS, DRIVEWAYS, PATIO AREAS, SIDEWALKS, AND DRIVEWAYS AND CONVEYED TO THE STORMWATER MANAGEMENT SYSTEM.

8. ALL STORMWATER SHALL BE COLLECTED FROM THE ROOFS, DRIVEWAYS, PATIO AREAS, SIDEWALKS, AND DRIVEWAYS AND CONVEYED TO THE STORMWATER MANAGEMENT SYSTEM.

9. ALL STORMWATER SHALL BE COLLECTED FROM THE ROOFS, DRIVEWAYS, PATIO AREAS, SIDEWALKS, AND DRIVEWAYS AND CONVEYED TO THE STORMWATER MANAGEMENT SYSTEM.

10. ALL STORMWATER SHALL BE COLLECTED FROM THE ROOFS, DRIVEWAYS, PATIO AREAS, SIDEWALKS, AND DRIVEWAYS AND CONVEYED TO THE STORMWATER MANAGEMENT SYSTEM.

GENERAL NOTES FOR STORMWATER AND FLOOD CONTROL CONSTRUCTION:

1. ALL STORMWATER SHALL BE COLLECTED FROM THE ROOFS, DRIVEWAYS, PATIO AREAS, SIDEWALKS, AND DRIVEWAYS AND CONVEYED TO THE STORMWATER MANAGEMENT SYSTEM.

2. ALL STORMWATER SHALL BE COLLECTED FROM THE ROOFS, DRIVEWAYS, PATIO AREAS, SIDEWALKS, AND DRIVEWAYS AND CONVEYED TO THE STORMWATER MANAGEMENT SYSTEM.

3. ALL STORMWATER SHALL BE COLLECTED FROM THE ROOFS, DRIVEWAYS, PATIO AREAS, SIDEWALKS, AND DRIVEWAYS AND CONVEYED TO THE STORMWATER MANAGEMENT SYSTEM.

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10. ALL STORMWATER SHALL BE COLLECTED FROM THE ROOFS, DRIVEWAYS, PATIO AREAS, SIDEWALKS, AND DRIVEWAYS AND CONVEYED TO THE STORMWATER MANAGEMENT SYSTEM.

STORMWATER MANAGEMENT REVISED CONCEPT PLAN

NUMBER: 16276-2017-001

APPROVAL DATE: 03/17/2017

REVISIONS:

1. REVISED CONCEPT PLAN

2. REVISED CONCEPT PLAN

3. REVISED CONCEPT PLAN

4. REVISED CONCEPT PLAN

5. REVISED CONCEPT PLAN

6. REVISED CONCEPT PLAN

7. REVISED CONCEPT PLAN

8. REVISED CONCEPT PLAN

9. REVISED CONCEPT PLAN

10. REVISED CONCEPT PLAN

DESIGNER'S & APPROVALS

NAME: [Signature]

TITLE: [Title]

COMPANY: [Company Name]

DATE: [Date]

OWNER/APPLICANT

NAME: [Name]

TITLE: [Title]

COMPANY: [Company Name]

DATE: [Date]

APPROVED FOR SUBMITTAL

NAME: [Signature]

TITLE: [Title]

COMPANY: [Company Name]

DATE: [Date]

APPROVED FOR CONSTRUCTION

NAME: [Signature]

TITLE: [Title]

COMPANY: [Company Name]

DATE: [Date]

NO.	DESCRIPTION	REVISIONS	DATE	BY

VEGETATION

1. ALL VEGETATION SHALL BE MAINTAINED AND PROTECTED.

2. ALL VEGETATION SHALL BE MAINTAINED AND PROTECTED.

3. ALL VEGETATION SHALL BE MAINTAINED AND PROTECTED.

4. ALL VEGETATION SHALL BE MAINTAINED AND PROTECTED.

5. ALL VEGETATION SHALL BE MAINTAINED AND PROTECTED.

6. ALL VEGETATION SHALL BE MAINTAINED AND PROTECTED.

7. ALL VEGETATION SHALL BE MAINTAINED AND PROTECTED.

8. ALL VEGETATION SHALL BE MAINTAINED AND PROTECTED.

9. ALL VEGETATION SHALL BE MAINTAINED AND PROTECTED.

10. ALL VEGETATION SHALL BE MAINTAINED AND PROTECTED.

SCALE

1" = 30'

ADDRESS

16205 LANHAM SEVERN ROAD

PRINCE GEORGE'S COUNTY, MARYLAND

PROJECT

STORMWATER MANAGEMENT CONCEPT PLAN

PARCEL 92 (TAX ACCOUNT # 1591775)

TAX MAP 028 E4)

DATE

02-13-2017

SHEET

1 OF 2

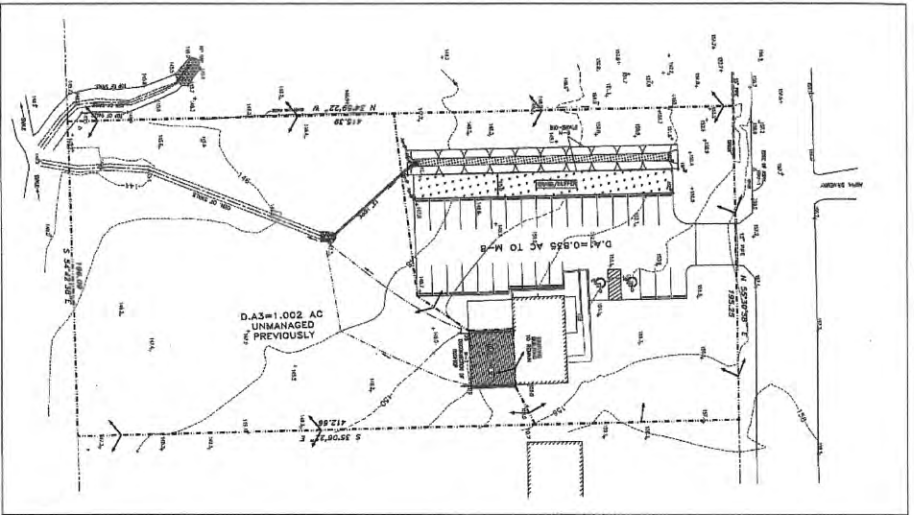
SCALE

1" = 30'

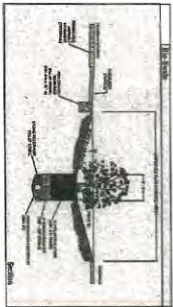


STORMWATER MANAGEMENT PLAN

Case # DSP-15009



BEFORE FINAL CALCULATIONS
 ALL CALCULATIONS SHALL BE BASED ON THE FOLLOWING ASSUMPTIONS:
 1. ALL CALCULATIONS SHALL BE BASED ON THE PROPOSED DEVELOPMENT.
 2. ALL CALCULATIONS SHALL BE BASED ON THE PROPOSED DRAINAGE AREA.
 3. ALL CALCULATIONS SHALL BE BASED ON THE PROPOSED SLOPES.
 4. ALL CALCULATIONS SHALL BE BASED ON THE PROPOSED RETENTION VOLUMES.
 5. ALL CALCULATIONS SHALL BE BASED ON THE PROPOSED DETENTION TIMES.
 6. ALL CALCULATIONS SHALL BE BASED ON THE PROPOSED INFILTRATION RATES.
 7. ALL CALCULATIONS SHALL BE BASED ON THE PROPOSED STORAGE CAPACITIES.
 8. ALL CALCULATIONS SHALL BE BASED ON THE PROPOSED TREATMENT EFFICIENCIES.
 9. ALL CALCULATIONS SHALL BE BASED ON THE PROPOSED FLOW RATES.
 10. ALL CALCULATIONS SHALL BE BASED ON THE PROPOSED PEAK FLOWS.



DETENTION POND DESIGN
 - DETENTION POND SHALL BE 10 FEET DEEP.
 - DETENTION POND SHALL BE 15 FEET WIDE AT THE TOP.
 - DETENTION POND SHALL BE 10 FEET WIDE AT THE BOTTOM.
 - DETENTION POND SHALL BE 1:5 SLOPE.
 - DETENTION POND SHALL BE 1 FOOT DEEP.
 - DETENTION POND SHALL BE 10 FEET DEEP.
 - DETENTION POND SHALL BE 15 FEET WIDE AT THE TOP.
 - DETENTION POND SHALL BE 10 FEET WIDE AT THE BOTTOM.
 - DETENTION POND SHALL BE 1:5 SLOPE.
 - DETENTION POND SHALL BE 1 FOOT DEEP.

Stormwater Management Summary Table

Area #	Area Description	Area (Ac)	Runoff Coefficient	Peak Flow (cfs)	Volume (cu ft)	Retention Volume (cu ft)	Detention Time (min)	Infiltration Rate (in/hr)	Storage Capacity (cu ft)	Treatment Efficiency (%)
1	Detention Pond	0.05	0.5	10	100	100	10	0.5	100	100
2	Swale	0.1	0.5	20	200	200	20	0.5	200	100
3	Retention Pond	0.2	0.5	40	400	400	40	0.5	400	100
4	Detention Pond	0.3	0.5	60	600	600	60	0.5	600	100
5	Swale	0.4	0.5	80	800	800	80	0.5	800	100
6	Retention Pond	0.5	0.5	100	1000	1000	100	0.5	1000	100
7	Detention Pond	0.6	0.5	120	1200	1200	120	0.5	1200	100
8	Swale	0.7	0.5	140	1400	1400	140	0.5	1400	100
9	Retention Pond	0.8	0.5	160	1600	1600	160	0.5	1600	100
10	Detention Pond	0.9	0.5	180	1800	1800	180	0.5	1800	100
11	Swale	1.0	0.5	200	2000	2000	200	0.5	2000	100
12	Retention Pond	1.1	0.5	220	2200	2200	220	0.5	2200	100
13	Detention Pond	1.2	0.5	240	2400	2400	240	0.5	2400	100
14	Swale	1.3	0.5	260	2600	2600	260	0.5	2600	100
15	Retention Pond	1.4	0.5	280	2800	2800	280	0.5	2800	100
16	Detention Pond	1.5	0.5	300	3000	3000	300	0.5	3000	100
17	Swale	1.6	0.5	320	3200	3200	320	0.5	3200	100
18	Retention Pond	1.7	0.5	340	3400	3400	340	0.5	3400	100
19	Detention Pond	1.8	0.5	360	3600	3600	360	0.5	3600	100
20	Swale	1.9	0.5	380	3800	3800	380	0.5	3800	100
21	Retention Pond	2.0	0.5	400	4000	4000	400	0.5	4000	100
22	Detention Pond	2.1	0.5	420	4200	4200	420	0.5	4200	100
23	Swale	2.2	0.5	440	4400	4400	440	0.5	4400	100
24	Retention Pond	2.3	0.5	460	4600	4600	460	0.5	4600	100
25	Detention Pond	2.4	0.5	480	4800	4800	480	0.5	4800	100
26	Swale	2.5	0.5	500	5000	5000	500	0.5	5000	100
27	Retention Pond	2.6	0.5	520	5200	5200	520	0.5	5200	100
28	Detention Pond	2.7	0.5	540	5400	5400	540	0.5	5400	100
29	Swale	2.8	0.5	560	5600	5600	560	0.5	5600	100
30	Retention Pond	2.9	0.5	580	5800	5800	580	0.5	5800	100
31	Detention Pond	3.0	0.5	600	6000	6000	600	0.5	6000	100
32	Swale	3.1	0.5	620	6200	6200	620	0.5	6200	100
33	Retention Pond	3.2	0.5	640	6400	6400	640	0.5	6400	100
34	Detention Pond	3.3	0.5	660	6600	6600	660	0.5	6600	100
35	Swale	3.4	0.5	680	6800	6800	680	0.5	6800	100
36	Retention Pond	3.5	0.5	700	7000	7000	700	0.5	7000	100
37	Detention Pond	3.6	0.5	720	7200	7200	720	0.5	7200	100
38	Swale	3.7	0.5	740	7400	7400	740	0.5	7400	100
39	Retention Pond	3.8	0.5	760	7600	7600	760	0.5	7600	100
40	Detention Pond	3.9	0.5	780	7800	7800	780	0.5	7800	100
41	Swale	4.0	0.5	800	8000	8000	800	0.5	8000	100
42	Retention Pond	4.1	0.5	820	8200	8200	820	0.5	8200	100
43	Detention Pond	4.2	0.5	840	8400	8400	840	0.5	8400	100
44	Swale	4.3	0.5	860	8600	8600	860	0.5	8600	100
45	Retention Pond	4.4	0.5	880	8800	8800	880	0.5	8800	100
46	Detention Pond	4.5	0.5	900	9000	9000	900	0.5	9000	100
47	Swale	4.6	0.5	920	9200	9200	920	0.5	9200	100
48	Retention Pond	4.7	0.5	940	9400	9400	940	0.5	9400	100
49	Detention Pond	4.8	0.5	960	9600	9600	960	0.5	9600	100
50	Swale	4.9	0.5	980	9800	9800	980	0.5	9800	100
51	Retention Pond	5.0	0.5	1000	10000	10000	1000	0.5	10000	100

