


AFFIDAVIT

The purpose of this affidavit is to certify that pursuant to The Process Guidelines for Development Review Applications, Informational Mailing Letters, regarding the application for DSP-22028, Fairwood Square, were mailed to all adjoining property owners, registered associations, municipalities within a mile, and previous parties of record (if applicable) on November 10, 2022.

I, Ashley K. Romero, solemnly affirm under the penalties of perjury that the contents of the foregoing paper are true to the best of my knowledge, information, and belief.



Ashley K. Romero

STATE OF MARYLAND *
COUNTY OF PRINCE GEORGE'S * To wit:

On this 10th day of November 2022, before me, the undersigned officer, personally appeared Ashley K. Romero, known to me (or satisfactorily proven) to be the person whose name is subscribed to the within Instrument and acknowledged that she executed the same for the purposes therein contained.

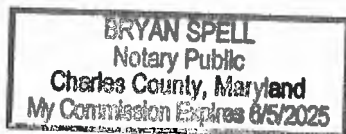
In Witness Whereof, I hereunto set my hand and official seal.

My Commission Expires:

6/5/25



Notary Public



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CHENHONG ZHANG
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GLORIA WIMS
4808 GERRARDS HOPE DRIVE
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12701 MY MOLLIES PRIDE DRIVE
BOWIE MD 20720

MR.DAVID E MORAN
7607 LAKE GLEN DRIVE
GLENN DALE MD 20769 -2004

MR.GARY KELLY
4914 COLLINGTONS BOUNTY DRIVE
BOWIE MD 20720

MS.DEIDRE SINGLETON FAIRWOOD
4203 QUANDERS PROMISE DRIVE
BOWIE MD 20720

MS.MICHELLE JACKSON PRINCE GEORGES COUNTY
OFFICE OF THE SHERIFF COMMUNITY PARTN
13107 JORDANS ENDEAVOR DRIVE
BOWIE MD 20720

MRS.JILL OLIVER FAIRWOOD
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BOWIE MD 20720

MRS.CHELI FIGARO
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DR.CLARA LEE
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MS.TAMLA KIRKLAND
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MS.MILLY HALL
14404 DUNSTABLE COURT
BOWIE MD 20721

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DRIVE BOWIE MD 20720

CHELI ENGLISH
12700 GOODLOES PROMISE DRIVE
BOWIE MD 20720

WILLIAM J HARRIS
4522 BURKES PROMISE DRIVE
BOWIE MD 20720

ROY BETTS
12302 THOMAS PROSPECT DR
DRIVE BOWIE MD 20720

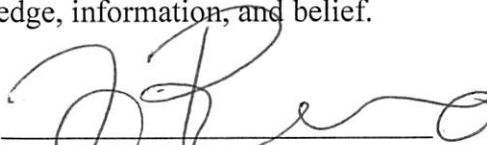
ANTHONY LAWRENCE
14905 14905 HEALTH CENTER DRIVE
BOWIE MD 20716

KAWANNA J JENKINS
10903 SUTTON DRIVE
UPPER MARLBORO MD 20774

AFFIDAVIT

The purpose of this affidavit is to certify that pursuant to The Process Guidelines for Development Review Applications, Acceptance Mailing Letters, regarding the application for DSP-22028, Fairwood Square, were mailed to all adjoining property owners, registered associations, municipalities within a mile, and previous parties of record (if applicable) on January 13, 2023.

I, Ashley K. Romero, solemnly affirm under the penalties of perjury that the contents of the foregoing paper are true to the best of my knowledge, information, and belief.



Ashley K. Romero

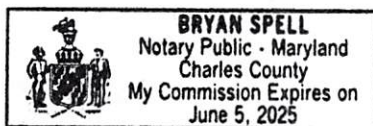
STATE OF MARYLAND *
COUNTY OF PRINCE GEORGE'S * To wit:

On this 13th day of January 2023, before me, the undersigned officer, personally appeared Ashley K. Romero, known to me (or satisfactorily proven) to be the person whose name is subscribed to the within Instrument and acknowledged that she executed the same for the purposes therein contained.

In Witness Whereof, I hereunto set my hand and official seal.

My Commission Expires:

6/5/25





Notary Public

ALL
Maryland
Notary
Expires on
025

1922-1923

The following is a list of the names of the persons who have been appointed to the various positions in the office of the Secretary of the Board of Education for the year 1922-1923.

The following is a list of the names of the persons who have been appointed to the various positions in the office of the Secretary of the Board of Education for the year 1922-1923.

[Handwritten signature]
Secretary

1922-1923

The following is a list of the names of the persons who have been appointed to the various positions in the office of the Secretary of the Board of Education for the year 1922-1923.

[Handwritten signature]
Secretary

BRYAN SPELL
Notary Public - Kentucky
Charles County
My Commission Expires on
June 2, 1925



EVERETT CHRISTOPHER E ETAL
4925 ENTERPRISE RD
BOWIE, MD 20720

BROOKS SHIRLEY ETAL
5205 CORNELIAS PROSPECT DR
BOWIE, MD 20720

ASHLOCK HOUSTON EMMITT JR
4922 SMITHWICK LN
BOWIE, MD 20720

AHAGHOTU CHRISTIAN
12308 EUGENES PROSPECT DR
BOWIE, MD 20720

COMBS GARY P MARITAL TRUST
12004 PARTELLO RD
BOWIE, MD 20720

TURNER GREGORY
12304 THOMAS PROSPECT DR
BOWIE, MD 20720

JOHNSON WAYNE & NATASHA
12332 EUGENES PROSPECT DR
BOWIE, MD 20720

ROBERTS LEWIS W ETAL
5206 CORNELIAS PROSPECT DR
BOWIE, MD 20720

BOWDEN NAILAH
5300 ROBERTS PROSPECT DR
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ZHANG MIN & FEI M
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SCHNECK ADRIA
4920 REES LN
BOWIE, MD 20720

DENT MELISSA
4920 SMITHWICK LN
BOWIE, MD 20720

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12312 EUGENES PROSPECT DR
BOWIE, MD 20720

CARTER RUSSELL ETAL
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BOWIE, MD 20720

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BOWIE, MD 20720

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BOWIE, MD 20720

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BOWIE, MD 20720

GORHAM DERRICK T & LETITIA Y
12327 EUGENES PROSPECT DR
BOWIE, MD 20720

PATEL CHIMANBHAI C
12316 EUGENES PROSPECT DR
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ZHANG MING G ETAL
12306 EUGENES PROSPECT DR
BOWIE, MD 20720

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12320 EUGENES PROSPECT
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SCHNECK ADRIA R
4920 REES LN
BOWIE, MD 20715

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CHARLESTON AT HLMHRST CLUB LLC
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5203 CORNELIAS PROSPECT DR
BOWIE, MD 20720

CHERIAN KOSHY K & SHINEY K
12328 EUGENES PROSPECT DR
BOWIE, MD 20720

COMSOURCE MGMT INC
FAIRWOOD COMMUNITY ASSN INC
3414 MORNINGWOOD DR
OLNEY, MD 20832

ESTES ROBERT C
12305 EUGENES PROSPECT DR
BOWIE, MD 20720

BROWN HOGAN KIM LAURIE
12001 PARTELLO RD
BOWIE, MD 20720

COFFIE FAMILY TRUST
12323 EUGENES PROSPECT DR
BOWIE, MD 20720

JUSTINIANI GILBERTO MARTINEZ
302 FORTRESS CT
UPPER MARLBORO, MD 20774

FEROZE ABID ETAL
12317 EUGENE PROSPECT DR
BOWIE, MD 20720

CASON EDRICK C ETAL
5104 CORNELIAS PROSPECT DR
BOWIE, MD 20720

HOSTEN SYDNEY AND CHERYL
12304 EUGENES PROSPECT DR
BOWIE, MD 20720

HABIB MOHAMMED ETAL
5308 ROBERTS PROSPECT DR
BOWIE, MD 20720

EMRIT RONALD C & KAREN S
5108 CORNELIAS PROSPECT DR
BOWIE, MD 20720

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4908 ENTERPRISE RD
BOWIE, MD 20720

SKINNER DALE & MICHELLE C
12305 THOMAS PROSPECT DR
BOWIE, MD 20720

PARKS RODNEY & AURELIA
12401 ANNES PROSPECT DR
BOWIE, MD 20720

COMBS GARY P MARITAL TRUST
12004 PARTELLO RD
BOWIE, MD 20720

ROBINSONKNOTT CHRISTINE
12302 EUGENES PROSPECT DR
BOWIE, MD 20720

ATUD JONAS A
12314 EUGENES PROSPECT DR
BOWIE, MD 20720

SCHNEIDER RONALD A ETAL
12303 EUGENES PROSPECT DR
BOWIE, MD 20720

NKEMTITIAH ALVINE M
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BOWIE, MD 20720

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5110 CORNELIAS PROSPECT DR
BOWIE, MD 20720

ELLIOTT EVERTON
5302 ROBERTS PROSPECT DR
BOWIE, MD 20720

BAO JAY ETAL
12307 EUGENES PROSPECT DR
BOWIE, MD 20720

MODUPEOLA FATIMA T
12300 THOMAS PROSPECT DR
BOWIE, MD 20720

SHOCKLEY MONIQUE M
5102 CORNELIAS PROSPECT DR
BOWIE, MD 20720

GORDON KAI L
5306 ROBERTS PROSPECT DR
BOWIE, MD 20720

GILLIS ROLAND R
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BOWIE, MD 20720

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BOWIE, MD 20720

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BROGLEN LLC
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12600 WOODMORE NORTH BLVD
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MHB PROPERTY LLC
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11909 PARALLEL RD
BOWIE, MD 20720

FRANKLIN ANTHONY
11906 PARALLEL RD
BOWIE, MD 20720

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12002 PARTELLO RD
BOWIE, MD 20720

BETTS ROY A & CHERYL D
12302 THOMAS PROSPECT DR
BOWIE, MD 20720

WARE LANCE E ETAL
11907 PARALLEL RD
BOWIE, MD 20720

SMALLWOOD BUDDY E JR LIV TRUST ETA
11903 PARALLEL RD
BOWIE, MD 20720

KACZOR LIVING TRUST
12002 PARTELLO RD
BOWIE, MD 20720

LUONG THANH H ETAL
11908 PARALLEL RD
BOWIE, MD 20720

COLLIER CHARITY R
11903 PARALLEL RD
BOWIE, MD 20720

BROOKS TRATORIA
4925 SMITHWICK LN
BOWIE, MD 20720

WORRELL GWENDOLYN B
12303 THOMAS PROSPECT DR
BOWIE, MD 20720

ROUNTREE ERIC & TIA J V
4926 SMITHWICK LN
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WHEELER CHARLENE ETAL
11911 PARALLEL RD
BOWIE, MD 20720

FLUELLYN GREGORY A ETAL
11913 PARALLEL RD
BOWIE, MD 20720

INCLUSIVE PROPERTIES LLC
3815 DEEP HOLLOW WAY
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CMGQ PROPERTIES LLC
6404 CROOM STATION RD
UPPER MARLBORO, MD 20772

SUITE 312
MAHJOOB REAL ESTATE LLC
12150 ANNAPOLIS RD
GLENN DALE, MD 20769

STE 314
REID COMMUNITY DEVELOPMENT CORP
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GLENN DALE, MD 20769

W J BROWN ENTPRS FAIRWOOD PRP LLC
2202 PARKSIDE DR
MITCHELLVILLE, MD 20721

VERMA RAVENDER K & SHARU K
12806 ODENS BEQUEST DR
BOWIE, MD 20720

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CLARKE FAIRWOOD LLC
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14216 RUTHERSFORD RD
UPPER MARLBORO, MD 20774

UNIT B111
SNORING & SLEEP CENTER LLC
12150 ANNAPOLIS RD
GLEN DALE, MD 20769

CENTER ALLERGIC DISEASES LLC
14819 KIMBERWICK DR
BOWIE, MD 20715

TRIFOLD INC
14906 RIDGE FARM CT
BOWIE, MD 20715

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6214 GROVELAND RD
LINTHICUM, MD 21090

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CWH MARSHALL LLC
10313 GEORGIA AVE
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ROMNEY HOLDINGS LLC
12403 PENELOPE CT
FULTON, MD 20759

PHILLIPS VAUL A & SHARON
2814 HATBORO PL
UPPER MARLBORO, MD 20774

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RAMSEY FAMILY RL EST HLDNG LLC
12150 ANNAPOLIS RD
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AZ HOLDINGS LLC
12800 VICAR WOODS LN
BOWIE, MD 20720

ADPAUL ENTERPRISES LLC
8262 GLENMAR RD
ELLCOTT CITY, MD 21043

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11508 PARKEDGE DR
ROCKVILLE, MD 20852

SUITE 116
NAOMI PROPERTY LLC
12200 ANNAPOLIS RD
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SUITE 105
YDA LLC
12150 ANNAPOLIS RD
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MERCY GRACE HEALTH CARE LLC
4501 VALIANT TRACE
BOWIE, MD 20720

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MHB PROPERTY LLC
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EDOMED MEDICAL ASSOCIATES LLC
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MD FAMILY HEALTHCARE LLC
BOWMED LLC
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GLENN DALE, MD 20769

UNIT 209
PMAAC HOLDINGS LLC
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1314 PATUXENT DR
ASHTON, MD 20861

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EMC REALTY LLC
12200 ANNAPOLIS RD
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OLD LINE BANK
1525 POINTER RIDGE PL
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EMC REALTY LLC
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GLENN DALE, MD 20769

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SUITE 103
BROGLEN LLC
10905 FORT WASHINGTON RD
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CLAGETT LANDING ASSOCIATION
1209 HERITAGE HILLS DRIVE
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RITCHIE HEIGHTS/RITCHIE MANOR CIVIC
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DISTRICT HEIGHTS, MD 20747

PICKWICK SQUARE MUTUAL HOMES, INC.
1574 ADDISON ROAD SOUTH
DISTRICT HEIGHTS, MD 20747

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DISTRICT
1400 ROSEMARY COURT
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COMMUNITY
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CAPITOL HEIGHTS, MD 20743

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UPPER MARLBORO, MD 20772

C/O BENJAMIN COLBERT, METROPOLIS
WESTLAKE AT LAKE ARBOR HOMEOWNERS
ASSOCIATION
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LAKE ARBOR FOUNDATION, INC.
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ENTERPRISE ESTATES CIVIC ASSOCIATION
11704 WHITTIER ROAD
BOWIE, MD 20721

C/O ANDREA CLARK-CHAMBERS MGMT
PALISADES HOMEOWNERS ASSOCIATION
14106 JONES BRIDGE ROAD
UPPER MARLBORO, MD 20774

COLLEGE STATION HOMEOWNERS ASSOCIATION
122 COLLEGE STATION DRIVE
UPPER MARLBORO, MD 20774

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(LLTA)
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UPPER MARLBORO, MD 20774

THE KNOLLS AT CABIN BRANCH
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BOWIE, MD 20716

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DISTRICT HEIGHTS, MD 20747

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THE PARK AT ADDISON METRO HOA, INC.
3414 MORNINGWOOD DRIVE
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CANTERBURY ESTATES CIVIC ASSOCIATION
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INC.
9502 CAPITAL COURT
UPPER MARLBORO, MD 20774

Prince George's Chamber of Commerce
David Harrington, President and CEO
4640 Forbes Boulevard, Suite 130
Lanham, Maryland 20706

Greater Prince George's Business Roundtable
M.H. Jim Estepp, President and CEO
10201 Martin Luther King, Jr. Highway, Suite 220
Bowie, MD 20720

HENRY WIXON GLENN DALE CITIZENS'
ASSOCIATION, INC. P.O.BOX 235 GLENN DALE
MD 20769

ERIC ELMORE
P.O.BOX 1114
BOWIE MD 20718

SHIRLEY BOYD
P.O.BOX 4408
CAPITOL HEIGHTS MD 20791

MR.GARRY YANCY P.O.BOX 686 UPPER
MARLBORO MD 20773

MICHAEL LENHART LENHART TRAFFIC
CONSULTING, INC. 645 B&A BOULEVARD SUITE
214 SEVERNA PARK MD 21146

DAVID BICKEL SOLTESZ
4300 FORBES BOULEVARD SUITE 230
LANHAM MD 20706

TAMLA KIRKLAND
12807 GREENES PROMISE COURT
BOWIE MD 20720

TAMLA KIRKLAND
12807 GREENES PROMISE COURT
BOWIE MD 20720

MR.RICHARD D ELLIOTT PRINCE GEORGE'S
COUNTY YOUNG DEMOCRATS
3103 COURTSIDE ROAD
BOWIE MD 20720

ARMEANA STREET
13101 MONTAUK GREENFIELDS DRIVE
BOWIE MD 20720

ERAYNA GRANT
4917 WILLES VISION DRIVE
BOWIE MD 20720

MR.MIN ZHANG
12311 EUGENES PROSPECT DR
BOWIE MD 20720

MR.MICHAEL M BRIDGES
3320 DUNWOOD CROSSING DRIVE
BOWIE MD 20721

MR.SEAN E SUHAR WINGATE HOMEOWNERS
ASSOCIATION, INC.
7226 LEE DEFOREST DRIVE
COLUMBIA MD 21046

MR.RUSSELL CARTER THE CARTER GROUP LLC
12322 EUGENES PROSPECT DRIVE
BOWIE MD 20720

MR.GARY KELLY
4914 COLLINGTONS BOUNTY DRIVE
BOWIE MD 20720

MR.JARRET LAWRENCE
4314 DECLAIMONTS FIELD DRIVE
BOWIE MD 20720

MS.KNIA TANNER
12308 LONGWAY DRIVE
MITCHELLVILLE MD 20721

MS.COLLETTE M HARRIS
4522 BURKES PROMISE DRIVE
BOWIE MD 20720

MS.MICHELLE JACKSON
13107 JORDANS ENDEAVOR DRIVE
BOWIE MD 20720

MS.EDOGHOGHO D OMORUYI
3002 EAGLES NEST DRIVE
BOWIE MD 20716

MRS.GWENDOLYN A DRUMMOND
12715 MY MOLLIES PRIDE DRIVE
BOWIE MD 20720

MRS.CHELI FIGARO
12700 GOODLOES PROMISE DRIVE
BOWIE MD 20720

MRS.JILL OLIVER FAIRWOOD
12713 MY MOLLIES PRIDE DRIVE
BOWIE MD 20720

MRS.BRITA COFFIE
12323 EUGENES PROSPECT DRIVE
BOWIE MD 20720

MRS.TAMEEKA WASHINGTON
12803 GOODLOES PROMISE DRIVE
BOWIE MD 20720

MRS.JILL OLIVER FAIRWOOD COMMUNITY
12713 MY MOLLIES PRIDE DRIVE
BOWIE MD 20720

MRS.TAMEKA SMALLWOOD
3717 AYNOR DRIVE
BOWIE MD 20721

MRS.LASHAWN HARRIS
4400 DECLAIMONTS FIELD DRIVE
BOWIE MD 20720

MRS.NAILAH BOWDEN
5300 ROBERTS RESPECT DRIVE
BOWIE MD 20720

MRS.CAVELLA BISHOP
5505 WRIGHTS ENDEAVOR DRIVE
BOWIE MD 20720

MR.JOHN COFFIE JR.
12323 EUGENES PROSPECT DRIVE
BOWIE MD 20720

MATT TEDESCO
MCNAMEE HOSEA
6411 IVY LANE SUITE 200
GREENBELT MD 20770

DARI PUGH
4905 SMITHWICK LANE
BOWIE MD 20720

SANDY RINCK
4909 SMITHWICK LANE
BOWIE MD 20720

WEI HONG
313 CANTERBURY LANE
SEVERNA PARK MD 21146

LARRY RINCK
4909 SMITHWICK LANE
BOWIE MD 20720 -3553

KEITH RILEY RI-CO CONSULTING LLC
13716 HEBRON LANE
UPPER MARLBORO MD 20774

MR.HENRY GARRETT
10521 JIM LOVELL LANE
LANHAM MD 20706

MR.SAMUEL BANKS US AIR FORCE
4409 LANCEFIELD LANE
BOWIE MD 20720

MR.TAALIB ALSALAAM
4917 SMITHWICK LANE
BOWIE MD 20720

MS.MARCIA TUCKER
11310 WYCOMBE PARK LANE
GLENN DALE MD 20769

MS.KATHERINE LUCAS
12514 SHETLAND LANE
BOWIE MD 20715

MRS.ELICA ALSALAAM
4917 SMITHWICK LANE
BOWIE MD 20720

TIMBERLAKE HOMES, BT
304 HARRY S TRUMAN PARKWAY SUITE M
ANNAPOLIS MD 21401

KEVIN KENNEDY NAI THE MICHAEL COMPANIES
10100 BUSINESS PARKWAY
LANHAM MD 20706

MRS.CARLA HARPER-OMISORE
13301 MARY BOWIE PARKWAY
UPPER MARLBORO MD 20774

FRONIE BARTON
9616 UTICA PLACE
SPRINGDALE MD 20774

PMAAC HOLDINGS PMAAC HOLDINGS, LLC
12150 ANNAPOLIS ROAD SUITE 209
GLENN DALE MD 20769

SHEILA LEISS
12430 LISBOROUGH ROAD
BOWIE MD 20720

MR.CHARLES JOHNSON
12007 LISBOROUGH ROAD
BOWIE MD 20720

DR.YONETTE F THOMA
8111 FELBRIGG HALL ROAD
GLENN DALE MD 20769

MS.CAROLYN D ALSTON
11805 PARALLEL ROAD
BOWIE MD 20720

MR.CLYDE M COLLIER III
11910 PARALLEL ROAD
BOWIE MD 20720

DETRA ROUSEDDS TEXTUREDSALON
12200 ANNAPOLIS ROAD SUITE 215
GLENDALE MD 20769

DR.ARNOLD KIRSHENBAUM MD 12150
ANNAPOLIS ROAD SUITE 108 GLENN DALE MD
20769

DR.JULIANA H ARUNA MD
11912 PARALLEL ROAD
BOWIE MD 20720

HENRY WIXON
10701 MARIETTA STREET
GLENN DALE MD 20769 -9406

MR.GREG SMITH
4204 FARRAGUT STREET
HYATTSVILLE MD 20781

MR.JAMIL HAGANS
12905 BELLE MEAD TRACE TERRACE
BOWIE MD 20720

JULIAN CURRY NAI MICHAEL
250 AMERICAN WAY SUITE 311
OXON HILL MD 20745

MR.CARLTON HART
4517 WOODGATE WAY
BOWIE MD 20720

MS.ASHLEY CELESTIN
10108 GLENNDALE OAKS WAY
GLENN DALE MD 20769

MRS.DEBORAH K HEFLIN
4811 LAKE ONTARIO WAY
BOWIE MD 20720

HENRY WIXON GLENN DALE CITIZENS'
ASSOCIATION, INC.
P.O.BOX 235
GLENN DALE MD 20769

TAMLA KIRKLAND
12807 GREENES PROMISE COURT
BOWIE MD 20720

MR.AARON KELTON
12801 GREENES PROMISE COURT
BOWIE MD 20720

CHENHONG ZHANG
12306 EUGENES PROSPECT DRIVE
BOWIE MD 20720

GLORIA WIMS
4808 GERRARDS HOPE DRIVE
BOWIE MD 20720

MR.KEVIN PIERCE
12701 MY MOLLIES PRIDE DRIVE
BOWIE MD 20720

MR.DAVID E MORAN
7607 LAKE GLEN DRIVE
GLENN DALE MD 20769 -2004

MR.GARY KELLY
4914 COLLINGTONS BOUNTY DRIVE
BOWIE MD 20720

MS.DEIDRE SINGLETON FAIRWOOD
4203 QUANDERS PROMISE DRIVE
BOWIE MD 20720

MS.MICHELLE JACKSON PRINCE GEORGES COUNTY
OFFICE OF THE SHERIFF COMMUNITY PARTN
13107 JORDANS ENDEAVOR DRIVE
BOWIE MD 20720

MRS.JILL OLIVER FAIRWOOD
12713 MY MOLLIES PRIDE DRIVE
BOWIE MD 20720

MRS.CHELI FIGARO
12700 GOODLOES PROMISE DRIVE
BOWIE MD 20720

MARCIA TUCKER
11310 WYCOMBE PARK LANE
GLENN DALE MD 20769

LARRY RINCK
4909 SMITHWICK LANE
BOWIE MD 20720 -3553

HENRY WIXON
10701 MARIETTA STREET
GLENN DALE MD 20769 -9406

MR.JOHN Q SIBBLES
12200 PARTELLO ROAD
BOWIE MD 20720

MR.JOHN LEX HOLMEHURST
CIVIC ASSOCIATION PRESIDENT
12212 LISBOROUGH ROAD
BOWIE MD 20720 -3553

MR.EZEKIEL J DENNISON MARLTON HOME
OWNERS ASSOCIATION
10213 LILY GREEN COURT
UPPER MARLBORO MD 20772

MR.LARRY BROWN
13912 ABERDEENS FOLLY COURT
BOWIE MD 20720

DR.CLARA LEE
825 FARAWAY COURT
MITCHELLVILLE MD 20721

MS.TAMLA KIRKLAND
12807 GREENES PROMISE COURT
BOWIE MD 20720

MS.MILLY HALL
14404 DUNSTABLE COURT
BOWIE MD 20721

KRISTI BAO
12307 EUGENES PROSPECT DRIVE
BOWIE MD 20720

GLORIA B WIMS
4808 GERRARDS HOPE DRIVE
BOWIE MD 20720

SEAN SUHAR
RUN HOMEOWNERS ASSOCIATION, INC.
7226 LEE DEFOREST DRIVE SUITE 102
COLUMBIA MD 21046

INGA W CRAREY
4213 QUANDERS PROMISE DRIVE
BOWIE MD 20720

MURIEL THOMPSON
5109 SHAMROCKS DELIGHT
DRIVE BOWIE MD 20720

CHELI ENGLISH
12700 GOODLOES PROMISE DRIVE
BOWIE MD 20720

WILLIAM J HARRIS
4522 BURKES PROMISE DRIVE
BOWIE MD 20720

ROY BETTS
12302 THOMAS PROSPECT DR
DRIVE BOWIE MD 20720

ANTHONY LAWRENCE
14905 14905 HEALTH CENTER DRIVE
BOWIE MD 20716

KAWANNA J JENKINS
10903 SUTTON DRIVE
UPPER MARLBORO MD 20774

WILLIAM/JOAN KACZOR
6476 SOMERSBY DRIVE
MURRELLS INLET SC 29576

WILLIAM KACZOR
12002 PARTELLO ROAD
BOWIE MD 20720

DR.ALEXANDER AMUAH MTD CONSULT INC.
8410 CHERVIL ROAD
LANHAM MD 20706

HENRY WIXON
10701 MARIETTA STREET
GLENN DALE MD 20769 -9406

January 13, 2023

Via First Class Mail

TO: Adjoining Property Owners, Municipalities within One Mile, Persons of Record, and Registered Associations

FROM: Matthew C. Tedesco, Esq.

RE: DSP-22028; Fairwood Square

Dear Adjoining Property Owners, Municipalities, Persons of Record, and Registered Associations:

This letter is to inform you that the Maryland-National Capital Park and Planning Commission (“M-NCPPC”) is ready to accept the subject application. The address of the subject property is 12105 and 12205 Annapolis Road and 5015 Enterprise Road, Bowie, Maryland 20720, which is located at the southeast quadrant of the intersection of Annapolis Road (MD 450) and Enterprise Road (MD 193). The nature of the review is to accommodate a mixed-use development comprising of approximately 200 single-family attached (townhouses) units and the future development of approximately 5,000 square feet of commercial/retail uses in the prior R-E Zone.


Once the application is formally accepted, it will be scheduled for a future Planning Board hearing. If you have not already registered to become a person of record, you are encouraged to do so at this time. Persons of Record are entitled to certain rights under zoning and subdivision laws, but registration is required. You may register online at <http://www.pgplanning.org/1586/Become-a-Person-of-Record>, or you may submit your name, address, and the above-referenced application number and name by mailing a written request to:

The Maryland-National Capital Park and Planning Commission
Development Review Division
14741 Governor Oden Bowie Drive
County Administration Building, 4th Floor
Upper Marlboro, MD 20772

If you have already registered to become a person of record from an earlier mailing for this application DSP-22028, you do not have to register again. Being a person of record on a separate application on the same property does not make you a person of record for the subject application. You must request to become a person of record for each separate application (separate applications have different application numbers).

If you have any questions about this application, you may contact me at 301-441-2420 or mstedesco@mhlawyers.com or the M-NCPPC case reviewer, Andrew Shelly, at 301-952-4976.

Sincerely,


Matthew C. Tedesco

APPLICATION FORM

DO NOT WRITE IN THIS SPACE

Application No.(s): _____ Planning Board Review Planning Director Review
 Acceptance Date: _____ 70-day limit: _____ Limit waived–New limit: _____
 Posting Waived Posting Date: _____ No. of Signs Posted: _____ Agenda Date: _____
 Application Fee: _____ Posting Fee: _____ Case Reviewer: _____
 Subdivision Development Review Committee Date: _____
 Referral Mail-Out Date: _____ Referral Due Date: _____
 Date of Informational Mailing: _____ Date of Acceptance Mailing: _____

APPLICATION TYPE: DSP Revision of Case # _____ Companion Cases: _____

Payment option: Check (payable to M-NCPPC) Credit Card General Plan Growth Policy: Established Community

PROJECT NAME: Fairwood Square

Complete address (if applicable) 5015 Enterprise Road, 12105, 12205 Annapolis Road Tax Account #: 0733741, 0733782, 0817676

Geographic Location (distance related to or near major intersection) Police District #: II

Southeast quadrant of the intersection of Enterprise Road and Annapolis Road

Total Acreage: 22.29	Aviation Policy Area: N/A	Election District: 7
Tax Map/Grid: 45-E3, F3	Current Zone(s): RE (Prior: R-E)	Council District: 6
WSSC Grid: 207NE11	Existing Lots/Blocks/Parcels: Parcels 5, 118, 123	Dev. Review District: Enterprise Road Corridor
Planning Area: 71A	In Municipal Boundary: N/A	Is development exempt from grading permit pursuant to 32-127(a)(6)(A): <input type="checkbox"/> Y <input checked="" type="checkbox"/> N

(2002) General Plan Tier: Developed Developing Rural Area of proposed LOD:

Proposed Use of Property and Request of Proposal:
 Development of approximately 200 single-family attached units and future development of approximately 5,000 square feet of commercial/retail in the R-E Zone.

Please list and provide copies of resolutions of previously approved applications affecting the subject property:
4-21058

Applicant Name, Address & Phone:
**Timberlake Homes, BT
 304 Harry S. Truman Parkway, Suite M
 Annapolis, MD 21401**

Consultant Name, Address & Phone:
**McNamee Hosea, P.A.
 6411 Ivy Lane, Suite 200
 Greenbelt, MD 20770**

Owner Name, Address & Phone:
(if same as applicant indicate same/corporation see Disclosure)
**Irmgard H Hawkins By-Pass Trust
 12205 Annapolis Road
 Bowie, MD 20720**

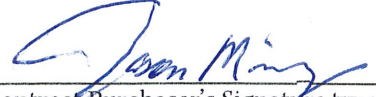
Contact Name, Phone & E-mail:
**Matthew C. Tedesco, Esq.
 Tel. (301) 441-2420
 MTedesco@mhlawyers.com**

SIGNATURE (Sign where appropriate; include Application Form Disclosure for additional owner's signatures)

 Owner's Signature typed & signed Date



 Applicant's Signature typed & signed Date 11/17/22
 Greg McAninch



 Contract Purchaser's Signature typed & signed Date 11/17/22
 signed Jason Minzer

 Applicant's Signature typed & signed Date

FOR PRIOR ORDINANCE ONLY

SUBDIVISION CASES – PRELIMINARY PLAN/CONSERVATION SKETCH PLAN:

Type of Application (Check all that apply)

Conventional <input type="checkbox"/>	Comprehensive Design <input type="checkbox"/>	Conservation Sketch Plan <input type="checkbox"/>	Pre-Preliminary Plan <input type="checkbox"/>
---------------------------------------	---	---	---

Variation, Variance or Alternative Compliance Request(s)
 Yes No

Applicable Zoning/Subdivision Regulation Section(s):

Total Number of Proposed:

Lots _____ Outlots _____ Parcels _____ Outparcels _____

Number of Dwelling Units:

Attached _____ Detached _____ Multifamily _____

Gross Floor Area (Nonresidential portion only):

SUBDIVISION CASES – FINAL PLAT:

Water/Sewer: DER Health Dept.

Number of Plats:

CSP/DSP/SDP No.:

WSSC Authorization No.:

Preliminary Plan No.:

Approval Date of Preliminary Plan:

URBAN DESIGN AND ZONING CASES:

Details of Request:

Development of approximately 200 single-family attached units and future development of approximately 5,000 square feet of commercial/retail in the R-E Zone.

Zoning Ordinance Section(s):

27-285
 27-441(b) footnote 144
 27-548(h)

Total Number of Proposed:

Lots 200 Outlots _____ Parcels 36 Outparcels _____

Number of Dwelling Units:

Attached 200 Detached _____ Multifamily _____

Gross Floor Area (Nonresidential portion only):

Variance Request

Yes No

Applicable Zoning/Subdivision Regulation Section(s):

Departure Request

Yes No

Application Filed

Yes No

Alternative Compliance Request

Yes No

Application Filed

Yes No

APPLICATION FORM DISCLOSURE

List all persons having at least five percent (5%) interest in the subject property **ONLY required for Special Exception and Zoning Map Amendment Applications.**

Owner(s) Name - printed	Signature and Date	Residence Address
N/A		

If the property is owned by a corporation, please fill in below.

Officers	Date Assumed Duties	Residence Address	Business Address

Board of Directors	Date Assumed Duties	Date Term Expires	Residence Address	Business Address

THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
14741 GOVERNOR ODEN BOWIE DRIVE
UPPER MARLBORO, MD 20772
DEVELOPMENT REVIEW DIVISION
301-952-3530

FOR PRIOR ORDINANCE ONLY

M-NCPPC – Development Review Division

April 2020

Prince George's County Planning Department

14741 Governor Oden Bowie Drive, Upper Marlboro, Maryland 20772

301-952-3530

APPLICATION FORM

DO NOT WRITE IN THIS SPACE

Application No.(s): _____ Planning Board Review Planning Director Review
 Acceptance Date: _____ 70-day limit: _____ Limit waived--New limit: _____
 Posting Waived Posting Date: _____ No. of Signs Posted: _____ Agenda Date: _____
 Application Fee: _____ Posting Fee: _____ Case Reviewer: _____
 Subdivision Development Review Committee Date: _____
 Referral Mail-Out Date: _____ Referral Due Date: _____
 Date of Informational Mailing: _____ Date of Acceptance Mailing: _____

APPLICATION TYPE: **DSP** Revision of Case # _____ Companion Cases: _____

Payment option: Check (payable to M-NCPPC) Credit Card General Plan Growth Policy: **Established Community**

PROJECT NAME: Fairwood Square

Complete address (if applicable) 5015 Enterprise Road, 12105, 12205 Annapolis Road Tax Account #: 0733741, 0733782, 0817676

Geographic Location (distance related to or near major intersection) Southeast quadrant of the intersection of Enterprise Road and Annapolis Road Police District #: II

Total Acreage: 22.29	Aviation Policy Area: N/A	Election District: 7
Tax Map/Grid: 45-E3, F3	Current Zone(s): RE (Prior: R-E)	Council District: 6
WSSC Grid: 207NE11	Existing Lots/Blocks/Parcels: Parcels 5, 118, 123	Dev. Review District: Enterprise Road Corridor
Planning Area: 71A	In Municipal Boundary: N/A	Is development exempt from grading permit pursuant to 32-127(a)(6)(A): <input type="checkbox"/> Y <input checked="" type="checkbox"/> N

(2002) General Plan Tier: Developed Developing Rural Area of proposed LOD: _____

Proposed Use of Property and Request of Proposal:
 Development of approximately 200 single-family attached units and future development of approximately 5,000 square feet of commercial/retail in the R-E Zone.

Please list and provide copies of resolutions of previously approved applications affecting the subject property:
4-21058

Applicant Name, Address & Phone:
**Timberlake Homes, BT
 304 Harry S. Truman Parkway, Suite M
 Annapolis, MD 21401**

Consultant Name, Address & Phone:
**McNamee Hosea, P.A.
 6411 Ivy Lane, Suite 200
 Greenbelt, MD 20770**

Owner Name, Address & Phone:
(if same as applicant indicate same/corporation see Disclosure)

Contact Name, Phone & E-mail:
**Matthew C. Tedesco, Esq.
 Tel. (301) 441-2420
 MTedesco@mhlawyers.com**

**Irmgard H Hawkins By-Pass Trust
 12205 Annapolis Road
 Bowie, MD 20720**

SIGNATURE (Sign where appropriate; include Application Form Disclosure for additional owner's signatures)

x Suzanne Hawkins 11/29/2022
 Owner's Signature typed & signed _____ Date _____
 Suzanne Hawkins, Co-Trustee, Irmgard Hawkins Bypass Trust

Applicant's Signature typed & signed _____ Date _____

Contract Purchaser's Signature typed & signed _____ Date _____

Applicant's Signature typed & signed _____ Date _____

FOR PRIOR ORDINANCE ONLY

SUBDIVISION CASES – PRELIMINARY PLAN/CONSERVATION SKETCH PLAN:			
Type of Application (Check all that apply)			
Conventional <input type="checkbox"/>	Comprehensive Design <input type="checkbox"/>	Conservation Sketch Plan <input type="checkbox"/>	Pre-Preliminary Plan <input type="checkbox"/>
Variation, Variance or Alternative Compliance Request(s) Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		Applicable Zoning/Subdivision Regulation Section(s):	
Total Number of Proposed: Lots _____ Outlots _____ Parcels _____ Outparcels _____			
Number of Dwelling Units: Attached _____ Detached _____ Multifamily _____		Gross Floor Area (Nonresidential portion only):	
SUBDIVISION CASES – FINAL PLAT:			
Water/Sewer: DER <input type="checkbox"/> Health Dept. <input type="checkbox"/>		Number of Plats:	
CSP/DSP/SDP No.:		WSSC Authorization No.:	
Preliminary Plan No.:			
Approval Date of Preliminary Plan:			
URBAN DESIGN AND ZONING CASES:			
Details of Request: Development of approximately 200 single-family attached units and future development of approximately 5,000 square feet of commercial/retail in the R-E Zone.		Zoning Ordinance Section(s): 27-285 27-441(b) footnote 144 27-548(h)	
Total Number of Proposed: Lots <u>200</u> Outlots _____ Parcels <u>36</u> Outparcels _____			
Number of Dwelling Units: Attached <u>200</u> Detached _____ Multifamily _____		Gross Floor Area (Nonresidential portion only):	
Variance Request Yes <input type="checkbox"/> No <input type="checkbox"/>		Applicable Zoning/Subdivision Regulation Section(s):	
Departure Request Yes <input type="checkbox"/> No <input type="checkbox"/>		Application Filed Yes <input type="checkbox"/> No <input type="checkbox"/>	
Alternative Compliance Request Yes <input type="checkbox"/> No <input type="checkbox"/>		Application Filed Yes <input type="checkbox"/> No <input type="checkbox"/>	

APPLICATION FORM DISCLOSURE

List all persons having at least five percent (5%) interest in the subject property **ONLY** required for **Special Exception and Zoning Map Amendment Applications**.

Owner(s) Name - printed	Signature and Date	Residence Address
N/A		

If the property is owned by a corporation, please fill in below.

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Board of Directors	Date Assumed Duties	Date Term Expires	Residence Address	Business Address

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 DEVELOPMENT REVIEW DIVISION
 301-952-3530**

FOR PRIOR ORDINANCE ONLY

April 2020

M-NCPPC – Development Review Division

Prince George's County Planning Department

14741 Governor Oden Bowie Drive, Upper Marlboro, Maryland 20772

301-952-3530

APPLICATION FORM

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Application No.(s): _____ Planning Board Review Planning Director Review
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 Subdivision Development Review Committee Date: _____
 Referral Mail-Out Date: _____ Referral Due Date: _____
 Date of Informational Mailing: _____ Date of Acceptance Mailing: _____

APPLICATION TYPE: DSP Revision of Case # _____ Companion Cases: _____
 Payment option: Check (payable to M-NCPPC) Credit Card General Plan Growth Policy: Established Communities:

PROJECT NAME: Fairwood Square

Complete address (if applicable) 5015 Enterprise Road, 12105, 12205 Annapolis Road Tax Account #: 0733741, 0733782, 0817676
 Geographic Location (distance related to or near major intersection) Police District #: II
 Southeast quadrant of the intersection of Enterprise Road and Annapolis Road

Total Acreage: 22.29	Aviation Policy Area: N/A	Election District: 7
Tax Map/Grid: 45-E3, F3	Current Zone(s): RE (Prior: R-E)	Council District: 6
WSSC Grid: 207NE11	Existing Lots/Blocks/Parcels: Parcels 5, 118, 123	Dev. Review District: Enterprise Road Corridor
Planning Area: 71A	In Municipal Boundary: N/A	Is development exempt from grading permit pursuant to 32-127(a)(6)(A): <input type="checkbox"/> Y <input checked="" type="checkbox"/> N

(2002) General Plan Tier: Developed Developing Rural Area of proposed LOD: _____

Proposed Use of Property and Request of Proposal: Development of approximately 200 single-family attached units and future development of approximately 5,000 square feet of commercial/retail in the R-E Zone.	Please list and provide copies of resolutions of previously approved applications affecting the subject property: 4-21058
--	---

Applicant Name, Address & Phone: Timberlake Homes, BT 304 Harry S. Truman Parkway, Suite M Annapolis, MD 21401 Owner Name, Address & Phone: <small>(If same as applicant indicate same/corporation see Disclosure)</small> Irmgard H Hawkins By-Pass Trust 12205 Annapolis Road Bowie, MD 20720	Consultant Name, Address & Phone: McNamee Hosea, P.A. 6411 Ivy Lane, Suite 200 Greenbelt, MD 20770 Contact Name, Phone & E-mail: Matthew C. Tedesco, Esq. Tel. (301) 441-2420 MTedesco@mhlawyers.com
---	---

SIGNATURE (Sign where appropriate; include Application Form Disclosure for additional owner's signatures)

Owner's Signature typed & signed <i>James Hawkins, Trustee</i>	Date	Applicant's Signature typed & signed	Date
Contract Purchaser's Signature typed & signed	Date	Applicant's Signature typed & signed	Date

FOR PRIOR ORDINANCE ONLY

SUBDIVISION CASES – PRELIMINARY PLAN/CONSERVATION SKETCH PLAN

Type of Application (Check all that apply)

Conventional <input type="checkbox"/>	Comprehensive Design <input type="checkbox"/>	Conservation Sketch Plan <input type="checkbox"/>	Pre-Preliminary Plan <input type="checkbox"/>
Variation, Variance or Alternative Compliance Request(s) Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>		Applicable Zoning/Subdivision Regulation Section(s):	
Total Number of Proposed: Lots _____ Outlots _____ Parcels _____ Outparcels _____			
Number of Dwelling Units: Attached _____ Detached _____ Multifamily _____		Gross Floor Area (Nonresidential portion only):	

SUBDIVISION CASES – FINAL PLAT:

Water/Sewer: DER <input type="checkbox"/> Health Dept. <input type="checkbox"/>	Number of Plats:
CSP/DSP/SDP No.:	WSSC Authorization No.:
Preliminary Plan No.:	
Approval Date of Preliminary Plan:	

URBAN DESIGN AND ZONING CASES:

Details of Request: Development of approximately 200 single-family attached units and future development of approximately 5,000 square feet of commercial/retail in the R-E Zone.	Zoning Ordinance Section(s): 27-285 27-441(b) footnote 144 27-548(h)
Total Number of Proposed: Lots <u>200</u> Outlots _____ Parcels <u>36</u> Outparcels _____	
Number of Dwelling Units: Attached <u>200</u> Detached _____ Multifamily _____	Gross Floor Area (Nonresidential portion only):
Variance Request Yes <input type="checkbox"/> No <input type="checkbox"/>	Applicable Zoning/Subdivision Regulation Section(s):
Departure Request Yes <input type="checkbox"/> No <input type="checkbox"/>	Application Filed Yes <input type="checkbox"/> No <input type="checkbox"/>
Alternative Compliance Request Yes <input type="checkbox"/> No <input type="checkbox"/>	Application Filed Yes <input type="checkbox"/> No <input type="checkbox"/>

FOR PRIOR ORDINANCE ONLY

APPLICATION FORM DISCLOSURE

List all persons having at least five percent (5%) interest in the subject property **ONLY** required for **Special Exception and Zoning Map Amendment Applications**.

Owner(s) Name - printed	Signature and Date	Residence Address
N/A		

If the property is owned by a corporation, please fill in below.

Officers	Date Assumed Duties	Residence Address	Business Address

Board of Directors	Date Assumed Duties	Date Term Expires	Residence Address	Business Address

THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
14741 GOVERNOR ODEN BOWIE DRIVE
UPPER MARLBORO, MD 20772
DEVELOPMENT REVIEW DIVISION
301-952-3530



McNamee Hosea

Attorneys & Advisors

McNamee Hosea

6411 Ivy Lane, Suite 200

Greenbelt, Maryland 20770

O 301.441.2420

F 301.982.9450

mhlawyers.com

November 10, 2022

Via First Class Mail

TO: Adjoining Property Owners, Municipalities within a mile, Parties of Record, and Registered Associations

FROM: Matthew C. Tedesco, Esq.

RE: DSP-22028, Fairwood Square

Dear Previous Parties of Record, Adjoining Property Owners, Registered Associations and Municipalities:

On January 6, 2022, a similar informational mailing letter was sent regarding the above-referenced matter that referenced case number DSP-21047; however, on April 1, 2022, the new Zoning Ordinance went into effect, resulting in the need to re-file an updated pre-application that caused the case number to be re-assigned as DSP-22028. Consequently, the associated application number previously referenced in the January 6, 2022 informational letter (to wit: DSP-21047) has been updated to DSP-22028. If you previously registered as a party of record for Case Number DSP-21047, you will automatically be added as a party of record in Case Number DSP-22028. Notwithstanding, and in abundance of caution, we are sending this updated informational mailing to all required parties to advise of the same.

A detailed site plan for the above-referenced project will be submitted for review to the Development Review Division of the Maryland-National Capital Park and Planning Commission ("M-NCPPC").

The address of the subject property is 12105 and 12205 Annapolis Road and 5015 Enterprise Road, Bowie, Maryland 20720, which is located at the southeast quadrant of the intersection of Annapolis Road (MD 450) and Enterprise Road (MD 193). The nature of the review is to accommodate a mixed-use development comprising of approximately 200 single-family attached (townhouses) units and a future development of approximately 5,000 square feet of commercial/retail uses in the prior R-E Zone.

If you wish to become a Person of Record to this application, you are encouraged to do so at this time. Persons of Record are entitled to certain rights under zoning and subdivision laws, but registration is required. You may register online at https://www.mncppcapps.org/planning/Person_of_Record/default.cfm, or you may submit your name, address, and the above referenced pre-application number and name by mailing a written request to:

The Maryland-National Capital Park and Planning Commission
Development Review Division
14741 Governor Oden Bowie Drive
County Administration Building, 4th Floor
Upper Marlboro, MD 20772

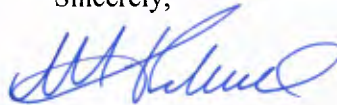
Being a Person of Record on a separate application on the same property does not make you a Person of Record for this application. You must request to become a Person of Record for each separate application (separate

applications have different application numbers). At this time no government agency has reviewed the application. After the application has been filed, you may contact the M-NCPPC at 301-952-3530.

IMPORTANT: This notice is your opportunity to interact with the applicant prior to the acceptance of the subject application. Once an application is accepted, it may be subject to mandatory action time frames that are established by law. Contacting the applicant as soon as possible after receiving this notice will help facilitate your ability to receive information and/or establish a time when the applicant may meet with you or your civic group to provide information and answer questions about the development proposed. Any concerns regarding an applicant's failure to provide information or engage in dialogue about the proposed development should be directed in writing to the same mailing address listed for becoming a party of record. Please be sure to include the application number with any such correspondence.

If you are interested in receiving more information about this application, reviewing a copy of a site plan, or meeting to discuss the project, you may contact Applicant, Timberlake Homes, care of Matthew C. Tedesco at MTedesco@mhlawyers.com or 301-441-2420.

Sincerely,



Matthew C. Tedesco



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
Prince George's County Planning Department (301) 952-3530
Development Review Division
14741 Governor Oden Bowie Drive www.mncppc.org
Upper Marlboro, MD 20772

Date: 8/19/22

MAILING LIST - RECEIPT

- DRD application DSP-22028
 County application

This receipt is to acknowledge that YOUNG ROH of (name
of company, if applicable) SOLTESZ, LLC.

received the following lists as described by the categories below:

- | | | |
|--|------------------|------------|
| <input checked="" type="checkbox"/> Registered community organization list | Total Record(s): | <u>39</u> |
| <input checked="" type="checkbox"/> Adjoining property owners list | Total Record(s): | <u>158</u> |
| <input checked="" type="checkbox"/> Municipalities within one mile list | Total Record(s): | <u>0</u> |

This list is valid for 180 days from the date referenced above. Applicants shall obtain an updated mailing list if notifications are not sent within 180 days.

This property is located on WSSC Grid: 207NE11

Donald Townsend

Development Review Division Staff

NOTE: Copy of this form must be included with Application submittal package.

The Maryland-National Capital Park & Planning Commission Results

Prince George's County Planning Department

Date: 8/18/2022

Time: 1:20:50 PM

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Total Records(s): 39
=====

ASSOCIATION ORGANIZATION_NAME	FIRST_NAME
99 COALITION OF CENTRAL PGC COMMUNITY ASSOCIATIONS	
231 LAKE ARBOR CIVIC ASSOCIATION	THELMA
238 LANHAM STATION AREA CITIZENS ASSOCIATION	
245 LITTLE WASHINGTON CIVIC ASSOCIATION	
265 MILLWOOD COMMUNITY ASSOCIATION, INC.	
266 MILLWOOD-WATERFORD CITIZENS ASSOCIATION, INC.	MARGARET
336 RANDOLPH VILLAGE CIVIC ASSOCIATION	HERMAN
348 ROBLEE CITIZENS ASSOCIATION	JOHN
457 PERRYWOOD COMMUNITY ASSOCIATION, INC.	
481 CLAGETT LANDING ASSOCIATION	
500 RITCHIE HEIGHTS/RITCHIE MANOR CIVIC ASSOCIATION	MALLORY
523 PICKWICK SQUARE MUTUAL HOMES, INC.	
555 ENTERPRISE ROAD CORRIDOR DEV. REVIEW DISTRICT	
563 FOXCHASE II HOA	ELAINE
615 MELWOOD ROAD CIVIC ASSOCIATION	
628 RUSTIC RIDGE HOMEOWNERS ASSOCIATION	
670 ST. MARGARET'S OF SCOTLAND CATHOLIC CHURCH	
681 COMMUNITY ASSOCIATIONS OF MARLTON (CAM), INC.	
693 DELIGHT 1A CONDOMINIUM ASSOCIATION (FAIRWOOD)	
695 COLLINGTON HOMEOWNERS ASSOCIATION	
715 PRINCE GEORGE'S COUNTY EDUCATOR'S ASSOCIATION (PGCEA)	
725 CENTRAL CIVIC ASSOCIATION OF THE WILBURN COMMUNITY	DAISY
726 BELMONT CREST HOMEOWNERS ASSOCIATION	
728 WESTLAKE AT LAKE ARBOR HOMEOWNERS ASSOCIATION	
730 LAKE ARBOR FOUNDATION, INC.	
731 ENTERPRISE ESTATES CIVIC ASSOCIATION	
741 PALISADES HOMEOWNERS ASSOCIATION	
747 COLLEGE STATION HOMEOWNERS ASSOCIATION	
754 BRIGHTON PLACE HOMEOWNERS ASSOCIATION	
762 LAKE LARGO TOWNHOUSES ASSOCIATION (LLTA)	
771 THE KNOLLS AT CABIN BRANCH	
775 WOODMORE ESTATES HOA	PETER
777 FORESTVILLE ESTATES CIVIC ASSOCIATION	WALTER
780 HILLS OVER MULLIKAN STATION HOA	
782 FORESTVILLE KNOLLS	
787 THE WOODS OF WOODMORE	KYM
797 THE PARK AT ADDISON METRO HOA, INC.	LAYLA
800 CANTERBURY ESTATES CIVIC ASSOCIATION	MARGO
804 CAPITAL COURT HOMEOWNERS ASSOCIATION INC.	FRANK

LAST_NAME	POST_OFFI	STREET_NL	ADDRESS_1
			708 QUARRY AVENUE
MURRAY-FISHER			1603 PEBBLE BEACH DR
			5308 LANHAM STATION ROAD
			P.O. BOX 383
			306 SHADY GLEN DRIVE
WHITE			1005 ELDERBERRY PLACE
PRIVOTT, JR.			8422 DUNBAR AVENUE
TILLERY			4815 WOODFORD LANE
			13200 TRUMPETER SWAN COURT
			1209 HERITAGE HILLS DRIVE
JOHNSON			1224 DARLINGTON STREET
			1574 ADDISON ROAD SOUTH
			1400 ROSEMARY COURT
HART			4208 DUTCHESS CT
			4110 MELWOOD ROAD
			2200 DEFENSE HIGHWAY
			408 ADDISON ROAD
			12000 KINGFIELD COURT
			12530 FAIRWOOD PARKWAY
			312 MARSHALL AVENUE
			8008 MARLBORO PIKE
CHERRY MAGGETT			6616 SISALBED DRIVE
			10416 MARLBORO PIKE
			4307 GALLATIN STREET
			12138 CENTRAL AVENUE
			11704 WHITTIER ROAD
			14106 JONES BRIDGE ROAD
			122 COLLEGE STATION DRIVE
			12200 TECH ROAD
			9011 LAKE LARGO DRIVE
			3311 ALTAIR LANE
NIKITAKIS			204 WASHINGTON AVENUE
REDMOND			2005 OVERTON DIVE
			16606 PEACH STREET
			1811 ALTAMONT PLACE
TAYLOR			3003 WESTBROOK LANE
BROWN			3414 MORNINGWOOD DRIVE
NELSON			1802 ALBERT COURT
CASSAGNOL			9502 CAPITAL COURT

SUITE_NUMBER

CITY STATE

CAPITOL HEIGHTS MD

BOWIE MD

LANHAM MD

UPPER MARLBORO MD

CAPITOL HEIGHTS MD

CAPITOL HEIGHTS MD

HYATTSVILLE MD

UPPER MARLBORO MD

UPPER MARLBORO MD

UPPER MARLBORO MD

DISTRICT HEIGHTS MD

DISTRICT HEIGHTS MD

BOWIE MD

UPPER MARLBORO MD

UPPER MARLBORO MD

C/O SENTRY MANAGEMENT

CROFTON MD

CAPITOL HEIGHTS MD

UPPER MARLBORO MD

SUITE 103

BOWIE MD

SUITE 1006,C/O SABRENA GASKIN-T&A COVENANT SOLUTIO

LAUREL MD

DISTRICT HEIGHTS MD

CAPITOL HEIGHTS MD

UPPER MARLBORO MD

C/O BENJAMIN COLBERT, METROPOLIS

HYATTSVILLE MD

SUITE 884

BOWIE MD

BOWIE MD

C/O ANDREA CLARK-CHAMBERS MGMT

UPPER MARLBORO MD

UPPER MARLBORO MD

SUITE 325

SILVER SPRING MD

UPPER MARLBORO MD

UPPER MARLBORO MD

102 LA PLATA MD

DISTRICT HEIGHTS MD

BOWIE MD

DISTRICT HEIGHTS MD

BOWIE MD

OLNEY MD

BOWIE MD

UPPER MARLBORO MD

ZIP

20743
20721
20706
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20774

The Maryland-National Capital Park & Planning Commission
 Prince George's County Planning Department

Date: 8/18/2022

Time: 1:21:16 PM

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 Total Records(s): 158
 =====

ACCOUNT	LOT	BLOCK	PARCEL	PLAT
9999999				
736454	18 A			A07-6417
3418001	63 A			7193006
736413	13 A			A07-6417
3417565	14 A			7193005
736496	5 D			A07-6417
3417888	38 A			7193006
3417441	2 A			7193005
3417862	36 A			7193006
3417854	35 A			7193006
1445394	A			A13-9760
736488	4 D			A07-6417
817676			118	
3417664	24 A			7193005
708024	11 B			A07-5002
795914	12 A			A07-4544
3417540	12 A			7193005
3417490	7 A			7193005
823773			159	
3417672	25 A			7193005
733741			5	
3417607	18 A			7193005
793851	1 A			A07-4544
3417714	29 A			7193005
3417706	28 A			7193005
3417524	10 A			7193005
657064	26 C			7161041
3418068	A			7193006
729491	15 A			A07-6417
3417870	37 A			7193006
3499159	3 A			7193005
736462	B			A07-6417
3417615	19 A			7193005
777227			162	
1546027			12	
823781			139	
657056	19 B			7161041
3417912	41 A			7193006
823765			129	

733782		123	
3417516	9 A		7193005
797993		147	
3417474	5 A		7193005
3417573	15 A		7193005
1445360	A		A13-9760
3417508	8 A		7193005
708032		59	
1414945		115	13223076
3417995	62 A		7193006
3417839	A		7193005
3417466	4 A		7193005
3417797	A		7193005
3417631	21 A		7193005
736439	16 A		A07-6417
3417698	27 A		7193005
3417987	61 A		7193006
3417680	26 A		7193005
3418118	47 A		7193007
3417581	16 A		7193005
3417730	31 A		7193005
3418092	45 A		7193007
1411404		125	
3417938	43 A		7193006
3418167	52 A		7193007
794438	3 D		A07-6417
3417599	17 A		7193005
3417532	11 A		7193005
3417623	20 A		7193005
3417656	23 A		7193005
3417946	44 A		7193006
3417763	34 A		7193005
3417649	22 A		7193005
3417904	40 A		7193006
3418126	48 A		7193007
3417748	32 A		7193005
3417755	33 A		7193005
823799		2	
3417482	6 A		7193005
823757		158	
3418100	46 A		7193007
3436060			14253070
3969417			14231092
3417557	13 A		7193005
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3916939	8		13223076
3916871	2		13223076

739870	2 D	A07-6417
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3916897	4	13223076
3916905	5	13223076
797985	18 B	A07-6417
3417920	42 A	7193006
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3969458		14231092
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3969714		14231092
3417789	A	7193005
3970118		14231092
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3970100		14231092
3969730		14231092
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4004701	5	14230050
4004768	1	14230051
4004776	2	14230051
4004784	3	14230051
4004867		14230051
4021150		125
3969490		14231092
5658948		14253070

Results

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PROPERTY_DESC	HOUSE_NL	HOUSE_:
ACCOUNT UNKNOWN BY M-NCPPC. SEND ANY INFO TO PPD-GIS@PPD.MNCPPC.C		
LOTS 17 AND 18	4925	
(NEW PLAT ERR-CORR MAP 2003)	5205	
	4922	
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L13399 F364	12102	
(NEW PLAT ERR-CORR MAP # 2003)	12304	
(NEW PLAT ERR-CORR MAP # 2003)	12332	
PHASE 1 PLAT 4	5206	
	5300	
PARCEL A	11819	
L13399 F364	12100	
AGTX (1.1171 A ADD BACK PER REV RW38 99)	5015	
(NEW PLAT ERR-CORR MAP # 2003)	12311	
	4920	
	4920	
(NEW PLAT ERR-CORR MAP # 2003)	12312	
(NEW PLAT ERR-CORR MAP # 2003)	12322	
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(NEW PLAT ERR-CORR MAP # 2003)	12313	
SUBJ TO AGTX	12205	
	12300	
	4921	
(NEW PLAT ERR-CORR MAP # 2003)	12331	
(NEW PLAT ERR-CORR MAP # 2003)	12327	
(NEW PLAT ERR-CORR MAP # 2003)	12316	
	4925	
PAR F COMMON AREA PER PLT(NEW PLT ERR-CORR MAP#03)	0	
	12003	
(NEW PLAT ERR-CORR MAP # 2003)	12306	
	12330	
LOTS 16.17	12103	
(NEW PLAT ERR-CORR MAP # 2003)	12301	
	0	
	0	
	0	
	4922	
(NEW PLAT ERR-CORR MAP # 2003)	12301	
	0	

SUBJ TO AGTX	12105
(NEW PLAT ERR-CORR MAP # 2003)	12318
	0
(NEW PLAT ERR-CORR MAP # 2003)	12326
(NEW PLAT ERR-CORR MAP # 2003)	12306
PT LOT 41	5000
(NEW ACCT ERR-CORR MAP # 2003)	12320
	0
PARCEL A	5004
(NEW PLAT ERR-CORR MAP 2003)	5203
PAR E COMMON AREA PER PLT(NEW PLT ERR-CORR MAP#03)	0
(NEW PLAT ERR-CORR MAP # 2003)	12328
PAR A (COMMON AREA PER PLT)NEW PLT ERR- CORR MAP# 03)	0
(NEW PLAT ERR-CORR MAP # 2003)	12305
	12001
(NEW PLAT ERR-CORR MAP # 2003)	12323
(NEW PLAT ERR-CORR MAP # 2003) T-DT S /B 06/22/04 L19764F001	12400
	12317
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(NEW PLAT ERR-CORR MAP # 2003)	12304
(NEW PLAT ERR-CORR MAP # 2003)	5308
(NEW PLAT ERR-CORR MAP # 2003)	5108
PT PAR 125	4908
(NEW PLAT ERR-CORR MAP # 2003)	12305
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L13399 F364	12004
	12302
(NEW PLAT ERR-CORR MAP # 2003)	12314
(NEW PLAT ERR-CORR MAP # 2003)	12303
(NEW PLAT ERR-CORR MAP # 2003) (TR S/ B 08132003 L16108 F028)	12309
(NEW PLAT ERR-CORR MAP 2003)	5110
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	12307
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(NEW PLAT ERR-CORR MAP # 2003)	5304
L7188 F346	0
(NEW PLAT ERR-CORR MAP # 2003)	12324
	12200
(NEW PLAT ERR-CORR MAP # 2003) T-DT S /B 06/16/04 L19707F734	5106
PARCEL B	12300
	12150
(NEW PLAT ERR-CORR MAP # 2003)	12310
	12200
	11909
	11906

(NEW PLAT ERR-CORR MAP # 2003)

12002
12302
11907
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11908
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11912
4925

(NEW PLAT ERR-CORR MAP # 2003)

12303
4926
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12200

FAIRWOOD PARK SUBDIVISION PART OF PARCEL A
FAIRWOOD OFFICE PARK II PART OF PARCEL A

0
12000
12150
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UNIT 309

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	12150
	5201
PT PARCEL B (FINAL NC 7/1/09)	0
	12150
	12150
BLDG B UNIT 209	12150
	12200
	12200
OUTLOT B (NEW PLAT ERR-CORR MAP # 2003)	0
PROPOSED UNIT 2	12100
	12200
	12200
PROPOSED UNIT 1	12100
	12200
	5207
	5203
	5213
	5211
	5209
PT PARCEL B	0
PT PAR 125	4908
	12150
PLAT 1 PARCEL 5	0

STREET_NAME	STREET_TY	STREET	CONDO_L	CITY	ZIP5	WSSCGRID
ACCOUNT UNKNOWN						
ENTERPRISE	RD			BOWIE	20720	207NE11
CORNELIAS PROSPECT	DR			BOWIE	20720	207NE11
SMITHWICK	LN			BOWIE	20720	207NE11
EUGENES PROSPECT	DR			BOWIE	20720	207NE11
PARTELLO	RD			BOWIE	20716	207NE11
THOMAS PROSPECT	DR			BOWIE	20720	207NE11
EUGENES PROSPECT	DR			BOWIE	20720	207NE11
CORNELIAS PROSPECT	DR			BOWIE	20720	207NE11
ROBERTS PROSPECT	DR			BOWIE	20720	207NE11
POINT	WAY			BOWIE	20720	207NE10
PARTELLO	RD			BOWIE	20720	207NE11
ENTERPRISE	RD			BOWIE	20720	207NE11
EUGENES PROSPECT	DR			BOWIE	20720	207NE11
REES	LN			BOWIE	20720	207NE11
SMITHWICK	LN			BOWIE	20720	207NE11
EUGENES PROSPECT	DR			BOWIE	20720	207NE11
EUGENES PROSPECT	DR			BOWIE	20720	207NE11
PARTELLO	RD			BOWIE	20715	207NE11
EUGENES PROSPECT	DR			BOWIE	20720	207NE11
ANNAPOLIS	RD			BOWIE	20720	207NE11
EUGENES PROSPECT	DR			BOWIE	20720	207NE11
ENTERPRISE	RD	141		BOWIE	20720	207NE11
EUGENES PROSPECT	DR			BOWIE	20720	207NE11
EUGENES PROSPECT	DR			BOWIE	20720	207NE11
EUGENES PROSPECT	DR			BOWIE	20720	207NE11
REES	LN			BOWIE	20720	207NE11
THOMAS PROSPECT	DR			BOWIE	20720	207NE11
PARTELLO	RD			BOWIE	20720	207NE11
THOMAS PROSPECT	DR			BOWIE	20720	207NE11
EUGENES PROSPECT	DR			BOWIE	20720	207NE11
PARTELLO	RD			BOWIE	20720	207NE11
EUGENES PROSPECT	DR			BOWIE	20720	207NE11
PARTELLO	RD			BOWIE	20715	207NE11
ENTERPRISE	RD			BOWIE	20716	207NE10
PARTELLO	RD			BOWIE	20715	207NE11
REES	LN			BOWIE	20720	207NE11
THOMAS PROSPECT	DR			BOWIE	20720	207NE11
PARTELLO	RD			BOWIE	20715	207NE11

ANNAPOLIS	RD	BOWIE	20720 207NE11
EUGENES PROSPECT	DR	BOWIE	20720 207NE11
ENTERPRISE	RD	BOWIE	20715 207NE11
EUGENES PROSPECT	DR	BOWIE	20720 207NE11
EUGENES PROSPECT	DR	BOWIE	20720 207NE11
ENTERPRISE	RD	BOWIE	20720 207NE10
EUGENES PROSPECT	DR	BOWIE	20720 207NE11
REES	LN	BOWIE	20715 207NE11
ENTERPRISE	RD	BOWIE	20720 207NE10
CORNELIAS PROSPECT	DR	BOWIE	20720 207NE11
EUGENES PROSPECT	DR	BOWIE	20720 207NE11
EUGENES PROSPECT	DR	BOWIE	20720 207NE11
FAIRWOOD	PKWY	BOWIE	20720 207NE11
EUGENES PROSPECT	DR	BOWIE	20720 207NE11
PARTELLO	RD	BOWIE	20720 207NE11
EUGENES PROSPECT	DR	BOWIE	20720 207NE11
ANNES PROSPECT	DR	BOWIE	20720 207NE11
EUGENES PROSPECT	DR	BOWIE	20720 207NE11
CORNELIAS PROSPECT	DR	BOWIE	20720 207NE11
EUGENES PROSPECT	DR	BOWIE	20720 207NE11
ROBERTS PROSPECT	DR	BOWIE	20720 207NE11
CORNELIAS PROSPECT	DR	BOWIE	20720 207NE11
ENTERPRISE	RD	BOWIE	20720 207NE10
THOMAS PROSPECT	DR	BOWIE	20720 207NE11
ANNES PROSPECT	DR	BOWIE	20720 207NE11
PARTELLO	RD	BOWIE	20720 207NE11
EUGENES PROSPECT	DR	BOWIE	20720 207NE11
EUGENES PROSPECT	DR	BOWIE	20720 207NE11
EUGENES PROSPECT	DR	BOWIE	20720 207NE11
EUGENES PROSPECT	DR	BOWIE	20720 207NE11
CORNELIAS PROSPECT	DR	BOWIE	20720 207NE11
ROBERTS PROSPECT	DR	BOWIE	20720 207NE11
EUGENES PROSPECT	DR	BOWIE	20720 207NE11
THOMAS PROSPECT	DR	BOWIE	20720 207NE11
CORNELIAS PROSPECT	DR	BOWIE	20720 207NE11
ROBERTS PROSPECT	DR	BOWIE	20720 207NE11
ROBERTS PROSPECT	DR	BOWIE	20720 207NE11
PARTELLO	RD	BOWIE	20715 207NE11
EUGENES PROSPECT	DR	BOWIE	20720 207NE11
PARTELLO	RD	BOWIE	20720 207NE11
CORNELIAS PROSPECT	DR	BOWIE	20720 207NE11
ANNAPOLIS	RD	GLENN DALE	20769 207NE11
ANNAPOLIS	RD	204 GLENN DALE	20769 207NE11
EUGENES PROSPECT	DR	BOWIE	20720 207NE11
ANNAPOLIS	RD	224 GLENN DALE	20769 207NE11
PARALLEL	RD	BOWIE	20720 207NE10
PARALLEL	RD	BOWIE	20720 207NE10

PARTELLO	RD	BOWIE	20720 207NE11
THOMAS PROSPECT	DR	BOWIE	20720 207NE11
PARALLEL	RD	BOWIE	20720 207NE10
PARALLEL	RD	BOWIE	20720 207NE10
ENTERPRISE	RD	BOWIE	20716 207NE11
PARALLEL	RD	BOWIE	20720 207NE10
PARALLEL	RD	BOWIE	20720 207NE10
PARALLEL	RD	BOWIE	20720 207NE10
SMITHWICK	LN	BOWIE	20720 207NE11
THOMAS PROSPECT	DR	BOWIE	20720 207NE11
SMITHWICK	LN	BOWIE	20720 207NE11
PARALLEL	RD	BOWIE	20720 207NE11
PARALLEL	RD	BOWIE	20720 207NE10
ANNAPOLIS	RD	316 GLENN DALE	20769 207NE11
ANNAPOLIS	RD	320 GLENN DALE	20769 207NE11
ANNAPOLIS	RD	312 GLENN DALE	20769 207NE11
ANNAPOLIS	RD	314 GLENN DALE	20769 207NE11
ANNAPOLIS	RD	112 GLENN DALE	20769 207NE11
ANNAPOLIS	RD	104 GLENN DALE	20769 207NE11
ANNAPOLIS	RD	105 GLENN DALE	20769 207NE11
ANNAPOLIS	RD	118 GLENN DALE	20769 207NE11
ANNAPOLIS	RD	119 GLENN DALE	20769 207NE11
ANNAPOLIS	RD	228 GLENN DALE	20769 207NE11
ANNAPOLIS	RD	229 GLENN DALE	20769 207NE11
ANNAPOLIS	RD	232 GLENN DALE	20769 207NE11
ANNAPOLIS	RD	233 GLENN DALE	20769 207NE11
ANNAPOLIS	RD	GLENN DALE	20769 207NE11
ANNAPOLIS	RD	GLENN DALE	20769 207NE11
ANNAPOLIS	RD	108 GLENN DALE	20769 207NE11
ANNAPOLIS	RD	109 GLENN DALE	20769 207NE11
ANNAPOLIS	RD	100 GLENN DALE	20769 207NE11
ANNAPOLIS	RD	101 GLENN DALE	20769 207NE11
ANNAPOLIS	RD	215 GLENN DALE	20769 207NE11
ANNAPOLIS	RD	111 GLENN DALE	20769 207NE11
ANNAPOLIS	RD	200 GLENN DALE	20769 207NE11
ANNAPOLIS	RD	201 GLENN DALE	20769 207NE11
ANNAPOLIS	RD	221 GLENN DALE	20769 207NE11
ANNAPOLIS	RD	225 GLENN DALE	20769 207NE11
ANNAPOLIS	RD	309 GLENN DALE	20769 207NE11
ANNAPOLIS	RD	115 GLENN DALE	20769 207NE11
ANNAPOLIS	RD	213 GLENN DALE	20769 207NE11
ANNAPOLIS	RD	216 GLENN DALE	20769 207NE11
ANNAPOLIS	RD	300 GLENN DALE	20769 207NE11
ANNAPOLIS	RD	305 GLENN DALE	20769 207NE11
ANNAPOLIS	RD	308 GLENN DALE	20769 207NE11
ANNAPOLIS	RD	116 GLENN DALE	20769 207NE11
ANNAPOLIS	RD	120 GLENN DALE	20769 207NE11

ANNAPOLIS	RD	123	GLENN DALE	20769 207NE11
ANNAPOLIS	RD	220	GLENN DALE	20769 207NE11
ANNAPOLIS	RD	208	GLENN DALE	20769 207NE11
RIDGELY RUN	RD		GLENN DALE	20769 207NE10
RIDGELY RUN	RD		GLENN DALE	20769 207NE10
ANNAPOLIS	RD	205	GLENN DALE	20769 207NE11
ANNAPOLIS	RD	212	GLENN DALE	20769 207NE11
ANNAPOLIS	RD	209	GLENN DALE	20769 207NE11
ANNAPOLIS	RD	240	GLENN DALE	20769 207NE11
ANNAPOLIS	RD	236	GLENN DALE	20769 207NE11
ANNAPOLIS	RD		BOWIE	20720 207NE11
ANNAPOLIS	RD	A-2	GLENN DALE	20769 207NE11
ANNAPOLIS	RD	324	GLENN DALE	20769 207NE11
ANNAPOLIS	RD	328	GLENN DALE	20769 207NE11
ANNAPOLIS	RD	A-1	GLENN DALE	20769 207NE11
ANNAPOLIS	RD	315	GLENN DALE	20769 207NE11
RIDGELY RUN	RD		GLENN DALE	20769 207NE10
RIDGELY RUN	RD		GLENN DALE	20769 207NE10
RIDGELY RUN	RD		GLENN DALE	20769 207NE10
RIDGELY RUN	RD		GLENN DALE	20769 207NE10
RIDGELY RUN	RD		GLENN DALE	20769 207NE10
RIDGELY RUN	RD		GLENN DALE	20769 207NE10
ENTERPRISE	RD		BOWIE	20720 207NE10
ANNAPOLIS	RD	301	GLENN DALE	20769 207NE11
ANNAPOLIS	RD		GLENN DALE	20769 207NE11

MAIL_IND	OWNER_NAME	ICO_NAME
	UNKNOWN	
O	EVERETT CHRISTOPHER E ETAL	
O	BROOKS SHIRLEY ETAL	
O	ASHLOCK HOUSTON EMMITT JR	
O	AHAGHOTU CHRISTIAN	
O	COMBS GARY P MARITAL TRUST	
O	TURNER GREGORY	
O	JOHNSON WAYNE & NATASHA	
O	ROBERTS LEWIS W ETAL	
O	BOWDEN NAILAH	
I	MNCPPC	CHIEF PK&P DIVPKS & REC-ROOM 303
O	COMBS GARY P MARITAL TRUST	
O	HAWKINS IRMGARD H BY PASS TRUST	
O	ZHANG MIN & FEI M	
O	SCHNECK ADRIA	
O	DENT MELISSA	
O	WASIM MOHAMMAD OMER ETAL	
O	CARTER RUSSELL ETAL	
O	SIBBLES JOHN	
O	ALLEN KAREN L & DAPHNE MCCLANE	
O	HAWKINS IRMGARD H BY PASS TRUST	
O	RAMRATTAN HEMMA ETAL	
O	MONTGOMERY JAMES W TRUSTEE	
O	BANGU ERNESTINE T ETAL	
O	GORHAM DERRICK T & LETITIA Y	
O	PATEL CHIMANBHAI C	
O	MCCARTHY JASON C	
I	FAIRWOOD COMMUNITY ASSN INC	COMSOURCE MGMT INC
O	DUCOTE THOMAS M & ANN O	
O	HORACE MICHAEL & ANDREA	
O	ADENIYI ADEMOLA	
O	PINKNEY LIVING TRUST	
O	SMITH MICHAEL A & GAIL T S	
O	TASHO JORGJI & FRANKA	
O	PAGE-PROCTOR DOROTHY T	
O	TASHO JORGJI & FRANKA	
O	GRAVES RODNEY & ICEY AJ	
O	MAUNEY MICHAEL D	
O	SIBBLES JOHN	

O	HAWKINS IRMGARD H BY PASS TRUST	
O	AMUAH ALEXANDER K	
O	WRIGHT NAOMI	
O	WOOTEN LORENZO M JR	
O	ZHANG MING G ETAL	
O	BLEDSOE DOROTHY J & RAYMOND	
O	DURHAM JENEO K ETAL	
O	SCHNECK ADRIA R	
I	CHARLESTON AT HLMHRST CLUB LLC	SUITE D
O	EWENIKE JOHN U & AGATHA C	
I	FAIRWOOD COMMUNITY ASSN INC	COMSOURCE MGMT INC
O	CHERIAN KOSHY K & SHINEY K	
I	FAIRWOOD COMMUNITY ASSN INC	COMSOURCE MGMT INC
O	ESTES ROBERT C	
O	BROWN HOGAN KIM LAURIE	
O	COFFIE FAMILY TRUST	
O	JUSTINIANI GILBERTO MARTINEZ	
O	FEROZE ABID ETAL	
O	CASON EDDRICK C ETAL	
O	HOSTEN SYDNEY AND CHERYL	
O	HABIB MOHAMMED ETAL	
O	EMRIT RONALD C & KAREN S	
O	PAGE-PROCTOR DOROTHY T	
O	SKINNER DALE & MICHELLE C	
O	PARKS RODNEY & AURELIA	
O	COMBS GARY P MARITAL TRUST	
O	ROBINSONKNOTT CHRISTINE	
O	ATUD JONAS A	
O	SCHNEIDER RONALD A ETAL	
O	NKEMTITIAH ALVINE M	
O	STEWART REGINALD J JR	
O	ELLIOTT EVERTON	
O	BAO JAY ETAL	
O	MODUPEOLA FATIMA T	
O	SHOCKLEY MONIQUE M	
O	GORDON KAI L	
O	GILLIS ROLAND R	
O	TASHO JORGJI & FRANKA	
O	GUERRIER GRAY SOPHIA	
O	SIBBLES JOHN	
O	LEWIS GILBERT C E JR ETAL	
I	BROGLEN LLC	SUITE 103
O	OGUNSANYA KOLAWOLE & MARY AB LV TR	
O	EBERHARDT MONIQUE	
I	MHB PROPERTY LLC	SUITE 220
O	ACOSTA IVAN MANUEL	
O	FRANKLIN ANTHONY	

O	KACZOR LIVING TRUST	
O	BETTS ROY A & CHERYL D	
O	WARE LANCE E ETAL	
O	SMALLWOOD BUDDY E JR LIV TRUST ETA	
O	KACZOR LIVING TRUST	
O	LUONG THANH H ETAL	
O	COLLIER CHARITY R	
O	ARUNA JULIANA H	
O	BROOKS TRATORIA	
O	WORRELL GWENDOLYN B	
O	ROUNTREE ERIC & TIA J V	
O	WHEELER CHARLENE ETAL	
O	FLUELLEN GREGORY A ETAL	
O	INCLUSIVE PROPERTIES LLC	
O	CMGQ PROPERTIES LLC	
I	MAHJOOB REAL ESTATE LLC	SUITE 312
I	REID COMMUNITY DEVELOPMENT CORP	STE 314
O	W J BROWN ENTPRS FAIRWOOD PRP LLC	
O	VERMA RAVENDER K & SHARU K	
I	YDA LLC	SUITE 105
O	MAYOR LUCKY & MEJEBI T	
I	CLARKE FAIRWOOD LLC	SUITE 119
I	JQWC HOLDINGS LLC	CAPITAL CARDIOLOGY CONSULTANTS
O	MUKEMIL INVESTMENTS INC	
O	IBITOYE OKEOWO D & OLAYINKA A	
I	GLENDALE KIDNEY CENTER LLC	UNIT 233
I	RIDGELY OFFICE PARK L L C	WILLIAM M CHESLEY
I	RIDGELY OFFICE PARK LLC	STE 202
I	KIRSHENBAUM ARNOLD & VIVIAN R	SUITE 108
I	RHONDA L NELSON INC	UNIT 109
O	KRYSTAL MEDICAL ASSOCIATES LLC	
O	MCKOY NORMAN G	
O	TEXTURED SALON LLC	
I	SNORING & SLEEP CENTER LLC	UNIT B111
O	CENTER ALLERGIC DISEASES LLC	
O	TRIFOLD INC	
O	PANTAZIS AT FAIRWOOD LLC	
O	TERRA PROPERTIES LLC	
I	CWH MARSHALL LLC	SUITE 307
O	ROMNEY HOLDINGS LLC	
O	PHILLIPS VAUL A & SHARON	
I	RAMSEY FAMILY RL EST HLDNG LLC	SUITE 216
O	AZ HOLDINGS LLC	
O	ADPAUL ENTERPRISES LLC	
O	JAMALI FARHAD & PARAND ALAVI	
I	NAOMI PROPERTY LLC	SUITE 116
I	YDA LLC	SUITE 105

O	MERCY GRACE HEALTH CARE LLC	
I	MHB PROPERTY LLC	SUITE 220
O	OGUNSANYA KOLAWOLE & MARY AB LV TR	
I	GLEN DALE HOLDING COMPANY LLC	SUITE 202
I	GLEN DALE HOLDING COMPANY LLC	SUITE 202
O	EDOMED MEDICAL ASSOCIATES LLC	
I	BOWMED LLC	MD FAMILY HEALTHCARE LLC
I	PMAAC HOLDINGS LLC	UNIT 209
O	REALTY ENTERPRISES LLC	
O	REALTY ENTERPRISES LLC	
I	ROUSE-FAIRWOOD DEV LTD PARTNERSHIP	PROPERTY TAX DEPT
O	AVALON MARKETING INC	
O	NA PROPERTY LLC	
I	EMC REALTY LLC	SUITE 315
O	OLD LINE BANK	
O	EMC REALTY LLC	
I	GLEN DALE HOLDING COMPANY LLC	SUITE 202
I	GLEN DALE HOLDING COMPANY LLC	SUITE 202
I	GLEN DALE HOLDING COMPANY LLC	SUITE 202
I	GLEN DALE HOLDING COMPANY LLC	SUITE 202
I	GLEN DALE HOLDING COMPANY LLC	SUITE 202
I	GLEN DALE HOLDING COMPANY LLC	SUITE 202
O	PAGE-PROCTOR DOROTHY T	
I	MITCHELLVILLE FAMILY DENTISTRY	12150 ANNAPOLIS RD
I	BROGLEN LLC	SUITE 103

MAIL_STREET	MAIL_CITY	MAIL_STAT	MAIL_ZIP5	MAIL_ZIP4
4925 ENTERPRISE RD	BOWIE	MD	20720	
5205 CORNELIAS PROSPECT DR	BOWIE	MD	20720	
4922 SMITHWICK LN	BOWIE	MD	20720	
12308 EUGENES PROSPECT DR	BOWIE	MD	20720	3372
12004 PARTELLO RD	BOWIE	MD	20720	3558
12304 THOMAS PROSPECT DR	BOWIE	MD	20720	
12332 EUGENES PROSPECT DR	BOWIE	MD	20720	3373
5206 CORNELIAS PROSPECT DR	BOWIE	MD	20720	0
5300 ROBERTS PROSPECT DR	BOWIE	MD	20720	
6600 KENILWORTH AVE	RIVERDALE	MD	20737	1314
12004 PARTELLO RD	BOWIE	MD	20720	3558
12205 ANNAPOLIS RD	BOWIE	MD	20720	3814
12311 EUGENES PROSPECT DR	BOWIE	MD	20720	3372
4920 REES LN	BOWIE	MD	20720	
4920 SMITHWICK LN	BOWIE	MD	20720	3552
12312 EUGENES PROSPECT DR	BOWIE	MD	20720	
12322 EUGENES PROSPECT DR	BOWIE	MD	20720	
12200 PARTELLO RD	BOWIE	MD	20720	
12313 EUGENES PROSPECT DR	BOWIE	MD	20720	3372
12205 ANNAPOLIS RD	BOWIE	MD	20720	3814
12300 EUGENES PROSPECT DR	BOWIE	MD	20720	0
4921 ENTERPRISE RD	MITCHELLVILLE	MD	20715	0
12331 EUGENES PROSPECT DR	BOWIE	MD	20720	
12327 EUGENES PROSPECT DR	BOWIE	MD	20720	3373
12316 EUGENES PROSPECT DR	BOWIE	MD	20720	3373
4925 REES LN	BOWIE	MD	20720	3551
3414 MORNINGWOOD DR	OLNEY	MD	20832	0
12003 PARTELLO DR	BOWIE	MD	20720	3548
12306 THOMAS PROSPECT DR	BOWIE	MD	20720	3374
12330 EUGENES PROSPECT DR	BOWIE	MD	20720	
12103 PARTELLO RD	BOWIE	MD	20720	3557
12301 EUGENES PROSPECT DR	BOWIE	MD	20720	3372
15116 MCKNEW RD	BURTONSVILLE	MD	20866	1110
4908 ENTERPRISE RD	BOWIE	MD	20720	3528
15116 MCKNEW RD	BURTONSVILLE	MD	20866	1110
4922 REES LN	BOWIE	MD	20720	3550
12301 THOMAS PROSPECT DR	BOWIE	MD	20720	3374
12200 PARTELLO RD	BOWIE	MD	20720	

12205 ANNAPOLIS RD	BOWIE	MD	20720	3814
8410 CHERVIL RD	LANHAM	MD	20706	3903
4925 SMITHWICK LN	BOWIE	MD	20720	0
12326 EUGENES PROSPECT DR	BOWIE	MD	20720	3373
12306 EUGENES PROSPECT DR	BOWIE	MD	20720	
5000 ENTERPRISE RD	BOWIE	MD	20720	3572
12320 EUGENES PROSPECT	BOWIE	MD	20720	3373
4920 REES LN	BOWIE	MD	20715	
2126 ESPEY CT	CROFTON	MD	21114	2425
5203 CORNELIAS PROSPECT DR	BOWIE	MD	20720	3376
3414 MORNINGWOOD DR	OLNEY	MD	20832	0
12328 EUGENES PROSPECT DR	BOWIE	MD	20720	0
3414 MORNINGWOOD DR	OLNEY	MD	20832	0
12305 EUGENES PROSPECT DR	BOWIE	MD	20720	0
12001 PARTELLO RD	BOWIE	MD	20720	3548
12323 EUGENES PROPECT DR	BOWIE	MD	20720	3373
302 FORTRESS CT	UPPER MARLBORO	MD	20774	
12317 EUGENE PROSPECT DR	BOWIE	MD	20720	
5104 CORNELIAS PROSPECT DR	BOWIE	MD	20720	3375
12304 EUGENES PROSPECT DR	BOWIE	MD	20720	3372
5308 ROBERTS PROSPECT DR	BOWIE	MD	20720	3379
5108 CORNELIAS PROSPECT DR	BOWIE	MD	20720	3375
4908 ENTERPRISE RD	BOWIE	MD	20720	3528
12305 THOMAS PROSPECT DR	BOWIE	MD	20720	3374
12401 ANNES PROSPECT DR	BOWIE	MD	20720	3377
12004 PARTELLO RD	BOWIE	MD	20720	3558
12302 EUGENES PROSPECT DR	BOWIE	MD	20720	3372
12314 EUGENES PROSPECT DR	BOWIE	MD	20720	
12303 EUGENES PROSPECT DR	BOWIE	MD	20720	3372
12309 EUGENES PROSPECT DR	BOWIE	MD	20720	
5110 CORNELIAS PROSPECT DR	BOWIE	MD	20720	
5302 ROBERTS PROSPECT DR	BOWIE	MD	20720	3379
12307 EUGENES PROSPECT DR	BOWIE	MD	20720	
12300 THOMAS PROSPECT DR	BOWIE	MD	20720	
5102 CORNELIAS PROSPECT DR	BOWIE	MD	20720	3375
5306 ROBERTS PROSPECT DR	BOWIE	MD	20720	
5304 ROBERTS PROSPECT DR	BOWIE	MD	20720	
15116 MCKNEW RD	BURTONSVILLE	MD	20866	1110
12324 EUGENES PROSPECT DR	BOWIE	MD	20720	
12200 PARTELLO RD	BOWIE	MD	20720	
5106 CORNELIAS PROSPECT DR	BOWIE	MD	20720	
10905 FORT WASHINGTON RD	FORT WASHINGTON	MD	20744	5843
12600 WOODMORE NORTH BLVD	BOWIE	MD	20720	
12310 EUGENES PROSPECT DR	BOWIE	MD	20720	
7309 BALTIMORE AVE	COLLEGE PARK	MD	20740	
11909 PARALLEL RD	BOWIE	MD	20720	
11906 PARALLEL RD	BOWIE	MD	20720	0

12002 PARTELLO RD	BOWIE	MD	20720	3558
12302 THOMAS PROSPECT DR	BOWIE	MD	20720	3374
11907 PARALLEL RD	BOWIE	MD	20720	
11903 PARALLEL RD	BOWIE	MD	20720	
12002 PARTELLO RD	BOWIE	MD	20720	3558
11908 PARALLEL RD	BOWIE	MD	20720	
11903 PARALLEL RD	BOWIE	MD	20720	0
11903 PARALLEL RD	BOWIE	MD	20720	0
4925 SMITHWICK LN	BOWIE	MD	20720	0
12303 THOMAS PROSPECT DR	BOWIE	MD	20720	3374
4926 SMITHWICK LN	BOWIE	MD	20720	3552
11911 PARALLEL RD	BOWIE	MD	20720	
11913 PARALLEL RD	BOWIE	MD	20720	0
3815 DEEP HOLLOW WAY	BOWIE	MD	20721	1275
6404 CROOM STATION RD	UPPER MARLBORO	MD	20772	9512
12150 ANNAPOLIS RD	GLENN DALE	MD	20769	
12150 ANNAPOLIS RD	GLENN DALE	MD	20769	
2202 PARKSIDE DR	MITCHELLVILLE	MD	20721	4230
12806 ODENS BEQUEST DR	BOWIE	MD	20720	0
12150 ANNAPOLIS RD	GLENN DALE	MD	20769	
9421 THORNDIKE DR	GAITHERSBURG	MD	20882	0
12200 ANNAPOLIS RD	GLENN DALE	MD	20769	
7645 MULBERRY ST	FULTON	MD	20759	
11034 AMHERST AVE	SILVER SPRING	MD	20902	7627
14011 WESTVIEW FOREST DR	BOWIE	MD	20720	4867
12200 ANNAPOLIS RD	GLENDALE	MD	20769	0
1641 STATE ROUTE 3 STE 202	CROFTON	MD	21114	
1641 STATE ROUTE 3	CROFTON	MD	21114	
12150 ANNAPOLIS RD	GLENN DALE	MD	20769	0
12150 ANNAPOLIS RD	GLENN DALE	MD	20769	9179
PO BOX 7321	LARGO	MD	20792	7321
12910 WOODMORE RD	MITCHELLVILLE	MD	20721	4124
14216 RUTHERSFORD RD	UPPER MARLBORO	MD	20774	
12150 ANNAPOLIS RD	GLEN DALE	MD	20769	
14819 KIMBERWICK DR	BOWIE	MD	20715	3347
14906 RIDGE FARM CT	BOWIE	MD	20715	
6214 GROVELAND RD	LINTHICUM	MD	21090	
PO BOX 345	DAVIDSONVILLE	MD	21035	
10313 GEORGIA AVE	SILVER SPRING	MD	20902	0
12403 PENELOPE CT	FULTON	MD	20759	
2814 HATBORO PL	UPPER MARLBORO	MD	20774	9400
12150 ANNAPOLIS RD	GLENN DALE	MD	20769	
12800 VICAR WOODS LN	BOWIE	MD	20720	4769
8262 GLENMAR RD	ELLCOTT CITY	MD	21043	6996
11508 PARKEDGE DR	ROCKVILLE	MD	20852	3729
12200 ANNAPOLIS RD	GLENN DALE	MD	20769	
12150 ANNAPOLIS RD	GLENN DALE	MD	20769	

4501 VALIANT TRACE	BOWIE	MD	20720	
7309 BALTIMORE AVE	COLLEGE PARK	MD	20740	
12600 WOODMORE NORTH BLVD	BOWIE	MD	20720	
1641 STATE RTE 3 N	CROFTON	MD	21114	2464
1641 STATE RTE 3 N	CROFTON	MD	21114	2464
15046 NOTLEY RD	SILVER SPRING	MD	20905	0
12150 ANNAPOLIS RD STE 212	GLENN DALE	MD	20769	9179
12150 ANNAPOLIS RD	GLENN DALE	MD	20769	0
2005 FLOURMILL CT	CROWNSVILLE	MD	21032	0
2005 FLOURMILL CT	CROWNSVILLE	MD	21032	0
PO BOX 833	COLUMBIA	MD	21044	833
10705 LAKE ARBOR WAY	MITCHELLVILLE	MD	20721	
1314 PATUXENT DR	ASHTON	MD	20861	9759
12200 ANNAPOLIS RD	GLENN DALE	MD	20769	0
1525 POINTER RIDGE PL	BOWIE	MD	20716	0
12200 ANNAPOLIS RD STE 315	GLENN DALE	MD	20769	9182
1641 STATE RTE 3 N	CROFTON	MD	21114	2464
1641 STATE RTE 3 N	CROFTON	MD	21114	2464
1641 STATE RTE 3 N	CROFTON	MD	21114	2464
1641 STATE RTE 3 N	CROFTON	MD	21114	2464
1641 STATE RTE 3 N	CROFTON	MD	21114	2464
1641 STATE ROUTE 3 N	CROFTON	MD	21114	2464
4908 ENTERPRISE RD	BOWIE	MD	20720	0
UNIT 301	GLENN DALE	MD	20769	
10905 FORT WASHINGTON RD	FORT WASHINGTON	MD	20744	5843

The Maryland-National Capital Park & Planning Commission Results

Prince George's County Planning Department

Date: 8/18/2022

Time: 1:21:50 PM

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Total Records(s): 0

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OBJECTID	NAME	MUNICIPAL	DAMS_LIN	OFFICIALS_TITLE	ADDRESS	CITY	ZIP_CODE
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EXECUTIVE EXEC_TERM ACREAGE BUFF_DIST ORIG_FID TELEPHONE EMAIL SHAPE_ARI SHAPE_LEN



DEVELOPMENT REVIEW BULLETIN

Bulletin No. 4-2014

Subject: Informational Mailings to the Chamber of Commerce and the Greater Prince George's Business Roundtable

Resource: Development Review Division

Date: December 12, 2014

On October 28, 2014, the Prince George's County Council, sitting as the District Council adopted CB-59-2014 for the purpose of adding the requirement for applicants to send an informational mailing to the Prince George's Chamber of Commerce and the Greater Prince George's Business Roundtable for Detailed Site Plan (DSP), Specific Design Plan (SDP), and Special Exception (SE) applications.

Effective immediately informational mailing notice affidavits for DSPs, SDPs, and SEs must include a separate list documenting that the notices were mailed to the Prince George's Chamber of Commerce and the Greater Prince George's Business Roundtable at the following addresses: The

Prince George's Chamber of Commerce
David Harrington, President and CEO
4640 Forbes Boulevard, Suite 130
Lanham, Maryland 20706

Greater Prince George's Business Roundtable
M.H. Jim Estep, President and CEO
10201 Martin Luther King, Jr. Highway, Suite 220
Bowie, MD 20720

If you have any questions regarding this process, please contact Cheryl Summerlin at 301-952-3578 or cheryl.summerlin@ppd.mncppc.org.

CASE NO: 4-21058
CASE NAME: FAIRWOOD SQUARE
PARTY OF RECORD: 84
PB DATE: 10-20-2022

HENRY WIXON
GLENN DALE CITIZENS' ASSOCIATION, INC.
P.O.BOX 235
GLENN DALE MD 20769
(CASE NUMBER: 4-21058)

ERIC ELMORE
P.O.BOX 1114
BOWIE MD 20718
(CASE NUMBER: 4-21058)

SHIRLEY BOYD
P.O.BOX 4408
CAPITOL HEIGHTS MD 20791
(CASE NUMBER: 4-21058)

MR.GARRY YANCY
P.O.BOX 686
UPPER MARLBORO MD 20773
(CASE NUMBER: 4-21058)

MICHAEL LENHART
LENHART TRAFFIC CONSULTING, INC.
645 B&A BOULEVARD SUITE 214
SEVERNA PARK MD 21146
(CASE NUMBER: 4-21058)

DAVID BICKEL
SOLTESZ
4300 FORBES BOULEVARD SUITE 230
LANHAM MD 20706
(CASE NUMBER: 4-21058)

TAMLA KIRKLAND
12807 GREENES PROMISE COURT/S
BOWIE MD 20720
(CASE NUMBER: 4-21058)

TAMLA KIRKLAND
12807 GREENES PROMISE COURT/S
BOWIE MD 20720
(CASE NUMBER: 4-21058)

MR.RICHARD D ELLIOTT
PRINCE GEORGE'S COUNTY YOUNG DEMOCRATS
11808 FOREST KNOLL COURT/S 3103 COURTSIDE
ROAD
BOWIE MD 20720
(CASE NUMBER: 4-21058)

MR.EZEKIEL J DENNISON
MARLTON HOME OWNERS ASSOCIATION
10213 LILY GREEN COURT, COURT/S 10213 LILY
GREEN COURT, UPPER MARLBORO MD 207
UPPER MARLBORO MD 20772
(CASE NUMBER: 4-21058)

MR.LARRY BROWN
13912 ABERDEENS FOLLY COURT/S
BOWIE MD 20720
(CASE NUMBER: 4-21058)

DR.CLARA LEE
825 FARAWAY COURT/S
MITCHELLVILLE MD 20721
(CASE NUMBER: 4-21058)

MS.TAMLA KIRKLAND
12807 GREENES PROMISE COURT/S
BOWIE MD 20720
(CASE NUMBER: 4-21058)

MS.MILLY HALL
14404 DUNSTABLE COURT/S
BOWIE MD 20721 -1263
(CASE NUMBER: 4-21058)

KRISTI BAO
12307 EUGENES PROSPECT DRIVE
BOWIE MD 20720
(CASE NUMBER: 4-21058)

GLORIA B WIMS
N/A
4808 GERRARDS HOPE DRIVE
BOWIE MD 20720
(CASE NUMBER: 4-21058)

SEAN SUHAR
GABRIELÃ,Ã-"S RUN HOMEOWNERS ASSOCIATION,
INC.
7226 LEE DEFOREST DRIVE SUITE 102
COLUMBIA MD 21046
(CASE NUMBER: 4-21058)

INGA W CRAREY
4213 QUANDERS PROMISE DRIVE
BOWIE MD 20720
(CASE NUMBER: 4-21058)

MURIEL THOMPSON
5109 SHAMROCKS DELIGHT DRIVE DRIVE
BOWIE MD 20720
(CASE NUMBER: 4-21058)

CHELI ENGLISH
12700 GOODLOES PROMISE DRIVE
BOWIE MD 20720
(CASE NUMBER: 4-21058)

WILLIAM J HARRIS
4522 BURKES PROMISE DRIVE
BOWIE MD 20720 -4696
(CASE NUMBER: 4-21058)

ROY BETTS
12302 THOMAS PROSPECT DR DRIVE
BOWIE MD 20720
(CASE NUMBER: 4-21058)

ANTHONY LAWRENCE
14905 14905 HEALTH CENTER DRIVE
BOWIE MD 20716
(CASE NUMBER: 4-21058)

KAWANNA J JENKINS
10903 SUTTON DRIVE
UPPER MARLBORO MD 20774
(CASE NUMBER: 4-21058)

ARMEANA STREET
13101 MONTAUK GREENFIELDS DRIVE
BOWIE MD 20720
(CASE NUMBER: 4-21058)

ERAYNA GRANT
4917 WILLES VISION DRIVE
BOWIE MD 20720
(CASE NUMBER: 4-21058)

MR.MIN ZHANG
12311 EUGENES PROSPECT DR DRIVE
BOWIE MD 20720
(CASE NUMBER: 4-21058)

MR.MICHAEL M BRIDGES
3320 DUNWOOD CROSSING DRIVE
BOWIE MD 20721
(CASE NUMBER: 4-21058)

MR.SEAN E SUHAR
WINGATE HOMEOWNERS ASSOCIATION, INC.
7226 LEE DEFOREST DRIVE
COLUMBIA MD 21046
(CASE NUMBER: 4-21058)

MR.SEAN E SUHAR
GABRIEL S RUN HOMEOWNERS ASSOCIATION, INC.
7226 LEE DEFOREST DRIVE
COLUMBIA MD 21046
(CASE NUMBER: 4-21058)

MR.RUSSELL CARTER
THE CARTER GROUP LLC
12322 EUGENES PROSPECT DRIVE DRIVE
BOWIE MD 20720
(CASE NUMBER: 4-21058)

MR.GARY KELLY
4914 COLLINGTONS BOUNTY DRIVE
BOWIE MD 20720
(CASE NUMBER: 4-21058)

MR.JARRET LAWRENCE
4314 DECLAIRMONTS FIELD DRIVE
BOWIE MD 20720
(CASE NUMBER: 4-21058)

MS.KNIA TANNER
12308 LONGWAY DRIVE
MITCHELLVILLE MD 20721
(CASE NUMBER: 4-21058)

MS.COLLETTE M HARRIS
4522 BURKES PROMISE DRIVE
BOWIE MD 20720 -4696
(CASE NUMBER: 4-21058)

MS.DEIDRA L MCGEE
DEIDRA SPEAKS
4212 HATTIES PROGRESS DRIVE DRIVE
BOWIE MD 20720
(CASE NUMBER: 4-21058)

MS.MICHELLE JACKSON
13107 JORDANS ENDEAVOR DRIVE
BOWIE MD 20720
(CASE NUMBER: 4-21058)

MS.EDOGHOGHO D OMORUYI
3002 EAGLES NEST DRIVE
BOWIE MD 20716
(CASE NUMBER: 4-21058)

MRS.GWENDOLYN A DRUMMOND
12715 MY MOLLIES PRIDE DRIVE
BOWIE MD 20720 -5617
(CASE NUMBER: 4-21058)

MRS.CHELI FIGARO
12700 GOODLOES PROMISE DRIVE
BOWIE MD 20720
(CASE NUMBER: 4-21058)

MRS.JILL OLIVER
FAIRWOOD
12713 MY MOLLIES PRIDE DRIVE 12713 MY MOLLIES
PRIDE DR.
BOWIE MD 20720
(CASE NUMBER: 4-21058)

MRS.BRITA COFFIE
12323 EUGENES PROSPECT DRIVE 12323 EUGENES
PROSPECT DR,
BOWIE MD 20720
(CASE NUMBER: 4-21058)

MRS.TAMEEKA WASHINGTON
12803 GOODLOES PROMISE DRIVE
BOWIE MD 20720
(CASE NUMBER: 4-21058)

MRS.JILL OLIVER
FAIRWOOD COMMUNITY
12713 MY MOLLIES PRIDE DRIVE DRIVE
BOWIE MD 20720
(CASE NUMBER: 4-21058)

MRS.TAMEKA SMALLWOOD
3717 AYNOR DRIVE
BOWIE MD 20721
(CASE NUMBER: 4-21058)

MRS.LASHAWN HARRIS
4400 DECLAIRMONTS FIELD DRIVE 4400
DECLAIRMONTS FIELD DR
BOWIE MD 20720
(CASE NUMBER: 4-21058)

MRS.NAILAH BOWDEN
5300 ROBERTS ROSPECT DRIVE
BOWIE MD 20720
(CASE NUMBER: 4-21058)

MRS.CAVELLA BISHOP
5505 WRIGHTS ENDEAVOR DRIVE
BOWIE MD 20720
(CASE NUMBER: 4-21058)

MR.JOHN COFFIE JR.
12323 EUGENES PROSPECT DRIVE 12323 EUGENES
PROSPECT DR,
BOWIE MD 20720
(CASE NUMBER: 4-21058)

MCNAMEE HOSEA
6411 IVY LANE SUITE 200
GREENBELT MD 20770
(CASE NUMBER: 4-21058)

DARI PUGH
4905 SMITHWICK LANE
BOWIE MD 20720
(CASE NUMBER: 4-21058)

MATTHEW TEDESCO
MCNAMEE HOSEA, P.A.
6411 IVY LANE SUITE 200
GREENBELT MD 20770
(CASE NUMBER: 4-21058)

SANDY RINCK
4909 SMITHWICK LANE
BOWIE MD 20720
(CASE NUMBER: 4-21058)

WEI HONG
313 CANTERBURY LANE
SEVERNA PARK MD 21146
(CASE NUMBER: 4-21058)

LARRY RINCK
4909 SMITHWICK LANE
BOWIE MD 20720 -3553
(CASE NUMBER: 4-21058)

KEITH RILEY
RI-CO CONSULTING LLC
13716 HEBRON LANE
UPPER MARLBORO MD 20774
(CASE NUMBER: 4-21058)

MR.HENRY GARRETT
10521 JIM LOVELL LANE
LANHAM MD 20706
(CASE NUMBER: 4-21058)

MR.SAMUEL BANKS
US AIR FORCE
4409 LANCEFIELD LANE
BOWIE MD 20720
(CASE NUMBER: 4-21058)

MR.TAALIB ALSALAAM
4917 SMITHWICK LANE
BOWIE MD 20720
(CASE NUMBER: 4-21058)

MS.MARCIA TUCKER
11310 WYCOMBE PARK LANE
GLENN DALE MD 20769
(CASE NUMBER: 4-21058)

MS.KATHERINE LUCAS
12514 SHETLAND LANE
BOWIE MD 20715
(CASE NUMBER: 4-21058)

MRS.ELLICA ALSALAAM
4917 SMITHWICK LANE
BOWIE MD 20720
(CASE NUMBER: 4-21058)

TIMBERLAKE HOMES, BT
304 HARRY S TRUMAN PARKWAY SUITE M
ANNAPOLIS MD 21401
(CASE NUMBER: 4-21058)

KEVIN KENNEDY
NAI THE MICHAEL COMPANIES
10100 BUSINESS PARKWAY
LANHAM MD 20706
(CASE NUMBER: 4-21058)

MR.BRIAN MESSINEO
TIMBERLAKE HOMES, BT
304 HARRY S TRUMAN PARKWAY SUITE M
ANNAPOLIS MD 21401
(CASE NUMBER: 4-21058)

MRS.CARLA HARPER-OMISORE
13301 MARY BOWIE PARKWAY
UPPER MARLBORO MD 20774
(CASE NUMBER: 4-21058)

FRONIE BARTON
9616 UTICA PLACE
SPRINGDALE MD 20774
(CASE NUMBER: 4-21058)

PMAAC HOLDINGS
PMAAC HOLDINGS, LLC
12150 ANNAPOLIS ROAD SUITE 209
GLENN DALE MD 20769
(CASE NUMBER: 4-21058)

YONETTE THOMAS
WINGATE HOMEOWNERS' ASSOCIATION
8111 FELBRIGG HALL ROAD
GLENN DALE MD 20769
(CASE NUMBER: 4-21058)

SHEILA LEISS
12430 12430 LISBOROUGH ROAD
BOWIE MD 20720
(CASE NUMBER: 4-21058)

MR.CHARLES JOHNSON
12007 LISBOROUGH ROAD
BOWIE MD 20720
(CASE NUMBER: 4-21058)

DR.YONETTE F THOMAS
8111 FELBRIGG HALL ROAD
GLENN DALE MD 20769
(CASE NUMBER: 4-21058)

MS.CAROLYN D ALSTON
11805 PARALLEL ROAD
BOWIE MD 20720
(CASE NUMBER: 4-21058)

MR.CLYDE M COLLIER III
11910 PARALLEL ROAD
BOWIE MD 20720
(CASE NUMBER: 4-21058)

DETRA ROUSEDDES
TEXTUREDSALON
12200 ANNAPOLIS ROAD SUITE 215
GLENDAL MD 20769
(CASE NUMBER: 4-21058)

DR.ARNOLD KIRSHENBAUM MD
12150 ANNAPOLIS ROAD SUITE 108
GLENN DALE MD 20769
(CASE NUMBER: 4-21058)

DR.JULIANA H ARUNA MD
11912 PARALLEL ROAD
BOWIE MD 20720
(CASE NUMBER: 4-21058)

HENRY WIXON
10701 MARIETTA STREET
GLENN DALE MD 20769 -9406
(CASE NUMBER: 4-21058)

MR.GREG SMITH
4204 FARRAGUT STREET
HYATTSVILLE MD 20781
(CASE NUMBER: 4-21058)

MR.JAMIL HAGANS
12905 BELLE MEAD TRACE TERRACE
BOWIE MD 20720
(CASE NUMBER: 4-21058)

JULIAN CURRY
NAI MICHAEL
250 AMERICAN WAY SUITE 311
OXON HILL MD 20745
(CASE NUMBER: 4-21058)

MR.CARLTON HART
4517 WOODGATE WAY
BOWIE MD 20720
(CASE NUMBER: 4-21058)

MS.ASHLEY CELESTIN
10108 GLENDALE OAKS WAY
GLENN DALE MD 20769
(CASE NUMBER: 4-21058)

MRS.DEBORAH K HEFLIN
4811 LAKE ONTARIO WAY WAY 4811 LAKE ONTARIO
WAY
BOWIE MD 20720
(CASE NUMBER: 4-21058)

CASE NO: DSP-21047
CASE NAME: FAIRWOOD SQUARE
PARTY OF RECORD: 15
PB DATE:

HENRY WIXON
GLENN DALE CITIZENS' ASSOCIATION, INC.
P.O.BOX 235
GLENN DALE MD 20769
(CASE NUMBER: DSP-21047)

TAMLA KIRKLAND
12807 GREENES PROMISE COURT/S
BOWIE MD 20720
(CASE NUMBER: DSP-21047)

MR.AARON KELTON
12801 GREENES PROMISE COURT/S
BOWIE MD 20720
(CASE NUMBER: DSP-21047)

CHENHONG ZHANG
12306 EUGENES PROSPECT DRIVE DRIVE
BOWIE MD 20720
(CASE NUMBER: DSP-21047)

GLORIA WIMS
4808 GERRARDS HOPE DRIVE
BOWIE MD 20720
(CASE NUMBER: DSP-21047)

MR.KEVIN PIERCE
12701 MY MOLLIES PRIDE DRIVE
BOWIE MD 20720
(CASE NUMBER: DSP-21047)

MR.DAVID E MORAN
7607 LAKE GLEN DRIVE
GLENN DALE MD 20769-2004
(CASE NUMBER: DSP-21047)

MR.GARY KELLY
4914 COLLINGTONS BOUNTY DRIVE
BOWIE MD 20720
(CASE NUMBER: DSP-21047)

MS.DEIDRE SINGLETON
FAIRWOOD
4203 QUANDERS PROMISE DRIVE DRIVE
BOWIE MD 20720
(CASE NUMBER: DSP-21047)

MS.MICHELLE JACKSON
PRINCE GEORGES COUNTY OFFICE OF THE SHERIFF
COMMUNITY PARTN
13107 JORDANS ENDEAVOR DRIVE
BOWIE MD 20720
(CASE NUMBER: DSP-21047)

MRS.JILL OLIVER
FAIRWOOD
12713 MY MOLLIES PRIDE DRIVE 12713 MY MOLLIES
PRIDE DR.
BOWIE MD 20720
(CASE NUMBER: DSP-21047)

MRS.CHELI FIGARO
12700 GOODLOES PROMISE DRIVE
BOWIE MD 20720
(CASE NUMBER: DSP-21047)

MARCIA TUCKER
WWW.MARTUCKS.COM
11310 WYCOMBE PARK LANE
GLENN DALE MD 20769
(CASE NUMBER: DSP-21047)

LARRY RINCK
4909 SMITHWICK LANE
BOWIE MD 20720 -3553
(CASE NUMBER: DSP-21047)

HENRY WIXON
10701 MARIETTA STREET
GLENN DALE MD 20769 -9406
(CASE NUMBER: DSP-21047)

CASE NO: DSP-22028
CASE NAME: FAIRWOOD SQUARE
PARTY OF RECORD: 5
PB DATE:

MR.AARON KELTON
12801 GREENES PROMISE COURT/S
BOWIE MD 20720
(CASE NUMBER: DSP-22028)

BRIAN K CHAPPELLPHD
4607 DICKENS PRIDE COURT/S
BOWIE MD 20720
(CASE NUMBER: DSP-22028)

CHELI ENGLISH
12700 GOODLOES PROMISE DRIVE
BOWIE MD 20720
(CASE NUMBER: DSP-22028)

MS.MICHELLE JACKSON
13107 JORDANS ENDEAVOR DRIVE
BOWIE MD 20720
(CASE NUMBER: DSP-22028)

MARCIA TUCKER
WWW.MARTUCKS.COM
11310 WYCOMBE PARK LANE
GLENN DALE MD 20769
(CASE NUMBER: DSP-22028)



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
Prince George's County Planning Department (301) 952-3530
Development Review Division
14741 Governor Oden Bowie Drive www.mncppc.org
Upper Marlboro, MD 20772

Date: 8/19/22

MAILING LIST - RECEIPT

- DRD application DSP-22028
- County application

This receipt is to acknowledge that YOUNG ROH of (name of company, if applicable) SOLTESZ, LLC.

received the following lists as described by the categories below:

- | | | |
|--|------------------|------------|
| <input checked="" type="checkbox"/> Registered community organization list | Total Record(s): | <u>39</u> |
| <input checked="" type="checkbox"/> Adjoining property owners list | Total Record(s): | <u>158</u> |
| <input checked="" type="checkbox"/> Municipalities within one mile list | Total Record(s): | <u>0</u> |

This list is valid for 180 days from the date referenced above. Applicants shall obtain an updated mailing list if notifications are not sent within 180 days.