STORMWATER MANAGEMENT
 REVISED CONCEPT PLAN
 NUMBER: 15009-DSP-15009
 APPROVAL DATE: 02/28/2018
 REVISION: 02/28/2018

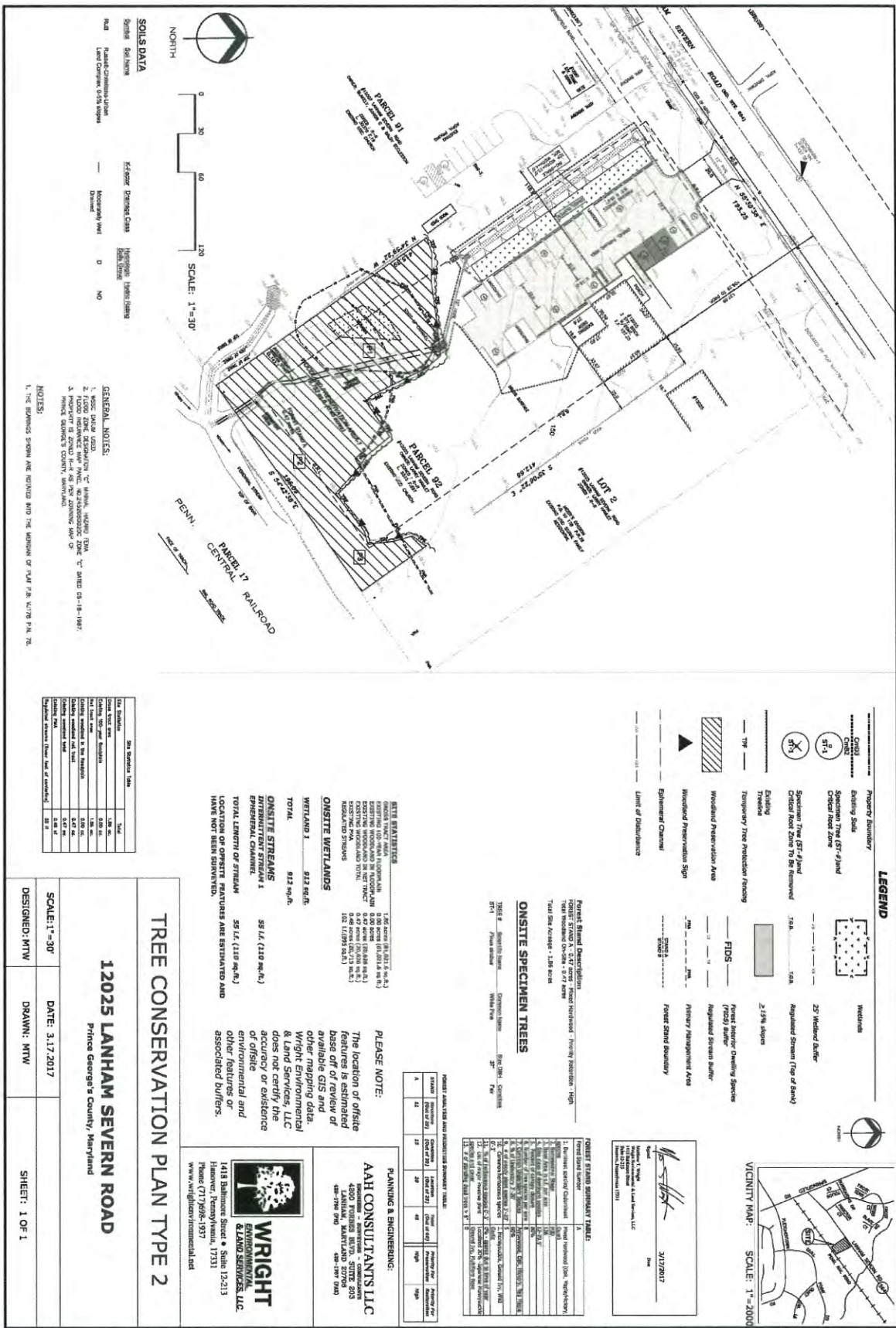
DESIGNER: A.A.H. CONSULTANTS LLC
 4500 FORBES BLVD., SUITE 203
 LANHAM, MARYLAND 20706
 410-770-1700

CLIENT: STORMWATER MANAGEMENT
 12025 LANHAM SEVERN ROAD
 PARCEL 92 (TAX ACCOUNT # 1591775)
 TAX MAP 028 E4)
 PRINCE GEORGE'S COUNTY, MARYLAND

DATE: 02-13-2017
 SHEET 2 OF 2
 JOB NO. 13-158



TYPE II TREE CONSERVATION PLAN



SOILS DATA

Soils: Soil Series

Field Classification: Land Use: D

Field Control: 0.5% slope

ES&P: Technical Data

Map: D

NO

GENERAL NOTES:

1. ASSUMED DATA USED.
2. FLOOD ZONE DETERMINED BY NATIONAL FLOOD INQUIRY TOOL. DATED 05-18-1987.
3. PROPERTY IS ZONED R-4 OF THE ZONING MAP OF PRINCE GEORGE'S COUNTY, MARYLAND.

NOTES:

1. THE EXISTENCE SHOWN ARE BASED ON THE RECORD OF P&U P.L. W/79 P.L. 78.

Site Features	Area
Wetland	912 sq. ft.
Stream	391.14 sq. ft.
Other	...

WETLANDS

WETLAND 1: 912 sq. ft.

STREAMS

STREAM 1: 391.14 (110 sq. ft.)

TOTAL LENGTH OF STREAM

391.14 (110 sq. ft.)

LOCATION OF OFFSITE FEATURES ARE ESTIMATED AND HAVE NOT BEEN SURVEYED.

LEGEND

- Property Boundary
- Existing Stake
- Specimen Tree (ST-#) and Critical Root Zone
- 25' Wetland Buffer
- Regulated Stream (Top of Bank)
- 2.15% Slope
- Forest Stand Boundary
- Forest Stand Inventory
- Regulated Stream Buffer
- Primary Management Area
- Wetland Preservation Sign
- Equipment Channel
- Limit of Disturbance

ON-SITE SPECIMEN TREES

Tree #	Species Name	DBH (in)	Height (ft)	Condition	Notes
ST-1	Pinus strobus	2"	7'	F	

FOREST STAND SUMMARY TABLE:

Stand Number	Stand Name	Area (sq. ft.)	Tree Count	Notes
1
2
3
4

PLEASE NOTE:

The location of offsite features is estimated based off of review of available GIS and other mapping data. Wright Environmental & Land Services, LLC does not verify the accuracy or existence of offsite environmental and other features or associated buffers.

AAH CONSULTANTS LLC

4500 RIVERVIEW CENTER DRIVE
LANHAM, MARYLAND 20786
410-796-7900

WRIGHT ENVIRONMENTAL & LAND SERVICES, LLC

4183 Baltimore Street • Suite 12-213
Baltimore, Maryland 21286
Phone: (410) 984-1937
www.wrightenvironmental.net

TREE CONSERVATION PLAN TYPE 2

12025 LANHAM SEVERN ROAD

Prince George's County, Maryland

SCALE: 1"=30'

DATE: 3.17.2017

DESIGNED: MTW

DRAWN: MTW

SHEET: 1 OF 1





THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

**Prince George's County Planning Department
Historic Preservation Section**

**(301) 952-3680
www.mncppc.org**

September 28, 2017

MEMORANDUM

TO: Ivy Thompson, Senior Planner
Subdivision and Zoning
Development Review Division

FROM: Howard Berger, Supervisor *HB*
Robert Krause, Planner Coordinator *RCK*
Jennifer Stabler, Archeology Planner Coordinator *JAS*
Tyler Smith, Planning Technician *TAS*
Historic Preservation Section
Countywide Planning Division

SUBJECT: DSP-15009, Redeemed Christian Church of God, Lanham

The subject property is located at 9522 Smith Road and comprises 1.86 acres located south of Lanham Severn Road and east of Springfield Road. This Detailed Site Plan proposes that the existing building be used as a church (120 seats) and to allow for the construction of 30 required parking spaces. The property is currently zoned R-R.

The subject property has been extensively graded and extensively disturbed over time. A search of current and historic photographs, topographic and historic maps, and locations of currently known archeological sites indicates the probability of archeological sites within the subject property is low. This proposal will not impact any known Prince George's County Historic Sites, Historic Resources, or archeological resources.




THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

Prince George's County Planning Department
Countywide Planning Division, Transportation Planning Section

(301) 952-3680
www.mncppc.org

September 24, 2015

MEMORANDUM

TO: Ivy Thompson, Development Review Division
FROM:  Fred Shaffer, Transportation Planning Section, Countywide Planning Division
SUBJECT: Detailed Site Plan Review for Master Plan Trail Compliance

The following Detailed Site Plan was reviewed for conformance with the *Approved Countywide Master Plan of Transportation* and/or the appropriate area Master Plan in order to provide the Master Plan Trails.

Detailed Site Plan Number: DSP-15009

Name: Redeemed Christian Church of God

Type of Master Plan Bikeway or Trail

Municipal R.O.W.*	<u> </u>	Public Use Trail Easement	<u> </u>
PG Co. R.O.W.*	<u> X </u>	Nature Trails	<u> </u>
SHA R.O.W.*	<u> </u>	M-NCPPC – Parks	<u> </u>
HOA	<u> </u>	Bicycle Parking	<u> </u>
Sidewalks	<u> X </u>	Trail Access	<u> </u>

*If a Master Plan Trail is within a city, county, or state right-of-way, an additional two - four feet of dedication may be required to accommodate construction of the trail.

The Transportation Planning Section has reviewed the detailed site plan application referenced above for conformance with the 2009 *Approved Countywide Master Plan of Transportation (MPOT)* and the 2010 *Glenn Dale-Seabrook-Lanham and Vicinity Approved Sector Plan and Sectional Map Amendment* (area master plan) in order to implement planned trails, bikeways, and pedestrian improvements. Staff recommendations based on current or proposed conditions are also included in this memo.

The subject application is a detailed site plan for a church and parking lot within the R-R zone. The site is located along the southern side of MD 564 approximately 1,700 linear feet east of Springfield Road. The site is located between the state highway and the railroad line for MARC (Parcel 17).

Review Comments (Master Plan Compliance and Prior Approvals)

Both the MPOT and the area master plan recommend bicycle and pedestrian improvements along MD 564, some of which have been completed and others of which will have to be provided via a future

capital improvement project. The MPOT includes the following wording regarding this master plan facility:

MD 564 Side path and On-Road Bicycle Facilities (Shared-use side path and designated bike lanes): Provide continuous bicycle and pedestrian improvements along MD 564 with either a wide sidewalk or side path for pedestrians and recreational cyclists, and wide curb lanes, bike lanes, or shoulders for on-road bicyclists if practical and feasible. These facilities are needed to improve pedestrian safety along this heavily traveled corridor. They will improve access to numerous commercial areas and MARC (MPOT, page 21).