This property is located on WSSC Grid: 207NE11

Donald Townsend

Development Review Division Staff

NOTE: Copy of this form must be included with Application submittal package.

The Maryland-National Capital Park & Planning Commission Results

Prince George's County Planning Department

Date: 8/18/2022

Time: 1:20:50 PM

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Total Records(s): 39
=====

ASSOCIATION ORGANIZATION_NAME	FIRST_NAME
99 COALITION OF CENTRAL PGC COMMUNITY ASSOCIATIONS	
231 LAKE ARBOR CIVIC ASSOCIATION	THELMA
238 LANHAM STATION AREA CITIZENS ASSOCIATION	
245 LITTLE WASHINGTON CIVIC ASSOCIATION	
265 MILLWOOD COMMUNITY ASSOCIATION, INC.	
266 MILLWOOD-WATERFORD CITIZENS ASSOCIATION, INC.	MARGARET
336 RANDOLPH VILLAGE CIVIC ASSOCIATION	HERMAN
348 ROBLEE CITIZENS ASSOCIATION	JOHN
457 PERRYWOOD COMMUNITY ASSOCIATION, INC.	
481 CLAGETT LANDING ASSOCIATION	
500 RITCHIE HEIGHTS/RITCHIE MANOR CIVIC ASSOCIATION	MALLORY
523 PICKWICK SQUARE MUTUAL HOMES, INC.	
555 ENTERPRISE ROAD CORRIDOR DEV. REVIEW DISTRICT	
563 FOXCHASE II HOA	ELAINE
615 MELWOOD ROAD CIVIC ASSOCIATION	
628 RUSTIC RIDGE HOMEOWNERS ASSOCIATION	
670 ST. MARGARET'S OF SCOTLAND CATHOLIC CHURCH	
681 COMMUNITY ASSOCIATIONS OF MARLTON (CAM), INC.	
693 DELIGHT 1A CONDOMINIUM ASSOCIATION (FAIRWOOD)	
695 COLLINGTON HOMEOWNERS ASSOCIATION	
715 PRINCE GEORGE'S COUNTY EDUCATOR'S ASSOCIATION (PGCEA)	
725 CENTRAL CIVIC ASSOCIATION OF THE WILBURN COMMUNITY	DAISY
726 BELMONT CREST HOMEOWNERS ASSOCIATION	
728 WESTLAKE AT LAKE ARBOR HOMEOWNERS ASSOCIATION	
730 LAKE ARBOR FOUNDATION, INC.	
731 ENTERPRISE ESTATES CIVIC ASSOCIATION	
741 PALISADES HOMEOWNERS ASSOCIATION	
747 COLLEGE STATION HOMEOWNERS ASSOCIATION	
754 BRIGHTON PLACE HOMEOWNERS ASSOCIATION	
762 LAKE LARGO TOWNHOUSES ASSOCIATION (LLTA)	
771 THE KNOLLS AT CABIN BRANCH	
775 WOODMORE ESTATES HOA	PETER
777 FORESTVILLE ESTATES CIVIC ASSOCIATION	WALTER
780 HILLS OVER MULLIKAN STATION HOA	
782 FORESTVILLE KNOLLS	
787 THE WOODS OF WOODMORE	KYM
797 THE PARK AT ADDISON METRO HOA, INC.	LAYLA
800 CANTERBURY ESTATES CIVIC ASSOCIATION	MARGO
804 CAPITAL COURT HOMEOWNERS ASSOCIATION INC.	FRANK

LAST_NAME	POST_OFFICE	STREET_NUMBER	ADDRESS_1
		708	QUARRY AVENUE
MURRAY-FISHER		1603	PEBBLE BEACH DR
		5308	LANHAM STATION ROAD
			P.O. BOX 383
		306	SHADY GLEN DRIVE
WHITE		1005	ELDERBERRY PLACE
PRIVOTT, JR.		8422	DUNBAR AVENUE
TILLERY		4815	WOODFORD LANE
		13200	TRUMPETER SWAN COURT
		1209	HERITAGE HILLS DRIVE
JOHNSON		1224	DARLINGTON STREET
		1574	ADDISON ROAD SOUTH
		1400	ROSEMARY COURT
HART		4208	DUTCHESS CT
		4110	MELWOOD ROAD
		2200	DEFENSE HIGHWAY
		408	ADDISON ROAD
		12000	KINGFIELD COURT
		12530	FAIRWOOD PARKWAY
		312	MARSHALL AVENUE
		8008	MARLBORO PIKE
CHERRY MAGGETT		6616	SISALBED DRIVE
		10416	MARLBORO PIKE
		4307	GALLATIN STREET
		12138	CENTRAL AVENUE
		11704	WHITTIER ROAD
		14106	JONES BRIDGE ROAD
		122	COLLEGE STATION DRIVE
		12200	TECH ROAD
		9011	LAKE LARGO DRIVE
		3311	ALTAIR LANE
NIKITAKIS		204	WASHINGTON AVENUE
REDMOND		2005	OVERTON DIVE
		16606	PEACH STREET
		1811	ALTAMONT PLACE
TAYLOR		3003	WESTBROOK LANE
BROWN		3414	MORNINGWOOD DRIVE
NELSON		1802	ALBERT COURT
CASSAGNOL		9502	CAPITAL COURT

SUITE_NUMBER

CITY STATE

CAPITOL HEIGHTS MD

BOWIE MD

LANHAM MD

UPPER MARLBORO MD

CAPITOL HEIGHTS MD

CAPITOL HEIGHTS MD

HYATTSVILLE MD

UPPER MARLBORO MD

UPPER MARLBORO MD

UPPER MARLBORO MD

DISTRICT HEIGHTS MD

DISTRICT HEIGHTS MD

BOWIE MD

UPPER MARLBORO MD

UPPER MARLBORO MD

C/O SENTRY MANAGEMENT

CROFTON MD

CAPITOL HEIGHTS MD

UPPER MARLBORO MD

SUITE 103

BOWIE MD

SUITE 1006,C/O SABRENA GASKIN-T&A COVENANT SOLUTIO

LAUREL MD

DISTRICT HEIGHTS MD

CAPITOL HEIGHTS MD

UPPER MARLBORO MD

C/O BENJAMIN COLBERT, METROPOLIS

HYATTSVILLE MD

SUITE 884

BOWIE MD

BOWIE MD

C/O ANDREA CLARK-CHAMBERS MGMT

UPPER MARLBORO MD

UPPER MARLBORO MD

SUITE 325

SILVER SPRING MD

UPPER MARLBORO MD

UPPER MARLBORO MD

102 LA PLATA MD

DISTRICT HEIGHTS MD

BOWIE MD

DISTRICT HEIGHTS MD

BOWIE MD

OLNEY MD

BOWIE MD

UPPER MARLBORO MD

ZIP

20743
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20832
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20774

The Maryland-National Capital Park & Planning Commission
 Prince George's County Planning Department

Date: 8/18/2022

Time: 1:21:16 PM

=====
 Total Records(s): 158
 =====

ACCOUNT	LOT	BLOCK	PARCEL	PLAT
9999999				
736454	18 A			A07-6417
3418001	63 A			7193006
736413	13 A			A07-6417
3417565	14 A			7193005
736496	5 D			A07-6417
3417888	38 A			7193006
3417441	2 A			7193005
3417862	36 A			7193006
3417854	35 A			7193006
1445394	A			A13-9760
736488	4 D			A07-6417
817676			118	
3417664	24 A			7193005
708024	11 B			A07-5002
795914	12 A			A07-4544
3417540	12 A			7193005
3417490	7 A			7193005
823773			159	
3417672	25 A			7193005
733741			5	
3417607	18 A			7193005
793851	1 A			A07-4544
3417714	29 A			7193005
3417706	28 A			7193005
3417524	10 A			7193005
657064	26 C			7161041
3418068	A			7193006
729491	15 A			A07-6417
3417870	37 A			7193006
3499159	3 A			7193005
736462	B			A07-6417
3417615	19 A			7193005
777227			162	
1546027			12	
823781			139	
657056	19 B			7161041
3417912	41 A			7193006
823765			129	

733782		123	
3417516	9 A		7193005
797993		147	
3417474	5 A		7193005
3417573	15 A		7193005
1445360	A		A13-9760
3417508	8 A		7193005
708032		59	
1414945		115	13223076
3417995	62 A		7193006
3417839	A		7193005
3417466	4 A		7193005
3417797	A		7193005
3417631	21 A		7193005
736439	16 A		A07-6417
3417698	27 A		7193005
3417987	61 A		7193006
3417680	26 A		7193005
3418118	47 A		7193007
3417581	16 A		7193005
3417730	31 A		7193005
3418092	45 A		7193007
1411404		125	
3417938	43 A		7193006
3418167	52 A		7193007
794438	3 D		A07-6417
3417599	17 A		7193005
3417532	11 A		7193005
3417623	20 A		7193005
3417656	23 A		7193005
3417946	44 A		7193006
3417763	34 A		7193005
3417649	22 A		7193005
3417904	40 A		7193006
3418126	48 A		7193007
3417748	32 A		7193005
3417755	33 A		7193005
823799		2	
3417482	6 A		7193005
823757		158	
3418100	46 A		7193007
3436060			14253070
3969417			14231092
3417557	13 A		7193005
3969656			14231092
3916939	8		13223076
3916871	2		13223076

739870	2 D	A07-6417
3417896	39 A	7193006
3916947	9	13223076
3916954	10	13223076
736470	1 D	A07-6417
3916889	3	13223076
3916897	4	13223076
3916905	5	13223076
797985	18 B	A07-6417
3417920	42 A	7193006
736421	14 A	A07-6417
3916921	7	13223076
3916913	6	13223076
3969748		14231092
3969755		14231092
3969532		14231092
3969540		14231092
3969557		14231092
3969342		14231092
3969359		14231092
3969581		14231092
3969599		14231092
3969672		14231092
3969680		14231092
3969698		14231092
3969706		14231092
5528363		14237021
5528374		14237021
3969367		14231092
3969375		14231092
3969326		14231092
3969334		14228020
3969623		14231092
3969383		14231092
3969391		14231092
3969409		14231092
3969649		14231092
3969664		14231092
3969524		14231092
3969565		14231092
3969466		14231092
3969474		14231092
3969482		14231092
3969508		14231092
3969516		14231092
3969573		14231092
3969607		14231092

3969615		14231092
3969631		14231092
3969433		14231092
4004719	6	14230050
4004750		14230050
3969425		14231092
3969458		14231092
3969441		14231092
3969722		14231092
3969714		14231092
3417789	A	7193005
3970118		14231092
3969763		14231092
3969771		14231092
3970100		14231092
3969730		14231092
4004693	4	14230050
4004701	5	14230050
4004768	1	14230051
4004776	2	14230051
4004784	3	14230051
4004867		14230051
4021150		125
3969490		14231092
5658948		14253070

Results

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PROPERTY_DESC	HOUSE_NL	HOUSE_:
ACCOUNT UNKNOWN BY M-NCPPC. SEND ANY INFO TO PPD-GIS@PPD.MNCPPC.C		
LOTS 17 AND 18	4925	
(NEW PLAT ERR-CORR MAP 2003)	5205	
	4922	
(NEW PLAT ERR-CORR MAP # 2003)	12308	
L13399 F364	12102	
(NEW PLAT ERR-CORR MAP # 2003)	12304	
(NEW PLAT ERR-CORR MAP # 2003)	12332	
PHASE 1 PLAT 4	5206	
	5300	
PARCEL A	11819	
L13399 F364	12100	
AGTX (1.1171 A ADD BACK PER REV RW38 99)	5015	
(NEW PLAT ERR-CORR MAP # 2003)	12311	
	4920	
	4920	
(NEW PLAT ERR-CORR MAP # 2003)	12312	
(NEW PLAT ERR-CORR MAP # 2003)	12322	
	0	
(NEW PLAT ERR-CORR MAP # 2003)	12313	
SUBJ TO AGTX	12205	
	12300	
	4921	
(NEW PLAT ERR-CORR MAP # 2003)	12331	
(NEW PLAT ERR-CORR MAP # 2003)	12327	
(NEW PLAT ERR-CORR MAP # 2003)	12316	
	4925	
PAR F COMMON AREA PER PLT(NEW PLT ERR-CORR MAP#03)	0	
	12003	
(NEW PLAT ERR-CORR MAP # 2003)	12306	
	12330	
LOTS 16.17	12103	
(NEW PLAT ERR-CORR MAP # 2003)	12301	
	0	
	0	
	0	
	4922	
(NEW PLAT ERR-CORR MAP # 2003)	12301	
	0	

SUBJ TO AGTX	12105
(NEW PLAT ERR-CORR MAP # 2003)	12318
	0
(NEW PLAT ERR-CORR MAP # 2003)	12326
(NEW PLAT ERR-CORR MAP # 2003)	12306
PT LOT 41	5000
(NEW ACCT ERR-CORR MAP # 2003)	12320
	0
PARCEL A	5004
(NEW PLAT ERR-CORR MAP 2003)	5203
PAR E COMMON AREA PER PLT(NEW PLT ERR-CORR MAP#03)	0
(NEW PLAT ERR-CORR MAP # 2003)	12328
PAR A (COMMON AREA PER PLT)NEW PLT ERR- CORR MAP# 03)	0
(NEW PLAT ERR-CORR MAP # 2003)	12305
	12001
(NEW PLAT ERR-CORR MAP # 2003)	12323
(NEW PLAT ERR-CORR MAP # 2003) T-DT S /B 06/22/04 L19764F001	12400
	12317
(NEW PLAT ERR-CORR MAP # 2003)	5104
(NEW PLAT ERR-CORR MAP # 2003)	12304
(NEW PLAT ERR-CORR MAP # 2003)	5308
(NEW PLAT ERR-CORR MAP # 2003)	5108
PT PAR 125	4908
(NEW PLAT ERR-CORR MAP # 2003)	12305
(NEW PLAT ERR-CORR MAP # 2003)	12401
L13399 F364	12004
	12302
(NEW PLAT ERR-CORR MAP # 2003)	12314
(NEW PLAT ERR-CORR MAP # 2003)	12303
(NEW PLAT ERR-CORR MAP # 2003) (TR S/ B 08132003 L16108 F028)	12309
(NEW PLAT ERR-CORR MAP 2003)	5110
(NEW PLAT ERR-CORR MAP # 2003)	5302
	12307
(NEW PLAT ERR-CORR MAP # 2003)	12300
(NEW PLAT ERR-CORR MAP # 2003)	5102
(NEW PLAT ERR-CORR MAP # 2003)	5306
(NEW PLAT ERR-CORR MAP # 2003)	5304
L7188 F346	0
(NEW PLAT ERR-CORR MAP # 2003)	12324
	12200
(NEW PLAT ERR-CORR MAP # 2003) T-DT S /B 06/16/04 L19707F734	5106
PARCEL B	12300
	12150
(NEW PLAT ERR-CORR MAP # 2003)	12310
	12200
	11909
	11906

(NEW PLAT ERR-CORR MAP # 2003)

12002
12302
11907
11905
0

11908
11910
11912
4925

(NEW PLAT ERR-CORR MAP # 2003)

12303
4926
11911
11913
12200
12200
12150
12150
12200
12150
12150
12200
12200
12200
12200
12200
12200
12200

FAIRWOOD PARK SUBDIVISION PART OF PARCEL A
FAIRWOOD OFFICE PARK II PART OF PARCEL A

0
12000
12150
12150
12150
12150
12200
12150
12150
12150
12150
12200
12200
12150
12200

UNIT 309

12150
12200
12150
12150
12150
12150
12150
12150
12200
12200

	12200
	12200
	12150
	5201
PT PARCEL B (FINAL NC 7/1/09)	0
	12150
	12150
BLDG B UNIT 209	12150
	12200
	12200
OUTLOT B (NEW PLAT ERR-CORR MAP # 2003)	0
PROPOSED UNIT 2	12100
	12200
	12200
PROPOSED UNIT 1	12100
	12200
	5207
	5203
	5213
	5211
	5209
PT PARCEL B	0
PT PAR 125	4908
	12150
PLAT 1 PARCEL 5	0

STREET_NAME	STREET_TY	STREET	CONDO_L	CITY	ZIP5	WSSCGRID
ACCOUNT UNKNOWN						
ENTERPRISE	RD			BOWIE	20720	207NE11
CORNELIAS PROSPECT	DR			BOWIE	20720	207NE11
SMITHWICK	LN			BOWIE	20720	207NE11
EUGENES PROSPECT	DR			BOWIE	20720	207NE11
PARTELLO	RD			BOWIE	20716	207NE11
THOMAS PROSPECT	DR			BOWIE	20720	207NE11
EUGENES PROSPECT	DR			BOWIE	20720	207NE11
CORNELIAS PROSPECT	DR			BOWIE	20720	207NE11
ROBERTS PROSPECT	DR			BOWIE	20720	207NE11
POINT	WAY			BOWIE	20720	207NE10
PARTELLO	RD			BOWIE	20720	207NE11
ENTERPRISE	RD			BOWIE	20720	207NE11
EUGENES PROSPECT	DR			BOWIE	20720	207NE11
REES	LN			BOWIE	20720	207NE11
SMITHWICK	LN			BOWIE	20720	207NE11
EUGENES PROSPECT	DR			BOWIE	20720	207NE11
EUGENES PROSPECT	DR			BOWIE	20720	207NE11
PARTELLO	RD			BOWIE	20715	207NE11
EUGENES PROSPECT	DR			BOWIE	20720	207NE11
ANNAPOLIS	RD			BOWIE	20720	207NE11
EUGENES PROSPECT	DR			BOWIE	20720	207NE11
ENTERPRISE	RD	141		BOWIE	20720	207NE11
EUGENES PROSPECT	DR			BOWIE	20720	207NE11
EUGENES PROSPECT	DR			BOWIE	20720	207NE11
EUGENES PROSPECT	DR			BOWIE	20720	207NE11
REES	LN			BOWIE	20720	207NE11
THOMAS PROSPECT	DR			BOWIE	20720	207NE11
PARTELLO	RD			BOWIE	20720	207NE11
THOMAS PROSPECT	DR			BOWIE	20720	207NE11
EUGENES PROSPECT	DR			BOWIE	20720	207NE11
PARTELLO	RD			BOWIE	20720	207NE11
EUGENES PROSPECT	DR			BOWIE	20720	207NE11
PARTELLO	RD			BOWIE	20715	207NE11
ENTERPRISE	RD			BOWIE	20716	207NE10
PARTELLO	RD			BOWIE	20715	207NE11
REES	LN			BOWIE	20720	207NE11
THOMAS PROSPECT	DR			BOWIE	20720	207NE11
PARTELLO	RD			BOWIE	20715	207NE11

ANNAPOLIS	RD	BOWIE	20720 207NE11
EUGENES PROSPECT	DR	BOWIE	20720 207NE11
ENTERPRISE	RD	BOWIE	20715 207NE11
EUGENES PROSPECT	DR	BOWIE	20720 207NE11
EUGENES PROSPECT	DR	BOWIE	20720 207NE11
ENTERPRISE	RD	BOWIE	20720 207NE10
EUGENES PROSPECT	DR	BOWIE	20720 207NE11
REES	LN	BOWIE	20715 207NE11
ENTERPRISE	RD	BOWIE	20720 207NE10
CORNELIAS PROSPECT	DR	BOWIE	20720 207NE11
EUGENES PROSPECT	DR	BOWIE	20720 207NE11
EUGENES PROSPECT	DR	BOWIE	20720 207NE11
FAIRWOOD	PKWY	BOWIE	20720 207NE11
EUGENES PROSPECT	DR	BOWIE	20720 207NE11
PARTELLO	RD	BOWIE	20720 207NE11
EUGENES PROSPECT	DR	BOWIE	20720 207NE11
ANNES PROSPECT	DR	BOWIE	20720 207NE11
EUGENES PROSPECT	DR	BOWIE	20720 207NE11
CORNELIAS PROSPECT	DR	BOWIE	20720 207NE11
EUGENES PROSPECT	DR	BOWIE	20720 207NE11
ROBERTS PROSPECT	DR	BOWIE	20720 207NE11
CORNELIAS PROSPECT	DR	BOWIE	20720 207NE11
ENTERPRISE	RD	BOWIE	20720 207NE10
THOMAS PROSPECT	DR	BOWIE	20720 207NE11
ANNES PROSPECT	DR	BOWIE	20720 207NE11
PARTELLO	RD	BOWIE	20720 207NE11
EUGENES PROSPECT	DR	BOWIE	20720 207NE11
EUGENES PROSPECT	DR	BOWIE	20720 207NE11
EUGENES PROSPECT	DR	BOWIE	20720 207NE11
EUGENES PROSPECT	DR	BOWIE	20720 207NE11
CORNELIAS PROSPECT	DR	BOWIE	20720 207NE11
ROBERTS PROSPECT	DR	BOWIE	20720 207NE11
EUGENES PROSPECT	DR	BOWIE	20720 207NE11
THOMAS PROSPECT	DR	BOWIE	20720 207NE11
CORNELIAS PROSPECT	DR	BOWIE	20720 207NE11
ROBERTS PROSPECT	DR	BOWIE	20720 207NE11
ROBERTS PROSPECT	DR	BOWIE	20720 207NE11
PARTELLO	RD	BOWIE	20715 207NE11
EUGENES PROSPECT	DR	BOWIE	20720 207NE11
PARTELLO	RD	BOWIE	20720 207NE11
CORNELIAS PROSPECT	DR	BOWIE	20720 207NE11
ANNAPOLIS	RD	GLENN DALE	20769 207NE11
ANNAPOLIS	RD	204 GLENN DALE	20769 207NE11
EUGENES PROSPECT	DR	BOWIE	20720 207NE11
ANNAPOLIS	RD	224 GLENN DALE	20769 207NE11
PARALLEL	RD	BOWIE	20720 207NE10
PARALLEL	RD	BOWIE	20720 207NE10

PARTELLO	RD	BOWIE	20720 207NE11
THOMAS PROSPECT	DR	BOWIE	20720 207NE11
PARALLEL	RD	BOWIE	20720 207NE10
PARALLEL	RD	BOWIE	20720 207NE10
ENTERPRISE	RD	BOWIE	20716 207NE11
PARALLEL	RD	BOWIE	20720 207NE10
PARALLEL	RD	BOWIE	20720 207NE10
PARALLEL	RD	BOWIE	20720 207NE10
SMITHWICK	LN	BOWIE	20720 207NE11
THOMAS PROSPECT	DR	BOWIE	20720 207NE11
SMITHWICK	LN	BOWIE	20720 207NE11
PARALLEL	RD	BOWIE	20720 207NE11
PARALLEL	RD	BOWIE	20720 207NE10
ANNAPOLIS	RD	316 GLENN DALE	20769 207NE11
ANNAPOLIS	RD	320 GLENN DALE	20769 207NE11
ANNAPOLIS	RD	312 GLENN DALE	20769 207NE11
ANNAPOLIS	RD	314 GLENN DALE	20769 207NE11
ANNAPOLIS	RD	112 GLENN DALE	20769 207NE11
ANNAPOLIS	RD	104 GLENN DALE	20769 207NE11
ANNAPOLIS	RD	105 GLENN DALE	20769 207NE11
ANNAPOLIS	RD	118 GLENN DALE	20769 207NE11
ANNAPOLIS	RD	119 GLENN DALE	20769 207NE11
ANNAPOLIS	RD	228 GLENN DALE	20769 207NE11
ANNAPOLIS	RD	229 GLENN DALE	20769 207NE11
ANNAPOLIS	RD	232 GLENN DALE	20769 207NE11
ANNAPOLIS	RD	233 GLENN DALE	20769 207NE11
ANNAPOLIS	RD	GLENN DALE	20769 207NE11
ANNAPOLIS	RD	GLENN DALE	20769 207NE11
ANNAPOLIS	RD	108 GLENN DALE	20769 207NE11
ANNAPOLIS	RD	109 GLENN DALE	20769 207NE11
ANNAPOLIS	RD	100 GLENN DALE	20769 207NE11
ANNAPOLIS	RD	101 GLENN DALE	20769 207NE11
ANNAPOLIS	RD	215 GLENN DALE	20769 207NE11
ANNAPOLIS	RD	111 GLENN DALE	20769 207NE11
ANNAPOLIS	RD	200 GLENN DALE	20769 207NE11
ANNAPOLIS	RD	201 GLENN DALE	20769 207NE11
ANNAPOLIS	RD	221 GLENN DALE	20769 207NE11
ANNAPOLIS	RD	225 GLENN DALE	20769 207NE11
ANNAPOLIS	RD	309 GLENN DALE	20769 207NE11
ANNAPOLIS	RD	115 GLENN DALE	20769 207NE11
ANNAPOLIS	RD	213 GLENN DALE	20769 207NE11
ANNAPOLIS	RD	216 GLENN DALE	20769 207NE11
ANNAPOLIS	RD	300 GLENN DALE	20769 207NE11
ANNAPOLIS	RD	305 GLENN DALE	20769 207NE11
ANNAPOLIS	RD	308 GLENN DALE	20769 207NE11
ANNAPOLIS	RD	116 GLENN DALE	20769 207NE11
ANNAPOLIS	RD	120 GLENN DALE	20769 207NE11

ANNAPOLIS	RD	123	GLENN DALE	20769 207NE11
ANNAPOLIS	RD	220	GLENN DALE	20769 207NE11
ANNAPOLIS	RD	208	GLENN DALE	20769 207NE11
RIDGELY RUN	RD		GLENN DALE	20769 207NE10
RIDGELY RUN	RD		GLENN DALE	20769 207NE10
ANNAPOLIS	RD	205	GLENN DALE	20769 207NE11
ANNAPOLIS	RD	212	GLENN DALE	20769 207NE11
ANNAPOLIS	RD	209	GLENN DALE	20769 207NE11
ANNAPOLIS	RD	240	GLENN DALE	20769 207NE11
ANNAPOLIS	RD	236	GLENN DALE	20769 207NE11
ANNAPOLIS	RD		BOWIE	20720 207NE11
ANNAPOLIS	RD	A-2	GLENN DALE	20769 207NE11
ANNAPOLIS	RD	324	GLENN DALE	20769 207NE11
ANNAPOLIS	RD	328	GLENN DALE	20769 207NE11
ANNAPOLIS	RD	A-1	GLENN DALE	20769 207NE11
ANNAPOLIS	RD	315	GLENN DALE	20769 207NE11
RIDGELY RUN	RD		GLENN DALE	20769 207NE10
RIDGELY RUN	RD		GLENN DALE	20769 207NE10
RIDGELY RUN	RD		GLENN DALE	20769 207NE10
RIDGELY RUN	RD		GLENN DALE	20769 207NE10
RIDGELY RUN	RD		GLENN DALE	20769 207NE10
RIDGELY RUN	RD		GLENN DALE	20769 207NE10
ENTERPRISE	RD		BOWIE	20720 207NE10
ANNAPOLIS	RD	301	GLENN DALE	20769 207NE11
ANNAPOLIS	RD		GLENN DALE	20769 207NE11

MAIL_IND	OWNER_NAME	ICO_NAME
	UNKNOWN	
O	EVERETT CHRISTOPHER E ETAL	
O	BROOKS SHIRLEY ETAL	
O	ASHLOCK HOUSTON EMMITT JR	
O	AHAGHOTU CHRISTIAN	
O	COMBS GARY P MARITAL TRUST	
O	TURNER GREGORY	
O	JOHNSON WAYNE & NATASHA	
O	ROBERTS LEWIS W ETAL	
O	BOWDEN NAILAH	
I	MNCPPC	CHIEF PK&P DIVPKS & REC-ROOM 303
O	COMBS GARY P MARITAL TRUST	
O	HAWKINS IRMGARD H BY PASS TRUST	
O	ZHANG MIN & FEI M	
O	SCHNECK ADRIA	
O	DENT MELISSA	
O	WASIM MOHAMMAD OMER ETAL	
O	CARTER RUSSELL ETAL	
O	SIBBLES JOHN	
O	ALLEN KAREN L & DAPHNE MCCLANE	
O	HAWKINS IRMGARD H BY PASS TRUST	
O	RAMRATTAN HEMMA ETAL	
O	MONTGOMERY JAMES W TRUSTEE	
O	BANGU ERNESTINE T ETAL	
O	GORHAM DERRICK T & LETITIA Y	
O	PATEL CHIMANBHAI C	
O	MCCARTHY JASON C	
I	FAIRWOOD COMMUNITY ASSN INC	COMSOURCE MGMT INC
O	DUCOTE THOMAS M & ANN O	
O	HORACE MICHAEL & ANDREA	
O	ADENIYI ADEMOLA	
O	PINKNEY LIVING TRUST	
O	SMITH MICHAEL A & GAIL T S	
O	TASHO JORGJI & FRANKA	
O	PAGE-PROCTOR DOROTHY T	
O	TASHO JORGJI & FRANKA	
O	GRAVES RODNEY & ICEY AJ	
O	MAUNEY MICHAEL D	
O	SIBBLES JOHN	

O	HAWKINS IRMGARD H BY PASS TRUST	
O	AMUAH ALEXANDER K	
O	WRIGHT NAOMI	
O	WOOTEN LORENZO M JR	
O	ZHANG MING G ETAL	
O	BLEDSOE DOROTHY J & RAYMOND	
O	DURHAM JENEO K ETAL	
O	SCHNECK ADRIA R	
I	CHARLESTON AT HLMHRST CLUB LLC	SUITE D
O	EWENIKE JOHN U & AGATHA C	
I	FAIRWOOD COMMUNITY ASSN INC	COMSOURCE MGMT INC
O	CHERIAN KOSHY K & SHINEY K	
I	FAIRWOOD COMMUNITY ASSN INC	COMSOURCE MGMT INC
O	ESTES ROBERT C	
O	BROWN HOGAN KIM LAURIE	
O	COFFIE FAMILY TRUST	
O	JUSTINIANI GILBERTO MARTINEZ	
O	FEROZE ABID ETAL	
O	CASON EDDRICK C ETAL	
O	HOSTEN SYDNEY AND CHERYL	
O	HABIB MOHAMMED ETAL	
O	EMRIT RONALD C & KAREN S	
O	PAGE-PROCTOR DOROTHY T	
O	SKINNER DALE & MICHELLE C	
O	PARKS RODNEY & AURELIA	
O	COMBS GARY P MARITAL TRUST	
O	ROBINSONKNOTT CHRISTINE	
O	ATUD JONAS A	
O	SCHNEIDER RONALD A ETAL	
O	NKEMTITIAH ALVINE M	
O	STEWART REGINALD J JR	
O	ELLIOTT EVERTON	
O	BAO JAY ETAL	
O	MODUPEOLA FATIMA T	
O	SHOCKLEY MONIQUE M	
O	GORDON KAI L	
O	GILLIS ROLAND R	
O	TASHO JORGJI & FRANKA	
O	GUERRIER GRAY SOPHIA	
O	SIBBLES JOHN	
O	LEWIS GILBERT C E JR ETAL	
I	BROGLEN LLC	SUITE 103
O	OGUNSANYA KOLAWOLE & MARY AB LV TR	
O	EBERHARDT MONIQUE	
I	MHB PROPERTY LLC	SUITE 220
O	ACOSTA IVAN MANUEL	
O	FRANKLIN ANTHONY	

O	KACZOR LIVING TRUST	
O	BETTS ROY A & CHERYL D	
O	WARE LANCE E ETAL	
O	SMALLWOOD BUDDY E JR LIV TRUST ETA	
O	KACZOR LIVING TRUST	
O	LUONG THANH H ETAL	
O	COLLIER CHARITY R	
O	ARUNA JULIANA H	
O	BROOKS TRATORIA	
O	WORRELL GWENDOLYN B	
O	ROUNTREE ERIC & TIA J V	
O	WHEELER CHARLENE ETAL	
O	FLUELLEN GREGORY A ETAL	
O	INCLUSIVE PROPERTIES LLC	
O	CMGQ PROPERTIES LLC	
I	MAHJOOB REAL ESTATE LLC	SUITE 312
I	REID COMMUNITY DEVELOPMENT CORP	STE 314
O	W J BROWN ENTPRS FAIRWOOD PRP LLC	
O	VERMA RAVENDER K & SHARU K	
I	YDA LLC	SUITE 105
O	MAYOR LUCKY & MEJEBI T	
I	CLARKE FAIRWOOD LLC	SUITE 119
I	JQWC HOLDINGS LLC	CAPITAL CARDIOLOGY CONSULTANTS
O	MUKEMIL INVESTMENTS INC	
O	IBITOYE OKEOWO D & OLAYINKA A	
I	GLENDALE KIDNEY CENTER LLC	UNIT 233
I	RIDGELY OFFICE PARK L L C	WILLIAM M CHESLEY
I	RIDGELY OFFICE PARK LLC	STE 202
I	KIRSHENBAUM ARNOLD & VIVIAN R	SUITE 108
I	RHONDA L NELSON INC	UNIT 109
O	KRYSTAL MEDICAL ASSOCIATES LLC	
O	MCKOY NORMAN G	
O	TEXTURED SALON LLC	
I	SNORING & SLEEP CENTER LLC	UNIT B111
O	CENTER ALLERGIC DISEASES LLC	
O	TRIFOLD INC	
O	PANTAZIS AT FAIRWOOD LLC	
O	TERRA PROPERTIES LLC	
I	CWH MARSHALL LLC	SUITE 307
O	ROMNEY HOLDINGS LLC	
O	PHILLIPS VAUL A & SHARON	
I	RAMSEY FAMILY RL EST HLDNG LLC	SUITE 216
O	AZ HOLDINGS LLC	
O	ADPAUL ENTERPRISES LLC	
O	JAMALI FARHAD & PARAND ALAVI	
I	NAOMI PROPERTY LLC	SUITE 116
I	YDA LLC	SUITE 105

O	MERCY GRACE HEALTH CARE LLC	
I	MHB PROPERTY LLC	SUITE 220
O	OGUNSANYA KOLAWOLE & MARY AB LV TR	
I	GLEN DALE HOLDING COMPANY LLC	SUITE 202
I	GLEN DALE HOLDING COMPANY LLC	SUITE 202
O	EDOMED MEDICAL ASSOCIATES LLC	
I	BOWMED LLC	MD FAMILY HEALTHCARE LLC
I	PMAAC HOLDINGS LLC	UNIT 209
O	REALTY ENTERPRISES LLC	
O	REALTY ENTERPRISES LLC	
I	ROUSE-FAIRWOOD DEV LTD PARTNERSHIP	PROPERTY TAX DEPT
O	AVALON MARKETING INC	
O	NA PROPERTY LLC	
I	EMC REALTY LLC	SUITE 315
O	OLD LINE BANK	
O	EMC REALTY LLC	
I	GLEN DALE HOLDING COMPANY LLC	SUITE 202
I	GLEN DALE HOLDING COMPANY LLC	SUITE 202
I	GLEN DALE HOLDING COMPANY LLC	SUITE 202
I	GLEN DALE HOLDING COMPANY LLC	SUITE 202
I	GLEN DALE HOLDING COMPANY LLC	SUITE 202
I	GLEN DALE HOLDING COMPANY LLC	SUITE 202
O	PAGE-PROCTOR DOROTHY T	
I	MITCHELLVILLE FAMILY DENTISTRY	12150 ANNAPOLIS RD
I	BROGLEN LLC	SUITE 103

MAIL_STREET	MAIL_CITY	MAIL_STAT	MAIL_ZIP5	MAIL_ZIP4
4925 ENTERPRISE RD	BOWIE	MD	20720	
5205 CORNELIAS PROSPECT DR	BOWIE	MD	20720	
4922 SMITHWICK LN	BOWIE	MD	20720	
12308 EUGENES PROSPECT DR	BOWIE	MD	20720	3372
12004 PARTELLO RD	BOWIE	MD	20720	3558
12304 THOMAS PROSPECT DR	BOWIE	MD	20720	
12332 EUGENES PROSPECT DR	BOWIE	MD	20720	3373
5206 CORNELIAS PROSPECT DR	BOWIE	MD	20720	0
5300 ROBERTS PROSPECT DR	BOWIE	MD	20720	
6600 KENILWORTH AVE	RIVERDALE	MD	20737	1314
12004 PARTELLO RD	BOWIE	MD	20720	3558
12205 ANNAPOLIS RD	BOWIE	MD	20720	3814
12311 EUGENES PROSPECT DR	BOWIE	MD	20720	3372
4920 REES LN	BOWIE	MD	20720	
4920 SMITHWICK LN	BOWIE	MD	20720	3552
12312 EUGENES PROSPECT DR	BOWIE	MD	20720	
12322 EUGENES PROSPECT DR	BOWIE	MD	20720	
12200 PARTELLO RD	BOWIE	MD	20720	
12313 EUGENES PROSPECT DR	BOWIE	MD	20720	3372
12205 ANNAPOLIS RD	BOWIE	MD	20720	3814
12300 EUGENES PROSPECT DR	BOWIE	MD	20720	0
4921 ENTERPRISE RD	MITCHELLVILLE	MD	20715	0
12331 EUGENES PROSPECT DR	BOWIE	MD	20720	
12327 EUGENES PROSPECT DR	BOWIE	MD	20720	3373
12316 EUGENES PROSPECT DR	BOWIE	MD	20720	3373
4925 REES LN	BOWIE	MD	20720	3551
3414 MORNINGWOOD DR	OLNEY	MD	20832	0
12003 PARTELLO DR	BOWIE	MD	20720	3548
12306 THOMAS PROSPECT DR	BOWIE	MD	20720	3374
12330 EUGENES PROSPECT DR	BOWIE	MD	20720	
12103 PARTELLO RD	BOWIE	MD	20720	3557
12301 EUGENES PROSPECT DR	BOWIE	MD	20720	3372
15116 MCKNEW RD	BURTONSVILLE	MD	20866	1110
4908 ENTERPRISE RD	BOWIE	MD	20720	3528
15116 MCKNEW RD	BURTONSVILLE	MD	20866	1110
4922 REES LN	BOWIE	MD	20720	3550
12301 THOMAS PROSPECT DR	BOWIE	MD	20720	3374
12200 PARTELLO RD	BOWIE	MD	20720	

12205 ANNAPOLIS RD	BOWIE	MD	20720	3814
8410 CHERVIL RD	LANHAM	MD	20706	3903
4925 SMITHWICK LN	BOWIE	MD	20720	0
12326 EUGENES PROSPECT DR	BOWIE	MD	20720	3373
12306 EUGENES PROSPECT DR	BOWIE	MD	20720	
5000 ENTERPRISE RD	BOWIE	MD	20720	3572
12320 EUGENES PROSPECT	BOWIE	MD	20720	3373
4920 REES LN	BOWIE	MD	20715	
2126 ESPEY CT	CROFTON	MD	21114	2425
5203 CORNELIAS PROSPECT DR	BOWIE	MD	20720	3376
3414 MORNINGWOOD DR	OLNEY	MD	20832	0
12328 EUGENES PROSPECT DR	BOWIE	MD	20720	0
3414 MORNINGWOOD DR	OLNEY	MD	20832	0
12305 EUGENES PROSPECT DR	BOWIE	MD	20720	0
12001 PARTELLO RD	BOWIE	MD	20720	3548
12323 EUGENES PROPECT DR	BOWIE	MD	20720	3373
302 FORTRESS CT	UPPER MARLBORO	MD	20774	
12317 EUGENE PROSPECT DR	BOWIE	MD	20720	
5104 CORNELIAS PROSPECT DR	BOWIE	MD	20720	3375
12304 EUGENES PROSPECT DR	BOWIE	MD	20720	3372
5308 ROBERTS PROSPECT DR	BOWIE	MD	20720	3379
5108 CORNELIAS PROSPECT DR	BOWIE	MD	20720	3375
4908 ENTERPRISE RD	BOWIE	MD	20720	3528
12305 THOMAS PROSPECT DR	BOWIE	MD	20720	3374
12401 ANNES PROSPECT DR	BOWIE	MD	20720	3377
12004 PARTELLO RD	BOWIE	MD	20720	3558
12302 EUGENES PROSPECT DR	BOWIE	MD	20720	3372
12314 EUGENES PROSPECT DR	BOWIE	MD	20720	
12303 EUGENES PROSPECT DR	BOWIE	MD	20720	3372
12309 EUGENES PROSPECT DR	BOWIE	MD	20720	
5110 CORNELIAS PROSPECT DR	BOWIE	MD	20720	
5302 ROBERTS PROSPECT DR	BOWIE	MD	20720	3379
12307 EUGENES PROSPECT DR	BOWIE	MD	20720	
12300 THOMAS PROSPECT DR	BOWIE	MD	20720	
5102 CORNELIAS PROSPECT DR	BOWIE	MD	20720	3375
5306 ROBERTS PROSPECT DR	BOWIE	MD	20720	
5304 ROBERTS PROSPECT DR	BOWIE	MD	20720	
15116 MCKNEW RD	BURTONSVILLE	MD	20866	1110
12324 EUGENES PROSPECT DR	BOWIE	MD	20720	
12200 PARTELLO RD	BOWIE	MD	20720	
5106 CORNELIAS PROSPECT DR	BOWIE	MD	20720	
10905 FORT WASHINGTON RD	FORT WASHINGTON	MD	20744	5843
12600 WOODMORE NORTH BLVD	BOWIE	MD	20720	
12310 EUGENES PROSPECT DR	BOWIE	MD	20720	
7309 BALTIMORE AVE	COLLEGE PARK	MD	20740	
11909 PARALLEL RD	BOWIE	MD	20720	
11906 PARALLEL RD	BOWIE	MD	20720	0

12002 PARTELLO RD	BOWIE	MD	20720	3558
12302 THOMAS PROSPECT DR	BOWIE	MD	20720	3374
11907 PARALLEL RD	BOWIE	MD	20720	
11903 PARALLEL RD	BOWIE	MD	20720	
12002 PARTELLO RD	BOWIE	MD	20720	3558
11908 PARALLEL RD	BOWIE	MD	20720	
11903 PARALLEL RD	BOWIE	MD	20720	0
11903 PARALLEL RD	BOWIE	MD	20720	0
4925 SMITHWICK LN	BOWIE	MD	20720	0
12303 THOMAS PROSPECT DR	BOWIE	MD	20720	3374
4926 SMITHWICK LN	BOWIE	MD	20720	3552
11911 PARALLEL RD	BOWIE	MD	20720	
11913 PARALLEL RD	BOWIE	MD	20720	0
3815 DEEP HOLLOW WAY	BOWIE	MD	20721	1275
6404 CROOM STATION RD	UPPER MARLBORO	MD	20772	9512
12150 ANNAPOLIS RD	GLENN DALE	MD	20769	
12150 ANNAPOLIS RD	GLENN DALE	MD	20769	
2202 PARKSIDE DR	MITCHELLVILLE	MD	20721	4230
12806 ODENS BEQUEST DR	BOWIE	MD	20720	0
12150 ANNAPOLIS RD	GLENN DALE	MD	20769	
9421 THORNDIKE DR	GAITHERSBURG	MD	20882	0
12200 ANNAPOLIS RD	GLENN DALE	MD	20769	
7645 MULBERRY ST	FULTON	MD	20759	
11034 AMHERST AVE	SILVER SPRING	MD	20902	7627
14011 WESTVIEW FOREST DR	BOWIE	MD	20720	4867
12200 ANNAPOLIS RD	GLENDALE	MD	20769	0
1641 STATE ROUTE 3 STE 202	CROFTON	MD	21114	
1641 STATE ROUTE 3	CROFTON	MD	21114	
12150 ANNAPOLIS RD	GLENN DALE	MD	20769	0
12150 ANNAPOLIS RD	GLENN DALE	MD	20769	9179
PO BOX 7321	LARGO	MD	20792	7321
12910 WOODMORE RD	MITCHELLVILLE	MD	20721	4124
14216 RUTHERSFORD RD	UPPER MARLBORO	MD	20774	
12150 ANNAPOLIS RD	GLEN DALE	MD	20769	
14819 KIMBERWICK DR	BOWIE	MD	20715	3347
14906 RIDGE FARM CT	BOWIE	MD	20715	
6214 GROVELAND RD	LINTHICUM	MD	21090	
PO BOX 345	DAVIDSONVILLE	MD	21035	
10313 GEORGIA AVE	SILVER SPRING	MD	20902	0
12403 PENELOPE CT	FULTON	MD	20759	
2814 HATBORO PL	UPPER MARLBORO	MD	20774	9400
12150 ANNAPOLIS RD	GLENN DALE	MD	20769	
12800 VICAR WOODS LN	BOWIE	MD	20720	4769
8262 GLENMAR RD	ELLCOTT CITY	MD	21043	6996
11508 PARKEDGE DR	ROCKVILLE	MD	20852	3729
12200 ANNAPOLIS RD	GLENN DALE	MD	20769	
12150 ANNAPOLIS RD	GLENN DALE	MD	20769	

4501 VALIANT TRACE	BOWIE	MD	20720	
7309 BALTIMORE AVE	COLLEGE PARK	MD	20740	
12600 WOODMORE NORTH BLVD	BOWIE	MD	20720	
1641 STATE RTE 3 N	CROFTON	MD	21114	2464
1641 STATE RTE 3 N	CROFTON	MD	21114	2464
15046 NOTLEY RD	SILVER SPRING	MD	20905	0
12150 ANNAPOLIS RD STE 212	GLENN DALE	MD	20769	9179
12150 ANNAPOLIS RD	GLENN DALE	MD	20769	0
2005 FLOURMILL CT	CROWNSVILLE	MD	21032	0
2005 FLOURMILL CT	CROWNSVILLE	MD	21032	0
PO BOX 833	COLUMBIA	MD	21044	833
10705 LAKE ARBOR WAY	MITCHELLVILLE	MD	20721	
1314 PATUXENT DR	ASHTON	MD	20861	9759
12200 ANNAPOLIS RD	GLENN DALE	MD	20769	0
1525 POINTER RIDGE PL	BOWIE	MD	20716	0
12200 ANNAPOLIS RD STE 315	GLENN DALE	MD	20769	9182
1641 STATE RTE 3 N	CROFTON	MD	21114	2464
1641 STATE RTE 3 N	CROFTON	MD	21114	2464
1641 STATE RTE 3 N	CROFTON	MD	21114	2464
1641 STATE RTE 3 N	CROFTON	MD	21114	2464
1641 STATE RTE 3 N	CROFTON	MD	21114	2464
1641 STATE ROUTE 3 N	CROFTON	MD	21114	2464
4908 ENTERPRISE RD	BOWIE	MD	20720	0
UNIT 301	GLENN DALE	MD	20769	
10905 FORT WASHINGTON RD	FORT WASHINGTON	MD	20744	5843

The Maryland-National Capital Park & Planning Commission Results

Prince George's County Planning Department

Date: 8/18/2022

Time: 1:21:50 PM

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Total Records(s): 0

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OBJECTID	NAME	MUNICIPAL	DAMS_LIN	OFFICIALS_TITLE	ADDRESS	CITY	ZIP_CODE
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EXECUTIVE EXEC_TERM ACREAGE BUFF_DIST ORIG_FID TELEPHONE EMAIL SHAPE_ARI SHAPE_LEN



DEVELOPMENT REVIEW BULLETIN

Bulletin No. 4-2014

Subject: Informational Mailings to the Chamber of Commerce and the Greater Prince George's Business Roundtable

Resource: Development Review Division

Date: December 12, 2014

On October 28, 2014, the Prince George's County Council, sitting as the District Council adopted CB-59-2014 for the purpose of adding the requirement for applicants to send an informational mailing to the Prince George's Chamber of Commerce and the Greater Prince George's Business Roundtable for Detailed Site Plan (DSP), Specific Design Plan (SDP), and Special Exception (SE) applications.

Effective immediately informational mailing notice affidavits for DSPs, SDPs, and SEs must include a separate list documenting that the notices were mailed to the Prince George's Chamber of Commerce and the Greater Prince George's Business Roundtable at the following addresses: The

Prince George's Chamber of Commerce
David Harrington, President and CEO
4640 Forbes Boulevard, Suite 130
Lanham, Maryland 20706

Greater Prince George's Business Roundtable
M.H. Jim Estep, President and CEO
10201 Martin Luther King, Jr. Highway, Suite 220
Bowie, MD 20720

If you have any questions regarding this process, please contact Cheryl Summerlin at 301-952-3578 or cheryl.summerlin@ppd.mncppc.org.

CASE NO: 4-21058
CASE NAME: FAIRWOOD SQUARE
PARTY OF RECORD: 84
PB DATE: 10-20-2022

HENRY WIXON
GLENN DALE CITIZENS' ASSOCIATION, INC.
P.O.BOX 235
GLENN DALE MD 20769
(CASE NUMBER: 4-21058)

ERIC ELMORE
P.O.BOX 1114
BOWIE MD 20718
(CASE NUMBER: 4-21058)

SHIRLEY BOYD
P.O.BOX 4408
CAPITOL HEIGHTS MD 20791
(CASE NUMBER: 4-21058)

MR.GARRY YANCY
P.O.BOX 686
UPPER MARLBORO MD 20773
(CASE NUMBER: 4-21058)

MICHAEL LENHART
LENHART TRAFFIC CONSULTING, INC.
645 B&A BOULEVARD SUITE 214
SEVERNA PARK MD 21146
(CASE NUMBER: 4-21058)

DAVID BICKEL
SOLTESZ
4300 FORBES BOULEVARD SUITE 230
LANHAM MD 20706
(CASE NUMBER: 4-21058)

TAMLA KIRKLAND
12807 GREENES PROMISE COURT/S
BOWIE MD 20720
(CASE NUMBER: 4-21058)

TAMLA KIRKLAND
12807 GREENES PROMISE COURT/S
BOWIE MD 20720
(CASE NUMBER: 4-21058)

MR.RICHARD D ELLIOTT
PRINCE GEORGE'S COUNTY YOUNG DEMOCRATS
11808 FOREST KNOLL COURT/S 3103 COURTSIDE
ROAD
BOWIE MD 20720
(CASE NUMBER: 4-21058)

MR.EZEKIEL J DENNISON
MARLTON HOME OWNERS ASSOCIATION
10213 LILY GREEN COURT, COURT/S 10213 LILY
GREEN COURT, UPPER MARLBORO MD 207
UPPER MARLBORO MD 20772
(CASE NUMBER: 4-21058)

MR.LARRY BROWN
13912 ABERDEENS FOLLY COURT/S
BOWIE MD 20720
(CASE NUMBER: 4-21058)

DR.CLARA LEE
825 FARAWAY COURT/S
MITCHELLVILLE MD 20721
(CASE NUMBER: 4-21058)

MS.TAMLA KIRKLAND
12807 GREENES PROMISE COURT/S
BOWIE MD 20720
(CASE NUMBER: 4-21058)

MS.MILLY HALL
14404 DUNSTABLE COURT/S
BOWIE MD 20721 -1263
(CASE NUMBER: 4-21058)

KRISTI BAO
12307 EUGENES PROSPECT DRIVE
BOWIE MD 20720
(CASE NUMBER: 4-21058)

GLORIA B WIMS
N/A
4808 GERRARDS HOPE DRIVE
BOWIE MD 20720
(CASE NUMBER: 4-21058)

SEAN SUHAR
GABRIELÃ,Ã-"S RUN HOMEOWNERS ASSOCIATION,
INC.
7226 LEE DEFOREST DRIVE SUITE 102
COLUMBIA MD 21046
(CASE NUMBER: 4-21058)

INGA W CRAREY
4213 QUANDERS PROMISE DRIVE
BOWIE MD 20720
(CASE NUMBER: 4-21058)

MURIEL THOMPSON
5109 SHAMROCKS DELIGHT DRIVE DRIVE
BOWIE MD 20720
(CASE NUMBER: 4-21058)

CHELI ENGLISH
12700 GOODLOES PROMISE DRIVE
BOWIE MD 20720
(CASE NUMBER: 4-21058)

WILLIAM J HARRIS
4522 BURKES PROMISE DRIVE
BOWIE MD 20720 -4696
(CASE NUMBER: 4-21058)

ROY BETTS
12302 THOMAS PROSPECT DR DRIVE
BOWIE MD 20720
(CASE NUMBER: 4-21058)

ANTHONY LAWRENCE
14905 14905 HEALTH CENTER DRIVE
BOWIE MD 20716
(CASE NUMBER: 4-21058)

KAWANNA J JENKINS
10903 SUTTON DRIVE
UPPER MARLBORO MD 20774
(CASE NUMBER: 4-21058)

ARMEANA STREET
13101 MONTAUK GREENFIELDS DRIVE
BOWIE MD 20720
(CASE NUMBER: 4-21058)

ERAYNA GRANT
4917 WILLES VISION DRIVE
BOWIE MD 20720
(CASE NUMBER: 4-21058)

MR.MIN ZHANG
12311 EUGENES PROSPECT DR DRIVE
BOWIE MD 20720
(CASE NUMBER: 4-21058)

MR.MICHAEL M BRIDGES
3320 DUNWOOD CROSSING DRIVE
BOWIE MD 20721
(CASE NUMBER: 4-21058)

MR.SEAN E SUHAR
WINGATE HOMEOWNERS ASSOCIATION, INC.
7226 LEE DEFOREST DRIVE
COLUMBIA MD 21046
(CASE NUMBER: 4-21058)

MR.SEAN E SUHAR
GABRIEL S RUN HOMEOWNERS ASSOCIATION, INC.
7226 LEE DEFOREST DRIVE
COLUMBIA MD 21046
(CASE NUMBER: 4-21058)

MR.RUSSELL CARTER
THE CARTER GROUP LLC
12322 EUGENES PROSPECT DRIVE DRIVE
BOWIE MD 20720
(CASE NUMBER: 4-21058)

MR.GARY KELLY
4914 COLLINGTONS BOUNTY DRIVE
BOWIE MD 20720
(CASE NUMBER: 4-21058)

MR.JARRET LAWRENCE
4314 DECLAIRMONTS FIELD DRIVE
BOWIE MD 20720
(CASE NUMBER: 4-21058)

MS.KNIA TANNER
12308 LONGWAY DRIVE
MITCHELLVILLE MD 20721
(CASE NUMBER: 4-21058)

MS.COLLETTE M HARRIS
4522 BURKES PROMISE DRIVE
BOWIE MD 20720 -4696
(CASE NUMBER: 4-21058)

MS.DEIDRA L MCGEE
DEIDRA SPEAKS
4212 HATTIES PROGRESS DRIVE DRIVE
BOWIE MD 20720
(CASE NUMBER: 4-21058)

MS.MICHELLE JACKSON
13107 JORDANS ENDEAVOR DRIVE
BOWIE MD 20720
(CASE NUMBER: 4-21058)

MS.EDOGHOGHO D OMORUYI
3002 EAGLES NEST DRIVE
BOWIE MD 20716
(CASE NUMBER: 4-21058)

MRS.GWENDOLYN A DRUMMOND
12715 MY MOLLIES PRIDE DRIVE
BOWIE MD 20720 -5617
(CASE NUMBER: 4-21058)

MRS.CHELI FIGARO
12700 GOODLOES PROMISE DRIVE
BOWIE MD 20720
(CASE NUMBER: 4-21058)

MRS.JILL OLIVER
FAIRWOOD
12713 MY MOLLIES PRIDE DRIVE 12713 MY MOLLIES
PRIDE DR.
BOWIE MD 20720
(CASE NUMBER: 4-21058)

MRS.BRITA COFFIE
12323 EUGENES PROSPECT DRIVE 12323 EUGENES
PROSPECT DR,
BOWIE MD 20720
(CASE NUMBER: 4-21058)

MRS.TAMEEKA WASHINGTON
12803 GOODLOES PROMISE DRIVE
BOWIE MD 20720
(CASE NUMBER: 4-21058)

MRS.JILL OLIVER
FAIRWOOD COMMUNITY
12713 MY MOLLIES PRIDE DRIVE DRIVE
BOWIE MD 20720
(CASE NUMBER: 4-21058)

MRS.TAMEKA SMALLWOOD
3717 AYNOR DRIVE
BOWIE MD 20721
(CASE NUMBER: 4-21058)

MRS.LASHAWN HARRIS
4400 DECLAIRMONTS FIELD DRIVE 4400
DECLAIRMONTS FIELD DR
BOWIE MD 20720
(CASE NUMBER: 4-21058)

MRS.NAILAH BOWDEN
5300 ROBERTS ROSPECT DRIVE
BOWIE MD 20720
(CASE NUMBER: 4-21058)

MRS.CAVELLA BISHOP
5505 WRIGHTS ENDEAVOR DRIVE
BOWIE MD 20720
(CASE NUMBER: 4-21058)

MR.JOHN COFFIE JR.
12323 EUGENES PROSPECT DRIVE 12323 EUGENES
PROSPECT DR,
BOWIE MD 20720
(CASE NUMBER: 4-21058)

MCNAMEE HOSEA
6411 IVY LANE SUITE 200
GREENBELT MD 20770
(CASE NUMBER: 4-21058)

DARI PUGH
4905 SMITHWICK LANE
BOWIE MD 20720
(CASE NUMBER: 4-21058)

MATTHEW TEDESCO
MCNAMEE HOSEA, P.A.
6411 IVY LANE SUITE 200
GREENBELT MD 20770
(CASE NUMBER: 4-21058)

SANDY RINCK
4909 SMITHWICK LANE
BOWIE MD 20720
(CASE NUMBER: 4-21058)

WEI HONG
313 CANTERBURY LANE
SEVERNA PARK MD 21146
(CASE NUMBER: 4-21058)

LARRY RINCK
4909 SMITHWICK LANE
BOWIE MD 20720 -3553
(CASE NUMBER: 4-21058)

KEITH RILEY
RI-CO CONSULTING LLC
13716 HEBRON LANE
UPPER MARLBORO MD 20774
(CASE NUMBER: 4-21058)

MR.HENRY GARRETT
10521 JIM LOVELL LANE
LANHAM MD 20706
(CASE NUMBER: 4-21058)

MR.SAMUEL BANKS
US AIR FORCE
4409 LANCEFIELD LANE
BOWIE MD 20720
(CASE NUMBER: 4-21058)

MR.TAALIB ALSALAAM
4917 SMITHWICK LANE
BOWIE MD 20720
(CASE NUMBER: 4-21058)

MS.MARCIA TUCKER
11310 WYCOMBE PARK LANE
GLENN DALE MD 20769
(CASE NUMBER: 4-21058)

MS.KATHERINE LUCAS
12514 SHETLAND LANE
BOWIE MD 20715
(CASE NUMBER: 4-21058)

MRS.ELLICA ALSALAAM
4917 SMITHWICK LANE
BOWIE MD 20720
(CASE NUMBER: 4-21058)

TIMBERLAKE HOMES, BT
304 HARRY S TRUMAN PARKWAY SUITE M
ANNAPOLIS MD 21401
(CASE NUMBER: 4-21058)

KEVIN KENNEDY
NAI THE MICHAEL COMPANIES
10100 BUSINESS PARKWAY
LANHAM MD 20706
(CASE NUMBER: 4-21058)

MR.BRIAN MESSINEO
TIMBERLAKE HOMES, BT
304 HARRY S TRUMAN PARKWAY SUITE M
ANNAPOLIS MD 21401
(CASE NUMBER: 4-21058)

MRS.CARLA HARPER-OMISORE
13301 MARY BOWIE PARKWAY
UPPER MARLBORO MD 20774
(CASE NUMBER: 4-21058)

FRONIE BARTON
9616 UTICA PLACE
SPRINGDALE MD 20774
(CASE NUMBER: 4-21058)

PMAAC HOLDINGS
PMAAC HOLDINGS, LLC
12150 ANNAPOLIS ROAD SUITE 209
GLENN DALE MD 20769
(CASE NUMBER: 4-21058)

YONETTE THOMAS
WINGATE HOMEOWNERS' ASSOCIATION
8111 FELBRIGG HALL ROAD
GLENN DALE MD 20769
(CASE NUMBER: 4-21058)

SHEILA LEISS
12430 12430 LISBOROUGH ROAD
BOWIE MD 20720
(CASE NUMBER: 4-21058)

MR.CHARLES JOHNSON
12007 LISBOROUGH ROAD
BOWIE MD 20720
(CASE NUMBER: 4-21058)

DR.YONETTE F THOMAS
8111 FELBRIGG HALL ROAD
GLENN DALE MD 20769
(CASE NUMBER: 4-21058)

MS.CAROLYN D ALSTON
11805 PARALLEL ROAD
BOWIE MD 20720
(CASE NUMBER: 4-21058)

MR.CLYDE M COLLIER III
11910 PARALLEL ROAD
BOWIE MD 20720
(CASE NUMBER: 4-21058)

DETRA ROUSEDDES
TEXTUREDSALON
12200 ANNAPOLIS ROAD SUITE 215
GLENDALD MD 20769
(CASE NUMBER: 4-21058)

DR.ARNOLD KIRSHENBAUM MD
12150 ANNAPOLIS ROAD SUITE 108
GLENN DALE MD 20769
(CASE NUMBER: 4-21058)

DR.JULIANA H ARUNA MD
11912 PARALLEL ROAD
BOWIE MD 20720
(CASE NUMBER: 4-21058)

HENRY WIXON
10701 MARIETTA STREET
GLENN DALE MD 20769 -9406
(CASE NUMBER: 4-21058)

MR.GREG SMITH
4204 FARRAGUT STREET
HYATTSVILLE MD 20781
(CASE NUMBER: 4-21058)

MR.JAMIL HAGANS
12905 BELLE MEAD TRACE TERRACE
BOWIE MD 20720
(CASE NUMBER: 4-21058)

JULIAN CURRY
NAI MICHAEL
250 AMERICAN WAY SUITE 311
OXON HILL MD 20745
(CASE NUMBER: 4-21058)

MR.CARLTON HART
4517 WOODGATE WAY
BOWIE MD 20720
(CASE NUMBER: 4-21058)

MS.ASHLEY CELESTIN
10108 GLENDALE OAKS WAY
GLENN DALE MD 20769
(CASE NUMBER: 4-21058)

MRS.DEBORAH K HEFLIN
4811 LAKE ONTARIO WAY WAY 4811 LAKE ONTARIO
WAY
BOWIE MD 20720
(CASE NUMBER: 4-21058)

CASE NO: DSP-21047
CASE NAME: FAIRWOOD SQUARE
PARTY OF RECORD: 15
PB DATE:

HENRY WIXON
GLENN DALE CITIZENS' ASSOCIATION, INC.
P.O.BOX 235
GLENN DALE MD 20769
(CASE NUMBER: DSP-21047)

TAMLA KIRKLAND
12807 GREENES PROMISE COURT/S
BOWIE MD 20720
(CASE NUMBER: DSP-21047)

MR.AARON KELTON
12801 GREENES PROMISE COURT/S
BOWIE MD 20720
(CASE NUMBER: DSP-21047)

CHENHONG ZHANG
12306 EUGENES PROSPECT DRIVE DRIVE
BOWIE MD 20720
(CASE NUMBER: DSP-21047)

GLORIA WIMS
4808 GERRARDS HOPE DRIVE
BOWIE MD 20720
(CASE NUMBER: DSP-21047)

MR.KEVIN PIERCE
12701 MY MOLLIES PRIDE DRIVE
BOWIE MD 20720
(CASE NUMBER: DSP-21047)

MR.DAVID E MORAN
7607 LAKE GLEN DRIVE
GLENN DALE MD 20769-2004
(CASE NUMBER: DSP-21047)

MR.GARY KELLY
4914 COLLINGTONS BOUNTY DRIVE
BOWIE MD 20720
(CASE NUMBER: DSP-21047)

MS.DEIDRE SINGLETON
FAIRWOOD
4203 QUANDERS PROMISE DRIVE DRIVE
BOWIE MD 20720
(CASE NUMBER: DSP-21047)

MS.MICHELLE JACKSON
PRINCE GEORGES COUNTY OFFICE OF THE SHERIFF
COMMUNITY PARTN
13107 JORDANS ENDEAVOR DRIVE
BOWIE MD 20720
(CASE NUMBER: DSP-21047)

MRS.JILL OLIVER
FAIRWOOD
12713 MY MOLLIES PRIDE DRIVE 12713 MY MOLLIES
PRIDE DR.
BOWIE MD 20720
(CASE NUMBER: DSP-21047)

MRS.CHELI FIGARO
12700 GOODLOES PROMISE DRIVE
BOWIE MD 20720
(CASE NUMBER: DSP-21047)

MARCIA TUCKER
WWW.MARTUCKS.COM
11310 WYCOMBE PARK LANE
GLENN DALE MD 20769
(CASE NUMBER: DSP-21047)

LARRY RINCK
4909 SMITHWICK LANE
BOWIE MD 20720 -3553
(CASE NUMBER: DSP-21047)

HENRY WIXON
10701 MARIETTA STREET
GLENN DALE MD 20769 -9406
(CASE NUMBER: DSP-21047)

CASE NO: DSP-22028
CASE NAME: FAIRWOOD SQUARE
PARTY OF RECORD: 5
PB DATE:

MR.AARON KELTON
12801 GREENES PROMISE COURT/S
BOWIE MD 20720
(CASE NUMBER: DSP-22028)

BRIAN K CHAPPELLPHD
4607 DICKENS PRIDE COURT/S
BOWIE MD 20720
(CASE NUMBER: DSP-22028)

CHELI ENGLISH
12700 GOODLOES PROMISE DRIVE
BOWIE MD 20720
(CASE NUMBER: DSP-22028)

MS.MICHELLE JACKSON
13107 JORDANS ENDEAVOR DRIVE
BOWIE MD 20720
(CASE NUMBER: DSP-22028)

MARCIA TUCKER
WWW.MARTUCKS.COM
11310 WYCOMBE PARK LANE
GLENN DALE MD 20769
(CASE NUMBER: DSP-22028)

CASE NO: DSP-22028
CASE NAME: FAIRWOOD SQUARE
PARTY OF RECORD: 33
PB DATE:

HENRY WIXON
GLENN DALE CITIZENS' ASSOCIATION, INC.
P.O.BOX 235
GLENN DALE MD 20769
(CASE NUMBER: DSP-22028)

HENRY WIXON
GLENN DALE CITIZENS' ASSOCIATION, INC.
P.O.BOX 235
GLENN DALE MD 20769
(CASE NUMBER: DSP-22028)

TAMLA KIRKLAND
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7607 LAKE GLEN DRIVE
GLENN DALE MD 20769 -2004
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FAIRWOOD
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BOWIE MD 20720
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MS.MICHELLE JACKSON
13107 JORDANS ENDEAVOR DRIVE
BOWIE MD 20720
(CASE NUMBER: DSP-22028)

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13107 JORDANS ENDEAVOR DRIVE
BOWIE MD 20720
(CASE NUMBER: DSP-22028)

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FAIRWOOD
12713 MY MOLLIES PRIDE DRIVE 12713 MY MOLLIES
PRIDE DR.
BOWIE MD 20720
(CASE NUMBER: DSP-22028)

MRS.CHELI FIGARO
12700 GOODLOES PROMISE DRIVE
BOWIE MD 20720
(CASE NUMBER: DSP-22028)

MRS.BRITA COFFIE
12323 EUGENES PROSPECT DRIVE
BOWIE MD 20720
(CASE NUMBER: DSP-22028)

MRS.JILL OLIVER
FAIRWOOD COMMUNITY
12713 MY MOLLIES PRIDE DRIVE DRIVE
BOWIE MD 20720
(CASE NUMBER: DSP-22028)

WILLIAM KACZOR
6476 SOMERSBY DRIVE
MURRELLS INLET SC 29576
(CASE NUMBER: DSP-22028)

JOAN KACZOR
6476 SOMERSBY DRIVE
MURRELLS INLET SC 29576
(CASE NUMBER: DSP-22028)

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(CASE NUMBER: DSP-22028)

LARRY RINCK
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BOWIE MD 20720 -3553
(CASE NUMBER: DSP-22028)

MR.TAALIB ALSALAAM
4917 SMITHWICK LANE
BOWIE MD 20720
(CASE NUMBER: DSP-22028)

MR.PHIL PUGH
4905 SMITHWICK LANE
BOWIE MD 20720 -3553
(CASE NUMBER: DSP-22028)

MS.SANDY RINCK
4909 SMITHWICK LANE
BOWIE MD 20720 -3553
(CASE NUMBER: DSP-22028)

MRS.MARCIA TUCKER
WWW.MARTUCKS.COM
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GLENN DALE MD 20769
(CASE NUMBER: DSP-22028)

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BOWIE MD 20720
(CASE NUMBER: DSP-22028)

MR.JOHN Q SIBBLES
12200 PARTELLO ROAD
BOWIE MD 20720
(CASE NUMBER: DSP-22028)

MR.JOHN LEX
HOLMEHURST CIVIC ASSOCIATION PRESIDENT
12212 LISBOROUGH ROAD
BOWIE MD 20720 -3553
(CASE NUMBER: DSP-22028)

MR.JOHN LEX
HOLMEHURST CIVIC ASSOCIATION PRESIDENT
12212 LISBOROUGH ROAD
BOWIE MD 20720 -3553
(CASE NUMBER: DSP-22028)

DR.YONETTE F THOMAS
WINGATE HOMEOWNERS ASSOCIATION INC.
8111 FELBRIGG HALL ROAD
GLENN DALE MD 20769
(CASE NUMBER: DSP-22028)

DR.ALEXANDER AMUAH
MTD CONSULT INC.
8410 CHERVIL ROAD
LANHAM MD 20706
(CASE NUMBER: DSP-22028)

HENRY WIXON
10701 MARIETTA STREET
GLENN DALE MD 20769 -9406
(CASE NUMBER: DSP-22028)

ARCHITECTURAL GRADE FIBER GLASS SHINGLES CHARCOAL GREY

METAL SEAM ROOF w/ OPT. LOFT DORMER



TIMBERLAKE HOMES

ARCHITECTURE COLLABORATIVE

DETAILS AND DIMENSIONS SHOWN ON THESE FLOOR PLANS AND ELEVATION ARE APPROXIMATE AND SUBJECT TO CHANGE. ILLUSTRATIONS ARE ARTIST CONCEPTS AND MAY VARY IN DETAIL FROM FLOOR PLAN AND SPECIFICATIONS.



'FAIRWOOD SQUARE'

NOTES:

- SOME FEATURES SHOWN IN RENDERING ARE OPTIONAL
- WINDOW GRILLS ON REAR & SIDE TO MATCH FRONT ELEVATION

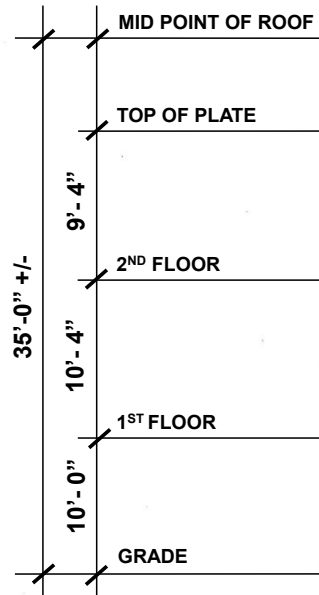
FRONT ELEVATION
18' REAR GARAGE TOWNHOUSE

FLAT ROOF AT FRONT ENTRY

HORIZONTAL SIDING IN GABLE

SYN. SPANDREL PANELS

2 OVER 2 VINYL WINDOWS



FRONT ELEVATION
24' FRONT GARAGE TOWNHOUSE

BRICK w/ BRICK WINDOW & DOOR SURROUNDS

BOXED BAY w/ OPT. STANDING SEAM METAL ROOF

2-STORY BOXED BAY

4-LITE PANEL FRONT DOOR

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TIMBERLAKE HOMES

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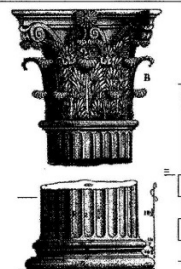
Tel.: (410) 466-7600
Fax: (410) 466-0903

content: TOWNHOUSE -- PRESENTATION
scale: 3/16" = 1'
date: 02/08/22

FILE#: FairwoodSquare_18Rear
title: 'FAIRWOOD SQUARE'

revisions: 02/15/22 ELEVATION COUNTY PRESENTATION

SHEET #





REAR ELEVATION
18' REAR GARAGE TOWNHOUSE

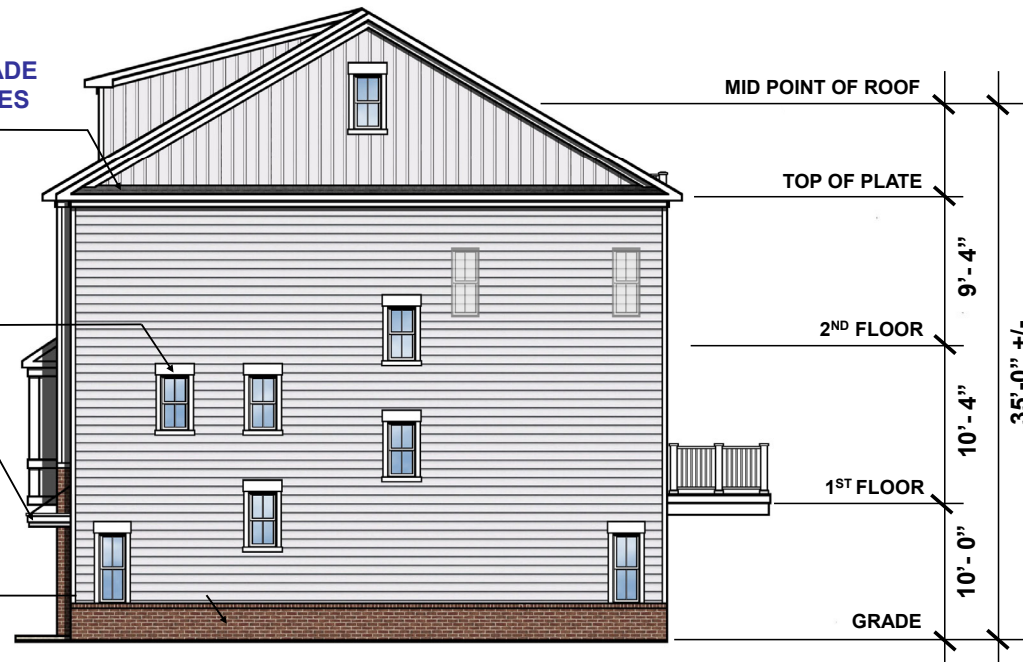
6'-0" CANTILEVEL DECK
w/ SAFETY RAIL.

PENT ROOF w/
ARCHITECTURAL GRADE
FIBER GLASS SHINGLES
CHARCOAL GREY

SYN. TRIM
WINDOW HEAD &
SILL w/ SYN. TRIM
SURROUND

FLAT ROOF AT
FRONT ENTRY

BRICK
WATERTABLE
w/ BRICK SILL



HIGH VIS. SIDE ELEVATION
18' & 24' TOWNHOUSE

WHITE VINYL FYPON
LOUVERED VENT

TWIN 5" EXPOSURE
HORIZONTAL VINYL
SIDING 20'-0"
LENGTH (TYP.)

ARCHITECTURAL
GRADE FIBER
GLASS SHINGLES
CHARCOAL GREY

TWIN 5" EXPOSURE
HORIZONTAL VINYL
SIDING 20'-0"
LENGTH (TYP.)

SAFETY RAIL w/
OPT. REAR
LOFT DECK

CONT. RIDGE
VENT

WHITE VINYL
CORNER
BOARDS



TYP. SIDE ELEVATION
18' & 24' TOWNHOUSE
(SHOWN w/ OPT. LOFT)



REAR ELEVATION
24' FRONT GARAGE TOWNHOUSE

6'-0" CANTILEVEL DECK
w/ SAFETY RAIL.

NOTES:

- SOME FEATURES SHOWN IN RENDERING ARE OPTIONAL
- WINDOW GRILLS ON REAR & SIDE TO MATCH FRONT ELEVATION

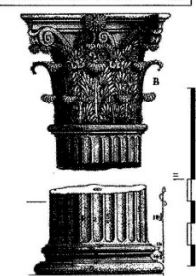
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TIMBERLAKE HOMES
content
scale 3/16" = 1' FILE# FairwoodSquare_080922 date 02/08/22
TOWNHOUSE - PRESENTATION
title
'FAIRWOOD SQUARE'

revisions	ELEVATION COUNTY PRESENTATION
02/15/22	

SHEET #





Architecture + Planning
888.456.5849
ktgy.com

Timberlake Homes
304 Harry S. Truman Pkwy
Suite M
Annapolis, MD 21401

FAIRWOOD SQUARE
MARYLAND # 20150204

SCHEMATIC STRIP ELEVATION
OCTOBER 7, 2022

FOXGLOVE AND REDWOOD
FRONT ELEVATION

A1.0



1 | LEFT ELEVATION - STANDARD



2 | RIGHT ELEVATION - HIGH VISIBILITY



Architecture + Planning
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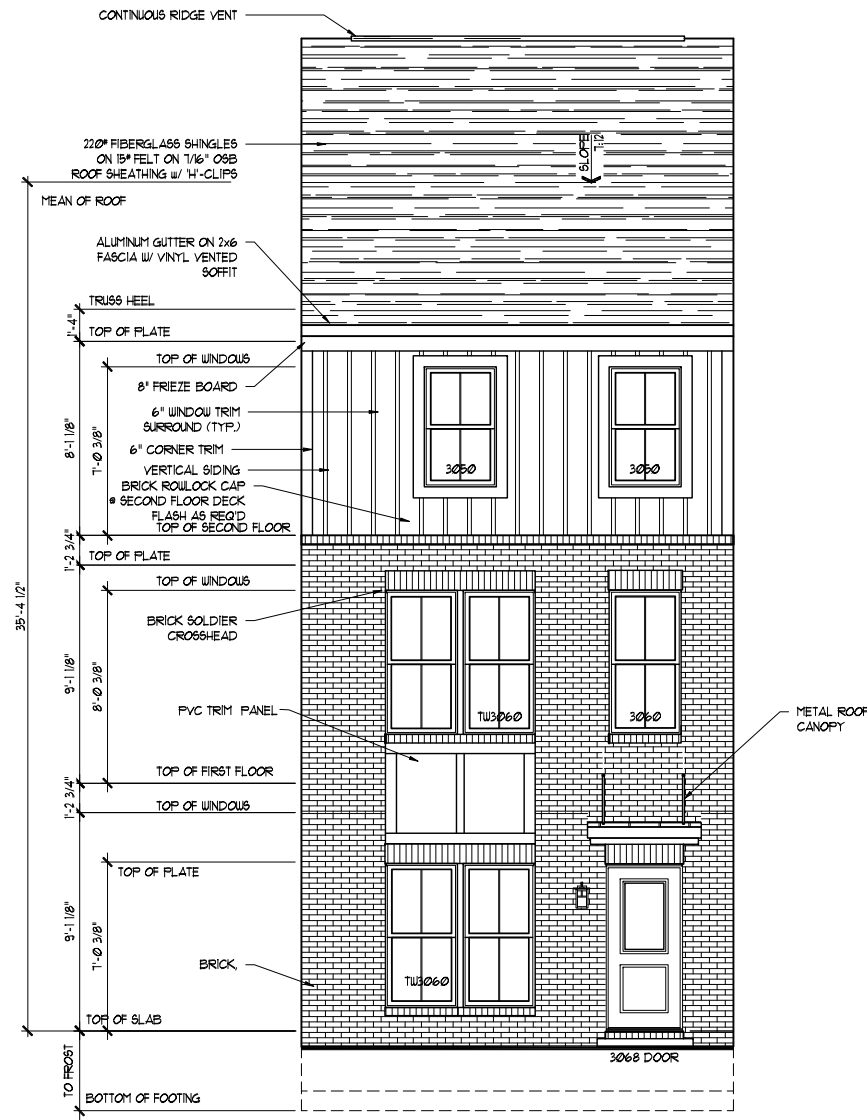
Timberlake Homes
304 Harry S. Truman Pkwy
Suite M
Annapolis, MD 21401

FAIRWOOD SQUARE
MARYLAND # 20150204

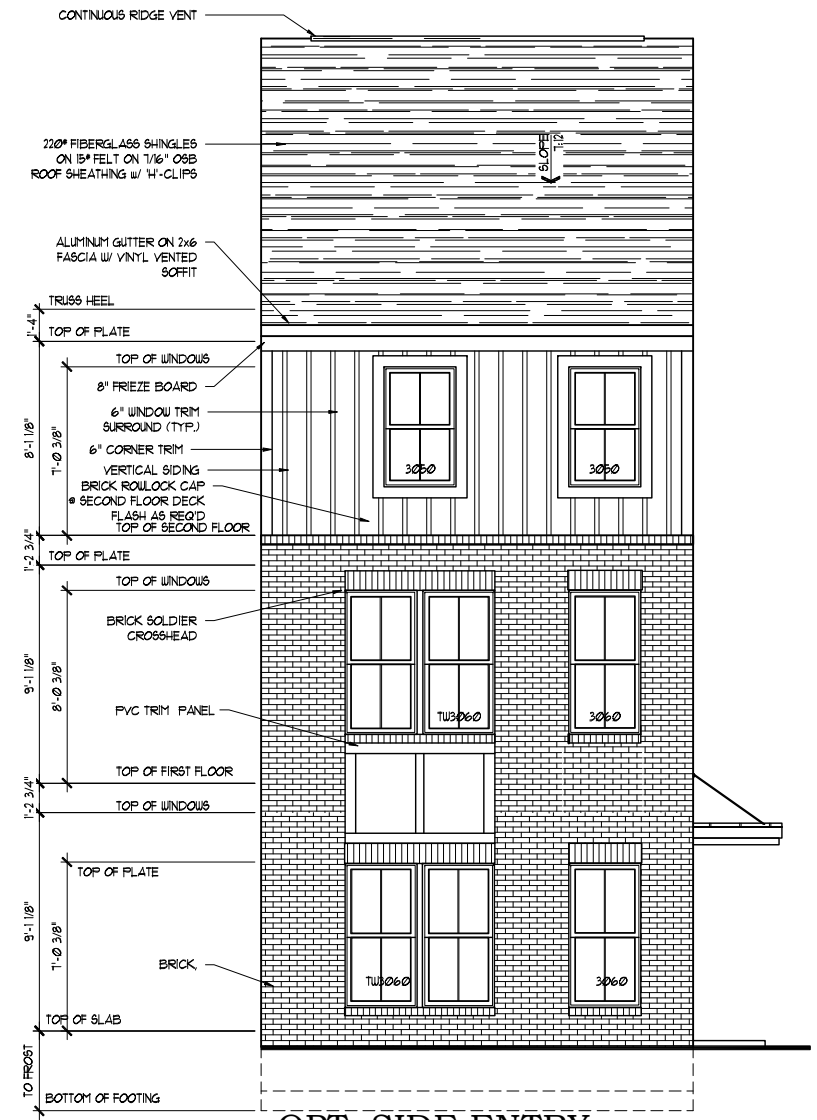
SCHEMATIC STRIP ELEVATION
OCTOBER 7, 2022

FOXGLOVE AND REDWOOD
REAR ELEVATION

A1.2



FRONT ELEVATION 1
 SCALE (17x11): 1/8" = 1'-0"
 SCALE (34x22): 1/4" = 1'-0"



OPT. SIDE ENTRY FRONT ELEVATION 1
 SCALE (17x11): 1/8" = 1'-0"
 SCALE (34x22): 1/4" = 1'-0"

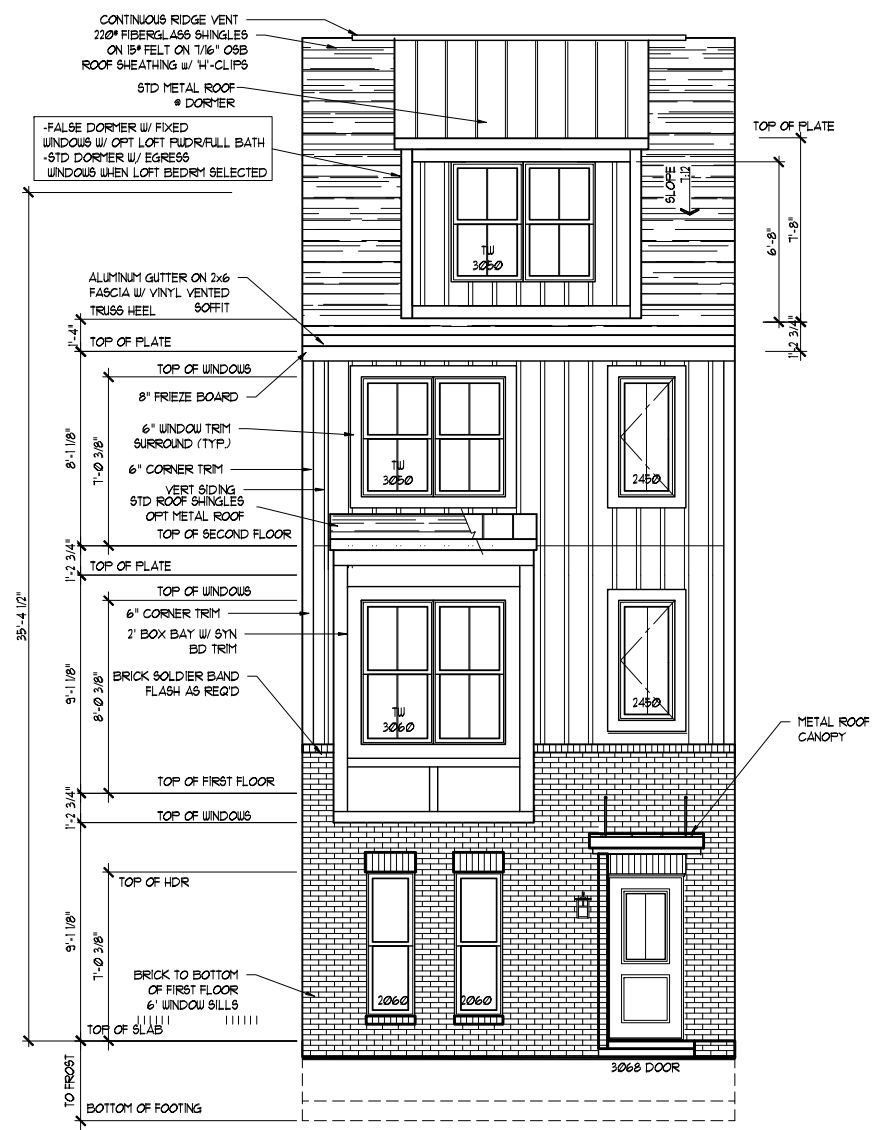
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content		ELEVATION 1	
scale: 1" = 4'	file: (34x22)	drawn: RC	date: 3-9-21
U.N.O. 1" = 8'	(17x11)	3.1	
		TIMBERLAKE HOMES	
		MADIERA	
		title	

date	revision	by

Professional Certification	
I hereby certify that these documents were prepared or approved by me, and I am a duly licensed professional architect under the laws of the State of Maryland.	
license number	5621
expiration date	04-09-2024
SHEET #	
3.1	



FRONT ELEVATION #2
 SCALE (17x11): 1/8" = 1'-0"
 SCALE (34x22): 1/4" = 1'-0"

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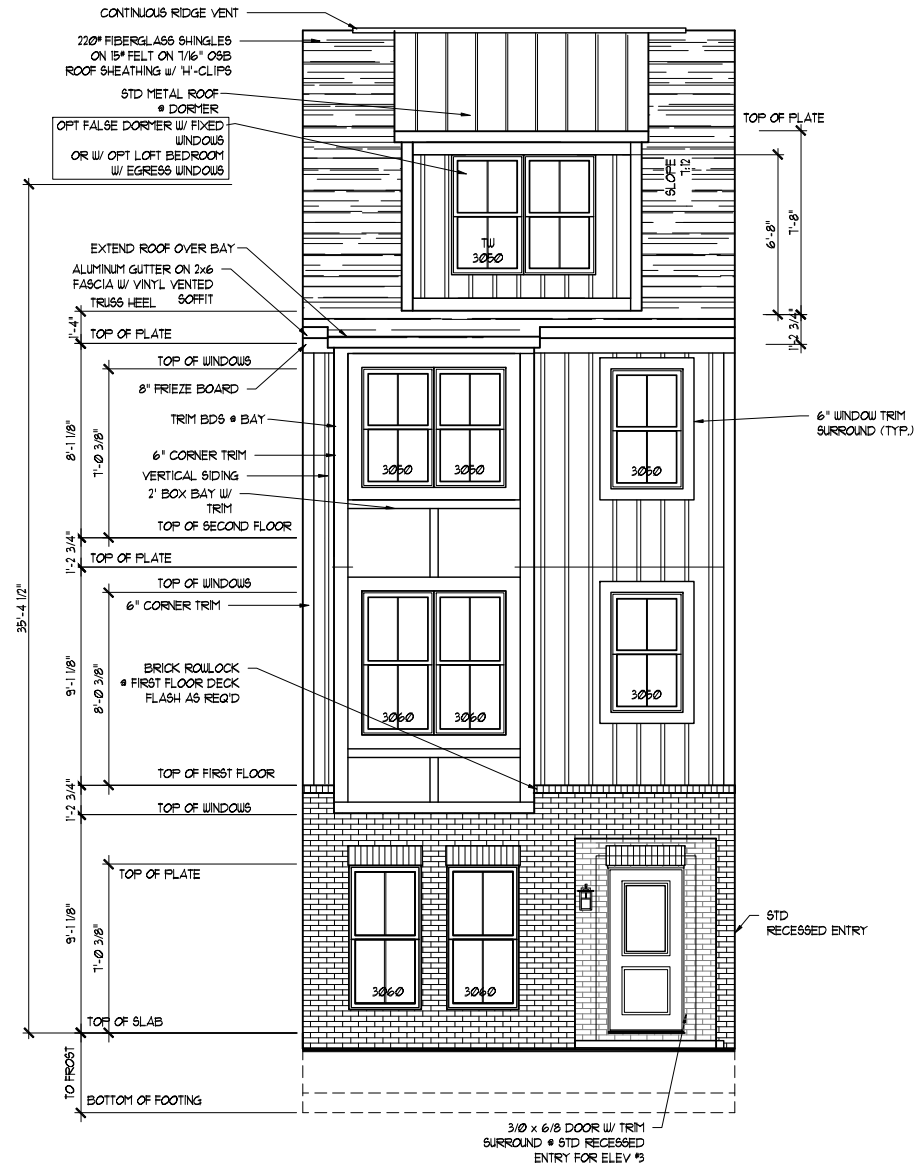
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 Ellicott City, MD 21043
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 Tel.: (410) 465-7500 Fax: (410) 465-0903

ELEVATION 2
 content: **TIMBERLAKE HOMES**
 title: **MADIERA**
 scale: 1" = 4' (34x22) file: 3.2
 U.N.O. 1" = 8' (17x11) 3.2
 date: 3-9-21
 drawn: RC
 title

date	revision	by

SHEET #
 3.2

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 license number: 5621
 expiration date: 04-09-2024



FRONT ELEVATION #3

SCALE (17x11): 1/8" = 1'-0"
 SCALE (34x22): 1/4" = 1'-0"

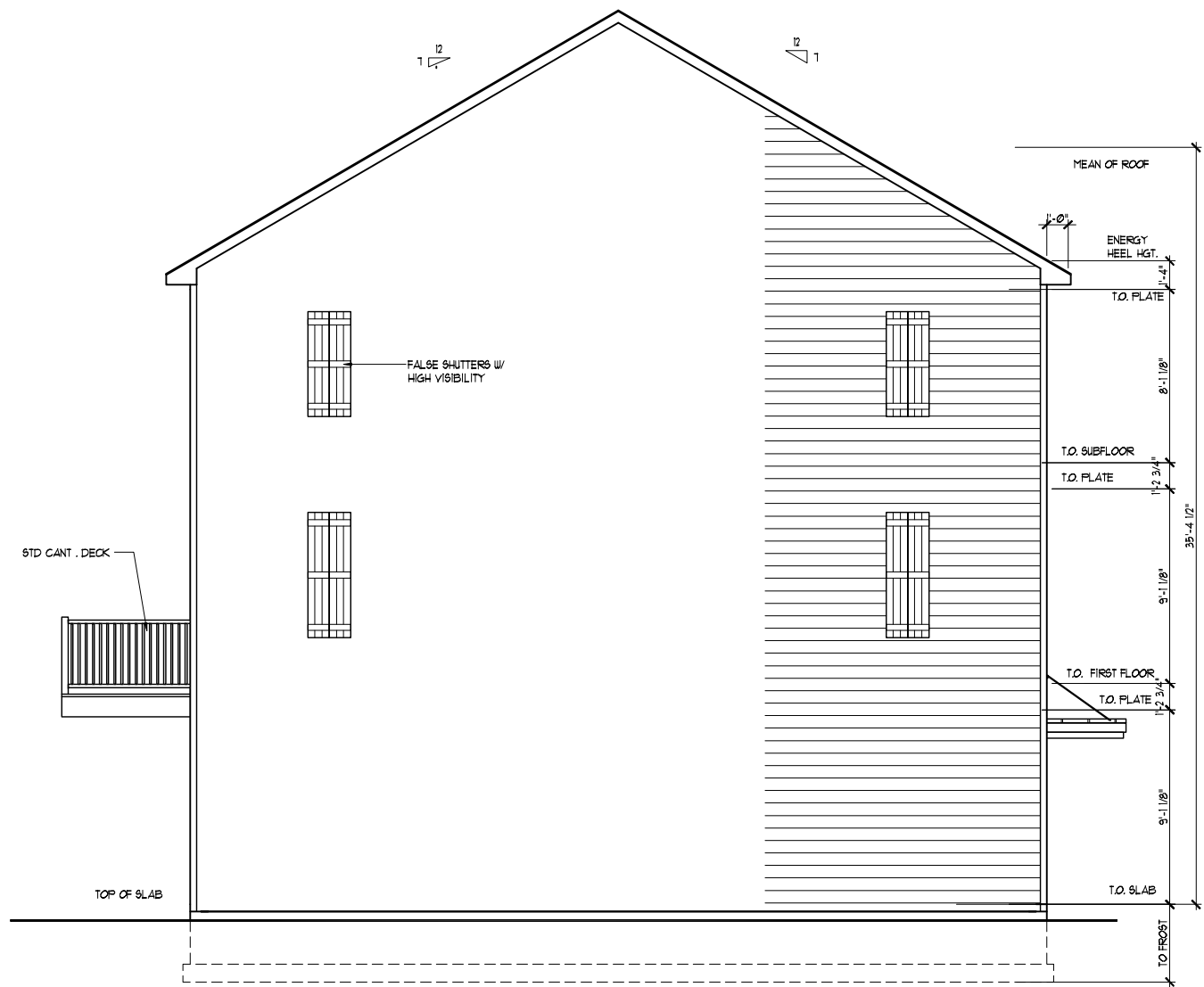
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content	ELEVATION 3	
scale: 1" = 4' (34x22)	file: 3.3	date: 3-9-21
U.N.O. 1" = 8' (17x11)	drawn: RC	
	TIMBERLAKE HOMES	
	MADIERA	
	title	

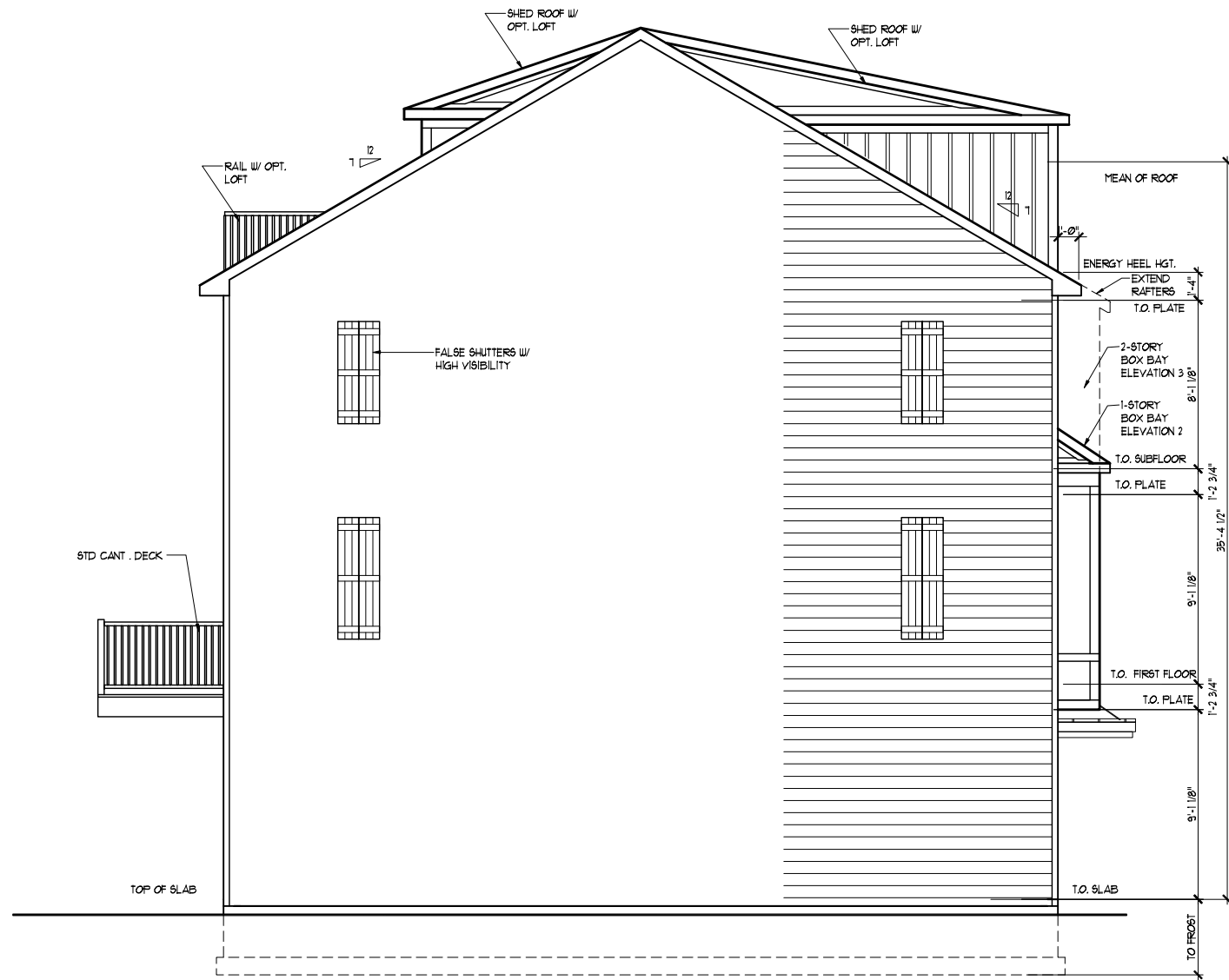
date	revision	by

Professional Certification	SHEET #
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license number: 5621	
expiration date: 04-09-2024	