The area master plan reiterates this planned improvement by recommending a “Dual Bikeway” with a sidepath and designated bike lanes along MD 564. On-road bicycle facilities are currently providing along existing MD 564 between Old Town Bowie and MD 193 consistent with the January 2015 SHA Bicycle Policy & Design Guidelines. However, it appears that a SHA capital improvement project will be required to provide the sidepath comprehensively for the MD 564 corridor. The north side of the road (opposite the subject site) is the most appropriate location for the trail as this side of the road immediately abuts numerous residential communities, while the south side of the road (along the frontage of the site) parallels the railroad tracks.

The Complete Streets element of the MPOT includes the following policies regarding sidewalk construction and the accommodation of pedestrians.

POLICY 1: Provide standard sidewalks along both sides of all new road construction within the Developed and Developing Tiers.

POLICY 2: All road frontage improvements and road capital improvement projects within the developed and Developing Tiers shall be designed to accommodate all modes of transportation. Continuous sidewalks and on-road bicycle facilities should be included to the extent feasible and practical.

Consistent with these policies and the frontage improvements required in the vicinity of the subject site, the provision of a standard sidewalk along the site’s entire frontage of MD 564 is recommended. Also, one sidewalk connection is recommended from the public right-of-way along MD 564 to the building entrance. Suggested locations are marked in red on the attached plan sheet.

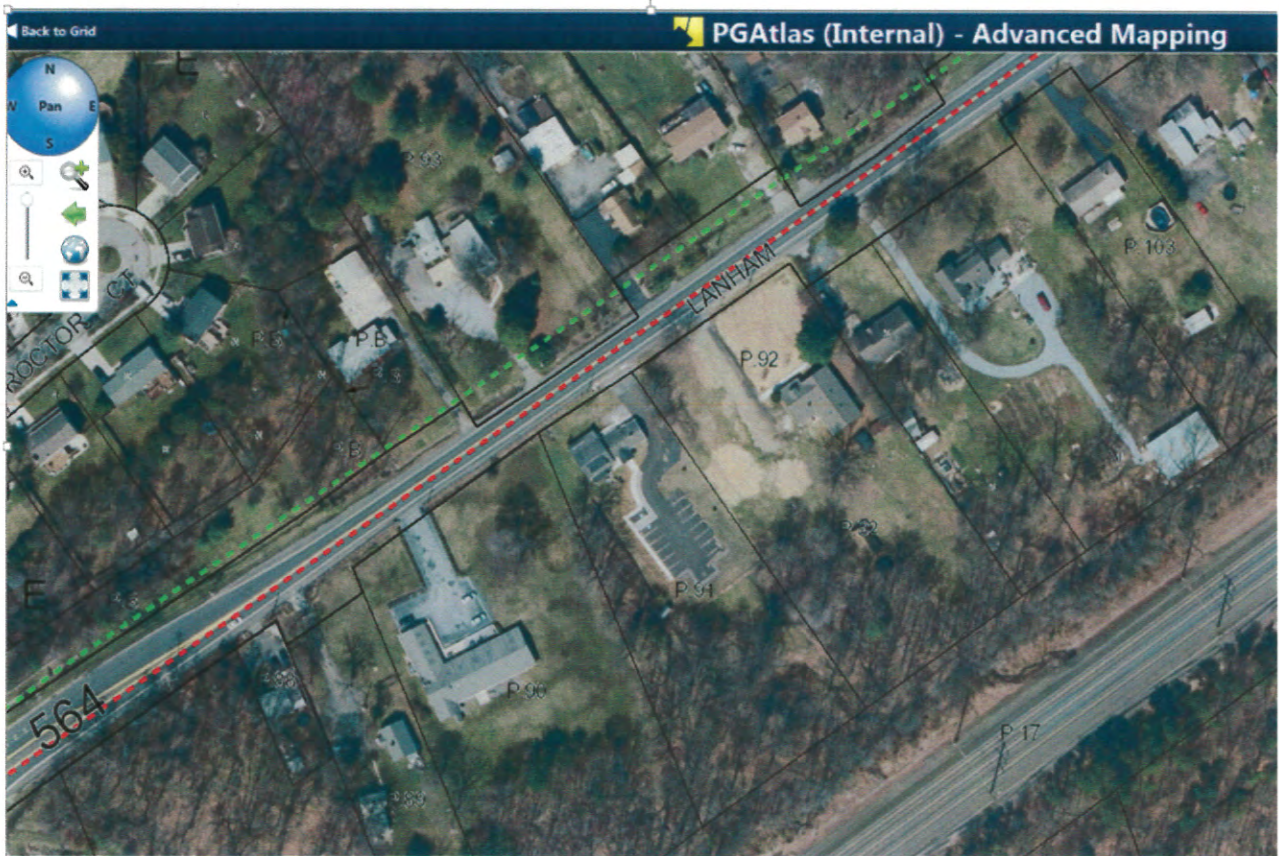
Conclusion and Revised Recommendations

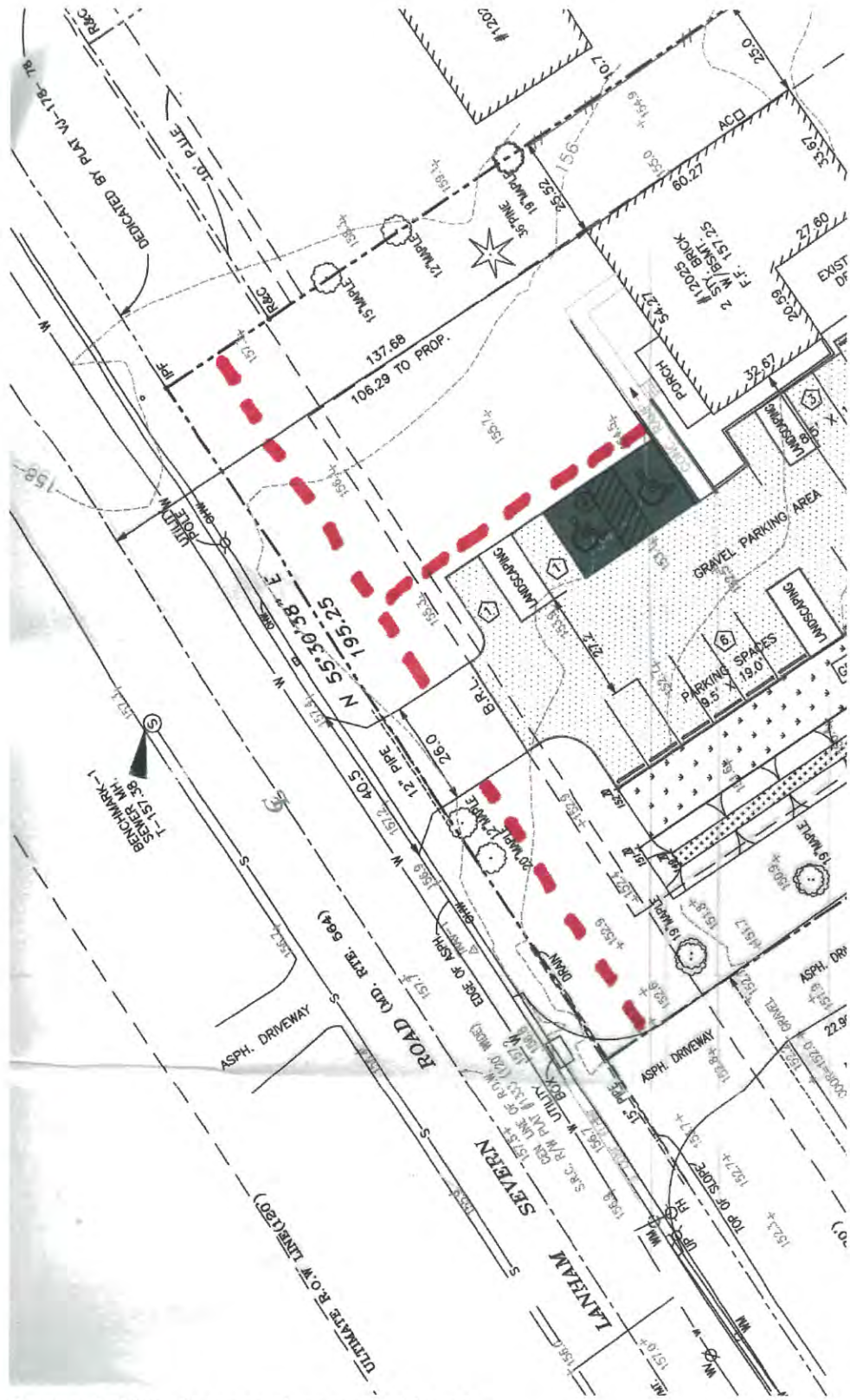
From the standpoint of non-motorized transportation, it is determined that this plan is acceptable, fulfills the intent of applicable master plans and functional plans, fulfills prior conditions of approval, and meets the finding required for a detailed site plan as described in Section 27-285 if the following conditions were to be placed.

- a. Provide a standard sidewalk along the subject site’s entire frontage of MD 564, unless modified by SHA.
- b. Provide one sidewalk connection from the public right-of-way and sidewalk along MD 564 to the building entrance.



Existing MD 564 has paved shoulders (with designated bike lanes at some locations) in the vicinity of the subject site.





Proposed sidewalk connections marked in red.

Thompson, Ivy

From: Pranoy Choudhury <PChoudhury@sha.state.md.us>
Sent: Thursday, September 17, 2015 8:51 AM
To: Thompson, Ivy
Cc: Masog, Tom
Subject: DSP-15009 - Redeemed Christian Church of God

Importance: High

SHA comments – The subject project is a change of Use from a single family residence use to a church. Since the project has a direct access on MD 564, SHA requires the applicant to provide a Trip generation study for review to SHA. If the number of trips for all uses (whether day care or worship purposes) during AM and Pm peak hour is found to be equal to or exceeds 50 trips, SHA will require the applicant to submit a Traffic Impact Study for review.

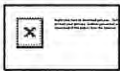
Pranoy Choudhury

MDOT - State Highway Administration

Regional Engineer Access Management, District 3

9300 Kenilworth Avenue, Greenbelt, MD

Voice - 301-513-7325



Maryland now features 511 traveler information!
Call 511 or visit: www.md511.org



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THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

Prince George's County Planning Department
Countywide Planning Division, Transportation Planning Section

(301) 952-3680
www.mncppc.org

September 17, 2015

MEMORANDUM

TO: Ivy Thompson, Zoning Section, Development Review Division
FROM: Eric Jenkins, Transportation Planning Section, Countywide Planning Division
VIA:  Tom Masog, Transportation Planning Section, Countywide Planning Division
SUBJECT: DSP-15009, Redeemed Christian Church of God

The Transportation Planning Section has reviewed the detailed site plan application referenced above. The site contains 1.86 acres in the R-R Zone. It is located on Lanham Severn Road (MD 564) and east of Springfield Road. The applicant is proposing a church.

Background

The site is subject to the general requirements of site plan review, which includes attention to parking, loading, on-site circulation, etc. A detailed site plan is required by Section 27-441(b) of the Zoning Ordinance which permits the use of buildings for churches. There are no underlying transportation conditions on the property.

Analysis

There is an existing single family residence on the site which was purchased by the church in 2012. The applicant proposes to continue using the building for a church with 120 seats. The applicant is seeking a use and occupancy permit. Paved parking will also be provided. Twenty-nine parking spaces are shown on the site plan along with two handicapped spaces.

Access is being provided by an existing driveway on Lanham Severn Road (MD 564). A twenty-six foot wide driveway is shown on the site plan along with paved parking. On-site parking and circulation is acceptable. The paved shoulder on MD 564 does not appear to be wide enough for any overflow parking from the church, plus the roadway has high speed traffic. Some consideration should be given to restricting parking on MD 564 in the vicinity of the church for traffic safety concerns. There are no sidewalks shown on the site plan other than a concrete ramp for handicapped access.

Lanham Severn Road is a collector roadway listed in the *Approved Master Plan for Bowie and Vicinity* with four lanes of traffic and 80 feet of right-of-way. No structures are shown within the master plan right-of-way.

Conclusion

From the standpoint of transportation, it is determined that this plan is acceptable and meets the finding required for a detailed site plan as described in Section 27-285.

MN
THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION



Prince George's County Planning Department
Community Planning Division

14741 Governor Oden Bowie Drive
Upper Marlboro, Maryland 20772
TTY: (301) 952-4366
www.mncppc.org/pgco
301-952-3972

September 8, 2015

MEMORANDUM

TO: Ivy Thompson, Urban Design, Development Review Division
VIA: Dave Green, Planning Supervisor, Central Section, Community Planning Division
FROM: Judy D'Ambrosi, Central Section, Community Planning Division
SUBJECT: **DSP-15009, Redeemed Christian Church of God**

DETERMINATIONS

This application is consistent with Plan Prince George's 2035 Approved General Plan policies for a Established Community.

This application is consistent with the 2006 Bowie and Vicinity Master Plan's policies for residential development.

BACKGROUND

Location: The property is located south of Lanham Severn Road, and east of Springfield Road.

Size: 1.86 acres

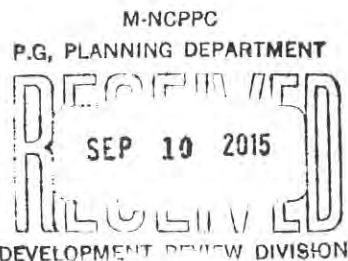
Existing Uses: An existing building (originally developed as a single family house) used as a church.

Proposal: The applicant is proposing that the existing building be used as a church (120 seats) and to allow for the construction of 30 required parking spaces.

GENERAL PLAN, MASTER PLAN, AND SMA

This application requires conformance with the applicable General or Master Plan. NO

General Plan: This site is located within a designated Established Community growth policy area. Plan 2035 describes Established Communities as areas appropriate for context-sensitive infill and low- to medium-density development and recommends maintaining and enhancing existing public services, facilities, and infrastructure to ensure that the needs of existing residents are met.



Master/Sector Plan: *The 2006 Approved Bowie and Vicinity Master Plan.*

Planning Area/

Community: Planning Area 71A

Land Use: Residential development.

Environmental: Refer to the Environmental Planning Section referral for comments on the environmental chapter of the *2006 Approved Bowie and Vicinity Master Plan* and the *2005 Approved Countywide Green Infrastructure Plan*.

Historic Resources: None identified

Transportation: Access is provided along Lanham Severn Road.

Public Facilities: None identified

Parks & Trails: None identified

Aviation/ILUC: The subject site does not fall within any aviation policy area or the Joint Base Andrews Land Use Control Impact area.

SMA/Zoning: The 2006 Bowie and Vicinity Sectional Map Amendment retained the R-R zone.

PLANNING ISSUES

There are no General Plan or Master Plan issues raised by this application.

cc: Ivy Lewis, Chief, Community Planning Division
Long-range Agenda Notebook



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
 14741 Governor Oden Bowie Drive
 Upper Marlboro, Maryland 20772

DATE: April 30, 2018
TO: Andree Green Checkley, Planning Director
VIA: Jill Kosack, Co-Chair, Alternative Compliance Committee
FROM: Andrew Bishop, Alternative Compliance Committee Member
PROJECT NAME: Redeemed Christian Church
PROJECT NUMBER: Alternative Compliance AC-17018
COMPANION CASE: Detailed Site Plan DSP-15009

ALTERNATIVE COMPLIANCE

Recommendation: **Approval** **Denial**

Justification: SEE ATTACHED

N. Andrew Bishop


 Reviewer's Signature

PLANNING DIRECTOR'S REVIEW

Final Decision **Approval** **Denial**

Recommendation **Approval** **Denial**

To Planning Board

To Zoning Hearing Examiner

Planning Director's Signature Andree Green Checkley 5/1/18

 Date

APPEAL OF PLANNING DIRECTOR'S DECISION

Appeal Filed:

Planning Board Hearing Date:

Planning Board Decision: **Approval** **Denial**

Resolution Number:

Alternative Compliance: AC-17018
Name of Project: Redeemed Christian Church
Underlying Case: Detailed Site Plan DSP-15009
Date: April 30, 2018

Alternative compliance is requested from the requirements of the 2010 *Prince George's County Landscape Manual* for Section 4.7, Buffering Incompatible Uses, along the eastern property line.

Location:

Parcel 92 is a 1.86-acre property located at 12025 Lanham Severn Road, on the south side of the road, approximately 3,300 feet north of its intersection with Springfield Road. The property is located within the geography previously designated as the Developing Tier and reflected on Attachment H(5) of the *Plan Prince George's 2035 Approved General Plan*, as found in Prince George's County Planning Board Resolution No. 14-10 (see County Council Resolution CR-26-2014, Revision No. 31).

The site is bounded to the north by Lanham Severn Road, with existing single-family detached dwellings in the Rural Residential (R-R) Zone beyond; to the east by a church in the R-R Zone; to the west by an existing single-family detached dwelling in the R-R Zone; and to the south by the existing Penn Central rail tracks and single-family dwellings in the Residential Suburban Development (R-S) Zone beyond.

Background:

The subject site is currently developed with an existing single-family dwelling in the R-R Zone. Detailed Site Plan DSP-15009 has been submitted for the conversion of the building to a 120-seat church on Parcel 92. The application is subject to Section 4.2 Requirements for Landscape Strips Along Streets; Section 4.3, Parking Lot Requirements; Section 4.4, Screening Requirements; Section 4.7, Buffering Incompatible Uses; and Section 4.9, Sustainable Landscaping Requirements, of the 2010 *Prince George's County Landscape Manual* (Landscape Manual) because it will involve the conversion of a single-family dwelling into a higher intensity use.

The applicant has filed this request for alternative compliance from Section 4.7, Buffering Incompatible Uses, for a reduction in the required building setback and landscape bufferyard width along the eastern property line, adjacent to a single-family dwelling on Parcel 2.

BUFFERYARD 3—REQUIRED: 4.7 Buffering Incompatible Uses, along the eastern property line, adjacent to Parcel 2

Length of bufferyard	345 feet
Minimum building setback	40 feet
Landscape yard width	30 feet
Fence or wall	Yes
Percent with existing trees	10%
Plant units (120 per 100 l. f.)	155*

*50 percent reduction credited for fence per Section 4.7(c)(4)(E)(ii)

BUFFERYARD 3—PROVIDED: 4.7 Buffering Incompatible Uses, along the eastern property line, adjacent to Parcel 2

Length of bufferyard	345 feet
Minimum building setback	25 feet
Landscape yard width	25 feet
Fence or wall	Yes, six-foot-high board-on-board
Percent with existing trees	10%
Plant units (120 per 100 l. f.)	155**

**Includes 40 plant units for 4 existing trees over 12 inches caliper

Justification of Recommendations:

The applicant requests alternative compliance from the Section 4.7, Buffering Incompatible Uses, requirements of the Landscape Manual. The application proposes a reduction in the required landscape buffer width, in addition to the building setback proposed along the eastern property line, due to space limitations.

The applicant has indicated that it would be difficult and impractical to provide the required building setback and landscape yard width, to allow for the full width of the Section 4.7 buffer, due to the location of the existing building.

A Section 4.7 Type C Bufferyard is required along the property's eastern property boundary, adjacent to an existing single-family home. This bufferyard requires a 40-foot building setback, a 30-foot-wide landscape yard, and 120 plant units for every 100 linear feet of property line, with 155 plant units with the provision of a fence. As an alternative to the normal requirements of Section 4.7, the landscape plan proposes to provide a minimum 25-foot building setback and a landscape yard that includes a 6-foot-high, sight-tight, board-on-board fence and 155 plant units, including 4 existing trees, 9 proposed shade trees, and 3 proposed evergreen trees. The applicant suggests that the landscaping proposed along the eastern property line, in addition to the six-foot-high, sight-tight, board-on-board fence, will provide an adequate visual barrier and will screen the adjacent single-family residence from the property. However, the calculations shown in the schedule do not reflect the preservation of the four existing trees located in the northeast area of the site. Therefore, the correct number of existing plant materials should be revised, along with other technical plan corrections, as included in the Recommendation section of this report.

Recommendation:

The Alternative Compliance Committee recommends APPROVAL of alternative compliance for Section 4.7, Buffering Incompatible Uses, of the 2010 *Prince George's County Landscape Manual*, for Redeemed Christian Church, subject to the following conditions:

1. Prior to certification, the following revisions shall be made to the site plan:
 - a. Clearly show the location and dimension of the landscape bufferyards and landscape strips on the site plan.

- b. Recalculate the Section 4.7 bufferyard on the eastern property line in accordance with the 2010 *Prince George's County Landscape Manual* to reflect the appropriate measurements, and required and provided plant units.

October 9, 2015

MEMORANDUM

TO: Ivy Thompson, Urban Design Section

VIA: Whitney Chellis, Subdivision Section *WC*

FROM: William Mayah, Subdivision Section *WM*

SUBJECT: Redeemed Christian Church of God, DSP-15009

The subject property is composed of Parcel 92, a deed-parcel recorded in Liber 33962 at Folio 60 of the County Land Records on June 23, 2003. Parcel 92 has never been the subject of the preliminary plan of subdivision or final plat. The property is located on Tax Map 28 in Grid E-4, and is approximately 1.86 acres. The site is currently improved with one single-family dwelling and accessory structures. The site has frontage on Lanham Severn Road (MD 564) which is designated as an 80-foot-wide master plan collector. The plan should be revised to reflect an 80-foot-wide master plan right-of-way, instead of a 120-foot-wide master plan right-of-way. The purpose of this DSP is to construct a parking lot for an existing church. No change in gross floor area (GFA) is proposed, however the existing and proposed GFA is not provided on the plan and should be. Additionally, PG Atlas aerials indicate that additional accessory structures exist on the property which should be calculated at existing GFA. Prior to approval of the DSP the existing structures should be shown on the plan and labeled as "to remain" or "to be removed."

Pursuant to Section 24-107(c)(7)(C) of the Subdivision Regulations, a site is exempt from the requirement of filing a preliminary plan of subdivision (PPS) and final plat if the development proposed is in addition to a development in existence prior to January 1, 1990, and does not exceed five thousand (5,000) square feet of gross floor area. A review of aerial imagery via PG Atlas confirms that the site was developed with additional GFA after January 1, 1990. Therefore, in order to demonstrate conformance with Section 24-107(c)(7)(C), prior to approval of the DSP the applicant must provide a GFA Tabulation which provides the GFA on site on January 1, 1990 and the date of construction and size of all subsequent additions afterward. Any development in excess of 5,000 square feet of GFA above development in existence prior to January 1, 1990 will require approval of a PPS and final plat prior to building permits.

The Subdivision Section recommends the following:

- I. Prior to approval of the DSP, the following corrections should be required:
 - a) Reflect an 80-foot-wide master plan right-of-way, instead of a 120-foot-wide master plan right-of-way.

- b) Show all existing GFA on the site on the plan and label each structure as “to remain” or “to be removed.”
2. Prior to approval of the DSP, the applicant shall provide a GFA Tabulation which provides the GFA on site on January 1, 1990 and the date of construction and size of all subsequent additions afterward.

Additional comments may be generated once the required information is provided.