LEFT SIDE ELEVATION

SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"



**ELEVATION 2 & 3 w/ OPT. LOFT
LEFT SIDE ELEVATION**

SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"

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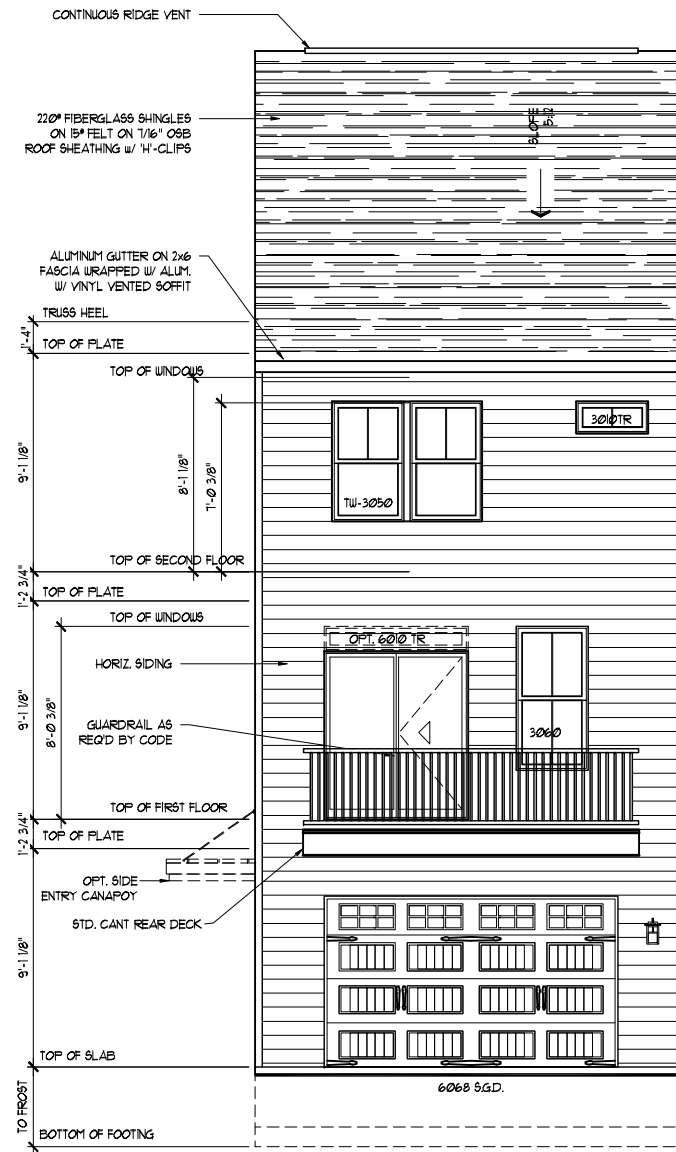
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8334 Main Street
Ellicott City, MD 21043
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Tel.: (410) 465-7500 Fax: (410) 465-0903

content: **END CONDITION ELEVATIONS**
scale: 1" = 4' (34x22) file: 3.4 date: 3-9-21
U.N.O. 1" = 8' (17x11) 3.4 drawn: RC
TIMBERLAKE HOMES
MADIERA
title

date	revision	by

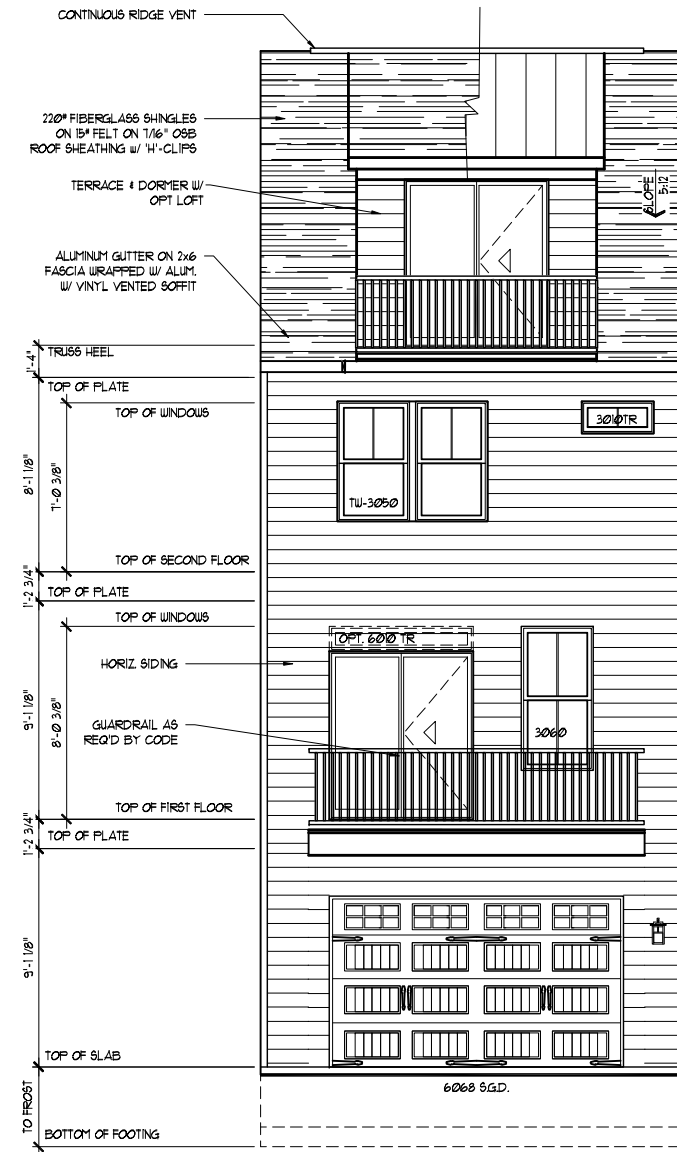
SHEET #
3.4

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license number: 5621
expiration date: 04-09-2024



REAR ELEVATION

SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"



**OPT. LOFT
STD CANT REAR DECK
REAR ELEVATION**

SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"

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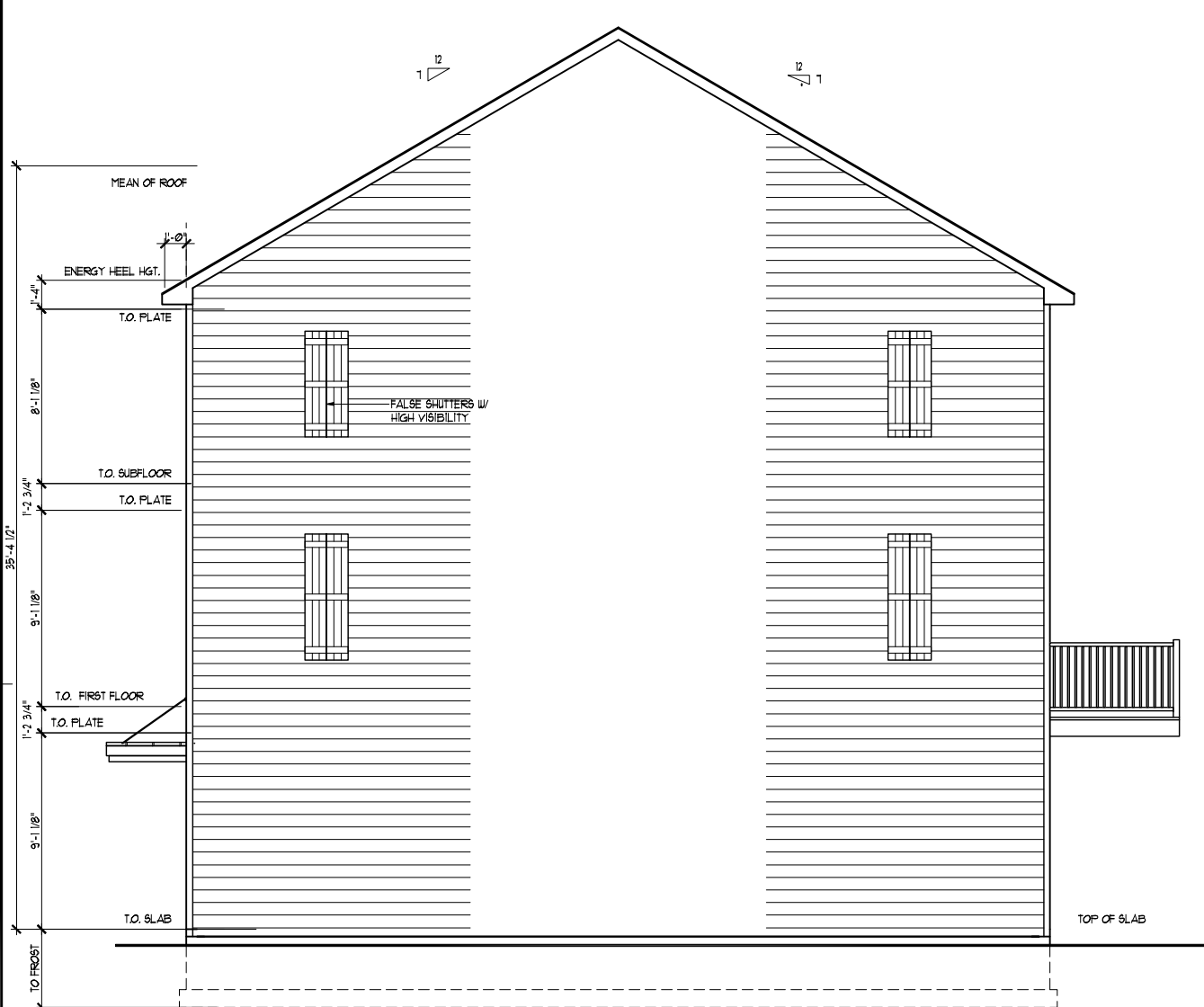
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Tel.: (410) 465-7500 Fax: (410) 465-0903

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scale: 1"=4' (34x22) file: 3-9-21
U.N.O. 1"=8' (17x11) 3.5
drawn: RC
date: 3-9-21
title: TIMBERLAKE HOMES
MADIERA

date	revision	by

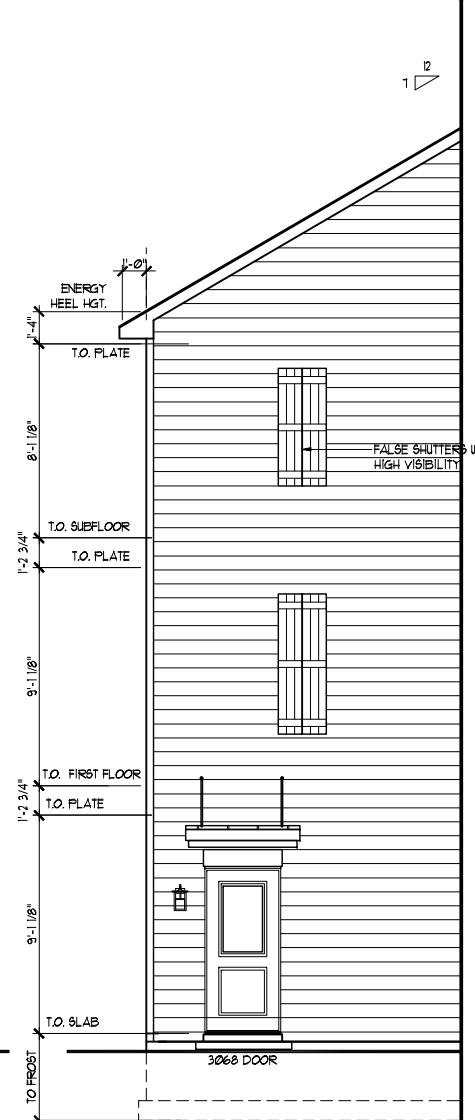
SHEET #
3.5

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license number: 5621
expiration date: 04-09-2024



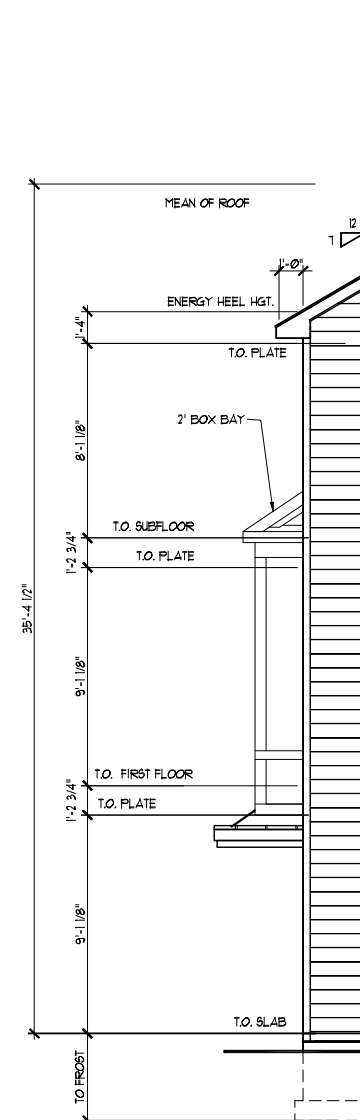
RIGHT SIDE ELEVATION

SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"



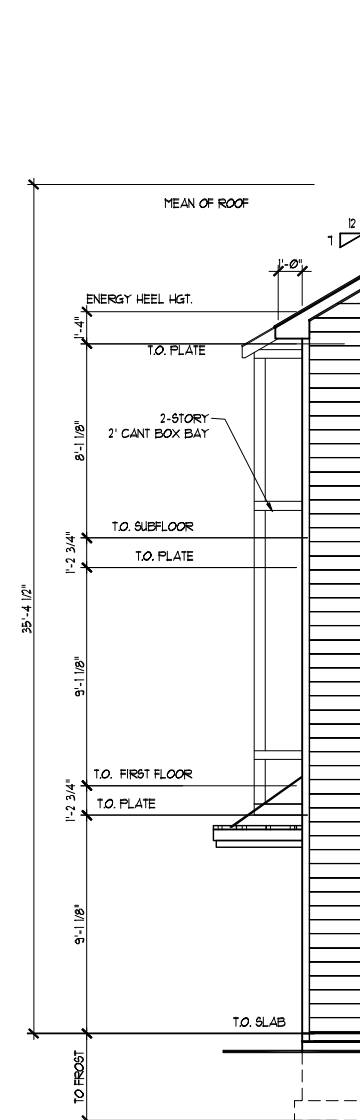
**OPT. SIDE ENTRY
RIGHT SIDE ELEVATION**

SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"



**ELEVATION 2
RIGHT SIDE ELEVATION**

SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"



**ELEVATION 3
RIGHT SIDE ELEVATION**

SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"

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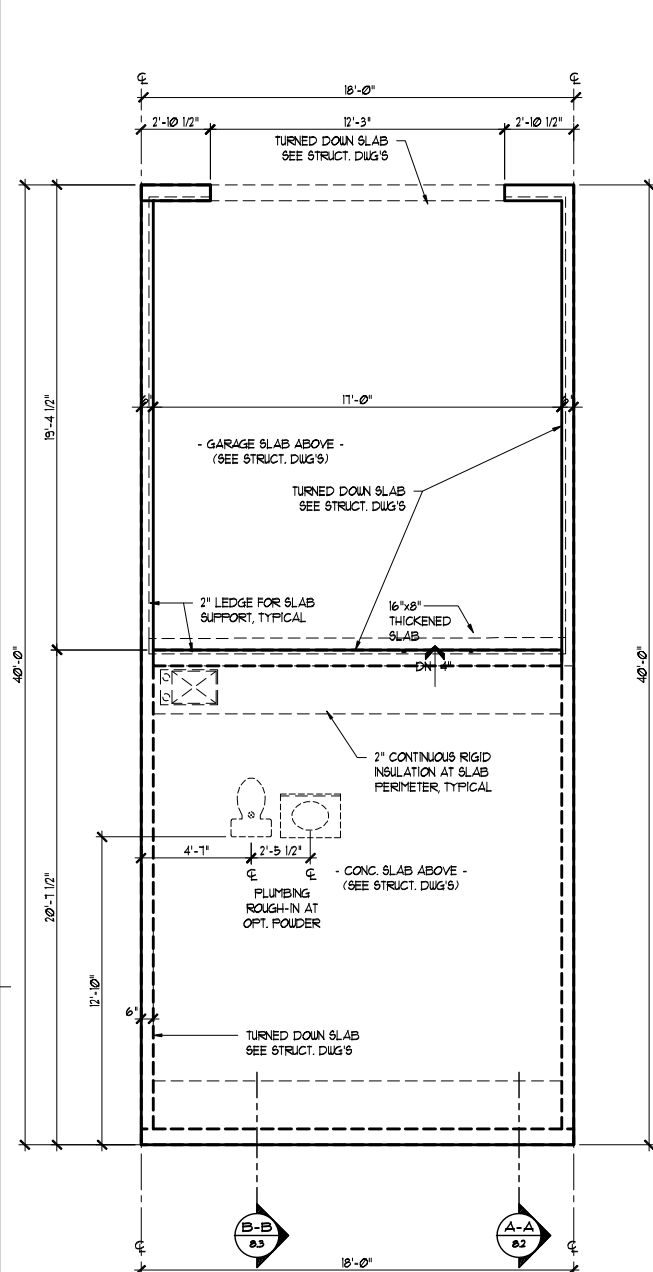
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8334 Main Street
Ellicott City, MD 21043
www.archcol.com
Tel.: (410) 465-7500 Fax: (410) 465-0903

content: **RIGHT SIDE ELEVATIONS**
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U.N.O. 1"=8' (17x11) 3.6
drawn: RC date: 3-9-21
TIMBERLAKE HOMES
MADIERA
title

date	revision	by

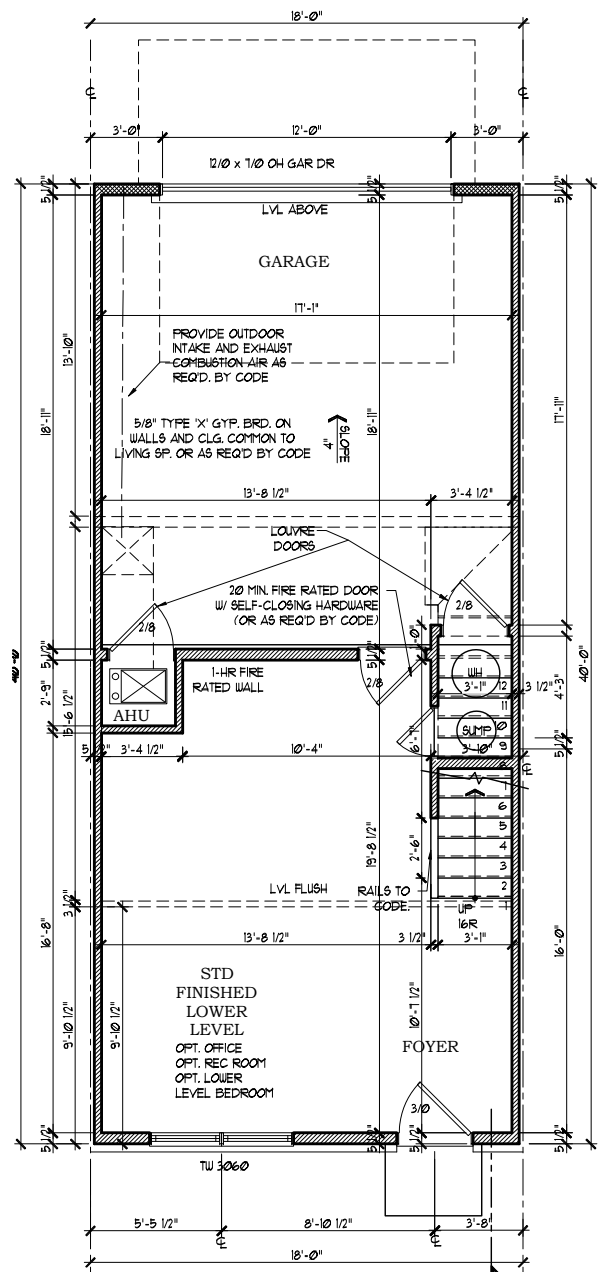
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license number: 5621
expiration date: 04-09-2024



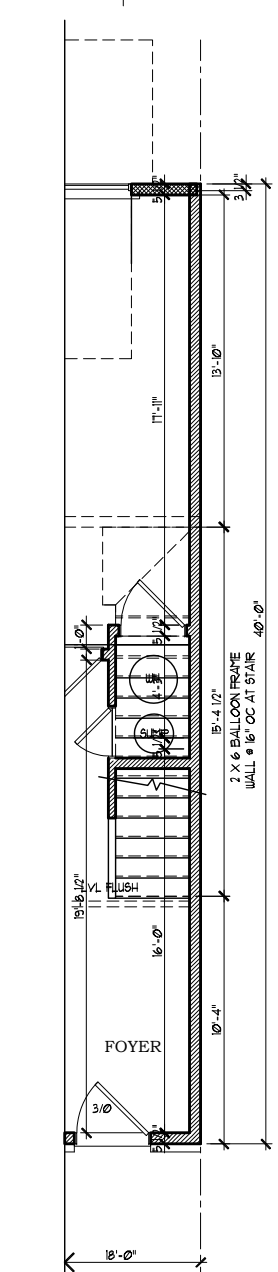
**ELEVATIONS #1 & #2
SLAB FOUNDATION PLAN**

SCALE (17x11): 1/8" = 1'-0"
SCALE (36x24): 1/4" = 1'-0"



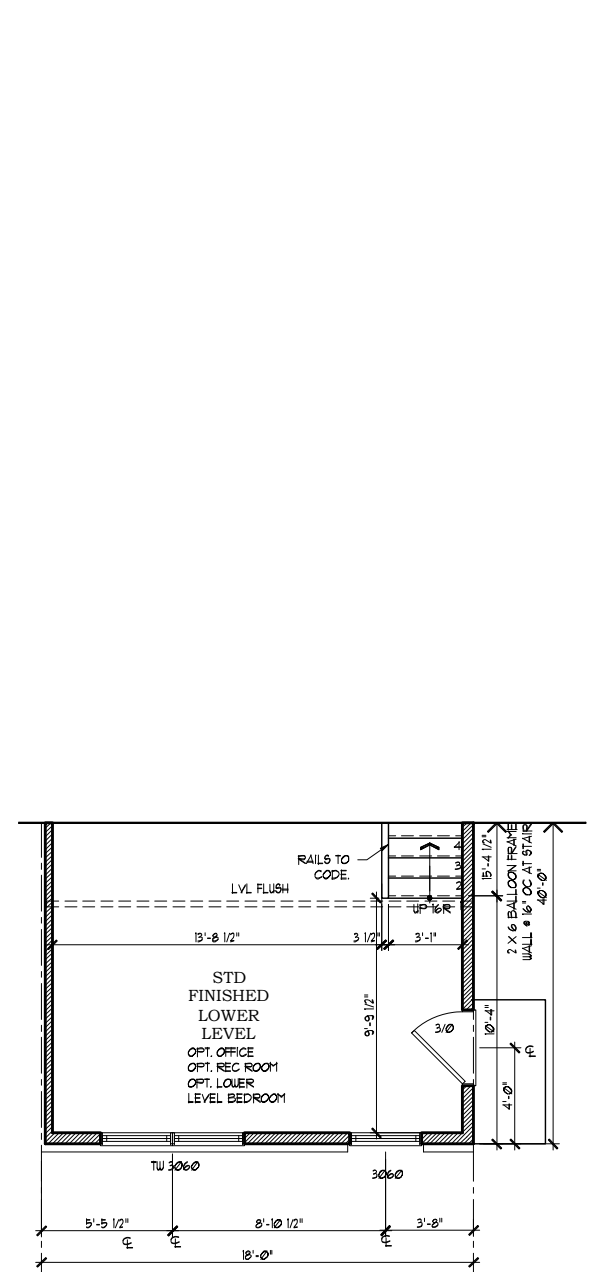
**ELEVATION 1
LOWER LEVEL PLAN**

SCALE (17x11): 1/8" = 1'-0"
SCALE (36x24): 1/4" = 1'-0"



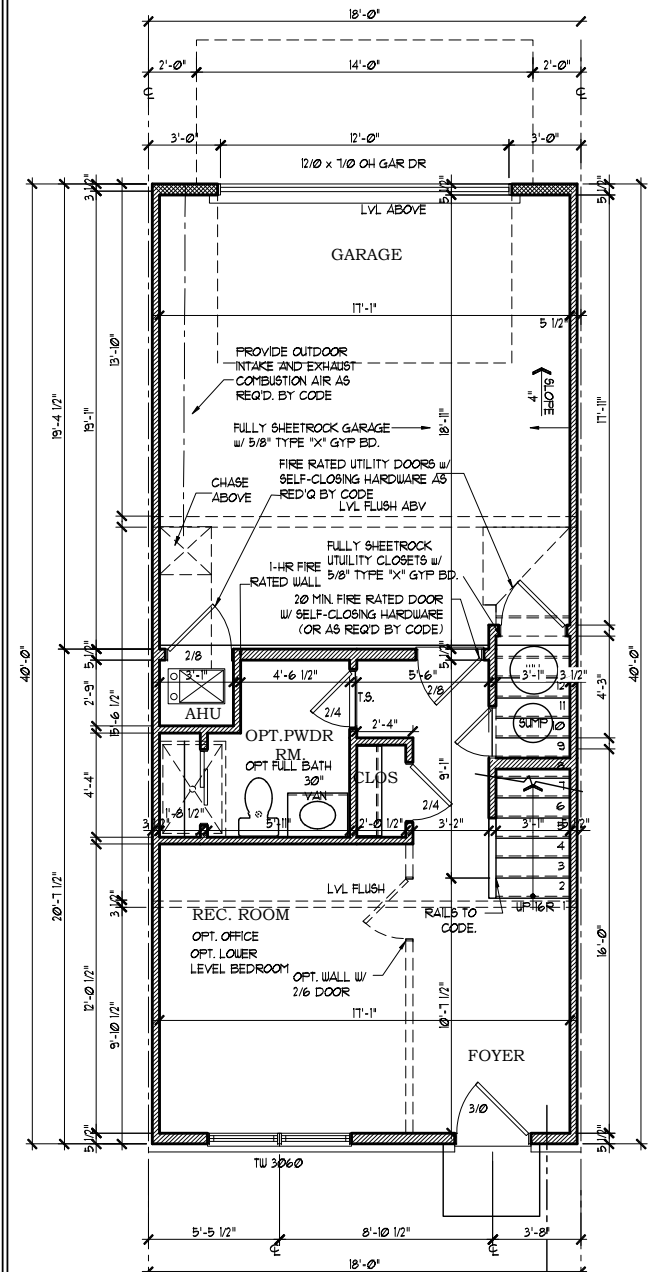
**END UNIT
LOWER LEVEL**

SCALE (17x11): 1/8" = 1'-0"
SCALE (36x24): 1/4" = 1'-0"



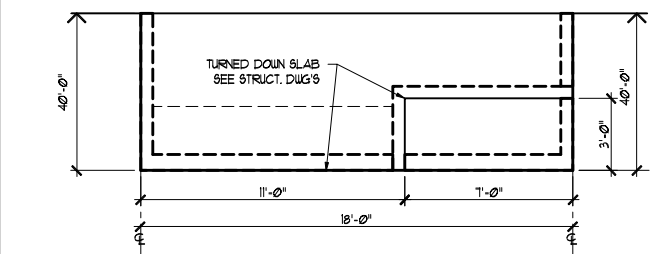
**OPT. SIDE ENTRY
LOWER LEVEL PLAN**

SCALE (17x11): 1/8" = 1'-0"
SCALE (36x24): 1/4" = 1'-0"



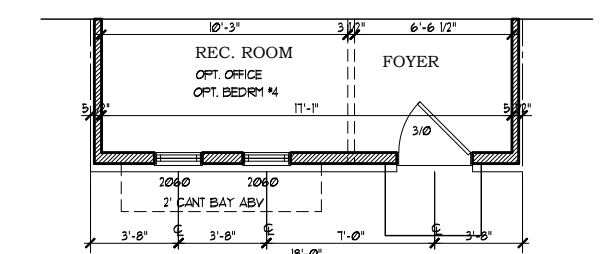
**ELEVATION 1
OPT. FINISHED
LOWER LEVEL PLAN**

SCALE (17x11): 1/8" = 1'-0"
SCALE (36x24): 1/4" = 1'-0"



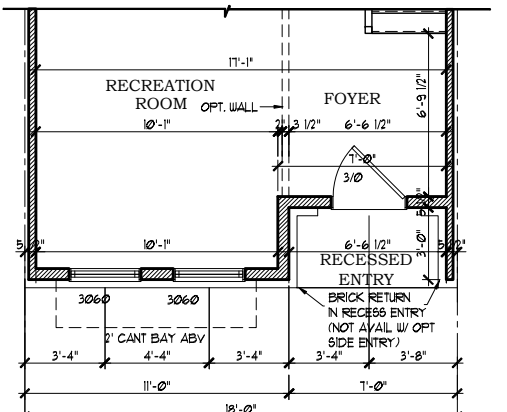
**ELEVATION #3
PARTIAL PLAN
SLAB FOUNDATION PLAN**

SCALE (17x11): 1/8" = 1'-0"
SCALE (36x24): 1/4" = 1'-0"



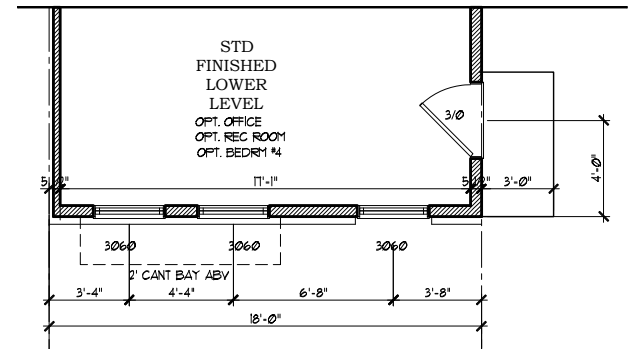
**ELEVATION 2
LOWER LEVEL PLAN**

SCALE (17x11): 1/8" = 1'-0"
SCALE (36x24): 1/4" = 1'-0"



**ELEVATION 3
LOWER LEVEL PLAN**

SCALE (17x11): 1/8" = 1'-0"
SCALE (36x24): 1/4" = 1'-0"



**OPT. SIDE ENTRY
ELEVATION 3
LOWER LEVEL PLAN**

SCALE (17x11): 1/8" = 1'-0"
SCALE (36x24): 1/4" = 1'-0"

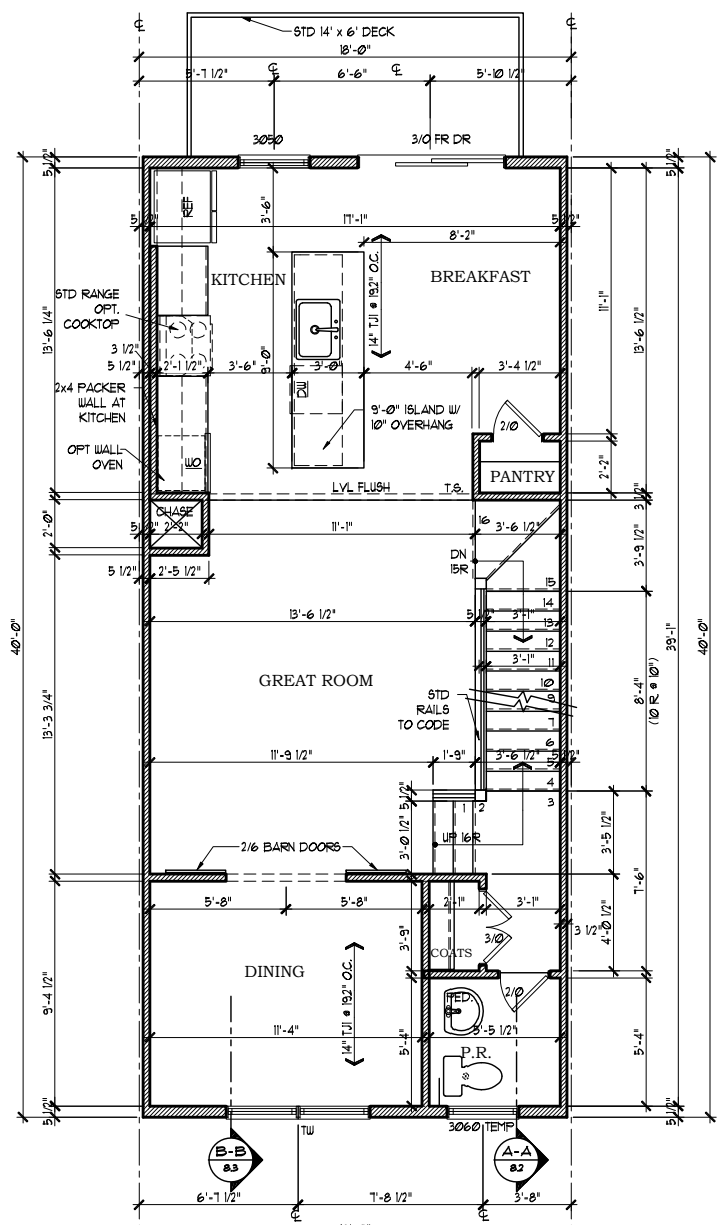
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Architecture Collaborative, Inc.
8334 Main Street
Ellicott City, MD 21043
www.archcol.com
Tel.: (410) 465-7500 Fax: (410) 465-0903

FOUNDATION - LOWER LEVEL PLANS
date: 3-9-21
drawn: RC
file: (34x22) 4.1
U.N.O. 1" = 8' (17x11)
TIMBERLAKE HOMES
MADIERA
title

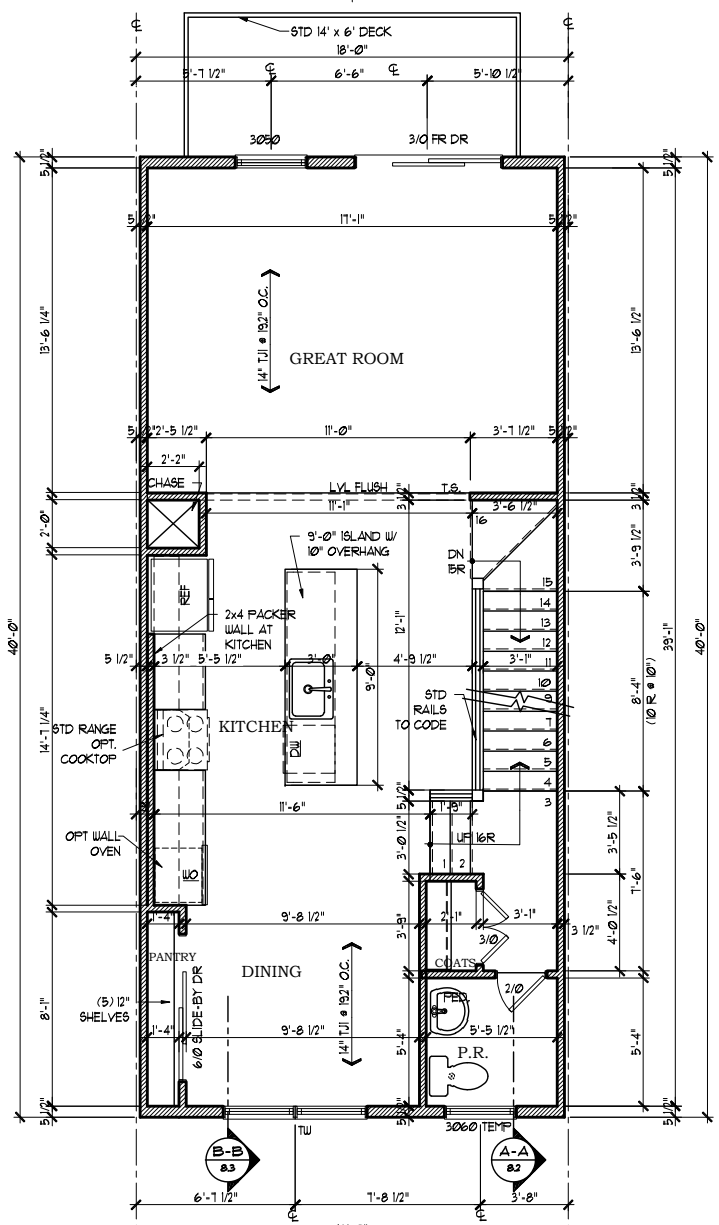
date	revision	by

PROFESSIONAL CERTIFICATION
I hereby certify that these documents were prepared or approved by me, and I am a duly licensed professional architect under the laws of the State of Maryland.
license number: 5621
expiration date: 04-05-2024
SHEET #
4.1



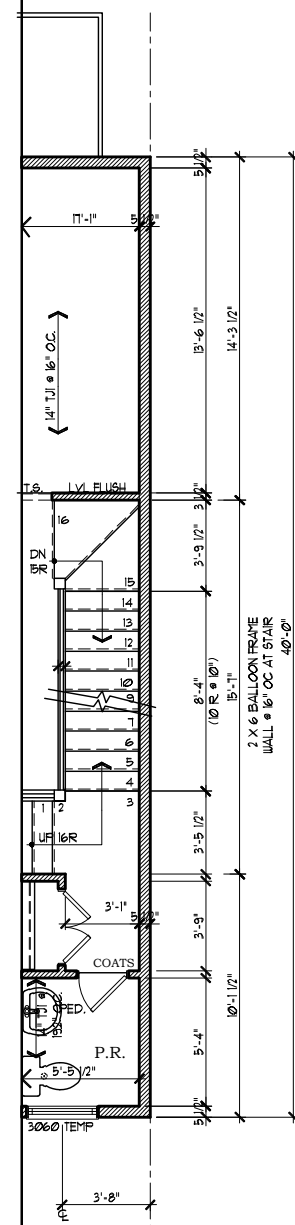
**OPT. REAR KITCHEN
ELEVATION #1
FIRST FLOOR PLAN**

SCALE (17x11): 1/8" = 1'-0"
SCALE (36x24): 1/4" = 1'-0"



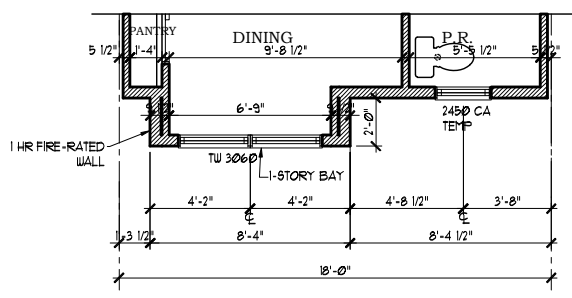
**STD CENTER KITCHEN
ELEVATION #1
FIRST FLOOR PLAN**

SCALE (17x11): 1/8" = 1'-0"
SCALE (36x24): 1/4" = 1'-0"



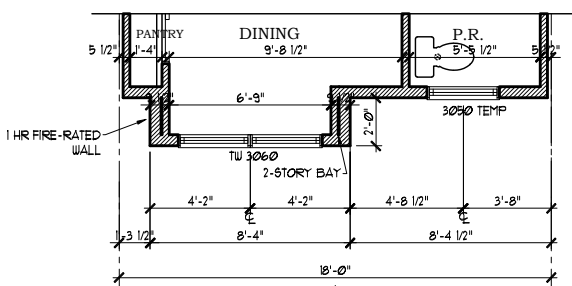
**END UNIT
FIRST FLOOR**

SCALE (17x11): 1/8" = 1'-0"
SCALE (36x24): 1/4" = 1'-0"



**ELEVATION #2
FIRST FLOOR PLAN**

SCALE (17x11): 1/8" = 1'-0"
SCALE (36x24): 1/4" = 1'-0"



**ELEVATION #3
FIRST FLOOR PLAN**

SCALE (17x11): 1/8" = 1'-0"
SCALE (36x24): 1/4" = 1'-0"

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FIRST FLOOR PLAN
content: **TIMBERLAKE HOMES**
scale: 1" = 4' (34x22) file: **MADIERA**
U.N.O. 1" = 8' (17x11) 5.1
drawn: RC
date: 3-9-21

date	revision	by

SHEET #
5.1

Professional Certification
I hereby certify that these documents were prepared or approved by me, and I am a duly Licensed Professional Architect under the laws of the State of Maryland.
license number: 5621
expiration date: 04-09-2024

TIMBERLAKE HOMES

FOXGLOVE - 20' X 40'



Architecture + Planning
 8609 Westwood Center Dr.
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 Tysons, VA 22182
 ktgy.com
 703.992.6116

KTGY Project No: 20150204

Project Contact: Kit Thackrey
Email: kthackrey@ktgy.com

Principal: Smita Anand
Project Designer: Smita Anand

Developer

TIMBERLAKE HOMES
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PHONE NO. 443.837.3134
FAX NO. ----

FAIRWOOD SQUARE
 PRINCE GEORGE'S COUNTY, MD
FOXGLOVE - 20x40 TH

No.	Date	Description

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License Stamp
 COVER SHEET & INDEX

A-001

By signing this document, I certify that I have reviewed the structural framing, roof trusses, foundation walls, footings and other structural components of the building plans and all non-structural requirements identified as Plans On File # _____, And house Type _____ For case # _____, And have found them to be in compliance with the provisions of the 2015 International Residential Code as adopted by Prince George's County Amendments.

GENERAL REQUIREMENTS

BUILDER, CONTRACTOR, SUB-CONTRACTOR RESPONSIBILITIES
 The term Work as used in construction documents shall include all provisions as drawn or specified in these documents as well as other provisions specifically included by the Architect in the form of drawings, specifications, written and other instructions issued by the Architect.

- Where reference is made in these documents to Builder/Contractor, it shall refer to Builder, General Contractor, and all Sub-Contractors and their employees.
- Contractor/Builder/Sub-Contractor understands that drawings graphically depict design intent of the project. Locations and dimensions shown on drawings are diagrammatic. Builder/Contractor understands that drawings show the general arrangement, design and extent of Work and are not intended to be scaled for measurements or serve as shop drawings.
- Contractor/Builder/Sub-Contractor shall properly fabricate, transport, fabricate, install erect, construct and test, furnish and supply all labor materials, labor, equipment, apparatus, appurtenances, and all other items and expenses necessary to properly complete the Work in place and ready for operation or use as intended for by the Architect.
- Contractor/Builder/Sub-Contractor shall be familiar with provisions of all applicable codes, shall ensure compliance with same and shall be responsible for and be required to discover, through exercising care, skill and diligence in reviewing the Construction Drawings, any omissions, and discrepancies and shall bring same to the attention of the Architect prior to construction.
- By executing the Contract, the Contractor/Builder/Sub-Contractor warrants that he has closely inspected the site and it's environs, and has determined to his satisfaction the physical condition of such, familiarized himself with the local conditions under which the Work is to be performed, correlated his observations with the requirements of the Construction Drawings, and knows of no other information required to complete the Work as intended for by the Architect, and as per local jurisdiction requirements.

6. If any item or material is not shown or omitted on the drawings, but is otherwise reasonably inferable therefrom, the Contractor shall inform Architect, and be required to furnish and install such item or material which conforms to the type and quality of similar items otherwise established in the Construction Drawings and Specifications.

7. Where a typical detail is shown or indicated on the drawings, that condition shall be representative of and shall constitute the standard for workmanship, materials, and performance for conditions and materials and workmanship throughout corresponding and similar conditions throughout the Work.

8. The Contractor/Builder/Sub-Contractor are responsible for thoroughly examining all drawings, specifications and applicable codes, as well as making all actual measurements and establishing all actual dimensions for each particular type of Work, and for co-ordinating the Work described, and also responsible for determining the exact scope of Work for each section, as well as checking cross references of Work, and any Work excluded from any section.

9. By making substitution of products or procedures in the Work, the Contractor/Builder/Sub-Contractor represents that he has personally investigated the proposed substitute and determined that it is equal or superior in all respects to that specified; represents that he will provide equal or better warranty for the substitution; represents that he will co-ordinate the installation of the approved substitute, making all changes as may be required.

10. Where reference is made in these documents to Builder/Contractor, it shall refer to Builder, General Contractor, and all Sub-Contractors and their employees.

11. Nothing hereunder shall create any contractual relationship between the Architect and any sub-contractor.

12. These documents do not include the necessary components for construction safety, care of adjacent properties during construction, compliance with state and federal regulations regarding safety. Compliance with all safety requirements shall be the Contractor's responsibility. Contractor/Builder shall supervise and direct the Work and be solely responsible for all construction means, methods, techniques and safety procedures, and for coordinating all portions of the Work.

PROJECT TEAM

OWNER
 TIMBERLAKE HOMES
 304 HARRY S TRUMAN PARKWAY SUITE M
 ANNAPOLIS, MD 21401
 P: (301) 350-0400

ARCHITECT
 KTGY GROUP, INC.
 8609 WESTWOOD CENTER DRIVE, SUITE 600
 TYSONS CORNER, VA 22182
 P: (703) 992-6116
 F: (703) 992-6428

STRUCTURAL ENGINEER
 MULHERN & KULP STRUCTURAL ENGINEERS, INC.
 300 BROOKSIDE AVE, BUILDING 4
 AMBLER, PA 19002
 P: (215) 646-8001

SQUARE FOOTAGE

LOCATION	AREA (SQ. FT.)
FIRST FLOOR	347
SECOND FLOOR	800
THIRD FLOOR	741
TOTAL	1888
OPT. 2' EXT.	40
OPT. BAY	19

PROJECT DATA

Project Location: Fairwood Square
Jurisdiction: Prince George's County, MD

Project Description:
 3-story slab on grade townhouse.

Applicable Codes:
 ICC International Residential Code 2018 (IRC 2018) as amended by Prince George's County, MD

PG SHEET: CODE REQUIREMENT

The purpose of this herein called the "PG Sheet" is to accommodate the changes and requirements of the current residential building code (IRC 2018) and Prince George's County requirements and amendments as it relates to existing Plans on File (POF). Accordingly the PG sheet would take precedence over any discrepancies or contradiction that may exist between the original Plans on File (POF) set of drawings and the current applicable building codes, amendments and regulations.
 General

- All construction shall be in compliance with the current residential building code and Prince George's County regulations and current amendments.
- No changes or modifications shall be made to the original approved Plans on File set of drawings without prior approval of the County's Building/ Structural unit.
- No inspection shall be carried out on site without the red stamped approved plans available.

PRINCE GEORGE'S LOCAL REQUIREMENTS

- Illumination of toilets rooms and bathrooms is to be equivalent of at least Three (3) foot candles.
- Minimum illumination of stairwells is to be equivalent of at least Three (3) foot candles. In all one and two family dwellings, at least One (1) light illuminating a stair shall be controlled by wall switches at each end of the stairs. All exterior steps shall be lighted by an interior switch.
- All doors between garages and living spaces of the one and two family dwellings shall be provided with a self-closing device. The self-closer might non-listed but must be sufficient to close and latch the door from an open position of Twelve (12) inches. Door frames may be of metal or wood construction. Adjacent drywall must butt solidly with the door frame.
- An automatic sprinkler system shall be provided throughout buildings of single one and two family dwellings.
- A connection from a sprinkler system designed in accordance with NFPA 13D to a single remote commode (water closet) shall be permitted. Such connection shall be from the sprinkler system piping to the water closet supply piping.
- All exterior footing shall be placed at Thirty (30) inches below the undisturbed ground.

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 A-004 KITCHEN ELEVATIONS
 A-005 RESCHECK
 A006 ICC REPORT

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 A-120 THIRD FLOOR PLANS
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 A-131 ROOF PLANS
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 S-1.1 FOUNDATION PLAN
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 E-110 SECOND FLOOR ELECTRICAL PLANS
 E-120 THIRD FLOOR ELECTRICAL PLANS

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 A-501 DETAILS
 A-502 DETAILS
 A-503 DETAILS
 A-504 DETAILS



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KTGY Project No: 20150204

Project Contact: Kit Thackrey
Email: kthackrey@ktgy.com

Principal: Smita Anand
Project Designer: Smita Anand

Developer

TIMBERLAKE HOMES
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 PHONE NO. 443.837.3134
 FAX NO. ----

FAIRWOOD SQUARE
 PRINCE GEORGE'S COUNTY, MD
FOXGLOVE - 20x40 TH

No.	Date	Description

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Sept. 13, 2022
 License Stamp

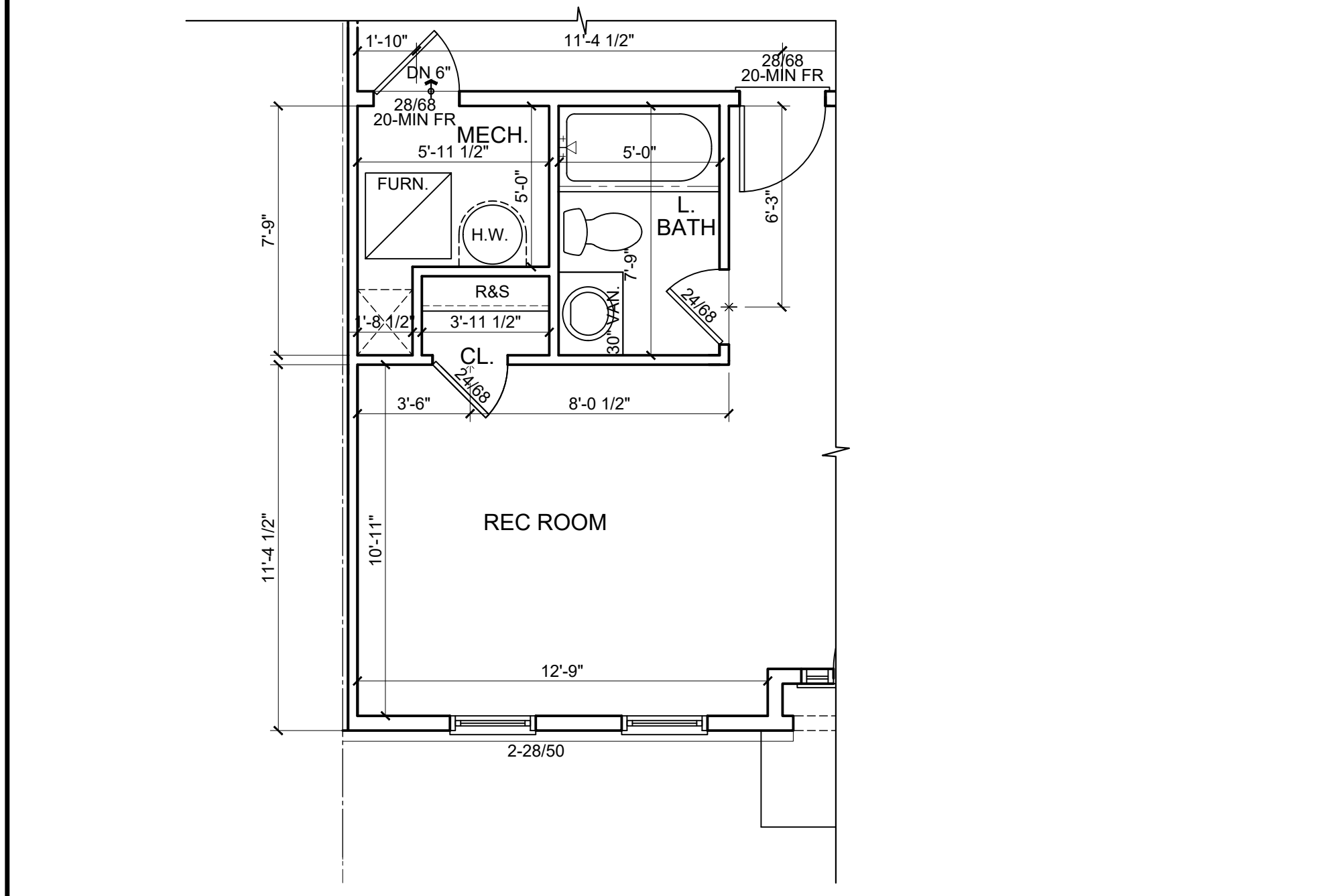
FIRST FLOOR PLANS

A-100

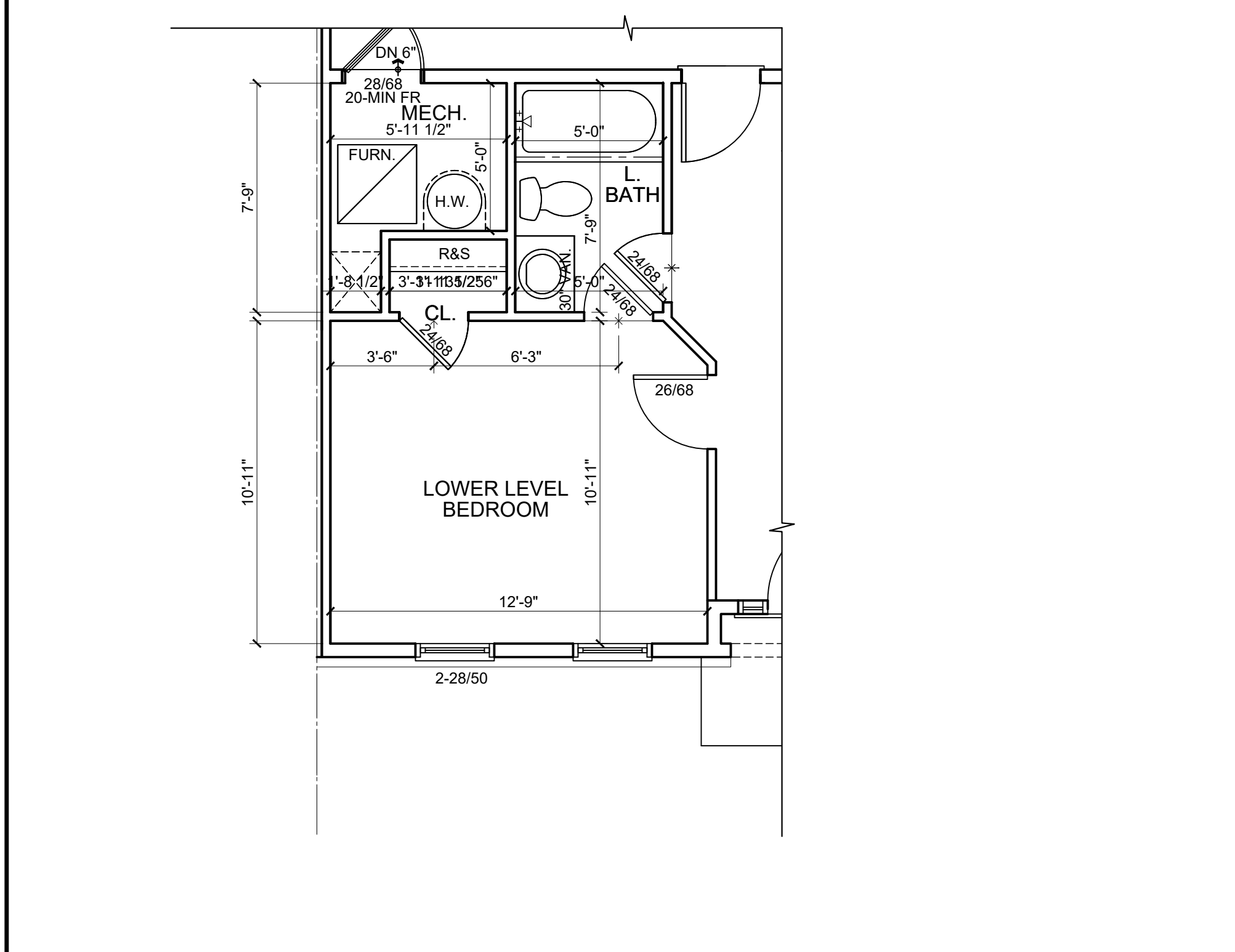
NOTE:
 ALL WINDOWS WITH A SILL HEIGHT LOCATED 72" OR MORE ABOVE THE EXTERIOR GRADE SHALL HAVE AN INTERIOR SILL HEIGHT OF NO LESS THAN 24" ABOVE FINISHED FLOOR. SILL HEIGHT MAY BE LOCATED LESS THAN 24" ABOVE INTERIOR FINISHED FLOOR, BUT NO LESS THAN 18" ABOVE INTERIOR FINISHED FLOOR, IF WINDOW GUARDS IN ACCORDANCE WITH ASTM F2006 FOR NON-EMERGENCY EGRESS WINDOWS AND ASTM F2090 FOR EMERGENCY EGRESS WINDOWS ARE INSTALLED.

NOTE:
 ALL EXTERIOR WALLS TO BE 5 1/2". UNLESS OTHERWISE NOTED; ALL INTERIOR WALLS TO BE 3 1/2", UNLESS OTHERWISE NOTED

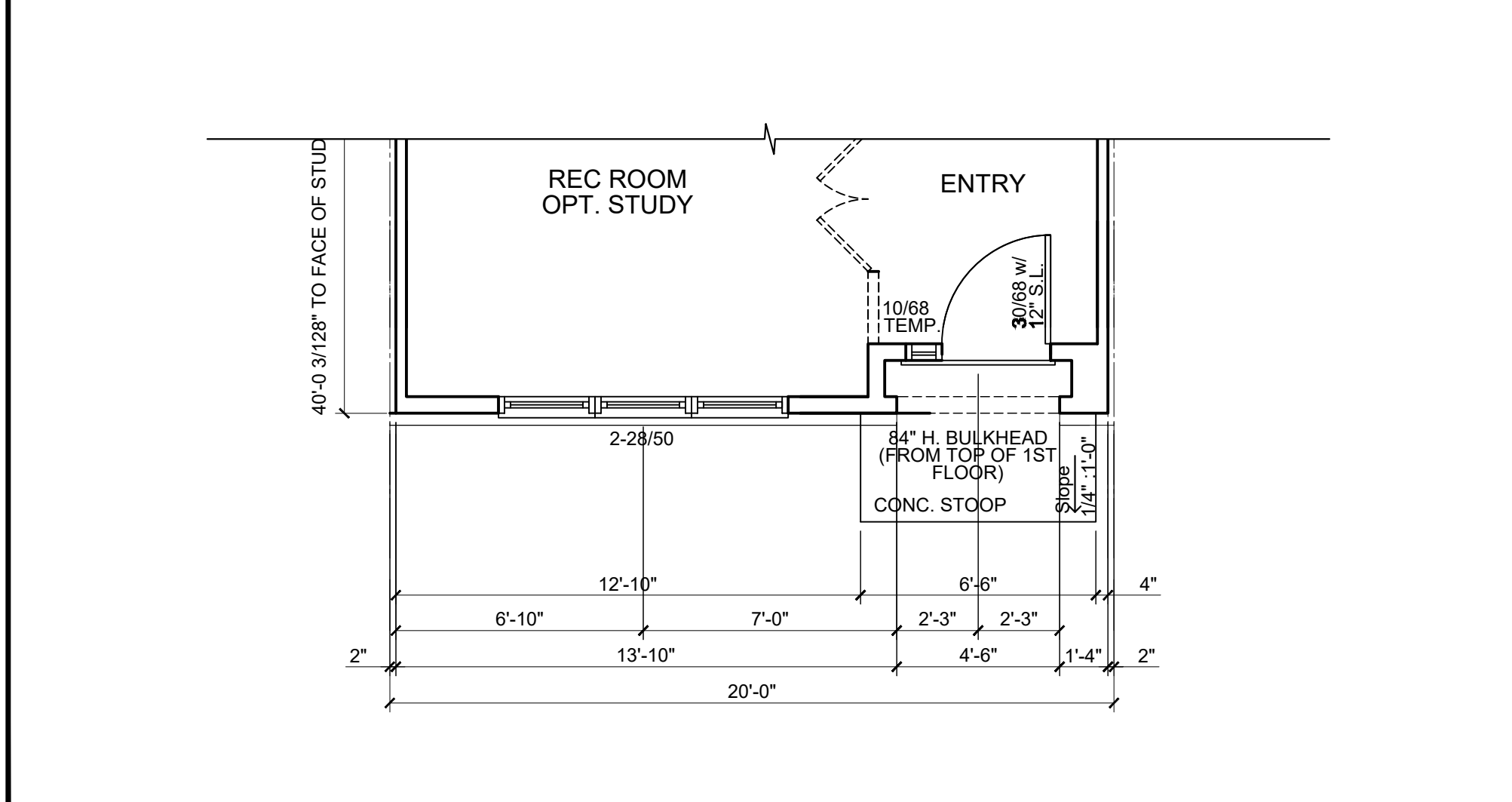
NOTE: THE COMMON WALL SHARED BY TWO TOWNHOMES SHALL BE CONSTRUCTED WITH OUT PLUMBING OR MECHANICAL EQUIPMENT, DUCTS OR VENTS IN THE CAVITY OF THE COMMON WALL.



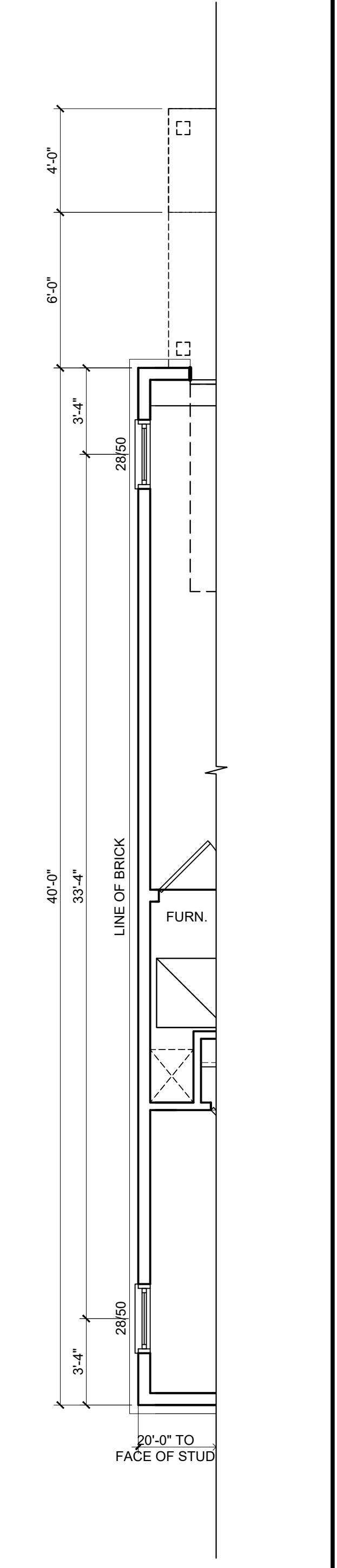
PART.FLR PLAN@OPT.REC RM W/FULL BATH & CL. SCALE: 1/4"=1'-0" 4



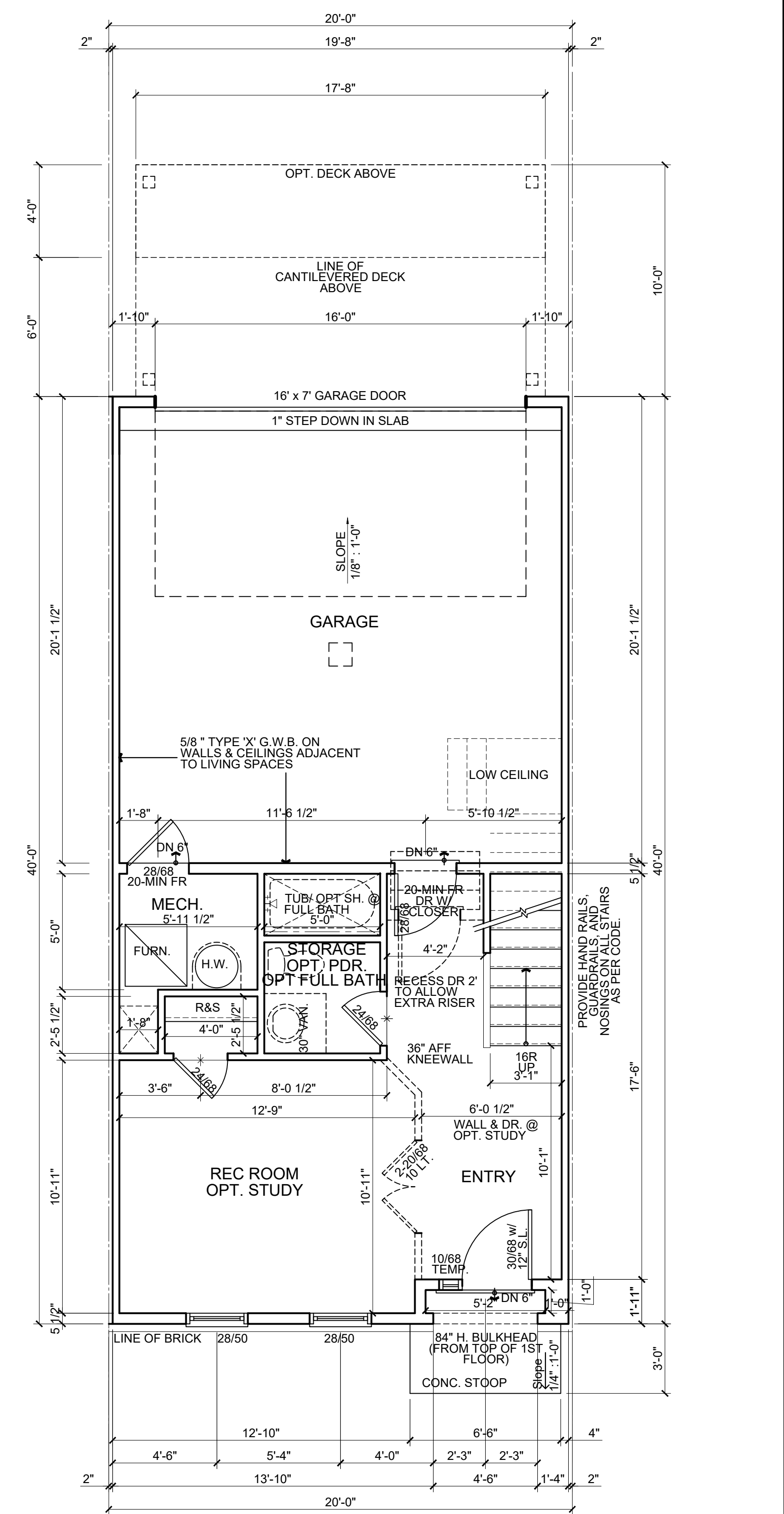
PART. FIRST FLOOR PLAN @ OPT. L. L. BEDROOM SCALE: 1/4"=1'-0" 3



PARTIAL FIRST FLOOR PLAN @ ELEVATION B& C SCALE: 1/4"=1'-0" 2



PARTIAL FIRST FLOOR @ END CONDITION



FIRST FLOOR @ INTERIOR CONDITION

FIRST FLOOR PLANS @ ELEVATION A SCALE: 1/4"=1'-0" 1



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 Email: kthackrey@ktgy.com

Principal: Smita Anand
Project Designer: Smita Anand

Developer

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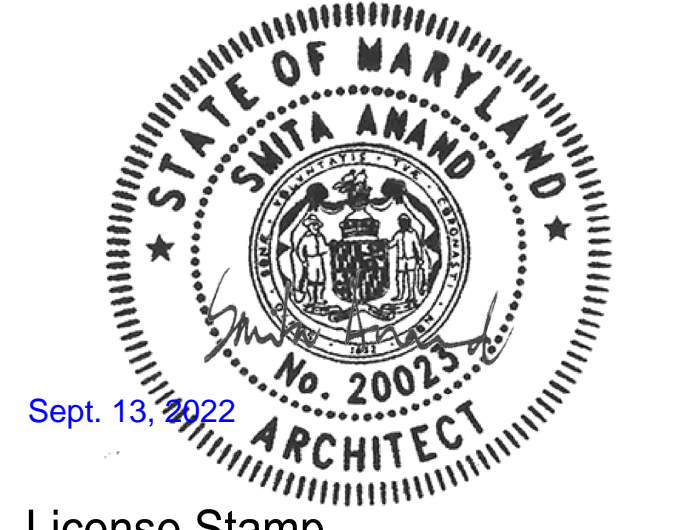
FAIRWOOD SQUARE
 PRINCE GEORGE'S COUNTY, MD

FOXGLOVE - 20x40 TH

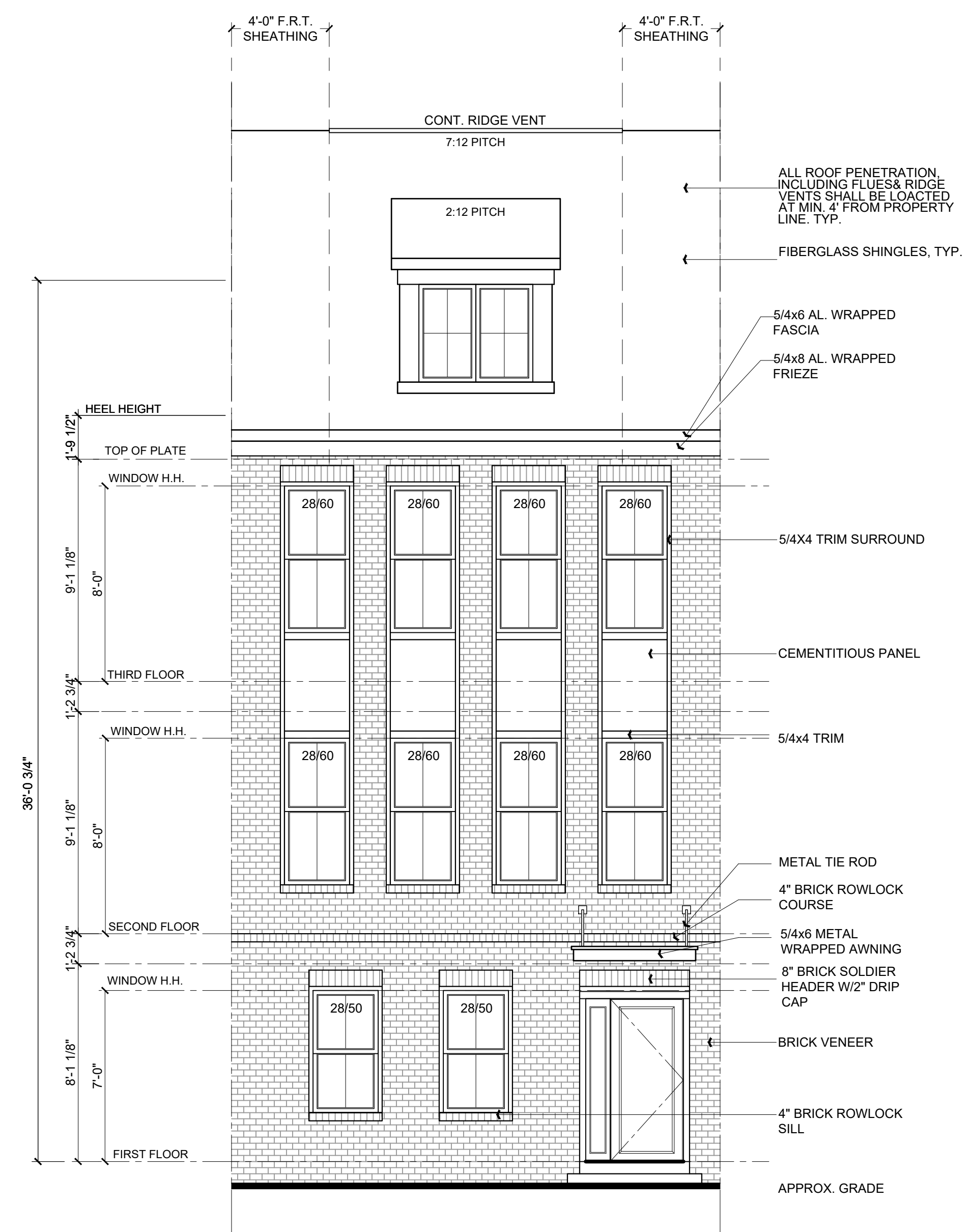
No. Date Description

No.	Date	Description

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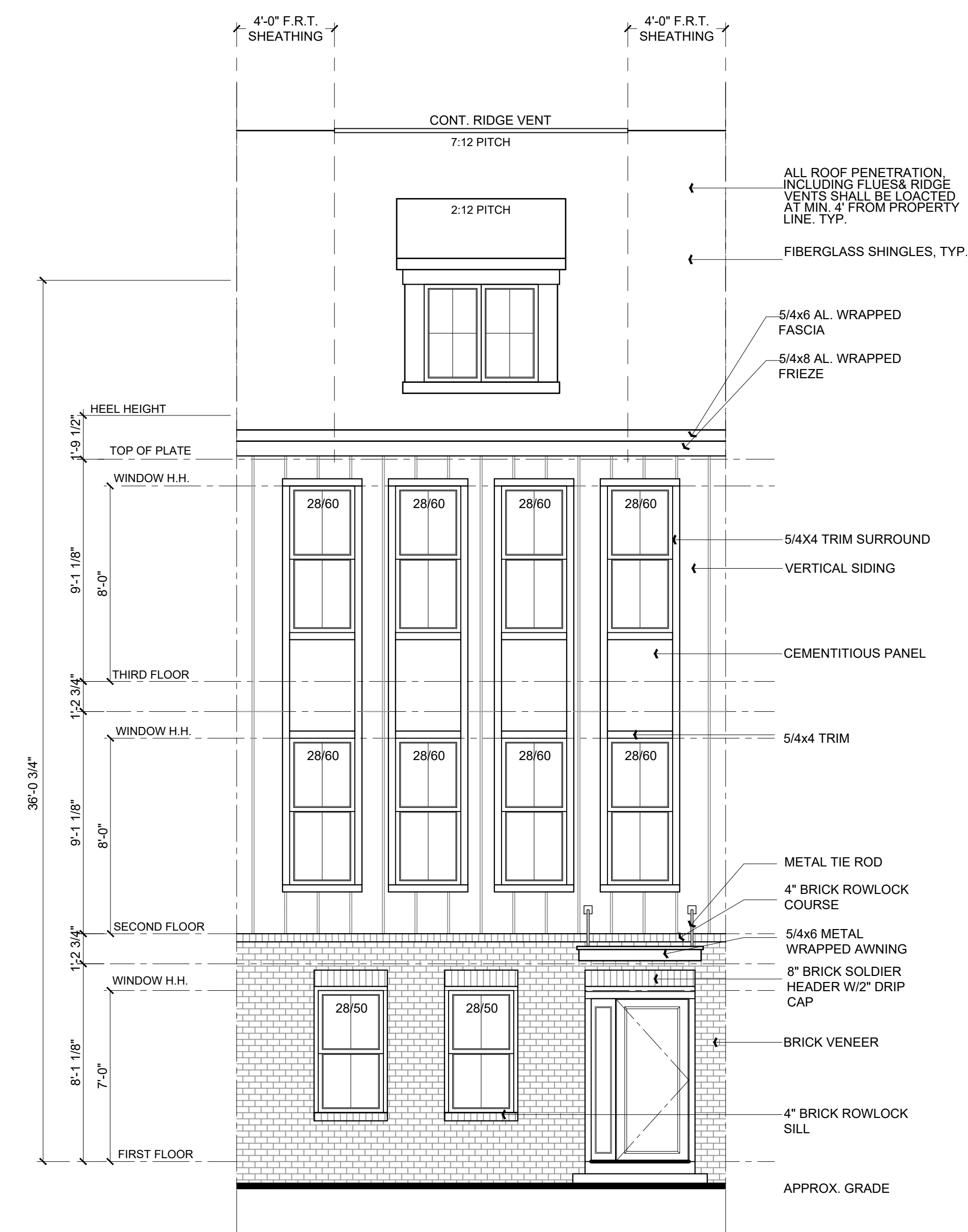


License Stamp
FRONT ELEVATION



FRONT ELEVATION A @ FULL BRICK

SCALE: 1/4"=1'-0" 2



FRONT ELEVATION A @ 1/3 BRICK

SCALE: 1/4"=1'-0" 1



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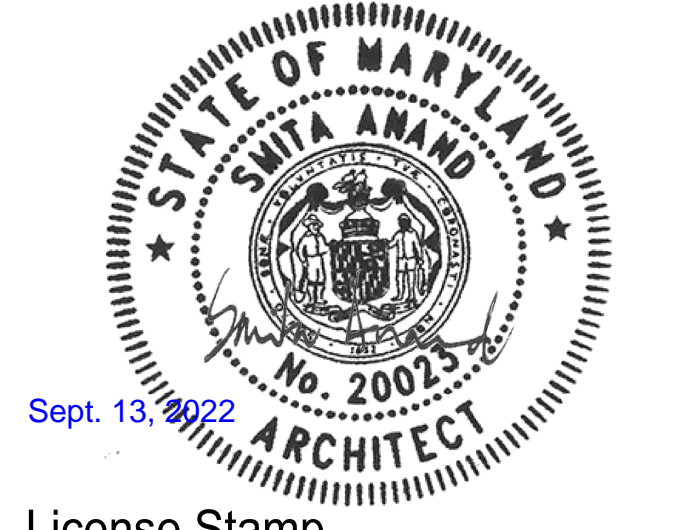
Developer

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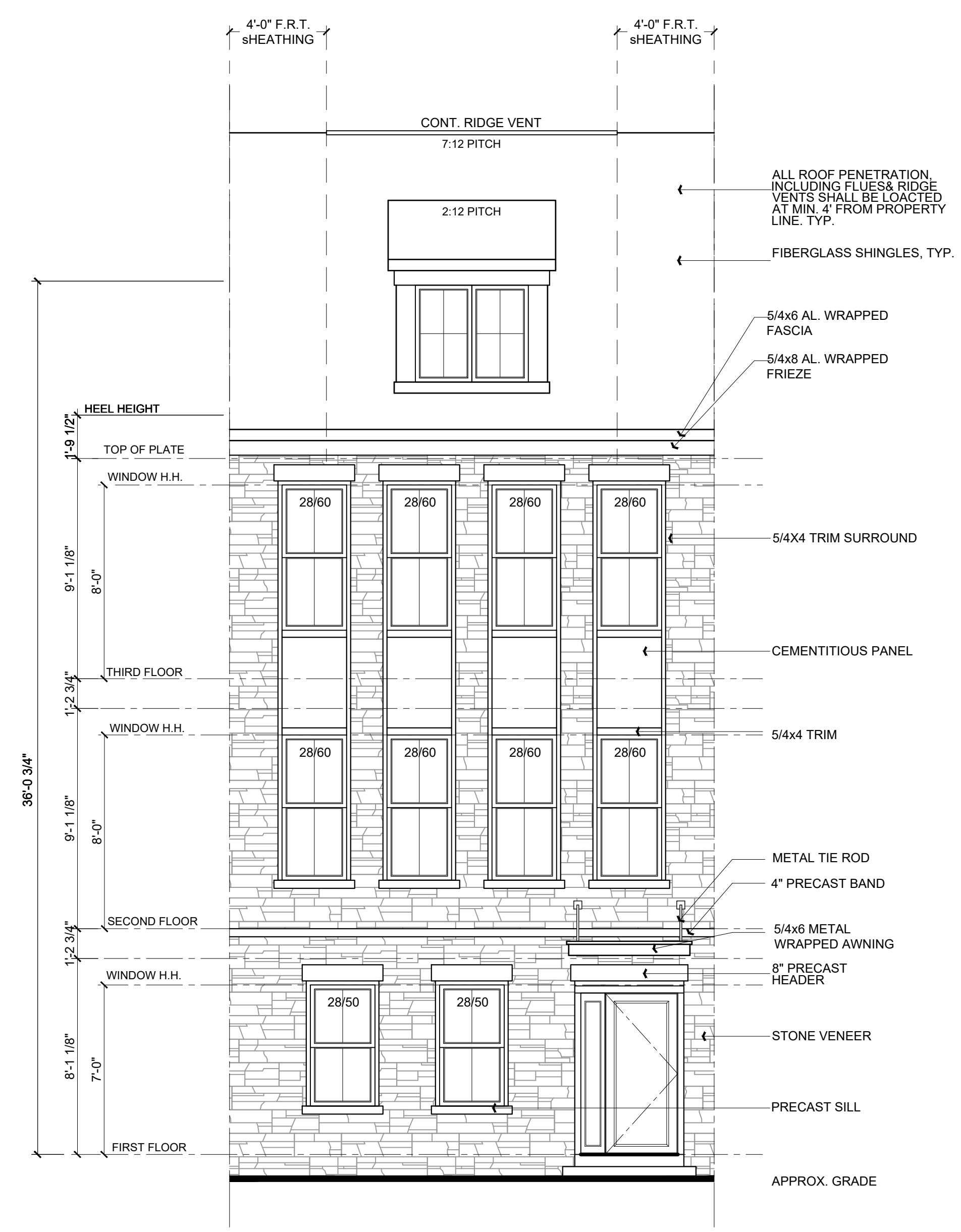
FAIRWOOD SQUARE
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FOXGLOVE - 20x40 TH

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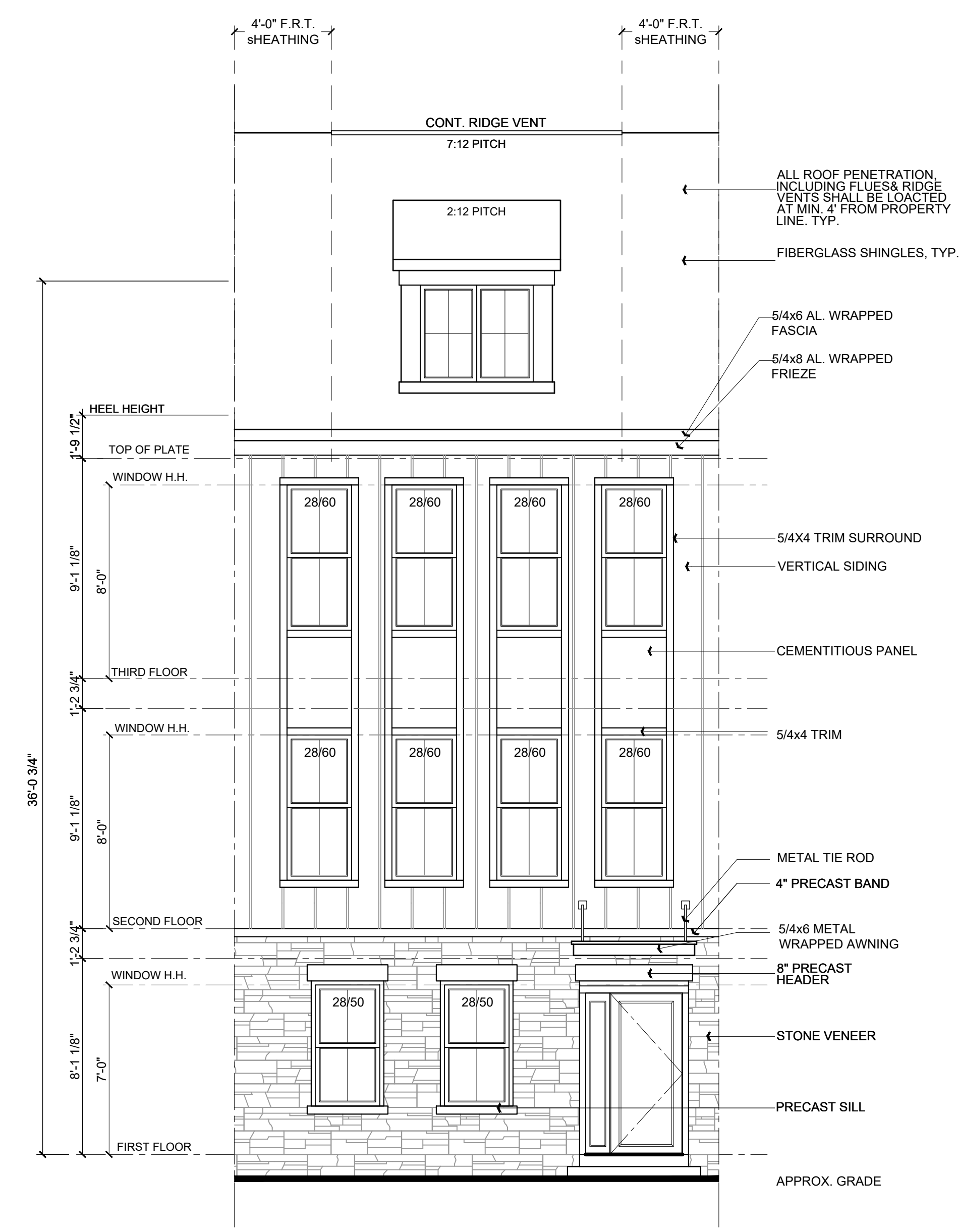


License Stamp
FRONT ELEVATION



FRONT ELEVATION A @ FULL STONE

SCALE: 1/4"=1'-0" 2



FRONT ELEVATION A @ 1/3 STONE

SCALE: 1/4"=1'-0" 1



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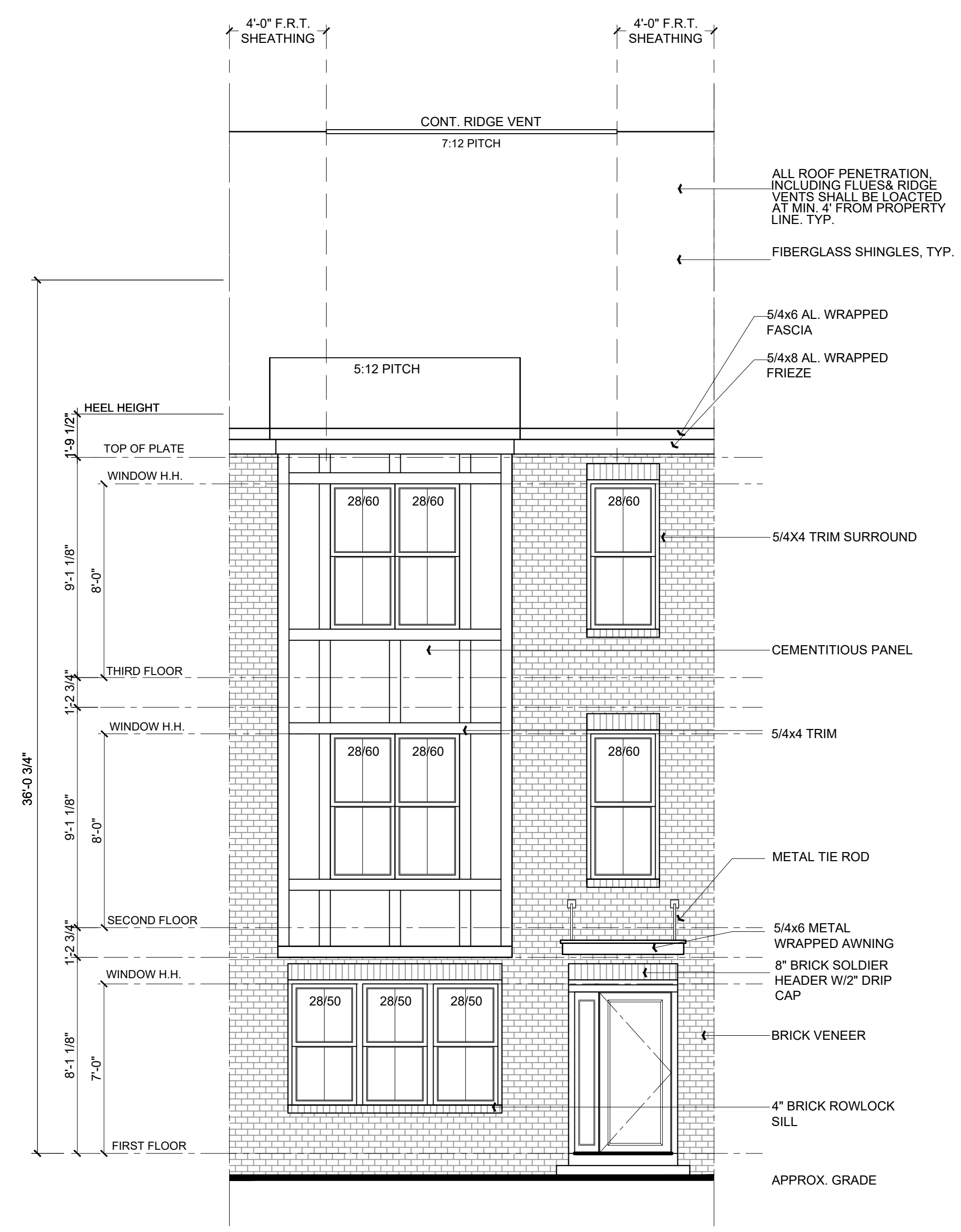
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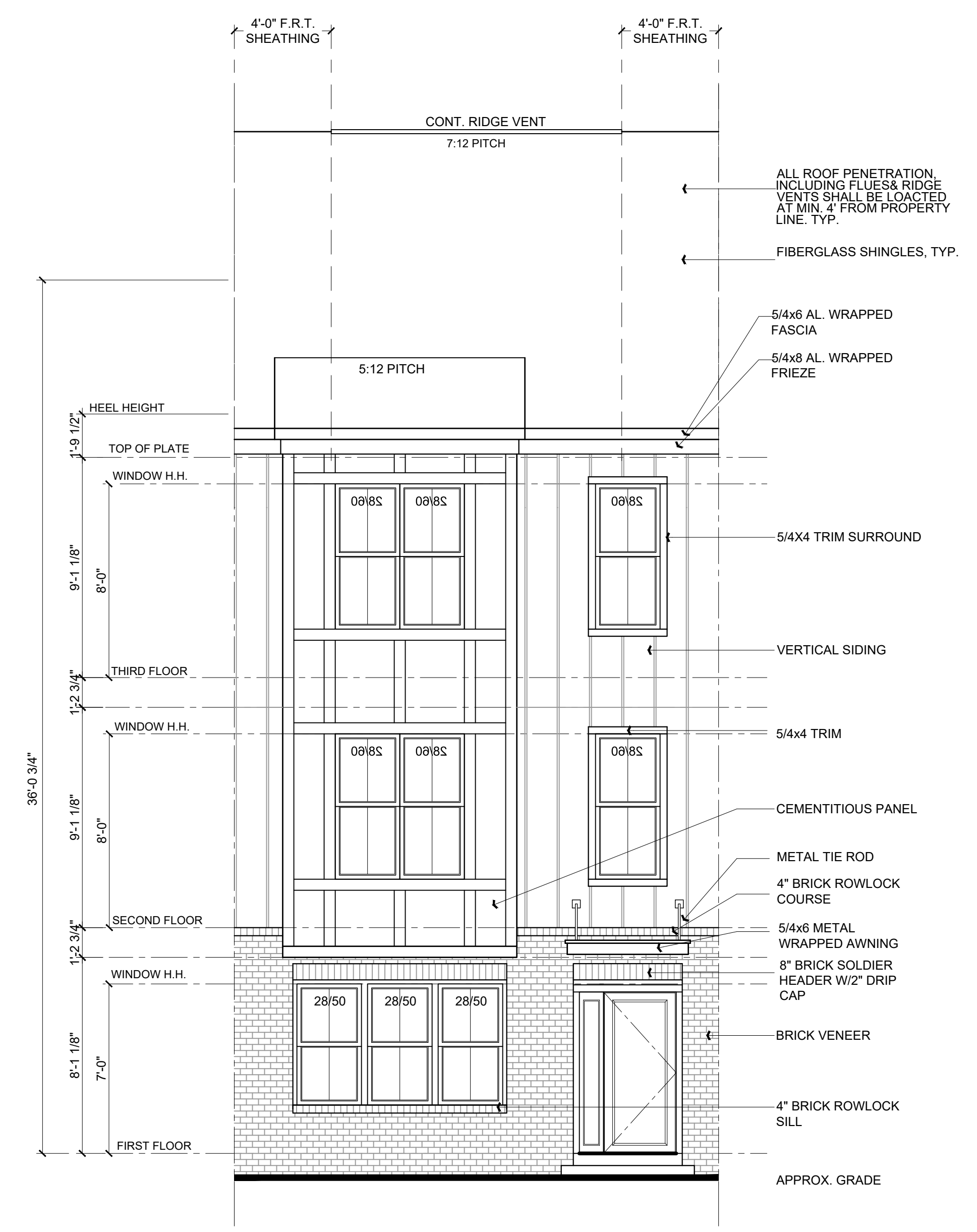


Sept. 13, 2022
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FRONT ELEVATION



FRONT ELEVATION C @ FULL BRICK SCALE: 1/4"=1'-0" **2**



FRONT ELEVATION C @ 1/3 BRICK SCALE: 1/4"=1'-0" **1**



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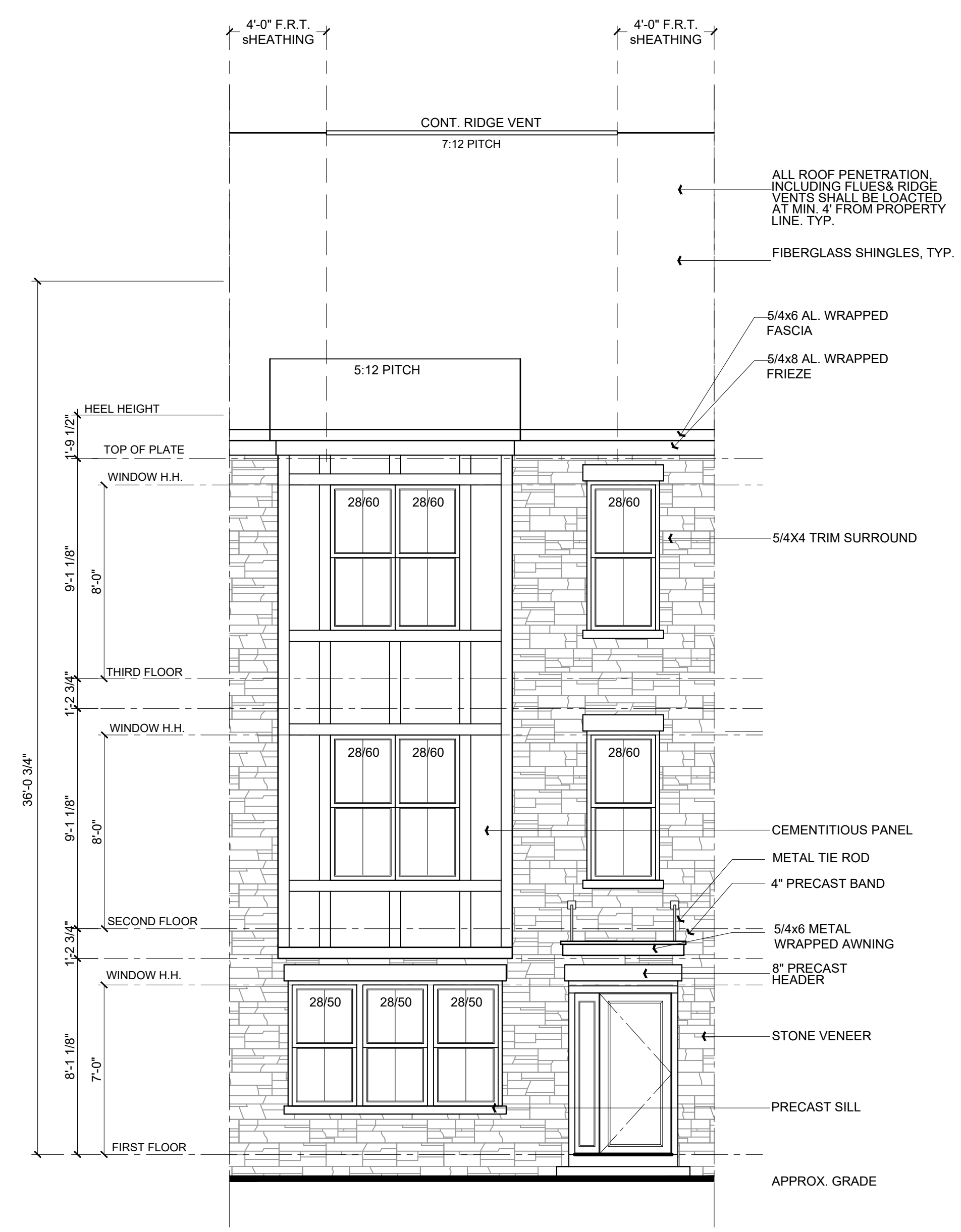
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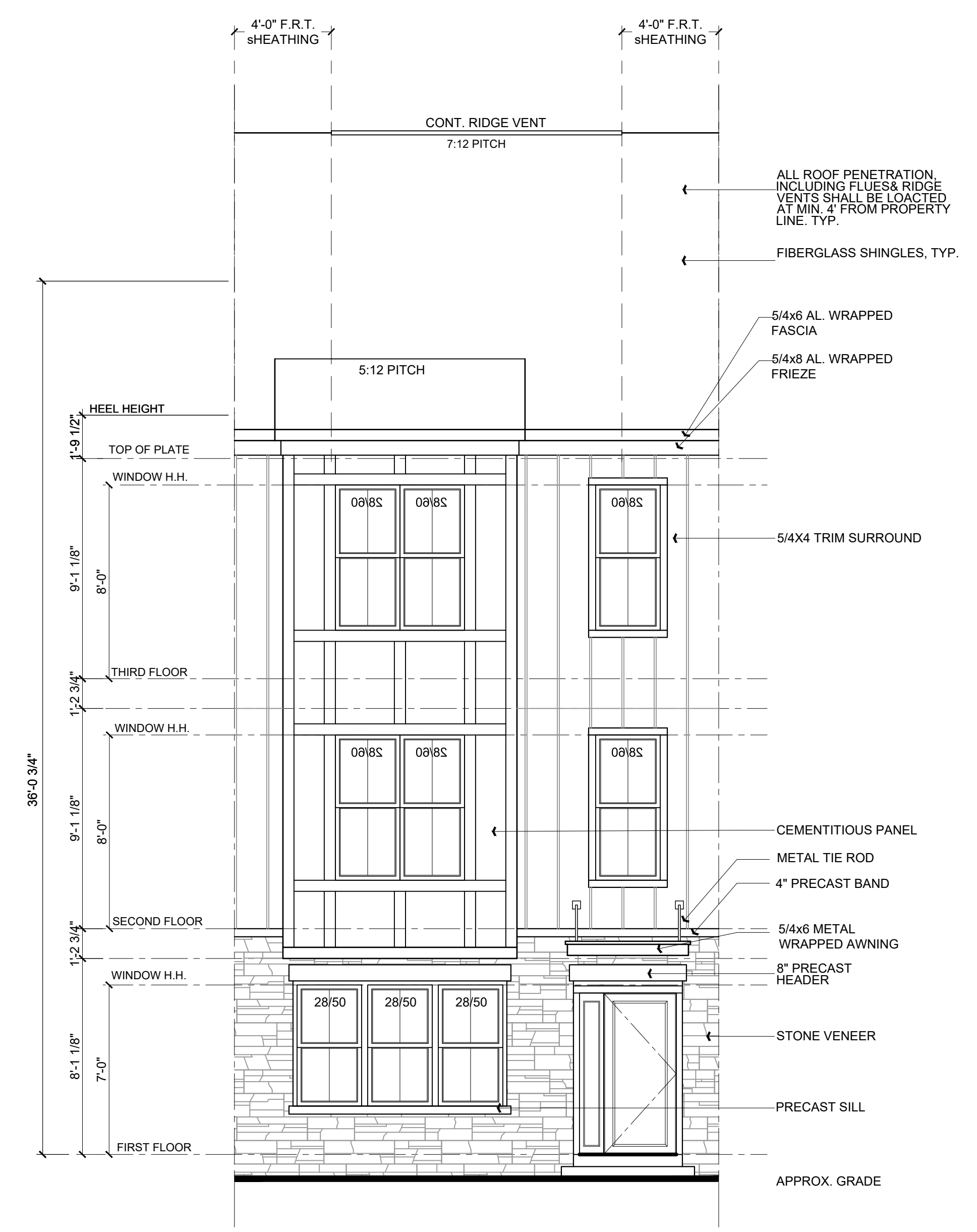
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FAIRWOOD SQUARE
 PRINCE GEORGE'S COUNTY, MD
FOXGLOVE - 20x40 TH



FRONT ELEVATION C @ FULL STONE

SCALE: 1/4"=1'-0" **2**



FRONT ELEVATION C @ 1/3 STONE

SCALE: 1/4"=1'-0" **1**

No.	Date	Description

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FRONT ELEVATION



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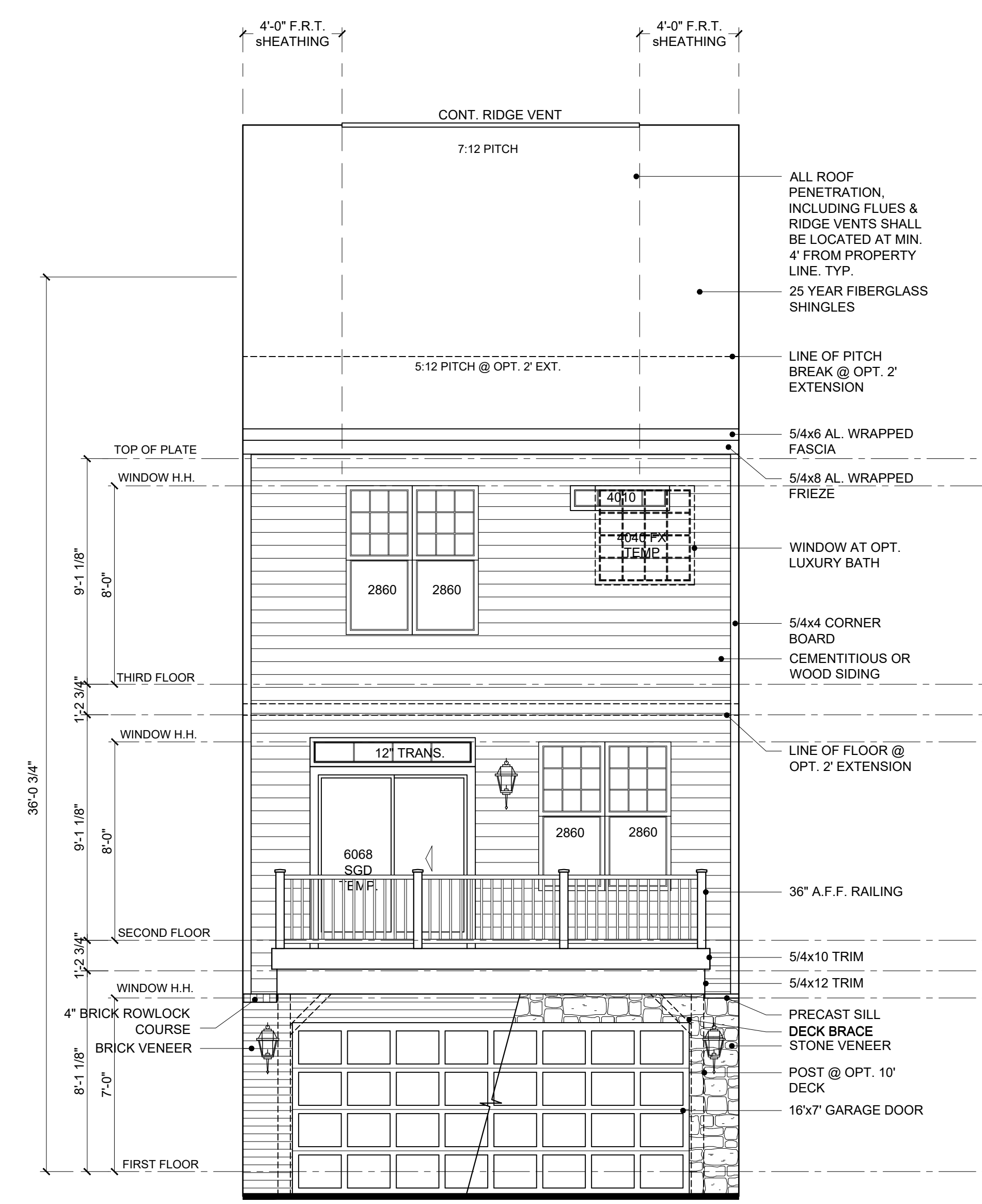
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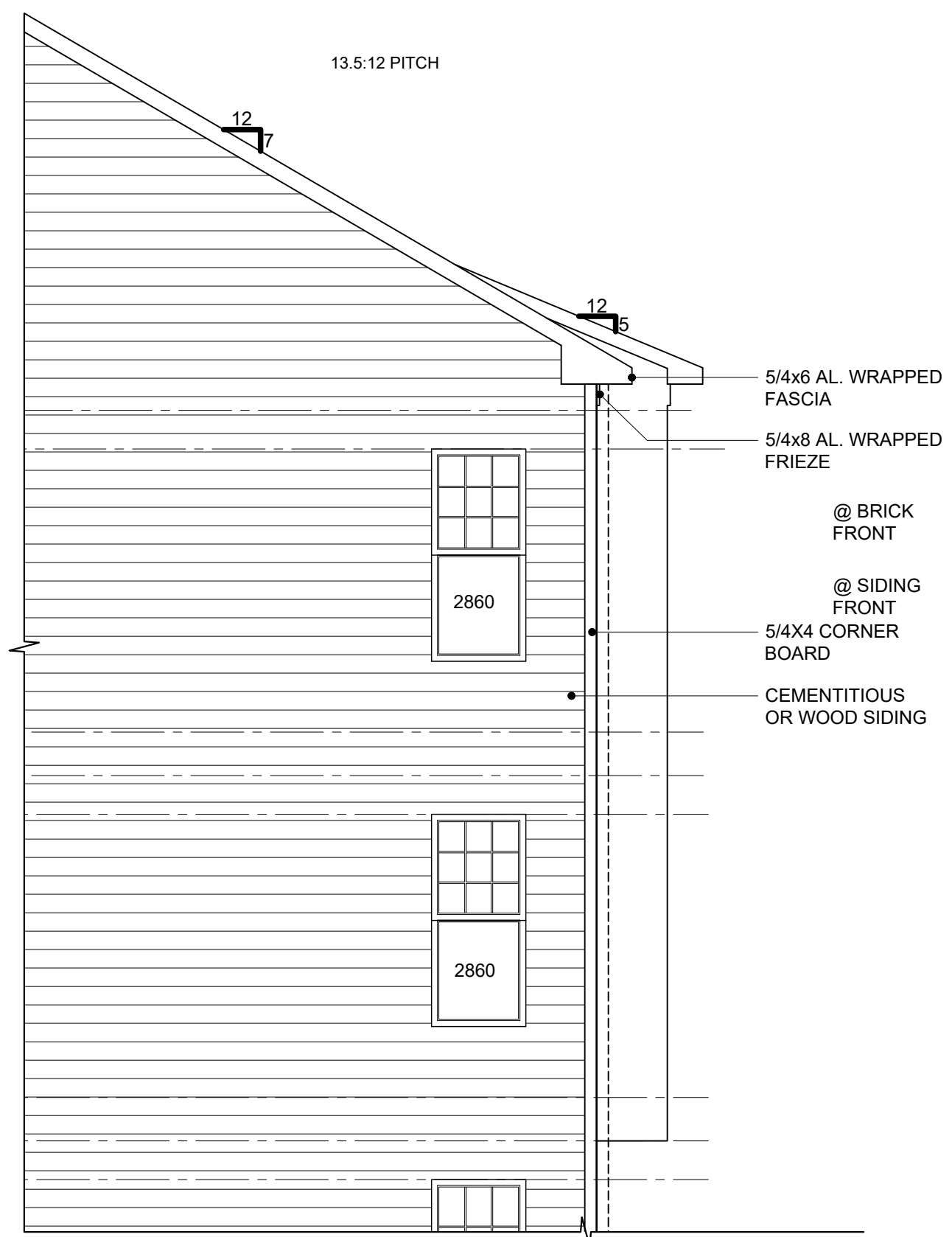
License Stamp

REAR ELEVATION

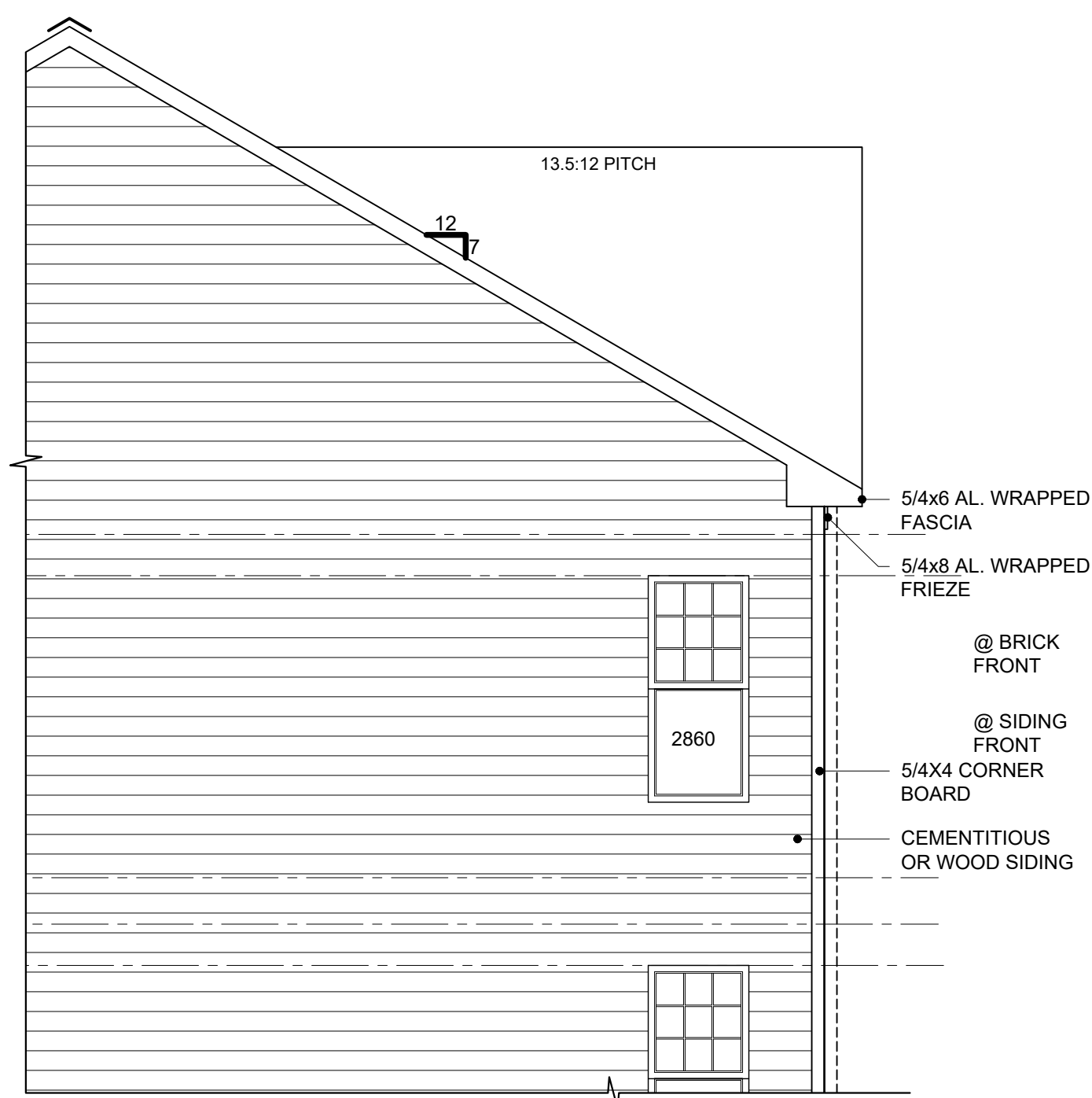


REAR ELEVATION @ ALL OPTIONS SCALE: 1/4"=1'-0" 1

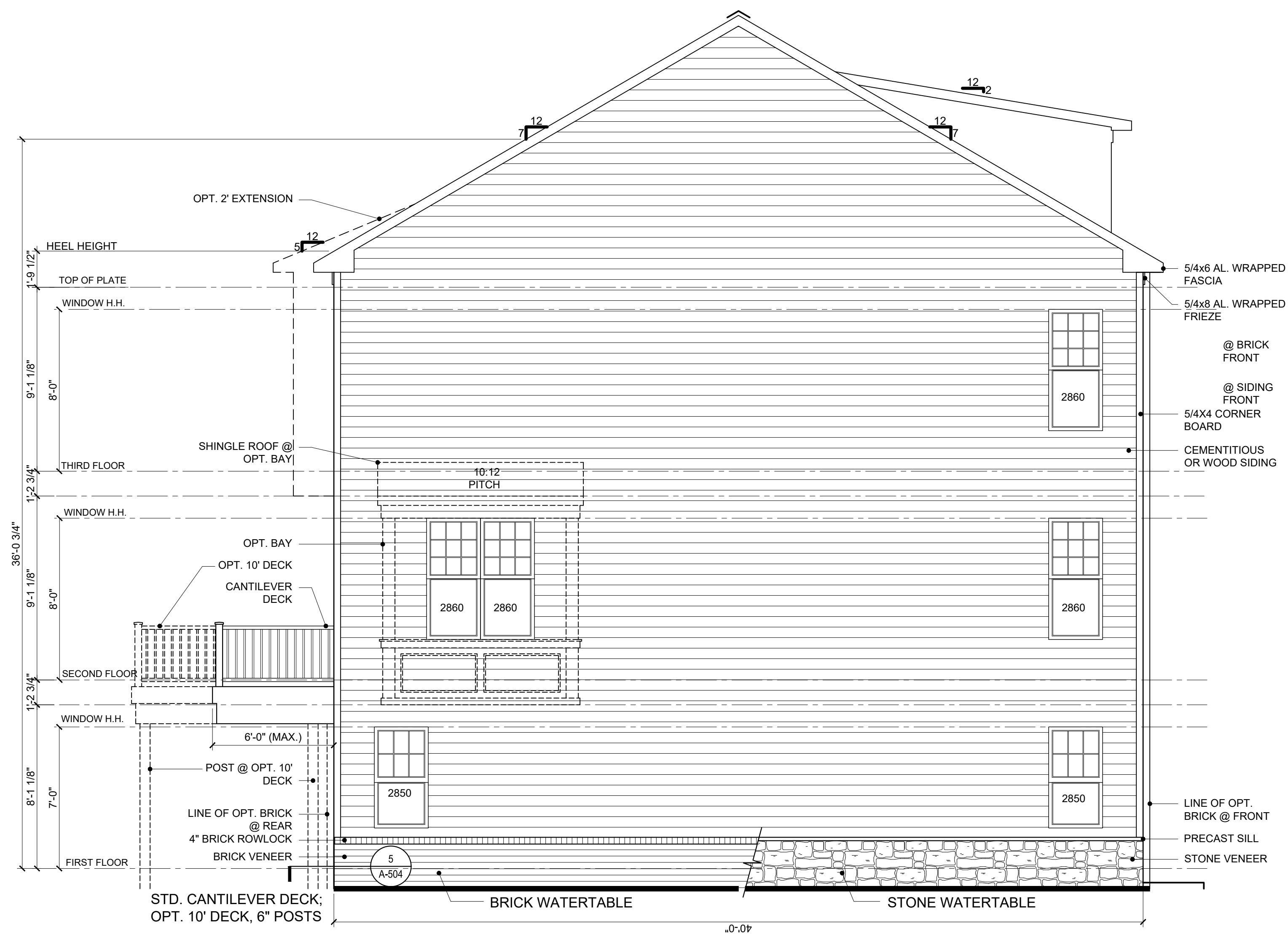
A-210



SIDE ELEVATION @ ELEVATION C SCALE: 1/4"=1'-0" 3



SIDE ELEVATION @ ELEVATION B SCALE: 1/4"=1'-0" 2



SIDE ELEVATION @ ELEVATION A SCALE: 1/4"=1'-0" 1



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KTGY Project No: 20150204

Project Contact: Kit Thackrey
Email: kthackrey@ktgy.com

Principal: Smita Anand
Project Designer: Smita Anand

Developer

TIMBERLAKE HOMES
 304 HARRY S. TRUMAN PKWY
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 PHONE NO. 443.837.3134
 FAX NO. ----

FAIRWOOD SQUARE
 PRINCE GEORGE'S COUNTY, MD
FOXGLOVE - 20x40 TH

No. Date Description

No.	Date	Description

It is the clients responsibility prior to or during construction to notify the architect in writing of any perceived errors or omissions in the plans and specifications of which a contractor is thoroughly knowledgeable with the building codes and methods of construction should reasonably be aware. Written instructions addressing such perceived errors or omissions shall be received from the architect prior to the client or clients subcontractors proceeding with the work. The client will be responsible for any defects in construction if these procedures are not followed.



Sept. 13, 2022

License Stamp

SIDE ELEVATIONS

A-220



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KTGY Project No: 20150204

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Email: kthackrey@ktgy.com

Principal: Smita Anand
Project Designer: Smita Anand

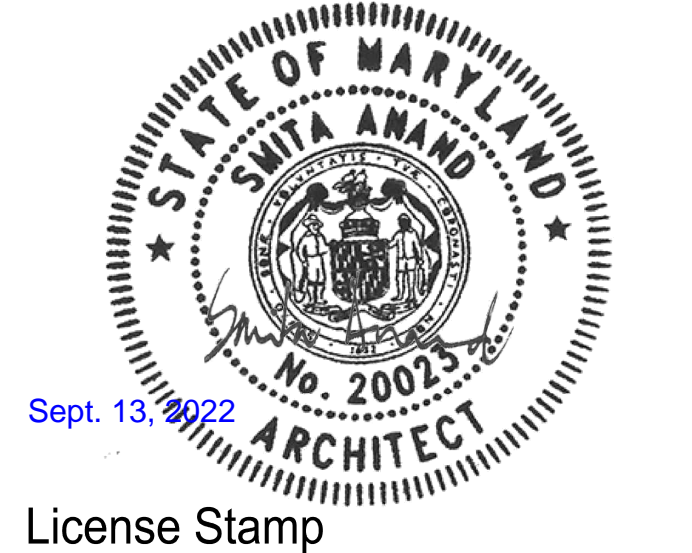
Developer

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 FAX NO. ----

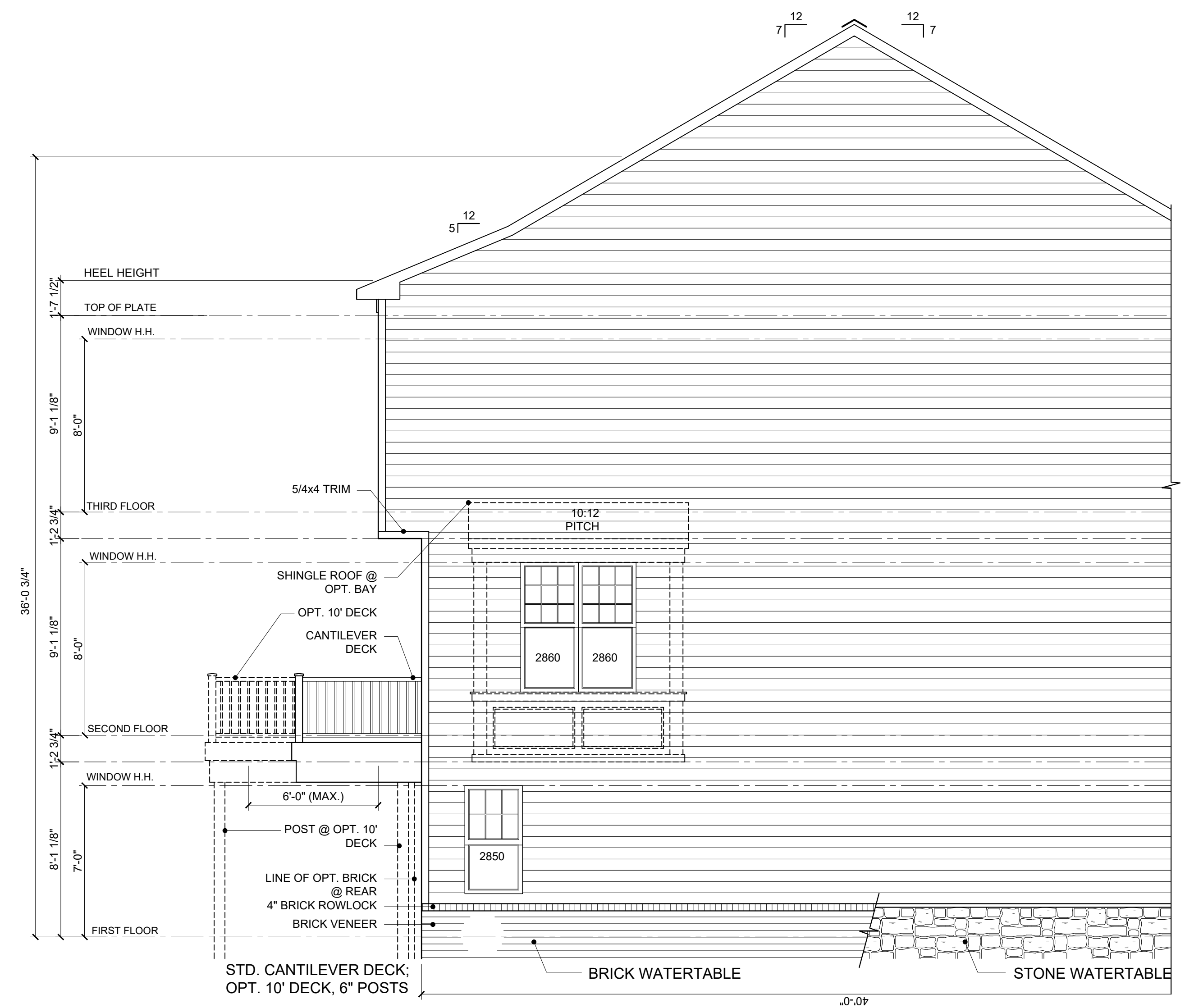
FAIRWOOD SQUARE
 PRINCE GEORGE'S COUNTY, MD
FOXGLOVE - 20x40 TH

No.	Date	Description

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SIDE ELEVATIONS



PART SIDE ELEVATION @ OPT. 2' EXTESION SCALE: 1/4"=1'-0" 1



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KTGY Project No: 20150204

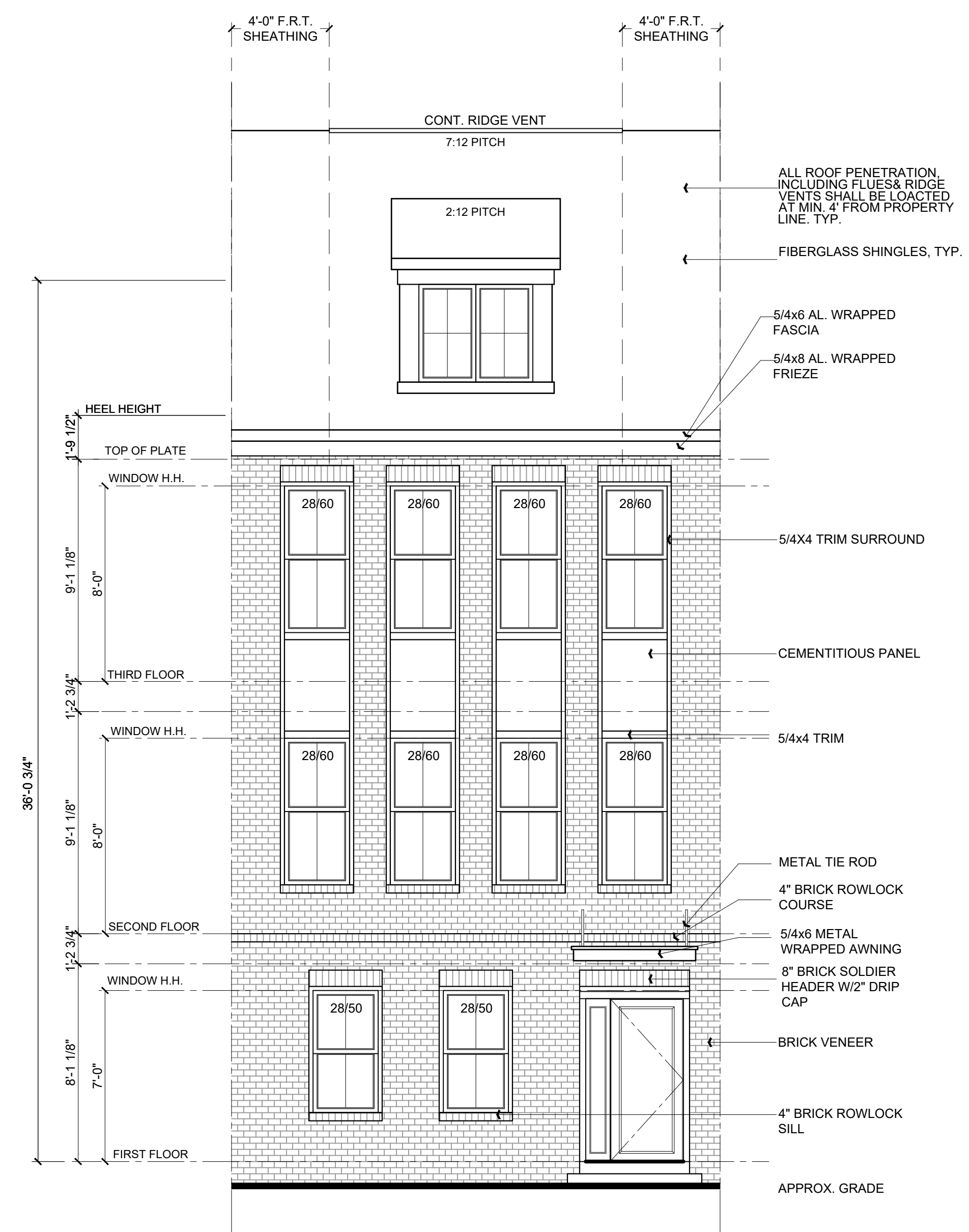
Project Contact: Kit Thackrey
 Email: kthackrey@ktgy.com

Principal: Smita Anand
Project Designer: Smita Anand

Developer

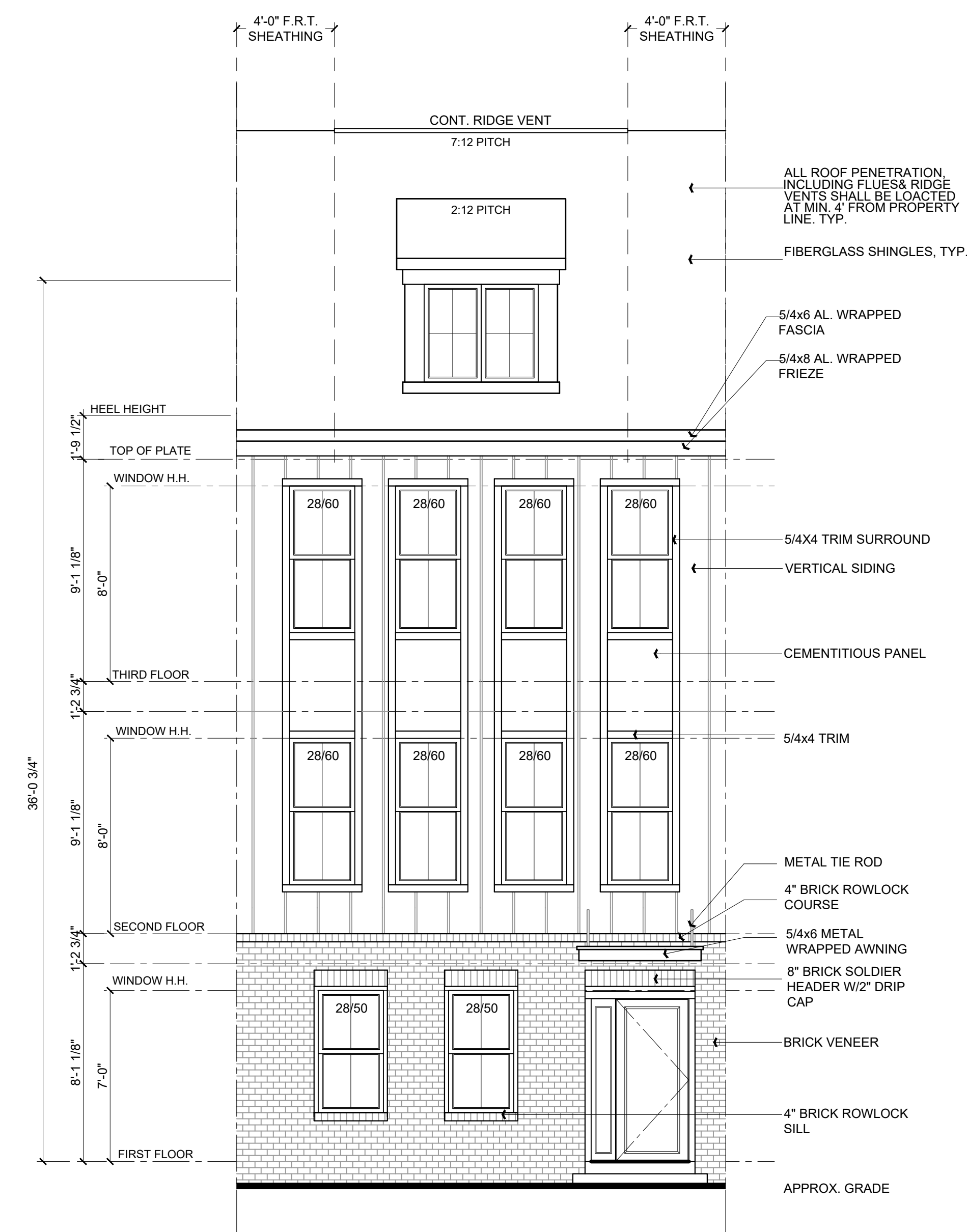
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 ANNAPOLIS, MD 21401
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 FAX NO. ----

FAIRWOOD SQUARE
 PRINCE GEORGE'S COUNTY, MD
REDWOOD - 20X40 TH



FRONT ELEVATION A @ FULL BRICK

SCALE: 1/4"=1'-0" 2



FRONT ELEVATION A @ 1/3 BRICK

SCALE: 1/4"=1'-0" 1

No.	Date	Description

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FRONT ELEVATION

A-200



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KTGY Project No: 20150204

Project Contact: Kit Thackrey
Email: kthackrey@ktgy.com

Principal: Smita Anand
Project Designer: Smita Anand

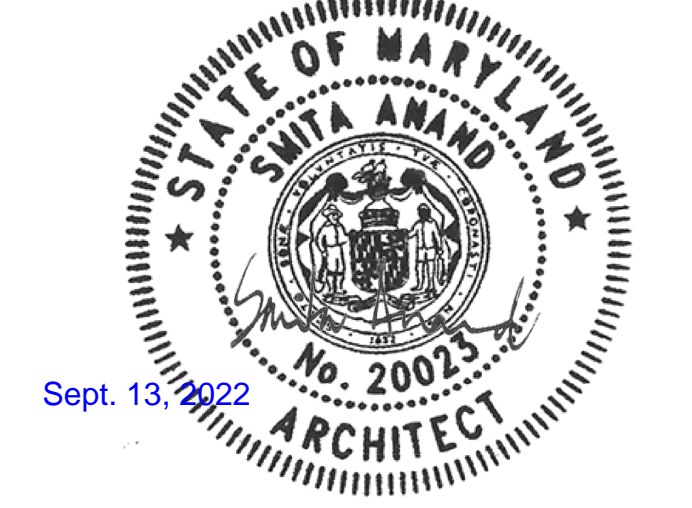
Developer

TIMBERLAKE HOMES
 304 HARRY S. TRUMAN PKWY
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 PHONE NO. 443.837.3134
 FAX NO. ----

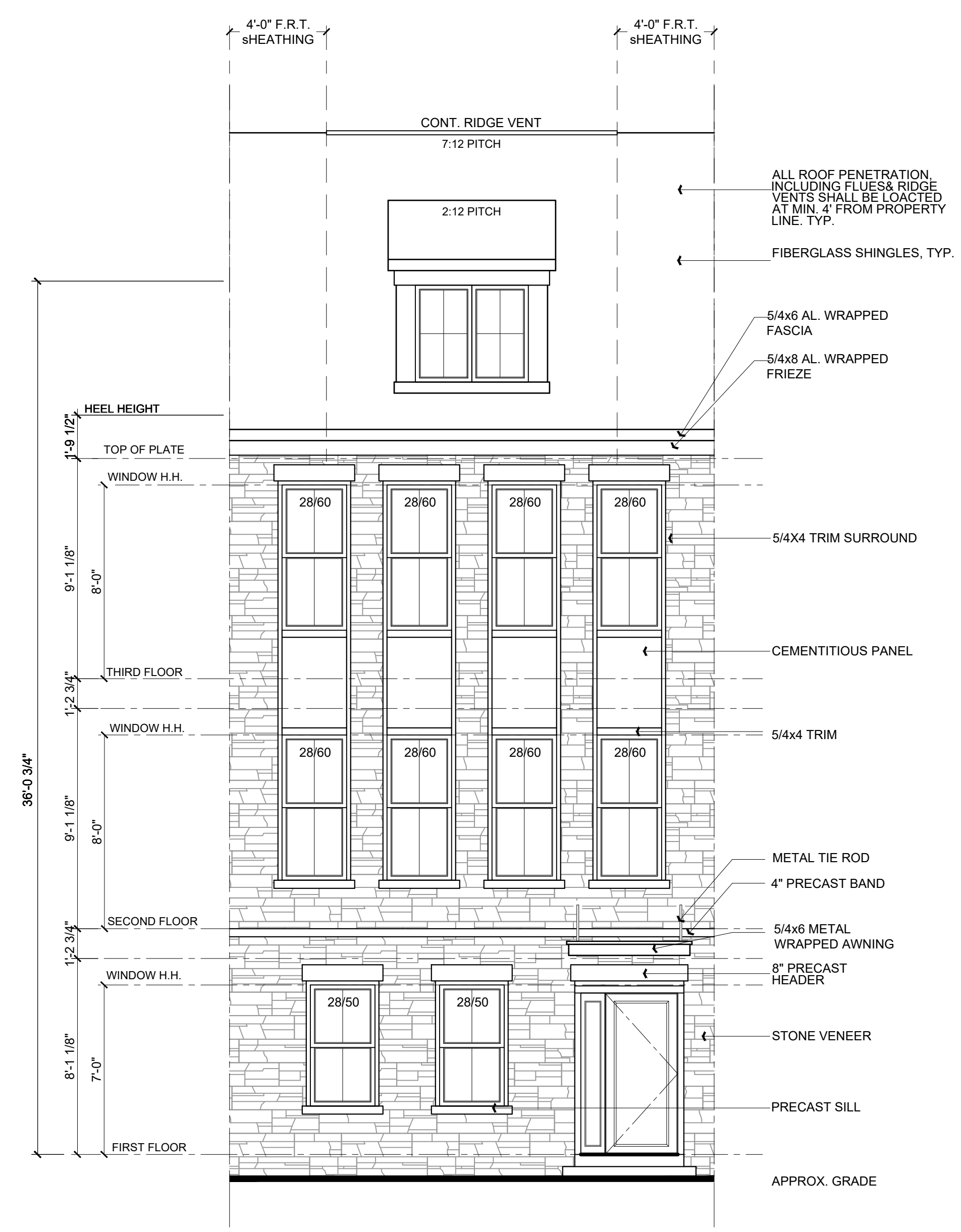
FAIRWOOD SQUARE
 PRINCE GEORGE'S COUNTY, MD
REDWOOD - 20X40 TH

No.	Date	Description

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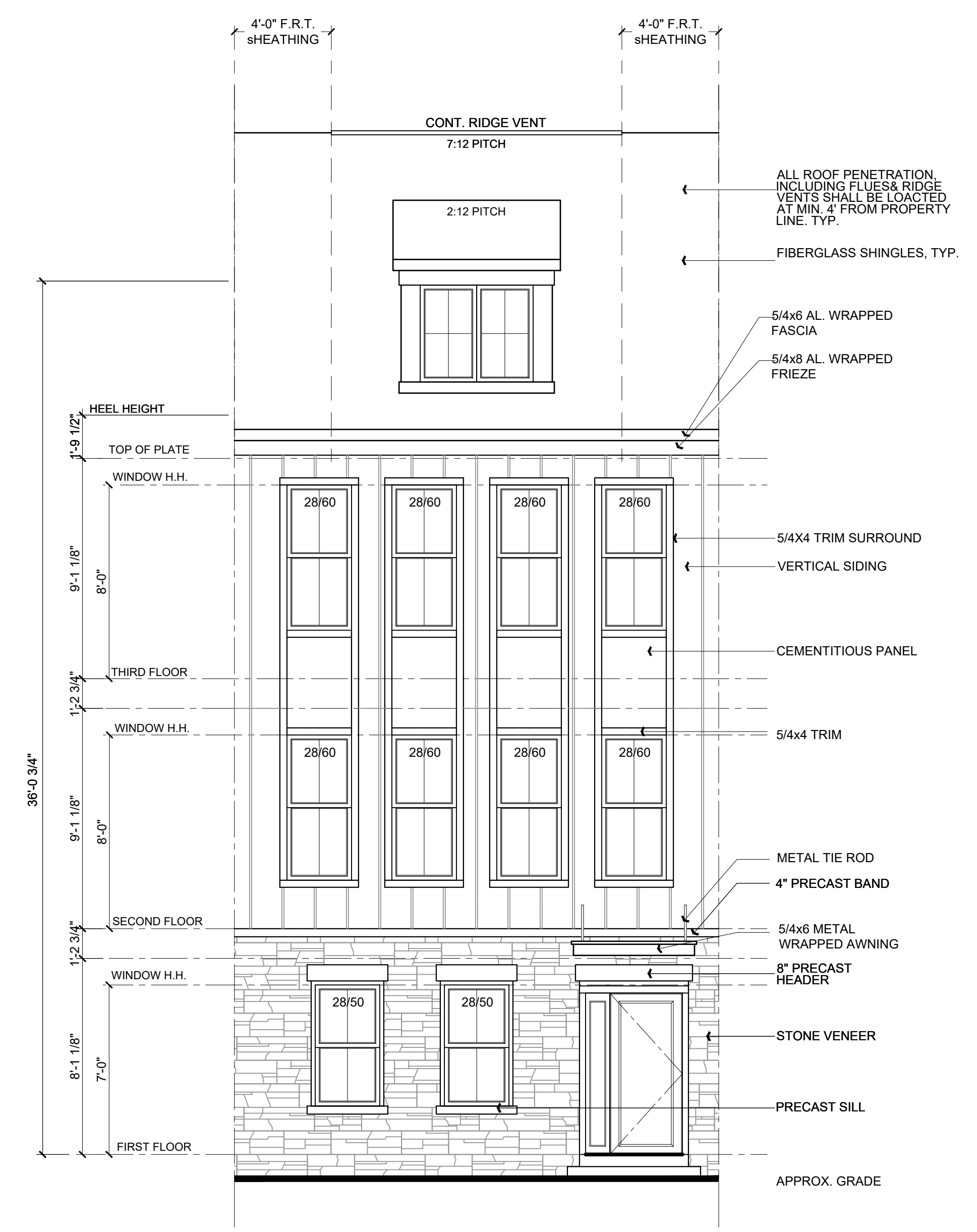


FRONT ELEVATION



FRONT ELEVATION A @ FULL STONE

SCALE: 1/4"=1'-0" **2**



FRONT ELEVATION A @ 1/3 STONE

SCALE: 1/4"=1'-0" **1**



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FAIRWOOD SQUARE

PRINCE GEORGE'S COUNTY, MD

REDWOOD - 20X40 TH

No.	Date	Description

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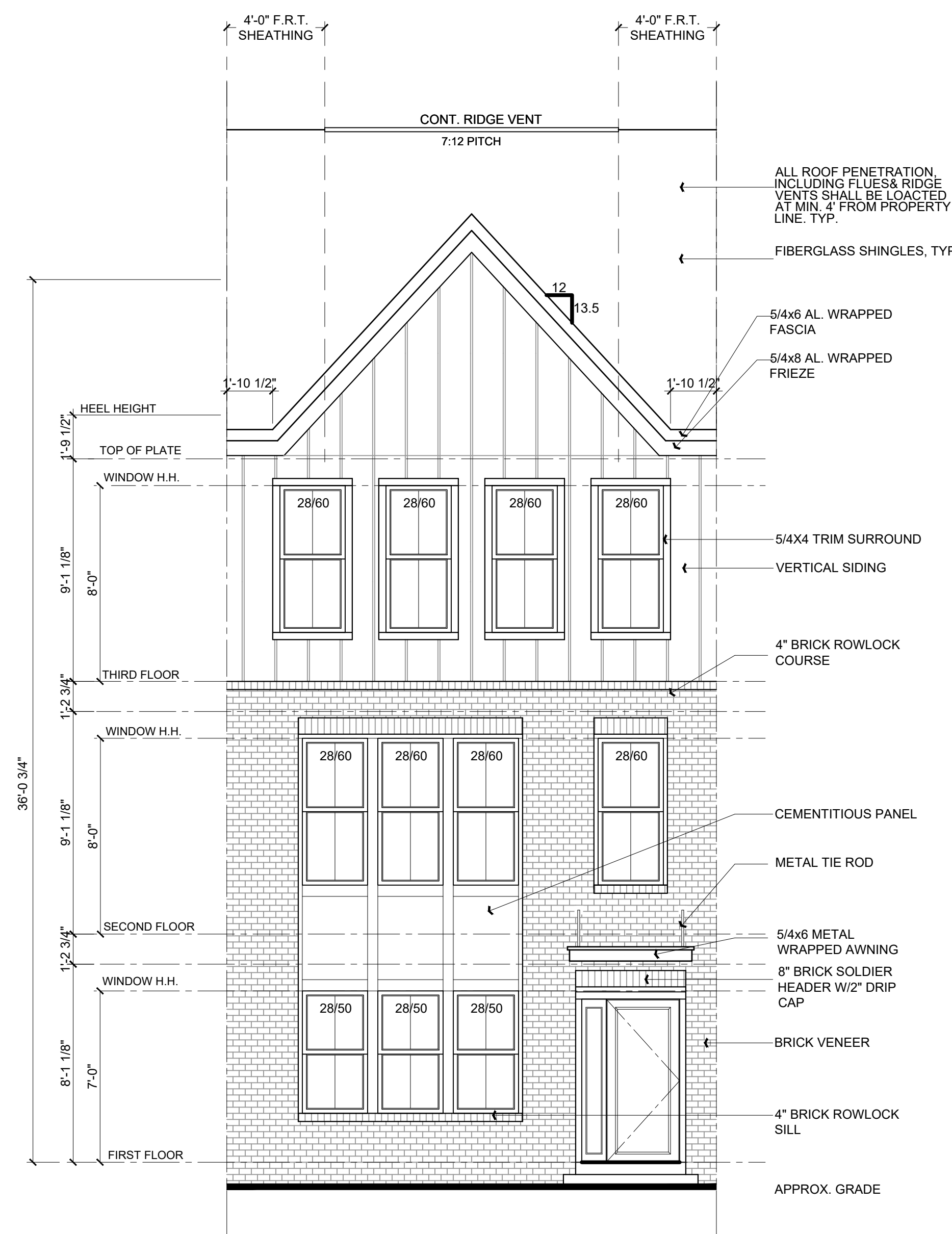
Sept. 13, 2022

FRONT ELEVATION



FRONT ELEVATION B @ FULL BRICK

SCALE: 1/4"=1'-0" **2**



FRONT ELEVATION B @ 2/3 BRICK

SCALE: 1/4"=1'-0" **1**



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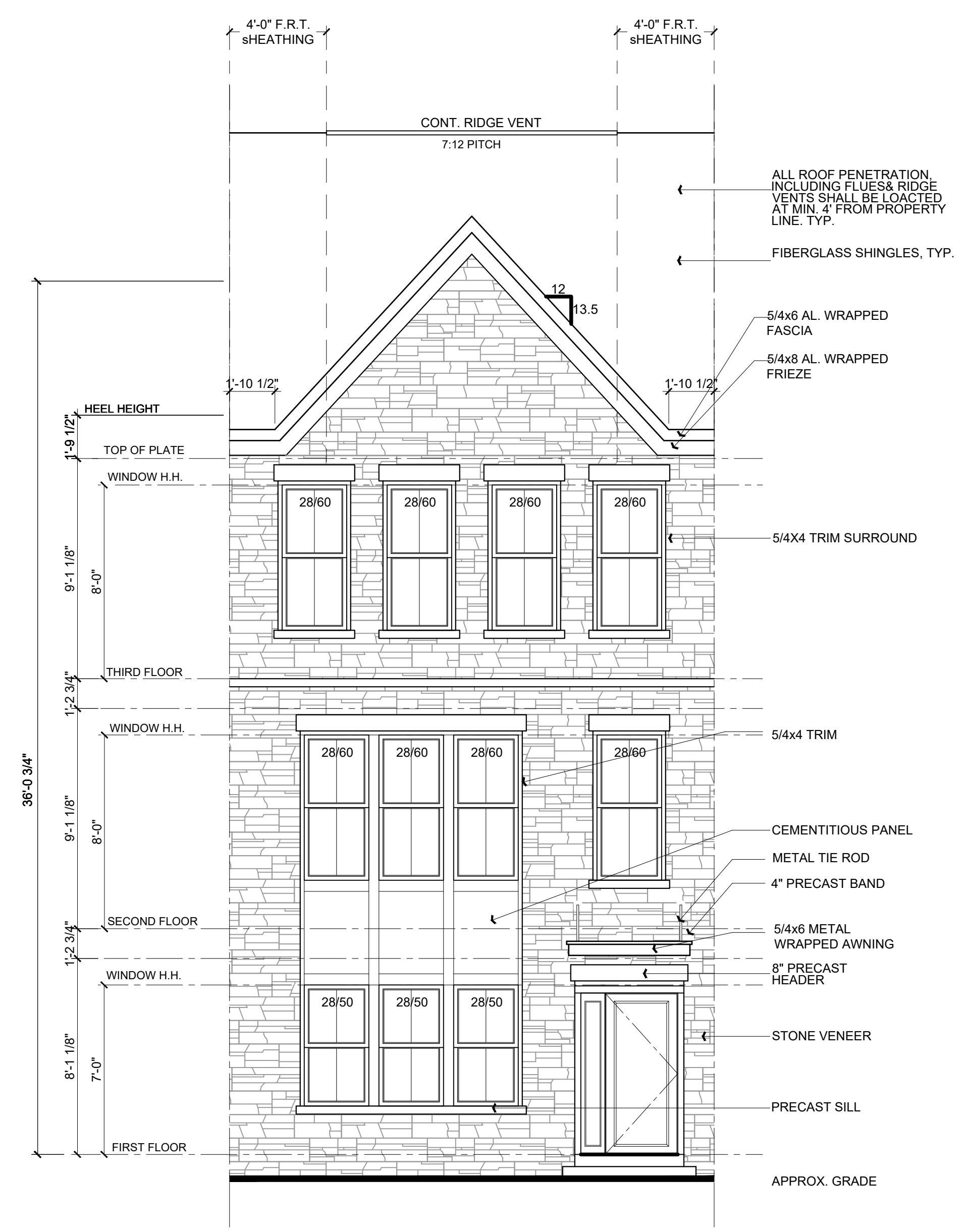
FAIRWOOD SQUARE
 PRINCE GEORGE'S COUNTY, MD
REDWOOD - 20X40 TH

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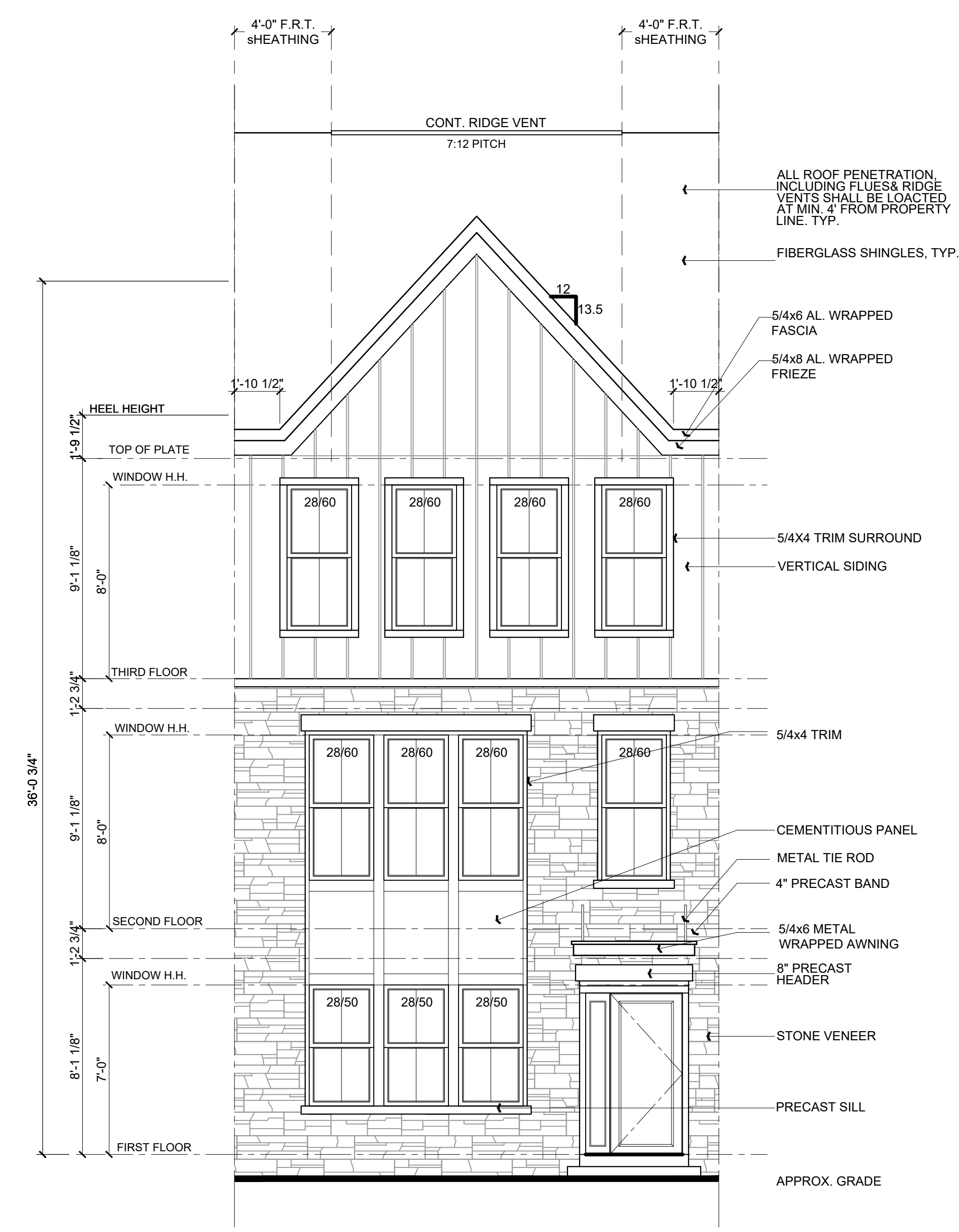


FRONT ELEVATION



FRONT ELEVATION B @ FULL STONE

SCALE: 1/4"=1'-0" **2**



FRONT ELEVATION B @ 2/3 STONE

SCALE: 1/4"=1'-0" **1**



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KTGY Project No: 20150204

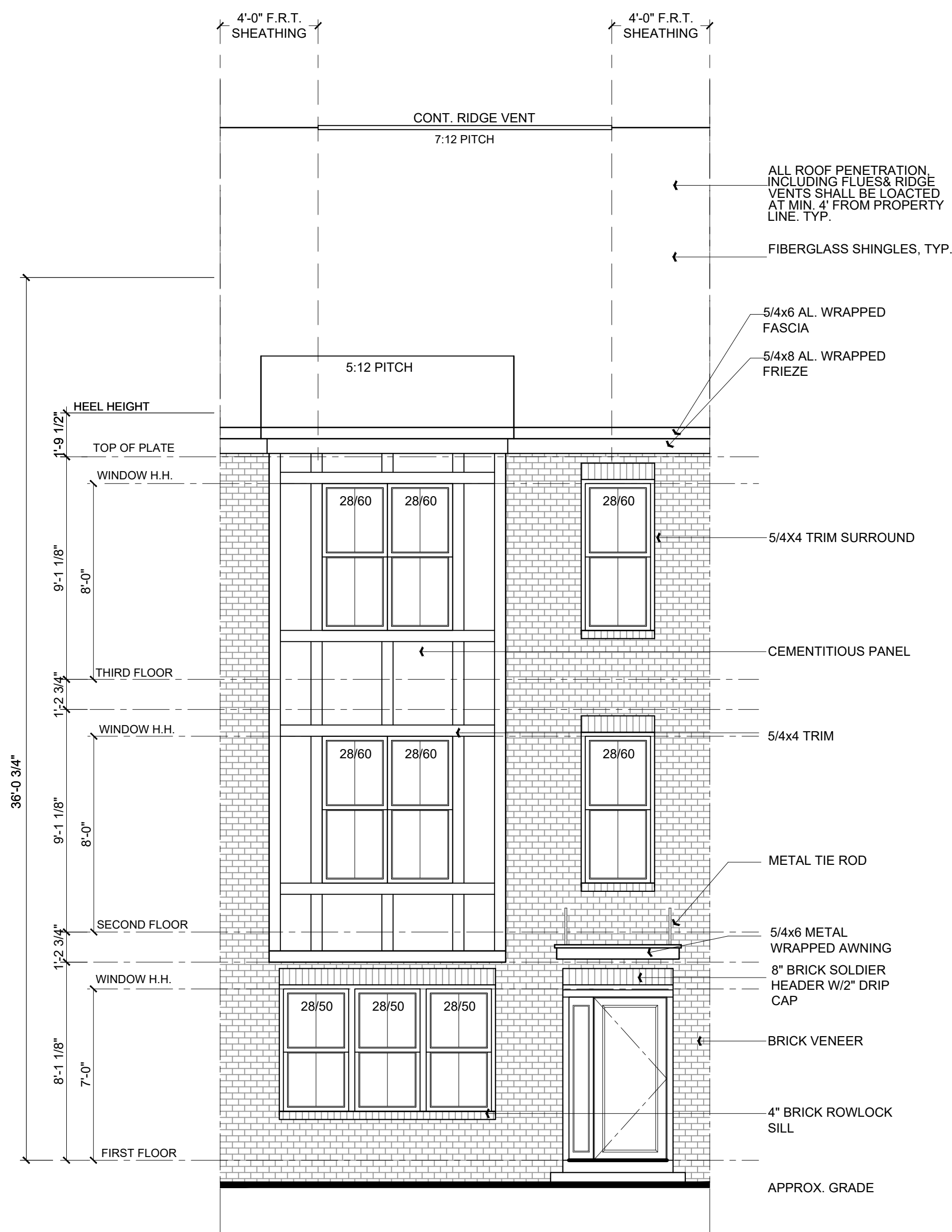
Project Contact: Kit Thackrey
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Principal: Smita Anand
Project Designer: Smita Anand

Developer

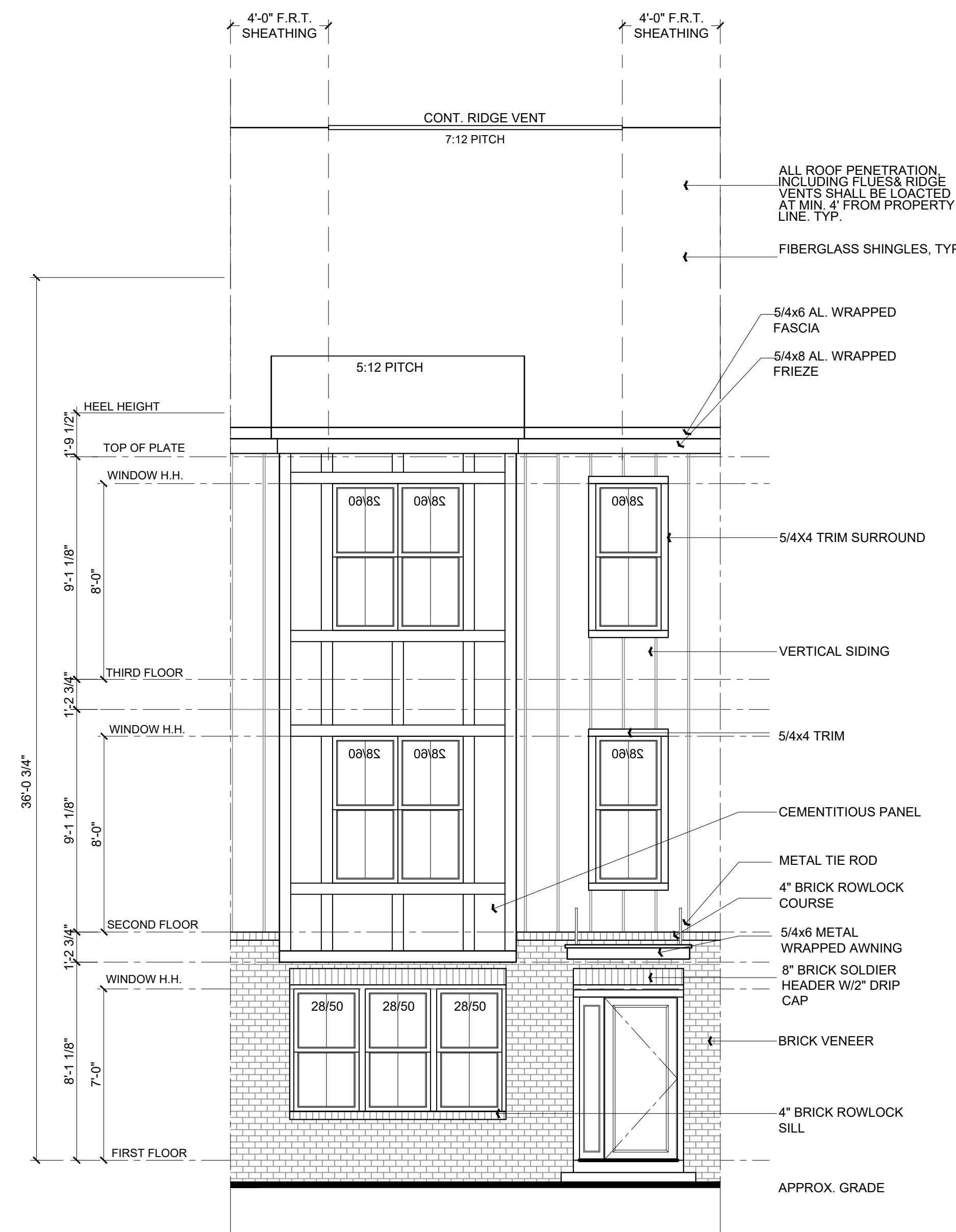
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FAX NO. ----

FAIRWOOD SQUARE
PRINCE GEORGE'S COUNTY, MD
REDWOOD - 20X40 TH



FRONT ELEVATION C @ FULL BRICK

SCALE: 1/4"=1'-0" **2**



FRONT ELEVATION C @ 1/3 BRICK

SCALE: 1/4"=1'-0" **1**

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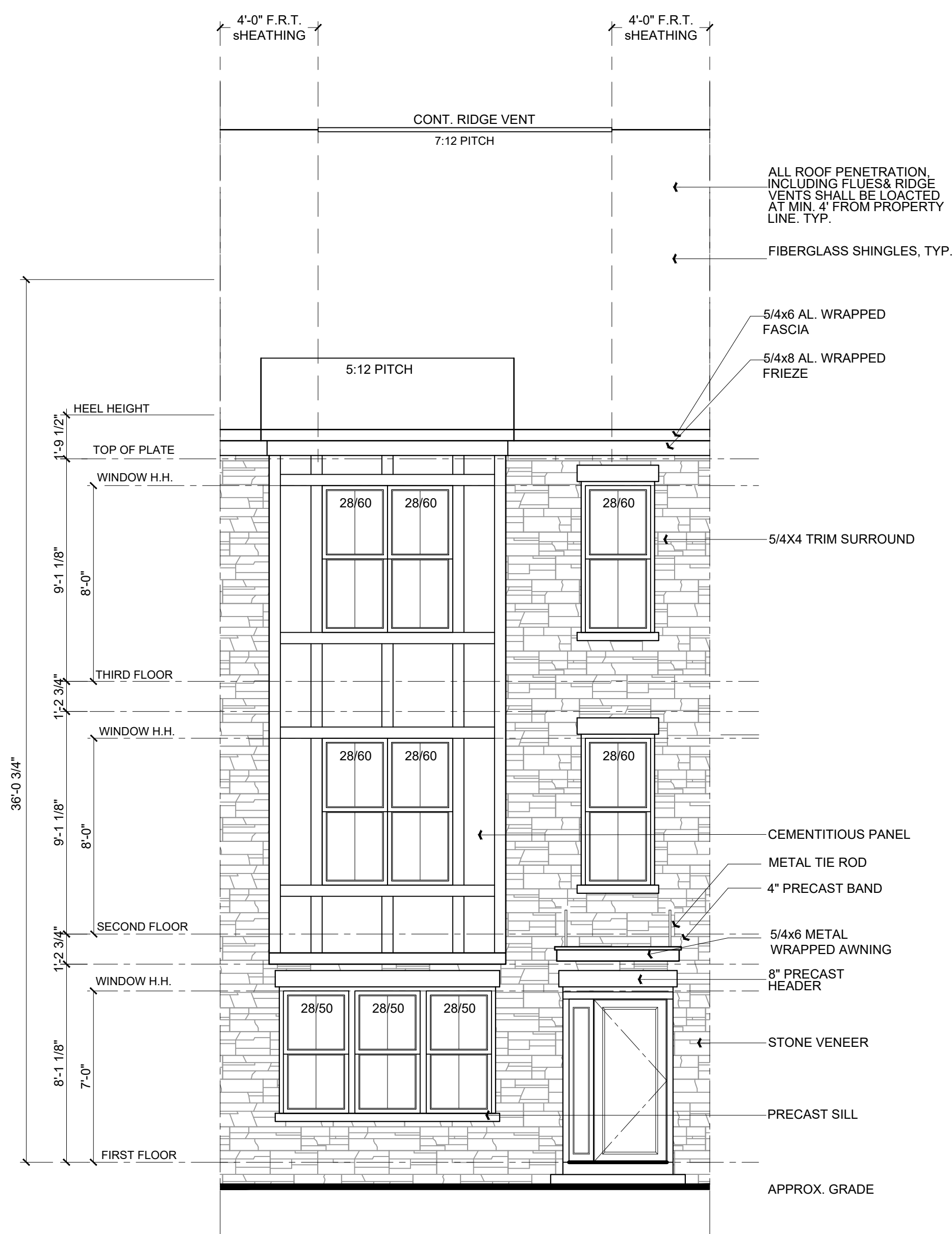


FRONT ELEVATION

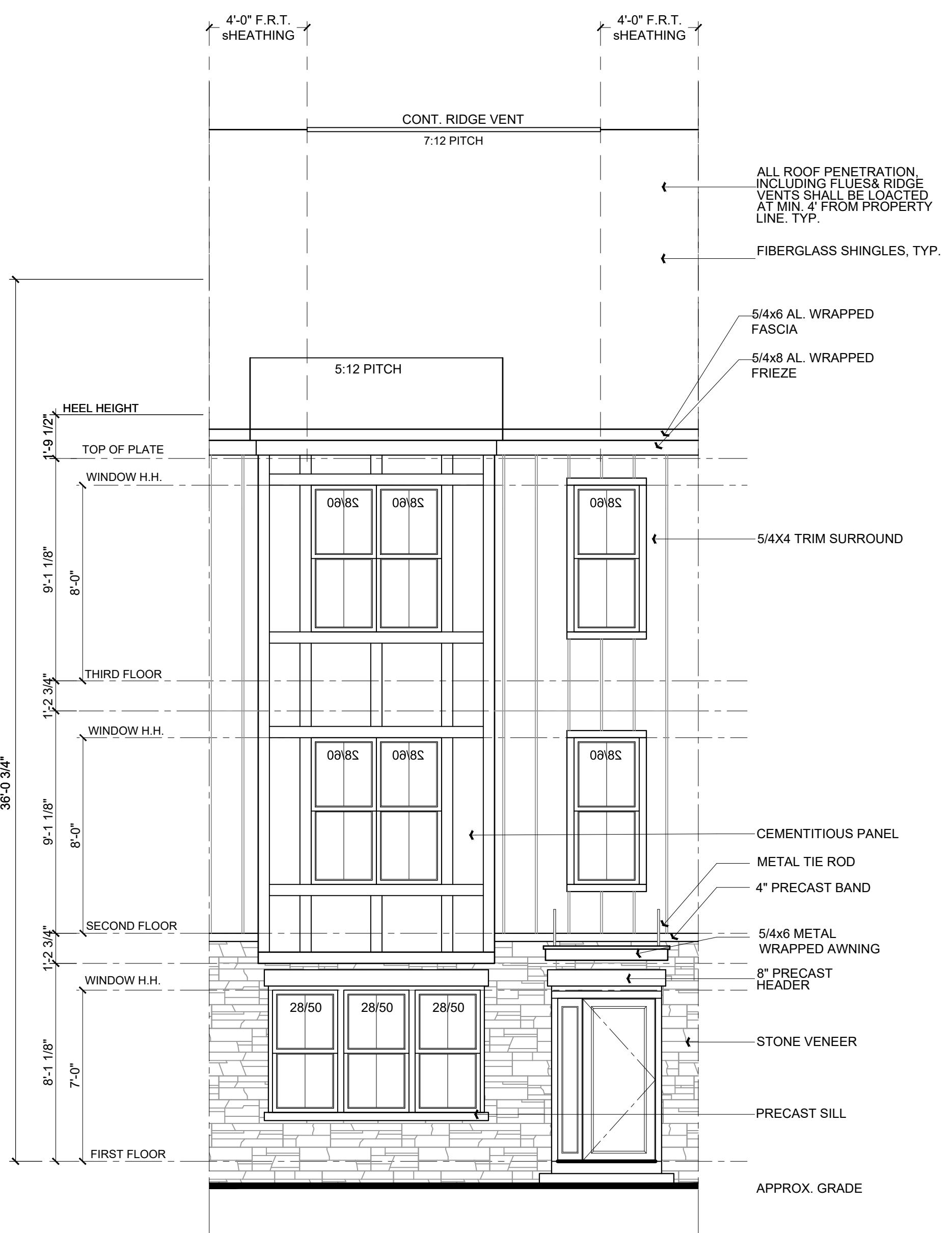
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FRONT ELEVATION C @ FULL STONE SCALE: 1/4"=1'-0" 2



FRONT ELEVATION C @ 1/3 STONE SCALE: 1/4"=1'-0" 1



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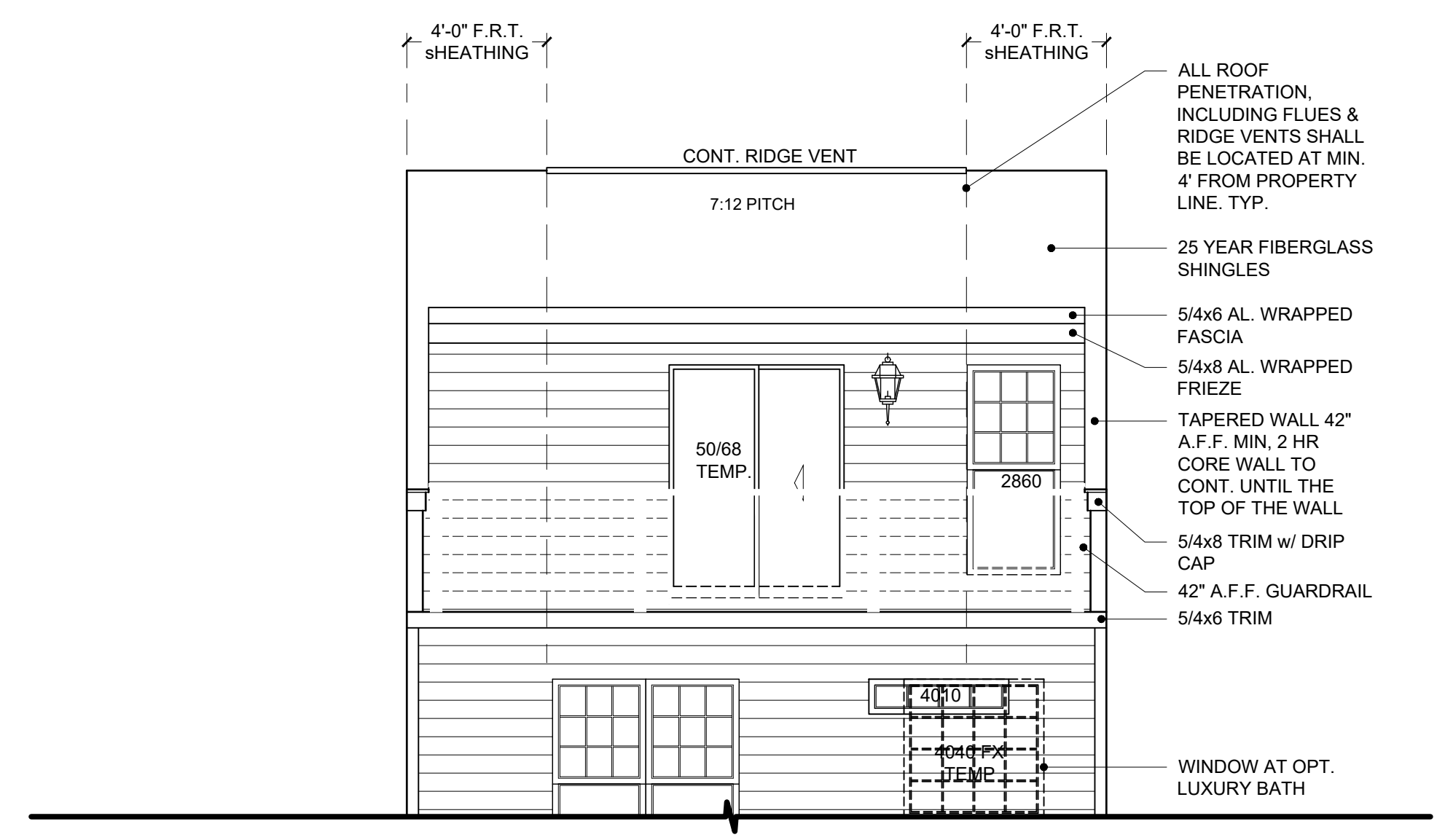
FAIRWOOD SQUARE
 PRINCE GEORGE'S COUNTY, MD
REDWOOD - 20X40 TH

No.	Date	Description

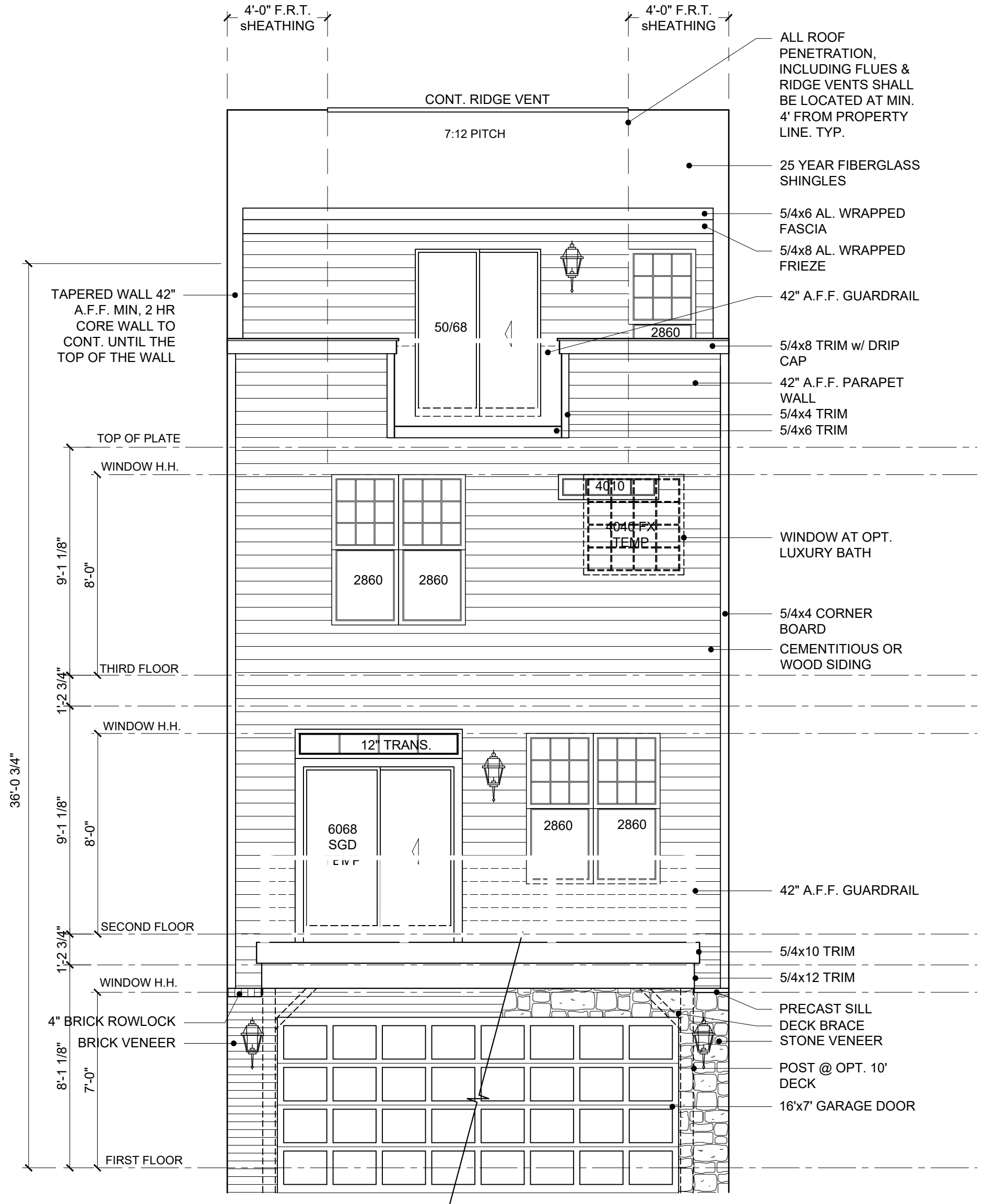
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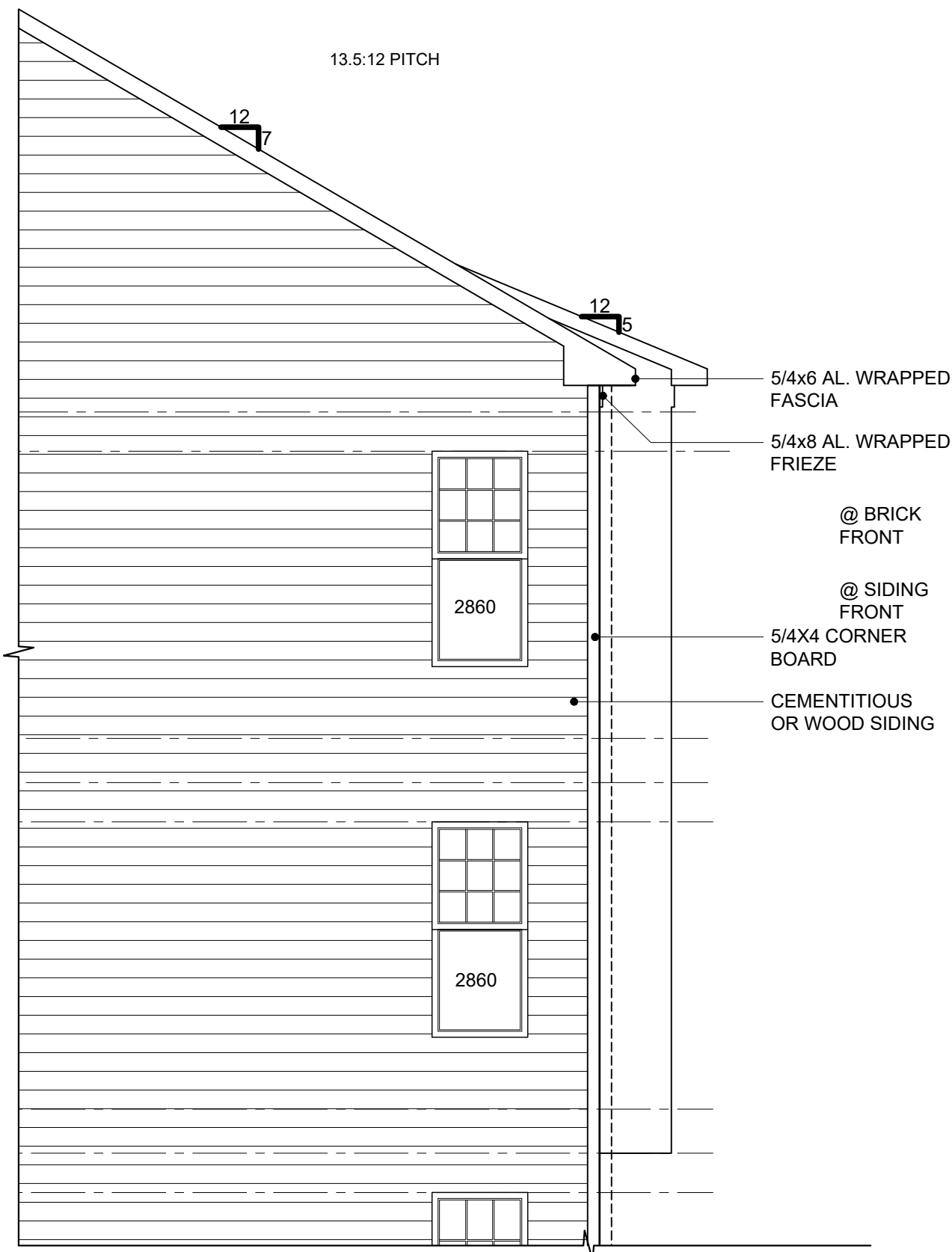
REAR ELEVATION



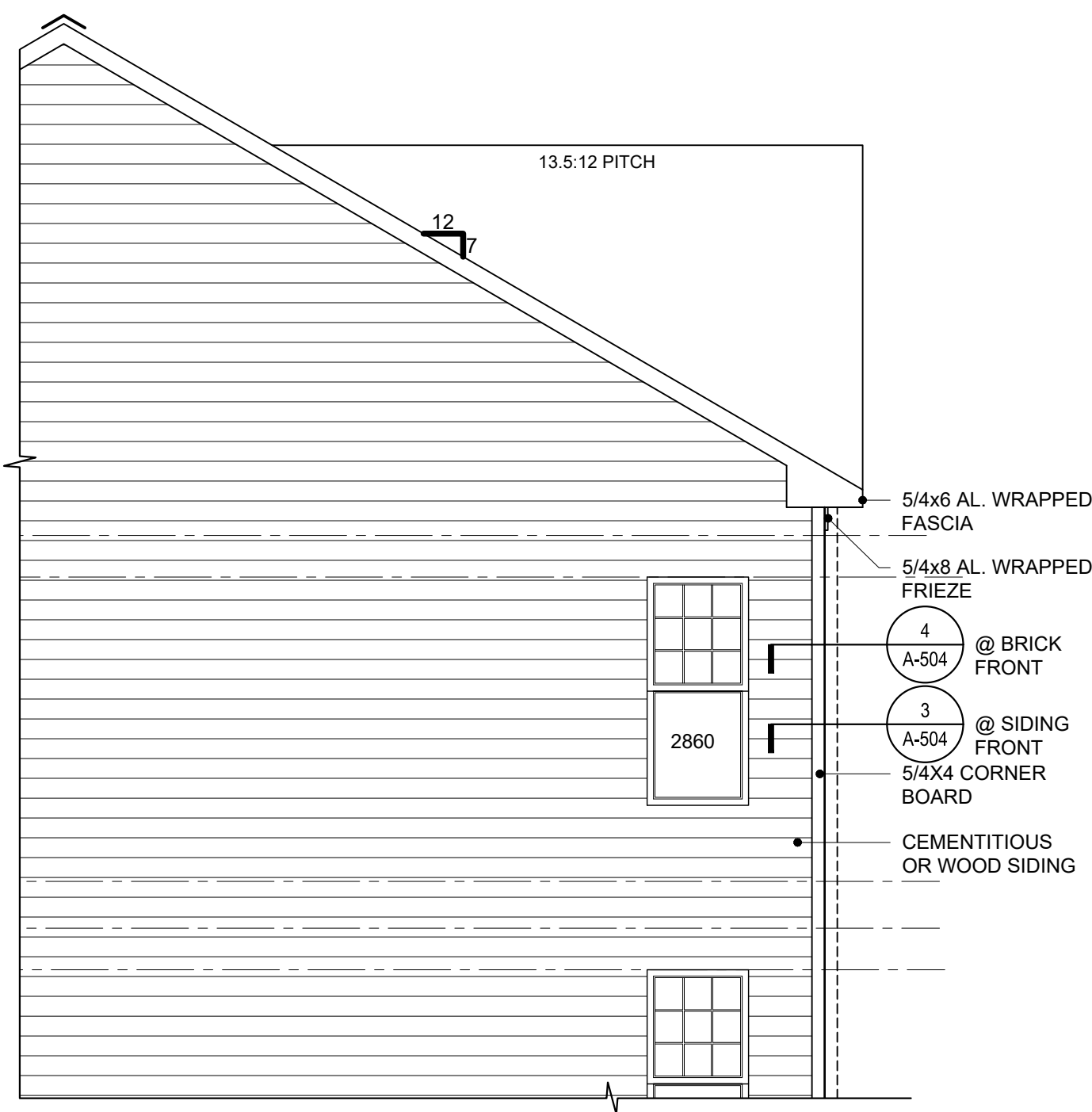
PART. REAR ELEVATION @ FULL LOFT RAIL SCALE: 1/4"=1'-0" **2**



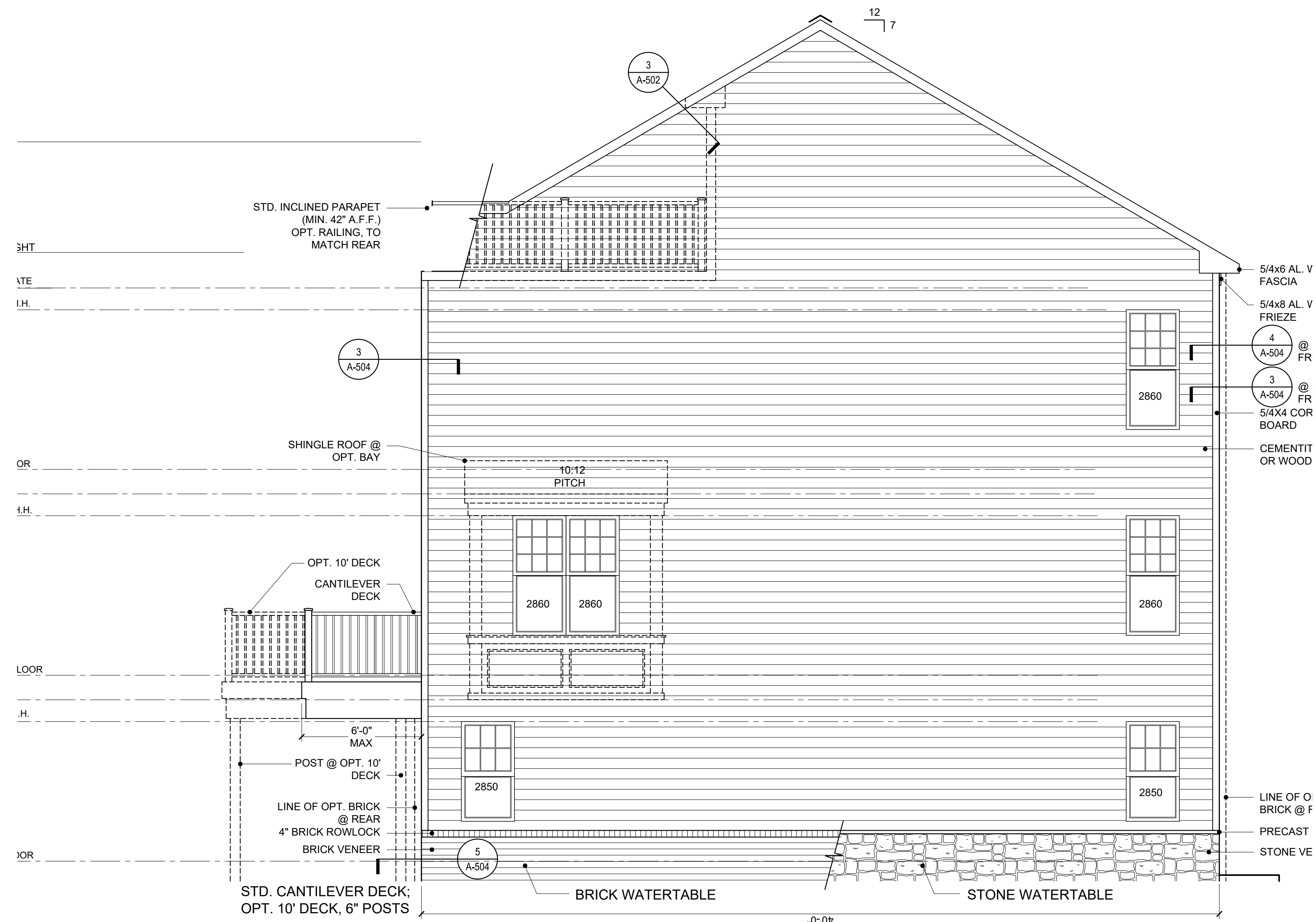
REAR ELEVATION @ ALL ELEVATIONS SCALE: 1/4"=1'-0" **1**



LEFT SDE ELEVATION @ ELEVATION C SCALE: 1/4"=1'-0" 3



LEFT SDE ELEVATION @ ELEVATION B SCALE: 1/4"=1'-0" 2



LEFT SDE ELEVATION @ FULL LOFT RAIL SCALE: 1/4"=1'-0" 1



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REDWOOD - 20X40 TH

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LEFT SIDE ELEVATIONS

A-220



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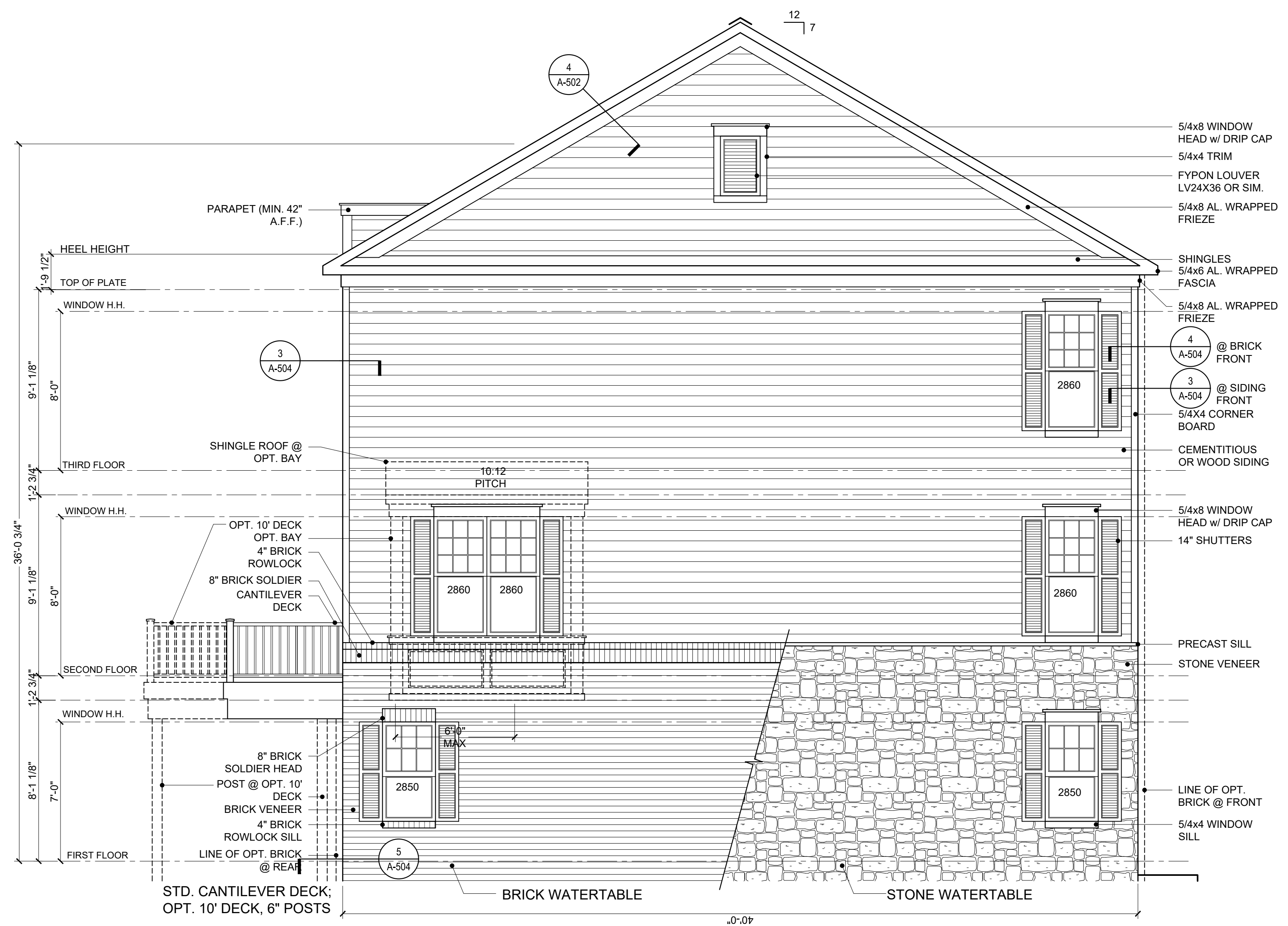
FAIRWOOD SQUARE
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LEFTSIDE ELEVATIONS
A-221



LEFT SIDE ELEVATION @ END UNITS SCALE: 1/4"=1'-0" **1**

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"LIBERTY"

24 x 40' TOWNHOUSE - LIBERTY

LOWER LEVEL	540 SQ. FT.
FIRST FLOOR	955 SQ. FT.
SECOND FLOOR	955 SQ. FT.
TOTAL	2450 SQ. FT.

ELEVATION #3	+15 SQ. FT.
OPT. SUNROOM	+360 SQ. FT.

REVISIONS		
DATE	COMMENTS	BY
03-18-2019	PRELIMINARY REVIEW	AJH
04-19-2019	MID-POINT REVIEW	AJH
05-17-2019	CLIENT COMMENTS & UPDATE DESIGN	AJH
06-01-2019	CLIENT COMMENTS & SENT FOR LATERAL BRACING	AJH
07-03-2019	ISSUE PERMIT SET	AJH
07-16-2019	UPDATE LATERAL BRACING PER ENGINEER	AJH
11-27-19	FOUNDATION REDLINES PER ENGINEER	ACI
04-28-2022	2018 CODE UPDATE- URBANESQUE ELEV. ADDED	TPF
05-13-2022	UPDATED SET	TPF

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1.0	COVER SHEET
2.0	IRC GENERAL NOTES
2.1	RES-CHECK COMPLIANCE FORMS
2.1A	IECC COMPLIANCE NOTES
2.2	PG COUNTY DETAILS
3.1	FRONT ELEVATION 1
3.1A	ELEV 1 OPT. END UNIT
3.2	FRONT ELEVATION 2
3.2A	ELEV 2 OPT. END UNIT
3.3	FRONT ELEVATION 3
3.3A	ELEV 3 OPT. END UNIT
3.4	REAR ELEVATION
3.5	URBANESQUE ELEVATIONS
3.6	PROPOSED STRIP ELEVATION - LIBERTY
4.1	FOUNDATION PLAN
4.2	LOWER LEVEL PLAN
5.1	FIRST FLOOR PLAN - REAR KITCHEN
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LB-6	FIRST FLOOR LB-REAR KITCHEN
LB-6A	FIRST FLOOR LB - MID KITCHEN
LB-6B	URBANESQUE FIRST FLOOR LB
LB-6C	URBANESQUE FIRST FLOOR LB
LB-7	SECOND FLOOR LATERAL BRACING PLANS
LB-8	OPT. SUNROOM LATERAL BRACING

ALL WORK SHALL COMPLY WITH 2018 INTERNATIONAL RESIDENTIAL CODE W/ AMENDMENTS

WALL BRACING SHALL BE IN ACCORDANCE WITH ENGINEERED DESIGN and CONTINUOUSLY SHEATHED W/ 7/16" WOOD SHEATHING

FLOOR FRAMING TO BE 14" ENGINEERED FLOOR SYSTEM (DESIGNED BY TRUSS MANUFACTURER)

Professional Certification
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional Architect under the laws of the State of Maryland.
license number 5921
expiration date 04-03-2024

** THE LOCAL JURISDICTION SHALL FILL IN THIS TABLE WITH LOCAL CLIMATIC AND GEOGRAPHIC CRITERIA **

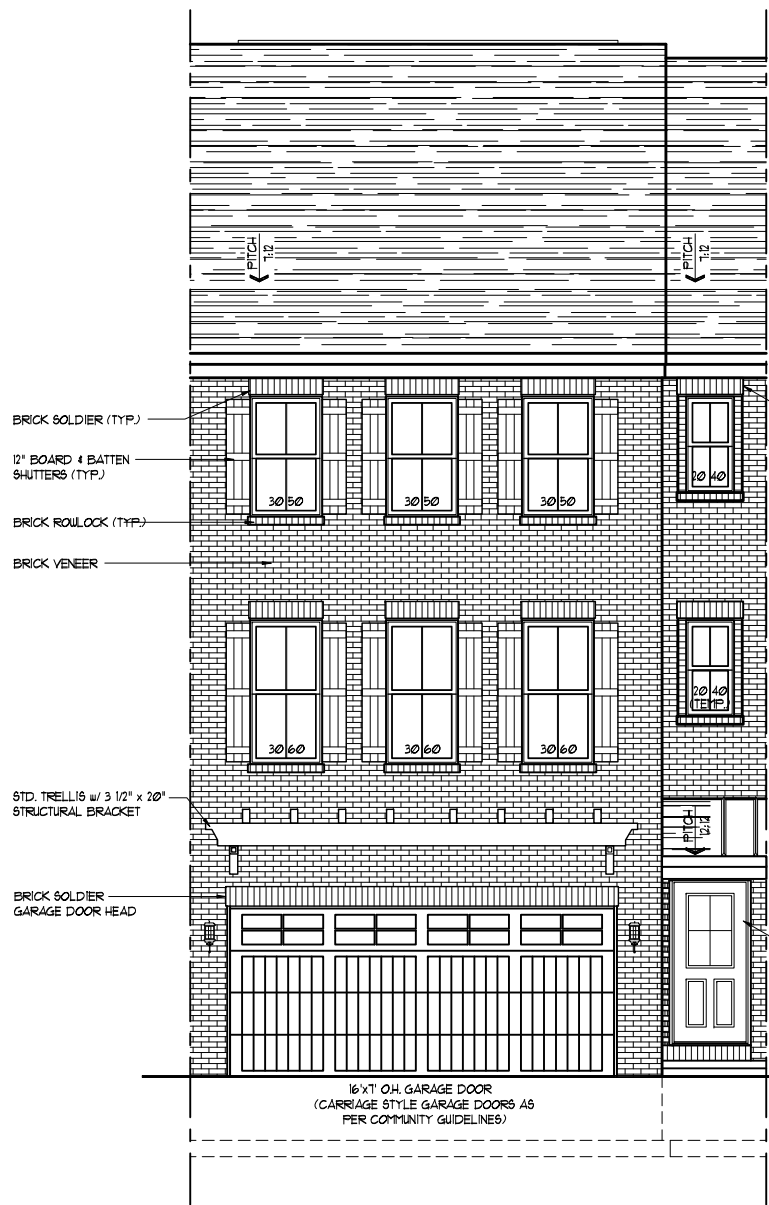
2018 CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA: PRINCE GEORGES COUNTY MARYLAND													
GROUND SNOW LOAD	WIND DESIGN				SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP.	ICE BARRIER UNDERLAYMENT REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP
	Speed (mph)	Topographic Effects	Special Wind Region	Windborne Debris Zone		Weathering	Frost Line Depth	Termite					
35 P&F	115	B			A/B	SEVERE	30"	MODERATE TO HEAVY					

STRUCT. REVIEW	05-13-2022
PROJECT REVIEW	05-13-2022

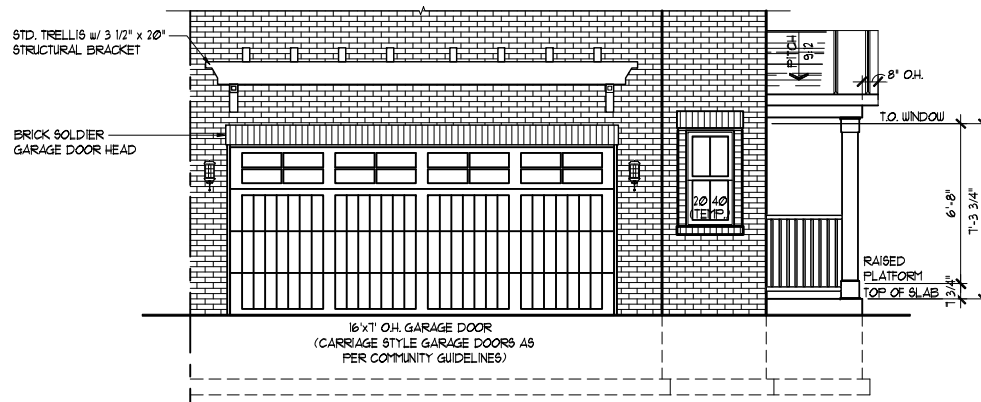
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8334 Main Street Ellicott City, MD 21043
ArchitectureCollaborative.com
Tel.: (410) 465-7500 Fax: (410) 465-0903

LIBERTY

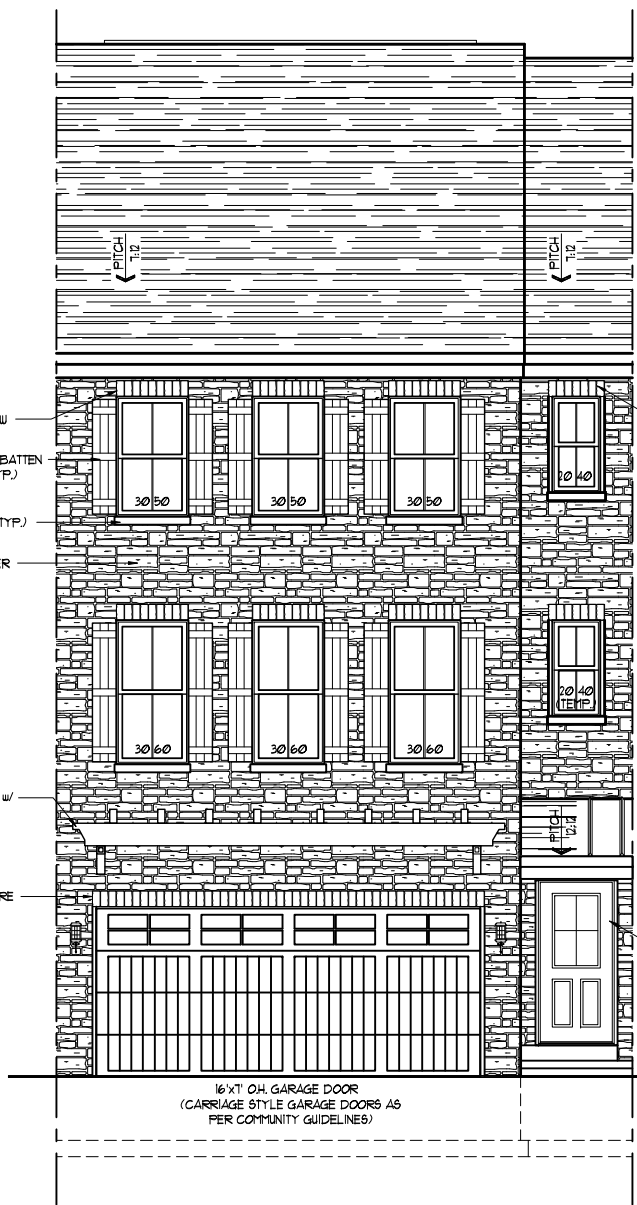
TL172024



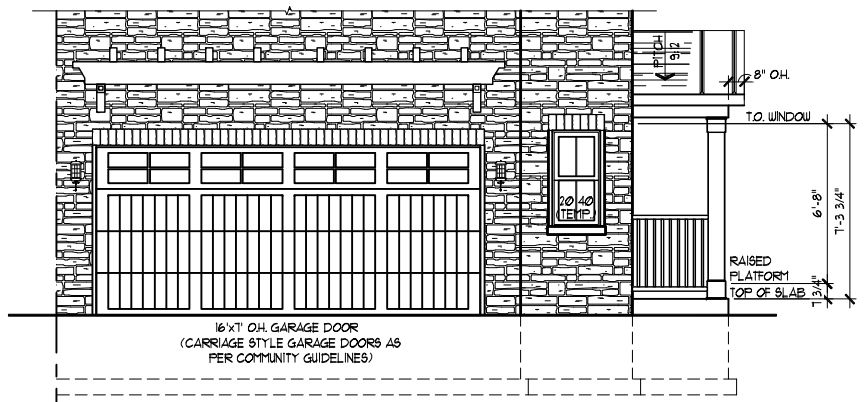
**ELEVATION #1
w/ BRICK VENEER**
SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"



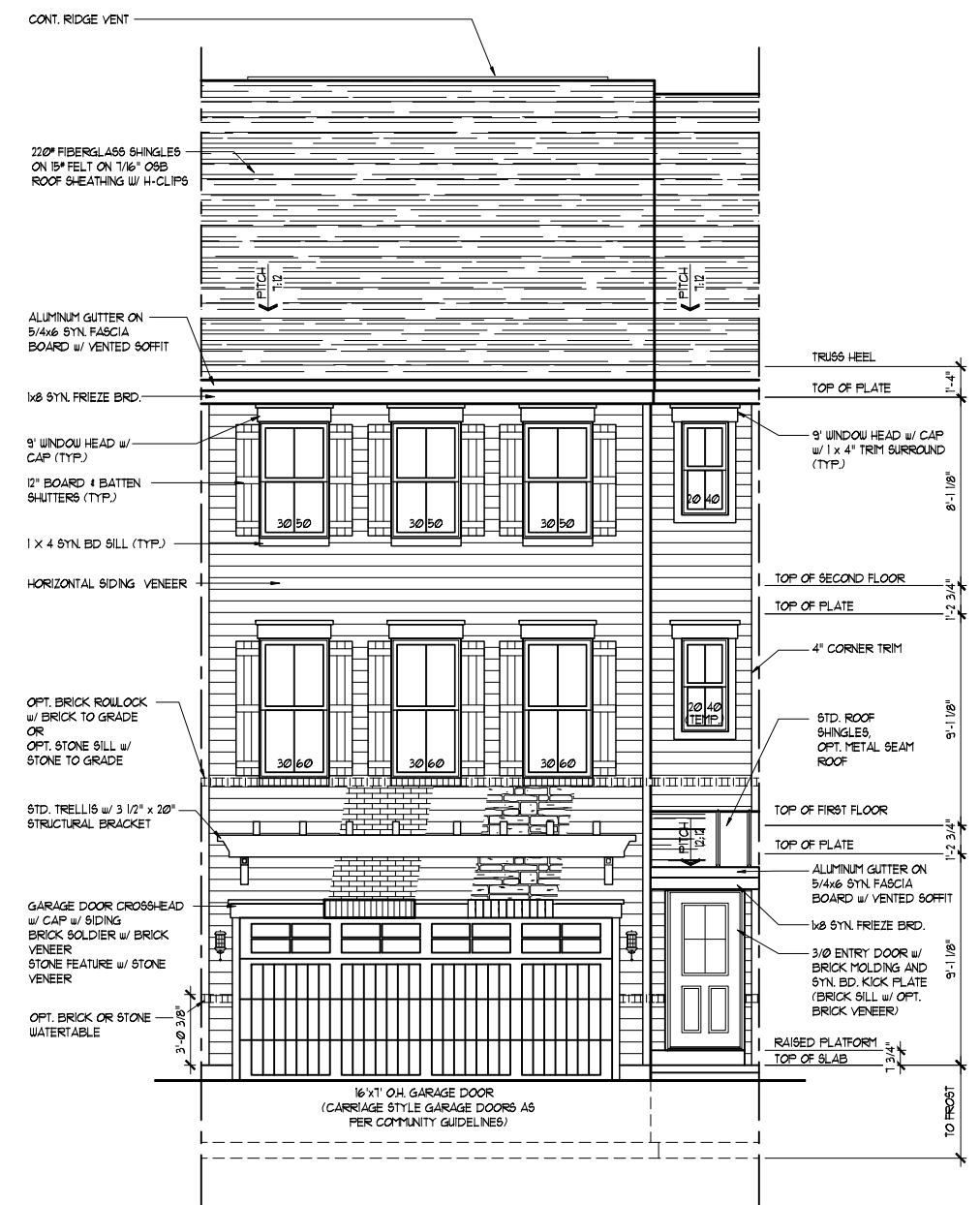
**ELEVATION #1- OPT. SIDE ENTRY
w/ BRICK VENEER (OPT. END UNIT)**
SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"



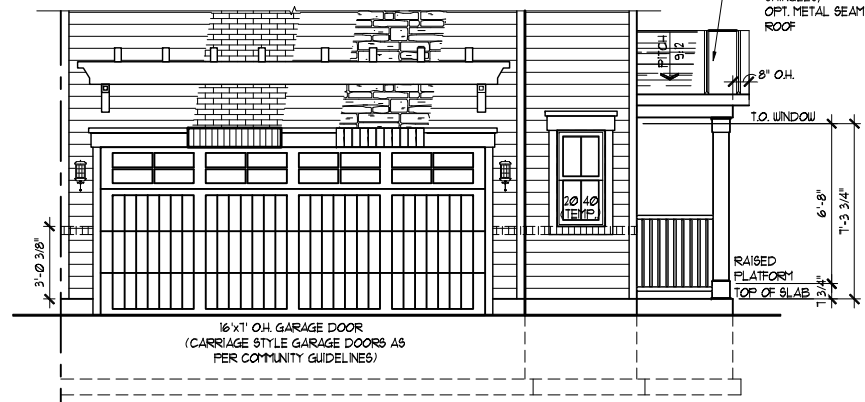
**ELEVATION #1
w/ STONE VENEER**
SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"



**ELEVATION #1- OPT. SIDE ENTRY
w/ STONE VENEER (OPT. END UNIT)**
SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"



**ELEVATION #1
w/ SIDING VENEER**
SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"



**ELEVATION #1- OPT. SIDE ENTRY
w/ SIDING VENEER (OPT. END UNIT)**
SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"

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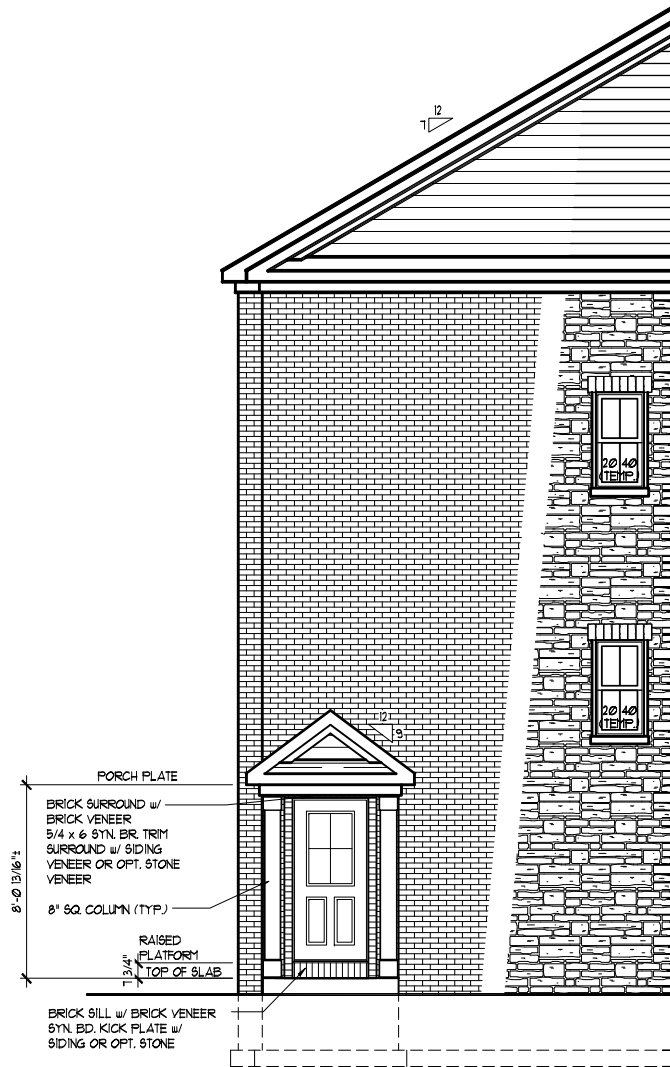
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8334 Main Street Ellicott City, MD 21043
www.archcol.com
Tel.: (410) 465-7500 Fax: (410) 465-0903

content: **FRONT ELEVATION 1**
date: 03/05/19
drawn: ACI
file: (34x22)
U.N.O. 1" = 8' (17x11) 3:1
title: **TIMBERLAKE HOMES**
LIBERTY

date	revision

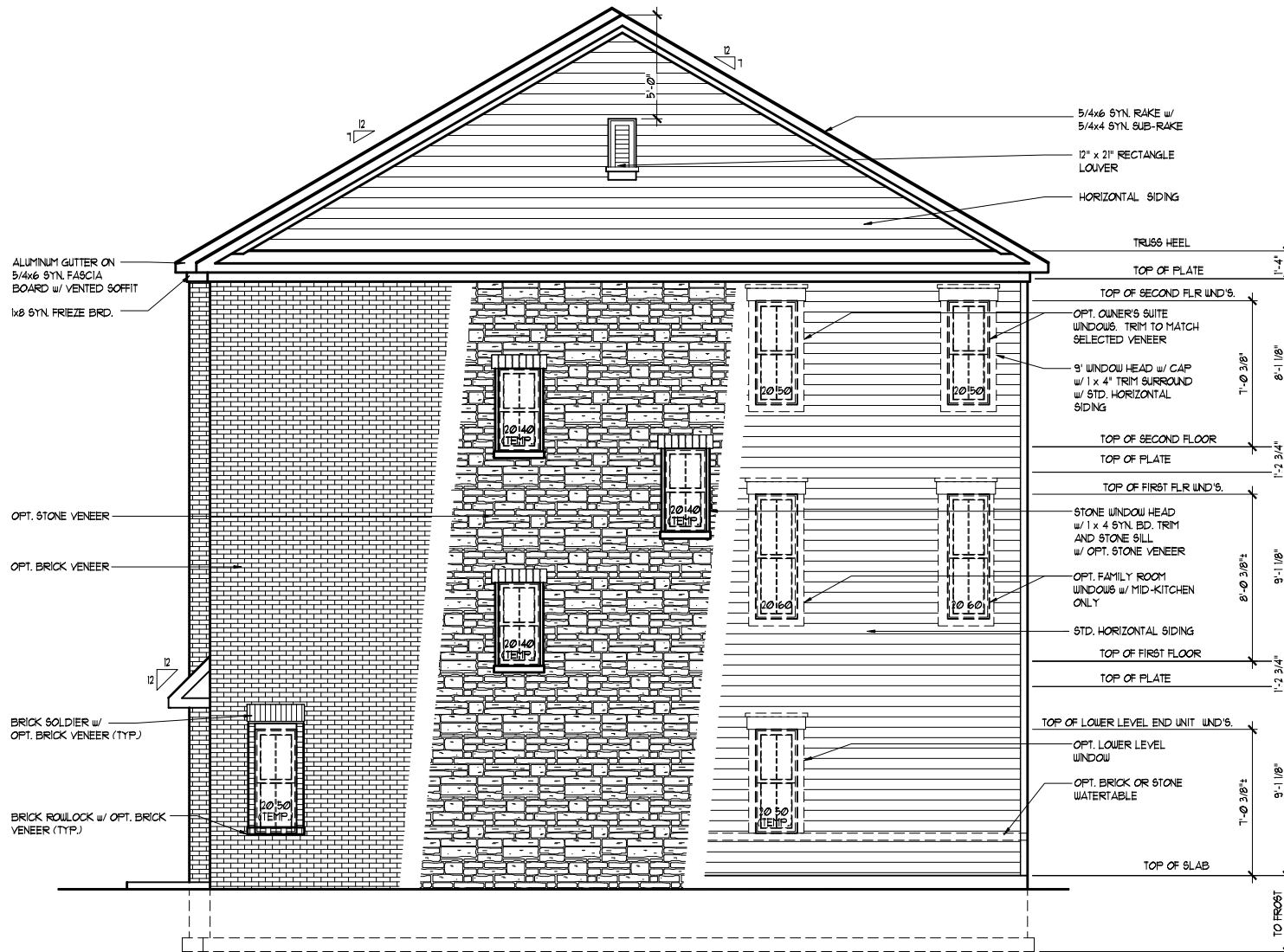
SHEET #
3.1

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license number: 5621
expiration date: 04-09-2024



**RIGHT SIDE ELEVATION
 w/ OPT. SIDE ENTRY
 ELEVATION #1 (OPT. END UNIT)**

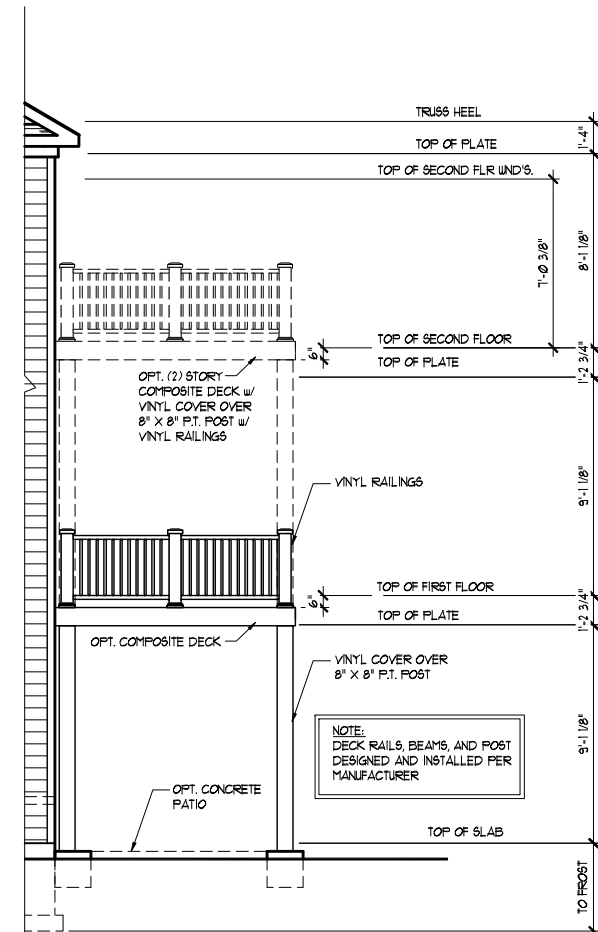
SCALE (17x11): 1/8" = 1'-0"
 SCALE (34x22): 1/4" = 1'-0"



**RIGHT SIDE ELEVATION w/ OPT. END UNIT
 ELEVATION #1**

SCALE (17x11): 1/8" = 1'-0"
 SCALE (34x22): 1/4" = 1'-0"

NOTE:
 OPT. WINDOW TRIM AS REQUIRED
 WITH HIGH VISIBILITY OR AS PER
 COMMUNITY REQUIREMENTS.