September 11, 2015

MEMORANDUM

TO: Ivy Thompson, Senior Planner, Urban Design Section

FROM: John Ferrante, Acting Planner Coordinator, Permit Review Section *992*

SUBJECT: Referral Comments for DSP-15009, Redeemed Christian Church of God

The Permit Review Section has reviewed the submitted plans and offers the following comments for your consideration:

1. The lot coverage calculations provided in General Note 4(N) should be revised to include all structures and driveway surfaces. Currently, only the area of the dwelling is included in the lot coverage calculations. This note should also include the maximum amount of lot coverage that is permitted on the property, as well as the amount of lot coverage that is proposed.
2. The square footage of the dwelling that is provided in the lot coverage calculations does not appear to include the entire footprint of the building.
3. The four accessory buildings on the submitted topographic survey are not shown on the submitted detailed site plan. These structures also appear on 2014 aerial photos. If these structures are proposed to be removed they should be reflected on the plan and labeled as "to be removed". Any accessory structures that will remain on the site should be included in the lot coverage calculations.
4. One of the accessory buildings is labeled as a carport on the topographic survey. If the carport will remain on the site and be used for parking purposes it must be served by a driveway.
5. A landscape plan was not included in the referral package that addresses the requirements of the 2010 Prince George's County *Landscape Manual*.
6. No signage information was included in the referral package.
7. The overall height of the building should be provided on the site plan.
8. The square footage of the parking compound should be provided on the plan as well as the square footage of each interior green island.

9. The height of all fences should be labeled on the site plan.
10. The site plan should clarify what structures are existing and what is proposed.



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

14741 Governor Oden Bowie Drive
Upper Marlboro, Maryland 20772
www.mncppc.org/pgco

Countywide Planning Division
Environmental Planning Section
301-952-3650

April 6, 2018

MEMORANDUM

TO: Ivy Thompson, Senior Planner, Zoning Section
VIA: Katina Shoulars, Supervisor, Environmental Planning Section
FROM: Marc Juba, Senior Planner, Environmental Planning Section
SUBJECT: Redeemed Christian Church; DSP-15009 and TCP2-029-16

Handwritten notes:
K
S
For MNS

The Environmental Planning Section has reviewed the above referenced Detailed Site Plan and Type 2 Tree Conservation Plan received by the Environmental Planning Section on March 7, 2018. The Environmental Planning Section recommends approval of DSP-15009 and TCP2-029-16 with the following conditions that can be found at the end of this memo.

Background

the Environmental Planning Section signed a Natural Resource Inventory, NRI-144-14, for the project area on September 10, 2010 and this site had a Numbered Woodland Conservation Exemption letter E-025-12-01, which was valid until September 10, 2016. Recently, the Natural Resource Inventory was revised (NRI-144-14-01) and approved on June 24, 2016 to reflect the location of all regulated environmental features on the property.

Proposed Activity

The current application is for a new use and occupancy permit for a church with 120 seats, which will require the construction of an additional 30 parking spaces. No exterior building changes are proposed.

Grandfathering

The project is subject to the current regulations of Subtitles 25 and Subtitle 27 that came into effect on and September 1, 2010 and February 1, 2012 because the application is for a new Detailed Site Plan.

Site Description

The 1.86 acres site in the R-R zone is located on the southern side of Lanham Severn Road (Maryland Route 564) approximately 760 feet to the east of the intersection with Driscoll Drive. Wooded areas are concentrated principally along the southwestern half of the property. According to mapping research and as documented with the approved NRI, regulated environmental features, which include wetlands, a stream, associated buffers, and primary management area (PMA) are found on the property. Based on available information it does not appear that steep slopes or areas of 100-year floodplain occur onsite. This site is within the Horsepen Branch sub-watershed, which is a stronghold watershed that flows into the Patuxent River basin. The entire site is within an area designated as a Tier II Catchment Area

according to the Maryland Department of Environment (MDE). The predominant soils found to occur on-site, according to the US Department of Agriculture (USDA) Natural Resource Conservation Service (NRCS) Web Soil Survey (WSS), include Russett-Christiana-Urban complex (0-5% slopes). According to available information Marlboro clay is not present onsite; however, Christiana complexes are found on this property. According to the Sensitive Species Project Review Area (SSSPRA) map prepared by the Maryland Department of Natural Resources Natural Heritage Program, there are no rare, threatened, or endangered (RTE) species mapped to occur on or in the vicinity of this property. The site does not share frontage with any scenic or historic roads. The site is currently located within Environmental Strategy Area 2 (formerly the Developing Tier) of the Regulated Environmental Protection Areas Map as designated by Plan Prince George's 2035 Approved General Plan. This site is also located within the 2006 Approved Master Plan & Sectional Map Amendment for Bowie & Vicinity. According to the approved Countywide Green Infrastructure Plan, the site contains no Regulated, Evaluation and Network Gap Areas within the designated network of the plan.

Environmental Review

As revisions are made to the plans submitted, the revision boxes on each plan sheet shall be used to describe what revisions were made, when, and by whom.

Natural Resource Inventory/Environmental Features

An approved Natural Resources Inventory was submitted with the application, NRI-114-14-01, which was approved on June 24, 2016. There is a Primary Management Area (PMA) comprised of wetlands, wetlands buffer and stream buffer that extends across a small portion of the southern side of the site. No areas of 100-year floodplain occur onsite. This site contains 0.47 acres of woodlands on-site.

This site is within a Tier II Catchment Area. The Soil Conservation District (SCD) of Prince George's County may require an expanded buffer/setback from the on-site stream at the time of review of the grading, erosion and sediment control plan.

No additional information is required regarding the NRI.

Woodland Conservation

This site is subject to the provisions of the Prince George's County Woodland and Wildlife Habitat Conservation Ordinance (WCO). A Type 2 Tree Conservation Plan (TCP2-029-16) was submitted with the current application.

The associated worksheet on the submitted TCP2 shows that the site has a woodland conservation threshold of 15 percent and a woodland conservation requirement of 0.29 acres; however, the correct threshold for land zoned R-R is 20 percent. Upon review of the proposal with the official woodland conservation worksheet and the correct zoning, the woodland conservation requirement is 0.38 acres. Because the applicant proposes to preserve 0.45 acres of woodland conservation which is more than the requirement, conformance with the Woodland Conservation Ordinance can be satisfied with a condition to revise the worksheet.

The plans require other minor technical revisions to demonstrate compliance with the WCO and the requirements of the Environmental Technical Manual, which are summarized in the following recommended conditions.

Recommended Condition: Prior to signature of the TCP2, the following revisions to the TCP2 shall be as follows:

- a. Revise the worksheet to show the correct zoning of the property as R-R.
- b. Add the symbols used to represent the wetland buffer and intermittent stream into the legend.
- c. Add a column to the Specimen Tree table to indicate that Specimen Tree#1 is to be saved.
- d. Add the TCP2 Approval Block to each sheet of the TCP2 with the TCP2 number included.
- e. Remove the forest stand summary table from the TCP2.
- f. Identify the location of Specimen Tree#1 on the plan with its critical root zone in accordance with approved NRI-144-14-01.

Recommended Condition: Prior to the signature of the TCP2, the required woodland conservation easement documents shall be prepared and submitted to the Environmental Planning Section (EPS) for review by the Office of law, and submitted for recordation to the Office of Land Records. The following note shall be added to the standard Type 2 Tree Conservation Plan notes on the plan as follows:

“Woodlands preserved, planted, or regenerated in fulfillment of on-site woodland conservation requirements have been placed in a Woodland and Wildlife Habitat Conservation Easement recorded in the Prince George’s County Land Records at Liber ____ Folio _____. Revisions to this TCP2 may require a revision to the recorded easement.”

Recommended Condition: Prior to the issuance of the first grading permit, copies of the recorded easement documents with the liber and folio shall be provided to the Environmental Planning Section, and the liber and folio of the recorded woodland conservation easement shall be added to the TCP2.

Primary Management Area (PMA) Impacts

The Zoning Ordinance requires that the Planning Board finds: “...the site plan demonstrates the preservation and/or restoration of the regulated environmental features in a natural state to the fullest extent possible” (27.239.02 (a)(6)(A)(iii)).

Impacts to regulated environmental features must first be avoided and then minimized. If impacts to the regulated environmental features are proposed, a statement of justification must be submitted in accordance with Section 27.239.02 (a)(6)(A)(iii) of the Subdivision Regulations. The justification must address how each impact has been avoided and/or minimized.

A letter of justification for the proposed impacts was date stamped as received on March 16, 2017. The on-site Primary Management Area (PMA) is comprised of a stream, wetland, and associated. The letter requests validation of 45 square feet (.001 acres) of impacts to the wetland buffer for a necessary outfall to safely convey stormwater to the stream. Staff supports this proposed impact because it is necessary for the proposed development to occur.

Recommended Finding: The regulated environmental features on the subject property to have been preserved and/or restored to the fullest extent possible.

Soils

The predominant soils found to occur on-site, per the US Department of Agriculture (USDA) Natural Resource Conservation Service (NRCS) Web Soil Survey (WSS), include Russett-Christiana-Urban complex (0-5% slopes). Marlboro clay is not identified on the property; however, Christiana complexes are known to occur onsite. Because this is an urban land mix and there are no additional building structures

proposed, there are no development restrictions of concern as it relates to this application.

This information is provided for the applicant's benefit. The county may require a soils report in conformance with CB-94-2004 during the building permit process review.

Stormwater Management

An approved Stormwater Management Concept plan and approval letter was submitted with the subject application (concept approval #16074-2014-01). The approved concept shows the use of (2) two micro-bioretenion areas which will ultimately drain into the stream adjoining the property to the south.

Comment: No revisions are required for conformance with the approved Stormwater Management Concept.

Summary of Recommended Findings and Conditions

The Environmental Planning Section recommends approval of Detailed Site Plan, DSP-16057 subject to the following finding and condition:

Recommended Finding:

1. The regulated environmental features on the subject property to have been preserved and/or restored to the fullest extent possible.

Recommended Conditions:

1. Prior to signature of the TCP2, the following revisions to the TCP2 shall be as follows:
 - a. Revise the worksheet to show the correct zoning of the property as R-R.
 - b. Add the symbols used to represent the wetland buffer and intermittent stream into the legend.
 - c. Add a column to the Specimen Tree table to indicate that Specimen Tree#1 is to be saved.
 - d. Add the TCP2 Approval Block to each sheet of the TCP2 with the TCP2 number included.
 - e. Remove the forest stand summary table from the TCP2.
 - f. Identify the location of Specimen Tree#1 on the plan with its critical root zone in accordance with approved NRI-144-14-01.
2. Prior to the signature of the TCP2, the required woodland conservation easement documents shall be prepared and submitted to the Environmental Planning Section (EPS) for review by the Office of law, and submitted for recordation to the Office of Land Records. The following note shall be added to the standard Type 2 Tree Conservation Plan notes on the plan as follows:

“Woodlands preserved, planted, or regenerated in fulfillment of on-site woodland conservation requirements have been placed in a Woodland and Wildlife Habitat Conservation Easement recorded in the Prince George’s County Land Records at Liber ____ Folio _____. Revisions to this TCP2 may require a revision to the recorded easement.”
3. Prior to the issuance of the first grading permit, copies of the recorded easement documents with the liber and folio shall be provided to the Environmental Planning Section, and the liber and folio of the recorded woodland conservation easement shall be added to the TCP2.

Redeemed Christian Church of God, DSP-15009 and TCP2-029-16
Page 5

If you have any questions concerning these comments, please contact me at 301-952-3650 or by e-mail at marc.juba@ppd.mncppc.org.

MNJ:ks

Thompson, Ivy

From: Labban, Mohamad J <MJLabban@co.pg.md.us>
Sent: Tuesday, March 20, 2018 5:25 PM
To: Thompson, Ivy; Juba, Marc; Shoulars, Katina
Cc: Giles, Mary C.; De Guzman, Reynaldo S.; Tarr, John; Schneider, Alwin
Subject: RE: Referral: DSP-15009 Redeemed Church

Importance: High

Dear Park & Planning Personnel,

Thank you for your inquiry. A similar response was forwarded yesterday to Ms. Jacobs, and this may be the last time we respond to an inquiry about a site that has **no combination of steep slopes** (steeper than 5H:1V) and **Marlboro or Christiana Clay** in it or just outside its property lines. As you know, steep slopes are depicted on PG Atlas as **dark pink**, which stand for 25% (4H:1V) or steeper. The subject site has no such combo. The tiny steep slope southeast of the property is NOT between the site and the creek but on the other side of the creek, between the creek and the elevated rail-road.