OPT. REAR DECK

SCALE (17x11): 1/8" = 1'-0"
 SCALE (34x22): 1/4" = 1'-0"

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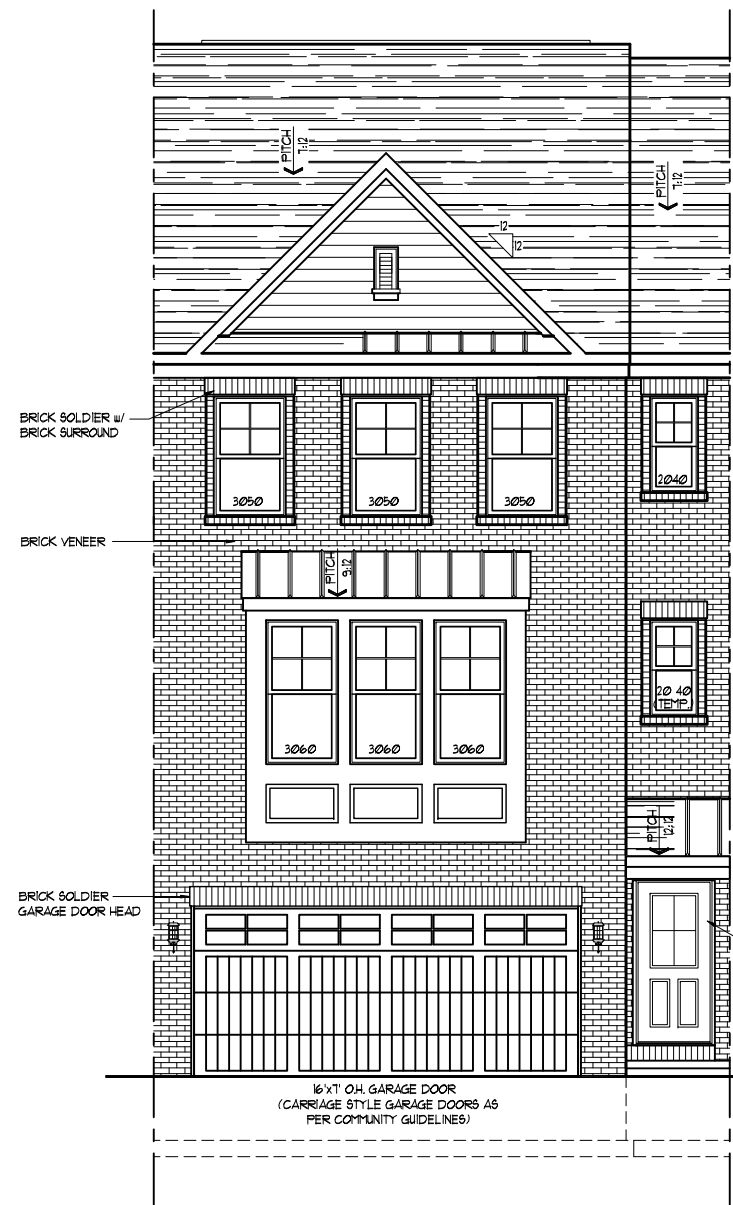
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content: **ELEV 1 OPT. END UNIT**
 scale: 1" = 4' (34x22) file: **3.1A**
 U.N.O. 1" = 8' (17x11)
 date: **03/05/19**
 drawn: **ACI**
TIMBERLAKE HOMES
LIBERTY

date	revision	by

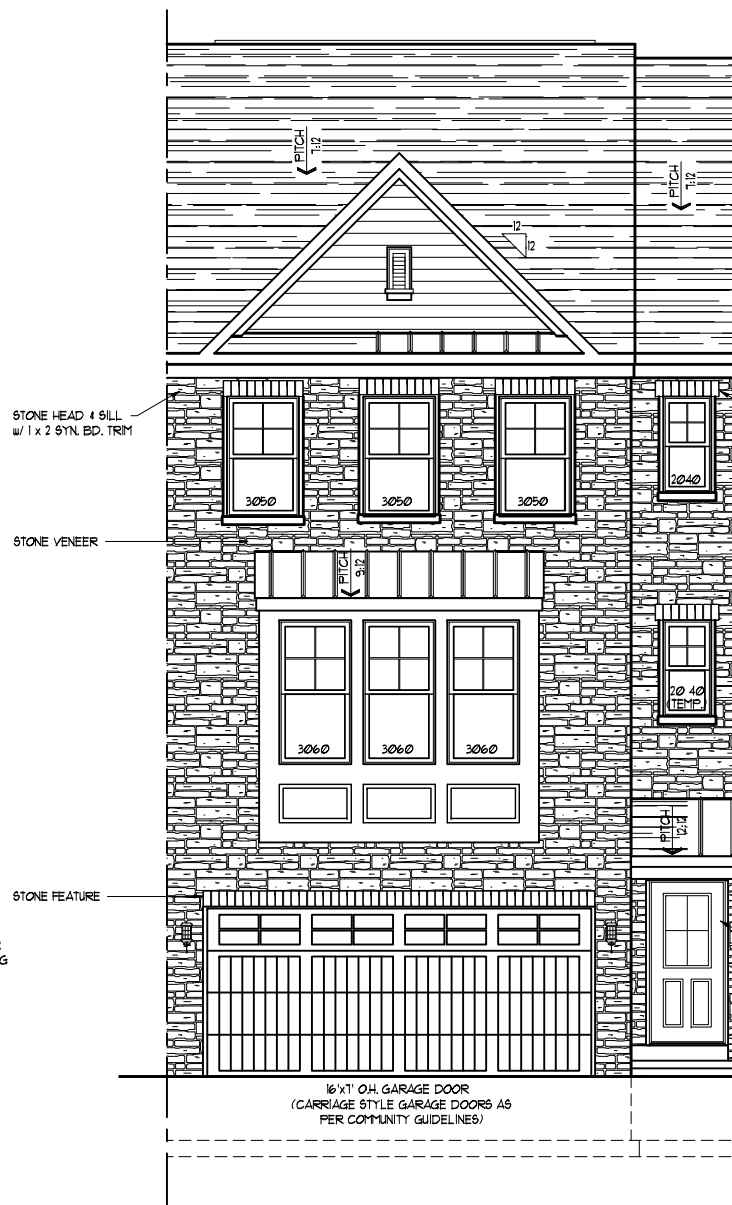
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 license number: **5621**
 expiration date: **04-09-2024**



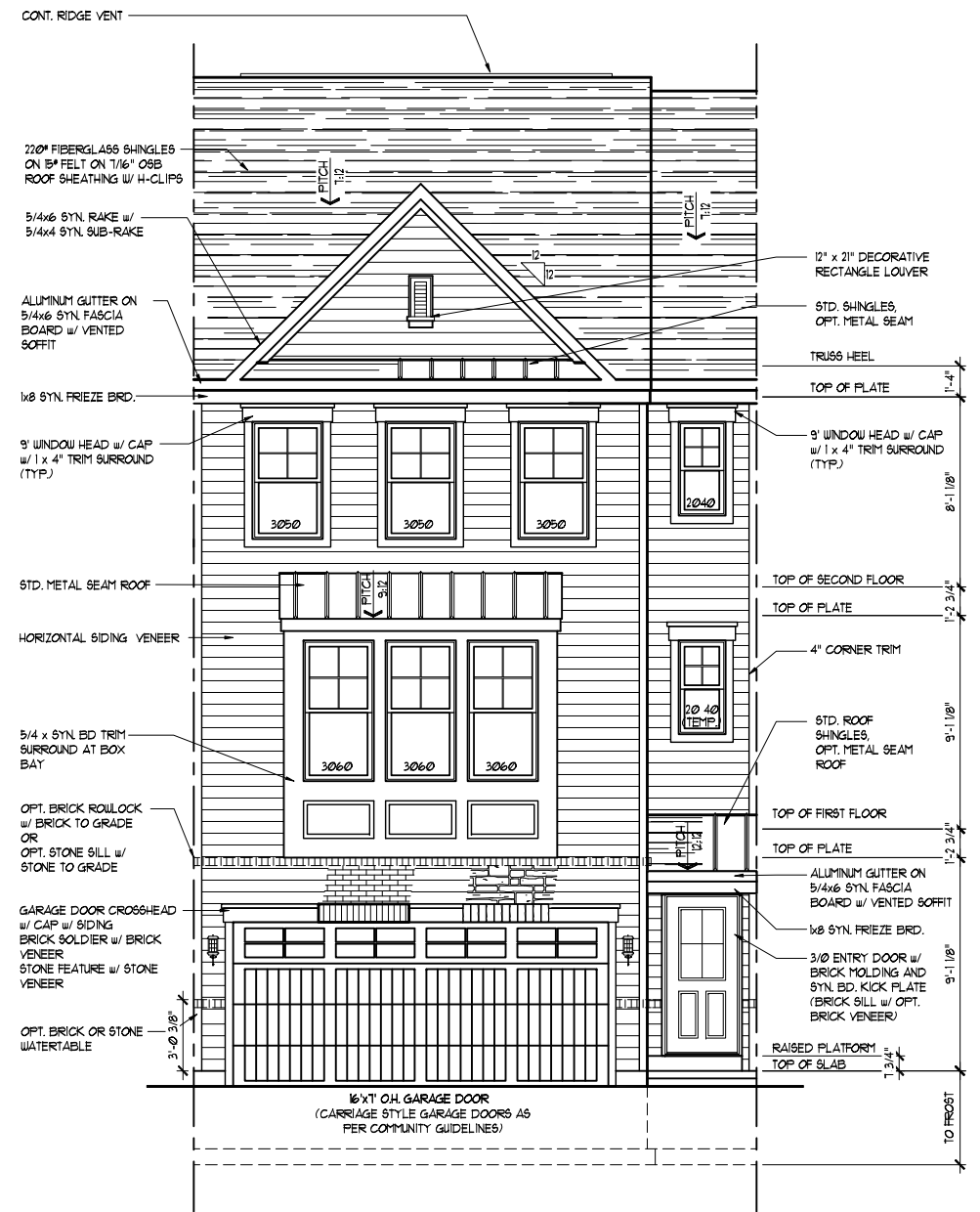
**ELEVATION #2
w/ BRICK VENEER**

SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"



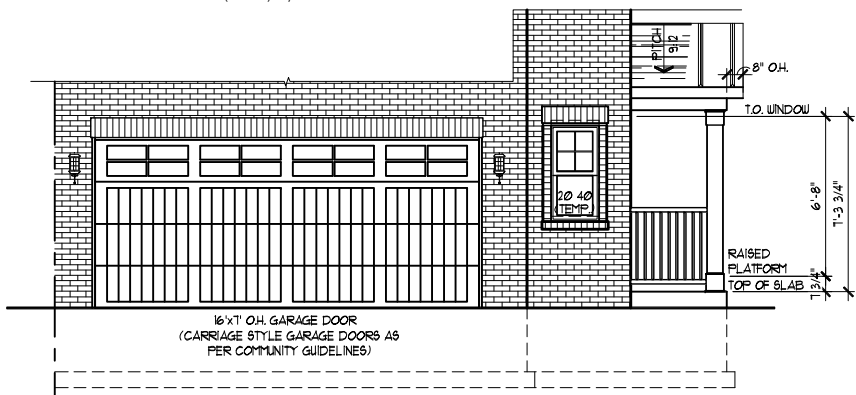
**ELEVATION #2
w/ STONE VENEER**

SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"



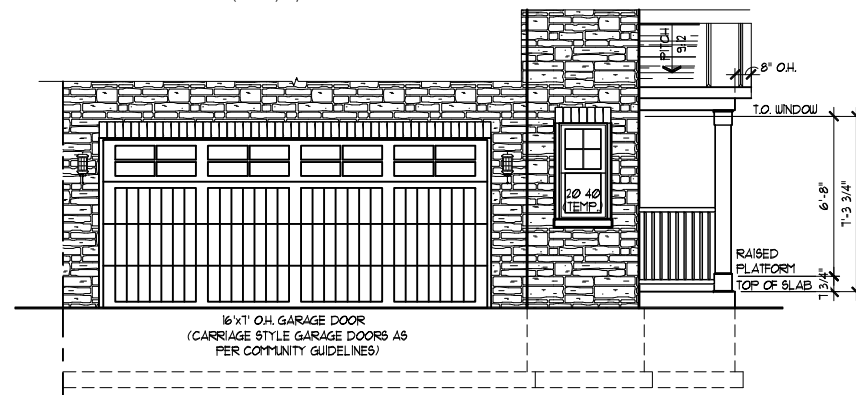
**ELEVATION #2
w/ SIDING VENEER**

SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"



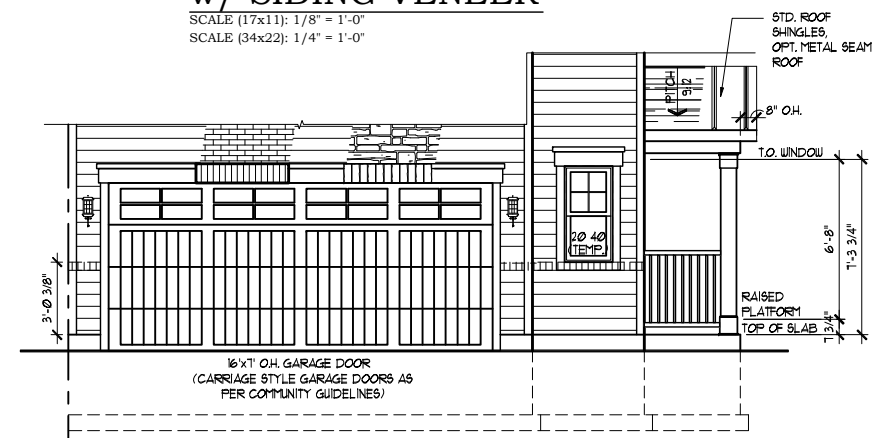
**ELEVATION #2 - OPT. SIDE ENTRY
w/ BRICK VENEER (OPT. END UNIT)**

SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"



**ELEVATION #2- OPT. SIDE ENTRY
w/ STONE VENEER (OPT. END UNIT)**

SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"



**ELEVATION #2- OPT. SIDE ENTRY
w/ SIDING VENEER (OPT. END UNIT)**

SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"

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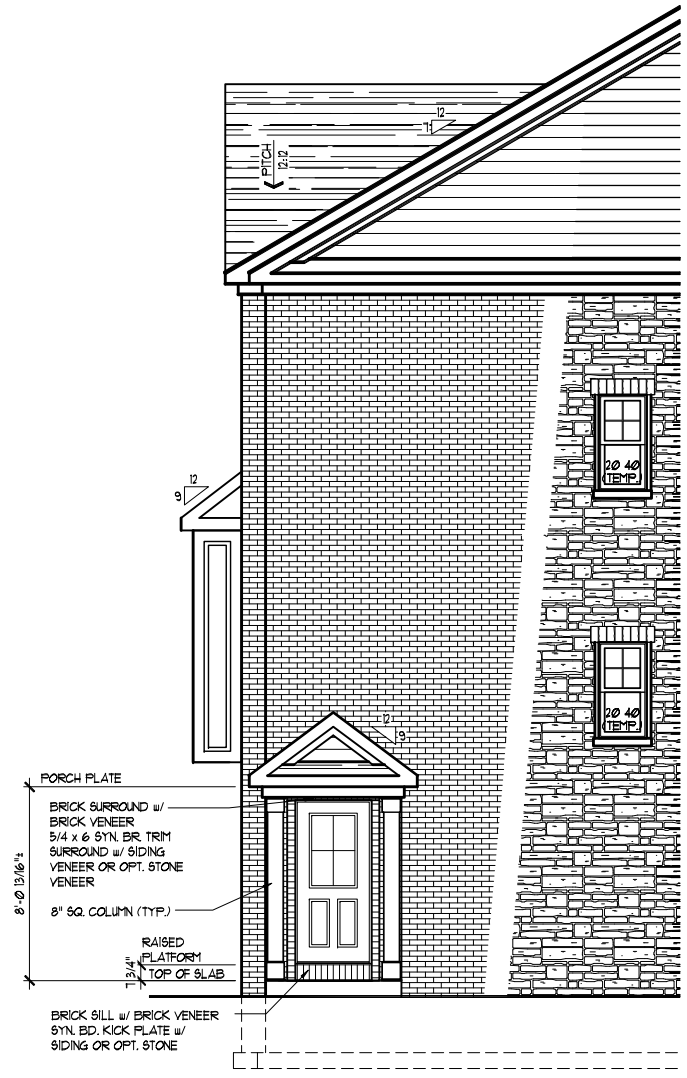
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Tel.: (410) 465-7500 Fax: (410) 465-0903

content: FRONT ELEVATION 2
date: 03/05/19
drawn: ACI
file: (34x22)
U.N.O. 1" = 8' (17x11) 3/2
title: **TIMBERLAKE HOMES**
LIBERTY

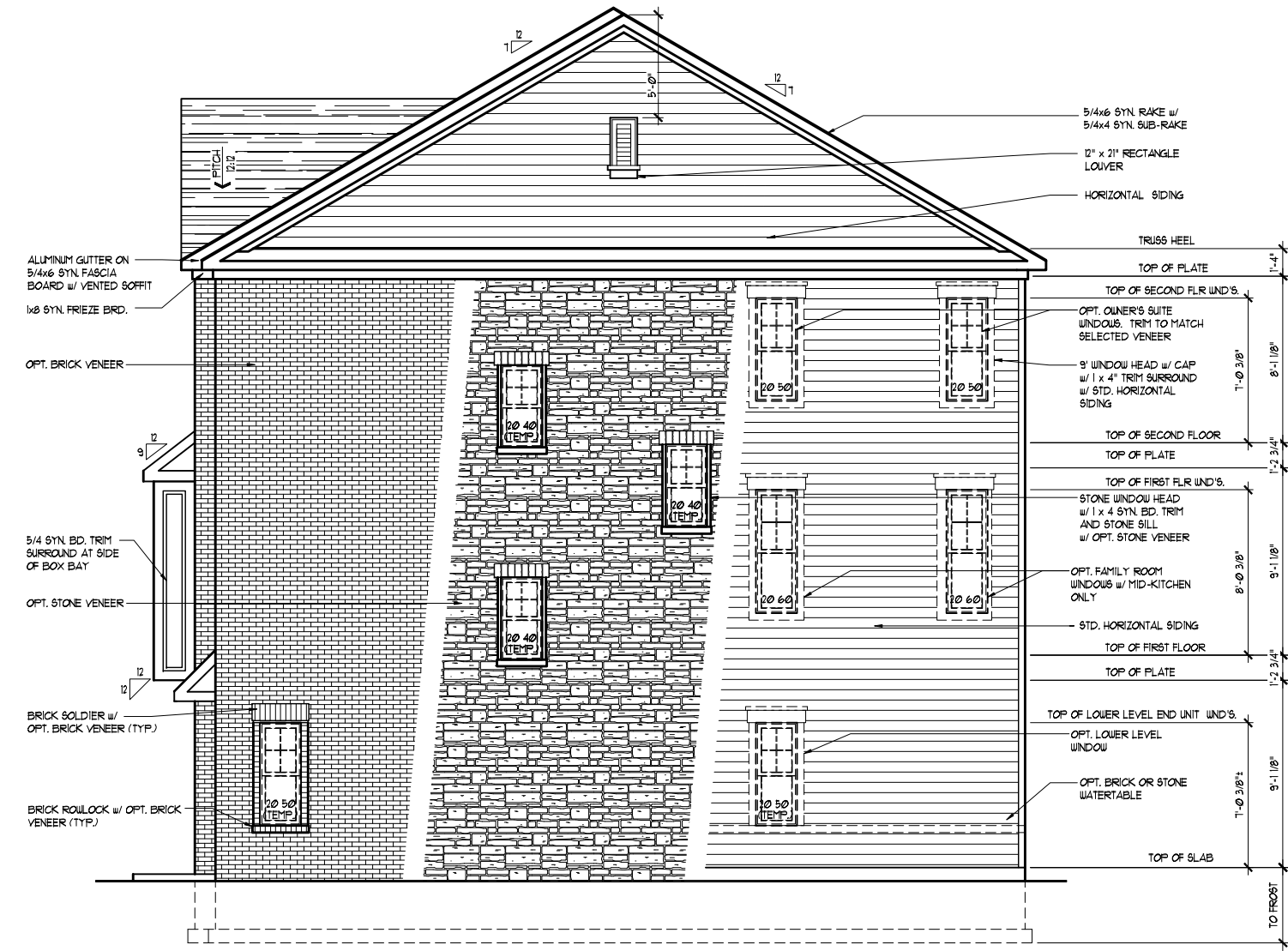
date	revision

SHEET #
3.2

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license number: 5921
expiration date: 04-09-2024

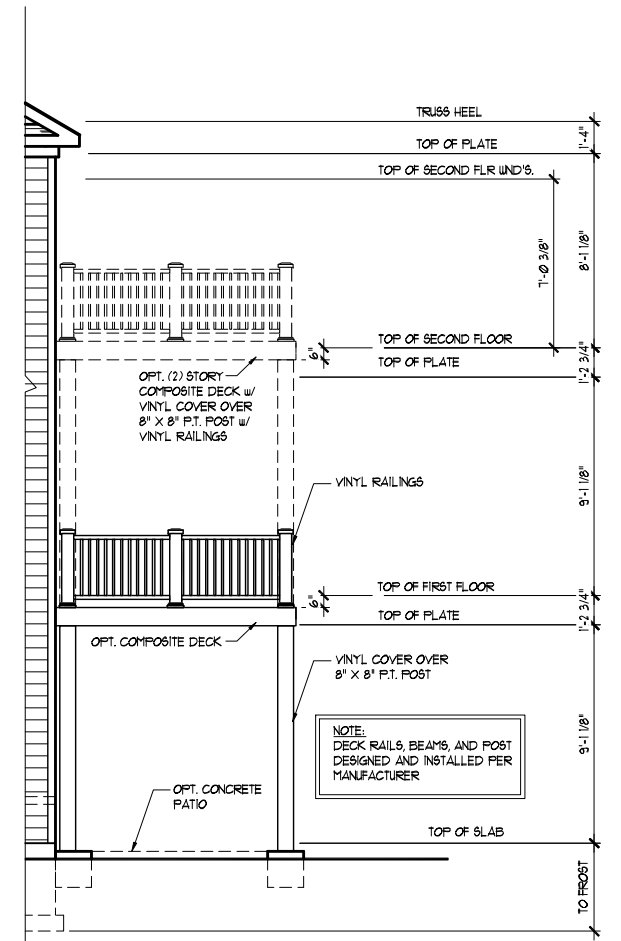


**RIGHT SIDE ELEVATION
w/ OPT. SIDE ENTRY
ELEVATION #2 (OPT. END UNIT)**
SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"



**RIGHT SIDE ELEVATION w/ OPT. END UNIT
ELEVATION #2**
SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"

NOTE:
OPT. WINDOW TRIM AS REQUIRED WITH HIGH VISIBILITY OR AS PER COMMUNITY REQUIREMENTS.



OPT. REAR DECK
SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"

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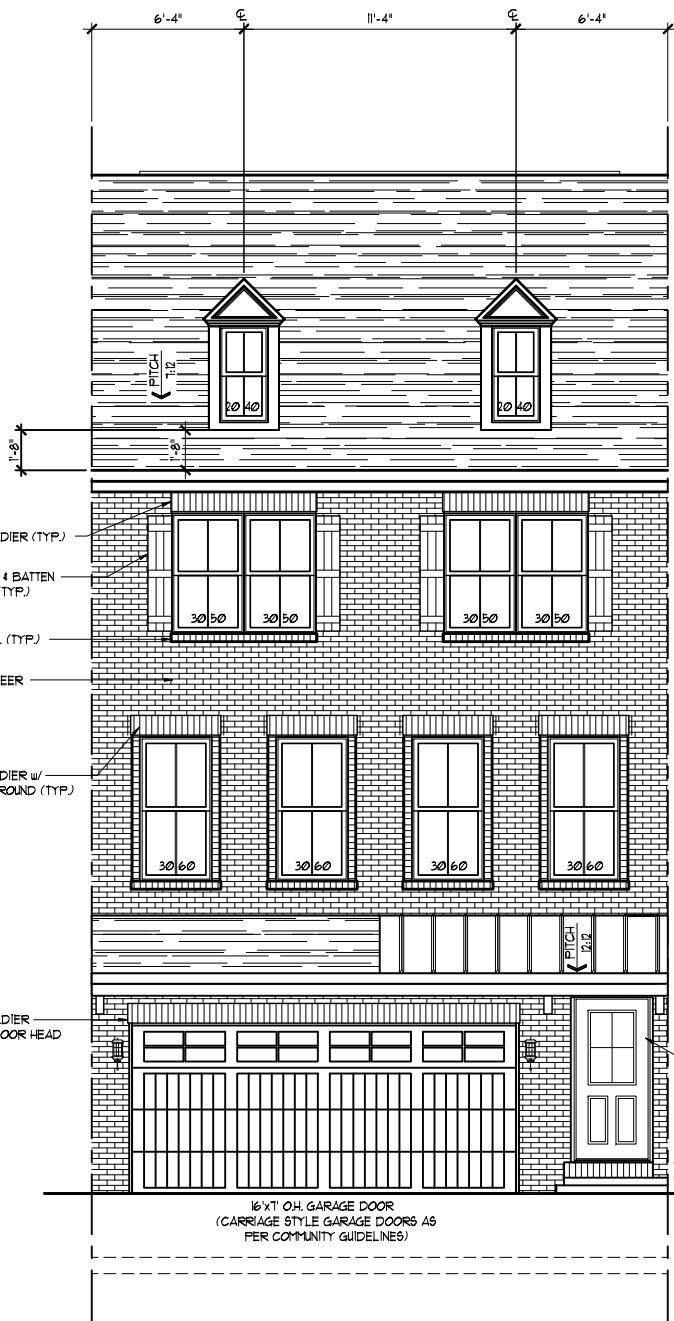
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ELEV 2 OPT. END UNIT
date: 03/05/19
drawn: ACI
file: 3.2A
U.N.O. 1" = 8' (17x11)
scale: 1" = 4' (34x22)
content: **TIMBERLAKE HOMES**
LIBERTY

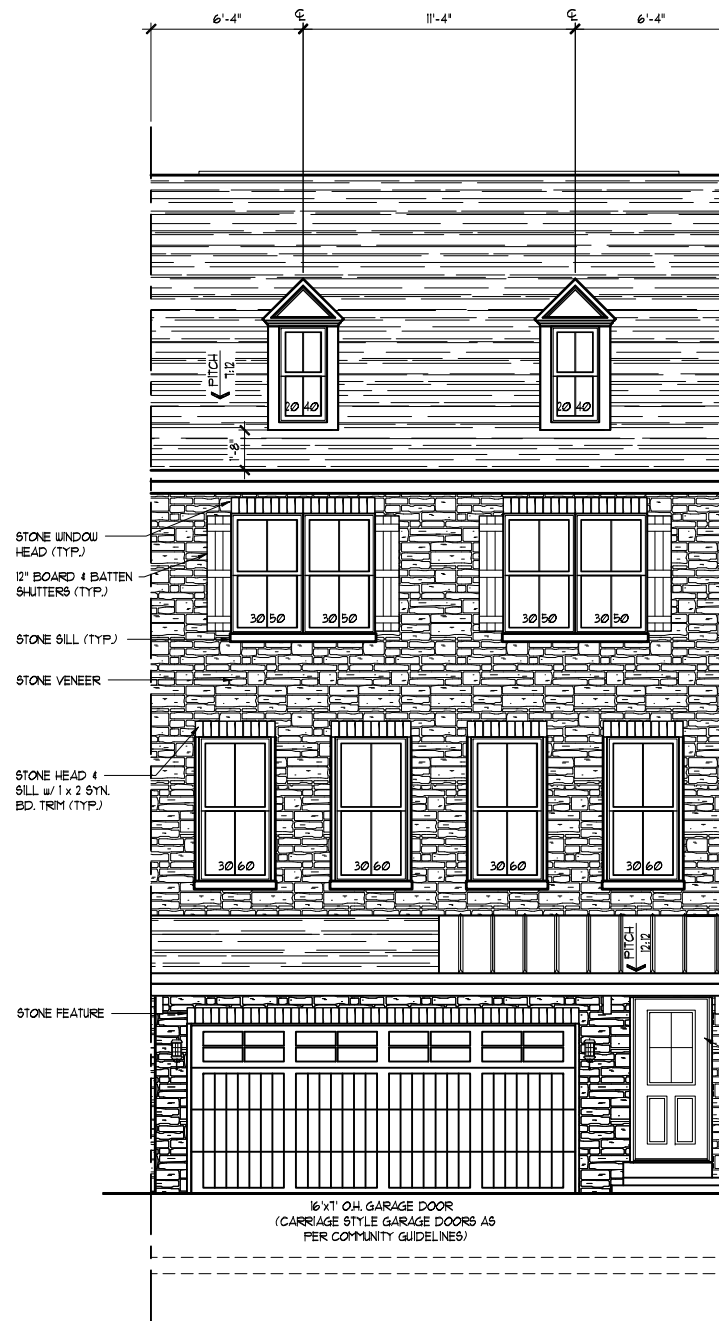
date	revision	by

SHEET #
3.2A

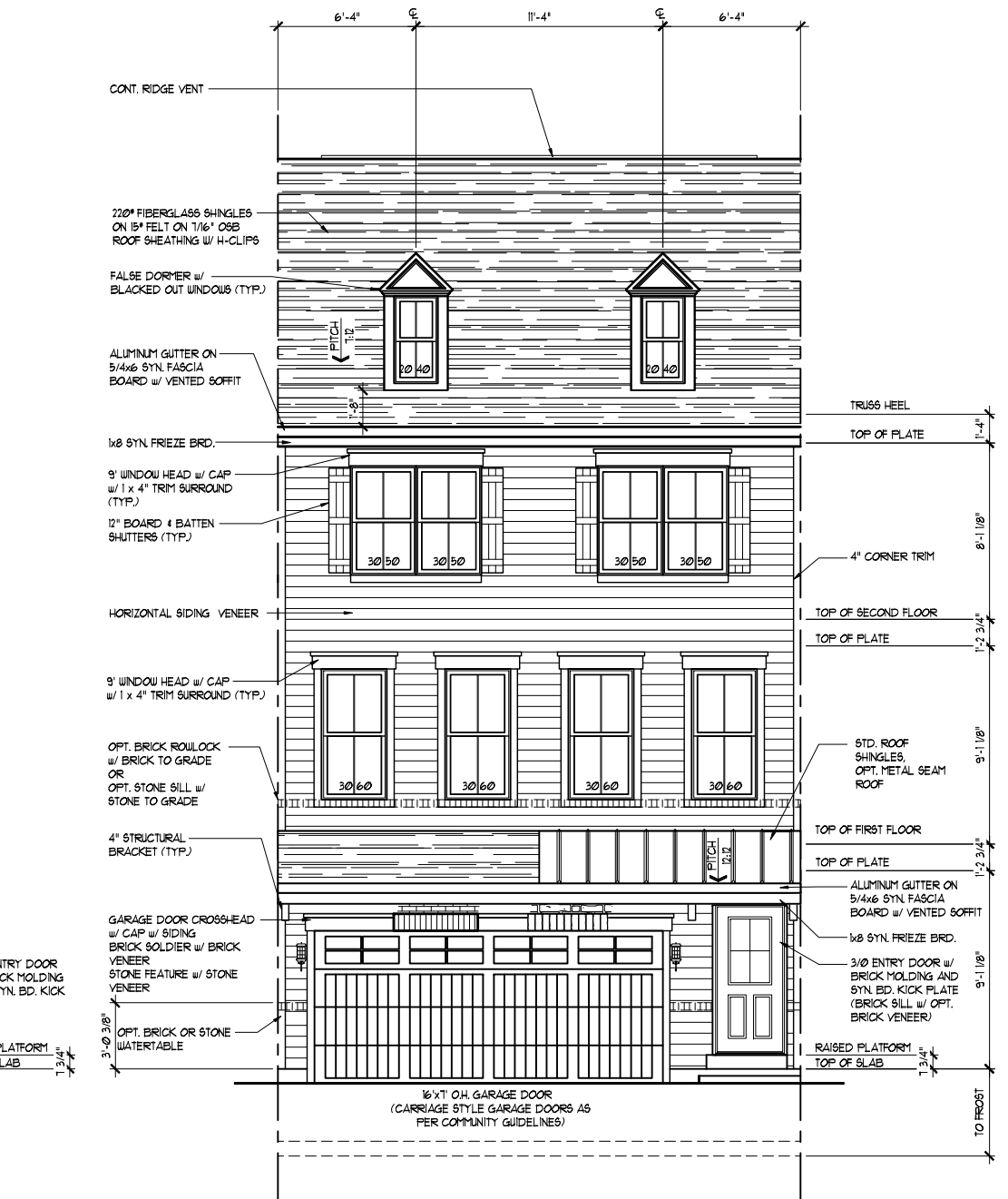
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license number: 5624
expiration date: 04-09-2024



**ELEVATION #3
w/ BRICK VENEER**
SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"



**ELEVATION #3
w/ STONE VENEER**
SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"



**ELEVATION #3
w/ SIDING VENEER**
SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"

NOTE:
OPT. SIDE ENTRY IS NOT
AVAILABLE w/ ELEVATION #3

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content: **FRONT ELEVATION 3**
date: 03/05/19
drawn: ACI
scale: 1" = 4' (34x22) file: 172111_3.3
U.N.O. 1" = 8' (17x11)
TIMBERLAKE HOMES
LIBERTY
title

date	revision	by

SHEET #
3.3

Professional Certification
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license number: 5821
expiration date: 04-09-2024

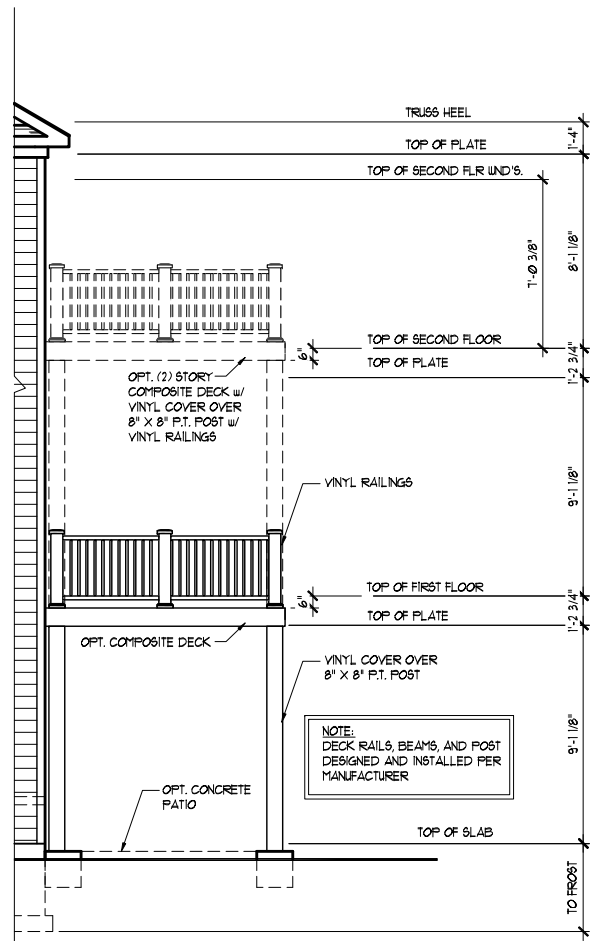


RIGHT SIDE ELEVATION w/ OPT. END UNIT ELEVATION #3

SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"

NOTE:
OPT. WINDOW TRIM AS REQUIRED WITH HIGH VISIBILITY OR AS PER COMMUNITY REQUIREMENTS.

NOTE:
OPT. SIDE ENTRY IS NOT AVAILABLE w/ ELEVATION #3



OPT. REAR DECK

SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"

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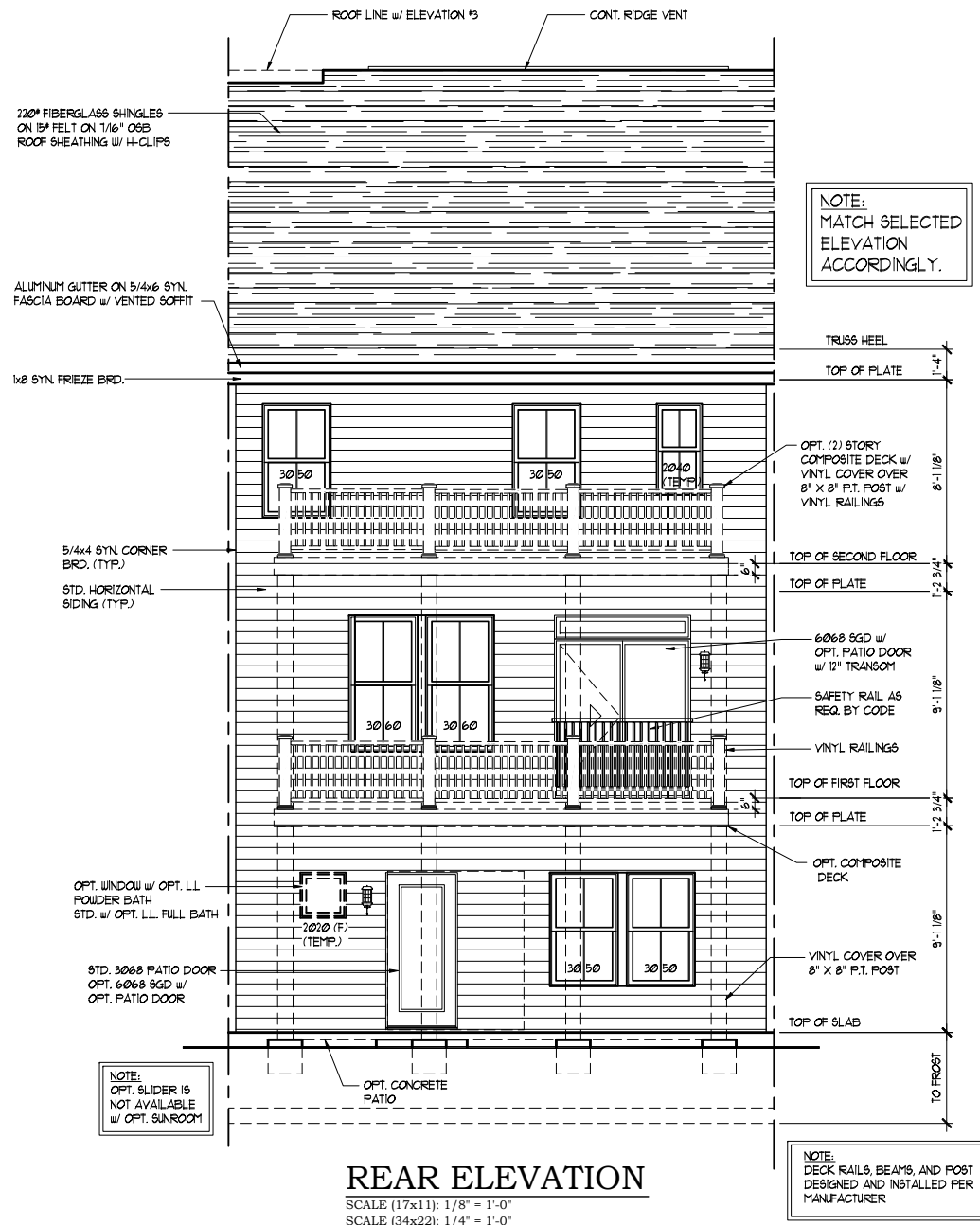
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content: **ELEV 3 OPT. END UNIT**
scale: 1" = 4' (34x22) file: 3.3A date: 03/05/19
U.N.O. 1" = 8' (17x11) 3.3A drawn: ACI
TIMBERLAKE HOMES
LIBERTY
title

date	revision	by

SHEET #
3.3A

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REAR ELEVATION

SCALE (17x11): 1/8" = 1'-0"
 SCALE (34x22): 1/4" = 1'-0"

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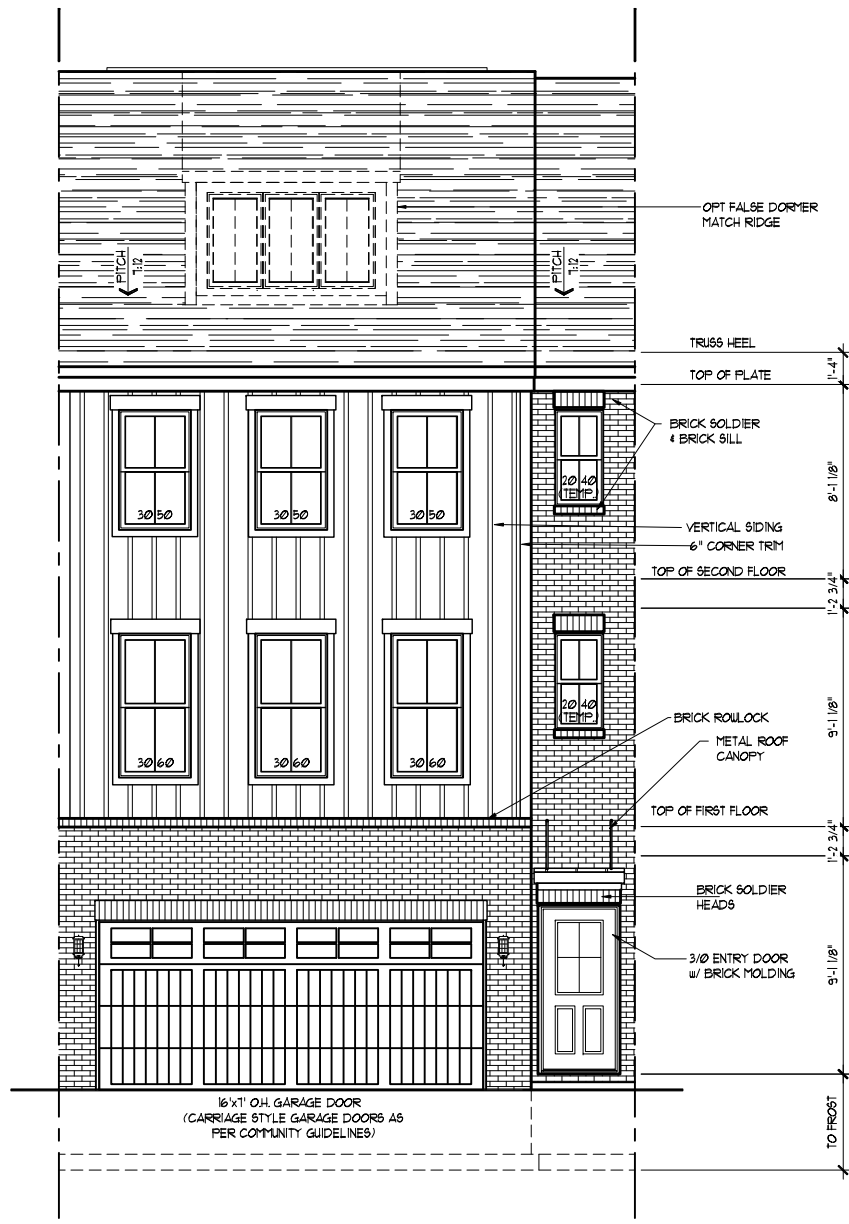
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 Tel.: (410) 465-7500 Fax: (410) 465-0903

content	
REAR ELEVATION	date: 03/05/19
scale: 1" = 4' (34x22) U.N.O. 1" = 8' (17x11)	file: 3.4 drawn: ACI
title	
TIMBERLAKE HOMES LIBERTY	

date	revision	by

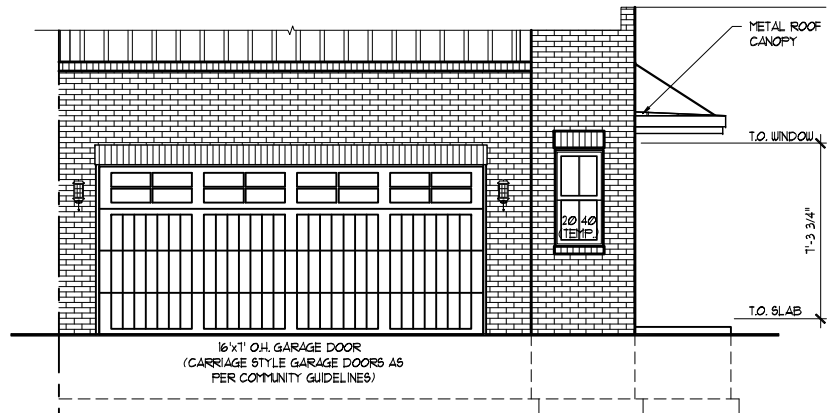
SHEET #
3.4

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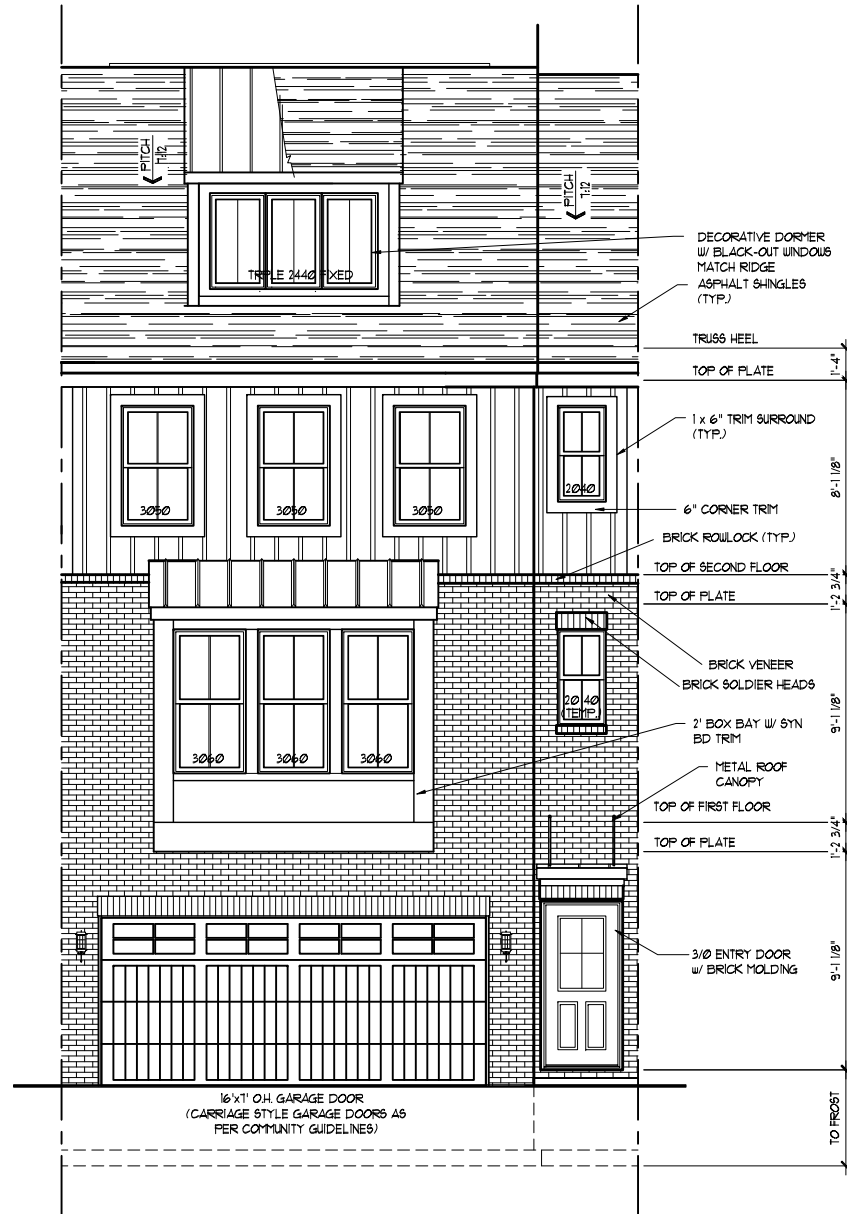
ELEVATION #U-1

SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"



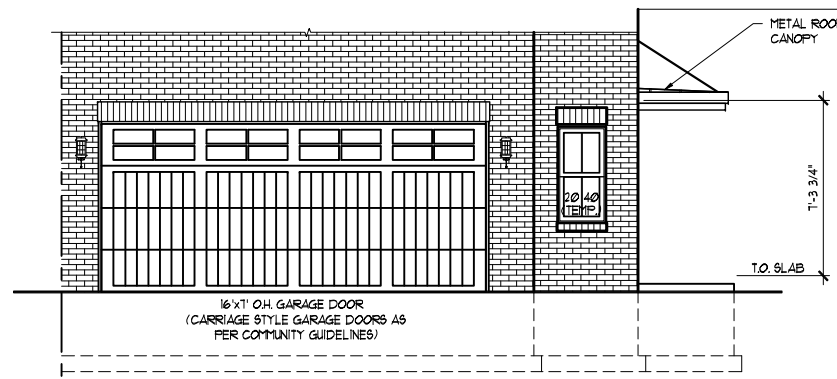
ELEVATION #U-1- OPT. SIDE ENTRY (OPT. END UNIT)

SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"



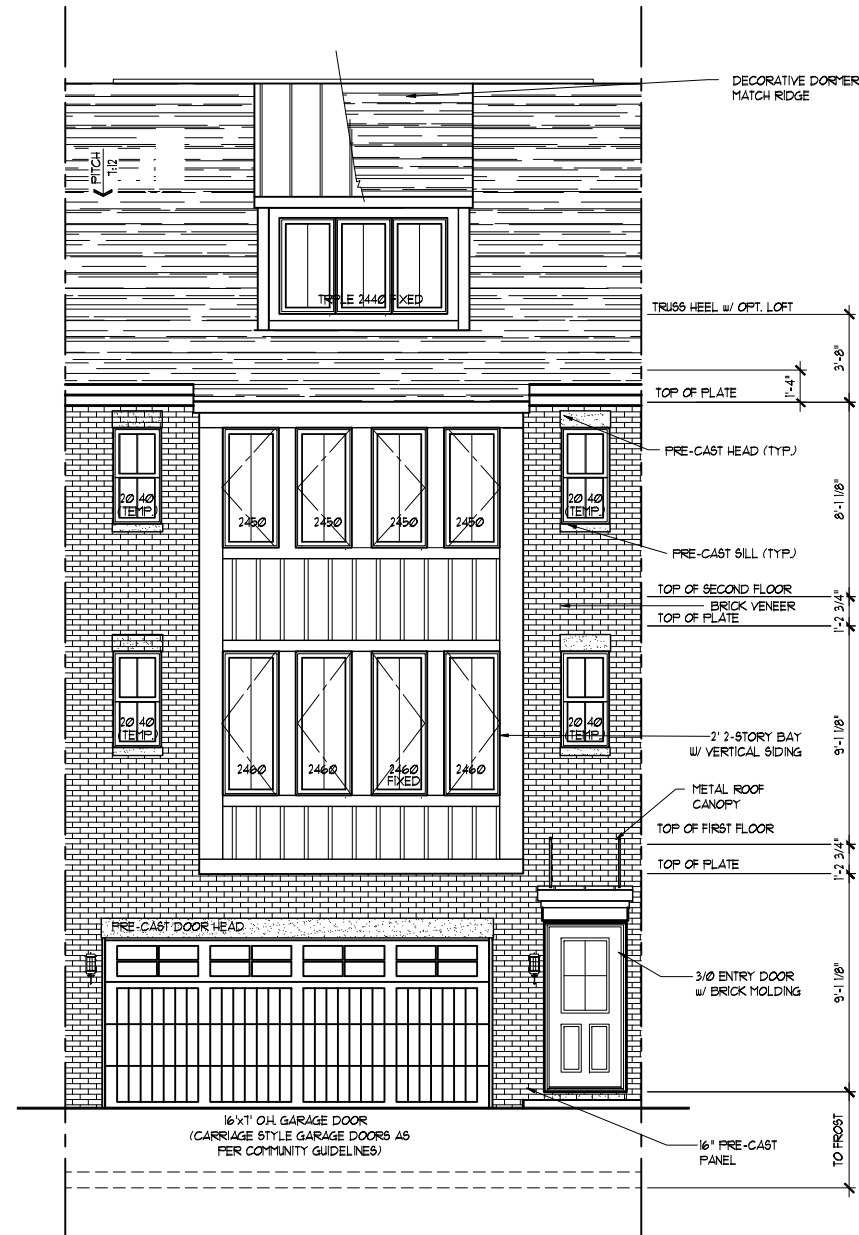
ELEVATION #U-2

SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"



ELEVATION #U-2 - OPT. SIDE ENTRY (OPT. END UNIT)

SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"



ELEVATION #U-3

SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"

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content: **URBANESQUE ELEVATIONS**
date: 03/05/19
drawn: ACI
file: (34x22)
U.N.O. 1" = 8' (17x11) 3.5
title: **TIMBERLAKE HOMES LIBERTY**

date	revision

SHEET #
3.5

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license number: 5621
expiration date: 04-09-2024



**FAIRWOOD SQUARE
PROPOSED URBANESQUE STRIP ELEVATION - 24' WIDE TH - LIBERTY**

SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"

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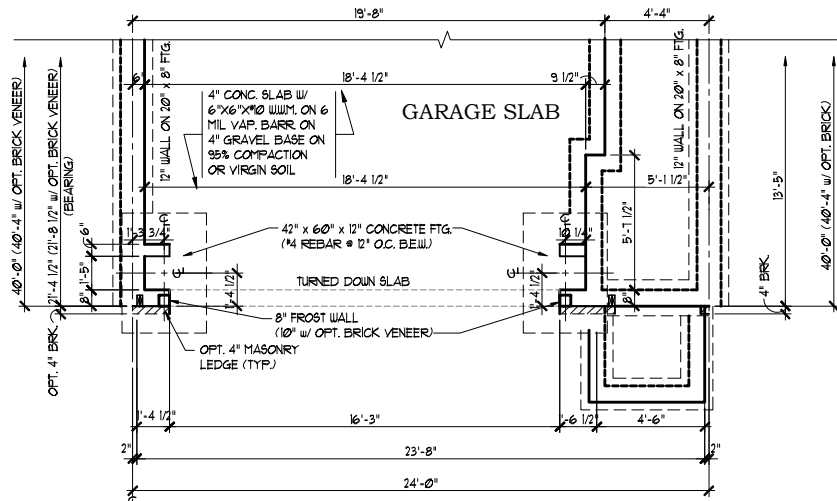
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Tel.: (410) 465-7500 Fax: (410) 465-0903

content: **PROPOSED STRIP ELEVATION - LIBERTY**
scale: 1"=4' (34x22) file: draw: ACI date: 03/05/19
U.N.O. 1"=8' (17x11) 3.6
TIMBERLAKE HOMES
LIBERTY
title

date	revision	by

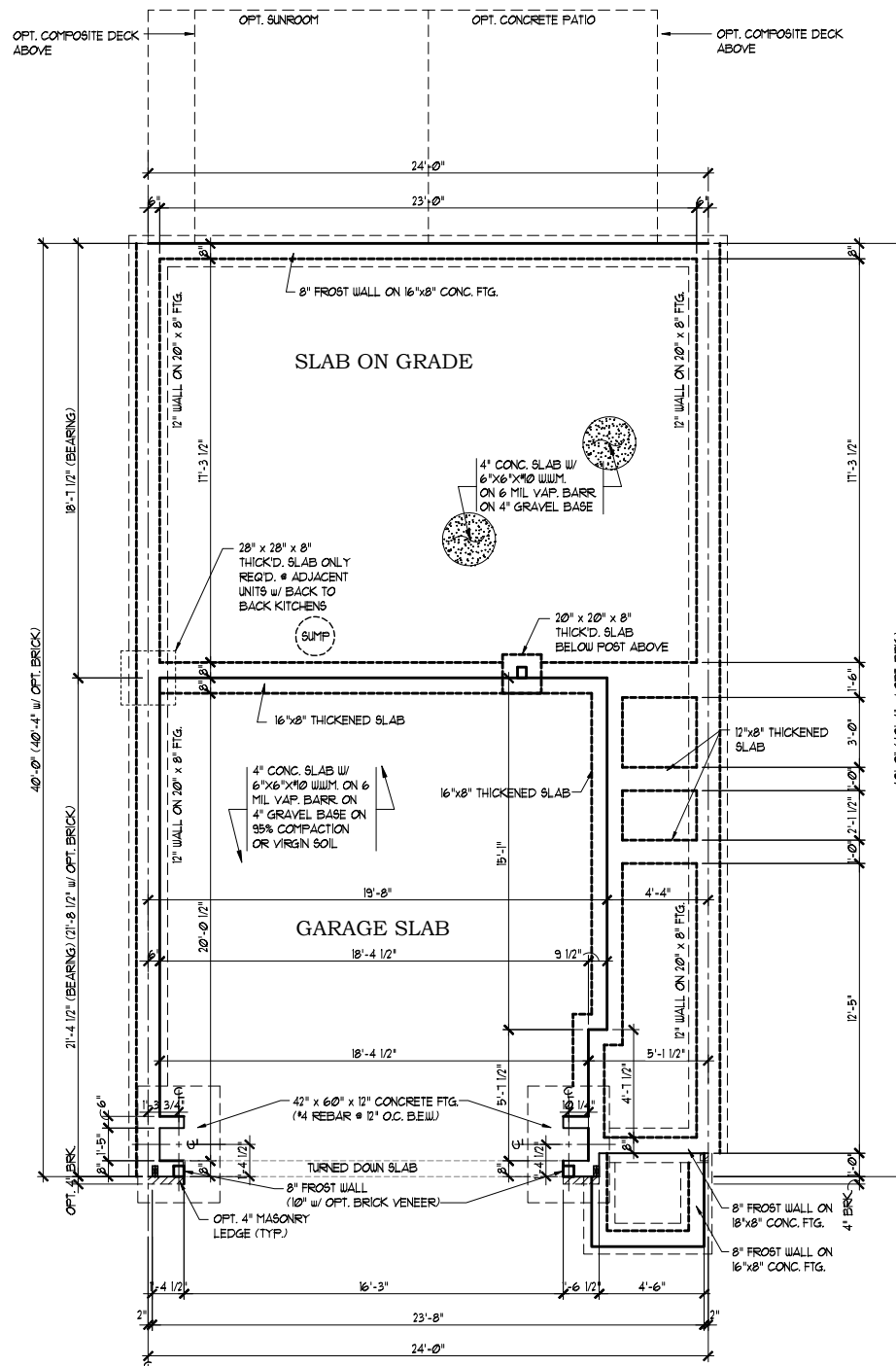
SHEET #
3.6

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expiration date: 04-09-2024



**ELEV. #3, #U-3
FOUNDATION PLAN**

SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"



**ELEVATIONS #1, #U-1, #2, #U-2
FOUNDATION PLAN**

SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"

MULHERN & KULP HAS REVIEWED THESE PLANS FOR FOOTING DESIGN ONLY. ALL OTHER GRAVITY DESIGN BY OTHERS.

DESIGN LOADS:
ROOF DEAD LOAD = 11 PSF (TRUSSES)
GROUND SNOW LOAD = 30 PSF
FLOOR DEAD LOAD = 10 PSF
FLOOR LIVE LOAD = 30 PSF (SLEEPING AREAS)
FLOOR LIVE LOAD = 40 PSF
ALLOWABLE SOIL BEARING PRESSURE = 2500 PSF

FOUNDATION NOTES

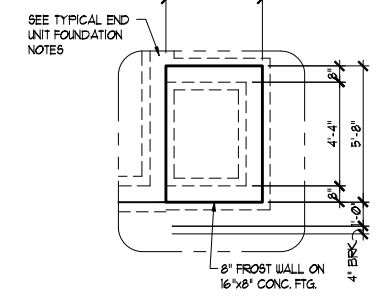
SECTION R-300
FOOTINGS AND SLABS ON GRADE SHALL BEAR ON UNDISTURBED VIRGIN SOIL OR 95% COMPACTED FILL.

SECTION R-310
1. BASEMENTS SHALL HAVE A MINIMUM OF ONE EMERGENCY ESCAPE AND RESCUE OPENING THAT SHALL OPEN DIRECTLY INTO A PUBLIC WAY.
2. SLEEPING ROOMS IN BASEMENTS THAT ARE PROTECTED BY AN AUTOMATIC FIRE SPRINKLER SYSTEM ARE NOT REQUIRED TO HAVE AN EMERGENCY ESCAPE AND RESCUE OPENING (AS PER CODE).

SECTION R-302.13
FLOOR ASSEMBLIES LOCATED DIRECTLY OVER A SPACE THAT IS NOT PROTECTED BY AN AUTOMATIC FIRE SPRINKLER SYSTEM SHALL BE:
(A) CONSTRUCTED OF NOMINAL 2"x10" OR GREATER DIMENSIONAL LUMBER
-OR-
(B) PROVIDED WITH 1/2" GYPSUM WALLBOARD MEMBRANE OR AN APPROVED FIRE-PROTECTIVE COVERING (AS PER CODE)

TYPICAL END UNIT FOUNDATION:

- SIDING / STONE:
8" WALL ON 16"x8" CONC. FT'G.
- BRICK:
10" WALL w/ 4" BRICK LEDGE ON 18"x8" CONC. FT'G.



**END UNIT w/
OPT. SIDE ENTRY
(w/ ELEV. #1, #1-U OR #2, #U-2 ONLY)**
SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"

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expiration date: 04-09-2024

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FOUNDATION PLAN
date: 03/05/19
drawn: ACI
file: (34x22)
U.N.O. 1" = 8" (17x11) 1/4"

TIMBERLAKE HOMES
LIBERTY

SHEET #
4.1

revision

date

by

content

File Name: Z:\CLIENT\TIMBERLAKE\172024\SHEETS\4.1.DWG

FOUNDATION NOTES

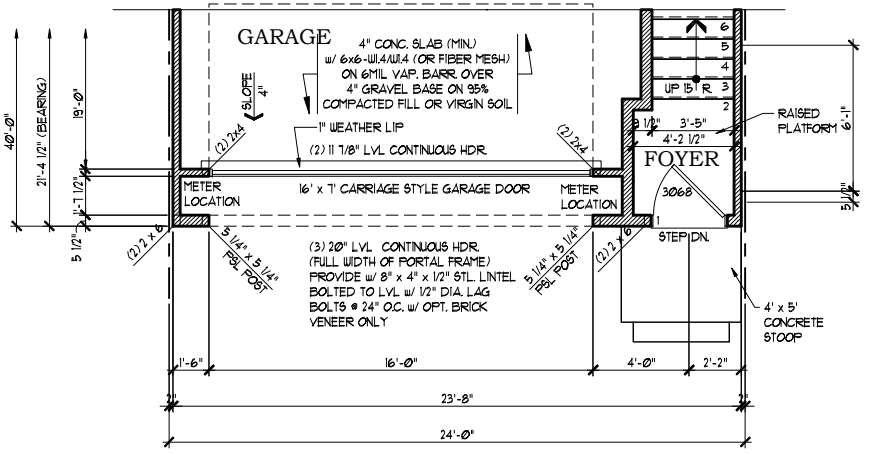
SECTION R-506
FOOTINGS AND SLABS ON GRADE SHALL BEAR ON UNDISTURBED VIRGIN SOIL OR 95% COMPACTED FILL.

SECTION R-310
1. BASEMENTS SHALL HAVE A MINIMUM OF ONE EMERGENCY ESCAPE AND RESCUE OPENING THAT SHALL OPEN DIRECTLY INTO A PUBLIC WAY.
2. SLEEPING ROOMS IN BASEMENTS THAT ARE PROTECTED BY AN AUTOMATIC FIRE SPRINKLER SYSTEM ARE NOT REQUIRED TO HAVE AN EMERGENCY ESCAPE AND RESCUE OPENING (AS PER CODE).

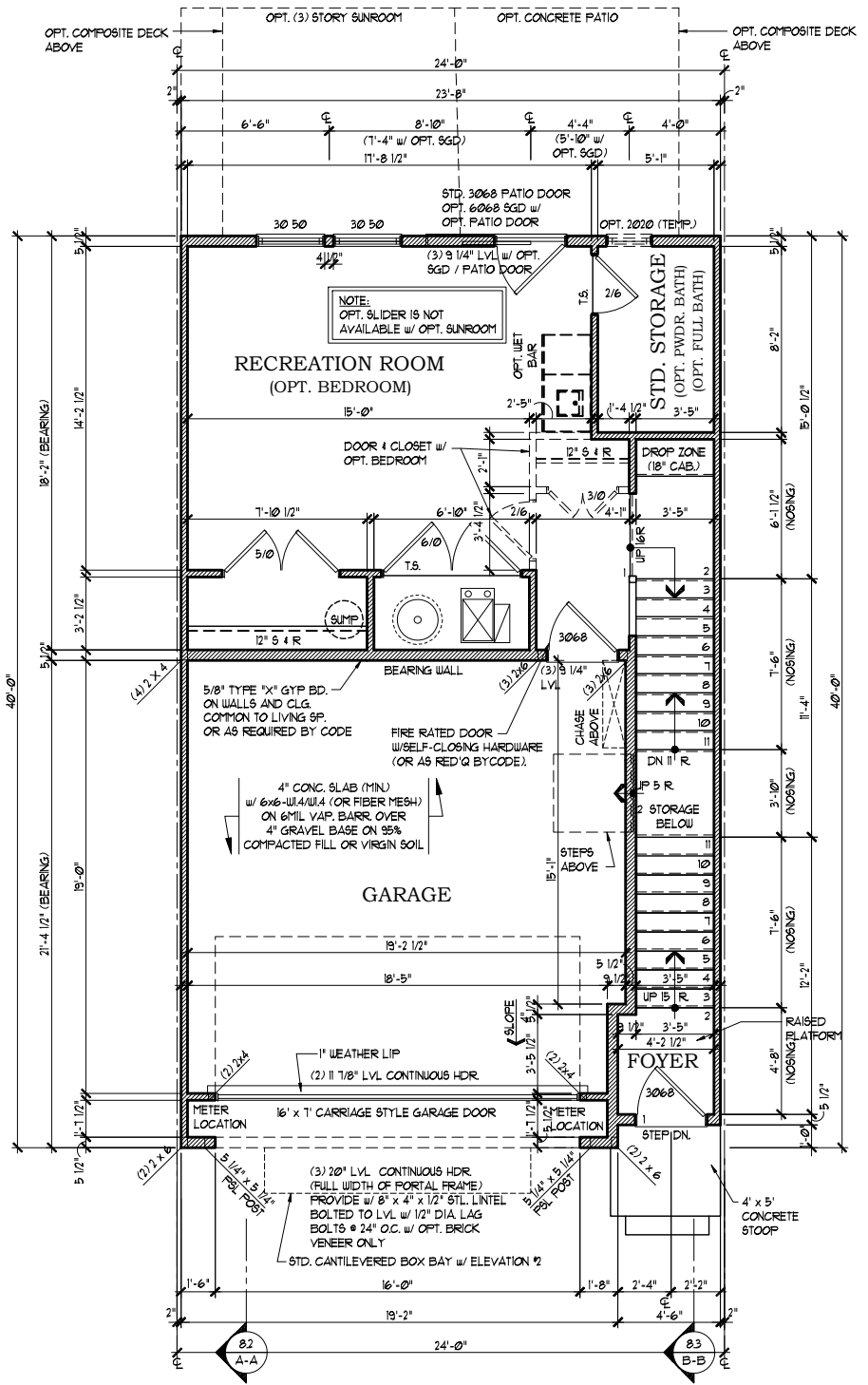
SECTION R-302.13
FLOOR ASSEMBLIES LOCATED DIRECTLY OVER A SPACE THAT IS NOT PROTECTED BY AN AUTOMATIC FIRE SPRINKLER SYSTEM SHALL BE:
(A) CONSTRUCTED OF NOMINAL 2" x 10" OR GREATER DIMENSIONAL LUMBER
-OR-
(B) PROVIDED WITH 1/2" GYPSUM WALLBOARD MEMBRANE OR AN APPROVED FIRE-PROTECTIVE COVERING (AS PER CODE)

FRAMING NOTES:

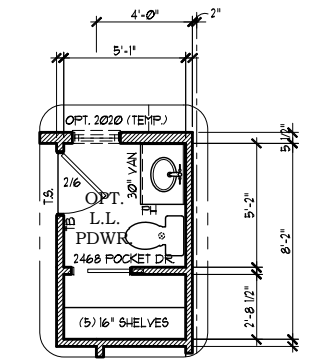
1. ALL EXTERIOR WALLS ARE TO BE 2x6 STUDS FRAMED @ 24" O.C., UNLESS NOTED OTHERWISE.
2. ALL INTERIOR WALLS ARE TO BE 2x4 STUDS FRAMED @ 16" O.C., UNLESS NOTED OTHERWISE.
3. SOLID BLOCK ALL BEAMS & HEADERS (GREATER THAN 4") w/ (1) 2x KING STUD. THE NUMBER OF STUDS SPECIFIED AT A SUPPORT INDICATES THE NUMBER OF JACK STUDS REQUIRED (TYP) UNLESS NOTED OTHERWISE.
4. (2) 2 x 10 HEADERS (TYP) AT OPENINGS LESS THAN 12" UNLESS NOTED OTHERWISE.
5. (3) 2 x 10 HEADERS AT OPENINGS 12" OR GREATER UNLESS NOTED OTHERWISE.
6. SUB-FLOOR SHALL BE 3/4" THICK (MIN) TONGUE & GROOVE TO MEET APA STANDARD.



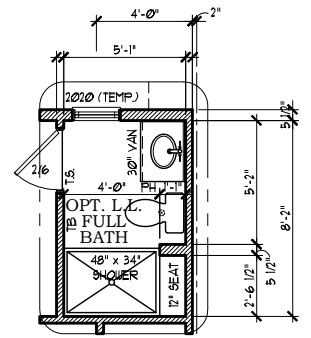
LOWER LEVEL PLAN: ELEVATION #3, #U-3
SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"



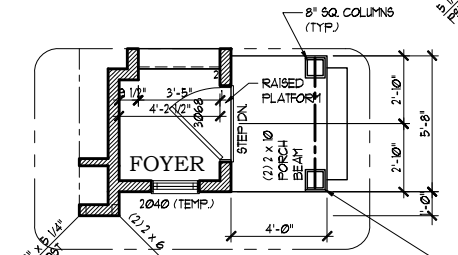
LOWER LEVEL PLAN: ELEVATION #1, #U-1, OR #2, #U-2
SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"



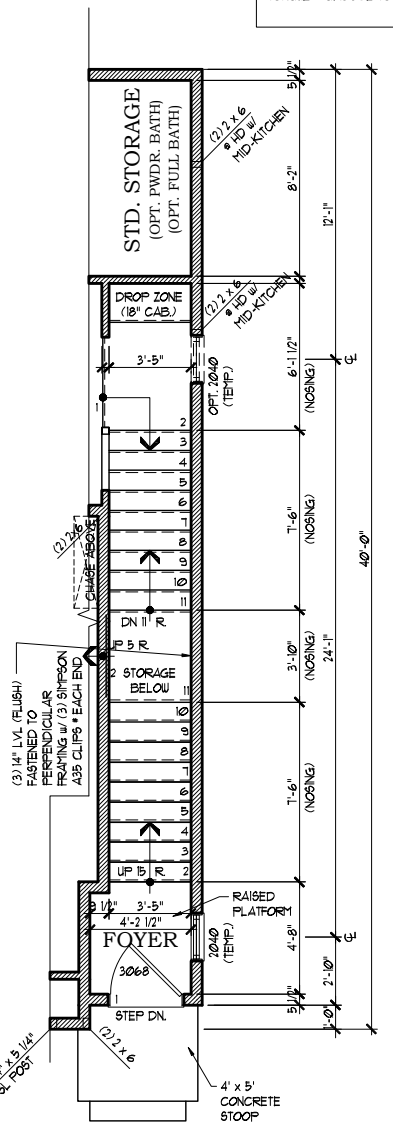
OPT. L.L. PWDR. BATH
SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"



OPT. L.L. FULL BATH
SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"



END UNIT w/ OPT. SIDE ENTRY
(w/ ELEV. #1, #U-1 OR #2, #U-2 ONLY)
SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"



END UNIT LOWER LEVEL
SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"

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LOWER LEVEL PLAN
date: 03/05/19
drawn: ACI
file: (34x22)
U.N.O. 1" = 8' (17x11) 4.2
TIMBERLAKE HOMES
LIBERTY
title

date	revision	by

SHEET #
4.2

Professional Certification
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license number: 5621
expiration date: 04-09-2024

TIMBERLAKE HOMES

304 HARRY S. TRUMAN PARKWAY, SUITE M
ANNAPOLIS, MD. 21401

TEL 301-350-0400
FAX 301-336-0885

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"ROLAND"

24' x 44' TOWNHOUSE

LOWER LEVEL	641 SQ. FT.
FIRST FLOOR	1099 SQ. FT.
SECOND FLOOR	1091 SQ. FT.
TOTAL	2831 SQ. FT.

ELEVATION #3	+15 SQ. FT.
OPT. LOFT	+418 SQ. FT.
OPT. LOFT w. BEDROOM	+520 SQ. FT.

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PG	PG SHEET
2.0	IRC GENERAL NOTES
2.1	RES-CHECK COMPLIANCE FORMS
2.2	IECC COMPLIANCE NOTES
3.1	FRONT ELEVATION 1
3.1A	FRONT ELEVATION 1_OPT. LOFT
3.1B	ELEV 1 OPT. END UNIT
3.2	FRONT ELEVATION 2
3.2A	FRONT ELEVATION S_OPT. LOFT
3.2B	ELEV 2 OPT. END UNIT
3.3	FRONT ELEVATION 3
3.3A	ELEV 3 OPT. END UNIT
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LB-6	FIRST FLOOR LB-REAR KITCHEN
LB-6A	FIRST FLOOR LB-MID KITCHEN
LB-7	SECOND FLOOR LATERAL BRACING PLANS
LB-8	OPT. LOFT LATERAL BRACING

REVISIONS		
DATE	COMMENTS	BY
03-15-2019	PRELIMINARY PLANS	SF
05-28-2019	MID-POINT REVIEW	AJH
06-18-2019	RE-DESIGN_MID-POINT REVIEW	AJH
07-17-2019	CLIENTS COMMENTS	AJH
07-31-2019	ADDED STRUCTURE AND LATERL BRACING TO SET	AJH
08-30-2019	REVISED LOFT, MISC. STRUCTURAL & PG SHEET	SF
09-24-2019	ADDED LOFT ROOF & FLOOR FRAMING, MISC. DETAILS	RC
11-26-19	REVISED BASEMENT STAIRS & CLARIFY LATERAL DESIGN	SF
12-18-2019	FOOTING COORDINATION PER ENGINEER	RC
04-21-2022	2018 CODE UPDATE- URBANESQUE ELEV ADDED	TPF
05-16-2022	PERMIT SET	TPF

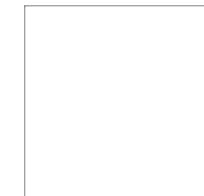
ALL WORK SHALL COMPLY WITH 2018 INTERNATIONAL RESIDENTIAL CODE W/ AMENDMENTS

WALL BRACING SHALL BE IN ACCORDANCE WITH ENGINEERED DESIGN and CONTINUOUSLY SHEATHED W/ 7/16" WOOD SHEATHING

FLOOR FRAMING TO BE 14" ENGINEERED FLOOR SYSTEM (DESIGNED BY TRUSS MANUFACTURER)

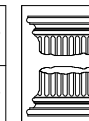
** THE LOCAL JURISDICTION SHALL FILL IN THIS TABLE WITH LOCAL CLIMATIC AND GEOGRAPHIC CRITERIA **

2018 CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA:					PRINCE GEORGES COUNTY MARYLAND								
GROUND SNOW LOAD	WIND DESIGN				SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP.	ICE BARRIER UNDERLAYMENT REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP.
	Speed (mph)	Topographic Effects	Special Wind Region	Windborne Debris Zone		Weathering	Frost Line Depth	Termite					
35 PSF	115	B			A/B	SEVERE	30"	MODERATE TO HEAVY					



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expiration date: 04-03-2024

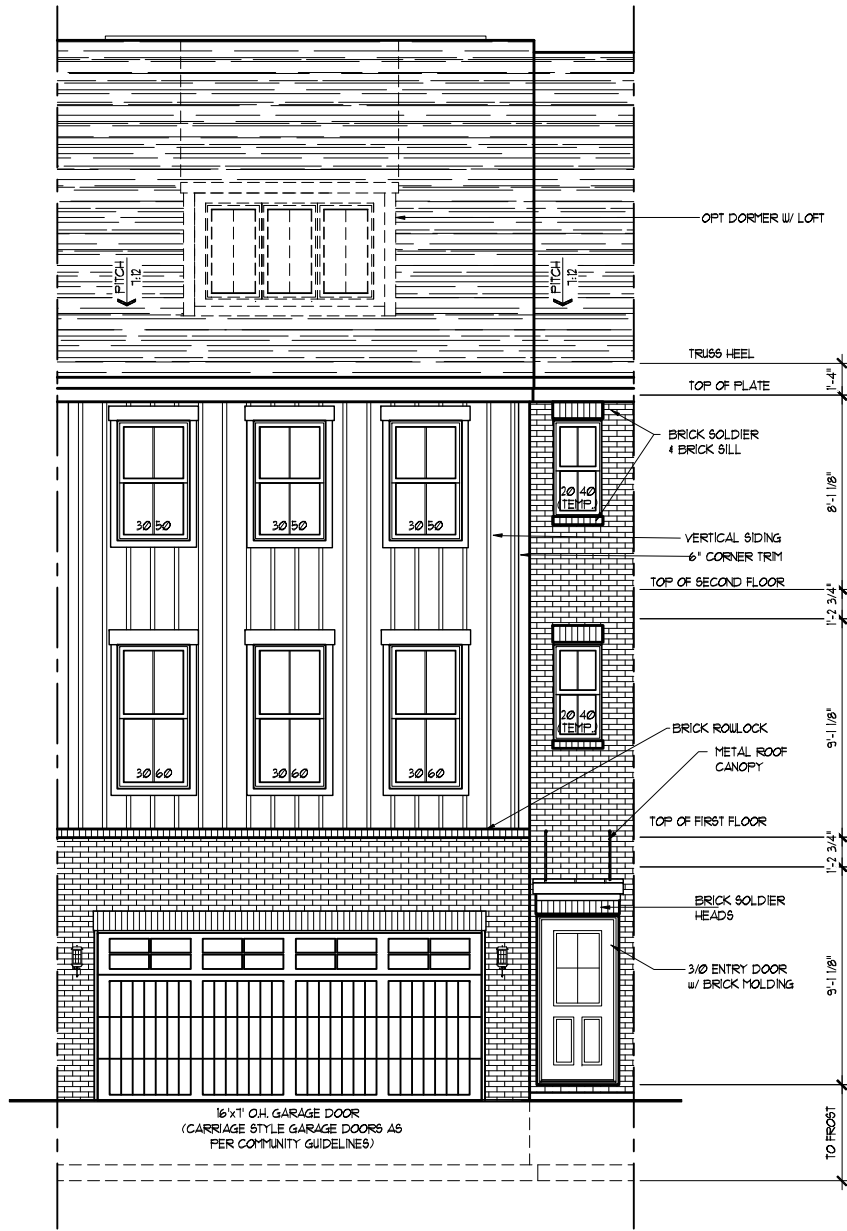
STRUCT. REVIEW	05-16-2022
PROJECT REVIEW	05-16-2022



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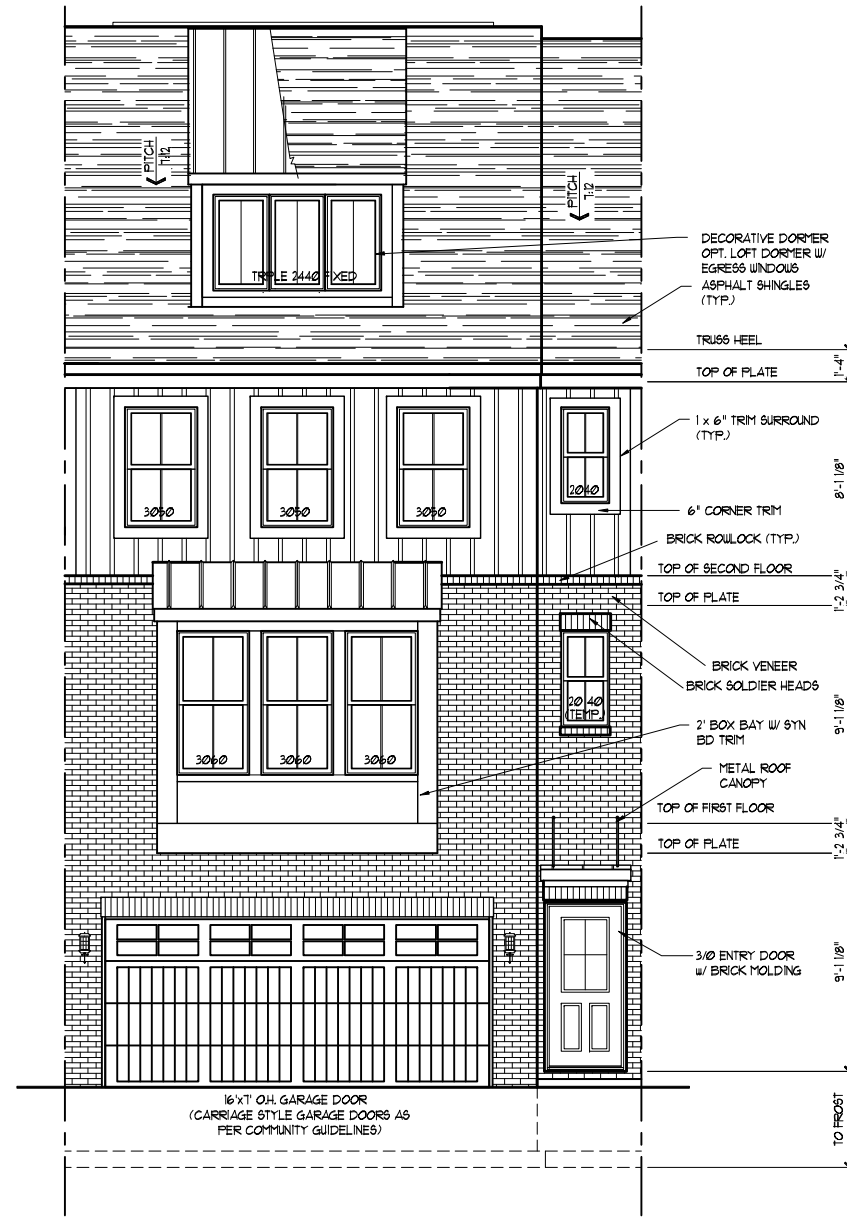
ROLAND

TL182324



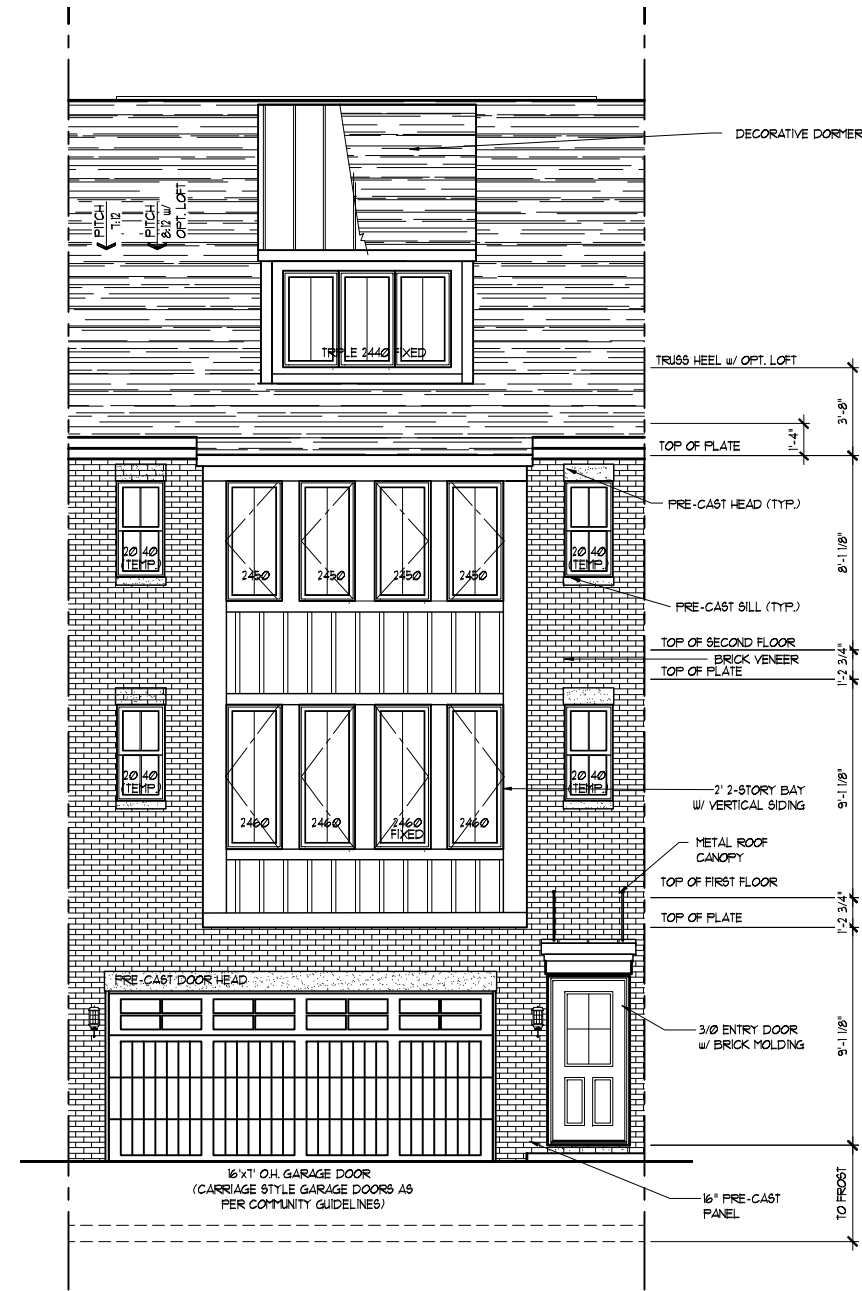
ELEVATION #1

SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"



ELEVATION #2

SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"



ELEVATION #3

SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"



ELEVATION #1- OPT. SIDE ENTRY (OPT. END UNIT)

SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"

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content: **URBANESQUE ELEVATIONS**
scale: 1"=4' (34x22) file: **ACI** date: **03/15/19**
U.N.O. 1"=8' (17x11) 3.5
title: **TIMBERLAKE HOMES**
ROLAND

date	revision

SHEET #
3.5

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expiration date: **04-09-2024**



**FAIRWOOD SQUARE
PROPOSED STRIP ELEVATION - 24' WIDE TH - ROLAND**

SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"

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content	PROPOSED STRIP ELEVATION - ROLAND
drawn	ACI
date	03/15/19
scale: 1" = 4'	(34x22)
U.N.O. 1" = 8'	(17x11)
file:	3.6
title	TIMBERLAKE HOMES ROLAND

date	revision	by

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expiration date: 04-05-2024
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FOUNDATION NOTES

SECTION R-506
FOOTINGS AND SLABS ON GRADE SHALL BEAR ON UNDISTURBED VIRGIN SOIL OR 95% COMPACTED FILL.

SECTION R-310
1. BASEMENTS SHALL HAVE A MINIMUM OF ONE EMERGENCY ESCAPE AND RESCUE OPENING THAT SHALL OPEN DIRECTLY INTO A PUBLIC WAY.
2. SLEEPING ROOMS IN BASEMENTS THAT ARE PROTECTED BY AN AUTOMATIC FIRE SPRINKLER SYSTEM ARE NOT REQUIRED TO HAVE AN EMERGENCY ESCAPE AND RESCUE OPENING (AS PER CODE).

SECTION R-30213
FLOOR ASSEMBLIES LOCATED DIRECTLY OVER A SPACE THAT IS NOT PROTECTED BY AN AUTOMATIC FIRE SPRINKLER SYSTEM SHALL BE:
(A) CONSTRUCTED OF NOMINAL 2"x10" OR GREATER DIMENSIONAL LUMBER
-OR-
(B) PROVIDED WITH 1/2" GYPSUM WALLBOARD MEMBRANE OR AN APPROVED FIRE-PROTECTIVE COVERING (AS PER CODE)

FRAMING NOTES:

1. ALL EXTERIOR WALLS ARE TO BE 2x6 STUDS FRAMED @ 24" O.C., UNLESS NOTED OTHERWISE.

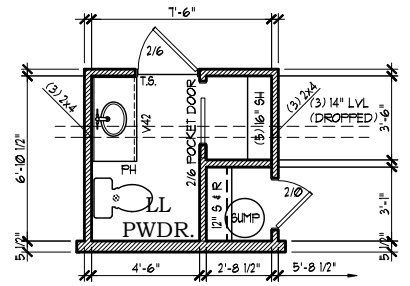
2. ALL INTERIOR WALLS ARE TO BE 2x4 STUDS FRAMED @ 16" O.C., UNLESS NOTED OTHERWISE.

3. SOLID BLOCK ALL BEAMS & HEADERS (GREATER THAN 4") w/ (1) 2x JACK STUD & (1) 2x KING STUD. THE NUMBER OF STUDS SPECIFIED AT A SUPPORT INDICATES THE NUMBER OF JACK STUDS REQUIRED (TYP) UNLESS NOTED OTHERWISE.

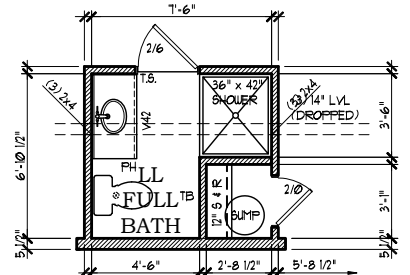
4. (2) 2 x 10 HEADERS (TYP) AT OPENINGS LESS THAN 12" UNLESS NOTED OTHERWISE.

5. (3) 2 x 10 HEADERS AT OPENINGS 12" OR GREATER UNLESS NOTED OTHERWISE.

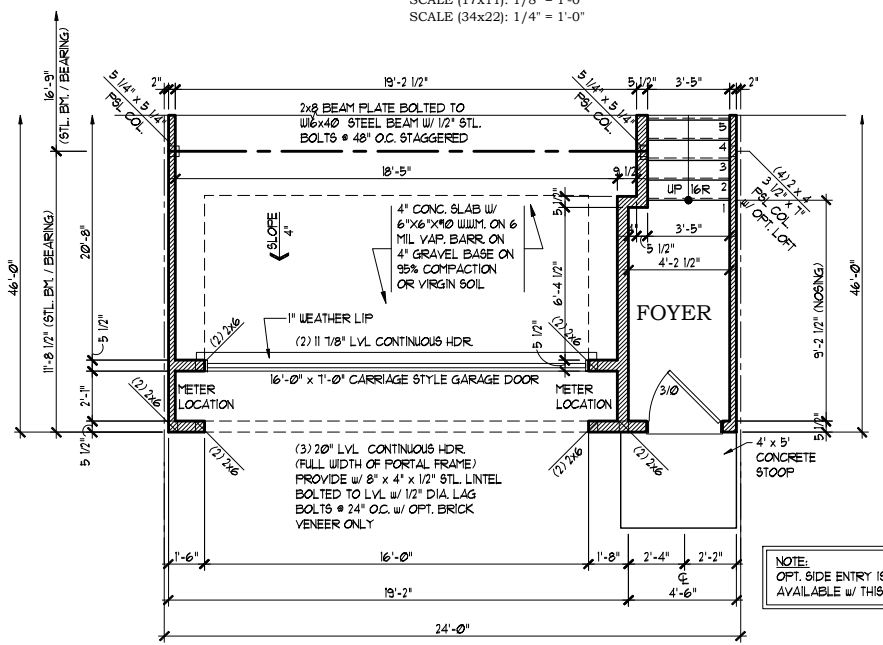
6. SUB-FLOOR SHALL BE 3/4" THICK (MIN) TONGUE & GROOVE TO MEET APA STANDARD.



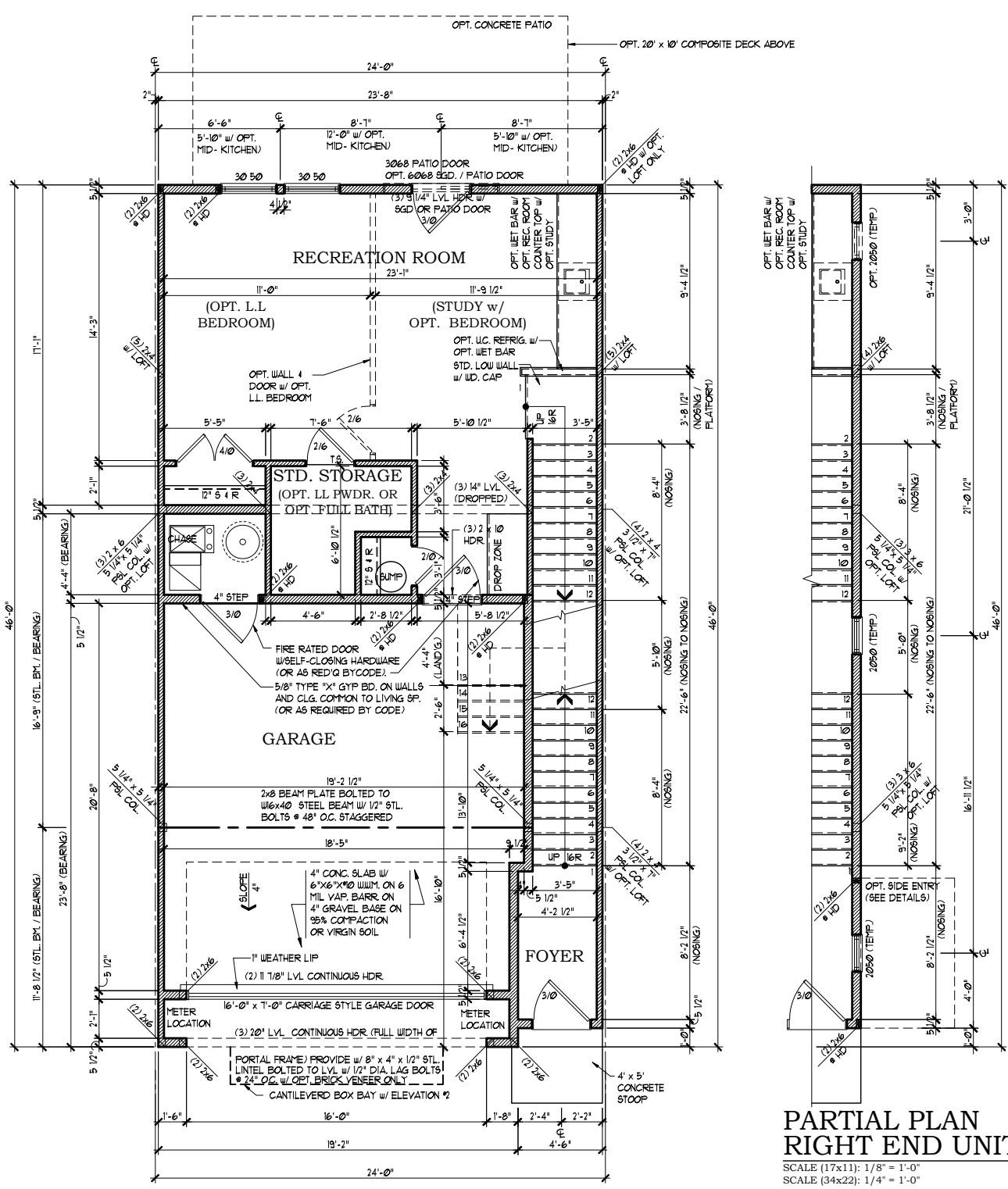
OPT. PWDR. BATH
SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"



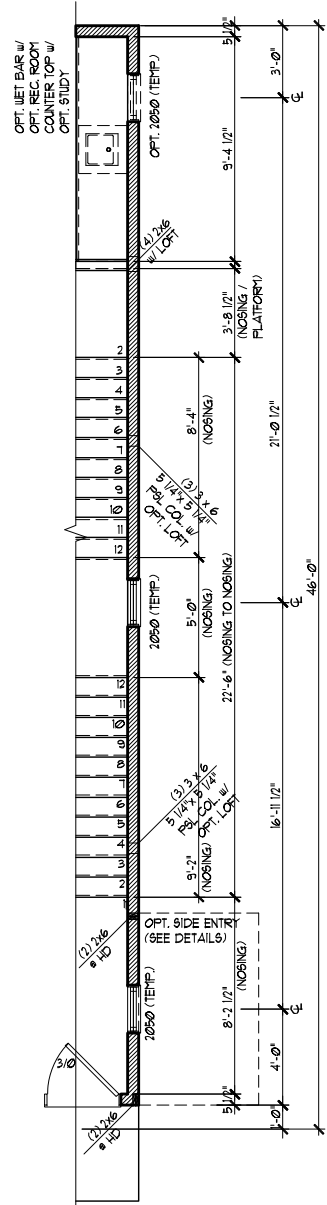
OPT. FULL L.L. BATH
SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"



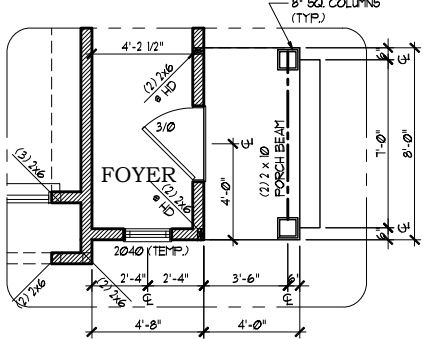
LOWER LEVEL PLAN: ELEVATION #3, #U-3
SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"



LOWER LEVEL PLAN: ELEVATION #1, #U-1, #2, #U-2
SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"



PARTIAL PLAN RIGHT END UNIT
SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"



END UNIT w/ OPT. SIDE ENTRY
SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"

ELECTRICAL NOTES:
CHAPTER 34

- PROVIDE SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS WIRED TO A NEARBY CIRCUIT (WITH BATTERY BACKUP) AND INTER-CONNECTED FOR SIMULTANEOUS ACTIVATION (AS REQUIRED BY CODE).
- ELECTRICAL OUTLETS LOCATED IN GARAGES, KITCHEN, POWDER ROOM, BATH ROOMS, LAUNDRY AREA, CRAMM SPACES AND THE EXTERIOR ARE TO BE GFCI PROTECTED AS REQUIRED BY CODE.
- PROVIDE SWITCH W/ KEYLESS LIGHT IN ATTIC SPACES.
- THESE DRAWINGS ARE SCHEMATIC ONLY.
- THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND INSTALLATION OF ALL ELECTRICAL SYSTEMS.
- ALL ELECTRICAL WORK SHALL MEET THE REQUIREMENTS OF THE NATIONAL ELECTRIC CODE, THE LOCAL POWER COMPANY AND ALL APPLICABLE CODES.
- FIXTURES AND APPARATUS ARE SELECTED BY THE BUILDER AND SHALL BE UL APPROVED.