Slope Stability – As PG Atlas map indicates, this is a site with no steep slope so slope stability is not an issue. “Slope stability” is not to be confused for stability against surface erosion, which is the domain of the County Soil Conservation Dist. (SCD).

Foundations – The soil group on this particular DSP-15009 site is “RuB”:

Dwellings With Basements — Summary by Map Unit — Prince George's County				
Map unit symbol	Map unit name	Rating	Component name (percent)	Rating reasons (numeric values)
RuB	Russett- Christiana- Urban land complex , 0 to 5 percent slopes	Very limited	Russett (30%)	Depth to saturated zone (1.00)
			Christiana (30%)	Depth to saturated zone (1.00)

Christiana Clay on this site is “**Urban Land Complex**” which means that about 50% of it had been severely disturbed and altered (The site had been first graded & developed before 1938 most likely as a residence, and a parking area was added between 1993 & 1998. The site got redeveloped between 2011 & 2014, per PG Atlas aerial photos, by grading a larger area than originally graded and constructing a big church). Christiana Clay may or may not be encountered at the foundations’ bearing level.

If Christiana or any highly plastic soil (LL/PI > 40/20) is found at or near the bearing level of the planned footings, or if an existing structure had experienced footings' problem, the new footings shall be placed at the exact depth recommended by the Applicant's Geotechnical engineer (typically about 4 ft below the lowest external grade around the house) so they are below the zone of moisture fluctuations. Additionally, these 2 requirements shall be implemented:

1. Footings' bottom shall be reinforced with at least **2 rebars** to resist the uplift forces, per the Building Code, of the highly plastic soil. The forces are to be determined by the Applicant's Geotechnical Engineer, and the rebar size can be determined by his Structural Engineer. (Bldg. Code numbers & details are available from our Building Review Division).
2. Footings' excavations shall be sealed with at least a **12" thick CL clay lift** to deter water from infiltrating through the excavations' backfill and transferring the zone of moisture fluctuations to the bottom of the new footings.

SWM devices – Unless a full Geotechnical investigation is conducted to delineate in 3-D or disprove the presence of Christiana Clay or Marlboro Clay, infiltration into a ground with such soils is NOT permitted, proposed SWM devices must have a liner (12" Clay liner for ponds, and geo-synthetic liner for bio-retention ones), and their outfall shall extend to the bottom of Marlboro Clay (per PG Atlas) or to the nearest non-ephemeral creek that does not dry up.

M.J. Labban

Chief of Geotechnical Review
Site/Road Review Division



PRINCE GEORGE'S COUNTY

9400 Peppercorn Pl, # 230 | Largo, MD 20774 | (301) 636-2060

From: Thompson, Ivy [mailto:ivy.Thompson@ppd.mncppc.org]
Sent: Tuesday, March 20, 2018 12:40 PM
To: Juba, Marc; Tarr, John; Labban, Mohamad J
Cc: Shoulars, Katina
Subject: RE: Referral: DSP-15009 Redeemed Church

Good afternoon:

It will be GREATLY appreciated by me if comments can be provided by COB on Thursday, March 22nd. If there are any major issues I must notify the applicant by Friday, prior to Monday's scheduled site posting. This case is scheduled for posting on March 26th for an April 26th Planning Board Hearing date.

Regards,

Ivy Thompson

Ivy R. Thompson | Development Review Division | Maryland-National Capital Park and Planning Commission: Prince George's County Planning Department | 14741 Governor Oden Bowie Drive | Upper Marlboro, MD 20772 | Direct Line: **301.952.4326** | General: 301.952.3530 www.mncppc.org/pgco/

From: Juba, Marc
Sent: Tuesday, March 20, 2018 11:25 AM
To: jtarr@co.pg.md.us; Labban, Mohamad J <MJLabban@co.pg.md.us>
Cc: Shoulars, Katina <Katina.Shoulars@ppd.mncppc.org>; Thompson, Ivy <Ivy.Thompson@ppd.mncppc.org>
Subject: Referral: DSP-15009 Redeemed Church

Good Morning John and MJ:

A Detailed Site Plan application has been accepted for review for DSP-15009, Redeemed Church, located at 12025 Lanham Severn Road, Bowie, Prince George's County. According to the NRCS soils layer the site is associated with soils containing Christiana Complexes. The site is also associated with a stream within a Tier II Catchment Area.

DPIE: Please email us with your position on the proposed development with regards to the Christiana Complexes on-site.

SCD: Please email us with your position on the proposed development with regards to the Christiana Complexes on-site. Please also send correspondence regarding whether or not an expanded buffer is required for the existing stream on-site.

The project manager for this case is Ivy Thompson. Please send all correspondence to her at Ivy.Thompson@ppd.mncppc.org .

Please use the following Dropbox Link below to reference the TCP2, approved SWM Concept Plan, and Detailed Site Plan.

<https://www.dropbox.com/sh/qmd84p610whwity/AAA596UGyFx30CclrYLNl30a?dl=0>



DSP-15009 Redeemed Christian Church

www.dropbox.com

Shared with Dropbox

Thank you in advance for your time and assistance in this matter.

Sincerely,

Marc Juba

Marc Juba, Senior Planner
Environmental Planning Section
Prince George's Planning Department
The Maryland-National Capital Park and Planning Commission
9400 Peppercorn Place
Suite 230
Largo, MD 20774
Office: (301) 883-3239
Marc.Juba@ppd.mncppc.org

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Rushern L. Baker, III
County Executive

THE PRINCE GEORGE'S COUNTY GOVERNMENT
Department of Permitting, Inspections and Enforcement
Site/Road Plan Review Division



MEMORANDUM

October 15, 2015

TO: Ivy Thompson, Senior Planner, Zoning Section
Development Review Division, M-NCPPC

FROM: Mary C. Giles, P.E. Associate Director
Site/Road Plan Review Division, DPIE *mg*

RE: Redeemed Christian Church of God
Detailed Site Plan No. DSP-15009

M-NCPPC
P.G. PLANNING DEPARTMENT
RECEIVED
OCT 15 2015
DEVELOPMENT REVIEW DIVISION

In response to the Detailed Site Plan No. DSP-15009 referral, the Department of Permitting, Inspections and Enforcement (DPIE) offers the following:

- The property is located on the south side of Lanham Severn Road, northeast of Springfield Road. Lanham Severn Road is a State of Maryland maintained roadway; therefore, coordination with the Maryland State Highway Administration (SHA) is required.
- A soils investigation report which includes subsurface exploration and geotechnical engineering evaluation for the proposed buildings and environmental site design (ESD) is required.
- All storm drainage systems and facilities are to be in accordance with DPIE's Standards and Specifications.
- The proposed Detailed Site Plan is consistent with the approved Stormwater Management Concept Plan No. 16074-2014, dated March 23, 2015.

This memorandum incorporates the Site Development Plan Review pertaining to Stormwater Management (County Code 32-182(b)). The following comments are provided pertaining to this approval phase:

- a) Final site layout, exact impervious area locations are shown on plans.
- b) Exact acreage of impervious areas has been provided.

Ivy Thompson
October 15, 2015
Page 2

- c) Proposed grading is shown on concept plans.
- d) Delineated drainage areas at all points of discharge from the site have been provided.
- e) Stormwater volume computations have been provided.
Provide best management practices (BMP) summary table to define ESD target volumes and ESD provided volumes for entire limit of disturbance (LOD).
- f) Erosion/sediment control plans that contain the construction sequence, and any phasing necessary to limit earth disturbances and impacts to natural resources, and an overlay plan showing the types and locations of ESD devices and erosion and sediment control practices are not included in the submittal.
- g) A narrative in accordance with the code has been provided.

Please submit any additional information described above for further review, at the time of permit.

If you have any questions or need additional information, please contact Mr. Steve Snyder, District Engineer for the area, at 301.636.2060.

cc: Steve Snyder, P.E., District Engineer, S/RPRD, DPIE
Deming Chen, P.E, Engineer, S/RPRD, DPIE
Janaye Coggins, Engineer, S/RPRD, DPIE
Redeemed Christian Church, 12025 Lanham Severn Road Bowie,
Maryland 20720
AAH Consultants, LLC, 4200 Forbes Boulevard, Suite 203,
Lanham, Maryland, 20706

THE PRINCE GEORGE'S COUNTY GOVERNMENT



Department of Permitting, Inspections and Enforcement

Site/Road Plan Review Division

9400 Peppercorn Place, Suite 420

Largo, Maryland 20774

(301) 883-5710



STORMWATER MANAGEMENT CONCEPT APPROVAL

CASE NAME: BOWIE_REDEEMED CHRISTIAN CHURCH OF GOD CASE #: 16074-2014-01
APPLICANT'S NAME: KOYE J. OKANLAWON
ENGINEER : AAH CONSULTANTS LLC

REQUIREMENTS:

Technical Review is required for PUBLIC/PRIVATE Storm Drain/SWM Construction.

Type of Storm Drainage/SWM Construction is PRIVATE.

These additional approvals are required: None.

These fees apply: REVIEW, FEE-IN-LIEU.

These bonds apply: None.

Required water quality controls: SEE CONDITION 1.

Required water quantity controls: None.

No maintenance agreement is required.

No special conditions apply.

Required easements: None.

**Storm Water Management fee payment of \$3,744.00 in lieu of providing on-site attenuation/quality control measures.
(Fee-In-Lieu subject to change during technical review.)**

CONDITIONS OF APPROVAL:

1. WATER QUALITY REQUIREMENTS: BIO-SWALES, ROOFTOP DISCONNECT.
 2. ALL STORM DRAIN OUTFALLS TO HAVE STEPPED RIP-RAP PLUNGE POOLS.
 3. COORDINATE WITH SHA FOR RIGHT-OF-WAY DEDICATION AND FRONTAGE IMPROVEMENTS.
 4. SITE DEVELOPMENT FINE GRADING PERMIT REQUIRED.
 5. REVISION TO CONCEPT TO RELOCATE SD OUTFALL TO OUTFALL AT DEFINED WATERCOURSE AND ADD RIP-RAP AT SD OUTFALL.
- SUPERSEDES PREVIOUS APPROVAL DATED 03-23-15.
REVIEWED BY JAC.

APPROVED BY:

Rey De Guzman

APPROVAL DATE: May 18, 2017
EXPIRATION DATE: March 23, 2018

FOR OFFICE USE ONLY

ADC MAP:	5412 C-1	200' SHEET:	210NE11
STREET NAME:	LANHAM SEVERN RD		
WATERSHED:	02-Horsepen Branch		
NUMBER OF DU'S:	0	COST PER DWELLING:	0

Thompson, Ivy

From: Kashe, Richard G. <RGKashe@co.pg.md.us>
Sent: Thursday, September 03, 2015 11:27 AM
To: Thompson, Ivy
Cc: Devaney, Brendan E.; Ervin, Erika J.; Edelen, William K.
Subject: 12025 Lanham Severn Rd, Redeemed Christian Church of God, DSP-15009
Attachments: 20150902_090115_resized_2.jpg; 20150902_085831_resized_2.jpg; 20150902_085855_resized_2.jpg

Ms. Thompson,

After visiting the site and meeting with DPIE inspectors, here are some points reference this case.

- I noticed cracks in the foundation on the church addition (see pictures).
- DPIE inspectors told me there is a court order not to use the building for church services because they do not have a Use and Occupancy permit (UNO).
- I am curious as to whether a sprinkler system was installed when the addition was constructed.
- A neighbor, who lives across the street, approached me and said when the church has been in session the music has been very loud. The house on the property to the left of the addition is very close to the property line (even though the 25 foot setback from the property line - section 27-441 (b), was met).
- FYI, located on the lot to the right of 12025 at 12007 is another residential property converted into a church.