ELECTRICAL SYMBOLS

⊕	DUPLEX OUTLET 18" AFF.
⊕42	DUPLEX OUTLET 42" AFF.
⊕18	DUPLEX OUTLET 18" AFF. HALF SWITCHED
⊕220	220 VOLT DUPLEX OUTLET
⊕UP	WATERPROOF RECEPTACLE
⊕GF	GROUND FAULT INTERRUPTER
⊕42	GROUND FAULT INTERRUPTER 42" AFF.
⊕	WALL SWITCH
⊕3	3-WAY WALL SWITCH
⊕4	4-WAY WALL SWITCH
⊕D	DIMMER WALL SWITCH
⊕F	EXHAUST FAN
⊕FL	FAN/LIGHT COMBO
⊕	LIGHT FIXTURE CEILING MOUNTED
⊕	LIGHT FIXTURE RECESSED LIGHT
⊕FC	FIXTURE FULL CHAIN
⊕	FLUORESCENT LIGHT FIXTURE
⊕	FLOOD LIGHTS
⊕	LIGHT FIXTURE WALL MOUNTED
⊕T	THERMOSTAT
⊕	JUNCTION BOX
⊕	DOOR CHIME
⊕	TELEPHONE JACK
⊕	TELEVISION JACK
⊕	GARBAGE DISPOSAL
⊕	SMOKE DETECTOR
⊕	CARBON MONOXIDE DETECTOR
⊕	COMBINATION SMOKE-CARBON DETECTOR
⊕EP	ELECTRIC PANEL
⊕EM	ELECTRIC METER
⊕I	INTERCOM
⊕IC	INTERCOM CONSOLE

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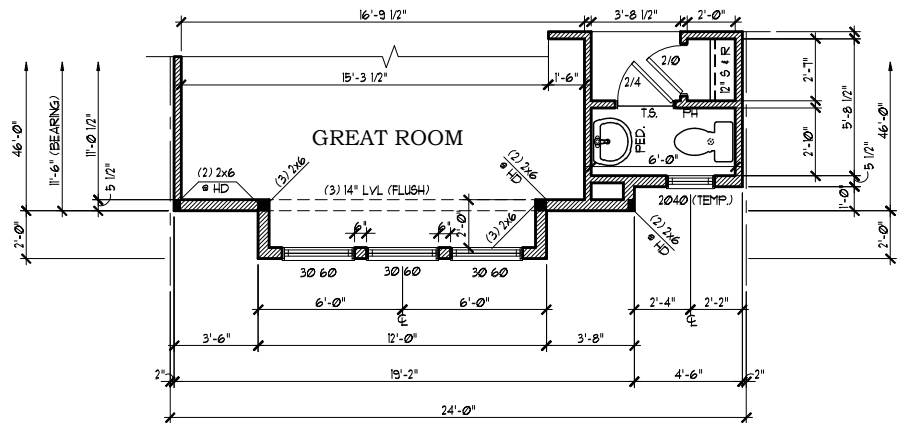
LOWER LEVEL PLAN
date: 03/15/19
drawn: ACI
file: (34x22)
U.N.O. 1" = 8' (17x11) 4.2

TIMBERLAKE HOMES
ROLAND

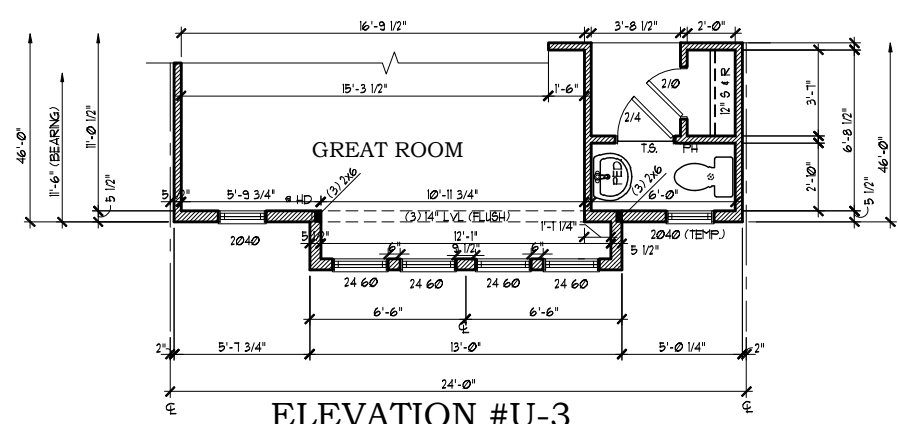
date	revision

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license number: 5621
expiration date: 04-09-2024

SHEET #
4.2

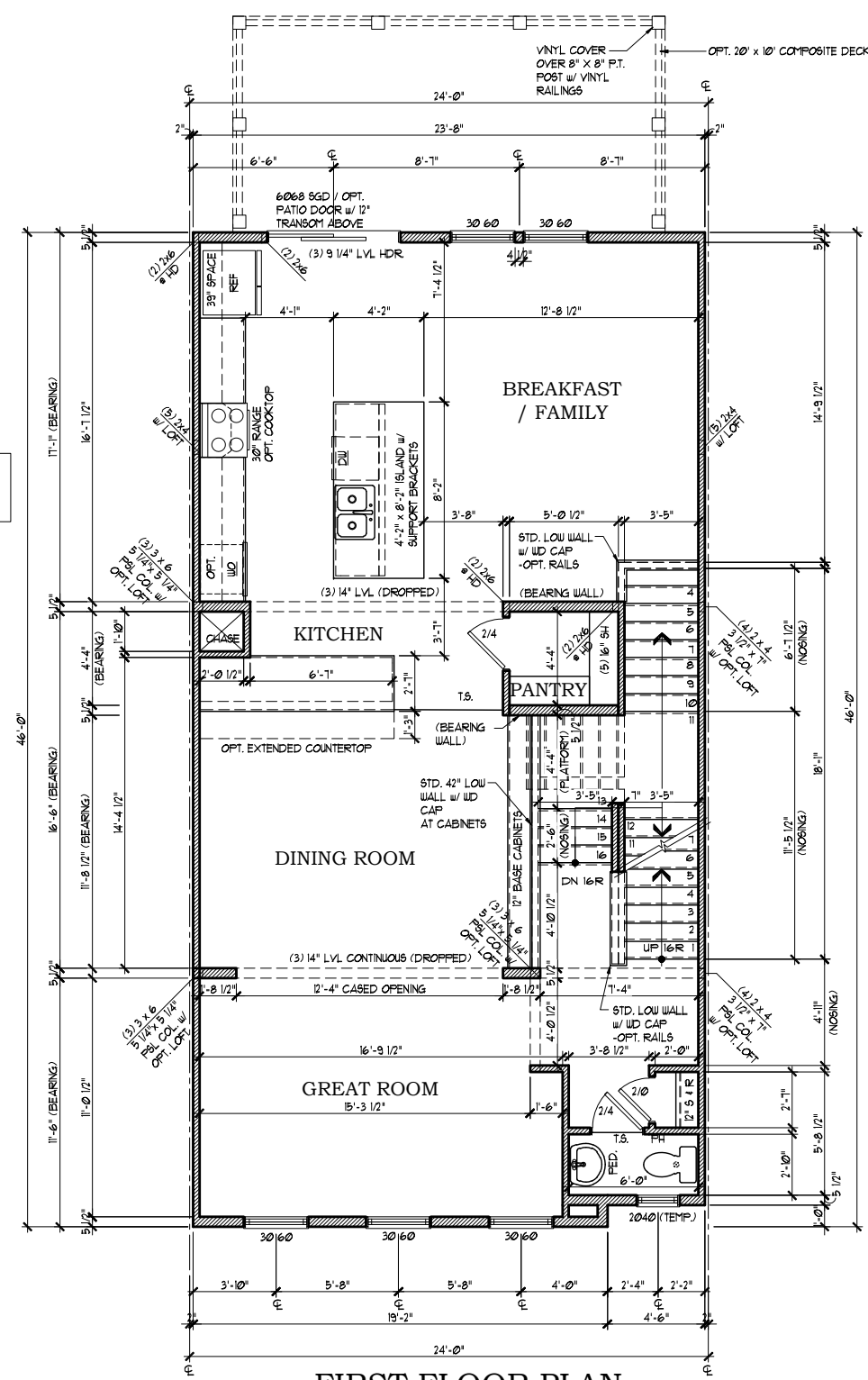


ELEVATION #U-2
 SCALE (17x11): 1/8" = 1'-0"
 SCALE (34x22): 1/4" = 1'-0"

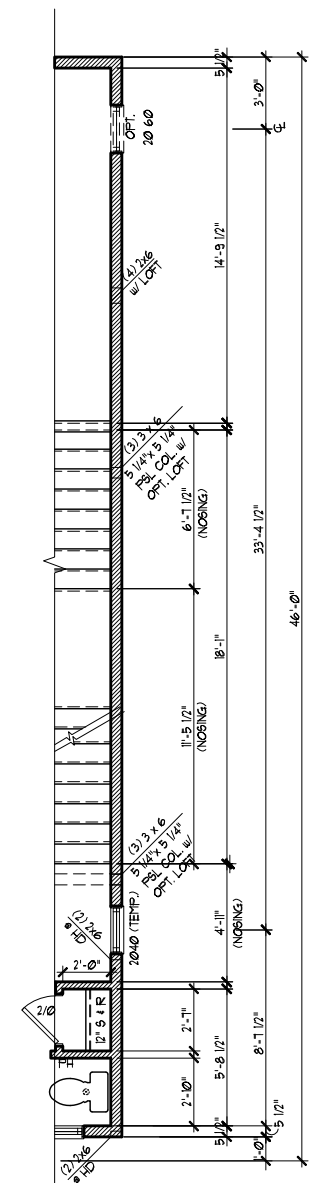


ELEVATION #U-3
 SCALE (17x11): 1/8" = 1'-0"
 SCALE (34x22): 1/4" = 1'-0"

NOTE:
 SEE KITCHEN MANUF.
 PLANS FOR EXACT
 LAYOUT AND DIMENSIONS.



**FIRST FLOOR PLAN
 REAR KITCHEN
 ELEVATION #U-1**
 SCALE (17x11): 1/8" = 1'-0"
 SCALE (34x22): 1/4" = 1'-0"



**PARTIAL PLAN
 RIGHT END UNIT**
 SCALE (17x11): 1/8" = 1'-0"
 SCALE (34x22): 1/4" = 1'-0"

- FRAMING NOTES:**
1. ALL EXTERIOR WALLS ARE TO BE 2x6 STUDS FRAMED @ 24" O.C., UNLESS NOTED OTHERWISE.
 2. ALL INTERIOR WALLS ARE TO BE 2x4 STUDS FRAMED @ 16" O.C., UNLESS NOTED OTHERWISE.
 3. SOLID BLOCK ALL BEAMS & HEADERS (GREATER THAN 4") w/ (1) 2x JACK STUD & (1) 2x KING STUD. THE NUMBER OF STUDS SPECIFIED AT A SUPPORT INDICATES THE NUMBER OF JACK STUDS REQUIRED (TYP.) UNLESS NOTED OTHERWISE.
 4. (2) 2 x 10 HEADERS (TYP.) at OPENINGS LESS THAN 12" UNLESS NOTED OTHERWISE.
 5. (3) 2 x 10 HEADERS at OPENINGS 12" or GREATER, UNLESS NOTED OTHERWISE.
 6. SUB-FLOOR SHALL BE 3/4" THICK (MIN) TONGUE & GROOVE TO MEET APA STANDARD.

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content	URBANESQUE FIRST FLOOR- REAR KITCHEN
drawn	ACI
date	03/15/19
scale	1" = 4' (34x22) file: 5.1B
U.N.O.	1" = 8' (17x11)
title	TIMBERLAKE HOMES
	ROLAND

date	revision

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license number	5621
expiration date	04-05-2024
SHEET #	5.1B

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**STATEMENT OF JUSTIFICATION
DSP-22028**

FAIRWOOD SQUARE

OWNER: Irmgard H. Hawkins By-Pass Trust
12205 Annapolis Road
Bowie, Maryland 20720

APPLICANT: Timberlake Homes, BT
304 Harry S. Truman Parkway, Suite M
Annapolis, MD 21401

ATTORNEY/AGENT: Matthew C. Tedesco, Esq.
McNamee Hosea, P.A.
6411 Ivy Lane, Suite 200
Greenbelt, Maryland 20770
(301) 441-2420 Voice
(301) 982-9450 Fax
MTedesco@mhlawyers.com

CIVIL ENGINEER: Soltesz, LLC
4300 Forbes Boulevard, Suite 230
Lanham, Maryland 20706
(301) 794-7555

REQUEST: Detailed Site Plan (DSP-22028) for the development of 200 Single-Family Attached (Townhouse) Residential Homes and the future development of approximately 5,000 square feet of commercial/retail uses in the prior R-E Zone. (Note, this DSP shows limited infrastructure associated with future Parcel 1 – in the form of grading and the fillet/driveway entrance for the future commercial development. A future DSP amendment for Parcel 1 that includes architecture (and any other site improvements for the commercial development) will necessary).

I. DESCRIPTION OF PROPERTY

1. Property Address – 12105 and 12205 Annapolis Road and 5015 Enterprise Road, Bowie, Maryland 20720.

2. Location – Located at the southeast quadrant of the intersection of Annapolis Road (MD 450) and Enterprise Road (MD 193).
3. Use –200 Single-Family Attached (Townhouse) Residential Homes comprising of 18-foot, 20-foot, and 24-foot-wide units, and the future development of approximately 5,000 square feet of commercial/retail uses. The latter will require a separate DSP amendment once commercial tenants are identified for approval of architecture associated with the commercial component of the development. Currently, Parcel 1 includes grading and a fillet/driveway entrance for the future commercial development. The unit breakdown is as follows:
 - 24-foot-wide: 45 units (front loaded)
 - 20-foot-wide: 54 units (rear loaded)
 - 18-foot-wide: 101 units (rear loaded)
4. Incorporated Area – None.
5. Council District – 6.
6. Election District – 7.
7. Existing Lots and Parcels – Parcels 5, 118 and 123.
8. Total Area – 22.29 acres.
9. Tax Map/Grid – 45-E3, F3.
10. Zone – RE (Prior: R-E).
11. WSSC 200 FT Ref – 207NE11.
12. FAR – 0.44 proposed (1.4 permitted)
13. Density – 8.97du/acre

II. APPLICANT’S PROPOSAL

Timberlake Homes, BT (the “Applicant”) is requesting the approval of this Detailed Site Plan (DSP-22028) to accommodate the development of Fairwood Square (the “Property”). The Property is located in the southeast quadrant of the intersection of MD 450 (Annapolis Road) and MD 193 (Enterprise Road) and is 22.29 acres. The Property is comprised of three parcels, recorded by deed in the Prince George’s County Land Records as Parcel 5, recorded in Liber 15572 at folio 167; Parcel 118, recorded in Liber 15572 at folio 171; and Parcel 123, recorded in Liber 15594 at folio 275. The Property is within the Residential Estate Zone under both the

current Prince George’s County Zoning Ordinance (known as the RE Zone) and the prior Zoning Ordinance (known as the R-E Zone). However, this application is being reviewed in accordance with the prior Prince George’s County Zoning Ordinance and prior Prince George’s County Subdivision Regulations, pursuant to Section 27-1704 of the County Code.

Specifically, Preliminary Plan of Subdivision 4-21058 (PGCPB Resolution No. 2022-108) triggers the “grandfathering” provisions set forth in Section 27-1704 pursuant to Section 24-1903(b), which provides that “[o]nce approved, development applications that utilize the prior Subdivision Regulations shall be considered ‘grandfathered’ and subject to the provisions set forth in Section 24-1704 of this Subtitle.” Section 24-1704(b) provides, among other things, “until and unless the period of time under which the subdivision approval remains valid expires, the project may proceed to the next steps in the approval process (including any zoning steps that may be necessary) and continue to be reviewed and decided under the Subdivision Regulations and Zoning Ordinance in effect immediately prior to the effective date of the [new] County Subdivision Regulations and Zoning Ordinance.” Although the PPS was approved after April 1, 2022, Sections 24-1903(b) and 24-1704(b), when read together, clearly result in a “grandfathered” PPS that triggers the ability to pursue the “next steps in the approval process (including any zoning steps)” (i.e., a DSP under Part 27 of the Code) vis-à-vis Section 27-1704 of the new Zoning Ordinance. Consequently, this detailed site plan is filed under (or pursuant to) Section 27-1704 of the new Zoning Ordinance; thereby, triggering utilization of the prior Zoning Ordinance - including CB-50-2021. Section 27-1704(a) provides: “development approvals or permits of any type approved under this Subtitle or Subtitle 24 of this Code prior to April 1, 2022 remain valid for the period of time specified in the Zoning Ordinance or Subdivision Regulations under which the project was approved.”

The applicant has spent more than nine (9) months and a significant amount of money not only preparing and processing PPS 4-21058, but also in preparing and designing this detailed site plan (including all accompanying supporting plans/documents) pursuant to the regulations and requirements applicable to the prior Subdivision Regulations and prior Zoning Ordinance. That is, on November 16, 2021, the District Council adopted CB-50-2021 that amended Section 27-441(b)(1) and (7) to allow any use allowed in the M-X-T Zone (excluding those permitted by special exception) under certain circumstances. The subject property conforms to the requirements of Footnote 144, and the applicant seeks to development the property pursuant to the same. Further, the applicant recognizes that the provisions of the prior Subdivision Regulations and prior Zoning Ordinance have been successfully utilized and implemented for development of mixed-uses throughout the County for decades. Therefore, with the utilization of Footnote 144, which is consistent with the future land use recommendation(s) in the recently adopted Bowie and Vicinity Master Plan for the subject property, development pursuant to the prior Subdivision Regulations and prior Zoning Ordinance offers the most efficient, flexible, and established framework for review and approval of the applicant’s desired use/development at this time.

DSP-22028 proposes 200 single family attached units (townhouse) comprising of forty-five (45) 24-foot-wide units; fifty-four (54) 20-foot-wide units; and one hundred and one (101) 18-foot-wide units. The DSP also includes 36 parcels for private streets, HOA parcels, open

space and recreation areas; and for future commercial development comprising of approximately 5,000 square feet of gross floor area. Parcel 1 shows limited infrastructure associated with the future commercial development consisting of grading and a fillet/driveway entrance for the future commercial development. Once a commercial tenant is identified, an amendment to this DSP will be requested for Parcel 1 to include architecture associated with the commercial development.

	SF	AC
Total Site Area	970,952	22.29
Area of Floodplain		0.00
Net Tract Area		22.29

		# of units	Base SF	Total SF	
Madiera	18' RL	101	1,740	175,740	
Foxglove/Redwood*	20' RL	54	2,238	120,852	
Roland/Liberty**	24' FL	45	2,831	127,395	
GFA This Application		200		428,936	21.32 AC
GFA – Commercial/Retail***				5,000	0.97AC
FAR					0.44****

* The DSP includes two different model types for the 20-foot-wide products, the templates of which and Statement of Finished Square Footage for both are provided on the DSP submitted herewith.

** The DSP includes two different model types for the 24-foot-wide products, the templates of which and Statement of Finished Square Footage for both are provided on the DSP submitted herewith.

*** A future architectural DSP for the commercial/retail component of the development will be required.

**** Section 27-545(b)(2)(A): Optional Method of Development. Residential Use. Additional gross floor area equal to a floor area ratio (FAR) of one (1.0) shall be permitted where twenty (20) or more dwelling units are provided. Consequently, the base FAR of 0.4 (Sec. 27-548) is increased under the Optional Method of Development to an FAR of 1.4 since more than twenty (20) residential units are provided.

III. COMMUNITY

Fairwood Square is located on Tax Map 45 in Grids E3, E4, and F3. The property is within Planning Area 71A. The properties abutting the subject site to the east consist of single-family detached dwellings within the Legacy Mixed-Use Community (formerly the Mixed-Use Community) Zone. The properties abutting the site to the south consist of single-family detached dwellings within the RE Zone under the current and prior zoning. The properties to the west,

beyond MD 193 and Glenn Dale Boulevard, consist of single-family detached dwellings and vacant land within the Residential, Rural Zone under the current and prior zoning. The properties to the north, beyond MD 450, currently consist of commercial development (gas station and office buildings) within the Commercial, General and Office (CGO) and Commercial Service (CS) (formerly the Commercial Office and Commercial Miscellaneous) Zones.

The site is within the 2022 *Approved Bowie-Mitchellville and Vicinity Master Plan* (“Master Plan”). Land Use strategy 17.1 of the Master Plan recommends the redevelopment of the site (otherwise known as the former Frank’s Nursery property) into commercial land use (page 76). Map 16, Future Land Use, designates this property in the Commercial future land use category (page 50). Comprehensive Zoning strategy 11.1 of the master plan recommends the reclassification of the property to the CGO Zone to support the recommended commercial development (page 89). The CGO Zone permits single-family attached units at 20 units to the acre, which is double the density proposed with DSP-22028. Notwithstanding, with the approval of PPS 4-21058, the Planning Board correctly found, in accordance with Section 24-121(a)(5) of the prior Subdivision Regulations, that events have occurred to render the relevant recommendations within the comprehensive plan no longer appropriate, is no longer applicable, or the Prince George’s County District Council has not imposed the recommended zoning. This finding was based on the fact that the Master Plan did not include an SMA and based on the fact that the District Council adopted Prince George’s County Council Bill CB-050-2021 in 2021, allowing townhouses and commercial uses that are generally permitted in the Mixed-Use Transportation Oriented (M-X-T) Zone, to be developed in the R-E Zone under certain circumstances. Consequently, the District Council has not imposed the recommended zoning. Therefore, the development previously satisfied the requirements of Section 24-121(a)(5).

“Plan Prince George’s 2035” (Plan 2035), which placed the subject property in the Established Communities Growth Policy Area. Plan 2035:

classifies existing residential neighborhoods and commercial areas served by public water and sewer outside of the Regional Transit Districts and Local Centers, as Established Communities. Established Communities are most appropriate for context-sensitive infill and low-to medium-density development. Plan 2035 recommends maintaining and enhancing existing public services (police and fire/EMS), facilities (such as libraries, schools, parks, and open space), and infrastructure in these areas (such as sidewalks) to ensure that the needs of existing residents are met.

(Plan 2035 at p. 20).

IV. PREVIOUS APPROVALS

The Property is subject to PPS 4-21058, which was approved by the Prince George’s County Planning Board on October 20, 2022, and PGCPB Resolution No. 2022-108 was adopted on November 10, 2022 with the following conditions applicable to the review of DSP-22028:

- 2. Development of the site shall be in conformance with Stormwater Management Concept Plan 45700-2021, and any subsequent revisions.**

COMMENT: A SWM concept plan (45700-2021-00) was approved by the Prince George's County Department of Permitting, Inspections and Enforcement (DPIE) on August 29, 2022 and is valid until August 29, 2025. The SWM concept plan shows the use of 31 micro-bioretenion facilities, 1 submerged gravel wetland, and 1 pond, which are reflected on the DSP.

- 5. Prior to approval of a detailed site plan, the applicant and the applicant's heirs, successors, and/or assignees shall provide the following:**

- a. Signage and design features to facilitate a limited right-in/right-out only access driveway from the western access point along MD 450 (Annapolis Road), as well as the driveway design and exact details/profiles of the signage, unless modified by the State Highway Administration at the time of access permit.**

COMMENT: The right-in and right-out access along eastbound MD 450 has been approved by SHA and will be designed to SHA standards and specifications. The entrance will include the required "bell shaped island" to enforce right-in and right-out movements along with the standard signage and pavement markings as required by SHA.

- b. A noise study certified by a professional engineer with competency in acoustical analysis demonstrating the proposed lots are not impacted, or that interior noise levels for dwellings impacted by the 65 dBA Ldn noise contour will be reduced to 45 dBA or less, and exterior recreational spaces will be reduced to 65 dBA or less.**

COMMENT: The applicant has commissioned a second noise study that will further analyze the predicted combined noise exposures of MD 450 and MD 193 at specific locations that are representative of the proposed dwelling units. This study will include the Federal Highway Administration (FHWA) highway traffic noise predictions procedure, Traffic Noise Model (TNM), along with traffic data. Spatial fluctuation of noise will be mapped and the TNM will provide the estimated noise exposure on the site. This report is currently in process and will be provided prior to the approval of the detailed site plan, as required by this condition.

- 10. The applicant and the applicant's heirs, successors, and/or assignees shall construct the following facilities as part of the development of the site, and show these facilities on a pedestrian and bikeway facilities plan, as part of the detailed site plan, prior to its acceptance:**

- a. A minimum 10-foot-wide shared-use path along the property frontage of MD 450 (Annapolis Road), unless modified by the operating agency with written correspondence.**

COMMENT: A minimum 10-foot-wide shared-use path along the property frontage of MD 450 (Annapolis Road), unless modified by the operating agency with written correspondence, is provided on the detailed site plan.

- b. A minimum 10-foot-wide shared-use path along the property frontage of MD 193 (Enterprise Road), unless modified by the operating agency with written correspondence.**

COMMENT: A minimum 10-foot-wide shared-use path along the property frontage of MD 193 (Enterprise Road), unless modified by the operating agency with written correspondence, is provided on the detailed site plan.

- c. A minimum 5-foot-wide sidewalk along both sides of the internal roadways throughout the site, including Americans with Disabilities Act curb ramps and associated crosswalks.**

COMMENT: A minimum 5-foot-wide sidewalk along both sides of the internal roadways throughout the site, including Americans with Disabilities Act curb ramps and associated crosswalks, is provided on the detailed site plan.

- d. Provide Americans with Disabilities Act curb ramps and crosswalks crossing all vehicular access points.**

COMMENT: Americans with Disabilities Act curb ramps and crosswalks crossing at all vehicular access points is provided on the detailed site plan.

- e. Bicycle parking near the commercial building entrance, in accordance with American Association of State Highway and Transportation Officials (AASHTO) guidelines.**

COMMENT: This will be depicted on the future detailed site plan for the commercial building/parcel.

- 13. The on-site recreational facilities shall be reviewed by the Urban Design Section of the Development Review Division of the Prince George's County Planning Department, for adequacy and proper siting, in accordance with the Parks and Recreation Facilities Guidelines, with the review of the site plan. Timing for construction shall also be determined at the time of detailed site plan.**

COMMENT: As provided the Recreation Plan included with the DSP, the applicant proposes three (3) phases and four (4) recreational areas. The phasing schedule for the private on-site recreational amenities are proposed as follows:

CONSTRUCTION TIMELINE

PHASE 1: PRIOR TO 71st BUILDING PERMIT
- CONSTRUCT REC. AREA 1

PHASE 2: PRIOR TO 110th BUILDING PERMIT
- CONSTRUCT REC. AREA 2 & 3

PHASE 3: PRIOR TO 192ND BUILDING PERMIT
- CONSTRUCT REC. AREA 4

Graphically, the phases are depicted as follows:



RECREATIONAL AREA LOCATION MAP
NOT TO SCALE

Additional information regarding the details of each recreation facility within each phase are provided below.

V. CONFORMANCE WITH THE ZONING ORDINANCE

The District Council exercised its legislative authority to amend the Zoning Ordinance by creating receiving areas for certain types of mixed uses allowed in the M-X-T Zone to be developed in the R-E Zone, subject to Footnote 144. Specifically, said uses are conditional – requiring conformance with three specific criteria including DSP approval. Conformance with these regulations (and additional Zoning Ordinance regulations discussed below) is required for the proposed development at the time of DSP review, including but not limited to the following:

Footnote 144: Provided, and notwithstanding any other provision of this Subtitle, that:

- a. **The uses are located on property or an assemblage of adjacent properties that:**
 1. **Prior to its subdivision to create any residential and commercial parcels or lots had a land area of at least twenty (20) acres;**
 2. **A portion of the boundary of the assemblage of adjacent properties is located at, and has frontage on, two intersecting roadways with a functional transportation classification of arterial or higher on the Master Plan of Transportation;**
 3. **A portion of the boundary of the assemblage of adjacent properties is adjacent to property that is located in a mixed-use zone or planned community zone.**

COMMENT: The subject property meets the minimum acreage requirement with 22.29 acres and has frontage on intersecting arterial roadways MD 450 and MD 193, and is adjacent to a mixed-used zone property to the east.

- b. **A Detailed Site Plan shall be approved in accordance with Part 3, Division 9 of this Subtitle. Regulations concerning the net lot area, lot coverage, and green area, lot/width frontage, yards, building height, density, accessory buildings, minimum area for development, and any other requirements of the R-E Zone shall not apply. The maximum residential density shall not exceed 200 dwelling units. The applicable regulations for the M-X-T Zone as set forth in Sections 27-544(a) and 27-548(h) shall apply.**

COMMENT: DSP-22028 is being filed in conformance to this criterion. Further, the proposed density does not exceed 200 residential units in conformance with this criterion. Finally, and as further provided on the detailed site plan filed in conjunction with the

application and as further articulated below, the development complies with the regulations for the M-X-T Zone.

- c. Notwithstanding the Table of Uses for the M-X-T Zone in Section 27 547(b), a gas station shall be prohibited. All other uses must be consistent with uses in the M-X-C Zone.**

COMMENT: The applicant's proposal conforms to Criteria c, as a gas station is not proposed and all uses are consistent with uses in the M-X-C Zone.

VI. CRITERIA FOR APPROVAL OF A DETAILED SITE PLAN & DESIGN GUIDELINES

The following Sections of the Prince George's County Zoning Ordinance are applicable to this application.

Section 27-285. Planning Board procedures.

(b) Required findings.

- (1) The Planning Board may approve a Detailed Site Plan if it finds that the plan represents a reasonable alternative for satisfying the site design guidelines, without requiring unreasonable costs and without detracting substantially from the utility of the proposed development for its intended use. If it cannot make these findings, the Planning Board may disapprove the Plan.**

COMMENT: Based on the points and reasons provided herein, in addition to the evidence filed in conjunction with this application (or any other previously approved applications as incorporated herein, as needed), the applicant contends that DSP-22028 represents the most reasonable alternative for satisfying the site design guidelines without requiring unreasonable costs and without detracting substantially from the utility of the proposed development for the intended uses. The project has been carefully designed to provide a mix of uses while also providing open space, recreation areas, landscape buffers, and a transition from the two intersection arterial roadways that front the property.

During the review of the PPS, concerns regarding the proposed density were raised. As articulated at the Planning Board hearing on October 20, 2022, the project design accommodates meaningful open space and further supports the finding, notwithstanding contentions to the contrary, that the site development is appropriate. After dedication of approximately 0.22 acres along the MD 450 frontage, the project would provide 12.37 acres of open space (or 56%). Taking a more conservative view, and although not applicable, assuming the open space set-side regulations provided in 27-6403 were applicable, this project would provide 7.7 acres (or 34.9%) open space set-aside. Section 27-6403 lists the requirements for the open space set aside which is 10% in the Residential Base Zone with mixed uses, 20% if all residential uses, and, assuming the implantation of the Master Plan CZ requirement to the CGO, it would be 7.5% for mixed

uses or 15% if all residential uses. This amount of open space ensures a quality project while not detracting from the utility of the proposed development for its intended use.

- (2) **The Planning Board shall also find that the Detailed Site Plan is in general conformance with the approved Conceptual Site Plan (if one was required).**

COMMENT: Not applicable. A Conceptual Site Plan was not required.

- (3) **The Planning Board may approve a Detailed Site Plan for Infrastructure if it finds that the plan satisfies the site design guidelines as contained in Section 27-274, prevents offsite property damage, and prevents environmental degradation to safeguard the public's health, safety, welfare, and economic well-being for grading, reforestation, woodland conservation, drainage, erosion, and pollution discharge.**

COMMENT: Not applicable. DSP-22028 is not a detailed site plan for infrastructure only. DSP-22028 includes all infrastructure necessary for the development of the residential component of the project and general infrastructure for future Parcel 1 that includes grading and fillet/driveway entrance for the future commercial development. Once a commercial tenant is identified, an amendment to this DSP will be requested for Parcel 1 to include architecture associated with the commercial development.

- (4) **The Planning Board may approve a Detailed Site Plan if it finds that the regulated environmental features have been preserved and/or restored in a natural state to the fullest extent possible in accordance with the requirement of Subtitle 24-130(b)(5).**

COMMENT: A natural resource inventory (NRI-131-06-02) was approved on July 12, 2022, and was provided with this application and the previously approved PPS (4-21058). The site contains a nontidal wetland with its associated buffer, which is not being impacted by the proposed development. There are 11 specimen trees scattered throughout the site. With the exception of the removal of five specimen trees, which was approved with the PPS, the other existing specimen trees are being preserved. In addition, according to the Green Infrastructure Plan, the southern half of the site is in the evaluation area, with the remainder of the site outside of the green infrastructure. The project design, as reflected on the DSP and the TCP2, meets the goals of the Green Infrastructure Plan, and focuses development outside of the most sensitive areas of the site. A SWM concept plan (45700-2021-00) was approved by the Prince George's County Department of Permitting, Inspections and Enforcement (DPIE) on August 29, 2022 and is valid until August 29, 2025. The SWM concept plan shows the use of 31 micro-bioretenion facilities, 1 submerged gravel wetland, and 1 pond, which are reflected on the DSP. Finally, development of this site is subject to the current WCO and TCC requirements, both of which are being met with this application. Finally, there are no Nontidal Wetlands of Special State Concern (NTWSSC) as mapped on Map 41 of the Master Plan.

The Planning Board, in approving PPS 4-21058 made findings in conformance with Section 24-130(b)(5), and this detailed site plan application is in substantial conformance with PPS 4-21058. Therefore, and for the other reasons provided herein and submitted herewith, the regulated environmental features have been preserved and/or restored in a natural state to the fullest extent possible.

Section 27-281. Purpose of Detailed Site Plans.

(b) General purposes.

(1) The general purposes of Detailed Site Plans are:

- (A) To provide for development in accordance with the principles for the orderly, planned, efficient and economical development contained in the General Plan, Master Plan, or other approved plan;**
- (B) To help fulfill the purposes of the zone in which the land is located;**
- (C) To provide for development in accordance with the site design guidelines established in this division; and**
- (D) To provide approval procedures that are easy to understand and consistent for all types of Detailed Site Plans.**

(c) Specific purposes.

(1) The specific purposes of Detailed Site Plans are:

- (A) To show the specific location and delineation of buildings and structures, parking facilities, streets, green areas, and other physical features and land uses proposed for the site;**
- (B) To show specific grading, planting, sediment control, tree preservation, and storm water management features proposed for the site;**
- (C) To locate and describe the specific recreation facilities proposed, architectural form of buildings, and street furniture (such as lamps, signs, and benches) proposed for the site; and**
- (D) To describe any maintenance agreements, covenants, or construction contract documents that are necessary to assure that the Plan is implemented in accordance with the requirements of this Subtitle.**

COMMENT: As articulated herein, as depicted on the detailed site plan, and previously analyzed by the findings made by the Planning Board in approving PPS 4-21058, this Detailed Site Plan will promote many of the purposes found in Section 27-281.

Section 27-283. Site Design Guidelines

- (a) The Detailed Site Plan shall be designed in accordance with the same guidelines as required for a Conceptual Site Plan (Section 27-274).**

- (b) **The guidelines shall only be used in keeping with the character and purpose of the proposed type of development, and the specific zone in which it is to be located.**
- (c) **These guidelines may be modified in accordance with Section 27-286.**

COMMENT: Generally, Section 27-274 provides design guidelines regarding parking, loading, and circulation, lighting, views, green area, site and streetscape amenities, grading, service areas, public spaces, and architecture. It is worth noting that every sub-part of Section 27-274(a) uses the word “should” when describing each of the guidelines. Thus, none of the design guidelines are mandatory; instead, they are as they appear, guidelines used to promote the purposes of the zone. The Planning Board is authorized to approve a detailed site plan so long as the plan represents a *reasonable alternative to satisfying the guidelines* – without requiring unreasonable costs or detracting substantially from the utility of the proposed development for its intended (and *permitted*) use.

Specifically, the applicant offers the following:

Section 27-274. Design Guidelines

In addition to the purposes set forth in Section 27-281, Section 27-274 further requires the Applicant demonstrate the following:

- (1) **General.**
 - (A) **The Plan should promote the purposes of the [Detailed] Site Plan.**

COMMENT: The purposes of the Detailed Site Plan are found in Sections 27-281(b) and (c).

- (2) **Parking, loading, and circulation**
 - (A) **Surface parking lots should be located and designed to provide safe and efficient vehicular and pedestrian circulation within the site, while minimizing the visual impact of cars. Parking spaces should be located to provide convenient access to major destination points on the site.**
 - (B) **Loading areas should be visually unobtrusive and located to minimize conflicts with vehicles or pedestrians.**
 - (C) **Vehicular and pedestrian circulation on a site should be safe, efficient, and convenient for both pedestrians and drivers.**

COMMENT: DSP-22028 will provide garage parking for the residents and on street parking and minor parking lots for visitors throughout the site. Resident parking is shown on the lots it serves. Surface parking is generally adjacent to recreational facilities; some overflow parking is appropriately provided on the street near residences. There are no large uninterrupted expanses of pavement. None of the parking is generally visible from outside DSP-22028. No loading docks are proposed with this DSP. Main entrance to the Property is from MD 450. Sidewalks are proposed along the public (subject to the operating agency) and private roads to provide safe and

efficient pedestrian circulation, minimizing conflicts between pedestrians and vehicles. Crosswalks are clearly marked.

(3) Lighting.

- (A) For uses permitting nighttime activities, adequate illumination should be provided. Light fixtures should enhance the design character.**

COMMENT: This DSP, which proposes residential uses, anticipates at least some activities taking place in the evening and will provide adequate lighting levels for safe vehicular and pedestrian movements. The site lighting will provide the new residents with a bright, safe atmosphere while not causing a glare or light bleeding onto adjoining properties, as the applicant proposes to use full cut-off light fixtures. For details of the lighting proposed, please see Sheet 2 of the Landscape Plan. The location and photometrics of the light fixtures can be found on the separate Photometric Plan.

(4) Views.

- (A) Site design techniques should be used to preserve, create, or emphasize scenic views from public areas.**

COMMENT: This Detailed Site Plan complies with the design guidelines outlined in sub-part (4). All buildings will be designed to provide a modern, clean and strong presence along road frontages. Other views and public areas will be emphasized through the use of sidewalks to collectively connect the various components of the project. Landscape treatments are proposed throughout the site, but also along the frontages of MD 450 and MD 193, which will further create or emphasize views from public areas.

(5) Green Area.

- (A) On site green area should be designed to complement other site activity areas and should be appropriate in size, shape, location, and design to fulfill its intended use.**

COMMENT: Green area is dispersed throughout the property. They are easily accessible for maintenance and provide separation between townhomes. For the location and details of the recreation facilities, please see Sheets 1 and 2 of the Recreation Plan. In addition, and as mentioned previously, during the review of the PPS, concerns regarding the proposed density were raised. As articulated at the Planning Board hearing on October 20, 2022, the project design accommodates meaningful open space and further supports the finding, notwithstanding contentions to the contrary, that on-site green area (or open space) is appropriate in size, shape, location, and design. After dedication of approximately 0.22 acres along the MD 450 frontage, the project would provide 12.37 acres of open space (or 56%). Taking a more conservative view, and although not applicable, assuming the open space set-side regulations provided in 27-6403 were applicable, this project would provide 7.7 acres (or 34.9%) open space set-aside. Section 27-6403 lists the requirements for the open space set aside which is 10% in the Residential Base Zone with mixed uses, 20% if all residential uses, and, assuming the

implantation of the Master Plan CZ requirement to the CGO, it would be 7.5% for mixed uses or 15% if all residential uses. This amount of open space ensures a quality project while not detracting from the utility of the proposed development for its intended use

(6) Site and streetscape amenities.

- (A) Site and streetscape amenities should contribute to an attractive, coordinated development and should enhance the use and enjoyment of the site.**

COMMENT: The Detailed Site Plan and Landscape Plan submitted with this application comply with the design guidelines outlined in sub-part (6). The proposed site and streetscape amenities will contribute to be attractive and coordinated with the development. That is, the site fixtures will be durable high-quality material and will be attractive, which will enhance the site for the future residents and patrons. As further referenced above, within this proposed phase, additional street connections and street scape amenities are proposed.

(7) Grading.

- (A) Grading should be performed to minimize disruption to existing topography and other natural and cultural resources on the site and on adjacent sites. To the extent practicable, grading should minimize environmental impacts.**

COMMENT: This Detailed Site Plan complies with the design guidelines outlined in sub-part (7). All grading and landscaping will help to soften the overall appearance of the improvements once constructed. The proposed development will address the needs and expectations of the modern resident. All grading and landscaping will help to soften the overall appearance of the improvements once constructed. The proposed development will address the needs and expectations of the modern consumer. To the fullest extent practical, all grading will be designed to minimize disruption to existing topography.

(8) Service Areas.

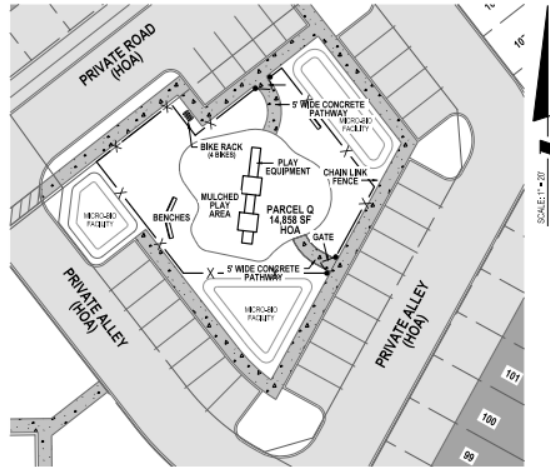
- (A) Service areas should be accessible, but unobtrusive.**

COMMENT: Service areas are not proposed with DSP-22028.

(9) Public Spaces.

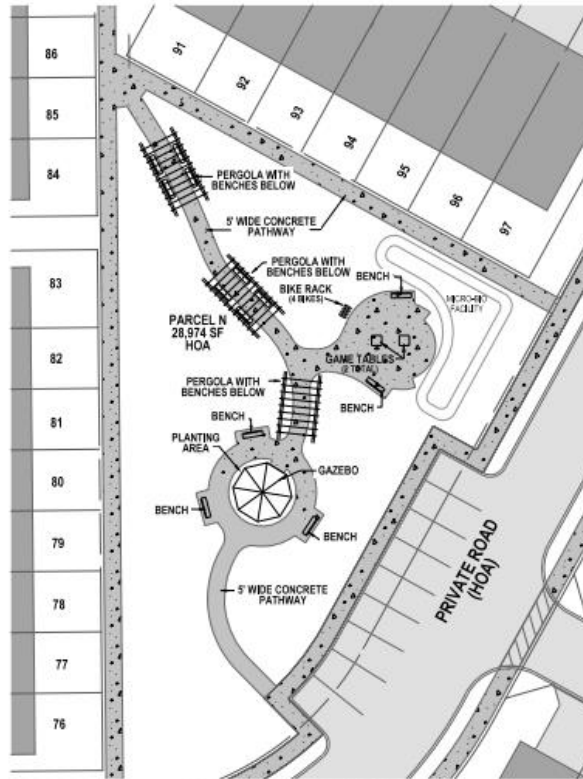
- (A) A public space system should be provided to enhance a large-scale commercial, mixed use, or multifamily development.**

COMMENT: The overall massing of buildings and attention to scale for this project, which are primarily residential in nature, will help create pedestrian and quasi-public areas that will be convenient to the residents. In particular, these areas include the open space and recreational areas proposed for the project that will serve the residents and their guests. These areas include recreations areas 1 – 4 depicted below. Additional public space will be in the form of the future detailed site plan for the commercial component of the project.



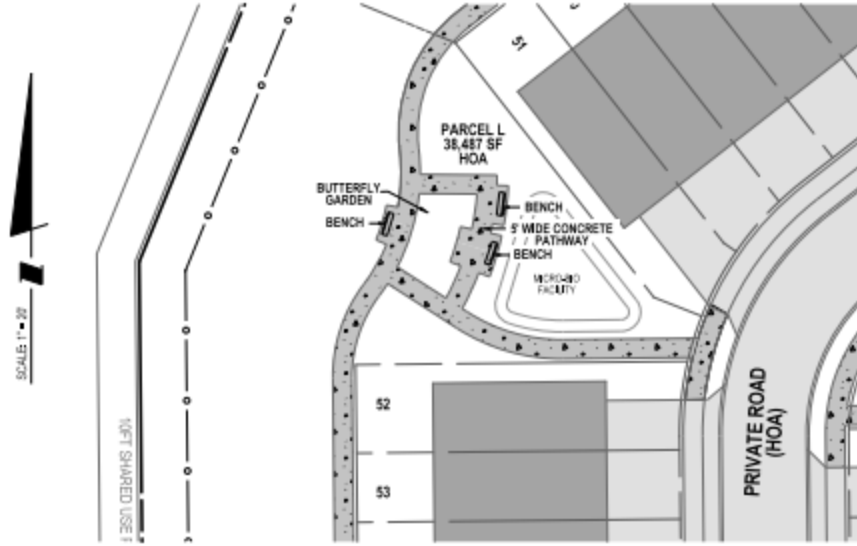
RECREATIONAL AREA - 1

SCALE: 1" = 20'



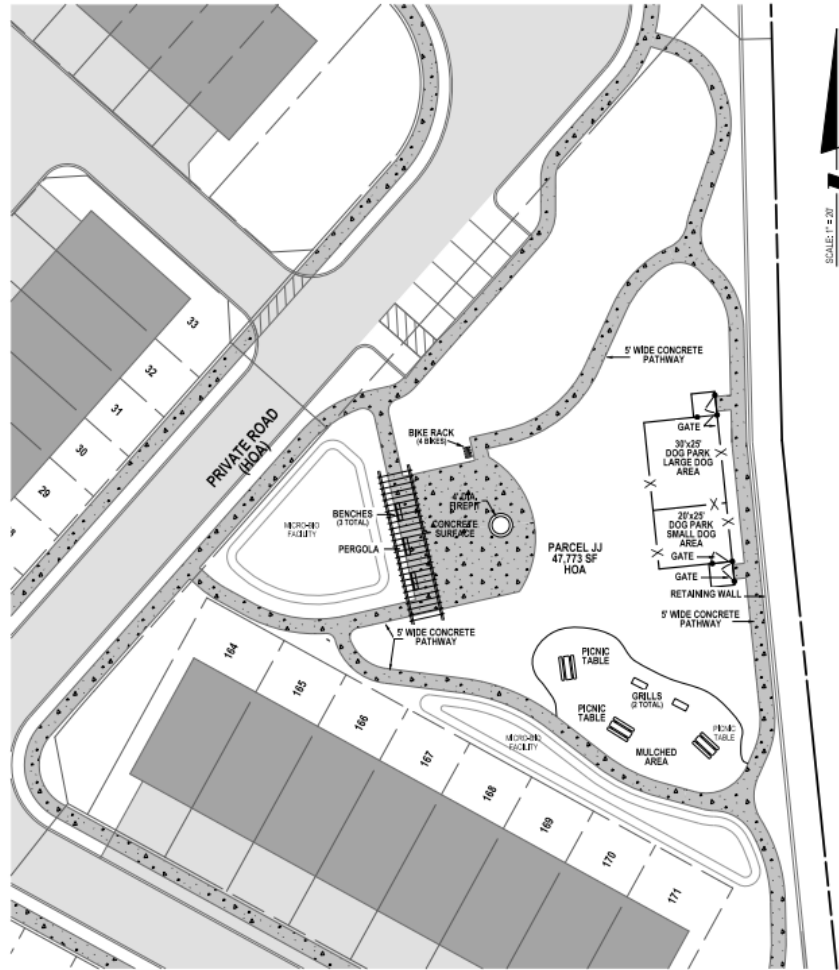
RECREATIONAL AREA - 2

SCALE: 1" = 20'



RECREATIONAL AREA - 3

SCALE 1" = 20'



RECREATIONAL AREA - 4
SCALE: 1" = 20'

(10) Architecture.

- (A) When architectural considerations are references for review, the Conceptual Site Plan should include a statement as to how the architecture of the buildings will provide a variety of building forms, with unified, harmonious use of materials and styles.**
- (B) The guidelines shall only be used in keeping with the character and purpose of the proposed type of development and the specific zone in which it is to be located.**
- (C) These guidelines may be modified in accordance with section 27-277.**

COMMENT: Architecture proposed with DSP-22028 complies with the design guidelines outlined in sub-part (10). The elevations for the proposed residential units are provided on the architectural elevations on Sheets submitted with this application. The design of the residential units depict high quality design and materials.

- (11) Townhouses and Three-Story Dwellings.**
- (A) Open space areas, particularly areas separating the rears of buildings containing townhouses, should retain, to the extent possible, single or small groups of mature trees. In areas where trees are not proposed to be retained, the applicant shall demonstrate to the satisfaction of the Planning Board or the District Council, as applicable, that specific site conditions warrant the clearing of the area. Preservation of individual trees should take into account the viability of the trees after the development of the site.**
 - (B) Groups of townhouses should not be arranged on curving streets in long, linear strips. Where feasible, groups of townhouses should be at right angles to each other, and should facilitate a courtyard design. In a more urban environment, consideration should be given to fronting the units on roadways.**
 - (C) Recreational facilities should be separated from dwelling units through techniques such as buffering, differences in grade, or preservation of existing trees. The rears of buildings, in particular, should be buffered from recreational facilities.**
 - (D) To convey the individuality of each unit, the design of abutting units should avoid the use of repetitive architectural elements and should employ a variety of architectural features and designs such as roofline, window and door treatments, projections, colors, and materials. In lieu of this individuality guideline, creative or innovative product design may be utilized.**
 - (E) To the extent feasible, the rears of townhouses should be buffered from public rights-of-way and parking lots. Each application shall include a visual mitigation plan that identifies effective buffers between the rears of townhouses abutting public rights-of-way and parking lots. Where there are no existing trees, or the retention of existing vegetation is not practicable, landscaping, berming, fencing, or a combination of these techniques may be used. Alternatively, the applicant may consider designing the rears of townhouse buildings such that they have similar features to the fronts, such as reverse gables, bay windows, shutters, or trim.**
 - (F) Attention should be given to the aesthetic appearance of the offsets of buildings.**

COMMENT: The layout of the townhouse units depicted on DSP-22028 have been designed in an effort to, as much as possible; minimize the views of the rear of the units. Although the majority of units along MD 450 and MD 193 are perpendicular to the roads, they have been designed as rear loaded units so that the backs of units do not front on the public road. In addition, landscaping will be provided within landscape buffers/yards along the property frontage and in common areas within the site. Street trees will further screen and/or soften the units from the public right-of-way and private streets. Again, the architectural plans depict units that will provide high quality architecture with a variety of architectural elements to promote

individuality or aesthetically pleasing appearances with offsets of buildings. The high quality of the units will be depictive of and complement existing high quality residential development in the area. Finally, and as articulated above, the applicant is proposing a large percentage of open space – some of which will be amenitized with recreational areas (to wit: recreational areas 1 – 4) (see above) to serve the residents and their guests.



VII. M-X-T ZONE REGULATIONS

Sec. 27-548. - M-X-T Zone.

a) **Maximum floor area ratio (FAR):**

- 1) **Without the use of the optional method of development — 0.40 FAR; and**
- 2) **With the use of the optional method of development — 8.00 FAR.**

COMMENT: The FAR proposed by this application is 0.44.

- #### b) **The uses allowed in the M-X-T Zone may be located in more than one (1) building, and on more than one (1) lot.**

COMMENT: The uses proposed are located on more than one lot and in more than one building.

- #### c) **Except as provided for in this Division, the dimensions for the location, coverage, and height of all improvements shown on an approved Detailed Site Plan shall constitute the regulations for these improvements for a specific development in the M-X-T Zone.**

COMMENT: The Development Standards proposed with this application can be found on the DSP coversheet.

- #### d) **Landscaping, screening, and buffering of development in the M-X-T Zone shall be provided pursuant to the provisions of the Landscape Manual. Additional buffering and screening may be required to satisfy the purposes of the M-X-T Zone and to protect the character of the M-X-T Zone from adjoining or interior incompatible land uses.**

COMMENT: This application meets all buffer and plant unit requirements of the Landscape Manual and exceeds the TCC requirements.

- #### e) **In addition to those areas of a building included in the computation of gross floor area (without the use of the optional method of development), the floor area of the following improvements (using the optional method of development) shall be included in computing the gross floor area of the building of which they are a part: enclosed pedestrian spaces, theaters, and residential uses. Floor area ratios shall exclude from gross floor area that area in a building or structure devoted to vehicular parking and parking access areas (notwithstanding the provisions of Section 27-107.01). The floor area ratio shall be applied to the entire property which is the subject of the Conceptual Site Plan.**

COMMENT: The Floor Area Ratio calculation is shown on detailed site plan cover sheet.

- f) **Private structures may be located within the air space above, or in the ground below, public rights-of-way.**

COMMENT: Not applicable. This application does not propose private structures above or below the public right-of-way.

- g) **Each lot shall have frontage on, and direct vehicular access to, a public street, except lots for which private streets or other access rights-of-way have been authorized pursuant to Subtitle 24 of this Code.**

COMMENT: All units have access from the adjacent private streets or alleys in accordance with Subtitle 24, and as further approved with PPS 4-21058.

- h) **Townhouses developed pursuant to a Detailed Site Plan for which an application is filed after December 30, 1996, shall be on lots at least one thousand two hundred (1,200) square feet in size, and shall have at least sixty percent (60%) of the full front facades constructed of brick, stone, or stucco. In addition, there shall be no more than eight (8) townhouses per building group, except where the applicant demonstrates to the satisfaction of the Planning Board or District Council, as applicable, that more than eight (8) dwelling units (but not more than ten (10) dwelling units) would create a more attractive living environment or would be more environmentally sensitive. In no event shall the number of building groups containing more than eight (8) dwelling units exceed twenty percent (20%) of the total number of building groups in the total development. The minimum building width in any continuous, attached group shall be eighteen (18) feet, and the minimum gross living space shall be one thousand two hundred and fifty (1,250) square feet. For the purposes of this Subsection, gross living space shall be defined as all interior building space except the garage and unfinished basement or attic area. The minimum lot size, maximum number of units per building group and percentages of such building groups, and building width requirements and restrictions shall not apply to townhouses on land any portion which lies within one-half (1/2) mile of an existing or planned mass transit rail station site operated by the Washington Metropolitan Area Transit Authority and initially opened after January 1, 2000. In no event shall there be more than ten (10) dwelling units in a building group and no more than two (2) building groups containing ten (10) dwelling units. For purposes of this section, a building group shall be considered a separate building group (even though attached) when the angle formed by the front walls of two (2) adjoining rows of units is greater than forty-five degrees (45°). Except that, in the case of a Mixed-Use Planned Community, there shall be no more than eight (8) townhouses per building group, except when the applicant demonstrates to the satisfaction of the Planning Board or District Council, as applicable, that more than eight (8) dwelling units (but not more than ten (10) dwelling units) would create a more attractive living environment or would be more environmentally sensitive. In no event shall the number of building groups containing more than eight (8) dwelling units exceed twenty percent (20%) of the**

total number of building groups in the total development. The minimum building width in any continuous, attached group shall be eighteen (18) feet, and the minimum gross living space shall be one thousand two hundred and fifty (1,250) square feet. For the purposes of this Subsection, gross living space shall be defined as all interior building space except the garage and unfinished basement or attic area. Garages may not dominate the streetscape. Garages that are attached or incorporated into the dwelling shall be set back a minimum of four (4) feet from the front façade and there shall not be more than a single garage, not to exceed ten (10) feet wide, along the front façade of any individual unit. Garages may be incorporated into the rear of the building or freestanding in the rear yard and accessed by an alley. Sidewalks are required on both sides of all public and private streets and parking lots. At the time of Detailed Site Plan, the Planning Board or the District Council may approve a request to substitute townhouses, proposed for development as condominiums, in place of multifamily dwellings that were approved in a Conceptual Site Plan approved prior to April 1, 2004. Such substitution shall not require a revision to any previous plan approvals. Further, at the time of Detailed Site Plan for a Mixed-Use Planned Community, the Planning Board or the District Council may approve modifications to these regulations so long as the modifications conform to the applicable regulations for the particular development.

COMMENT: This application conforms to the requirements above.

- i) **The maximum height of multifamily buildings shall be one hundred and ten (110) feet. This height restriction shall not apply within any Transit District Overlay Zone, designated General Plan Metropolitan or Regional Centers, or a Mixed-Use Planned Community.**

COMMENT: Not applicable. There are no multifamily buildings proposed with this application.

- j) **As noted in Section 27-544(b), which references property placed in the M-X-T Zone through a Sectional Map Amendment approved after October 1, 2006, and for which a comprehensive land use planning study was conducted by Technical Staff prior to initiation, regulations for Conceptual or Detailed Site Plans (such as, but not limited to density, setbacks, buffers, screening, landscaping, height, recreational requirements, ingress/egress, and internal circulation) should be based on the design guidelines or standards intended to implement the development concept recommended by the Master Plan, Sector Plan, or the Sectional Map Amendment Zoning Change and any referenced exhibit of record for the property. This regulation also applies to property readopted in the M-X-T Zone through a Sectional Map Amendment approved after October 1, 2006 and for which a comprehensive land use planning study was conducted by Technical Staff prior to initiation of a concurrent Master Plan or Sector Plan (see Section 27-226(f)(3) of the Zoning Ordinance). Notwithstanding any other provision of this Code, this**

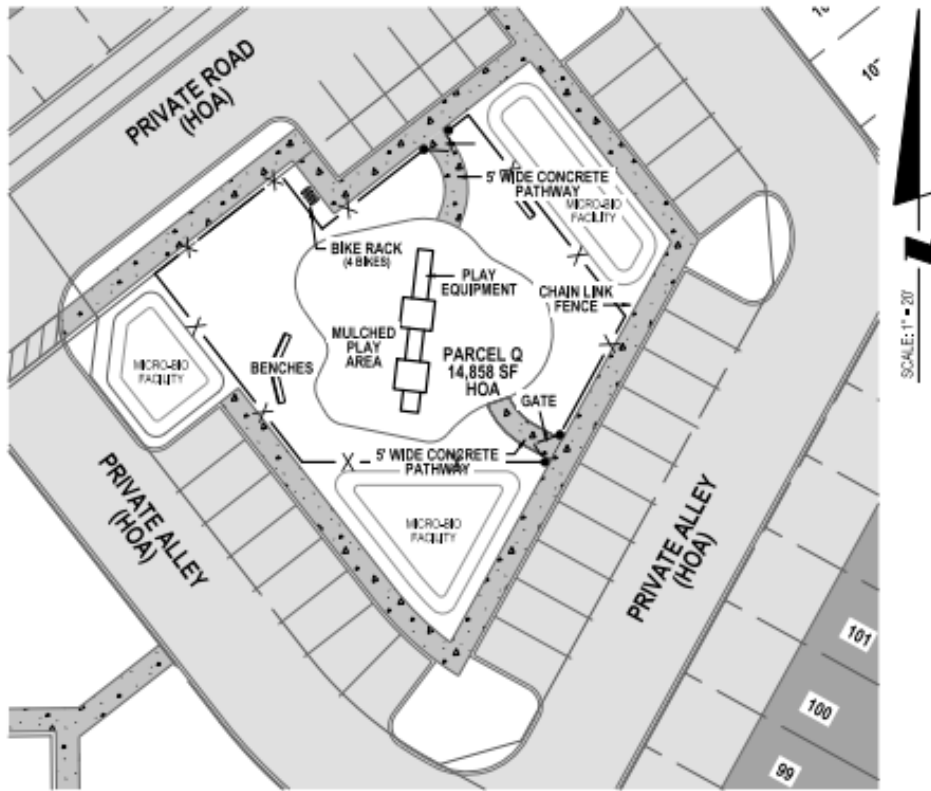
regulation shall not apply to property subject to the provisions of Section 27-544(f)(2)(I), above.

COMMENT: Not applicable. A comprehensive land use planning study was not conducted by Technical Staff for this property.

VIII. PRIVATE RECREATIONAL FACILITIES

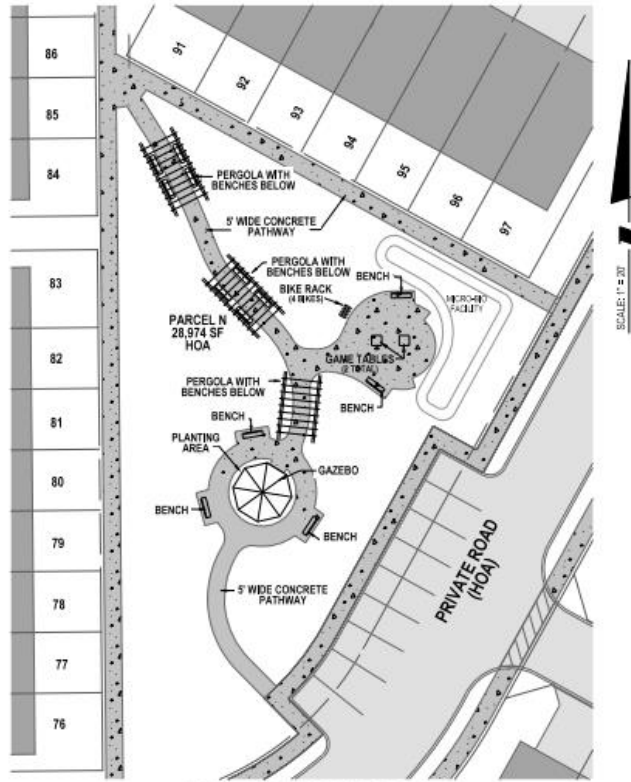
DSP-22028 proposes the development of 200 single-family attached (townhouse) residential units and the future development of approximately 5,000 square feet of commercial/retail uses. The applicant is proposing a mixture of both active and passive on-site private recreation facilities to serve the residents.

As provided on the detailed site plan, the applicant's proposed recreational facilities include the following: grilling area, dog park; walking path; tot lot play area; sitting areas and a fire pit sitting area; pergolas and gazebo; game tables; and butterfly garden. The applicant believes that these amenities, as evidenced by having successfully including them in other development projects, will result in a recreational area that will not only be utilized with great success, but will also be economically sustainable by the homeowner's association and residents of this neighborhood. As indicated above, depictions of the recreational facilities the applicant is proposing include the following:



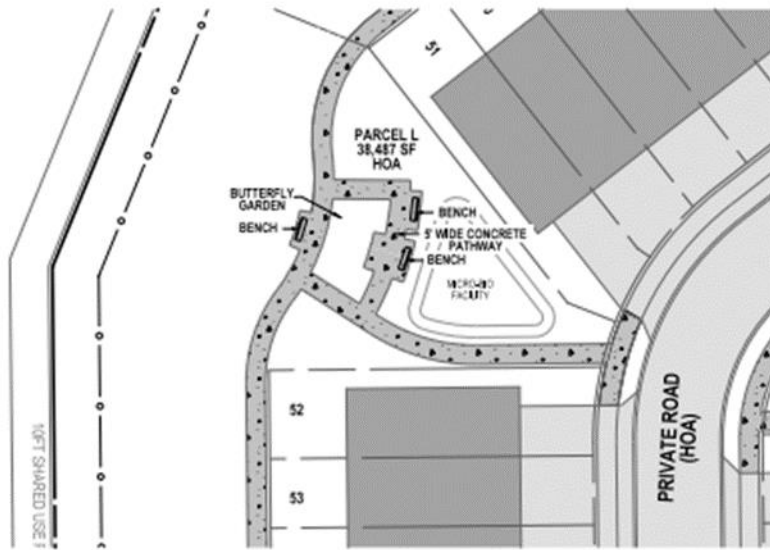
RECREATIONAL AREA - 1

SCALE: 1" = 20'



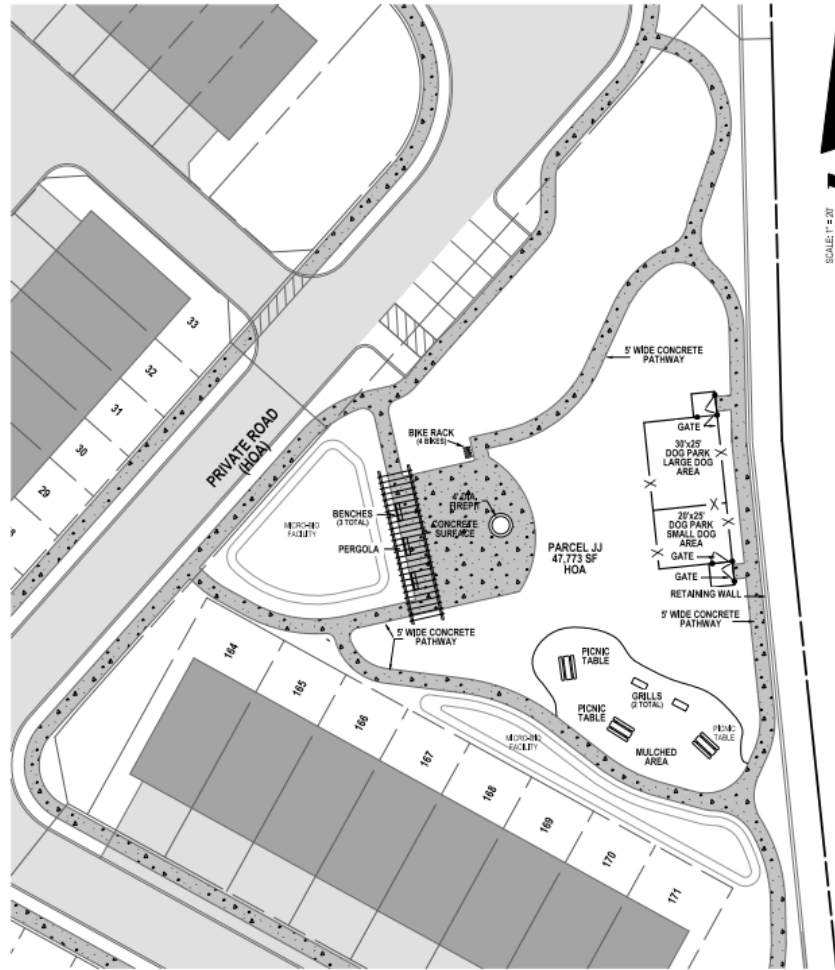
RECREATIONAL AREA - 2

SCALE: 1" = 20'



RECREATIONAL AREA - 3

SCALE: 1" = 20'



RECREATIONAL AREA - 4
SCALE: 1" = 20'

VII. CONCLUSION

Based on the foregoing, as well as all of the development plans filed in conjunction with this application, the applicant respectfully requests the approval of DSP-22028.

Respectfully submitted,

MCNAMEE HOSEA, P.A.

By: _____/s/_____
Matthew C. Tedesco, Esq.

Date: ~~November 29, 2022~~
December 29, 2022
(Second Pre-Review Filing)

**STATEMENT OF JUSTIFICATION
DSP-22028**

FAIRWOOD SQUARE

OWNER: Irmgard H. Hawkins By-Pass Trust
12205 Annapolis Road
Bowie, Maryland 20720

APPLICANT: Timberlake Homes, BT
304 Harry S. Truman Parkway, Suite M
Annapolis, MD 21401

ATTORNEY/AGENT: Matthew C. Tedesco, Esq.
McNamee Hosea, P.A.
6411 Ivy Lane, Suite 200
Greenbelt, Maryland 20770
(301) 441-2420 Voice
(301) 982-9450 Fax
MTedesco@mhlawyers.com

CIVIL ENGINEER: Soltesz, LLC
4300 Forbes Boulevard, Suite 230
Lanham, Maryland 20706
(301) 794-7555

REQUEST: Detailed Site Plan (DSP-22028) for the development of 200 Single-Family Attached (Townhouse) Residential Homes and the future development of approximately 5,000 square feet of commercial/retail uses in the prior R-E Zone.

I. DESCRIPTION OF PROPERTY

1. Property Address – 12105 and 12205 Annapolis Road and 5015 Enterprise Road, Bowie, Maryland 20720.
2. Location – Located at the southeast quadrant of the intersection of Annapolis Road (MD 450) and Enterprise Road (MD 193).
3. Use –200 Single-Family Attached (Townhouse) Residential Homes comprising of 18-foot, 20-foot, and 24-foot-wide units, and the future development of approximately 5,000 square feet of commercial/retail uses. The latter will require a separate DSP once commercial tenants are identified for approval of

architecture associated with the commercial component of the development. The unit breakdown is as follows:

24-foot-wide: 45 units (front loaded)
20-foot-wide: 54 units (rear loaded)
18-foot-wide: 101 units (rear loaded)

4. Incorporated Area – None.
5. Council District – 6.
6. Election District – 7.
7. Existing Lots and Parcels – Parcels 5, 118 and 123.
8. Total Area – 22.29 acres.
9. Tax Map/Grid – 45-E3, F3.
10. Zone – RE (Prior: R-E).
11. WSSC 200 FT Ref – 207NE11.
12. FAR – 0.44 proposed (1.4 permitted)
13. Density – 8.97du/acre

II. APPLICANT’S PROPOSAL

Timberlake Homes, BT (the “Applicant”) is requesting the approval of this Detailed Site Plan (DSP-22028) to accommodate the development of Fairwood Square (the “Property”). The Property is located in the southeast quadrant of the intersection of MD 450 (Annapolis Road) and MD 193 (Enterprise Road) and is 22.29 acres. The Property is comprised of three parcels, recorded by deed in the Prince George’s County Land Records as Parcel 5, recorded in Liber 15572 at folio 167; Parcel 118, recorded in Liber 15572 at folio 171; and Parcel 123, recorded in Liber 15594 at folio 275. The Property is within the Residential Estate Zone under both the current Prince George’s County Zoning Ordinance (known as the RE Zone) and the prior Zoning Ordinance (known as the R-E Zone). However, this application is being reviewed in accordance with the prior Prince George’s County Zoning Ordinance and prior Prince George’s County Subdivision Regulations, pursuant to Section 27-1704 of the County Code.

Specifically, Preliminary Plan of Subdivision 4-21058 (PGCPB Resolution No. 2022-108) triggers the “grandfathering” provisions set forth in Section 27-1704 pursuant to Section 24-1903(b), which provides that “[o]nce approved, development applications that utilize the

prior Subdivision Regulations shall be considered ‘grandfathered’ and subject to the provisions set forth in Section 24-1704 of this Subtitle.” Section 24-1704(b) provides, among other things, “until and unless the period of time under which the subdivision approval remains valid expires, the project may proceed to the next steps in the approval process (including any zoning steps that may be necessary) and continue to be reviewed and decided under the Subdivision Regulations and Zoning Ordinance in effect immediately prior to the effective date of the [new] County Subdivision Regulations and Zoning Ordinance.” Although the PPS was approved after April 1, 2022, Sections 24-1903(b) and 24-1704(b), when read together, clearly result in a “grandfathered” PPS that triggers the ability to pursue the “next steps in the approval process (including any zoning steps)” (i.e., a DSP under Part 27 of the Code) vis-à-vis Section 27-1704 of the new Zoning Ordinance. Consequently, this detailed site plan is filed under (or pursuant to) Section 27-1704 of the new Zoning Ordinance. Section 27-1704(a) provides: “development approvals or permits of any type approved under this Subtitle or Subtitle 24 of this Code prior to April 1, 2022 remain valid for the period of time specified in the Zoning Ordinance or Subdivision Regulations under which the project was approved.”

The applicant has spent more than nine (9) months and a significant amount of money not only preparing and processing PPS 4-21058, but also in preparing and designing this detailed site plan (including all accompanying supporting plans/documents) pursuant to the regulations and requirements applicable to the prior Subdivision Regulations and prior Zoning Ordinance. That is, on November 16, 2021, the District Council adopted CB-50-2021 that amended Section 27-441(b)(1) and (7) to allow any use allowed in the M-X-T Zone (excluding those permitted by special exception) under certain circumstances. The subject property conforms to the requirements of Footnote 144, and the applicant seeks to development the property pursuant to the same. Further, the applicant recognizes that the provisions of the prior Subdivision Regulations and prior Zoning Ordinance have been successfully utilized and implemented for development of mixed-uses throughout the County for decades. Therefore, with the utilization of Footnote 144, which is consistent with the future land use recommendation(s) in the recently adopted Bowie and Vicinity Master Plan for the subject property, development pursuant to the prior Subdivision Regulations and prior Zoning Ordinance offers the most efficient, flexible, and established framework for review and approval of the applicant’s desired use/development at this time.

DSP-22028 proposes 200 single family attached units (townhouse) comprising of forty-five (45) 24-foot-wide units; fifty-four (54) 20-foot-wide units; and one hundred and one (101) 18-foot-wide units. The DSP also includes 36 parcels for private streets, HOA parcels, open space and recreation areas; and for future commercial development comprising of approximately 5,000 square feet of gross floor area.

	SF	AC
Total Site Area	970,952	22.29
Area of Floodplain		0.00
Net Tract Area		22.29

		# of units	Base SF	Total SF	
Madiera	18' RL	101	1,740	175,740	
Foxglove/Redwood*	20' RL	54	2,238	120,852	
Roland/Liberty**	24' FL	45	2,831	127,395	
GFA This Application		200		428,936	21.32 AC
GFA – Commercial/Retail***				5,000	0.97AC
FAR					0.44****

* The DSP includes two different model types for the 20-foot-wide products, the templates of which and Statement of Finished Square Footage for both are provided on the DSP submitted herewith.

** The DSP includes two different model types for the 24-foot-wide products, the templates of which and Statement of Finished Square Footage for both are provided on the DSP submitted herewith.

*** A future architectural DSP for the commercial/retail component of the development will be required.

**** Section 27-545(b)(2)(A): Optional Method of Development. Residential Use. Additional gross floor area equal to a floor area ratio (FAR) of one (1.0) shall be permitted where twenty (20) or more dwelling units are provided. Consequently, the base FAR of 0.4 (Sec. 27-548) is increased under the Optional Method of Development to an FAR of 1.4 since more than twenty (20) residential units are provided.

III. COMMUNITY

Fairwood Square is located on Tax Map 45 in Grids E3, E4, and F3. The property is within Planning Area 71A. The properties abutting the subject site to the east consist of single-family detached dwellings within the Legacy Mixed-Use Community (formerly the Mixed-Use Community) Zone. The properties abutting the site to the south consist of single-family detached dwellings within the RE Zone under the current and prior zoning. The properties to the west, beyond MD 193 and Glenn Dale Boulevard, consist of single-family detached dwellings and vacant land within the Residential, Rural Zone under the current and prior zoning. The properties to the north, beyond MD 450, currently consist of commercial development (gas station and office buildings) within the Commercial, General and Office (CGO) and Commercial Service (CS) (formerly the Commercial Office and Commercial Miscellaneous) Zones.

The site is within the 2022 *Approved Bowie-Mitchellville and Vicinity Master Plan* (“Master Plan”). Land Use strategy 17.1 of the Master Plan recommends the redevelopment of the site (otherwise known as the former Frank’s Nursery property) into commercial land use (page 76). Map 16, Future Land Use, designates this property in the Commercial future land use category (page 50). Comprehensive Zoning strategy 11.1 of the master plan recommends the reclassification of the property to the CGO Zone to support the recommended commercial development (page 89). The CGO Zone permits single-family attached units at 20 units to the

acre, which is double the density proposed with DSP-22028. Notwithstanding, with the approval of PPS 4-21058, the Planning Board correctly found, in accordance with Section 24-121(a)(5) of the prior Subdivision Regulations, that events have occurred to render the relevant recommendations within the comprehensive plan no longer appropriate, is no longer applicable, or the Prince George’s County District Council has not imposed the recommended zoning. This finding was based on the fact that the Master Plan did not include an SMA and based on the fact that the District Council adopted Prince George’s County Council Bill CB-050-2021 in 2021, allowing townhouses and commercial uses that are generally permitted in the Mixed-Use Transportation Oriented (M-X-T) Zone, to be developed in the R-E Zone under certain circumstances. Consequently, the District Council has not imposed the recommended zoning. Therefore, the development previously satisfied the requirements of Section 24-121(a)(5).

“Plan Prince George’s 2035” (Plan 2035), which placed the subject property in the Established Communities Growth Policy Area. Plan 2035:

classifies existing residential neighborhoods and commercial areas served by public water and sewer outside of the Regional Transit Districts and Local Centers, as Established Communities. Established Communities are most appropriate for context-sensitive infill and low-to medium-density development. Plan 2035 recommends maintaining and enhancing existing public services (police and fire/EMS), facilities (such as libraries, schools, parks, and open space), and infrastructure in these areas (such as sidewalks) to ensure that the needs of existing residents are met.

(Plan 2035 at p. 20).

IV. PREVIOUS APPROVALS

The Property is subject to PPS 4-21058, which was approved by the Prince George’s County Planning Board on October 20, 2022, and PGCPB Resolution No. 2022-108 was adopted on November 10, 2022 with the following conditions applicable to the review of DSP-22028:

2. **Development of the site shall be in conformance with Stormwater Management Concept Plan 45700-2021, and any subsequent revisions.**

COMMENT: A SWM concept plan (45700-2021-00) was approved by the Prince George’s County Department of Permitting, Inspections and Enforcement (DPIE) on August 29, 2022 and is valid until August 29, 2025. The SWM concept plan shows the use of 31 micro-bioretenion facilities, 1 submerged gravel wetland, and 1 pond, which are reflected on the DSP.

5. **Prior to approval of a detailed site plan, the applicant and the applicant’s heirs, successors, and/or assignees shall provide the following:**

- a. **Signage and design features to facilitate a limited right-in/right-out only access driveway from the western access point along MD 450 (Annapolis Road), as well as the driveway design and exact details/profiles of the signage, unless modified by the State Highway Administration at the time of access permit.**

COMMENT: The right-in and right-out access along eastbound MD 450 has been approved by SHA and will be designed to SHA standards and specifications. The entrance will include the required “bell shaped island” to enforce right-in and right-out movements along with the standard signage and pavement markings as required by SHA.

- b. **A noise study certified by a professional engineer with competency in acoustical analysis demonstrating the proposed lots are not impacted, or that interior noise levels for dwellings impacted by the 65 dBA Ldn noise contour will be reduced to 45 dBA or less, and exterior recreational spaces will be reduced to 65 dBA or less.**

COMMENT: The applicant has commissioned a second noise study that will further analyze the predicted combined noise exposures of MD 450 and MD 193 at specific locations that are representative of the proposed dwelling units. This study will include the Federal Highway Administration (FHWA) highway traffic noise predictions procedure, Traffic Noise Model (TNM), along with traffic data. Spatial fluctuation of noise will be mapped and the TNM will provide the estimated noise exposure on the site. This report is currently in process and will be provided prior to the approval of the detailed site plan, as required by this condition.

10. The applicant and the applicant’s heirs, successors, and/or assignees shall construct the following facilities as part of the development of the site, and show these facilities on a pedestrian and bikeway facilities plan, as part of the detailed site plan, prior to its acceptance:

- a. **A minimum 10-foot-wide shared-use path along the property frontage of MD 450 (Annapolis Road), unless modified by the operating agency with written correspondence.**

COMMENT: A minimum 10-foot-wide shared-use path along the property frontage of MD 450 (Annapolis Road), unless modified by the operating agency with written correspondence, is provided on the detailed site plan.

- b. **A minimum 10-foot-wide shared-use path along the property frontage of MD 193 (Enterprise Road), unless modified by the operating agency with written correspondence.**

COMMENT: A minimum 10-foot-wide shared-use path along the property frontage of MD 193 (Enterprise Road), unless modified by the operating agency with written correspondence, is provided on the detailed site plan.

- c. **A minimum 5-foot-wide sidewalk along both sides of the internal roadways throughout the site, including Americans with Disabilities Act curb ramps and associated crosswalks.**

COMMENT: A minimum 5-foot-wide sidewalk along both sides of the internal roadways throughout the site, including Americans with Disabilities Act curb ramps and associated crosswalks, is provided on the detailed site plan.

- d. **Provide Americans with Disabilities Act curb ramps and crosswalks crossing all vehicular access points.**

COMMENT: Americans with Disabilities Act curb ramps and crosswalks crossing at all vehicular access points is provided on the detailed site plan.

- e. **Bicycle parking near the commercial building entrance, in accordance with American Association of State Highway and Transportation Officials (AASHTO) guidelines.**

COMMENT: This will be depicted on the future detailed site plan for the commercial building/parcel.

- 13. **The on-site recreational facilities shall be reviewed by the Urban Design Section of the Development Review Division of the Prince George's County Planning Department, for adequacy and proper siting, in accordance with the Parks and Recreation Facilities Guidelines, with the review of the site plan. Timing for construction shall also be determined at the time of detailed site plan.**

COMMENT: As provided the Recreation Plan included with the DSP, the applicant proposes three (3) phases and four (4) recreational areas. The phasing schedule for the private on-site recreational amenities are proposed as follows:

CONSTRUCTION TIMELINE

**PHASE 1: PRIOR TO 71st BUILDING PERMIT
- CONSTRUCT REC. AREA 1**

**PHASE 2: PRIOR TO 110th BUILDING PERMIT
- CONSTRUCT REC. AREA 2 & 3**

**PHASE 3: PRIOR TO 192ND BUILDING PERMIT
- CONSTRUCT REC. AREA 4**

Graphically, the phases are depicted as follows:



Additional information regarding the details of each recreation facility within each phase are provided below.

V. CONFORMANCE WITH THE ZONING ORDINANCE

The District Council exercised its legislative authority to amend the Zoning Ordinance by creating receiving areas for certain types of mixed uses allowed in the M-X-T Zone to be developed in the R-E Zone, subject to Footnote 144. Specifically, said uses are conditional – requiring conformance with three specific criteria including DSP approval. Conformance with these regulations (and additional Zoning Ordinance regulations discussed below) is required for the proposed development at the time of DSP review, including but not limited to the following:

Footnote 144: Provided, and notwithstanding any other provision of this Subtitle, that:

a. The uses are located on property or an assemblage of adjacent properties that:

- 1. Prior to its subdivision to create any residential and commercial parcels or lots had a land area of at least twenty (20) acres;**
- 2. A portion of the boundary of the assemblage of adjacent properties is located at, and has frontage on, two intersecting roadways with a functional transportation classification of arterial or higher on the Master Plan of Transportation;**
- 3. A portion of the boundary of the assemblage of adjacent properties is adjacent to property that is located in a mixed-use zone or planned community zone.**

COMMENT: The subject property meets the minimum acreage requirement with 22.29 acres and has frontage on intersecting arterial roadways MD 450 and MD 193, and is adjacent to a mixed-used zone property to the east.

b. A Detailed Site Plan shall be approved in accordance with Part 3, Division 9 of this Subtitle. Regulations concerning the net lot area, lot coverage, and green area, lot/width frontage, yards, building height, density, accessory buildings, minimum area for development, and any other requirements of the R-E Zone shall not apply. The maximum residential density shall not exceed 200 dwelling units. The applicable regulations for the M-X-T Zone as set forth in Sections 27-544(a) and 27-548(h) shall apply.

COMMENT: DSP-22028 is being filed in conformance to this criterion. Further, the proposed density does not exceed 200 residential units in conformance with this criterion. Finally, and as further provided on the detailed site plan filed in conjunction with the application and as further articulated below, the development complies with the regulations for the M-X-T Zone.

c. Notwithstanding the Table of Uses for the M-X-T Zone in Section 27 547(b), a gas station shall be prohibited. All other uses must be consistent with uses in the M-X-C Zone.

COMMENT: The applicant's proposal conforms to Criteria c, as a gas station is not proposed and all uses are consistent with uses in the M-X-C Zone.

VI. CRITERIA FOR APPROVAL OF A DETAILED SITE PLAN & DESIGN GUIDELINES

The following Sections of the Prince George's County Zoning Ordinance are applicable to this application.

Section 27-285. Planning Board procedures.

(b) Required findings.

- (1) The Planning Board may approve a Detailed Site Plan if it finds that the plan represents a reasonable alternative for satisfying the site design guidelines, without requiring unreasonable costs and without detracting substantially from the utility of the proposed development for its intended use. If it cannot make these findings, the Planning Board may disapprove the Plan.**

COMMENT: Based on the points and reasons provided herein, in addition to the evidence filed in conjunction with this application (or any other previously approved applications as incorporated herein, as needed), the applicant contends that DSP-22028 represents the most reasonable alternative for satisfying the site design guidelines without requiring unreasonable costs and without detracting substantially from the utility of the proposed development for the intended uses. The project has been carefully designed to provide a mix of uses while also providing open space, recreation areas, landscape buffers, and a transition from the two intersection arterial roadways that front the property.

During the review of the PPS, concerns regarding the proposed density were raised. As articulated at the Planning Board hearing on October 20, 2022, the project design accommodates meaningful open space and further supports the finding, notwithstanding contentions to the contrary, that the site development is appropriate. After dedication of approximately 0.22 acres along the MD 450 frontage, the project would provide 12.37 acres of open space (or 56%). Taking a more conservative view, and although not applicable, assuming the open space set-side regulations provided in 27-6403 were applicable, this project would provide 7.7 acres (or 34.9%) open space set-aside. Section 27-6403 lists the requirements for the open space set aside which is 10% in the Residential Base Zone with mixed uses, 20% if all residential uses, and, assuming the implantation of the Master Plan CZ requirement to the CGO, it would be 7.5% for mixed uses or 15% if all residential uses. This amount of open space ensures a quality project while not detracting from the utility of the proposed development for its intended use.

- (2) The Planning Board shall also find that the Detailed Site Plan is in general conformance with the approved Conceptual Site Plan (if one was required).**

COMMENT: Not applicable. A Conceptual Site Plan was not required.

- (3) The Planning Board may approve a Detailed Site Plan for Infrastructure if it finds that the plan satisfies the site design guidelines as contained in Section 27-274, prevents offsite property damage, and prevents environmental degradation to safeguard the**

public's health, safety, welfare, and economic well-being for grading, reforestation, woodland conservation, drainage, erosion, and pollution discharge.

COMMENT: Not applicable. DSP-22028 is not a detailed site plan for infrastructure.

- (4) The Planning Board may approve a Detailed Site Plan if it finds that the regulated environmental features have been preserved and/or restored in a natural state to the fullest extent possible in accordance with the requirement of Subtitle 24-130(b)(5).**

COMMENT: A natural resource inventory (NRI-131-06-02) was approved on July 12, 2022, and was provided with this application and the previously approved PPS (4-21058). The site contains a nontidal wetland with its associated buffer, which is not being impacted by the proposed development. There are 11 specimen trees scattered throughout the site. With the exception of the removal of five specimen trees, which was approved with the PPS, the other existing specimen trees are being preserved. In addition, according to the Green Infrastructure Plan, the southern half of the site is in the evaluation area, with the remainder of the site outside of the green infrastructure. The project design, as reflected on the DSP and the TCP2, meets the goals of the Green Infrastructure Plan, and focuses development outside of the most sensitive areas of the site. A SWM concept plan (45700-2021-00) was approved by the Prince George's County Department of Permitting, Inspections and Enforcement (DPIE) on August 29, 2022 and is valid until August 29, 2025. The SWM concept plan shows the use of 31 micro-bioretenion facilities, 1 submerged gravel wetland, and 1 pond, which are reflected on the DSP. Finally, development of this site is subject to the current WCO and TCC requirements, both of which are being met with this application. Finally, there are no Nontidal Wetlands of Special State Concern (NTWSSC) as mapped on Map 41 of the Master Plan.

The Planning Board, in approving PPS 4-21058 made findings in conformance with Section 24-130(b)(5), and this detailed site plan application is in substantial conformance with PPS 4-21058. Therefore, and for the other reasons provided herein and submitted herewith, the regulated environmental features have been preserved and/or restored in a natural state to the fullest extent possible.

Section 27-281. Purpose of Detailed Site Plans.

(b) General purposes.

(1) The general purposes of Detailed Site Plans are:

- (A) To provide for development in accordance with the principles for the orderly, planned, efficient and economical development contained in the General Plan, Master Plan, or other approved plan;**
- (B) To help fulfill the purposes of the zone in which the land is located;**
- (C) To provide for development in accordance with the site design guidelines established in this division; and**

- (D) **To provide approval procedures that are easy to understand and consistent for all types of Detailed Site Plans.**
- (c) **Specific purposes.**
 - (1) **The specific purposes of Detailed Site Plans are:**
 - (A) **To show the specific location and delineation of buildings and structures, parking facilities, streets, green areas, and other physical features and land uses proposed for the site;**
 - (B) **To show specific grading, planting, sediment control, tree preservation, and storm water management features proposed for the site;**
 - (C) **To locate and describe the specific recreation facilities proposed, architectural form of buildings, and street furniture (such as lamps, signs, and benches) proposed for the site; and**
 - (D) **To describe any maintenance agreements, covenants, or construction contract documents that are necessary to assure that the Plan is implemented in accordance with the requirements of this Subtitle.**

COMMENT: As articulated herein, as depicted on the detailed site plan, and previously analyzed by the findings made by the Planning Board in approving PPS 4-21058, this Detailed Site Plan will promote many of the purposes found in Section 27-281.

Section 27-283. Site Design Guidelines

- (a) **The Detailed Site Plan shall be designed in accordance with the same guidelines as required for a Conceptual Site Plan (Section 27-274).**
- (b) **The guidelines shall only be used in keeping with the character and purpose of the proposed type of development, and the specific zone in which it is to be located.**
- (c) **These guidelines may be modified in accordance with Section 27-286.**

COMMENT: Generally, Section 27-274 provides design guidelines regarding parking, loading, and circulation, lighting, views, green area, site and streetscape amenities, grading, service areas, public spaces, and architecture. It is worth noting that every sub-part of Section 27-274(a) uses the word “should” when describing each of the guidelines. Thus, none of the design guidelines are mandatory; instead, they are as they appear, guidelines used to promote the purposes of the zone. The Planning Board is authorized to approve a detailed site plan so long as the plan represents a *reasonable alternative to satisfying the guidelines* – without requiring unreasonable costs or detracting substantially from the utility of the proposed development for its intended (and *permitted*) use.

Specifically, the applicant offers the following:

Section 27-274. Design Guidelines

In addition to the purposes set forth in Section 27-281, Section 27-274 further requires the Applicant demonstrate the following:

(1) General.

(A) The Plan should promote the purposes of the [Detailed] Site Plan.

COMMENT: The purposes of the Detailed Site Plan are found in Sections 27-281(b) and (c).

(2) Parking, loading, and circulation

(A) Surface parking lots should be located and designed to provide safe and efficient vehicular and pedestrian circulation within the site, while minimizing the visual impact of cars. Parking spaces should be located to provide convenient access to major destination points on the site.

(B) Loading areas should be visually unobtrusive and located to minimize conflicts with vehicles or pedestrians.

(C) Vehicular and pedestrian circulation on a site should be safe, efficient, and convenient for both pedestrians and drivers.

COMMENT: DSP-22028 will provide garage parking for the residents and on street parking and minor parking lots for visitors throughout the site. Resident parking is shown on the lots it serves. Surface parking is generally adjacent to recreational facilities; some overflow parking is appropriately provided on the street near residences. There are no large uninterrupted expanses of pavement. None of the parking is generally visible from outside DSP-22028. No loading docks are proposed with this DSP. Main entrance to the Property is from MD 450. Sidewalks are proposed along the public (subject to the operating agency) and private roads to provide safe and efficient pedestrian circulation, minimizing conflicts between pedestrians and vehicles. Crosswalks are clearly marked.

(3) Lighting.

(A) For uses permitting nighttime activities, adequate illumination should be provided. Light fixtures should enhance the design character.

COMMENT: This DSP, which proposes residential uses, anticipates at least some activities taking place in the evening and will provide adequate lighting levels for safe vehicular and pedestrian movements. The site lighting will provide the new residents with a bright, safe atmosphere while not causing a glare or light bleeding onto adjoining properties, as the applicant proposes to use full cut-off light fixtures. For details of the lighting proposed, please see Sheet 2 of the Landscape Plan. The location and photometrics of the light fixtures can be found on the separate Photometric Plan.

(4) Views.

(A) Site design techniques should be used to preserve, create, or emphasize scenic views from public areas.

COMMENT: This Detailed Site Plan complies with the design guidelines outlined in sub-part (4). All buildings will be designed to provide a modern, clean and strong presence along road frontages. Other views and public areas will be emphasized through the use of sidewalks to collectively connect the various components of the project. Landscape treatments are proposed throughout the site, but also along the frontages of MD 450 and MD 193, which will further create or emphasize views from public areas.

(5) Green Area.

- (A) On site green area should be designed to complement other site activity areas and should be appropriate in size, shape, location, and design to fulfill its intended use.**

COMMENT: Green area is dispersed throughout the property. They are easily accessible for maintenance and provide separation between townhomes. For the location and details of the recreation facilities, please see Sheets 1 and 2 of the Recreation Plan. In addition, and as mentioned previously, during the review of the PPS, concerns regarding the proposed density were raised. As articulated at the Planning Board hearing on October 20, 2022, the project design accommodates meaningful open space and further supports the finding, notwithstanding contentions to the contrary, that on-site green area (or open space) is appropriate in size, shape, location, and design. After dedication of approximately 0.22 acres along the MD 450 frontage, the project would provide 12.37 acres of open space (or 56%). Taking a more conservative view, and although not applicable, assuming the open space set-side regulations provided in 27-6403 were applicable, this project would provide 7.7 acres (or 34.9%) open space set-aside. Section 27-6403 lists the requirements for the open space set aside which is 10% in the Residential Base Zone with mixed uses, 20% if all residential uses, and, assuming the implantation of the Master Plan CZ requirement to the CGO, it would be 7.5% for mixed uses or 15% if all residential uses. This amount of open space ensures a quality project while not detracting from the utility of the proposed development for its intended use.

(6) Site and streetscape amenities.

- (A) Site and streetscape amenities should contribute to an attractive, coordinated development and should enhance the use and enjoyment of the site.**

COMMENT: The Detailed Site Plan and Landscape Plan submitted with this application comply with the design guidelines outlined in sub-part (6). The proposed site and streetscape amenities will contribute to be attractive and coordinated with the development. That is, the site fixtures will be durable high-quality material and will be attractive, which will enhance the site for the future residents and patrons. As further referenced above, within this proposed phase, additional street connections and street scape amenities are proposed.

(7) Grading.

- (A) Grading should be performed to minimize disruption to existing topography and other natural and cultural resources on the site and on adjacent sites. To the extent practicable, grading should minimize**

environmental impacts.

COMMENT: This Detailed Site Plan complies with the design guidelines outlined in sub-part (7). All grading and landscaping will help to soften the overall appearance of the improvements once constructed. The proposed development will address the needs and expectations of the modern resident. All grading and landscaping will help to soften the overall appearance of the improvements once constructed. The proposed development will address the needs and expectations of the modern consumer. To the fullest extent practical, all grading will be designed to minimize disruption to existing topography.

(8) Service Areas.

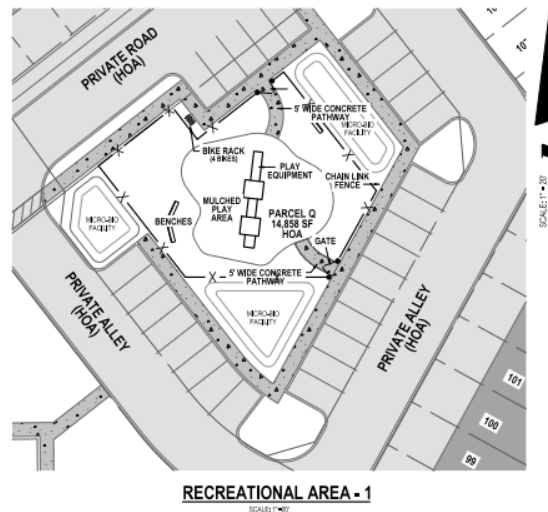
(A) Service areas should be accessible, but unobtrusive.

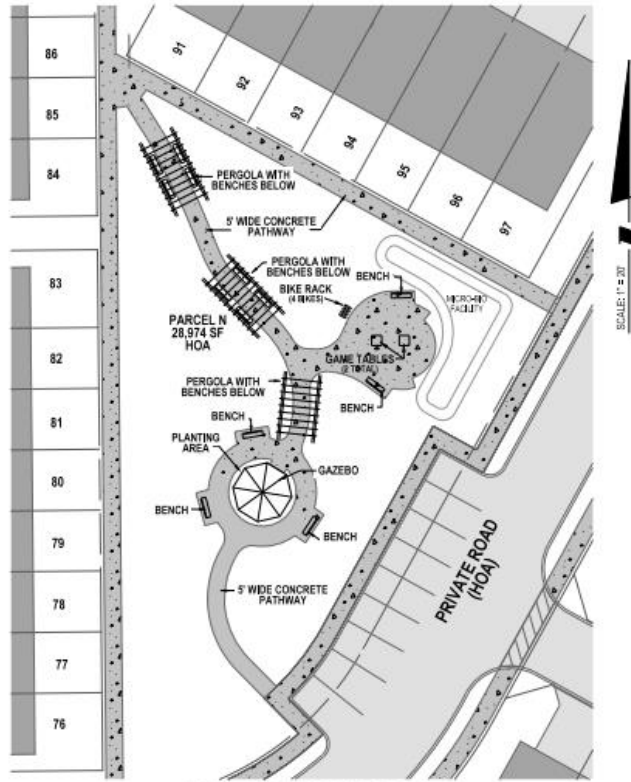
COMMENT: Service areas are not proposed with DSP-22028.

(9) Public Spaces.

(A) A public space system should be provided to enhance a large-scale commercial, mixed use, or multifamily development.

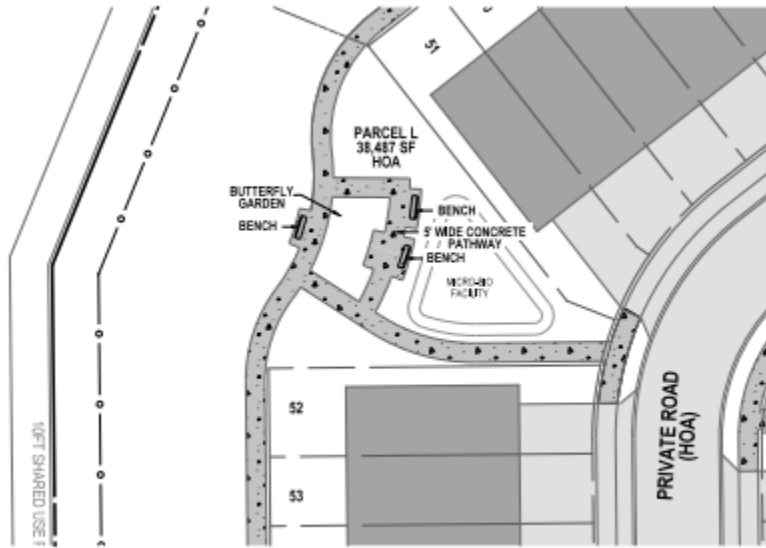
COMMENT: The overall massing of buildings and attention to scale for this project, which are primarily residential in nature, will help create pedestrian and quasi-public areas that will be convenient to the residents. In particular, these areas include the open space and recreational areas proposed for the project that will serve the residents and their guests. These areas include recreations areas 1 – 4 depicted below. Additional public space will be in the form of the future detailed site plan for the commercial component of the project.





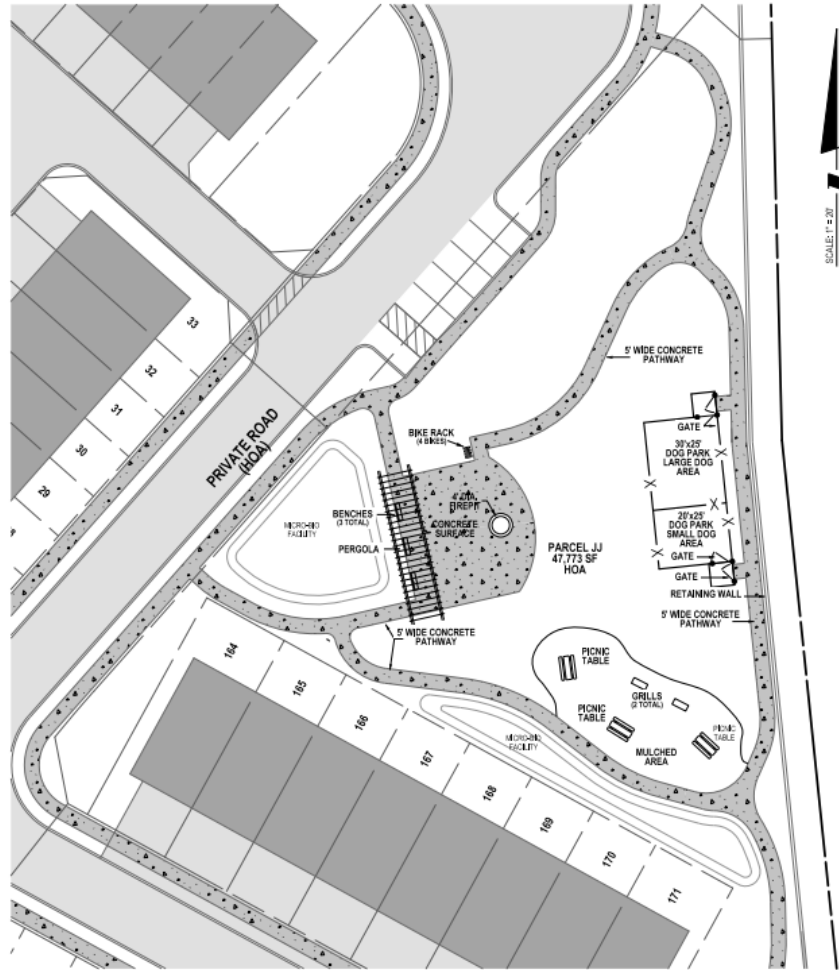
RECREATIONAL AREA - 2

SCALE: 1" = 20'



RECREATIONAL AREA - 3

SCALE: 1" = 20'



RECREATIONAL AREA - 4
SCALE: 1" = 20'

(10) Architecture.

- (A) When architectural considerations are references for review, the Conceptual Site Plan should include a statement as to how the architecture of the buildings will provide a variety of building forms, with unified, harmonious use of materials and styles.**
- (B) The guidelines shall only be used in keeping with the character and purpose of the proposed type of development and the specific zone in which it is to be located.**
- (C) These guidelines may be modified in accordance with section 27-277.**

COMMENT: Architecture proposed with DSP-22028 complies with the design guidelines outlined in sub-part (10). The elevations for the proposed residential units are provided on the architectural elevations on Sheets submitted with this application. The design of the residential units depict high quality design and materials.

- (11) **Townhouses and Three-Story Dwellings.**
- (A) **Open space areas, particularly areas separating the rears of buildings containing townhouses, should retain, to the extent possible, single or small groups of mature trees. In areas where trees are not proposed to be retained, the applicant shall demonstrate to the satisfaction of the Planning Board or the District Council, as applicable, that specific site conditions warrant the clearing of the area. Preservation of individual trees should take into account the viability of the trees after the development of the site.**
 - (B) **Groups of townhouses should not be arranged on curving streets in long, linear strips. Where feasible, groups of townhouses should be at right angles to each other, and should facilitate a courtyard design. In a more urban environment, consideration should be given to fronting the units on roadways.**
 - (C) **Recreational facilities should be separated from dwelling units through techniques such as buffering, differences in grade, or preservation of existing trees. The rears of buildings, in particular, should be buffered from recreational facilities.**
 - (D) **To convey the individuality of each unit, the design of abutting units should avoid the use of repetitive architectural elements and should employ a variety of architectural features and designs such as roofline, window and door treatments, projections, colors, and materials. In lieu of this individuality guideline, creative or innovative product design may be utilized.**
 - (E) **To the extent feasible, the rears of townhouses should be buffered from public rights-of-way and parking lots. Each application shall include a visual mitigation plan that identifies effective buffers between the rears of townhouses abutting public rights-of-way and parking lots. Where there are no existing trees, or the retention of existing vegetation is not practicable, landscaping, berming, fencing, or a combination of these techniques may be used. Alternatively, the applicant may consider designing the rears of townhouse buildings such that they have similar features to the fronts, such as reverse gables, bay windows, shutters, or trim.**
 - (F) **Attention should be given to the aesthetic appearance of the offsets of buildings.**

COMMENT: The layout of the townhouse units depicted on DSP-22028 have been designed in an effort to, as much as possible; minimize the views of the rear of the units. Although the majority of units along MD 450 and MD 193 are perpendicular to the roads, they have been designed as rear loaded units so that the backs of units do not front on the public road. In addition, landscaping will be provided within landscape buffers/yards along the property frontage and in common areas within the site. Street trees will further screen and/or soften the units from the public right-of-way and private streets. Again, the architectural plans depict units that will provide high quality architecture with a variety of architectural elements to promote

individuality or aesthetically pleasing appearances with offsets of buildings. The high quality of the units will be depictive of and complement existing high quality residential development in the area. Finally, and as articulated above, the applicant is proposing a large percentage of open space – some of which will be amenitized with recreational areas (to wit: recreational areas 1 – 4) (see above) to serve the residents and their guests.



VII. M-X-T ZONE REGULATIONS

Sec. 27-548. - M-X-T Zone.

a) **Maximum floor area ratio (FAR):**

- 1) **Without the use of the optional method of development — 0.40 FAR; and**
- 2) **With the use of the optional method of development — 8.00 FAR.**

COMMENT: The FAR proposed by this application is 0.44.

- #### b) **The uses allowed in the M-X-T Zone may be located in more than one (1) building, and on more than one (1) lot.**

COMMENT: The uses proposed are located on more than one lot and in more than one building.

- #### c) **Except as provided for in this Division, the dimensions for the location, coverage, and height of all improvements shown on an approved Detailed Site Plan shall constitute the regulations for these improvements for a specific development in the M-X-T Zone.**

COMMENT: The Development Standards proposed with this application can be found on the DSP coversheet.

- #### d) **Landscaping, screening, and buffering of development in the M-X-T Zone shall be provided pursuant to the provisions of the Landscape Manual. Additional buffering and screening may be required to satisfy the purposes of the M-X-T Zone and to protect the character of the M-X-T Zone from adjoining or interior incompatible land uses.**

COMMENT: This application meets all buffer and plant unit requirements of the Landscape Manual and exceeds the TCC requirements.

- #### e) **In addition to those areas of a building included in the computation of gross floor area (without the use of the optional method of development), the floor area of the following improvements (using the optional method of development) shall be included in computing the gross floor area of the building of which they are a part: enclosed pedestrian spaces, theaters, and residential uses. Floor area ratios shall exclude from gross floor area that area in a building or structure devoted to vehicular parking and parking access areas (notwithstanding the provisions of Section 27-107.01). The floor area ratio shall be applied to the entire property which is the subject of the Conceptual Site Plan.**

COMMENT: The Floor Area Ratio calculation is shown on detailed site plan cover sheet.