Corporal Richard G. Kashe #2357
Prince George's County Police Department
Bureau of Patrol / Community Services
(240) 429-5431 (cell)
(301) 909-7126 (office)

1 - 1 - WSSC Plan Review Comments

Created by: Mary Mapes
On: Wednesday, September 23, 2015 10:11:16 AM

WSSC Plan Review Comments
DSP-15009 - Redeemed Christian Church of God

----- 0 Replies -----

2 - 2 - WSSC Standard Comments for all Plan Reviews

Created by: Mary Mapes
On: Wednesday, September 23, 2015 10:11:56 AM

1. WSSC comments are made exclusively for this plan review based on existing system conditions at this time. We will reevaluate the design and system conditions at the time of application for water/sewer service.
2. Coordination with other buried utilities:
 - a. Refer to WSSC Pipeline Design Manual pages G-1 and G-2 for utility coordination requirements.
 - b. No structures or utilities (manholes, vaults, pipelines, poles, conduits, etc.) are permitted in the WSSC right-of-way unless specifically approved by WSSC.
 - c. Longitudinal occupancy of WSSC rights-of-way (by other utilities) is not permitted.
 - d. Proposed utility crossings of WSSC pipelines or rights-of-way that do not adhere to WSSCs pipeline crossing and clearance standards will be rejected at design plan review. Refer to WSSC Pipeline Design Manual Part Three, Section 3.
 - e. Failure to adhere to WSSC crossing and clearance standards may result in significant impacts to the development plan including, impacts to proposed street, building and utility layouts.
 - f. The applicant must provide a separate Utility Plan to ensure that all existing and proposed site utilities have been properly coordinated with existing and proposed WSSC facilities and rights-of-way.
 - g. Upon completion of the site construction, utilities that are found to be located within WSSCs rights-of-way (or in conflict with WSSC pipelines) must be removed and relocated at the applicants expense.
3. Forest Conservation Easements are not permitted to overlap WSSC existing or proposed easements. Potential impacts to existing Forest Conservation Easements (due to proposed water and/or sewer systems) must be reviewed and approved by County staff.
4. Unless otherwise noted: ALL extensions of WSSCs system require a request for Hydraulic Planning Analysis and need to follow the System Extension Permit (SEP) process. Contact WSSCs Development Services Center at (301-206-8650) or visit our website at [www.wsscwater.com/Development Services](http://www.wsscwater.com/Development%20Services) for requirements. For information regarding connections or Site Utility (on-site) reviews, you may visit or contact WSSCs Permit Services at (301) 206-4003.

----- 0 Replies -----

3 - Proposed WHC

Created by: Kurt Westendorf
On: Wednesday, September 23, 2015 11:45:20 AM

Add the proposed pipeline alignment(s) with water house connection(s) to the plan. Additionally, if easements are required, their limits and locations must be shown.

----- 0 Replies -----

4 - Avoidance of other features

Created by: Kurt Westendorf
On: Wednesday, September 23, 2015 11:48:05 AM

Realign water and/or service connection(s) to avoid environmental, storm water management facilities, other utilities, landscaping, tree boxes and structures or paving impacts for future maintenance.

----- 0 Replies -----

5 - Existing Utility labelling

Created by: Kurt Westendorf
On: Wednesday, September 23, 2015 11:49:58 AM

Existing mains shown on plan should be labeled with correct pipe size, material and WSSC contract number.

----- 0 Replies -----

6 - Existing mains ROW

Created by: Kurt Westendorf
On: Wednesday, September 23, 2015 11:52:59 AM

Show right-of-way limits on plan for all existing and proposed water and sewer mains.

----- 0 Replies -----

7 - Proposed SHC

Created by: Kurt Westendorf
On: Wednesday, September 23, 2015 11:51:53 AM

Add the proposed pipeline alignment(s) with sewer house connection(s) to the plan. Additionally, if easements are required their limits and locations must be shown.

----- 0 Replies -----

8 - Easements

Created by: Kurt Westendorf
On: Wednesday, September 23, 2015 11:55:58 AM

WSSC easements must be free and clear of other utilities, including storm drain systems, with the exception of allowed crossings designed in accordance with the WSSC Pipeline Design Manual. Under certain conditions (and by special request) storm drains may be permitted within the WSSC easement. However, this will be evaluated on a case by case basis and if allowed, will require execution of a special agreement between WSSC and the developer.

----- 0 Replies -----

9 - Easements

Created by: Kurt Westendorf
On: Wednesday, September 23, 2015 11:56:46 AM

WSSC's minimum easement width for a normal (14-inch diameter or less) pipeline (water or sewer at normal depth) is 20-feet. When both water and sewer (normal diameter and depth) are installed in the same easement, the minimum width is 30-feet. Installation of deep or large water/sewer will require additional easement width.

----- 0 Replies -----

10 - Sediment Control

Created by: Kurt Westendorf
On: Wednesday, September 23, 2015 11:58:00 AM

Water and/or sewer alignments must be located a minimum 50-feet from sediment control traps that: drain 10 or more acres, basins, or water retention ponds. Alignments not meeting the 50-foot clearance require approval by the WSSC Environmental Group and will be considered on a case-by-case basis.

----- 0 Replies -----

11 - PRV

Created by: Kurt Westendorf
On: Wednesday, September 23, 2015 1:28:42 PM

A Pressure reducing valve (PRV) may be necessary for structures with elevations below 200'.

----- 0 Replies -----

12 - Wetlands

Created by: Kurt Westendorf
On: Wednesday, September 23, 2015 1:37:38 PM

Conflicts with general site note #12.

----- 0 Replies -----

13 - Disturbance of WSSC mains or ROW

Created by: Kurt Westendorf
On: Wednesday, September 23, 2015 1:39:31 PM

Any grading, change in pipe loading (including but not limited to proposed fill or excavation), adjustment to manhole rims, fire hydrant relocations, placement of access roads or temporary haul roads, temporary sediment control devices, paving construction or construction related activity of any kind over an existing WSSC water or sewer main or within an existing WSSC right-of-way requires advance approval by WSSC. Any proposed public street grade establishment plan (GEP) with an existing WSSC water or sewer main of any size located within the existing or proposed public street right-of-way requires WSSC approval directly on the original GEP prior to approval of the GEP by the County Department of Public Works and Transportation. Any work (design, inspection, repair, adjustment, relocation or abandonment of existing WSSC facilities) is done at the sole expense of the applicant/builder/developer. Contact WSSC Relocations Unit at (301) 206-8672 for review procedures and fee requirements.

----- 0 Replies -----

14 - Existing connections

Created by: Kurt Westendorf
On: Wednesday, September 23, 2015 1:40:35 PM

Show and label all existing nearby water and/or sewer service connections that may be impacted by the proposed development.

----- 0 Replies -----

15 - PUE

Created by: Kurt Westendorf
On: Wednesday, September 23, 2015 1:41:49 PM

WSSC facilities/structures cannot be located within a public utility easement (PUE) however WSSC pipelines may cross over a PUE. Show any pipeline, valve, fire hydrant, meter vault and

any other WSSC facilities/structures outside of the PUE.

----- 0 Replies -----

16 - Sewer service to building

Created by: Kurt Westendorf

On: Wednesday, September 23, 2015 2:45:31 PM

Based on elevations taken from this plan, and the invert elevation of the manhole located in Lanham Severn Road, it appears that gravity sewer service is available to the first floor of the building shown (based on a service slope of 2%). Sewer service to the basement may require an ejector pump.

----- 0 Replies -----

17 - Existing house connections

Created by: Kurt Westendorf

On: Thursday, September 24, 2015 2:35:18 PM

1. This site is currently being served by existing and active house connections under account # 1044387.

2. Follow WSSC Demolition / Abandonment procedures to obtain a County Raze Permit, should these connections no longer be used for the future development.

Note: Failure to obtain an SDC fixture credit permit inspection prior to the removal of existing fixtures will result in the issuance of Basic Credit Only. To obtain System Development Charge (SDC) credits for existing plumbing fixtures, an SDC Fixture Count Inspection MUST be completed by a WSSC Regulatory Inspector BEFORE REMOVAL OF FIXTURES OR DEMOLITION of the structure. The inspection requires a permit which can only be obtained through a WSSC Registered Master Plumber. SDC Fixture Credit Procedures are available at the WSSC Permit Services website.

----- 0 Replies -----

18 - Site Utility

Created by: Kurt Westendorf

On: Thursday, September 24, 2015 2:41:43 PM

COMMERCIAL SITES - Proposed water systems (greater than 3-inch diameter) with a developed length of more than 80 feet will require an outside meter setting in a vault. Show and label vault and required WSSC right-of-way.

----- 0 Replies -----



The Maryland-National Capital Park and Planning Commission
14741 Governor Oden Bowie Drive, Upper Marlboro, MD 20772 301-952-3530
Development Review Division - 301-952-3749 (fax)

RECEIVED
SEP 02 2015

**** REFERRAL REQUEST ****

Date: 9/1/2015
To: CITY OF BOWIE (Joe Meinert) Bowie City Clerk's Office
From: IVY THOMPSON, URBAN DESIGN
Subject: DSP-15009, REDEEMED CHRISTIAN CHURCH of GOD

IDENTIFICATION OF MAJOR ISSUES DUE DATE: 9/16/2015
***Note:** E-mail any major issues/problems to the reviewer by the above date.

SUBDIVISION REVIEW COMMITTEE DATE: 9/25/2015

REFERRAL DUE DATE: 10/1/2015

<input checked="" type="checkbox"/> Full Review of New Plan	<input type="checkbox"/> Revision of Previously Approved Plan
<input type="checkbox"/> Limited or Special Review	<input type="checkbox"/> Plans/Documents Returned for Second Review Following Revision by Applicant
NOTE: This case is being reviewed at: <input checked="" type="checkbox"/> Planning Board level OR <input type="checkbox"/> Planning Director level	
COMMENTS: CHURCH	
Related Cases:	

REFERRAL REPLY COMMENTS:

9/3/15 No comment. No impact on City.
Joseph M. Meinert
DIRECTOR OF PLANNING AND ECONOMIC DEVELOPMENT

NOTE: IF YOU HAVE NO COMMENTS, PLEASE INDICATE ABOVE AND FORWARD OR FAX TO THE REVIEWER'S ATTENTION.