- f) **Private structures may be located within the air space above, or in the ground below, public rights-of-way.**

COMMENT: Not applicable. This application does not propose private structures above or below the public right-of-way.

- g) **Each lot shall have frontage on, and direct vehicular access to, a public street, except lots for which private streets or other access rights-of-way have been authorized pursuant to Subtitle 24 of this Code.**

COMMENT: All units have access from the adjacent private streets or alleys in accordance with Subtitle 24, and as further approved with PPS 4-21058.

- h) **Townhouses developed pursuant to a Detailed Site Plan for which an application is filed after December 30, 1996, shall be on lots at least one thousand two hundred (1,200) square feet in size, and shall have at least sixty percent (60%) of the full front facades constructed of brick, stone, or stucco. In addition, there shall be no more than eight (8) townhouses per building group, except where the applicant demonstrates to the satisfaction of the Planning Board or District Council, as applicable, that more than eight (8) dwelling units (but not more than ten (10) dwelling units) would create a more attractive living environment or would be more environmentally sensitive. In no event shall the number of building groups containing more than eight (8) dwelling units exceed twenty percent (20%) of the total number of building groups in the total development. The minimum building width in any continuous, attached group shall be eighteen (18) feet, and the minimum gross living space shall be one thousand two hundred and fifty (1,250) square feet. For the purposes of this Subsection, gross living space shall be defined as all interior building space except the garage and unfinished basement or attic area. The minimum lot size, maximum number of units per building group and percentages of such building groups, and building width requirements and restrictions shall not apply to townhouses on land any portion which lies within one-half (½) mile of an existing or planned mass transit rail station site operated by the Washington Metropolitan Area Transit Authority and initially opened after January 1, 2000. In no event shall there be more than ten (10) dwelling units in a building group and no more than two (2) building groups containing ten (10) dwelling units. For purposes of this section, a building group shall be considered a separate building group (even though attached) when the angle formed by the front walls of two (2) adjoining rows of units is greater than forty-five degrees (45°). Except that, in the case of a Mixed-Use Planned Community, there shall be no more than eight (8) townhouses per building group, except when the applicant demonstrates to the satisfaction of the Planning Board or District Council, as applicable, that more than eight (8) dwelling units (but not more than ten (10) dwelling units) would create a more attractive living environment or would be more environmentally sensitive. In no event shall the number of building groups containing more than eight (8) dwelling units exceed twenty percent (20%) of the**

total number of building groups in the total development. The minimum building width in any continuous, attached group shall be eighteen (18) feet, and the minimum gross living space shall be one thousand two hundred and fifty (1,250) square feet. For the purposes of this Subsection, gross living space shall be defined as all interior building space except the garage and unfinished basement or attic area. Garages may not dominate the streetscape. Garages that are attached or incorporated into the dwelling shall be set back a minimum of four (4) feet from the front façade and there shall not be more than a single garage, not to exceed ten (10) feet wide, along the front façade of any individual unit. Garages may be incorporated into the rear of the building or freestanding in the rear yard and accessed by an alley. Sidewalks are required on both sides of all public and private streets and parking lots. At the time of Detailed Site Plan, the Planning Board or the District Council may approve a request to substitute townhouses, proposed for development as condominiums, in place of multifamily dwellings that were approved in a Conceptual Site Plan approved prior to April 1, 2004. Such substitution shall not require a revision to any previous plan approvals. Further, at the time of Detailed Site Plan for a Mixed-Use Planned Community, the Planning Board or the District Council may approve modifications to these regulations so long as the modifications conform to the applicable regulations for the particular development.

COMMENT: This application conforms to the requirements above.

- i) **The maximum height of multifamily buildings shall be one hundred and ten (110) feet. This height restriction shall not apply within any Transit District Overlay Zone, designated General Plan Metropolitan or Regional Centers, or a Mixed-Use Planned Community.**

COMMENT: Not applicable. There are no multifamily buildings proposed with this application.

- j) **As noted in Section 27-544(b), which references property placed in the M-X-T Zone through a Sectional Map Amendment approved after October 1, 2006, and for which a comprehensive land use planning study was conducted by Technical Staff prior to initiation, regulations for Conceptual or Detailed Site Plans (such as, but not limited to density, setbacks, buffers, screening, landscaping, height, recreational requirements, ingress/egress, and internal circulation) should be based on the design guidelines or standards intended to implement the development concept recommended by the Master Plan, Sector Plan, or the Sectional Map Amendment Zoning Change and any referenced exhibit of record for the property. This regulation also applies to property readopted in the M-X-T Zone through a Sectional Map Amendment approved after October 1, 2006 and for which a comprehensive land use planning study was conducted by Technical Staff prior to initiation of a concurrent Master Plan or Sector Plan (see Section 27-226(f)(3) of the Zoning Ordinance). Notwithstanding any other provision of this Code, this**

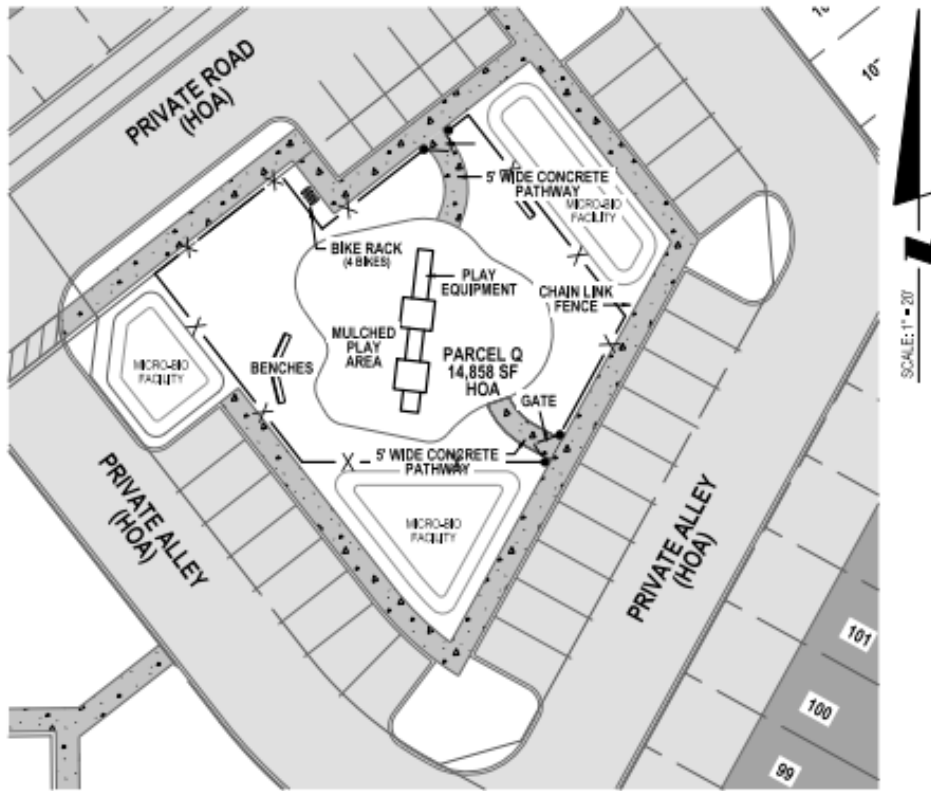
regulation shall not apply to property subject to the provisions of Section 27-544(f)(2)(I), above.

COMMENT: Not applicable. A comprehensive land use planning study was not conducted by Technical Staff for this property.

VIII. PRIVATE RECREATIONAL FACILITIES

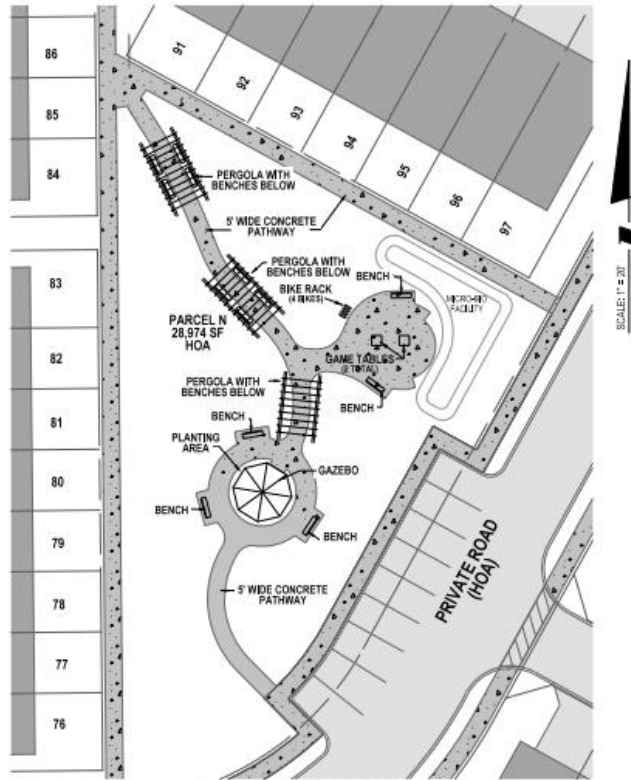
DSP-22028 proposes the development of 200 single-family attached (townhouse) residential units and the future development of approximately 5,000 square feet of commercial/retail uses. The applicant is proposing a mixture of both active and passive on-site private recreation facilities to serve the residents.

As provided on the detailed site plan, the applicant's proposed recreational facilities include the following: grilling area, dog park; walking path; tot lot play area; sitting areas and a fire pit sitting area; pergolas and gazebo; game tables; and butterfly garden. The applicant believes that these amenities, as evidenced by having successfully including them in other development projects, will result in a recreational area that will not only be utilized with great success, but will also be economically sustainable by the homeowner's association and residents of this neighborhood. As indicated above, depictions of the recreational facilities the applicant is proposing include the following:

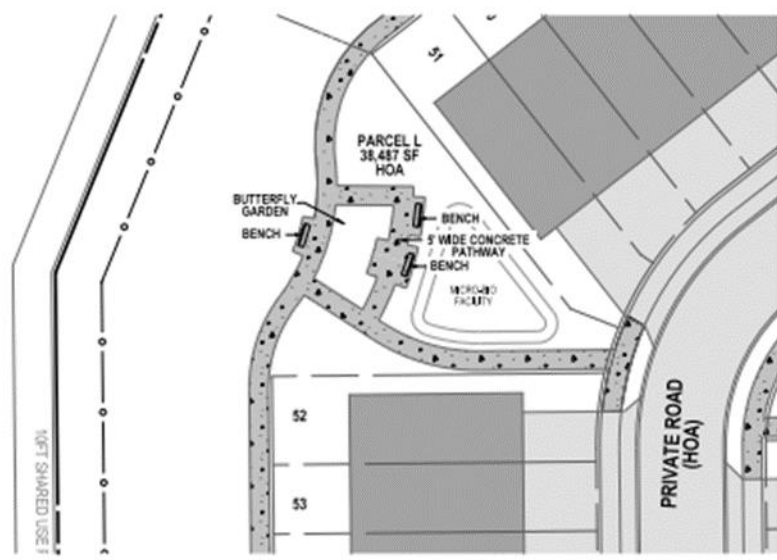


RECREATIONAL AREA - 1

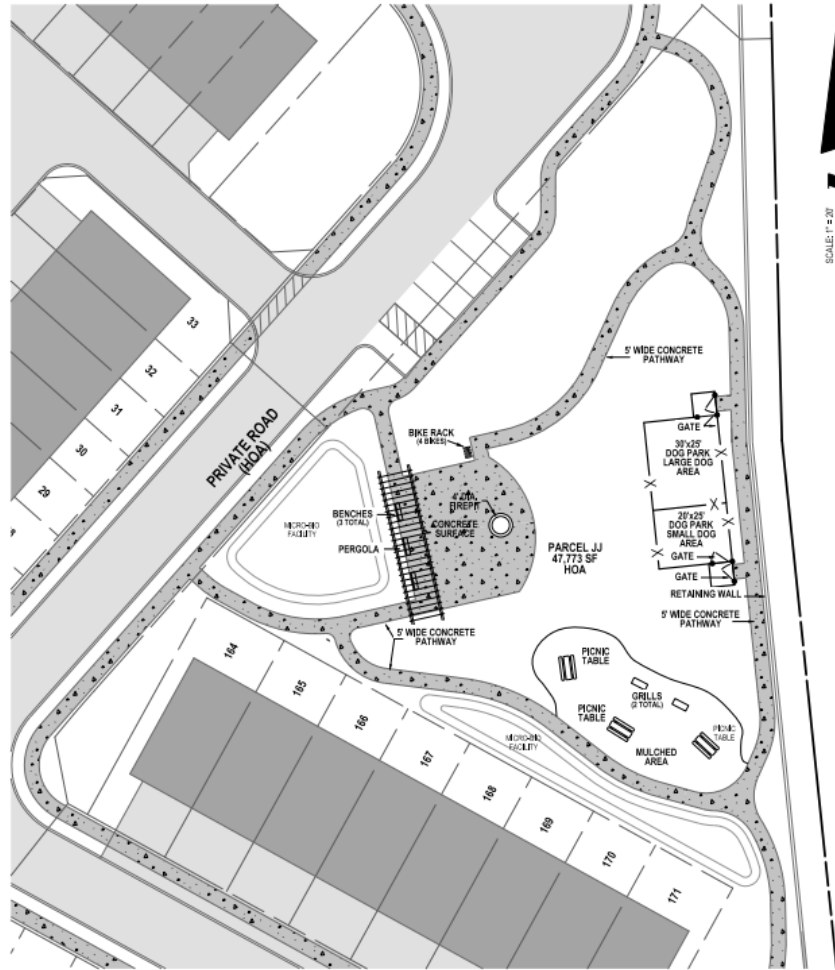
SCALE: 1" = 20'



RECREATIONAL AREA - 2
SCALE: 1" = 20'



RECREATIONAL AREA - 3
SCALE: 1" = 20'



RECREATIONAL AREA - 4
SCALE: 1" = 20'

VII. CONCLUSION

Based on the foregoing, as well as all of the development plans filed in conjunction with this application, the applicant respectfully requests the approval of DSP-22028.

Respectfully submitted,

MCNAMEE HOSEA, P.A.

By: _____/s/_____
Matthew C. Tedesco, Esq.

Date: ~~November 29, 2022~~
December 29, 2022
(Second Pre-Review Filing)

ZONING SKETCH MAP

APP NO: DSP-22028

EXISTING ZONE:

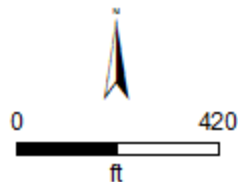
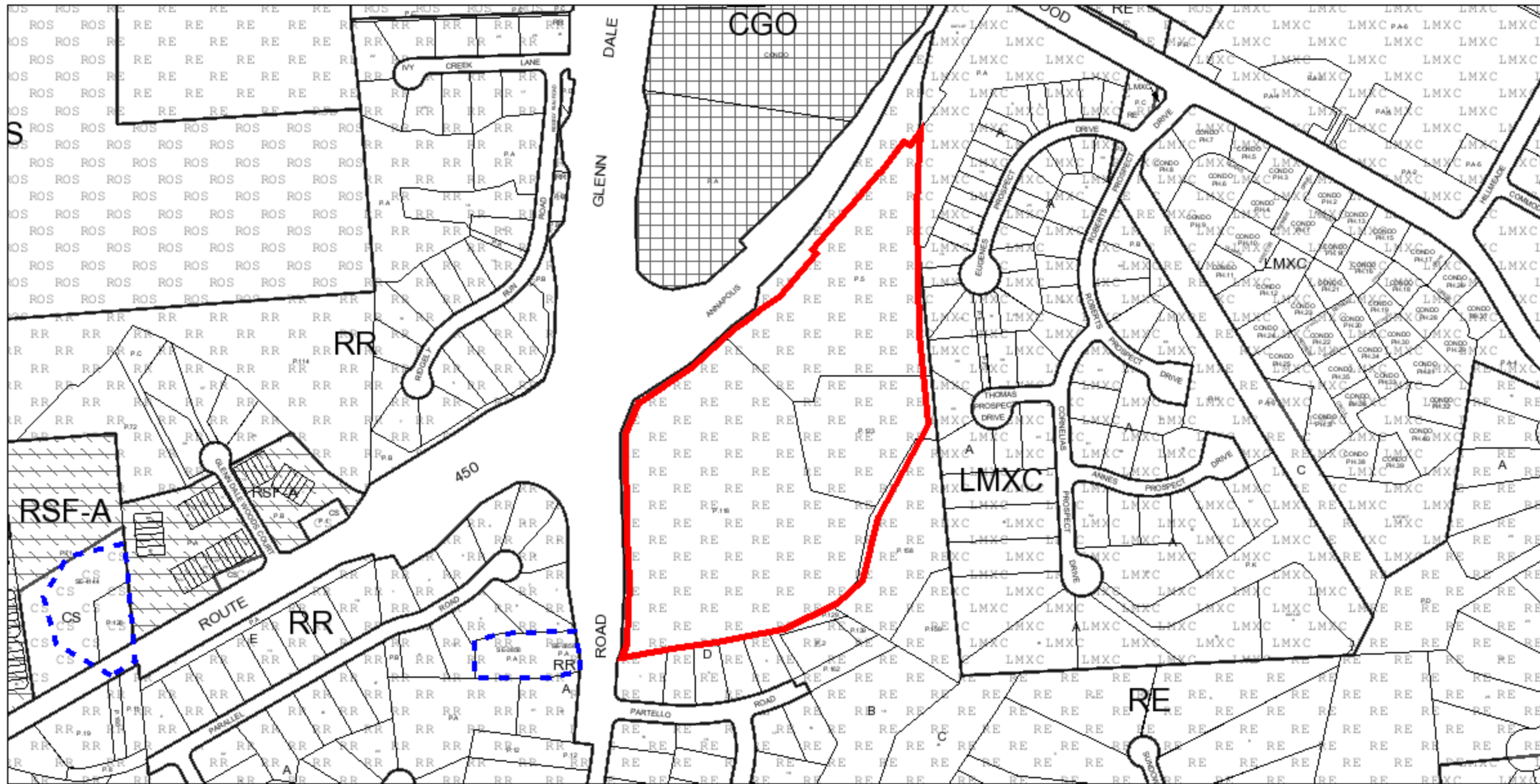
PLANNING AREA: 71A

WSSC GRID: 207NE11

TAX MAP: 45

TAX GRID: F3

COUNCIL DISTRICT: 6



1 inch = 400 feet



The Maryland-National Capital Park and Planning Commission
Prince Georges County Planning Department
Geographic Information System

Created: 8/15/2022

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 www.solteszco.com

Engineering
 Surveying
 Planning
 Environmental Sciences

NO. REVISIONS BY DATE

MISS UTILITY NOTE
 INFORMATION CONCERNING EXISTING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS. THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF ALL EXISTING UTILITIES AND UTILITY CROSSINGS BY DIGGING TEST PITS BY HAND, WELL IN ADVANCE OF THE START OF EXCAVATION. CONTACT MISS UTILITY AT 1-800-251-7177 48 HOURS PRIOR TO THE START OF EXCAVATION. IF CLEARANCES ARE LESS THAN SHOWN ON THE PLAN OR THINER THAN 12" INCHES, WHOEVER IS LESS CONTACT THE ENGINEER AND THE UTILITY COMPANY BEFORE PROCEEDING WITH CONSTRUCTION. CLEARANCES LESS THAN NOTED MAY REQUIRE REVISIONS TO THIS PLAN.

APPLICANT
 TIMBERLAKE HOMES
 304 HARRY S. TRUMAN PARKWAY
 SUITE M
 ANNAPOLIS, MD 21401
 PHONE # 443-837-3110
 FAX # 301-336-0885
 MR. GREG McANINCH

OWNER
 IRMGARD H HAWKINS BY-PASS TRUST
 12205 ANNAPOLIS ROAD
 BOWIE, MD 20720



12/30/2022

PLAN VIEW

DETAILED SITE PLAN -DSP-22028
FAIRWOOD SQUARE
 ENTERPRISE & ANNAPOLIS ROAD
 QUEEN ANNE (7th) ELECTION DISTRICT, PRINCE GEORGES COUNTY, MARYLAND

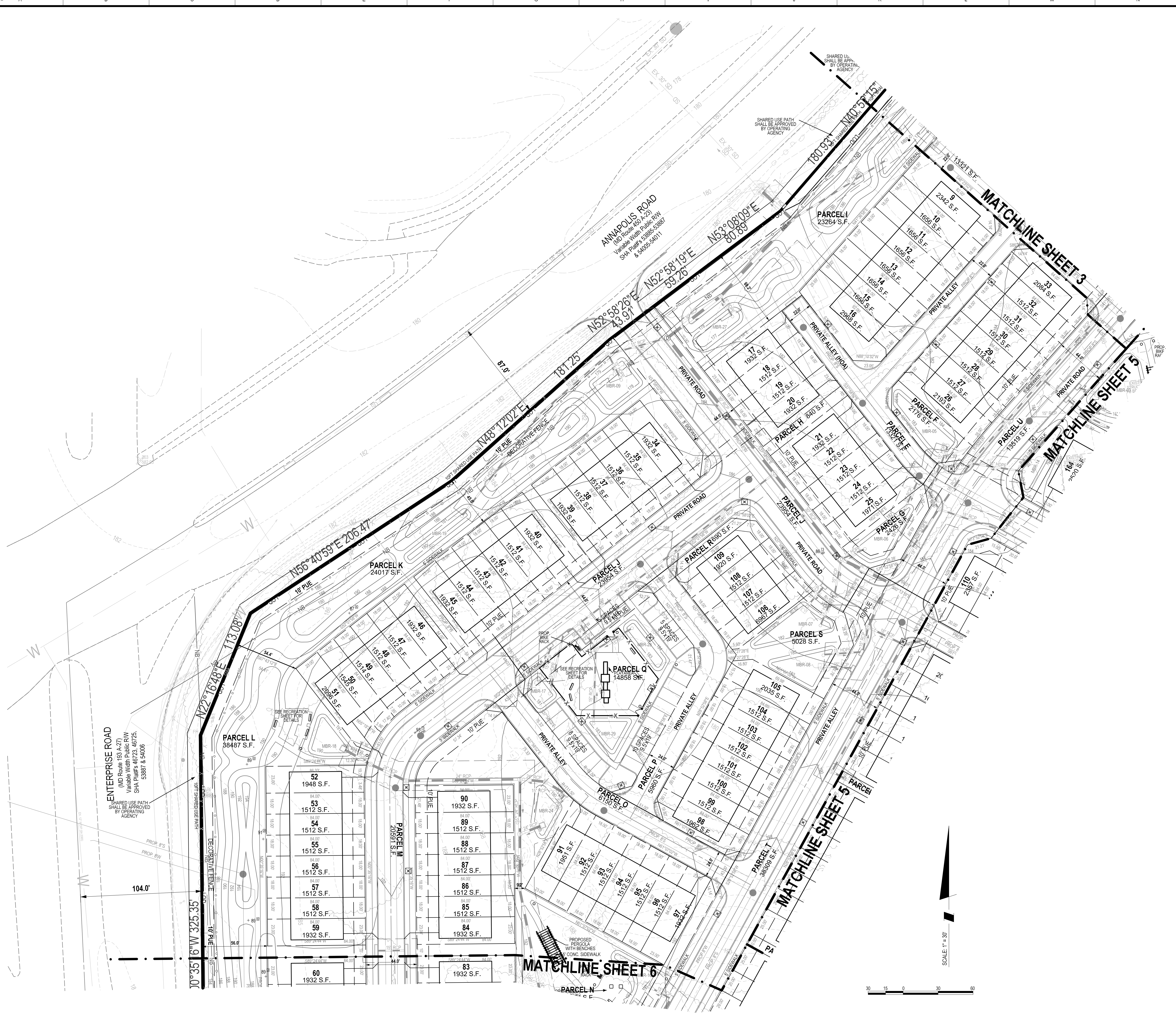
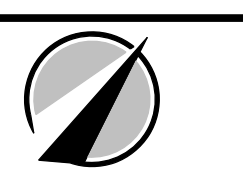
TAX MAP	CURRENT ZONING CATEGORY
45, F3	RE

WSBC 200 SHEET	PREVIOUS ZONING CATEGORY
20TH11	RE

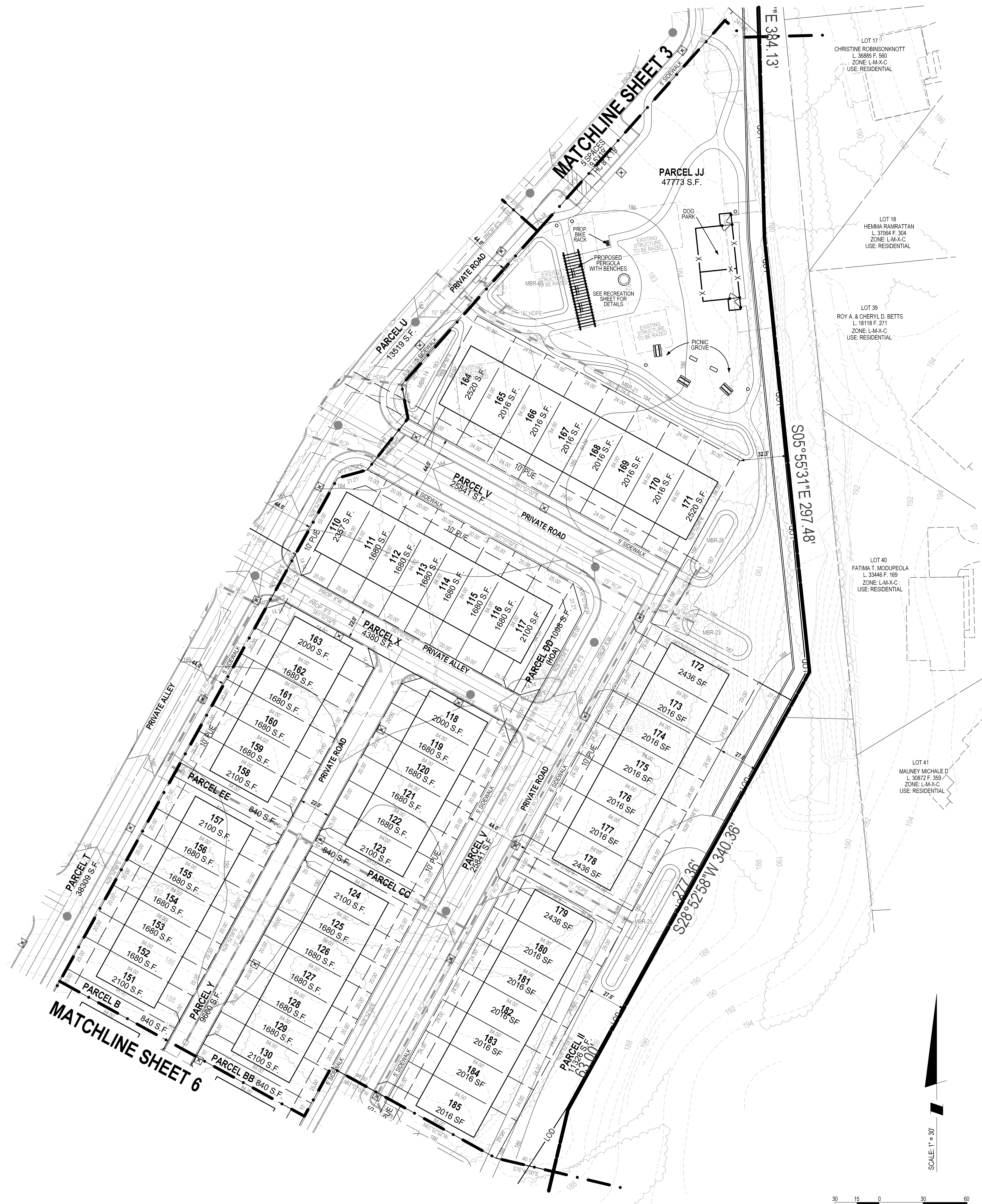
SITE DATUM	DATE:
HORIZONTAL: NAD 83	12/30/2022
VERTICAL: NGVD 29	DESIGNED: YOR
	TECHNICIAN: YOR
	CHECKED: DVB
	CAD STPL: V8/NCS
	VERSION:

SHEET	4
OF	6

PROJECT NO.	3902-04-00
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 www.solteszco.com

Engineering
 Surveying
 Planning
 Environmental Sciences

NO. REVISIONS BY DATE

MISS UTILITY NOTE
 INFORMATION CONCERNING EXISTING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS. THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF ALL EXISTING UTILITIES AND UTILITY CROSSINGS BY DESIGN TEST PITS BY HAND, WELL IN ADVANCE OF THE START OF EXCAVATION. CONTACT MISS UTILITY AT 1-800-251-7777 48 HOURS PRIOR TO THE START OF EXCAVATION. IF CLEARANCES ARE LESS THAN SHOWN ON THE PLAN OR TWELVE (12) INCHES, WHOEVER IS LESS CONTACT THE ENGINEER AND THE UTILITY COMPANY BEFORE PROCEEDING WITH CONSTRUCTION. CLEARANCES LESS THAN NOTED MAY REQUIRE REVISIONS TO THIS PLAN.

APPLICANT
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 PHONE # 443-837-3110
 FAX # 301-336-0885
 MR. GREG McANINCH

OWNER
 IRMGARD H HAWKINS BY-PASS TRUST
 12205 ANNAPOLIS ROAD
 BOWIE, MD 20720



12/30/2022

PLAN VIEW
DETAILED SITE PLAN -DSP-22028
FAIRWOOD SQUARE
ENTERPRISE & ANNAPOLIS ROAD
 QUEEN ANNE (7th) ELECTION DISTRICT, PRINCE GEORGES COUNTY, MARYLAND

TAX MAP 45, F3	CURRENT ZONING CATEGORY RE
WS&C SHEET 207NE11	PREVIOUS ZONING CATEGORY RE
SITE DATUM HORIZONTAL: NAD 83 VERTICAL: NGVD 29	
SCALE: 1" = 30'	DATE: 12/30/2022
SHEET 5	DESIGNED: YOR
OF 6	TECHNICIAN: YOR
	CHECKED: D/B
	CAD STPL: V8 / NCS
PROJECT NO. 3902-04-00	

MISS UTILITY NOTE
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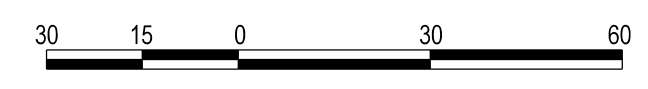
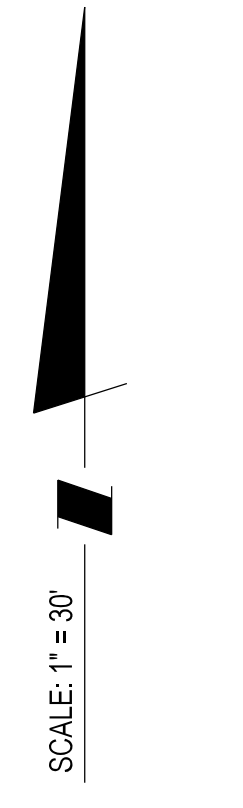
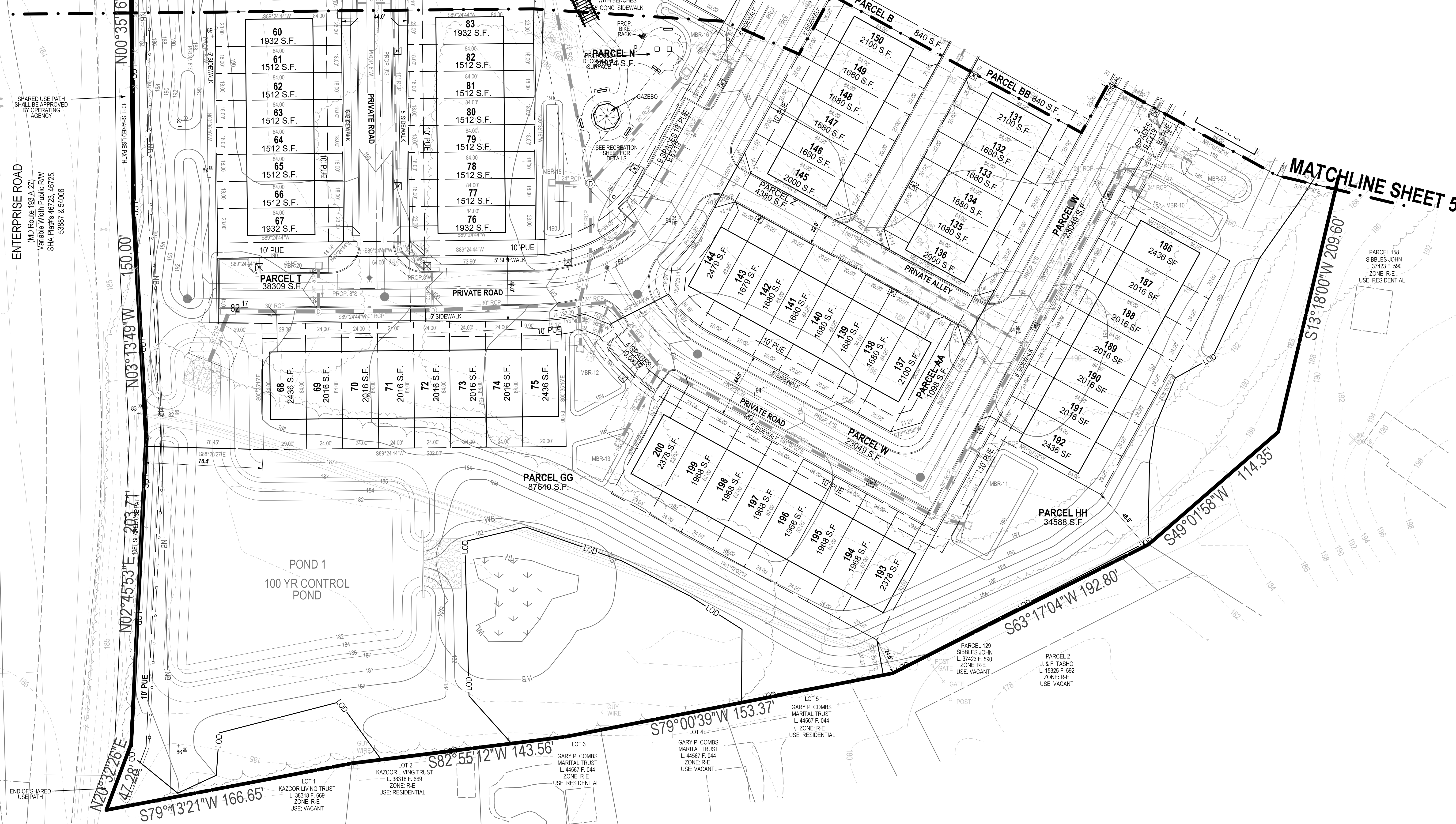
12/30/2022

PLAN VIEW
 DETAILED SITE PLAN -DSP-22028
FAIRWOOD SQUARE
 ENTERPRISE & ANNAPOLIS ROAD
 QUEEN ANNE (7th) ELECTION DISTRICT, PRINCE GEORGES COUNTY, MARYLAND

TAX MAP 45, F3	CURRENT ZONING CATEGORY RE
WS&C 200 SHEET 207NE11	PREVIOUS ZONING CATEGORY RE
SITE DATUM HORIZONTAL: NAD 83 VERTICAL: NGVD 29	DATE: 12/30/2022
SCALE: 1" = 30'	DESIGNED: YOR
SHEET 6	TECHNICIAN: YOR
OF 6	CHECKED: D/B
	CAD STDS. VERSION: V8 / NCS
PROJECT NO. 3902-04-00	

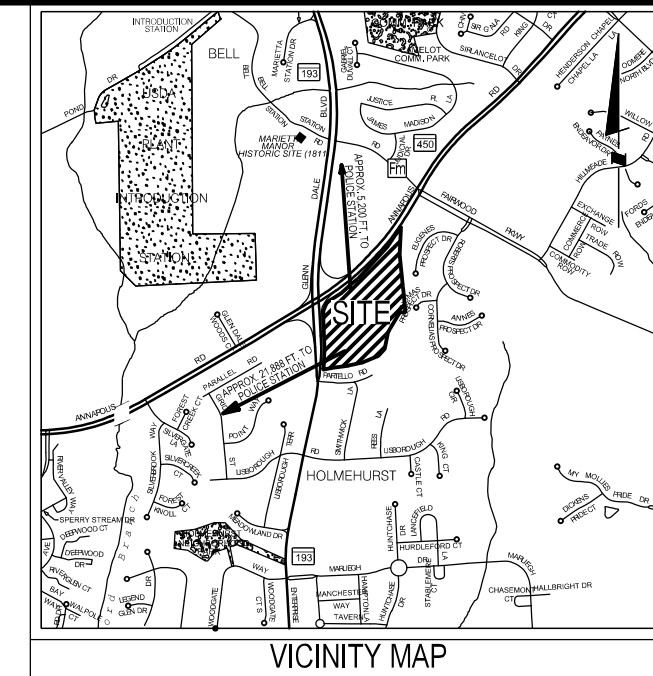
MATCHLINE SHEET 4

MATCHLINE SHEET 5



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LANDSCAPE PLAN FAIRWOOD SQUARE



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Engineering
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SHEET INDEX
 SHEET 1: COVER SHEET
 SHEET 2: DETAILS & SCHEDULES
 SHEET 3-6: PLAN VIEW

REVISIONS

NO.	REVISIONS	BY	DATE

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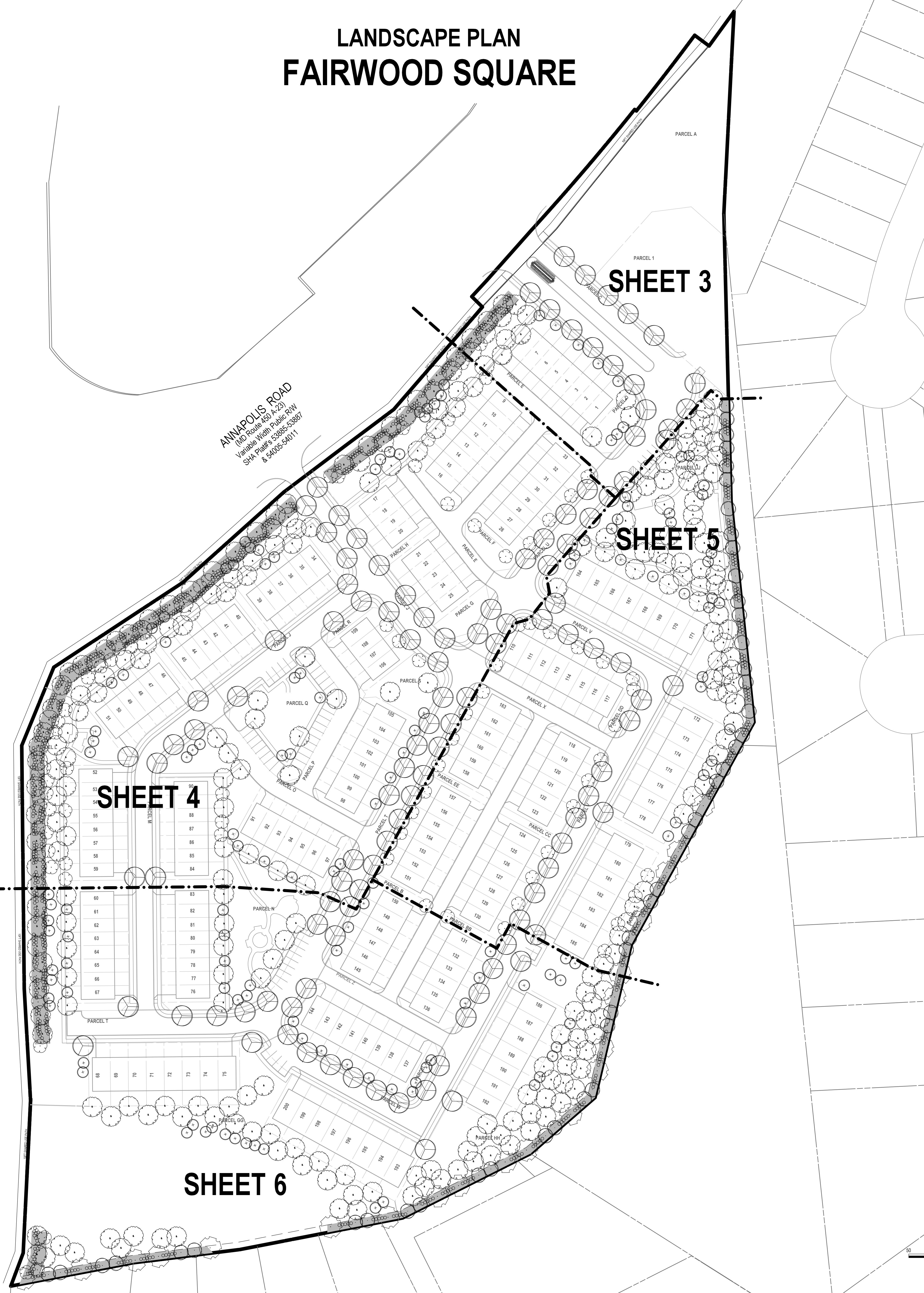
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12/30/2022

PLAN VIEW
 LANDSCAPE PLAN-DSP-22028
FAIRWOOD SQUARE
 ENTERPRISE & ANNAPOLIS ROAD
 QUEEN ANNE (7th) ELECTION DISTRICT, PRINCE GEORGES COUNTY, MARYLAND

TAX MAP 45, F3	CURRENT ZONING CATEGORY RE
WSDC 200 SHEET 207NE11	PREVIOUS ZONING CATEGORY RE
SITE DATUM HORIZONTAL: NAD 83 VERTICAL: NGVD 29	DATE: 12/30/2022
SCALE: 1" = 50'	DESIGNED: D/B
SHEET 1 OF 6	CHECKED: D/B
PROJECT NO. 3902-04-00	CAD STDS. V8 / NCS



ENTERPRISE ROAD
 (MD Route 193 A, 27)
 Variable Width Public ROW
 SHA Plans: 46723, 46725,
 53687 & 54006

ANNAPOLIS ROAD
 (MD Route 160 A, 23)
 Variable Width Public ROW
 SHA Plans: 53685-53687
 & 54005-54011

- LEGEND**
- SITE BOUNDARY
 - PROPOSED LOT LINE
 - PROPOSED RIGHT-OF-WAY LINE
 - ADJACENT PROPERTY LINE
 - ROAD CENTERLINE
 - EASEMENT
 - EXISTING 10' CONTOUR
 - EXISTING 2' CONTOUR
 - WETLAND
 - 25' WETLAND BUFFER
 - PROPOSED STORM DRAIN
 - PROPOSED WATER
 - PROPOSED SEWER
 - SHRUBS & NON-WOODLAND VEGETATION
 - EXISTING WOODLANDS
 - SHADE TREES
 - ORNAMENTAL TREES
 - EVERGREEN TREES
 - SHRUBS
 - PROPOSED LIGHT

SCALE: 1" = 50'



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SCHEDULE FOR SECTION 4.1 RESIDENTIAL REQUIREMENTS FOR TOWNHOUSES, ONE-FAMILY SEMI-DETACHED, AND TWO-FAMILY DWELLINGS ARRANGED HORIZONTALLY	
1. NUMBER OF DWELLING UNITS:	200 UNITS
2. NUMBER OF TREES REQUIRED PER DWELLING UNIT:	1.5 SHADE TREES 1.0 ORNAMENTAL/EVERGREEN TREES
3. TOTAL NUMBER OF TREES REQUIRED:	300 SHADE TREES 200 ORNAMENTAL/EVERGREEN TREES
4. TOTAL NUMBER OF TREES PROVIDED: (ON INDIVIDUAL LOTS AND/OR IN COMMON OPEN SPACE)	300 SHADE TREES 200 ORNAMENTAL TREES 0 EVERGREEN TREES
SHEET 3	8 UNITS
SHEET 4	77 UNITS
SHEET 5	56 UNITS
SHEET 6	59 UNITS

SCHEDULE FOR SECTION 4.7 BUFFERING INCOMPATIBLE USES REQUIREMENTS	
1. GENERAL PLAN DESIGNATION:	DEVELOPED TIER, CORRIDOR NODE OR CENTER DEVELOPING OR RURAL TIER
2. USE OF PROPOSED DEVELOPMENT:	TOWNHOUSE
3. IMPACT OF PROPOSED DEVELOPMENT:	N/A
4. USE OF ADJOINING DEVELOPMENT:	ONE-FAMILY DETACHED
5. IMPACT OF ADJOINING DEVELOPMENT:	N/A
6. MINIMUM REQUIRED BUFFERYARD (A,B,C,D OR E)	A
7. MINIMUM REQUIRED BUILDING SETBACK	20 FEET
8. BUILDING SETBACK PROVIDED	20 FEET
9. MINIMUM REQUIRED WIDTH OF LANDSCAPE YARD	10 FEET
10. WIDTH OF LANDSCAPE YARD PROVIDED: (THE REQUIRED SETBACK AND LANDSCAPE YARD MAY BE REDUCED BY 50% IN THE DEVELOPED TIER, CORRIDOR NODE OR CENTER WHEN A 6 FOOT HIGH FENCE OR WALL IS PROVIDED)	10 FEET
11. LINEAR FEET OF BUFFER STRIP REQUIRED ALONG PROPERTY LINE AND RIGHT-OF-WAY	816 LINEAR FEET
12. PERCENTAGE OF REQUIRED BUFFERYARD OCCUPIED BY EXISTING TREES:	0 %
13. IS A SIX FOOT HIGH FENCE OR WALL INCLUDED IN BUFFERYARD?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
14. TOTAL NUMBER OF PLANT UNITS REQUIRED IN BUFFER STRIP:	327 P.U.
15. TOTAL NUMBER OF PLANT UNITS PROVIDED:	SHADE TREES 5 X 10 P.U. = 50 P.U. ORNAMENTAL/EVERGREEN TREES 26 X 5 P.U. = 130 P.U. SHRUBS 150 X 1 P.U. = 150 P.U. TOTAL = 330 P.U.

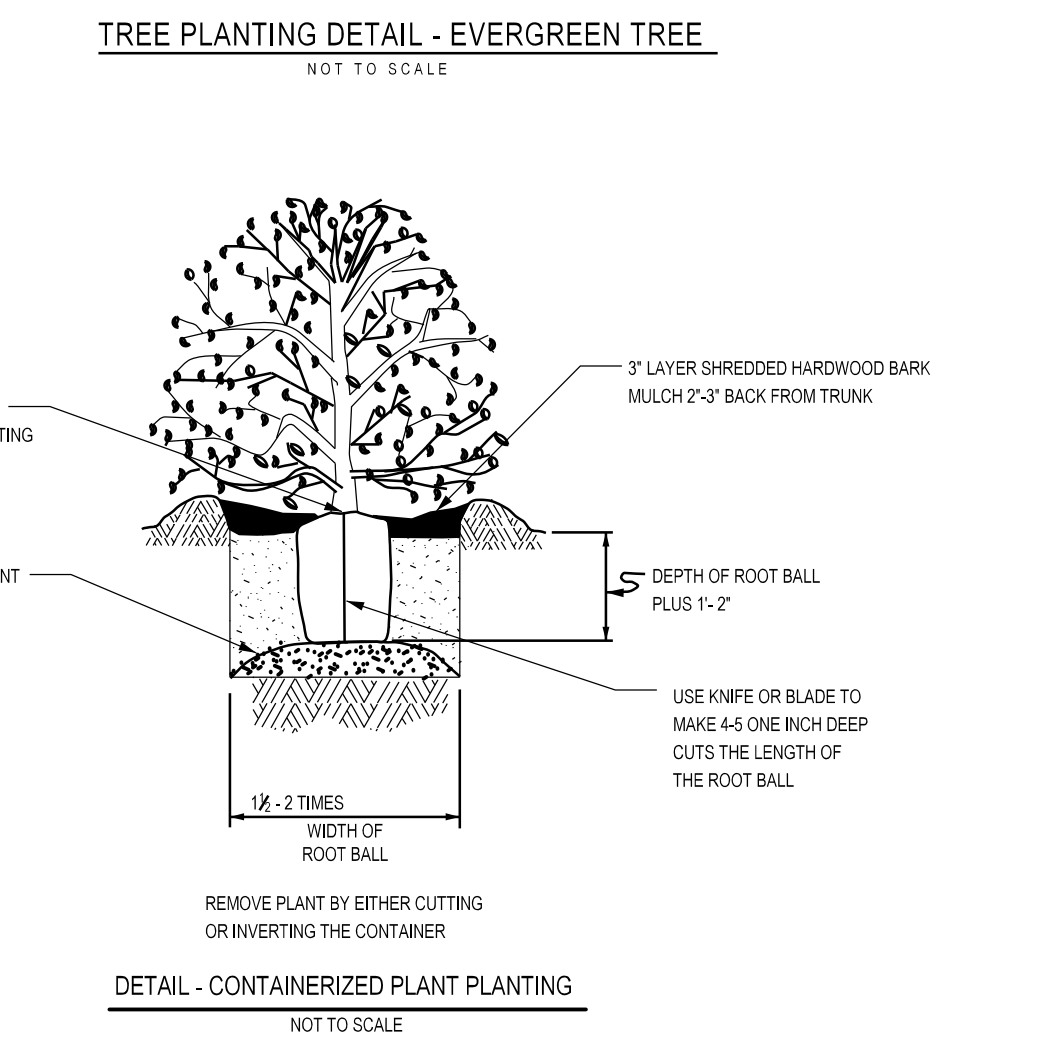
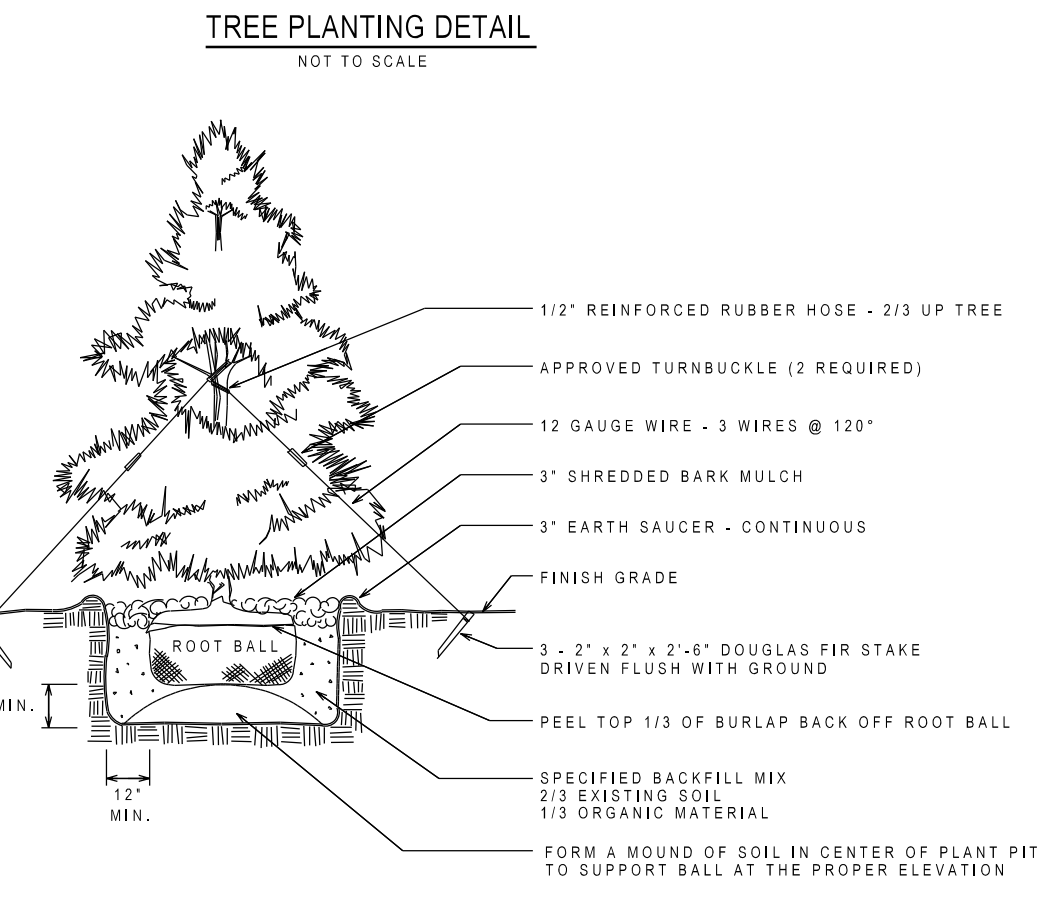
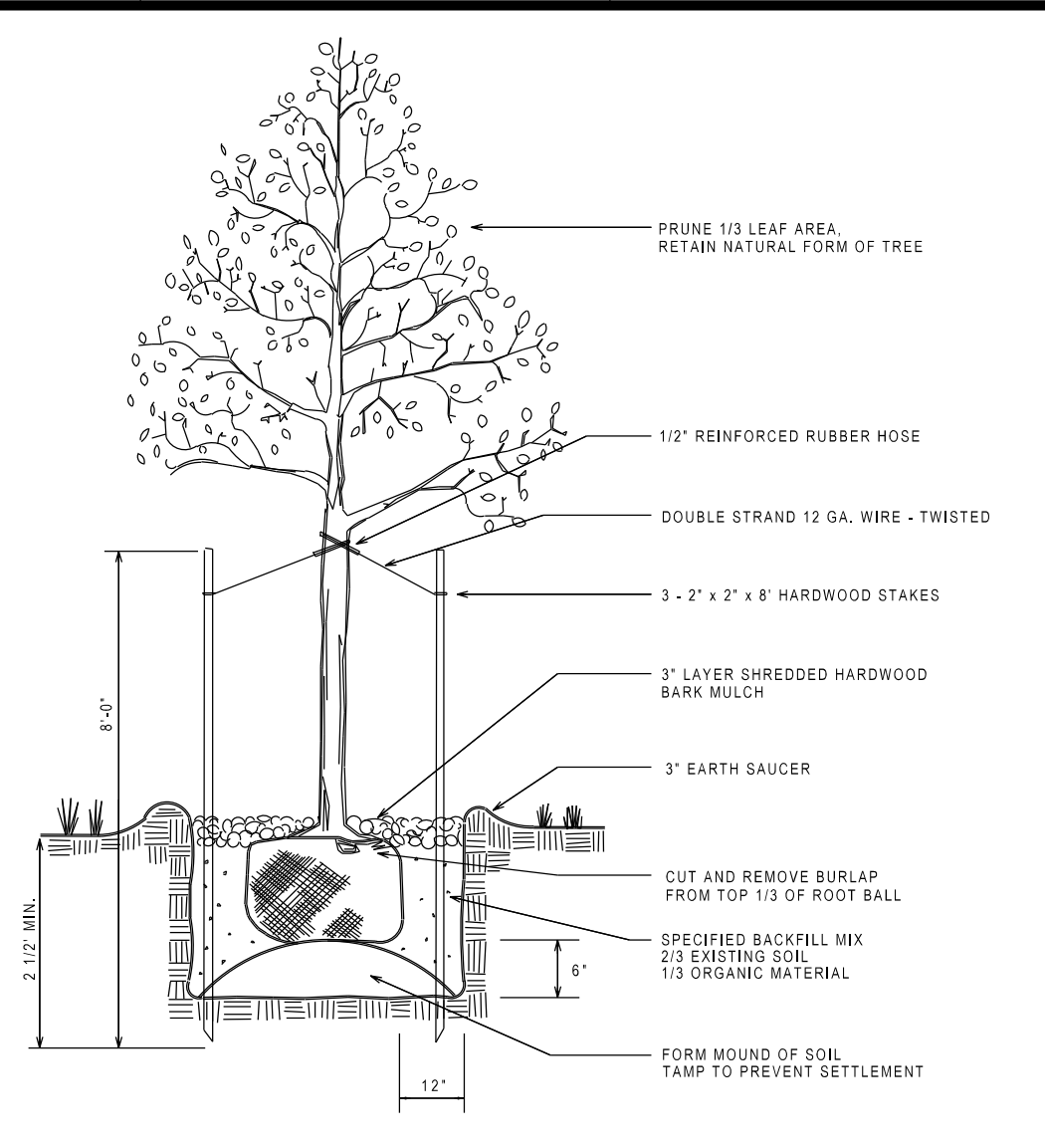
SCHEDULE FOR SECTION 4.7 BUFFERING INCOMPATIBLE USES REQUIREMENTS	
1. GENERAL PLAN DESIGNATION:	DEVELOPED TIER, CORRIDOR NODE OR CENTER DEVELOPING OR RURAL TIER
2. USE OF PROPOSED DEVELOPMENT:	TOWNHOUSE
3. IMPACT OF PROPOSED DEVELOPMENT:	N/A
4. USE OF ADJOINING DEVELOPMENT:	ONE-FAMILY DETACHED
5. IMPACT OF ADJOINING DEVELOPMENT:	N/A
6. MINIMUM REQUIRED BUFFERYARD (A,B,C,D OR E)	A
7. MINIMUM REQUIRED BUILDING SETBACK	20 FEET
8. BUILDING SETBACK PROVIDED	20 FEET
9. MINIMUM REQUIRED WIDTH OF LANDSCAPE YARD	10 FEET
10. WIDTH OF LANDSCAPE YARD PROVIDED: (THE REQUIRED SETBACK AND LANDSCAPE YARD MAY BE REDUCED BY 50% IN THE DEVELOPED TIER, CORRIDOR NODE OR CENTER WHEN A 6 FOOT HIGH FENCE OR WALL IS PROVIDED)	10 FEET
11. LINEAR FEET OF BUFFER STRIP REQUIRED ALONG PROPERTY LINE AND RIGHT-OF-WAY	982 LINEAR FEET
12. PERCENTAGE OF REQUIRED BUFFERYARD OCCUPIED BY EXISTING TREES:	16.2 % (160LF)
13. IS A SIX FOOT HIGH FENCE OR WALL INCLUDED IN BUFFERYARD?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
14. TOTAL NUMBER OF PLANT UNITS REQUIRED IN BUFFER STRIP:	328 P.U.
15. TOTAL NUMBER OF PLANT UNITS PROVIDED:	SHADE TREES 15 X 10 P.U. = 150 P.U. ORNAMENTAL/EVERGREEN TREES 18 X 5 P.U. = 90 P.U. SHRUBS 100 X 1 P.U. = 100 P.U. TOTAL = 340 P.U.

SCHEDULE FOR SECTION 4.8 BUFFERING RESIDENTIAL DEVELOPMENT FROM SPECIAL ROADWAYS	
1. NAME AND TYPE OF SPECIAL ROADWAY:	ANNAPOLIS ROAD/HISTORIC DEVELOPED TIER
2. GENERAL PLAN DESIGNATION:	DEVELOPING TIER RURAL TIER
3. LINEAR FEET OF STREET FRONTAGE, NOT INCLUDING DRIVEWAY ENTRANCES (NOT INCLUDING DRIVEWAY OPENINGS):	737 FEET
4. MINIMUM REQUIRED BUFFER:	20 FEET
5. MINIMUM WIDTH OF PROVIDED BUFFER:	20 FEET
6. PERCENTAGE OF REQUIRED BUFFER STRIP OCCUPIED BY EXISTING TREES:	0 %
7. NUMBER OF PLANTS REQUIRED: 80 PLANT UNITS PER 100 LINEAR FEET OF FRONTAGE	590 PLANT UNITS
8. NUMBER OF PLANTS PROVIDED:	16 SHADE TREES(10PU) 10 ORN/EVERGREEN TREES (5PU) 380 SHRUBS(1PU)

SCHEDULE FOR SECTION 4.8 BUFFERING RESIDENTIAL DEVELOPMENT FROM SPECIAL ROADWAYS	
1. NAME AND TYPE OF SPECIAL ROADWAY:	ENTERPRISE ROAD/HISTORIC DEVELOPED TIER
2. GENERAL PLAN DESIGNATION:	DEVELOPING TIER RURAL TIER
3. LINEAR FEET OF STREET FRONTAGE, NOT INCLUDING DRIVEWAY ENTRANCES (NOT INCLUDING DRIVEWAY OPENINGS):	579 FEET
4. MINIMUM REQUIRED BUFFER:	20 FEET
5. MINIMUM WIDTH OF PROVIDED BUFFER:	20 FEET
6. PERCENTAGE OF REQUIRED BUFFER STRIP OCCUPIED BY EXISTING TREES:	0 %
7. NUMBER OF PLANTS REQUIRED: 80 PLANT UNITS PER 100 LINEAR FEET OF FRONTAGE	463 PLANT UNITS
8. NUMBER OF PLANTS PROVIDED:	8 SHADE TREES(10PU) 12 ORN/EVERGREEN TREES (5PU) 323 SHRUBS(1PU)

SCHEDULE FOR SECTION 4.9 SUSTAINABLE LANDSCAPING REQUIREMENTS	
1. PERCENTAGE OF NATIVE PLANT MATERIAL PROPOSED IN EACH CATEGORY (MINIMUM REQUIRED):	
SHADE TREES:	TOTAL 409 X50% = 205 NATIVE TOTAL NUMBER PROVIDED 409 = 100 % NATIVE
ORNAMENTAL:	TOTAL 284 X50% = 142 NATIVE TOTAL NUMBER PROVIDED 284 = 100 % NATIVE
SHRUBS:	TOTAL 953 X30% = 286 NATIVE TOTAL NUMBER PROVIDED 953 = 100 % NATIVE
EVERGREEN:	TOTAL 0 X30% = 0 NATIVE TOTAL NUMBER PROVIDED 0 = 100 % NATIVE
2. ARE INVASIVE SPECIES PROPOSED?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
3. ARE EXISTING INVASIVE SPECIES ON SITE IN AREAS THAT ARE TO REMAIN UNDISTURBED?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
4. IF 'YES' IS CHECKED DIRECTLY ABOVE, IS A NOTE INCLUDED ON THE PLAN REQUIRING REMOVAL OF INVASIVE SPECIES PRIOR TO PLANTING IN ACCORDANCE WITH SECTION 1.5 CERTIFICATION OF PLANT MATERIALS, OF THIS MANUAL? MINIMUM NUMBER OF SHADE TREES REQUIRED:	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
5. ARE TREES PROPOSED TO BE PLANTED ON SLOPES GREATER THAN 3 TO 1?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>

SCHEDULE FOR SECTION 4.10 STREET TREES ALONG PRIVATE RIGHTS-OF-WAY	
1. NUMBER OF STREET TREES REQUIRED (1 TREE PER 35 LINEAR FEET OF FRONTAGE EXCLUDING DRIVEWAY OPENINGS):	114 STREET TREES
2. NUMBER OF STREET TREES PROVIDED:	115 STREET TREES
3. IF ORNAMENTAL TREES ARE USED ARE THEY SPACED ON AVERAGE 30 FEET ON CENTER? (ORNAMENTAL TREES MAY ONLY BE USED WHERE OVERHEAD WIRES PROHIBIT THE PLANTING OF SHADE TREES)	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A
4. ARE STREET TREES LOCATED A MINIMUM 35 FEET FROM POINT OF CURVATURE OF AN INTERSECTION?	YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>
5. ARE STREET TREES LOCATED A MINIMUM 10 FEET FROM THE POINT OF CURVATURE OF A RESIDENTIAL DRIVEWAY?	YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>
6. ARE STREET TREES LOCATED A MINIMUM 20 FEET FROM THE POINT OF CURVATURE OF A COMMERCIAL DRIVEWAY?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A
7. ARE STREET TREES LOCATED BETWEEN SIDEWALK AND FACE OF CURB IN A SPACE NO LESS THAN FIVE FEET WIDE?	YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>
8. ARE STREET TREES LOCATED A MINIMUM OF 15 FEET FROM STREET LIGHT POLES?	YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>
9. ARE STREET TREES LOCATED A MINIMUM OF 10 FEET FROM WATER METERS?	YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>
10. ARE STREET TREES LOCATED A MINIMUM OF 10 FEET FROM STORM DRAIN INLETS, HYDRANTS OR MANHOLES?	YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>
11. AREA OF SOIL SURFACE REQUIRED (MINIMUM OF 150 SQUARE FEET FOR ISOLATED TREES AND A MINIMUM OF 120 SQUARE FEET FOR CONTINUOUS LANDSCAPE STRIPS):	13680 SQUARE FEET
12. MINIMUM AREA OF SOIL SURFACE PROVIDED:	13680 SQUARE FEET



Qty	Quantity	Botanical Name	Common Name	Height/Spread	Caliper	Root	Spacing	Remarks
ARO	45	Acer rubrum 'October Glory'	October Glory Red Maple	12'-14'	2.5\"-3"	B&B	As Shown	Native
AS	36	Acer saccharum 'Bonfire'	Bonfire Sugar Maple	12'-14'	2.5\"-3"	B&B	As Shown	Native
FG	31	Fagus grandifolia	American Beech	12'-14'	2.5\"-3"	B&B	As Shown	Native
LS	0	Liquidambar styraciflua	Sweet Gum	12'-14'	2.5\"-3"	B&B	As Shown	Native
LSR	0	Liquidambar styraciflua 'Rotundiloba'	Round Sweet Gum	12'-14'	2.5\"-3"	B&B	As Shown	Native
LT	23	Liriodendron tulipifera	Tulip Poplar	12'-14'	2.5\"-3"	B&B	As Shown	Native
NS	33	Nyssa sylvatica	Black Gum/ Sour Gum	12'-14'	2.5\"-3"	B&B	As Shown	Native
PA	43	Platanus x acerifolia	London Planetree	12'-14'	2.5\"-3"	B&B	As Shown	Native
OP	81	Quercus palustris	Pin Oak	12'-14'	2.5\"-3"	B&B	As Shown	Native
QPH	19	Quercus phellos	Willow Oak	12'-14'	2.5\"-3"	B&B	As Shown	Native
QR	43	Quercus rubrum	Northern Red Oak	12'-14'	2.5\"-3"	B&B	As Shown	Native
UAP	55	Ulmus americana 'Princeton'	Princeton Elm	12'-14'	2.5\"-3"	B&B	As Shown	Native

Qty	Quantity	Botanical Name	Common Name	Height/Spread	Caliper	Root	Spacing	Remarks
AC	13	Amelanchier canadensis	Serviceberry	10'-12'	1.5\"-2.0"	B&B	As shown	Native
CC	56	Carpinus caroliniana	American Hornbeam	10'-12'	1.5\"-2.0"	B&B	As shown	Native
CK	84	Comus alternifolia	Kousa Dogwood	10'-12'	1.5\"-2.0"	B&B	As shown	Native
CM	66	Comus mas	Cornelian Cherry Dogwood	10'-12'	1.5\"-2.0"	B&B	As shown	Native
CV	45	Chionanthus virginicus	White Fringe Tree	10'-12'	1.5\"-2.0"	B&B	As shown	Native

Project Name:	TCP#:	DND Case #:	Area (acres)
Fairwood Square		09-2-2028	
Site Calculations:	Zone 1:	M-X-T	22.29
	Zone 2:		
	Zone 3:		
	Zone 4:		
	Total Acres:		22.29

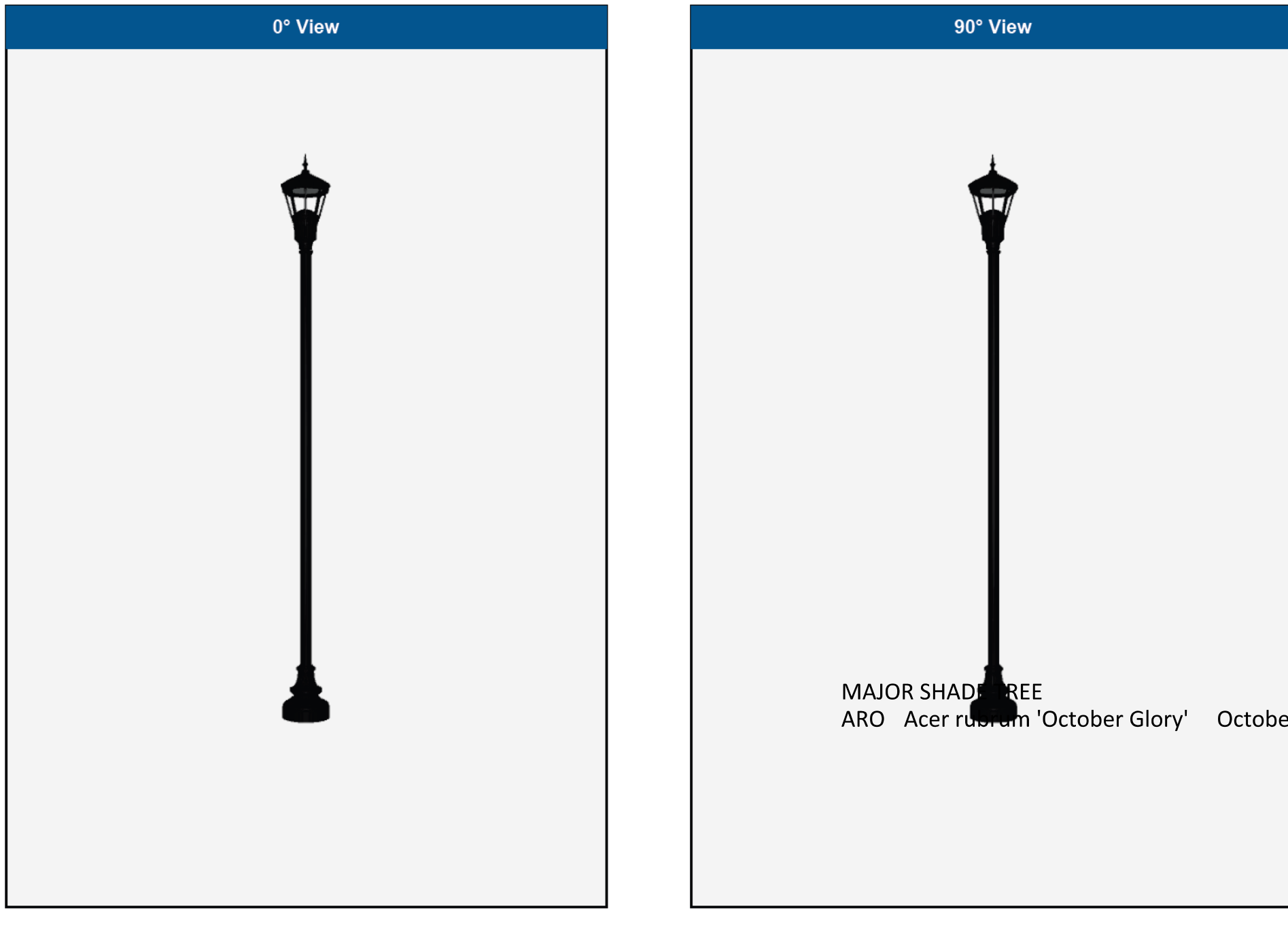
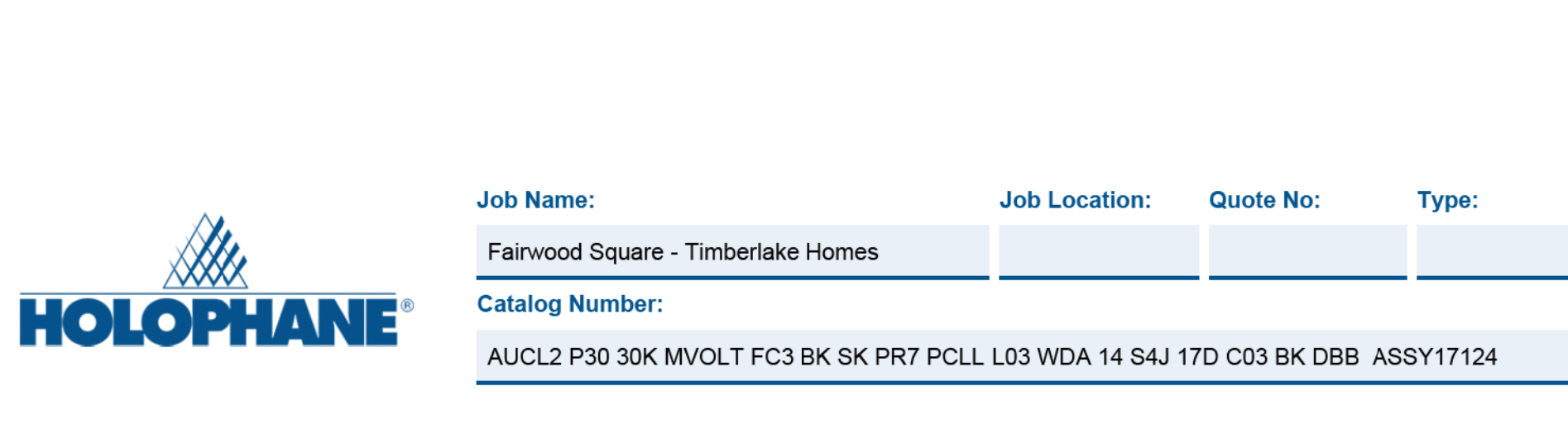
Total Acres (gross acres)	% of TCC required	TCC Required (Acres)	TCC Required in (SF)
22.29	10.0%	2.23	97025
A. TOTAL ON-SITE WC PROVIDED (acres) =		0.45	19602
B. TOTAL AREA EXISTING TREES (non-WC acres) =		0	0
C. TOTAL SQUARE FOOTAGE IN LANDSCAPE TREES =			102975
D. TOTAL TREE CANOPY COVERAGE PROVIDED =			122377
E. TOTAL SQUARE FOOTAGE REQUIRED =			97025
			Requirement Satisfied

Credit Categories for Landscape Trees	TCC Credit per Tree Based on Size at Planting (SF)	Number of Trees	TCC Credit (SF)
Deciduous - columnar shade tree (50' or less height)	2 - 1/2' - 3" = 65		0
Deciduous - ornamental tree (20' or less height with equal spread). Minimum planting size 7'-9" in height	3 - 1/2" = 75	242	18150
Deciduous - minor shade tree (25-50' height with equal spread or greater). Minimum planting size 8'-10" in height	2 - 1/2' = 100		0
Deciduous - major shade tree (50' and greater ht. with spread equal to or greater than ht). Minimum planting size 12 to 14' in height	3 - 1/2' = 225	377	84975
Evergreen - columnar tree (less than 30' height with spread less than 15')	6 - 8" = 40		0
Evergreen - small tree (30-40' height with spread of 15-20')	8 - 10" = 50		0
Evergreen - medium tree (40-50' height with spread of 20-30')	10 - 12" = 75		0
Evergreen - large tree (50' height or greater with spread of over 30')	6 - 8" = 75		0
Evergreen - medium tree (40-50' height with spread of 20-30')	8 - 10" = 100		0
Evergreen - large tree (50' height or greater with spread of over 30')	10 - 12" = 125		0
Evergreen - medium tree (40-50' height with spread of 20-30')	8 - 10" = 150		0
Evergreen - large tree (50' height or greater with spread of over 30')	10 - 12" = 175		0
Evergreen - medium tree (40-50' height with spread of 20-30')	8 - 10" = 200		0
Evergreen - large tree (50' height or greater with spread of over 30')	10 - 12" = 250		0
TOTAL NUMBER OF TREES/TCC CREDIT (SF)		619	102975

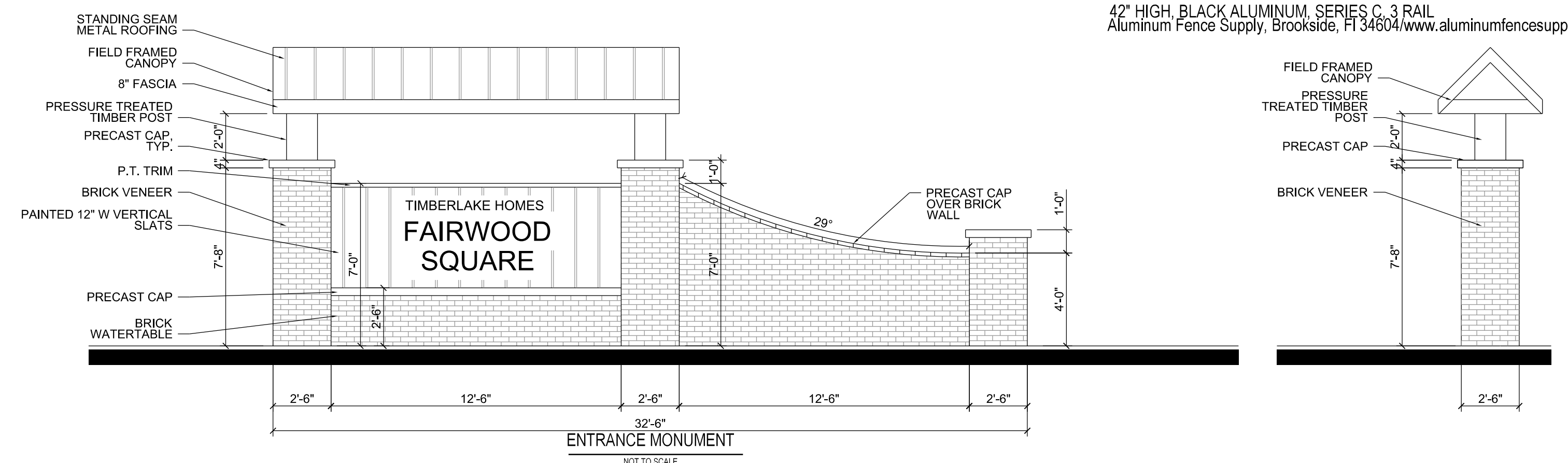
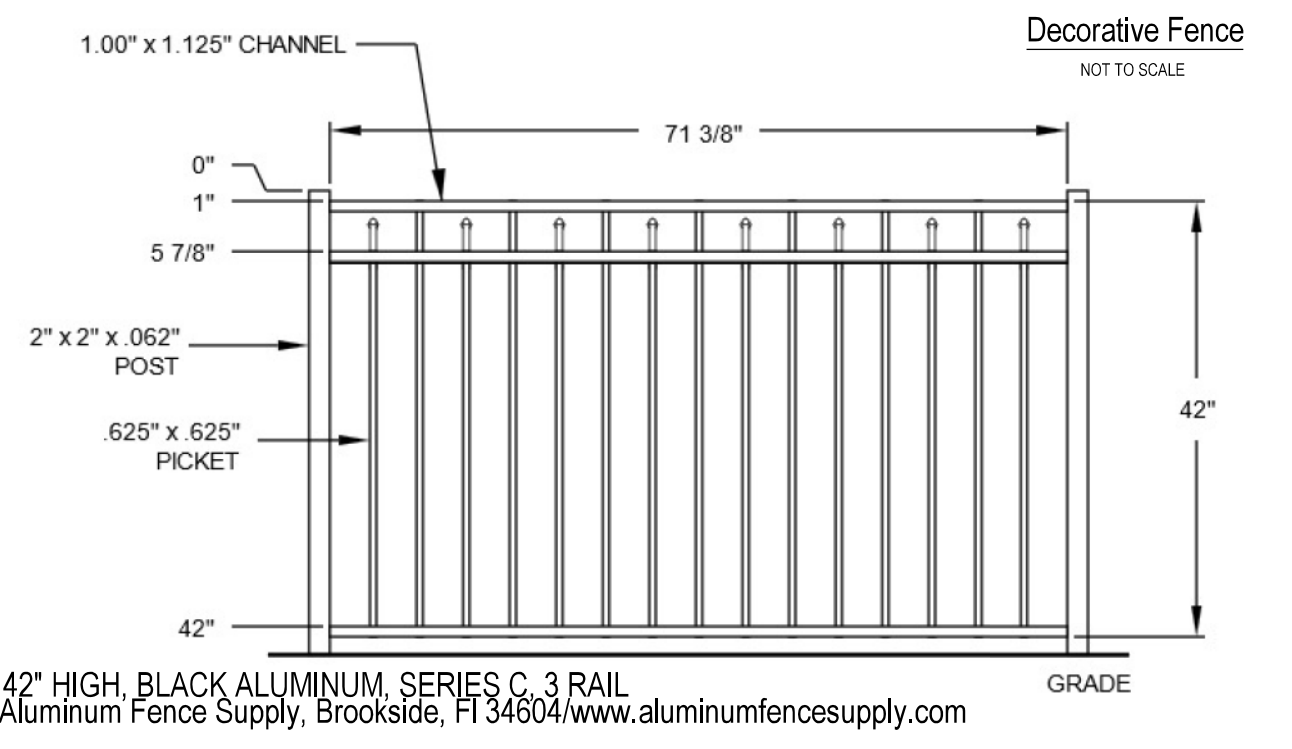
David Bickel 3210 Date 12/30/2022

Job Name:	Job Location:	Quote No.:	Type:
Fairwood Square - Timberlake Homes			

Catalog Number: AULC2 P30 30K MVOLT FC3 BK SK PR7 PCLL L03 WDA 14 S4J 17D C03 BK DBB ASSY17124



Luminaire	Photocontrol Receptacle	Pole
Catalog Number: AULC2 P30 30K MVOLT FC3 BK SK PR7 PCLL L03 Series: (AULC2) Utility Arango FCO LED 2 Performance Package (P30) P30 performance package Color Temperature: (30K) 3000K Voltage: (MVOLT) 120-277V Optics: (FC3) Full cutoff, type III Finish: (BK) Black Final Trim: (SK) Spike final	Photocontrol Receptacle: (PR7) 7 pin NEMA dimmable photocontrol receptacle Photocontrols: (PCLL) D1L photocontrol Prewire Leads: (L03) 3ft prewire leads	Catalog Number: WDA 14 S4J 17D C03 BK DBB Series: (WDA) Wadsworth aluminum pole Pole Height: (14) 14FT Shaft Style: (S4J) Shaft, 4IN diameter smooth, 25 wall Base Diameter: (17D) 17IN Base, Diamond Pattern Bolt Circle Pole Top Mounting: (C03) Teton, 3.00 O.D. x 3/8 wall



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4300 Forbes Boulevard, Suite 230
Lanham, MD 20706
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www.solteszco.com

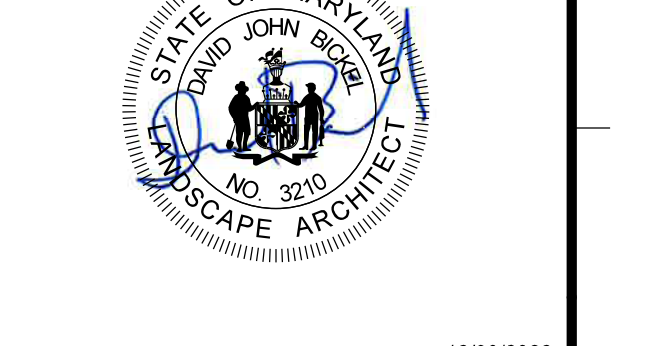
Engineering
Surveying
Planning
Environmental Sciences

NO.	REVISIONS	BY	DATE

MISS UTILITY NOTE
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APPLICANT
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304 HARRY S. TRUMAN PARKWAY
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ANNAPOLIS, MD 21401
PHONE # 443-837-3110
FAX # 301-336-0885
MR. GREG McANNICH

OWNER
IRMGARD H HAWKINS BY-PASS TRUST
12205 ANNAPOLIS ROAD
BOWIE, MD 20720



1. Immediately before digging, spray all evergreen or deciduous plant material in full leaf with anti-desiccant, applying an adequate film over trunks, branches, twigs and/or foliage.

2. Dig balled and burlapped (B&B) plants with firm natural balls of earth, of a diameter not less than that recommended by American Standard for Nursery Stock, and of sufficient depth to include the fibrous and feeding roots. Plants moved with a ball will not be accepted if the ball is cracked or broken before or during planting operations.

D. EXCAVATING OF PLANTING AREA
1. Stake out on the ground locations for plants and outlines of area to be planted, and obtain approval of the landscape architect before excavation is begun. Landscaped areas to be thoroughly weeded prior to planting operations.
E. PLANTING OPERATIONS
1. Set plants at same relationship to finished grade as they bore to the ground from which they were dug. Use planting soil to backfill approximately 2/3 full, water thoroughly before installing remainder of the planting soil to top of pits, eliminating all air pockets.
2. Set planting plumb and brace rigidly in position until the planting soil has been stamped solidly around the ball and roots. Cut ropes or strings from the top of ball after plant has been set. Leave burlap or cloth wrapping intact around balls. Turn under and bury portions of burlap at top of ball.
3. Protect plants at all times from sun or drying winds. Plants that can not be planted immediately on delivery shall be kept in the shade, well protected with soil, peat moss or other acceptable material and shall be kept well watered. Plants shall not remain uncovered for longer than three days after delivery.
4. Plants shall not be bound with wire or rope at any time so as to damage the bark or break branches. Plants shall be lifted and handled from the bottom of the ball only.
5. Mulch all pits and beds with a two inch layer of bark, mulch immediately after planting and work into the top three inches of the planting soil. Form a 3" earth saucer around each plant. Water all plants immediately after planting. Add additional mulch.
F. STAKING, WRAPPING AND PRUNING
1. Staking shall be completed immediately after planting. Plants shall stand plumb after staking. Stakes and guy wire shall be removed at the end of the guarantee period and disposed of off-site by the contractor.
2. Wrap deciduous tree trunks starting at the base of the tree up to the second branch. Remove wrapping at the end of the guarantee period.
3. Prune plants at the time of planting as directed by the landscape architect to remove 1/5 or 1/3 of the foliage. Remove all dead wood, suckers or broken branches and preserve the natural character of the plant.
G. GUARANTEE
1. All plant material shall be guaranteed by the contractor to be in a healthy and vigorous condition at the beginning of the second growing season following acceptance by the landscape architect.
H. TREE PRESERVATION
1. Snow fencing shall be erected around all areas where existing vegetation is to be preserved.
2. Individual trees and groups of trees shall be protected by fencing around a perimeter of their branches using standard 48" high snow fence securely mounted to standard steel posts set not more than 8' apart.
3. Fencing shall be installed prior to the start of any construction activity.

DETAIL/SCHEDULE SHEET
LANDSCAPE PLAN-DSP-22028
FAIRWOOD SQUARE
ENTERPRISE & ANNAPOLIS ROAD

TAX MAP	CURRENT ZONING CATEGORY
45, F3	RE

WSEC 200' SHEET	PREVIOUS ZONING CATEGORY
207NE11	RE

SITE BATHY	DESIGNED:
HORIZONTAL: MD 83	D/B
VERTICAL: MDVD 28	D/B

DATE:	CHECKED:
12/30/2022	D/B

SCALE:	CAD STYL:
1" = 30'	V8 / NCS

SHEET	OF
2	6

PROJECT NO.
3902-04-00

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 FAX # 301-336-0885
 MR. GREG McANINCH

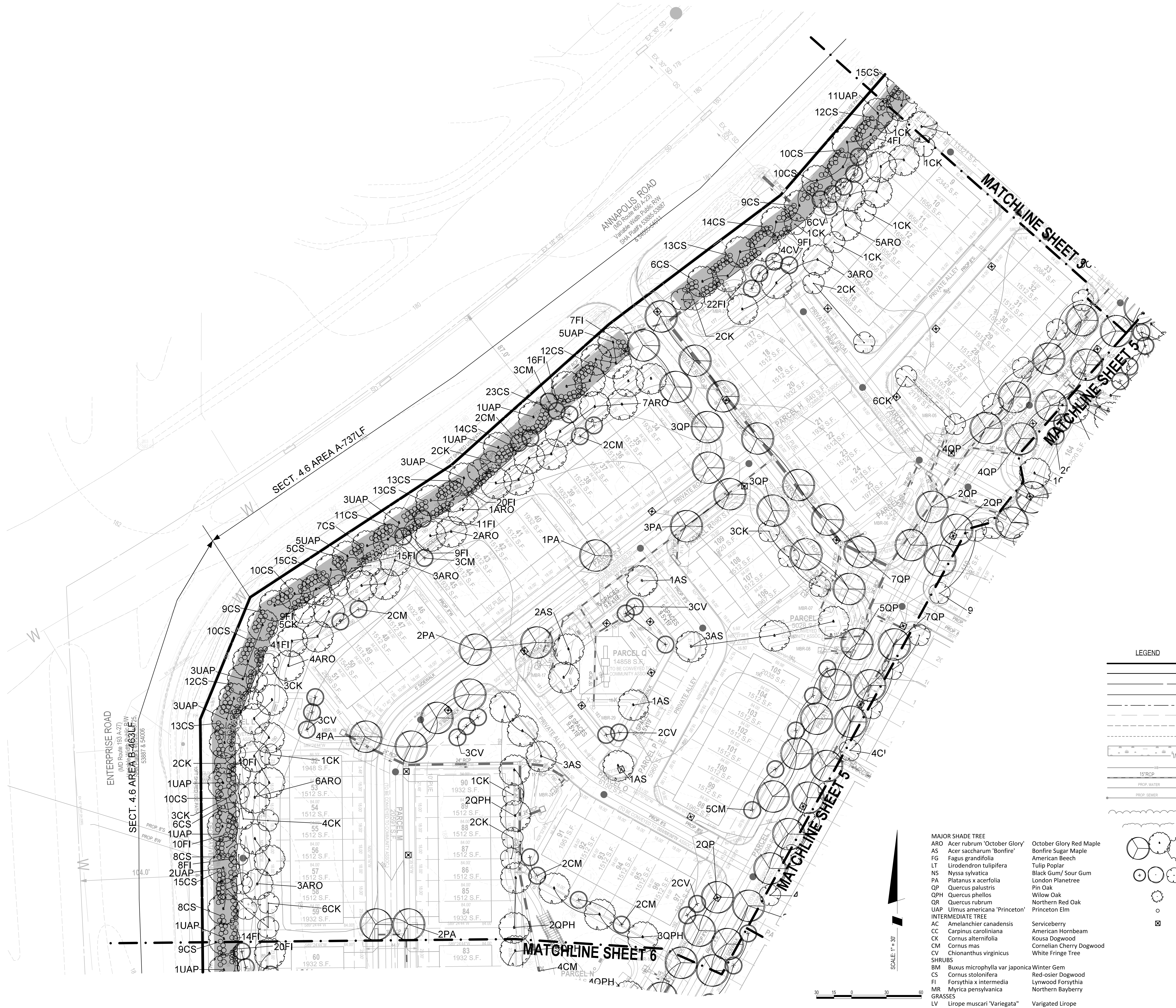
OWNER
 IRMGARD H HAWKINS BY-PASS TRUST
 12205 ANNAPOLIS ROAD
 BOWIE, MD 20720



12/30/2022

PLAN VIEW
LANDSCAPE PLAN-DSP-22028
FAIRWOOD SQUARE
ENTERPRISE & ANNAPOLIS ROAD
 QUEEN ANNE (7th) ELECTION DISTRICT, PRINCE GEORGES COUNTY, MARYLAND

TAX MAP 45, F3	CURRENT ZONING CATEGORY RE
WS&C 200' SHEET 207NE11	PREVIOUS ZONING CATEGORY RE
SITE BOUNDARY HORIZONTAL: 1/4"=33' VERTICAL: 1/8"=20'	DATE: 12/30/2022 DESIGNED: D/B CHECKED: D/B CAD STYL: V8/NCS VERSION:
SHEET 4 OF 6	PROJECT NO. 3902-04-00

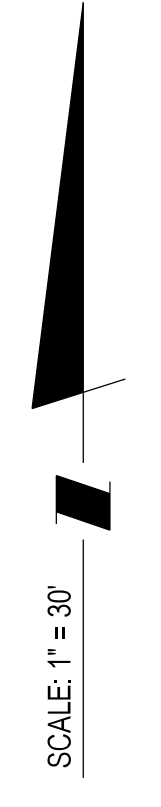


LEGEND

	SITE BOUNDARY
	PROPOSED LOT LINE
	PROPOSED RIGHT-OF-WAY LINE
	ADJACENT PROPERTY LINE
	ROAD CENTERLINE
	EASEMENT
	EXISTING 10' CONTOUR
	EXISTING 2' CONTOUR
	WETLAND
	25' WETLAND BUFFER
	15' RCP
	PROPOSED STORM DRAIN
	PROPOSED WATER
	PROPOSED SEWER
	SHRUBS & NON-WOODLAND VEGETATION
	EXISTING WOODLANDS
	SHADE TREES
	ORNAMENTAL TREES
	EVERGREEN TREES
	SHRUBS
	PROPOSED LIGHT

MAJOR SHADE TREE

ARO	Acer rubrum 'October Glory'	October Glory Red Maple
AS	Acer saccharum 'Bonfire'	Bonfire Sugar Maple
FG	Fagus grandifolia	American Beech
LT	Liriodendron tulipifera	Tulip Poplar
NS	Nyssa sylvatica	Black Gum/ Sour Gum
PA	Platanus x acerfolia	London Planetree
QP	Quercus palustris	Pin Oak
OPH	Quercus phellos	Willow Oak
QR	Quercus rubrum	Northern Red Oak
UAP	Ulmus americana 'Princeton'	Princeton Elm
INTERMEDIATE TREE		
AC	Amelanchier canadensis	Serviceberry
CC	Carpinus caroliniana	American Hornbeam
CK	Cornus alternifolia	Kousa Dogwood
CM	Cornus mas	Cornelian Cherry Dogwood
CV	Chionanthus virginicus	White Fringe Tree
SHRUBS		
BM	Buxus microphylla var japonica	Winter Gem
CS	Cornus stolonifera	Red-osier Dogwood
FI	Forsythia x intermedia	Lynwood Forsythia
MR	Myrica pensylvanica	Northern Bayberry
GRASSES		
LV	Liriope muscari 'Variegata'	Variegated Liriope



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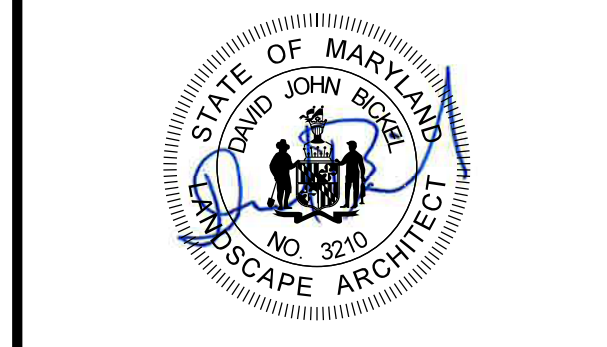
Engineering
 Surveying
 Planning
 Environmental Sciences

NO.	REVISIONS	BY	DATE

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12/30/2022

PLAN VIEW

LANDSCAPE PLAN-DSP-22028

FAIRWOOD SQUARE

ENTERPRISE & ANNAPOLIS ROAD

QUEEN ANNE (7th) ELECTION DISTRICT, PRINCE GEORGES COUNTY, MARYLAND

LEGEND

	SITE BOUNDARY
	PROPOSED LOT LINE
	PROPOSED RIGHT-OF-WAY LINE
	ADJACENT PROPERTY LINE
	ROAD CENTERLINE
	EASEMENT
	EXISTING 10' CONTOUR
	EXISTING 2' CONTOUR
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	25' WETLAND BUFFER
	15' RCP
	PROPOSED STORM DRAIN
	PROPOSED WATER
	PROPOSED SEWER
	SHRUBS & NON-WOODLAND VEGETATION
	EXISTING WOODLANDS

MAJOR SHADE TREE

ARO	Acer rubrum 'October Glory'	October Glory Red Maple
AS	Acer saccharum 'Bonfire'	Bonfire Sugar Maple
FG	Fagus grandifolia	American Beech
LT	Liriodendron tulipifera	Tulip Poplar
NS	Nyssa sylvatica	Black Gum/ Sour Gum
PA	Platanus x acerifolia	London Planetree
QP	Quercus palustris	Pin Oak
QPH	Quercus phellos	Willow Oak
QR	Quercus rubrum	Northern Red Oak
UAP	Ulmus americana 'Princeton'	Princeton Elm

INTERMEDIATE TREE

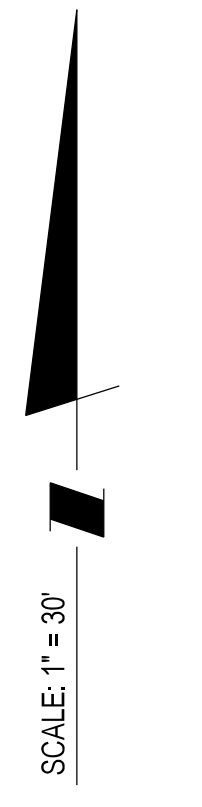
AC	Amelanchier canadensis	Serviceberry
CC	Carpinus caroliniana	American Hornbeam
CK	Cornus alternifolia	Kousa Dogwood
CM	Cornus mas	Cornelian Cherry Dogwood
CV	Chionanthus virginicus	White Fringe Tree

SHRUBS

BM	Buxus microphylla var japonica	Winter Gem
CS	Cornus stolonifera	Red-osier Dogwood
FI	Forsythia x intermedia	Lynwood Forsythia
MR	Myrica pensylvanica	Northern Bayberry

GRASSES

LV	Liriope muscari 'Variegata'	Variegated Liriope
----	-----------------------------	--------------------



TAX MAP	45, F3	CURRENT ZONING CATEGORY	RE
WS&C 200 SHEET	207NE11	PREVIOUS ZONING CATEGORY	RE
SITE DATUM	NAD 83	DATE:	12/30/2022
HORIZONTAL:	NAD 83	DESIGNED:	DJB
VERTICAL:	NAD 83	CHECKED:	DJB
SCALE:	1" = 30'	CAD STYL:	DJB
SHEET	5	VERSION:	V8 / NCS
OF	6	PROJECT NO.	3902-04-00

NO.	REVISIONS	BY	DATE

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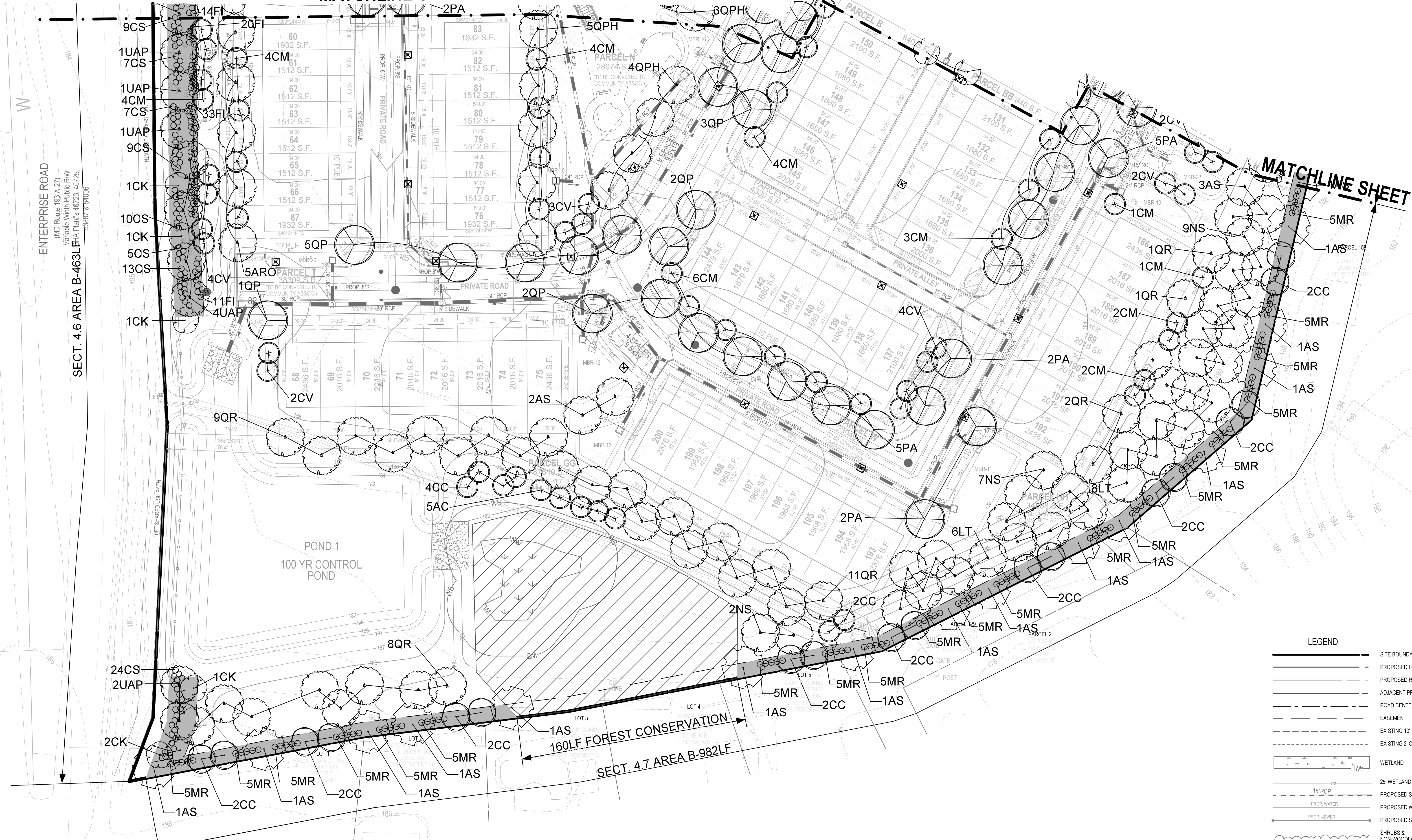
12/30/2022

PLAN VIEW
LANDSCAPE PLAN-DSP-22028
FAIRWOOD SQUARE
ENTERPRISE & ANNAPOLIS ROAD
 QUEEN ANNE (7th) ELECTION DISTRICT, PRINCE GEORGES COUNTY, MARYLAND

TAX MAP 45, F3	CURRENT ZONING CATEGORY RE
WS&C 200 SHEET 207NE11	PREVIOUS ZONING CATEGORY RE
SITE DATUM HORIZONTAL: NAD 83 VERTICAL: NAVD 83	DATE: 12/30/2022
SCALE: 1" = 30'	DESIGNED: D/B
SHEET 6	CHECKED: D/B
OF 6	CAD STYL: V8 / NCS
PROJECT NO. 3902-04-00	

MATCHLINE SHEET 4

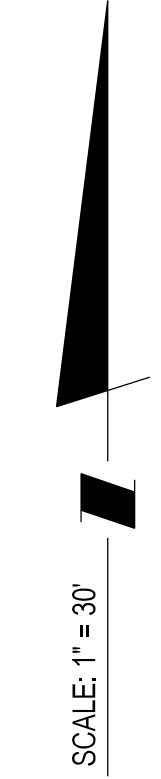
MATCHLINE SHEET 5



LEGEND

- SITE BOUNDARY
- - - PROPOSED LOT LINE
- - - PROPOSED RIGHT-OF-WAY LINE
- - - ADJACENT PROPERTY LINE
- - - ROAD CENTERLINE
- - - EASEMENT
- - - EXISTING 10' CONTOUR
- - - EXISTING 2' CONTOUR
- WETLAND
- 25' WETLAND BUFFER
- 15'RCP
- PROPOSED STORM DRAIN
- PROPOSED WATER
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- SHRUBS & NON-WOODLAND VEGETATION
- EXISTING WOODLANDS
- SHADE TREES
- ORNAMENTAL TREES
- EVERGREEN TREES
- SHRUBS
- PROPOSED LIGHT

- MAJOR SHADE TREE**
- | | | |
|-----|-----------------------------|-------------------------|
| ARO | Acer rubrum 'October Glory' | October Glory Red Maple |
| AS | Acer saccharum 'Bonfire' | Bonfire Sugar Maple |
| FG | Fagus grandifolia | American Beech |
| LT | Liriodendron tulipifera | Tulip Poplar |
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- | | | |
|----|------------------------|--------------------------|
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| CC | Carpinus caroliniana | American Hornbeam |
| CK | Cornus alternifolia | Kousa Dogwood |
| CM | Cornus mas | Cornelian Cherry Dogwood |
| CV | Chionanthus virginicus | White Fringe Tree |
- SHRUBS**
- | | | |
|----|--------------------------------|-------------------|
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| FI | Forsythia x intermedia | Lynwood Forsythia |
| MR | Myrica pensylvanica | Northern Bayberry |
- GRASSES**
- | | | |
|----|-----------------------------|--------------------|
| LV | Liriope muscari 'Variegata' | Variegated Liriope |
|----|-----------------------------|--------------------|



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Lenhart Traffic Consulting, Inc.

Transportation Planning & Traffic Engineering

Memorandum:

Date: December 5, 2022

TO: M-NCPPC - Development Review Division
Room 4150
14741 Governor Oden Bowie Drive
Upper Marlboro, MD 20772

FROM: Mike Lenhart

RE: Parking Analysis for Fairwood Square (DSP-22028)

This parking analysis has been prepared to evaluate the proposed Detailed Site Plan (DSP) for the Fairwood Square development which is subject to the parking requirements of 27-574 and 27-568 as discussed herein.

The Fairwood Square development contains a total of 200 residential townhouse units and up to 5,000 square feet of commercial retail space. However, the current Detailed Site Plan (DSP 22028) does not include the commercial retail space as there have not yet been users identified for the pad site. It is anticipated that a future DSP will be submitted for the commercial pad sites once a commercial user has been identified.

Section 27-574(a) of the Zoning Ordinance provides that “the number of parking spaces required in the M-X-T Zone are to be calculated by the applicant and submitted for Planning Board approval at the time of Detailed Site Plan approval. Prior to approval, the applicant shall submit the methodology, assumptions, and data used in performing the calculations.” This memorandum is to provide a parking assessment for the proposed development as required for the M-X-T zone in Section 27-574(a) of the Zoning Ordinance.