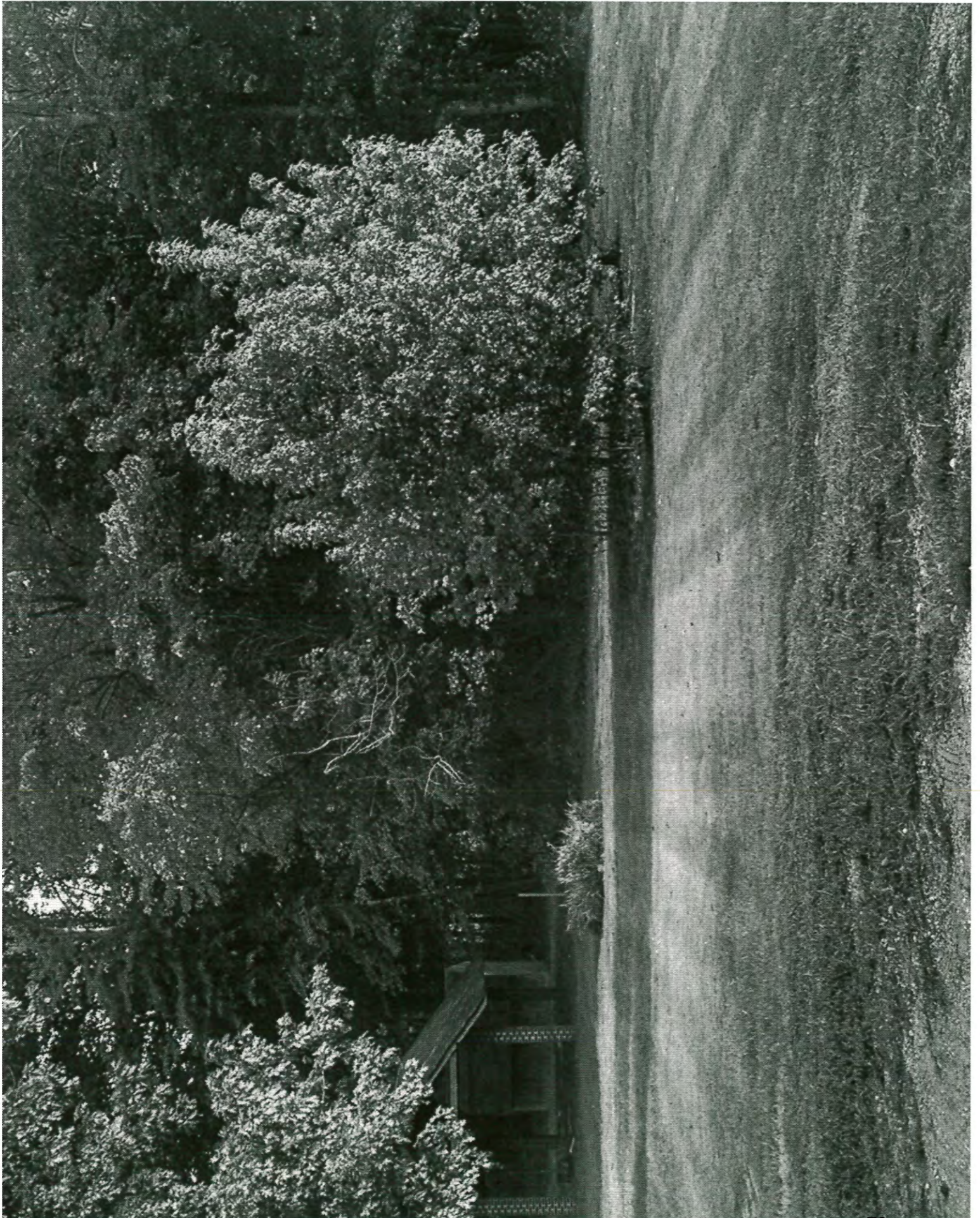












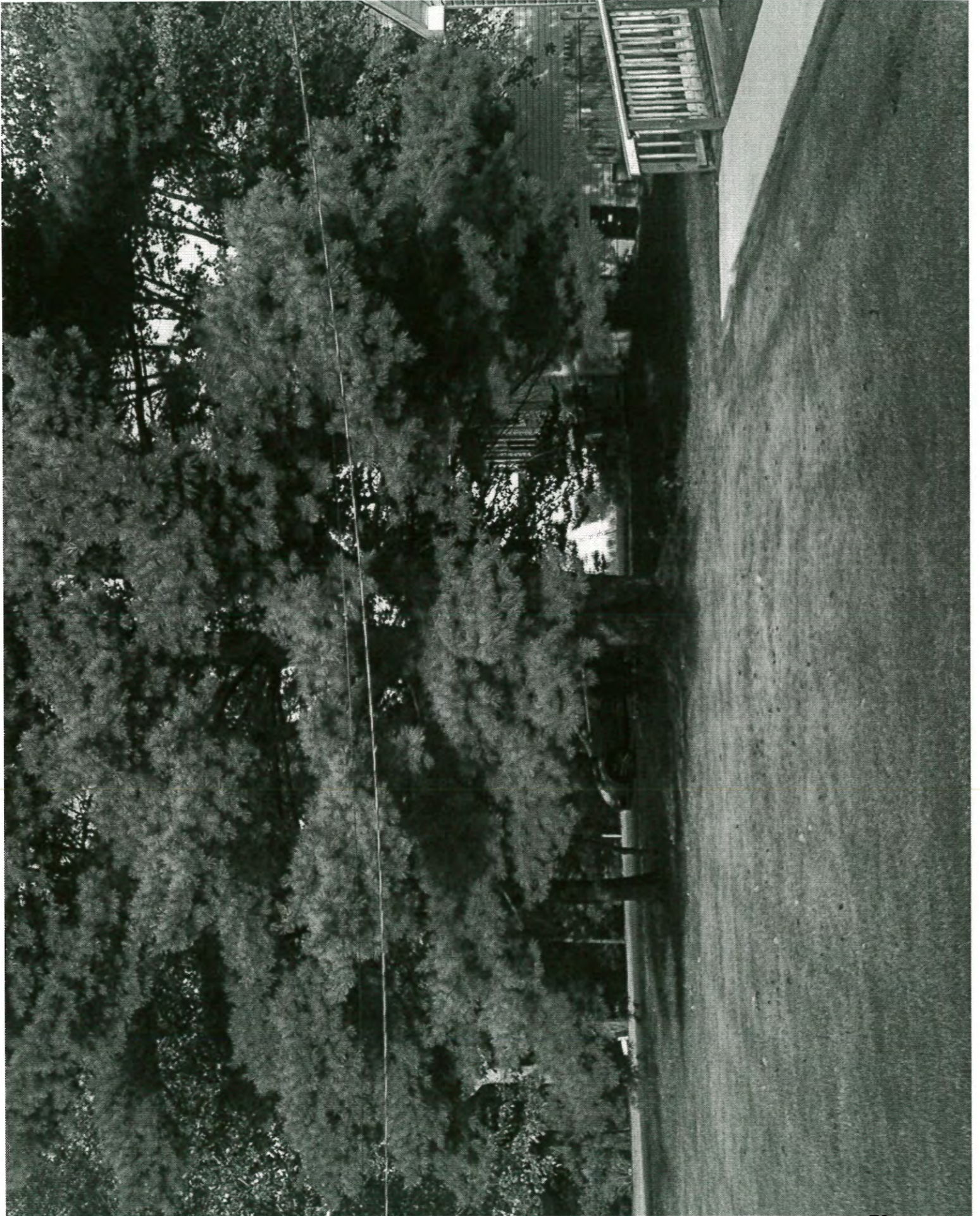










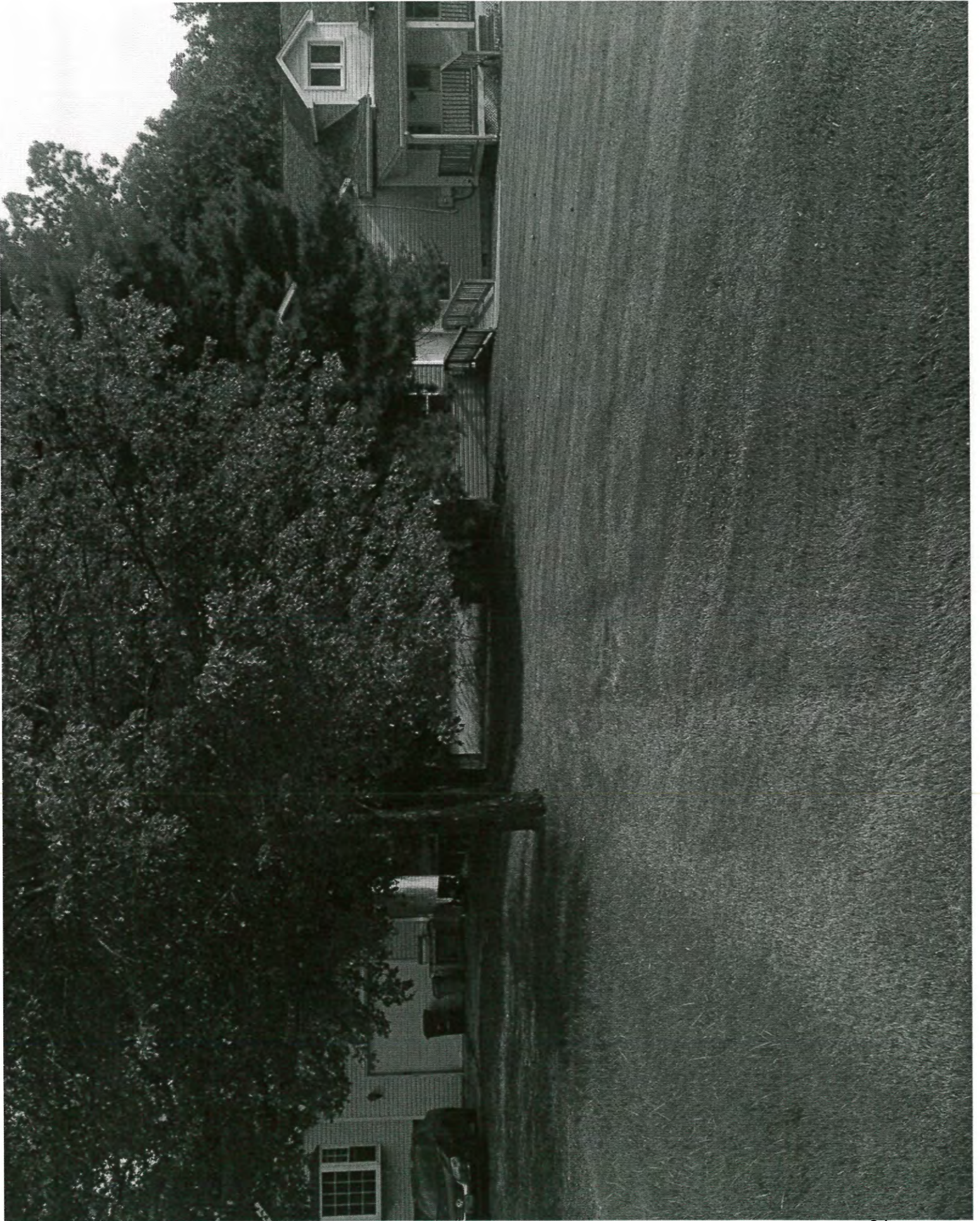






































STATEMENT OF JUSTIFICATION

DSP-15009 REDEEMED CHURCH OF LANHAM SEVERN ROAD

APPLICANT The Redeemed Christian Church
12025 Lanham Severn Road
Bowie, MD 20720

CORRESPONDENT Andrew Husbands (AAH Consultants)
4200 Forbes Blvd., Suite 203
Lanham MD 20706
aahusbands@gmail.com

DESCRIPTION OF PROPERTY

1. Address: 12025 Lanham Severn Road, Bowie MD 20720
2. Use: Church
3. Lot, Block: Parcel 92, Tax Account 159 1775
4. Subdivision:
5. Total Area: 1.86 Acres
6. Location: South side of Lanham Severn Road, (MD 564)
0.25 mile NE of Springfield Road.
7. Zoned: R. 2
8. Planning Area: 71 A
9. Tier: Developing
- 10: Council District: 4
- 11: Municipality: NA

SURROUNDINGS

The property is surrounded on the North by Lanham Severn Road, on the South by the Penn Central Railroad, on the East by a single family residence and on the West by a Church.

The purpose of this application is to allow the building located at 12025 Lanham Severn Road to be used as a church with 120 seats.

Section 27-441 (b) of the zoning ordinance permits the use of buildings for churches in the RR zone; subject to DSP approval. Further, it permits the use of buildings on sites that are between one (1) and two (2) acres in size that were originally constructed as dwelling units, subject to a minimum setback of 25 feet from each lot line. No parking to be located in the front of the building, (where possible) and no increase in the maximum lot coverage for the zone.

The applicant is an indigenous African Christian church, seeking a use and occupancy permit for the building, and to allow for the construction of the required parking, (30 parking spaces).

There are no proposed interior or exterior renovations or addition to the existing structure. The structure was originally constructed in 1938 as a single family residence and was purchased by the church in 2012. Significant additions were made to the existing structure. The building is setback a minimum of 25 feet from each line. There is no parking or loading in the front of the building, and the lot coverage is below the maximum allowed for the zone. The existing 26' wide driveway is adequate for two-way traffic. The grading permit to allow for the construction of parking will be obtained subsequent to the approval of this D.S.P.

The applicant fulfills the requirements of Section 27-441 of the Zoning Ordinance and will not incur offsite property damage, environmental degradation, or impact adjacent woodlands.



A.A. Husbands
Registered Professional Surveyor