The number of parking spaces required is to be calculated in accordance with the methodology set forth in Section 27-574(b). The first step in determining the number of required spaces is to calculate the peak parking demand. In this regard, Section 27-574(b)(1) states as follows. “Determine the number of parking spaces required for each use proposed, based on the requirements of Section 27-568. These parking spaces are to be considered as the greatest number of spaces which are occupied in any one (1) hour and are to be known as the peak parking demand for each use. These peak parking numbers are calculated based upon the “Schedule of Parking Spaces” requirements as shown in Section 27-568. At less than this peak, the number of spaces being occupied is assumed to be directly proportionate to the number occupied during the peak (i.e., at eighty percent (80%) of the peak demand, eighty percent (80%) of the peak parking demand spaces are being occupied).” Section (b)(2) and (b)(3) go on to recommend an hourly distribution of each use within the M-X-T zone to determine the hourly fluctuation and the resulting peak parking demand for the overall site based on the sharing of parking spaces between the mix of uses.

Since this original DSP application only includes the residential use, there would not be any sharing of parking spaces between the mix of uses until such a time that one or both of the commercial retail pad sites move forward with a DSP application.

Lenhart Traffic Consulting, Inc.

Transportation Planning & Traffic Engineering

Section 27-568 provides a parking schedule of 2.04 spaces per townhouse dwelling unit which would result in a total parking requirement of 408 parking spaces with no reductions for shared parking between the mix of uses. Since there are no mix of uses until the commercial pad is developed, the base parking requirement for the initial residential DSP would be 408 parking spaces. This will be updated in the parking analyses for the future DSP for the commercial pad site.

The DSP includes 43 on-street parking spaces, 299 garage spaces, and 299 driveway spaces for a total of 641 parking spaces.

In conclusion, with a base parking requirement of 408 spaces, and a parking supply of 641 spaces, there are projected to be a surplus of parking spaces using the parking calculation procedures as outlined in Section 27-574 of the Zoning Ordinance. Therefore, the proposed parking spaces for Fairwood Square exceeds the base parking requirement, and the parking spaces proposed for Fairwood Square is projected to be more than sufficient to satisfy the parking demand for that particular use.

Based upon this information, it is our opinion that the site will be adequately parked as proposed. If you have any questions regarding this matter, please do not hesitate to contact me at the number below.

Thanks,
Mike Lenhart



LENHART TRAFFIC CONSULTING, INC.

645 BALTIMORE ANNAPOLIS BLVD, SUITE 214

SEVERNA PARK, MD 21146

www.lenharttraffic.com

OFFICE: (410) 216-3333

FAX: (443) 782-2288

EMAIL: mlehart@lenharttraffic.com

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Planning
Environmental Sciences

MSS UTILITY NOTE

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OWNER / DEVELOPER / APPLICANT

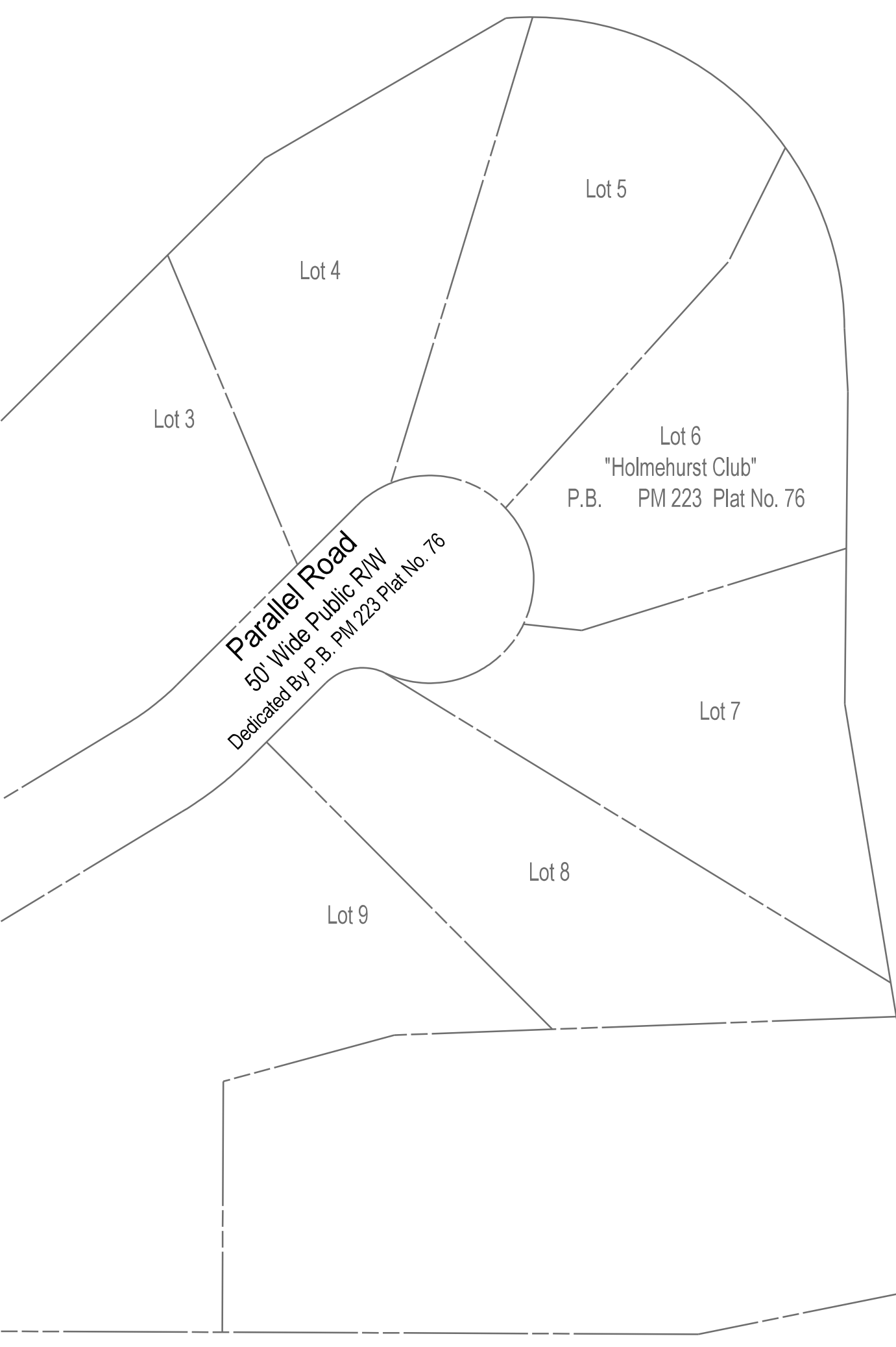
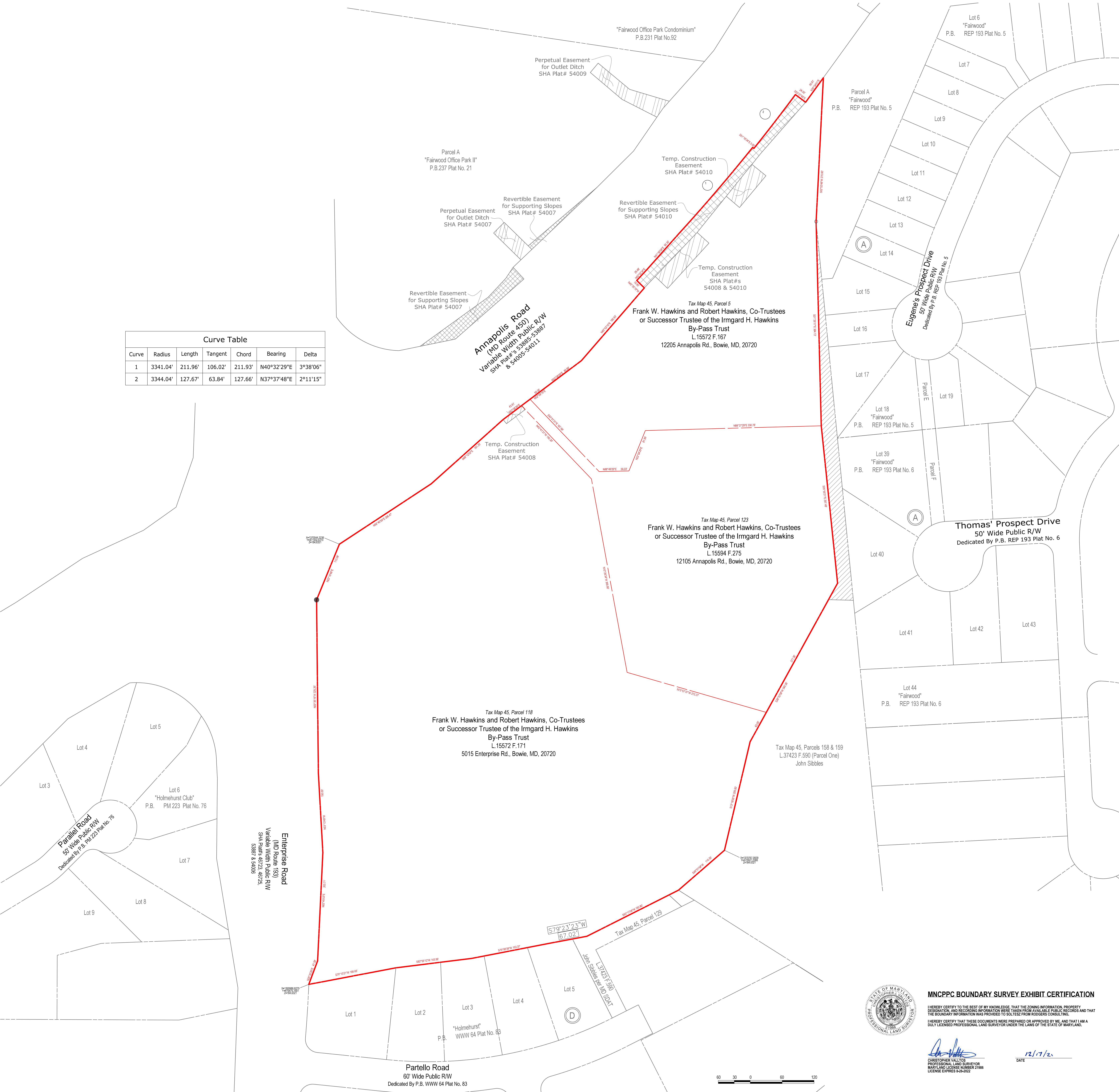
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FAX # 301-336-0885
MR. GREG MANNING

PLAN VIEW

**RED LINE PROPERTY EXHIBIT
FAIRWOOD SQUARE
ENTERPRISE & ANNAPOLIS ROAD**

QUEEN ANNE (IN ELECTION DISTRICT), PRINCE GEORGES COUNTY, MARYLAND

Curve Table						
Curve	Radius	Length	Tangent	Chord	Bearing	Delta
1	3341.04'	211.96'	106.02'	211.93'	N40°32'29"E	3°38'06"
2	3344.04'	127.67'	63.84'	127.66'	N37°37'48"E	2°11'15"



MNCCPC BOUNDARY SURVEY EXHIBIT CERTIFICATION

I HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE THAT THE ZONING INFORMATION, PROPERTY DESIGNATION, AND RECORDING INFORMATION WERE TAKEN FROM AVAILABLE PUBLIC RECORDS AND THAT THE BOUNDARY INFORMATION WAS PROVIDED TO SOLTESZ FROM RODGERS CONSULTING.

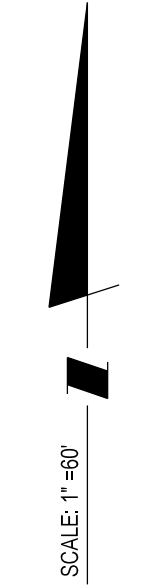
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND.

CHRISTOPHER VALLES
PROFESSIONAL LAND SURVEYOR
MARYLAND LICENSE NUMBER 21869
LICENSE EXPIRES 6/30/22

DATE: 12/17/22

1. TOTAL AREA: 22.51 ACRES
2. EXISTING ZONING: R-E

TAX MAP 46.F3	ZONING CATEGORY: R-E
WSEC 200 SHEET 207NE11	
DATE DATUM HORIZONTAL: NAD83 VERTICAL: NAVD29	
DATE: 4/20/2022	DESIGNED: DUB
4" = 80'	DESIGNED: DUB
SHEET 1	CHECKED: DUB
OF 1	CAD STIP: V8/NCS
PROJECT NO: 3902-04-00	



APPENDIX
 FORMULA FOR DETERMINING THE VALUE OF
 RECREATIONAL FACILITIES TO BE PROVIDED IN
 SUBDIVISIONS
 (Populations up to 1000)
 December 2022

PROJECT NAME: Fairwood Square
 PROJECT NUMBER: DSP-22028
 PLANNING AREA: 71A

200	X	2.89	=	578
Number of Units in Project		Population/D.U. by Planning Area (2020)		Total Project Population

578	÷	500	=	1.16
Total Project Population				Multiplier

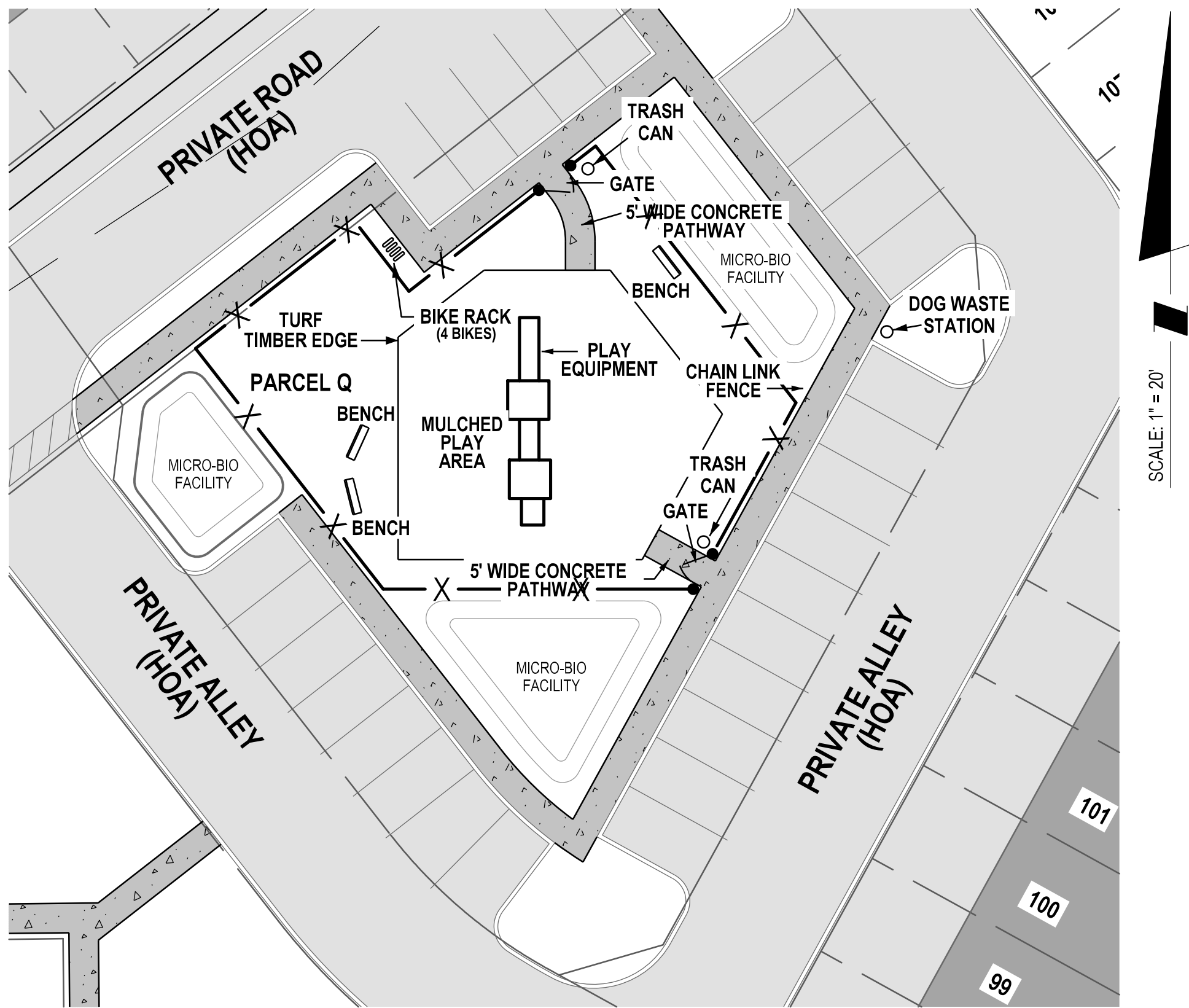
1.156	X	\$188,500	=	\$217,906.00
Multiplier		Standard Value of Facilities for Population of 500		Value of Facilities to be provided

Prior to approval of the building permit listed, the corresponding Recreational Facilities must be constructed.

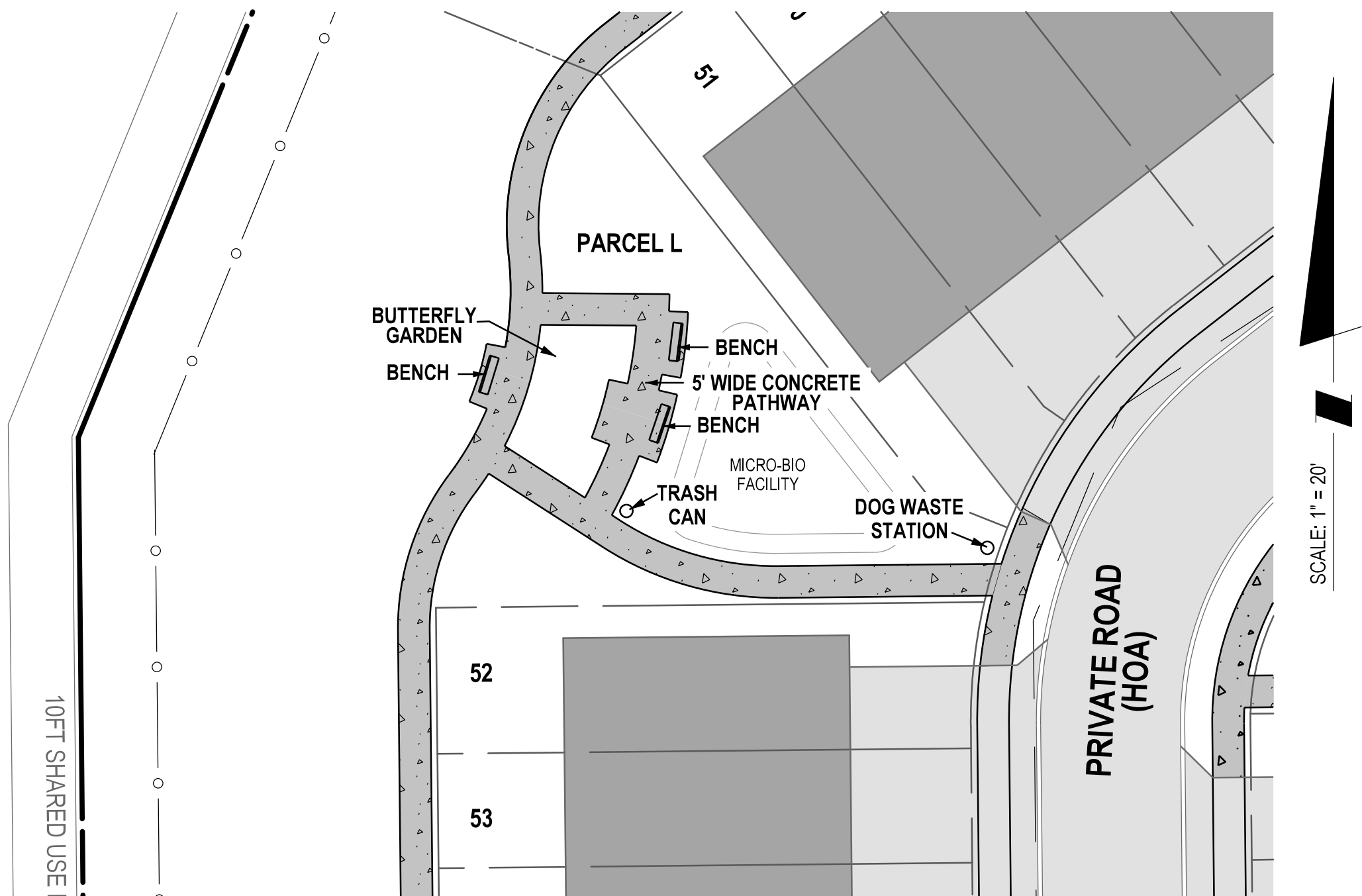
Recreational Facilities Provided

	Facility Description	Value of Facilities for Population of 500	Permit Trigger
1	Playground, landscaping, benches, trashcans, 1 doggie clean up station, fence, playground equipment, 1 bike rack.	\$70,750	71
2	Gazebo, pergola, benches, walks, game tables, landscaping, 5 benches, trashcans, doggie clean up station, bike rack.	\$60,500	110
3	Butterfly Garden, walks, landscaping, tables, benches, trashcans, doggie clean up station	\$42,500	110
4	Pergola, firepit, dog park, picnic tables, grills landscaping, benches, trashcans, doggie clean up stations, bike racks, dog hydrants, Doggie Crawl, dog Jump hoops	\$90,750	192
	Total Facility Value for Facilities Provided	\$264,500	

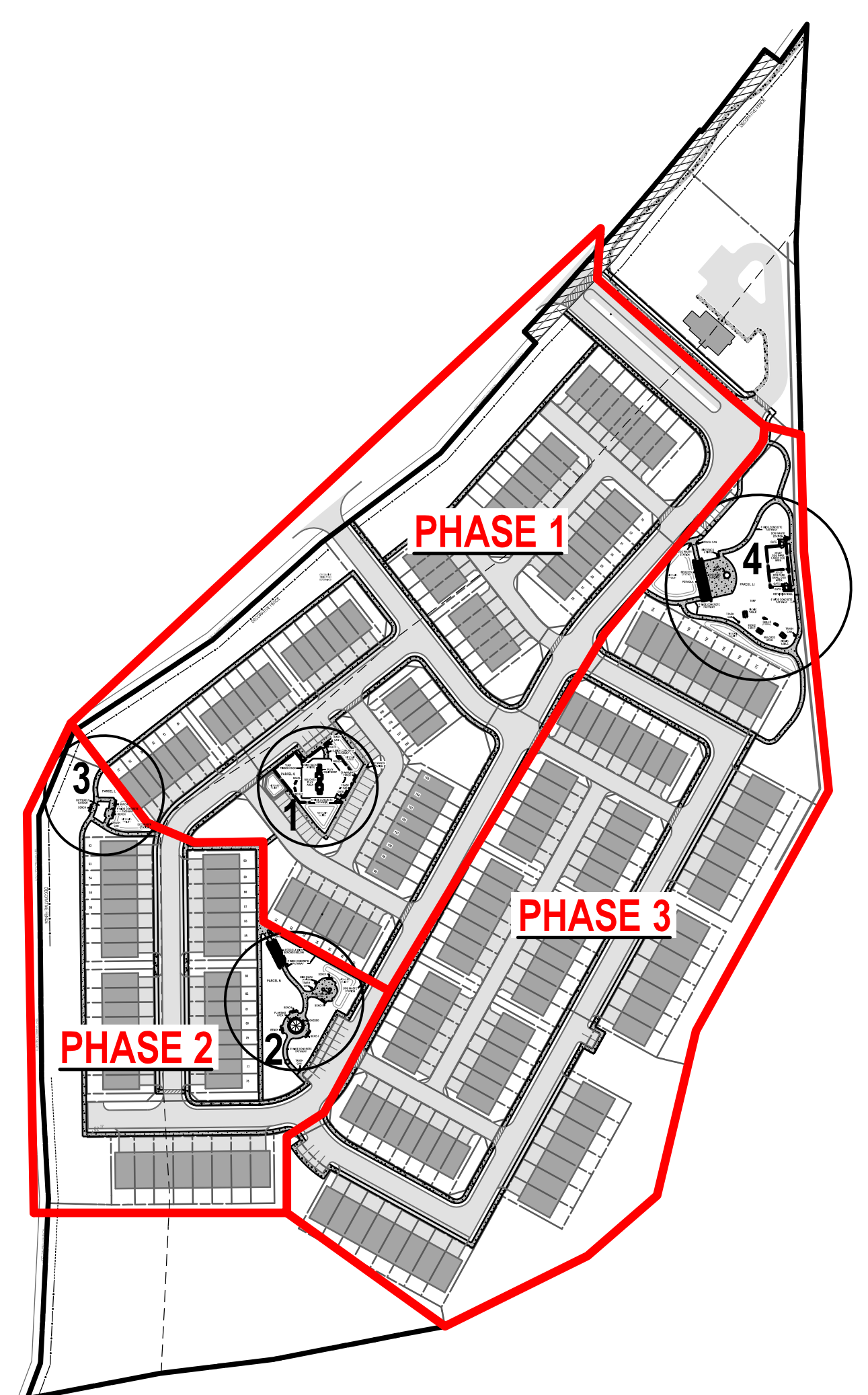
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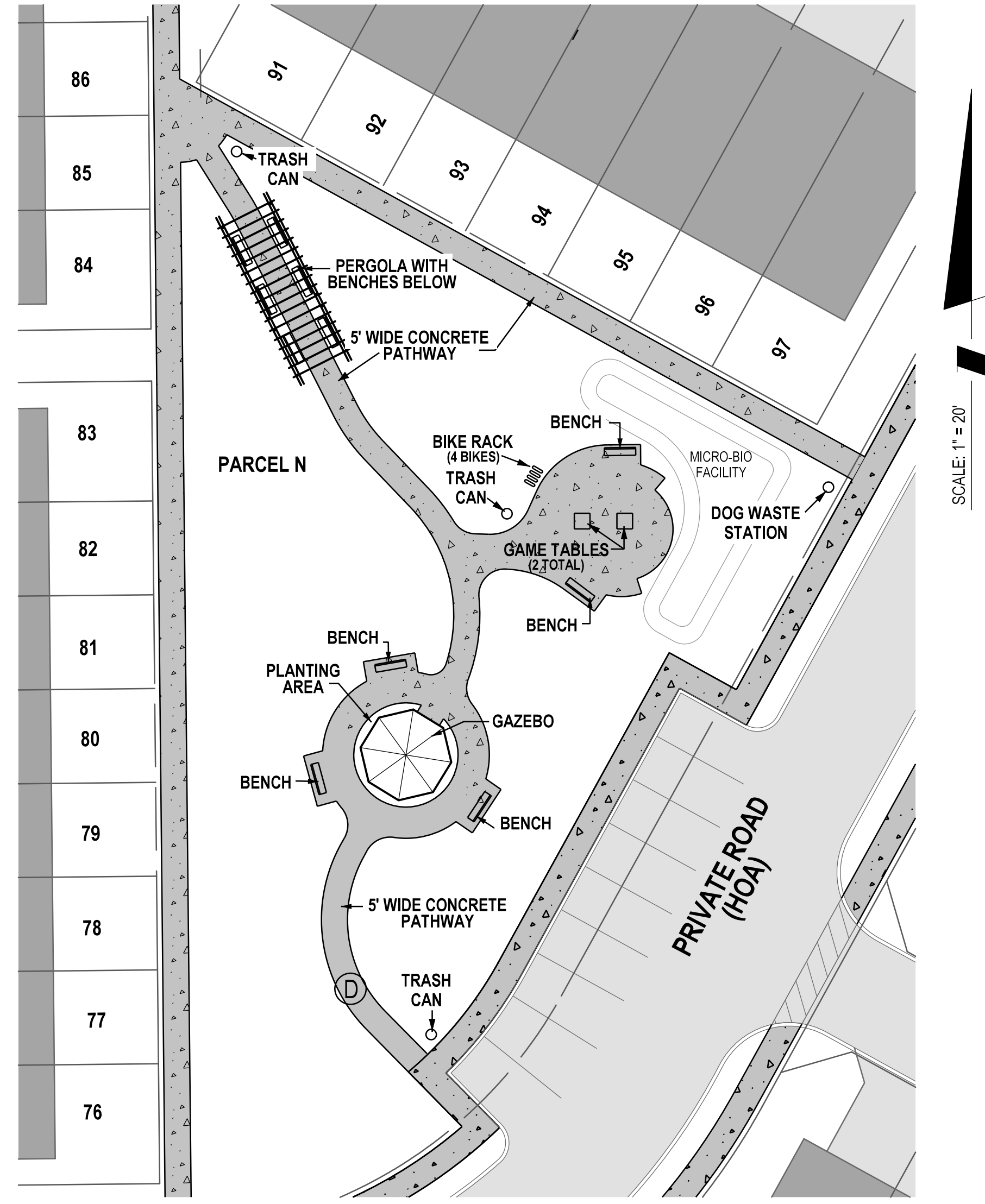
RECREATIONAL AREA - 1
SCALE: 1"=20'



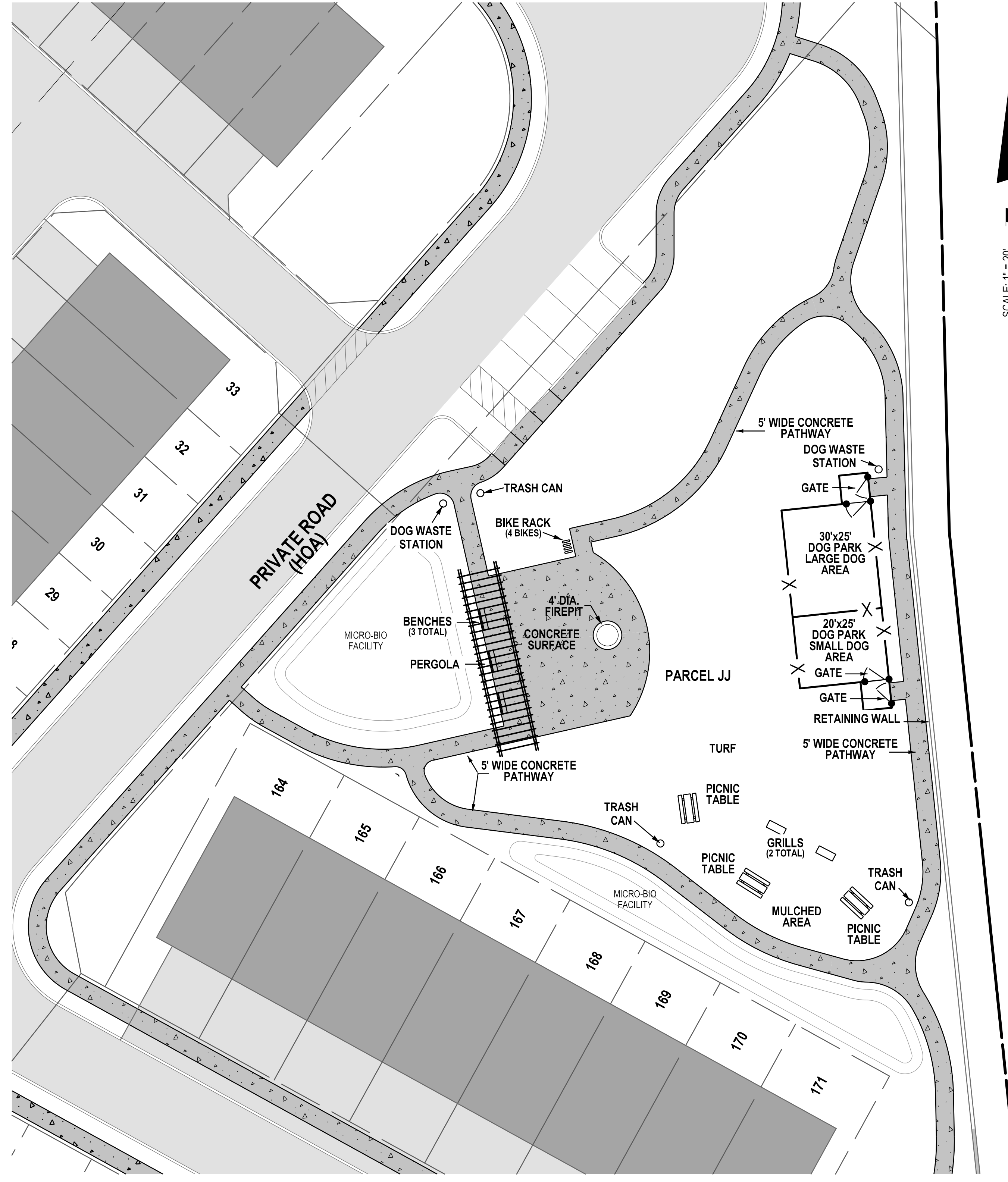
RECREATIONAL AREA - 3
SCALE: 1"=20'



RECREATIONAL AREA LOCATION MAP
NOT TO SCALE



RECREATIONAL AREA - 2
SCALE: 1"=20'



RECREATIONAL AREA - 4
SCALE: 1"=20'

- CONSTRUCTION TIMELINE**
- PHASE 1: PRIOR TO 71st BUILDING PERMIT
- CONSTRUCT REC. AREA 1
 - PHASE 2: PRIOR TO 110th BUILDING PERMIT
- CONSTRUCT REC. AREA 2 & 3
 - PHASE 3: PRIOR TO 192nd BUILDING PERMIT
- CONSTRUCT REC. AREA 4

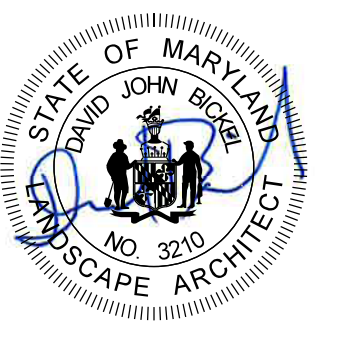
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4300 Forbes Boulevard, Suite 230
Lanham, MD 20706
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www.solteszco.com

Engineering
Surveying
Planning
Environmental Sciences

MISS UTILITY NOTE
INFORMATION CONCERNING EXISTING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS. THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF ALL EXISTING UTILITIES AND UTILITY CROSSINGS BY DIGGING TEST PITS BY HAND, WELL IN ADVANCE OF THE START OF EXCAVATION. CONTACT MISS UTILITY AT 1-800-251-7777 48 HOURS PRIOR TO THE START OF EXCAVATION. IF CLEARANCES ARE LESS THAN SHOWN ON THE PLAN OR THINER THAN 12 INCHES, WHOEVER IS LESS, CONTACT THE ENGINEER AND THE UTILITY COMPANY BEFORE PROCEEDING WITH CONSTRUCTION. CLEARANCES LESS THAN NOTED MAY REQUIRE REVISION TO THE PLAN.

APPLICANT
TIMBERLAKE HOMES
304 HARRY S. TRUMAN PARKWAY
SUITE M
ANNAPOLIS, MD 21401
PHONE # 443-837-3110
FAX # 301-336-0885
MR. GREG McANINCH

OWNER
IRMGARD H HAWKINS BY-PASS TRUST
12205 ANNAPOLIS ROAD
BOWIE, MD 20720



12/2/2022

RECREATION PLAN

DETAILED SITE PLAN -DSP-22028
FAIRWOOD SQUARE
ENTERPRISE & ANNAPOLIS ROAD
QUEEN ANNE (7th) ELECTION DISTRICT, PRINCE GEORGES COUNTY, MARYLAND

TAX MAP 45, F3	CURRENT ZONING CATEGORY RE
WS&C 200 SHEET 207NE11	PREVIOUS ZONING CATEGORY RE
SITE DATUM HORIZONTAL: NAD 83 VERTICAL: NGVD 29	DATE: 12/2/2022
1" = 20'	DESIGNED: YOR
SHEET 1	TECHNICIAN: YOR
OF 2	CHECKED: DVB
PROJECT NO. 3902-04-00	CAD STOPS: V8 / NCS



THE PRINCE GEORGE'S COUNTY GOVERNMENT



Department of Permitting, Inspections and Enforcement

Site/Road Plan Review Division

9400 Peppercorn Place, Suite 420

Largo, Maryland 20774

(301) 883-5710



STORMWATER MANAGEMENT CONCEPT APPROVAL

CASE NAME: PEER REVIEW-BOWIE_PARCEL 5, 118, 123_RESIDENTIAL CASE #: 45700-2021-00
APPLICANT'S NAME: Tim Davis
ENGINEER : Soltesz, LLC

REQUIREMENTS:

Technical Review is required for PUBLIC/PRIVATE Storm Drain/SWM Construction.

Type of Storm Drainage/SWM Construction is PRIVATE.

These additional approvals are required: None.

These fees apply: None.

These bonds apply: None.

Required water quality controls: INFILTRATION, 1-SGW & 31 Micro"s.

Required water quantity controls: 100 YEAR ATTENUATION(S).

A maintenance agreement is required.

No special conditions apply.

Required easements: STORM DRAIN.

**Storm Water Management fee payment of none in lieu of providing on-site attenuation/quality control measures.
(Fee-In-Lieu subject to change during technical review.)**

CONDITIONS OF APPROVAL:

Please see second page.

APPROVED BY:

Rey De Guzman

APPROVAL DATE: August 29, 2022

EXPIRATION DATE: August 29, 2025

FOR OFFICE USE ONLY

ADC MAP: 200' SHEET:

STREET NAME: ENTERPRISE RD

WATERSHED: 19-Lottsford Branch

NUMBER OF DU'S: 0 COST PER DWELLING: 0

CC: APPLICANT, SCD, PERMITS

P.G.C. FORM #3693 (REV 04/93)

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STORMWATER MANAGEMENT CONCEPT APPROVAL

CASE NAME:

PEER REVIEW-BOWIE_PARCEL 5, 118, 123_RESIDENTIAL

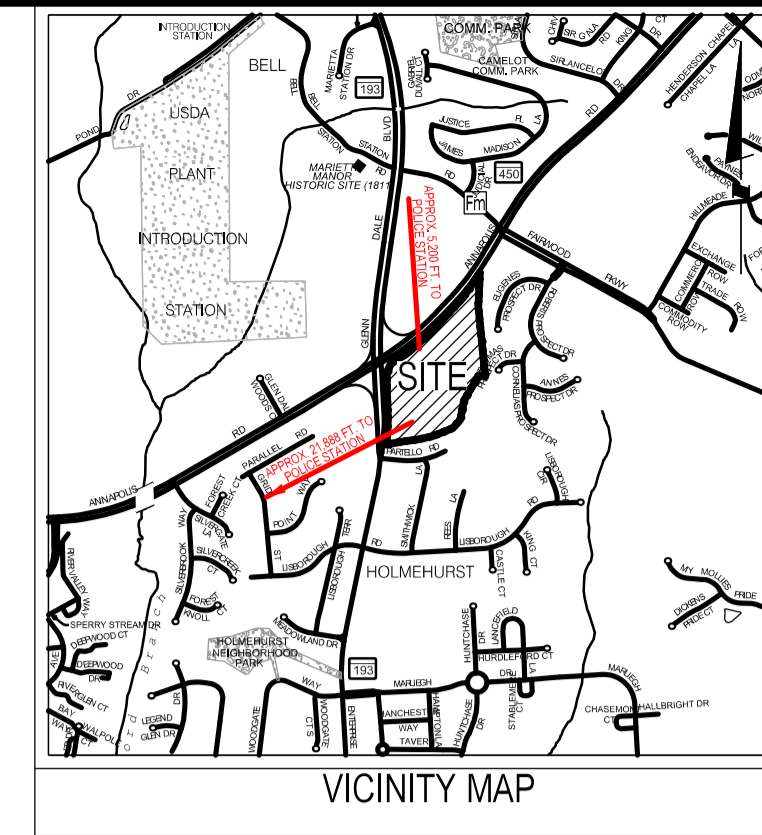
CASE #:

45700-2021-00

CONDITIONS OF APPROVAL:

1. EXISTING HOUSE TO BE RAZED
 2. AT THE TIME OF TECHNICAL REVIEW PROVIDE COPY OF EXISTING STORM DRAIN EASEMENT FOR EXISTING STORM DRAIN SYSTEM. IF THE RIGHT-OF-WAY DOES NOT EXIST THEN A RIGHT-OF-WAY MUST BE RECORDED
 3. SITE DEVELOPMENT PERMIT REQUIRED TO INCLUDE ULTIMATE R/W FRONTAGE IMPROVEMENTS, INCLUDING STORM DRAINAGE, STREET TREES AND STREET LIGHTING (AND ON-SITE GRADING).
 4. SHA APPROVAL REQUIRED
 5. THIS PROJECT WILL REQUIRE A SITE DEVELOPMENT FINE GRADING PERMIT.
 6. ESD TO THE MEP PROPOSED USING ONE (1) SUBMERGED GRAVEL WETLAND AND THIRTY-ONE (31) MICRO-BIORETENTIONS
 7. 100-YR QUANTITY MANAGEMENT PROPOSED USING ONE SURFACE POND
 8. APPROX 0.22 ACRES OF ROAD DEDICATION REQUIRED AT NORTHERN END OF SITE FOR ANNAPOLIS RD RTE 450.
 9. DISTRICT ENGINEER REVIEW AND APPROVAL REQUIRED FOR ANY MICRO-BIORETENTIONS WITHIN 4 FEET OF GROUNDWATER
- REVIEWED BY CRC/MA

SITE DEVELOPMENT CONCEPT PLAN FAIRWOOD SQUARE



STORMWATER CONCEPT LEGEND

PG 10/08

NATURAL FEATURES

EXISTING TREE LINE

NON-TIDAL WETLANDS BOUNDARY (SOURCE: FIELD DELINEATION)

NON-TIDAL WETLANDS BUFFER

PRIMARY MANAGEMENT AREA

PROPERTY BOUNDARY

SOILS BOUNDARY/SOILS LABEL (SOURCE: USDA SOIL SURVEY OF PRINCE GEORGE'S COUNTY 1967)

STEEP SLOPES - GREATER THAN 15%

STEEP SLOPES - GREATER THAN 25%

WATERS OF THE US (JURISDICTION AS LABELED)

DRAINAGE DIVIDE

EXISTING

PROPOSED

STORM DRAIN

EXISTING: EX 15" RCP SD

PROPOSED: 15" RCP

WATER

EXISTING: EX 8" W

PROPOSED: 8" W

SANITARY SEWER

EXISTING: EX 8" SAN

PROPOSED: 8" S

BUILDINGS

EXISTING: FF=123.45

PROPOSED: FF=123.45

CURB AND GUTTER

EXISTING: EX CONC C&G

PROPOSED: CONC C&G

MICRO-BIORETENTION DEVICE

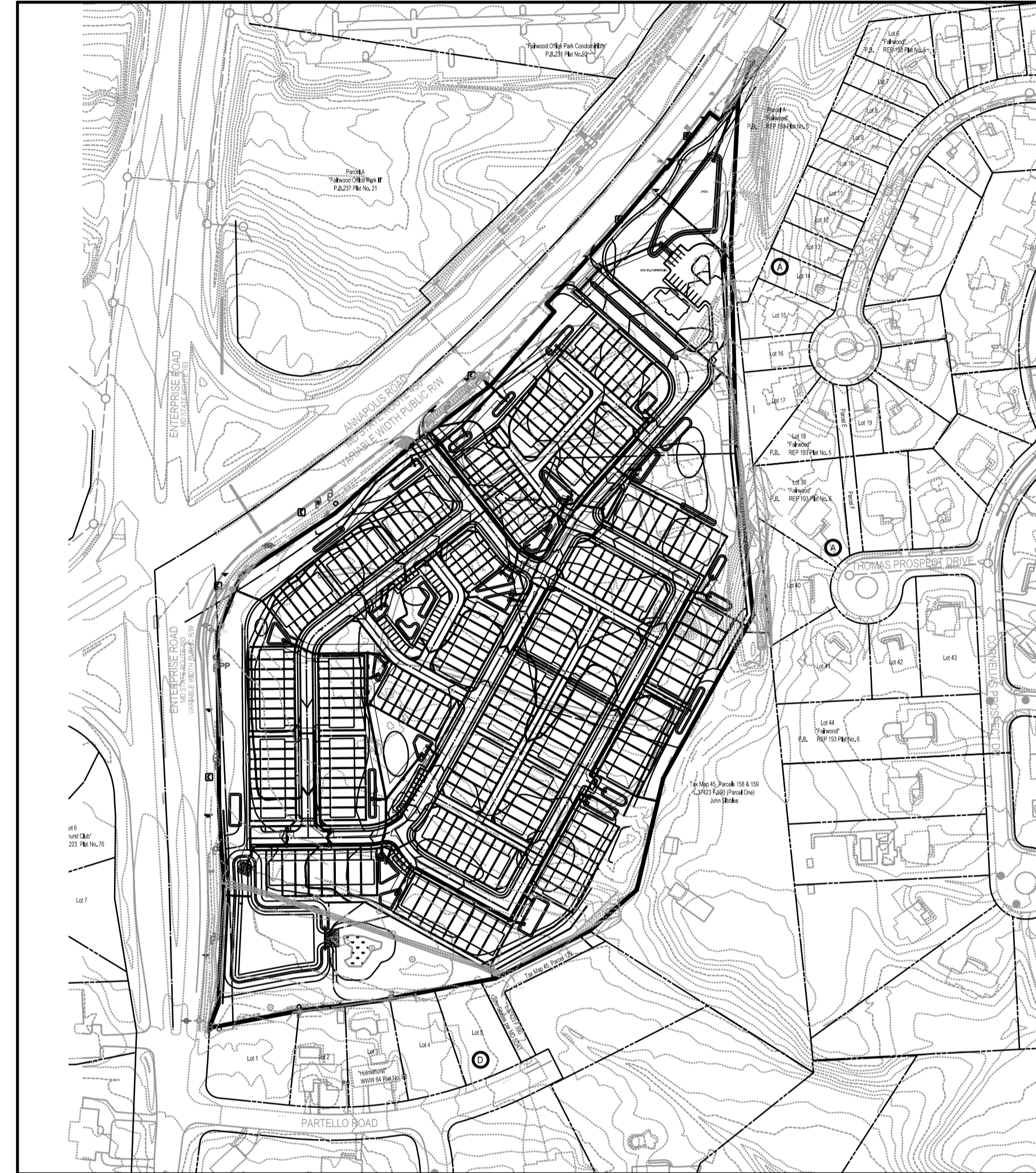
EXISTING:

PROPOSED: MBR

SUBMERGED GRAVEL WETLAND DEVICE

EXISTING:

PROPOSED: SGW



LOCATION MAP

SCALE: 1" = 200'



INDEX OF SHEETS

COVER SHEET	1
BMP SUMMARY SHEET	2
EXISTING SWM DRAINAGE AREA MAP	3
PROPOSED SWM DRAINAGE AREA MAP	4
PROPOSED ESD DRAINAGE AREA MAP	5
PLAN VIEWS	6-10
DETAILS	11

GENERAL NOTES

- SITE DATA:**
TAX ID: 0733741, 0733782, 0817676
ADDRESS: 5015 ENTERPRISE ROAD
BOWIE, MD 20720
TOTAL SITE ACREAGE: 22.51 AC
FLOODPLAIN ACREAGE: 0 AC
EXISTING IMP. AREA: 4.83 AC
PROPOSED IMP. AREA: 10.17 AC
DISTURBED AREA: 20.66 AC
MAX. CUT/FILL DEPTH: 14 FT
- EXISTING ZONE: R-E
- WSSC GRID: 207NE11
- TAX MAP: 45 GRID: E3
- PG COUNTY STREET MAP PAGE: 5412; GRID: C6-7
- NO CEMETERIES EXIST ON OR CONTIGUOUS TO PROPERTY.
- NO HISTORIC SITES ON OR IN THE VICINITY OF THE PROPERTY.
- COUNTY WATERSHED NAME: PATUXENT RIVER
COUNTY WATERSHED #: 021311030229
- NRI EQUIVALENCY: #131-06-01 APPROVED
- ENVIRONMENTAL INFORMATION:**
SITE IS NOT WITHIN CHESAPEAKE BAY CRITICAL AREA
SITE DOES NOT CONTAIN HIGHLY ERODIBLE SOILS
SITE DOES CONTAIN STEEP SLOPES
SITE IS WITHIN A WATERSHED WITH TMDL FOR TIDAL SEDIMENT
SITE IS NOT WITHIN A TIER II WATERSHED
WETLANDS ARE PRESENT ON SITE
100-YEAR FLOODPLAIN IS NOT PRESENT ON SITE
- SOURCE OF TOPOGRAPHY: FLOWN TOPOGRAPHY, AUGUST 2021; FIELD SURVEY 2021

TOTAL SITE AREA = 22.51 ACRES.
TOTAL IMPERVIOUS AREA = 10.17 ACRES.
TOTAL DISTURBED AREA = 20.66 ACRES.

Prince George's County Maryland
Department of Permitting, Inspections & Enforcement
APPROVED PLAN SET

The Department of Permitting, Inspections and Enforcement has completed a review of this document for code compliance. As required by State Code, the design professional(s) responsible for the preparation and content of this document must provide a record copy of these documents with their original seal, signature and date.

Case Name: PEER REVIEW-BOWIE PARCEL 5, 118, 123, RESIDENTIAL
Case Number (Plan Approval #): 45700-2021-0
Case Type: PRRW
Issuance Date: 8/23/2022
Address: 5155 ENTERPRISE RD BOWIE, Maryland 20720
Lot(s) and Block(s):
REVIEWED BY: CRDMA
APPROVED BY:

Key De Guzman

DPiE
DEPARTMENT OF PERMITTING, INSPECTIONS AND ENFORCEMENT

DEPARTMENT OF PERMITTING, INSPECTIONS AND ENFORCEMENT (DPiE)
PRINCE GEORGE'S COUNTY, MARYLAND
PEER REVIEW APPROVAL STAMP

"I hereby certify that I have successfully completed participation in DPiE's Peer Review Program. I have reviewed these plans in detail and they are in conformance with the county's Code, General Specifications and Standards."

APPROVAL DATE:
AUG 25, 2022

PEER REVIEWER:

COMPANY NAME: NEAR SHORE ENGINEERING LLC

PERMIT NUMBER: 45700-2021

SOLTESZ, INC.
ROCKVILLE OFFICE
2 Research Place, Suite 100
Rockville, MD 20850
P. 301.948.2750 F. 301.948.9067
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Engineering
Planning
Environmental Sciences

MISS UTILITY NOTE

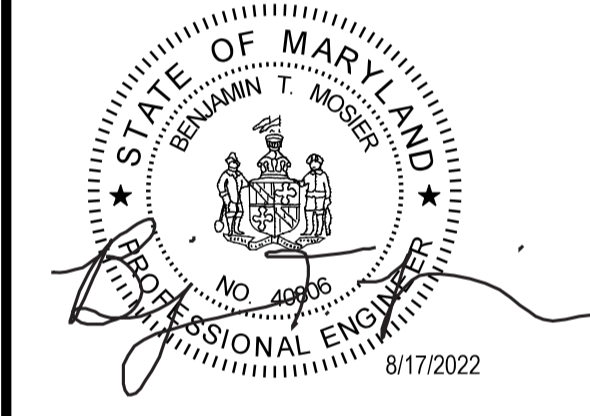
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PHONE # 443-837-3110
FAX # 301-338-0885
MR. GREG McANNICH

PROFESSIONAL CERTIFICATION

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NO. 40806, EXPIRATION DATE: 08/23/2022



COVER SHEET
SITE DEVELOPMENT CONCEPT PLAN
FAIRWOOD SQUARE
PARCELS 5, 118 & 123
QUEEN ANNE (7th) ELECTION DISTRICT, PRINCE GEORGE'S COUNTY, MARYLAND

TAX MAP	45, F3	ZONING CATEGORY:	RE
WSSC 200' SHEET	207NE11		
SITE DATA	HORIZONTAL: 1440.83		
	VERTICAL: NGVD 29		
DATE:	AUG 2021	DESIGNED:	CBM
TECHNICIAN:	ZAH	CHECKED:	THD
CAD STD'S:	VB / NCS	VERSION:	
SHEET	1		
OF	11		
PROJECT NO.	3902-04-00		

DPiE CONCEPT # 45700-2021-0

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Concept Plan BMP Summary Table																					
Project Name:		FAIRWOOD SQUARE				Concept No.: 45700-2021-0				Permit No.: XXX-XXX				Total Site Acreage: 22.51 AC				Aug-22			
POI	LABEL	NAME	MD NORTH	MD EAST	LAND USE	CONSTRUCTION PURPOSE	DRAINAGE AREA (AC)	TOTAL IMPERVIOUS AREA (AC)	NEW IMPERVIOUS AREA (AC)	EXISTING IMPERVIOUS AREA (AC)	PERCENT IMPERVIOUS	Rv	TARGET P _e (IN)	TARGET VOL (FT ³)	DESIGN VOL (FT ³) USING ESD PRACTICES	DESIGN VOLUME (CF) USING STRUCTURAL PRACTICES	MAX ESD VOL (ESD max) (CF)	RCN	ON_OFF_SITE		
3	SGW-01	Submerged Gravel Wetlands			High Density Residential	NEWD	1.962	0.745	0.745	0.000	38.0%	0.3918	1.80	5023	9136	-	7534	76	On Site		
2	MBR-01	Micro-Bioretenion			High Density Residential	NEWD	0.256	0.132	0.246	0.000	51.4%	0.4756	1.80	866	1299	-	1299	70	On Site		
2	MBR-02	Micro-Bioretenion			High Density Residential	NEWD	0.181	0.133	0.137	0.000	73.3%	0.6434	2.00	943	1273	-	1273	70	On Site		
2	MBR-03	Micro-Bioretenion			High Density Residential	NEWD	0.302	0.091	0.303	0.000	30.1%	0.2995	1.60	569	961	-	961	68	On Site		
2	MBR-04	Micro-Bioretenion			High Density Residential	NEWD	0.016	0.091	0.181	0.000	556.4%	0.3856	1.80	612	918	-	918	67	On Site		
2	MBR-05	Micro-Bioretenion			High Density Residential	NEWD	0.426	0.296	0.166	0.000	69.6%	0.6353	2.00	2103	2557	-	2838	56	On Site		
2	MBR-06	Micro-Bioretenion			High Density Residential	NEWD	0.343	0.239	0.360	0.000	69.6%	0.6182	2.00	1698	2293	-	2293	55	On Site		
2	MBR-07	Micro-Bioretenion			High Density Residential	NEWD	0.402	0.273	0.159	0.000	68.0%	0.6171	2.00	1942	2380	-	2622	55	On Site		
2	MBR-08	Micro-Bioretenion			High Density Residential	NEWD	0.371	0.222	0.209	0.000	59.9%	0.5513	1.80	1436	2023	-	2154	55	On Site		
2	MBR-09	Micro-Bioretenion			High Density Residential	NEWD	0.387	0.134	0.389	0.000	34.7%	0.3383	1.80	927	1390	-	1390	55	On Site		
1	MBR-10	Micro-Bioretenion			High Density Residential	NEWD	0.430	0.224	0.115	0.000	52.1%	0.4866	1.80	1468	2086	-	2202	55	On Site		
1	MBR-11	Micro-Bioretenion			High Density Residential	NEWD	0.380	0.314	0.115	0.000	82.6%	0.7095	2.20	2429	326	-	2981	55	On Site		
1	MBR-12	Micro-Bioretenion			High Density Residential	NEWD	0.337	0.247	0.099	0.000	73.1%	0.6540	2.20	1920	1810	-	2356	55	On Site		
1	MBR-13	Micro-Bioretenion			High Density Residential	NEWD	0.202	0.148	0.250	0.000	73.5%	0.6448	2.00	1050	1369	-	1417	55	On Site		
2	MBR-14	Micro-Bioretenion			High Density Residential	NEWD	0.282	0.141	0.227	0.000	50.0%	0.4727	1.80	927	1365	-	1390	55	On Site		
1	MBR-15	Micro-Bioretenion			High Density Residential	NEWD	0.436	0.139	0.317	0.000	32.0%	0.3203	1.60	864	1454	-	1458	55	On Site		
1	MBR-16	Micro-Bioretenion			High Density Residential	NEWD	0.440	0.184	0.124	0.000	41.9%	0.4070	1.80	1236	1820	-	1853	55	On Site		
2	MBR-17	Micro-Bioretenion			High Density Residential	NEWD	0.090	0.059	0.119	0.000	65.7%	0.5644	2.00	422	569	-	569	55	On Site		
1	MBR-18	Micro-Bioretenion			High Density Residential	NEWD	0.209	0.130	0.224	0.000	62.4%	0.5515	1.80	842	1263	-	1263	55	On Site		
2	MBR-19	Micro-Bioretenion			High Density Residential	NEWD	0.135	0.041	0.175	0.000	30.3%	0.2949	1.60	258	436	-	436	70	On Site		
1	MBR-20	Micro-Bioretenion			High Density Residential	NEWD	0.276	0.236	0.182	0.000	85.4%	0.7895	2.00	1646	1219	-	2222	79	On Site		
2	MBR-21	Micro-Bioretenion			High Density Residential	NEWD	0.261	0.050	0.317	0.000	19.0%	0.2108	1.20	255	561	-	573	55	On Site		
2	MBR-22	Micro-Bioretenion			High Density Residential	NEWD	0.279	0.087	0.184	0.000	31.1%	0.3103	1.60	541	912	-	912	55	On Site		
2	MBR-23	Micro-Bioretenion			High Density Residential	NEWD	0.234	0.087	0.263	0.000	37.1%	0.3572	1.80	593	890	-	890	55	On Site		
1	MBR-24	Micro-Bioretenion			High Density Residential	NEWD	0.237	0.070	0.209	0.000	29.4%	0.2955	1.60	438	739	-	739	55	On Site		
2	MBR-25	Micro-Bioretenion			High Density Residential	NEWD	0.255	0.087	0.175	0.000	34.0%	0.3258	1.60	536	904	-	904	55	On Site		
2	MBR-26	Micro-Bioretenion			High Density Residential	NEWD	0.126	0.050	0.099	0.000	39.2%	0.3608	1.80	339	508	-	508	55	On Site		
2	MBR-27	Micro-Bioretenion			High Density Residential	NEWD	0.139	0.062	0.099	0.000	44.6%	0.4076	1.80	416	625	-	625	55	On Site		
2	MBR-28	Micro-Bioretenion			High Density Residential	NEWD	0.394	0.292	0.061	0.000	74.1%	0.6635	2.20	2267	2549	-	2782	55	On Site		
2	MBR-29	Micro-Bioretenion			High Density Residential	NEWD	0.375	0.223	0.048	0.000	59.3%	0.5506	1.80	1440	1579	-	2160	55	On Site		
2	MBR-30	Micro-Bioretenion			High Density Residential	NEWD	0.088	0.080	0.072	0.000	91.2%	0.7245	2.20	621	763	-	625	55	On Site		
1	MBR-31	Micro-Bioretenion			High Density Residential	NEWD	0.413	0.287	0.093	0.000	69.5%	0.6313	2.00	2039	2354	-	625	55	On Site		
Total							9.256	4.649						32296	43085						

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 Rockville, MD 20850
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 PHONE # 443-837-3110
 FAX # 301-338-0885
 MR. GREG McANNINCH

PROFESSIONAL CERTIFICATION
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 LICENSE NO. 40806, EXPIRATION DATE: 08/23/2022



Prince George's County Maryland
 Department of Permitting, Inspections & Enforcement
APPROVED PLAN SET

The Department of Permitting, Inspections and Enforcement has completed a review of this document for code compliance. As required by State Code, the design professional(s) responsible for the preparation and content of this document must provide a record copy of these documents with their original seal, signature and date.

Case Name: PEER REVIEW-BOWIE PARCEL 5, 118, 123, RESIDENTIAL
 Case Number (Plan Approval #: 45700-2021-0
 Case Type: PSWM
 Issuance Date: 8/29/2022
 Address: 5150 ENTERPRISE RD BOWIE, Maryland 20720
 Lot(s) and Block(s):
 REVIEWED BY: CRCMA
 APPROVED BY:
 Key De Guzman

Peer Reviewed By:
Carl R. Corse, P.E.

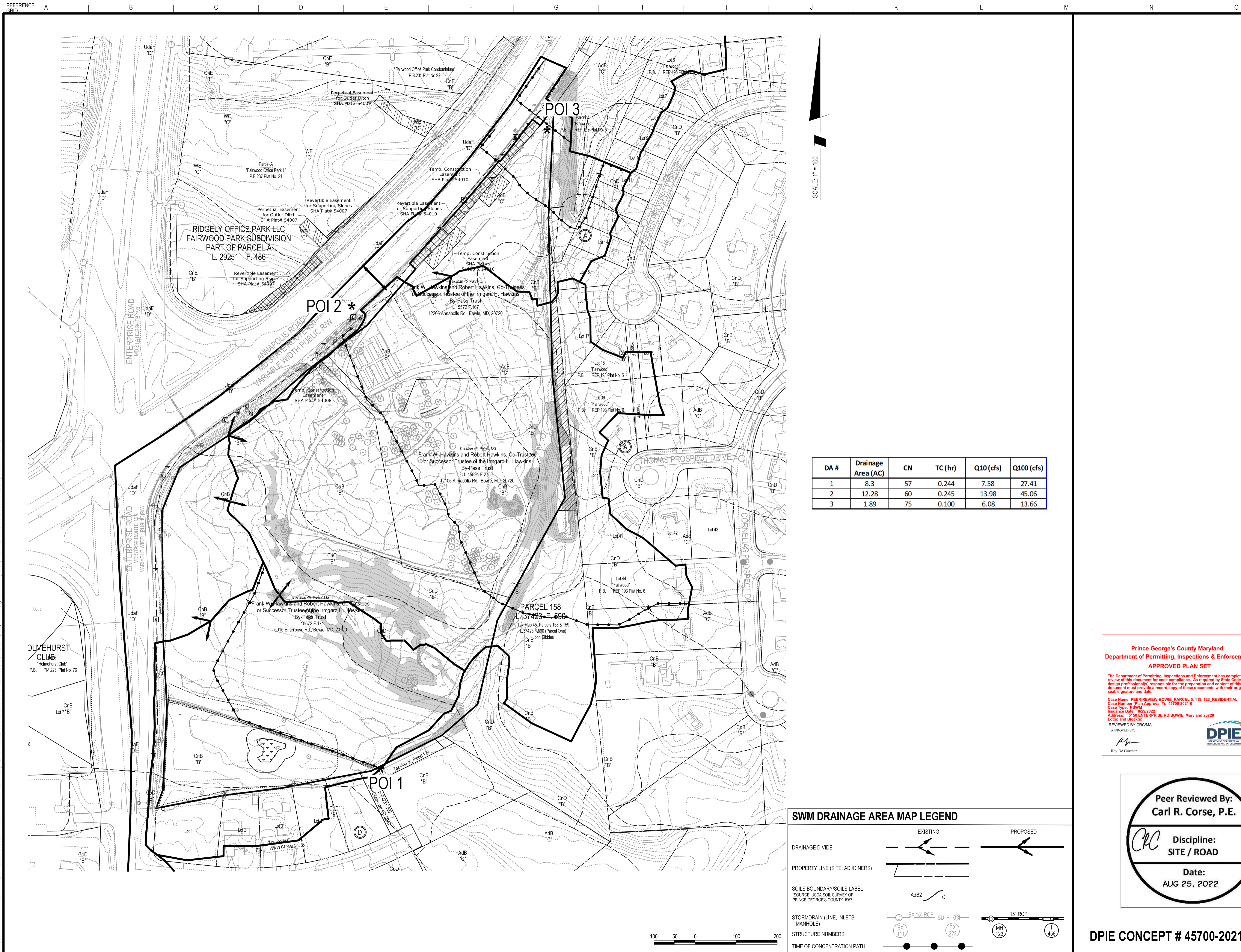
Discipline:
SITE / ROAD

Date:
AUG 25, 2022

BMP SUMMARY SHEET
SITE DEVELOPMENT CONCEPT PLAN
FAIRWOOD SQUARE
PARCELS 5, 118 & 123
 QUEENIE ANNE (7th) ELECTION DISTRICT, PRINCE GEORGE'S COUNTY, MARYLAND

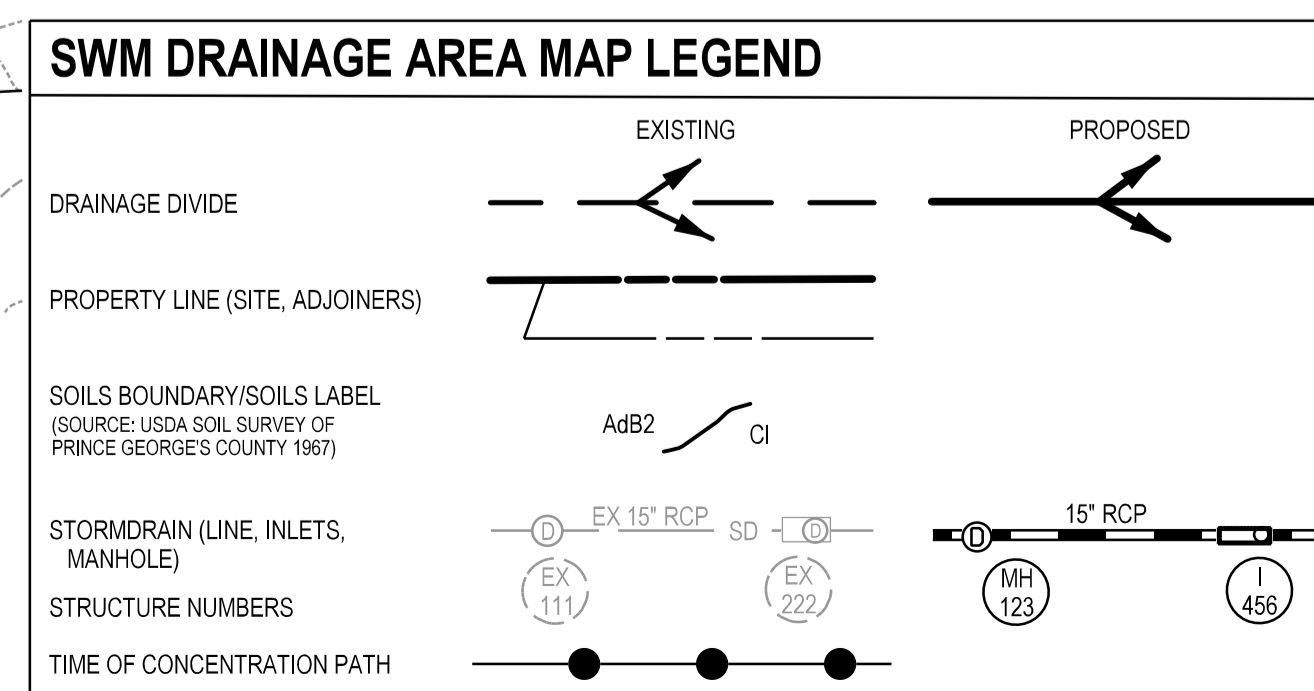
TAX MAP 45, F3	ZONING CATEGORY: RE
WSSC 200' SHEET 207NE11	
SHEET 2	DATE: AUG. 2021
OF 11	TECHNICIAN: CBM ZAH THD
PROJECT NO. 3902-04-00	CAD STD'S: V8 / NCS

DPIE CONCEPT # 45700-2021-0



SCALE: 1" = 100'

DA #	Drainage Area (AC)	CN	TC (hr)	Q10 (cfs)	Q100 (cfs)
1	8.3	57	0.244	7.58	27.41
2	12.28	60	0.245	13.98	45.06
3	1.89	75	0.100	6.08	13.66



Prince George's County Maryland
 Department of Permitting, Inspections & Enforcement
APPROVED PLAN SET

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Case Name: PETER REWIEV-BOWIE PARCEL 5, 118, 123, RESIDENTIAL
 Case Number (Plan Approval #): 45700-2021-0
 Case Type: P/PM
 Issuance Date: 8/23/2022
 Address: 5158 ENTERPRISE RD BOWIE, Maryland 20720
 (Lots) and Block(s):

REVIEWED BY: CRCMA
 APPROVED BY:
 Rey De Guzman

Peer Reviewed By:
Carl R. Corse, P.E.

Discipline:
SITE / ROAD

Date:
AUG 25, 2022

DPIE CONCEPT # 45700-2021-0

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 Rockville, MD 20850
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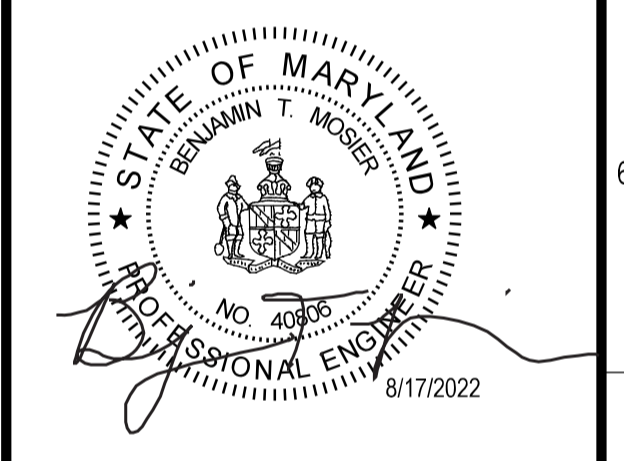
NO. REVISIONS BY DATE

MISS UTILITY NOTE
 INFORMATION CONCERNING EXISTING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS. THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF ALL EXISTING UTILITIES AND UTILITY CROSSINGS BY DIGGING TEST PITS BY HAND, WELL IN ADVANCE OF THE START OF EXCAVATION. CONTACT "MISS UTILITY" AT 1-800-251-7777, 48 HOURS PRIOR TO THE START OF EXCAVATION. IF CLEARANCES ARE LESS THAN SHOWN ON THIS PLAN OR TWELVE (12) INCHES, WHICHEVER IS LESS, CONTACT THE ENGINEER AND THE UTILITY COMPANY BEFORE PROCEEDING WITH CONSTRUCTION. CLEARANCES LESS THAN NOTED MAY REQUIRE REVISIONS TO THIS PLAN.

OWNER / DEVELOPER / APPLICANT

TIMBERLAKE HOMES
 304 HARRY S. TRUMAN PARKWAY
 SUITE M
 ANNAPOLIS, MD 21401
 PHONE # 443-837-3110
 FAX # 301-338-0885
 MR. GREG McANINCH

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
 LICENSE NO. 40806 EXPIRATION DATE: 08/23/2022

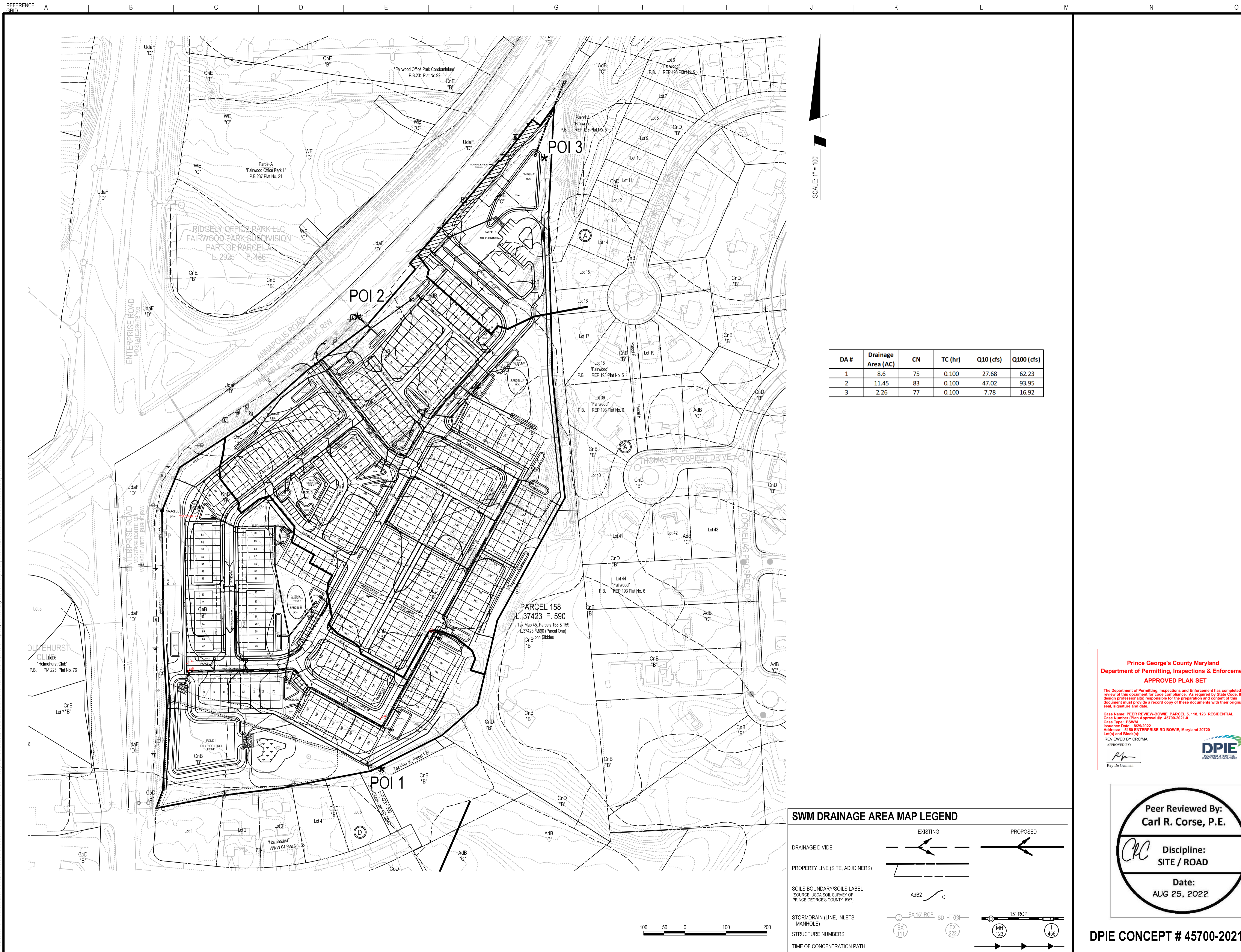


EXISTING DRAINAGE AREA MAP
SITE DEVELOPMENT CONCEPT PLAN
FAIRWOOD SQUARE
PARCELS 5, 118 & 123

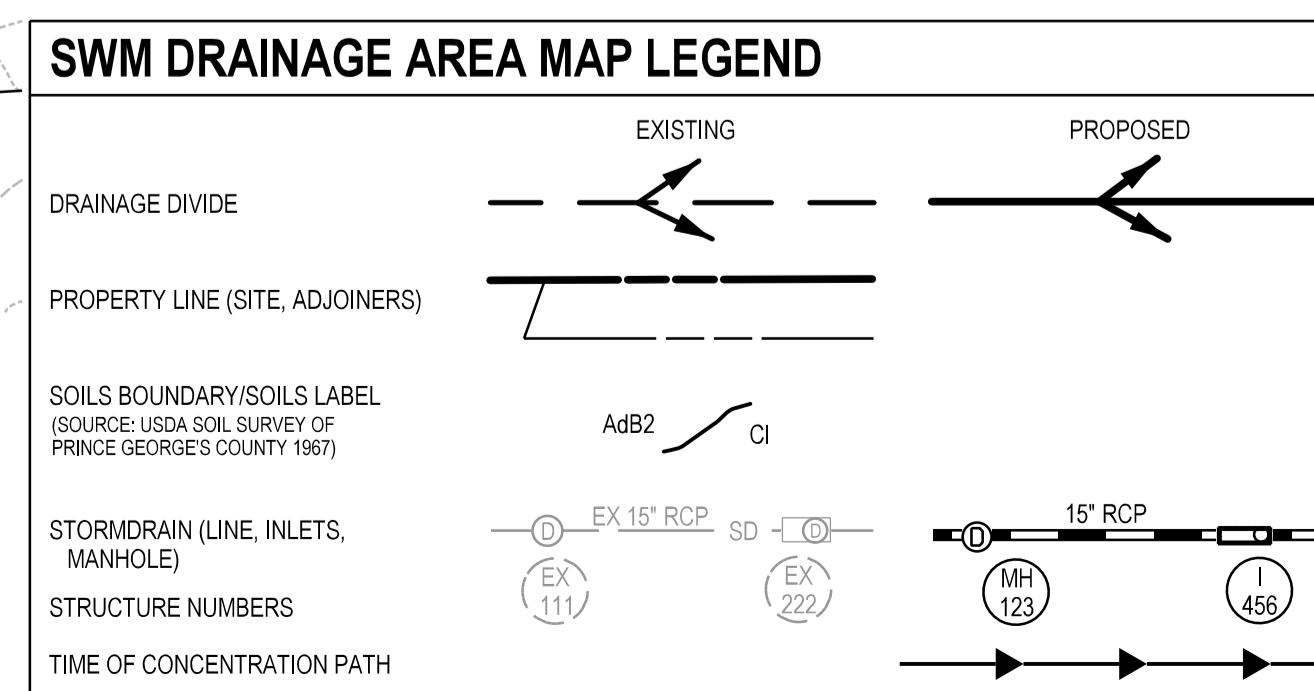
QUEEN ANNE (7th) ELECTION DISTRICT, PRINCE GEORGE'S COUNTY, MARYLAND

TAX MAP 45, F3	ZONING CATEGORY: RE
WSSC 200' SHEET 207NE11	
SITE DATA HORIZONTAL: MAD 83 VERTICAL: NGVD 29	
DATE: AUG. 2021 DESIGNED: CBM TECHNICIAN: ZAH CHECKED: THD CAD STD: V8 / NCS VERSION:	
SHEET 3 OF 11	
PROJECT NO. 3902-04-00	

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DA #	Drainage Area (AC)	CN	TC (hr)	Q10 (cfs)	Q100 (cfs)
1	8.6	75	0.100	27.68	62.23
2	11.45	83	0.100	47.02	93.95
3	2.26	77	0.100	7.78	16.92



Prince George's County Maryland
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Case Name: PEER REVIEW-BOWIE, PARCEL 5, 118, 123, RESIDENTIAL
 Case Number (Plan Approval #): 45700-2021-0
 Case Type: PSWM
 Issuance Date: 8/29/2022
 Address: 5158 ENTERPRISE RD BOWIE, Maryland 20720
 Lot(s) and Block(s):
 REVIEWED BY: CRCMA
 APPROVED BY:
 Rey De Gourman



Peer Reviewed By:
Carl R. Corse, P.E.

Discipline:
SITE / ROAD

Date:
AUG 25, 2022

DPIE CONCEPT # 45700-2021-0

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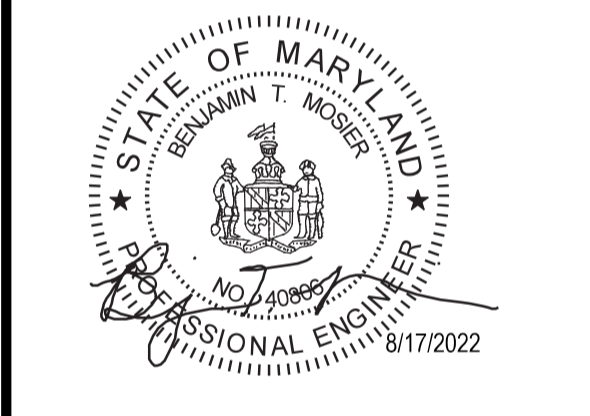
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OWNER / DEVELOPER / APPLICANT

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 MR. GREG McANNICH

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 LICENSE NO. 40806, EXPIRATION DATE: 08/17/2022

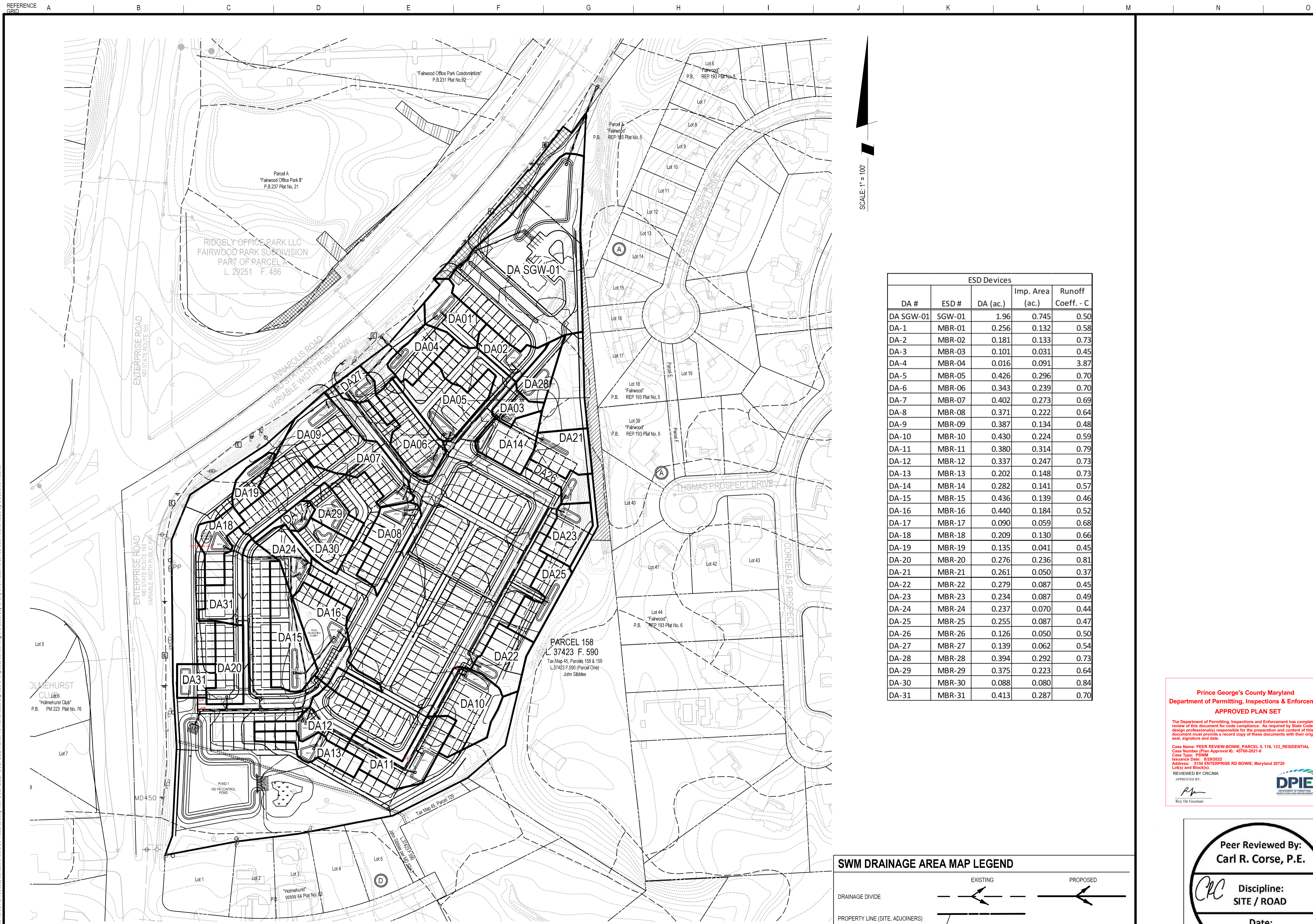


PROPOSED SWM DRAINAGE AREA MAP
SITE DEVELOPMENT CONCEPT PLAN
FAIRWOOD SQUARE
PARCELS 5, 118 & 123

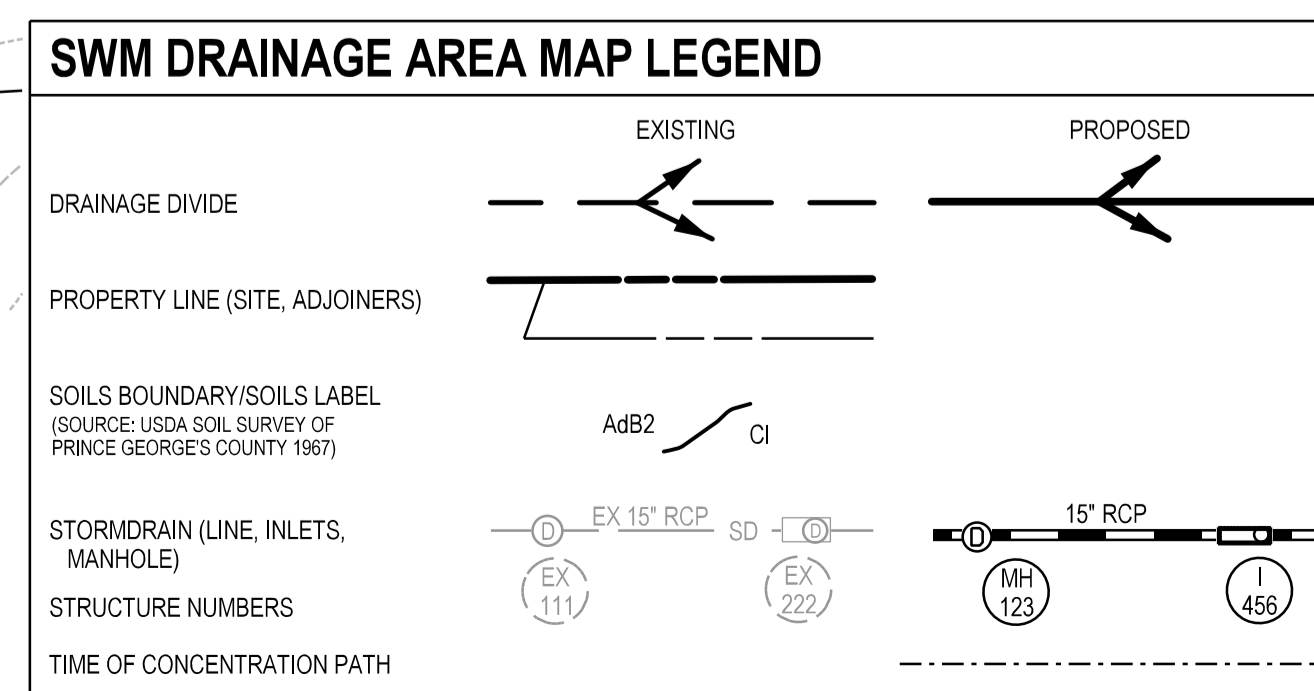
QUEEN ANNE (7th) ELECTION DISTRICT, PRINCE GEORGE'S COUNTY, MARYLAND

TAX MAP 45, F3	ZONING CATEGORY: RE
WSSC 200' SHEET 207NE11	
SITE DATA HORIZONTAL: NAD 83 VERTICAL: NGVD 29	
DATE: AUG. 2021 DESIGNED: CBM TECHNICIAN: ZAH CHECKED: THD CAD STD'S: V8 / NCS VERSION:	
SHEET 4 OF 11	
PROJECT NO. 3902-04-00	

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ESD Devices				
DA #	ESD #	DA (ac.)	Imp. Area (ac.)	Runoff Coeff. - C
DA SGW-01	SGW-01	1.96	0.745	0.50
DA-1	MBR-01	0.256	0.132	0.58
DA-2	MBR-02	0.181	0.133	0.73
DA-3	MBR-03	0.101	0.031	0.45
DA-4	MBR-04	0.016	0.091	3.87
DA-5	MBR-05	0.426	0.296	0.70
DA-6	MBR-06	0.343	0.239	0.70
DA-7	MBR-07	0.402	0.273	0.69
DA-8	MBR-08	0.371	0.222	0.64
DA-9	MBR-09	0.387	0.134	0.48
DA-10	MBR-10	0.430	0.224	0.59
DA-11	MBR-11	0.380	0.314	0.79
DA-12	MBR-12	0.337	0.247	0.73
DA-13	MBR-13	0.202	0.148	0.73
DA-14	MBR-14	0.282	0.141	0.57
DA-15	MBR-15	0.436	0.139	0.46
DA-16	MBR-16	0.440	0.184	0.52
DA-17	MBR-17	0.090	0.059	0.68
DA-18	MBR-18	0.209	0.130	0.66
DA-19	MBR-19	0.135	0.041	0.45
DA-20	MBR-20	0.276	0.236	0.81
DA-21	MBR-21	0.261	0.050	0.37
DA-22	MBR-22	0.279	0.087	0.45
DA-23	MBR-23	0.234	0.087	0.49
DA-24	MBR-24	0.237	0.070	0.44
DA-25	MBR-25	0.255	0.087	0.47
DA-26	MBR-26	0.126	0.050	0.50
DA-27	MBR-27	0.139	0.062	0.54
DA-28	MBR-28	0.394	0.292	0.73
DA-29	MBR-29	0.375	0.223	0.64
DA-30	MBR-30	0.088	0.080	0.84
DA-31	MBR-31	0.413	0.287	0.70



Prince George's County Maryland
 Department of Permitting, Inspections & Enforcement
APPROVED PLAN SET

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Case Name: PEER REVIEW-BOWIE, PARCELS 5, 118, 123, RESIDENTIAL
 Case Number (Plan Approval #): 45700-2021-0
 Case Type: P/DM
 Issuance Date: 8/29/2022
 Address: 5158 ENTERPRISE RD BOWIE, Maryland 20720
 Lot(s) and Block(s):
 REVIEWED BY: CRC/MA
 APPROVED BY: *Key De Guzman*

Peer Reviewed By:
Carl R. Corse, P.E.

Discipline:
SITE / ROAD
Date:
AUG 25, 2022

DPIE CONCEPT # 45700-2021-0

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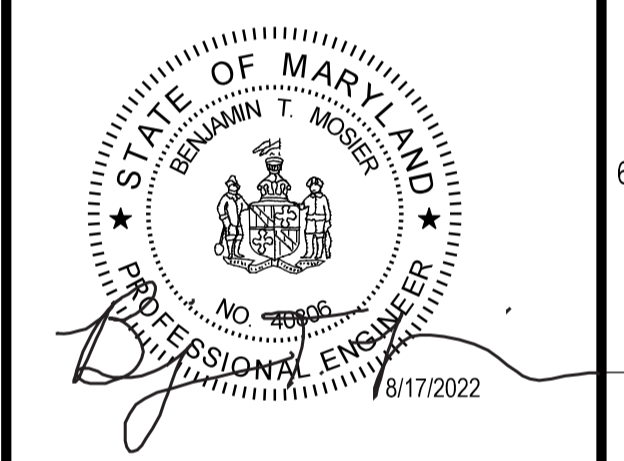
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NO.	REVISIONS	BY	DATE

MISS UTILITY NOTE
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OWNER / DEVELOPER / APPLICANT
 TIMBERLAKE HOMES
 304 HARRY S. TRUMAN PARKWAY
 SUITE M
 ANNAPOLIS, MD 21401
 PHONE # 443-837-3110
 FAX # 301-338-0885
 MR. GREG McANINCH

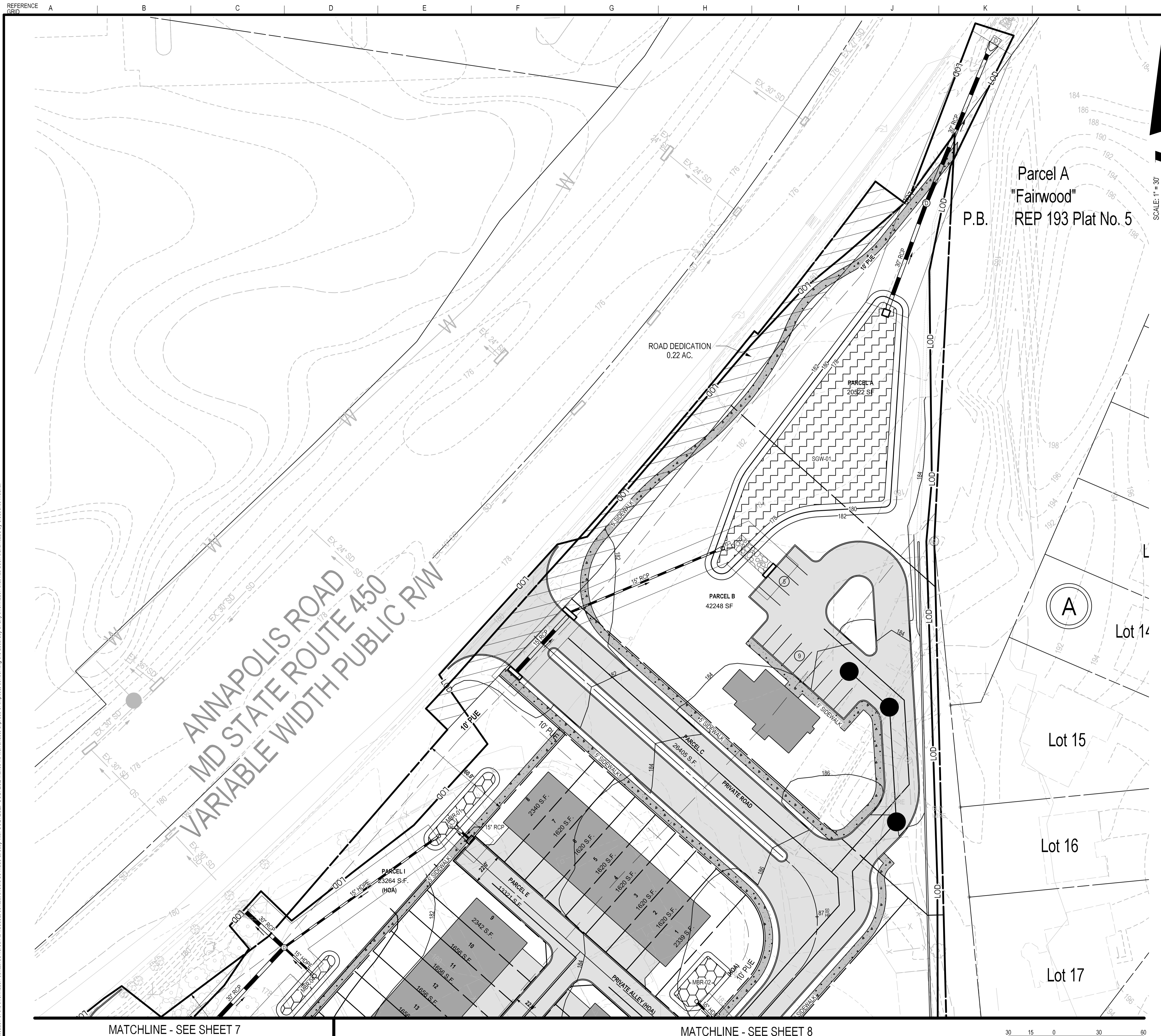
PROFESSIONAL CERTIFICATION
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 LICENSE NO. 48086, EXPIRATION DATE: 08/23/2022



PROPOSED ESD DRAINAGE AREA MAP
SITE DEVELOPMENT CONCEPT PLAN
FAIRWOOD SQUARE
PARCELS 5, 118 & 123
 QUEEN ANNE (7th) ELECTION DISTRICT, PRINCE GEORGE'S COUNTY, MARYLAND

TAX MAP 45, F3	ZONING CATEGORY: RE
WSSC 200' SHEET 207NE11	
SITE DATA: HORIZONTAL: NAD 83 VERTICAL: NGVD 29	
DATE: AUG. 2021	DESIGNED: CBM
TECHNICIAN: ZAH	CHECKED: THD
CAD STD. S: V8 / NCS	VERSION:
SHEET 5 OF 11	PROJECT NO. 3902-04-00

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SCALE: 1" = 30'

Parcel A
"Fairwood"
P.B. REP 193 Plat No. 5


ANNAPOLIS ROAD
MD STATE ROUTE 450
VARIABLE WIDTH PUBLIC RW

Prince George's County Maryland
Department of Permitting, Inspections & Enforcement
APPROVED PLAN SET

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Case Name: PEER REVIEW-BOWIE PARCEL 5, 118, 123, RESIDENTIAL
Case Number (Plan Approval #): 45700-2021-0
Case Type: PSWM
Issuance Date: 08/23/2022
Address: 5150 ENTERPRISE RD BOWIE, Maryland 20720
CREG and BOWIE
REVIEWED BY: CRCMA

APPROVED BY:
Ray DeGuzman
Ray DeGuzman



Peer Reviewed By:
Carl R. Corse, P.E.

CRC
Discipline:
SITE / ROAD

Date:
AUG 25, 2022

DPIE CONCEPT # 45700-2021-0

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NO.	REVISIONS	BY	DATE

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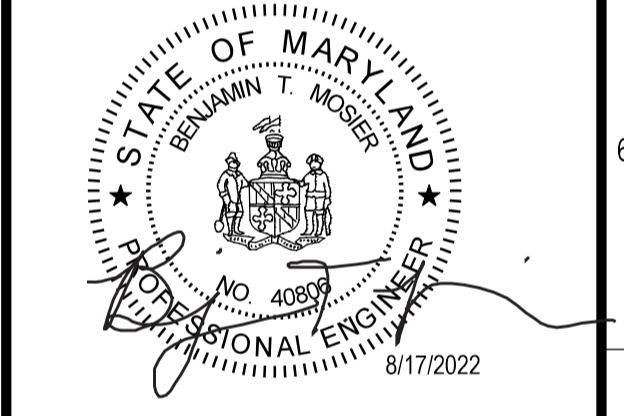
OWNER / DEVELOPER / APPLICANT

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LICENSE NO. 40806, EXPIRATION DATE: 08/23/2022



PLAN VIEW

SITE DEVELOPMENT CONCEPT PLAN

FAIRWOOD SQUARE

PARCELS 5, 118 & 123

QUEEN ANNE (7th) ELECTION DISTRICT, PRINCE GEORGE'S COUNTY, MARYLAND

TAX MAP 45, F3	ZONING CATEGORY: RE
WSSC 200' SHEET 207NE11	
SITE DATUM HORIZONTAL: NAD 83 VERTICAL: NGVD 29	
DATE: AUG. 2021 DESIGNED: CBM TECHNICIAN: ZAH CHECKED: THD CAD STD: V8 / NCS VERSION:	
SHEET 6 OF 11	
PROJECT NO. 3902-04-00	

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MATCHLINE - SEE SHEET 6

MATCHLINE - SEE SHEET 8

MATCHLINE - SEE SHEET 9

MATCHLINE - SEE SHEET 10

SCALE: 1" = 30'

Prince George's County Maryland
Department of Permitting, Inspections & Enforcement
APPROVED PLAN SET

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Case Name: PEER REVIEW-BOWIE PARCELS 5, 118, 123, RESIDENTIAL
Case Number (Plan Approval #): 45700-2021-0
Case Type: PSWM
Issuance Date: 8/23/2022
Address: 1150 ENTERPRISE RD BOWIE, Maryland 20720
Lot(s) and Block(s):

REVIEWED BY: CRCMA
APPROVED BY: *Rory De Grootman*

Peer Reviewed By:
Carl R. Corse, P.E.

CRC Discipline:
SITE / ROAD

Date:
AUG 25, 2022

DPIE CONCEPT # 45700-2021-0

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LICENSE NO. 48086, EXPIRATION DATE: 08/23/2022



PLAN VIEW
SITE DEVELOPMENT CONCEPT PLAN
FAIRWOOD SQUARE
PARCELS 5, 118 & 123
QUEEN ANNE (7th) ELECTION DISTRICT, PRINCE GEORGE'S COUNTY, MARYLAND

TAX MAP 45, F3	ZONING CATEGORY: RE
WSSC 200' SHEET 207NE11	
SITE DATA HORIZONTAL: NAD 83 VERTICAL: NGVD 29	
DATE: AUG 2021 DESIGNED: CBM TECHNICIAN: ZAH CHECKED: THD CAD STD'S: V8 / NCS VERSION:	
SHEET 7 OF 11	
PROJECT NO. 3902-04-00	

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SCALE: 1" = 30'

Lot 18
"Fairwood"
P.B. REP 193 Plat No

Lot 39
"Fairwood"
P.B. REP 193 Plat No

Lot 40

MATCHLINE - SEE SHEET 7

MATCHLINE - SEE SHEET 6

MATCHLINE - SEE SHEET 10

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NO.	REVISIONS	BY	DATE

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PHONE # 443-837-3110
FAX # 301-338-0888
MR. GREG McANNICH


PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NO. 40806, EXPIRATION DATE: 06/23/2022



Prince George's County Maryland
Department of Permitting, Inspections & Enforcement
APPROVED PLAN SET

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Case Name: PEER REVIEW-BOWIE, PARCEL 5, 118, 123, RESIDENTIAL
Case Number (Plan Approval #): 45700-2021-0
Case Type: PSW/1
Issuance Date: 8/29/2022
Address: 5156 ENTERPRISE RD BOWIE, Maryland 20720
Lot(s) and Block(s):
REVIEWED BY: CRIC/MA
APPROVED BY:
Rey De Guzman



Peer Reviewed By:
Carl R. Corse, P.E.

CRC Discipline:
SITE / ROAD

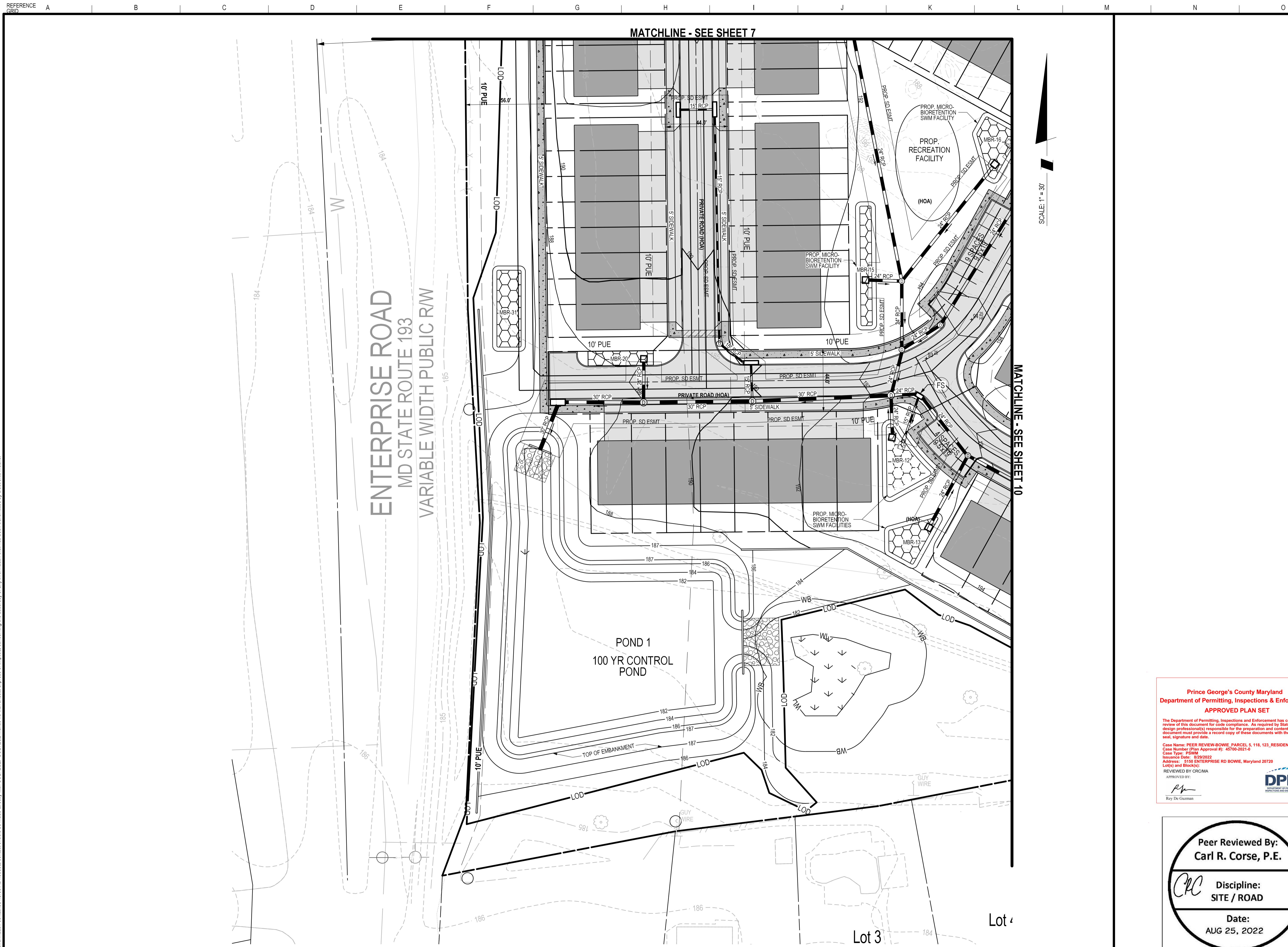
Date:
AUG 25, 2022



PLAN VIEW
SITE DEVELOPMENT CONCEPT PLAN
FAIRWOOD SQUARE
PARCELS 5, 118 & 123
QUEENIE ANNE (7th) ELECTION DISTRICT, PRINCE GEORGE'S COUNTY, MARYLAND

TAX MAP 45, F3	ZONING CATEGORY: RE
WSSC 200' SHEET 207NE11	
SITE DATUM HORIZONTAL: MAD 83 VERTICAL: NGVD 29	
1" = 30'	DATE: AUG 2021 TECHNICIAN: CBM CHECKED: ZAH CAD STD'S: THD VERSION: V8 / NCS
SHEET 8 OF 11	PROJECT NO. 3902-04-00

DPIE CONCEPT # 45700-2021-0



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 Case Number (Plan Approval #): 45700-2021-0
 Case Type: PSWM
 Issuance Date: 8/29/2022
 Address: 5150 ENTERPRISE RD BOWIE, Maryland 20720
 (Lot(s) and Block(s))

REVIEWED BY: CR/CMA
 APPROVED BY:

 Rey De Guzman

Peer Reviewed By:
Carl R. Corse, P.E.

Discipline:
SITE / ROAD

Date:
AUG 25, 2022

DPIE CONCEPT # 45700-2021-0

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NO. REVISIONS BY DATE

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OWNER / DEVELOPER / APPLICANT
 TIMBERLAKE HOMES
 304 HARRY S. TRUMAN PARKWAY
 SUITE M
 ANNAPOLIS, MD 21401
 PHONE # 443-837-3110
 FAX # 301-338-0885
 MR. GREG McANINCH

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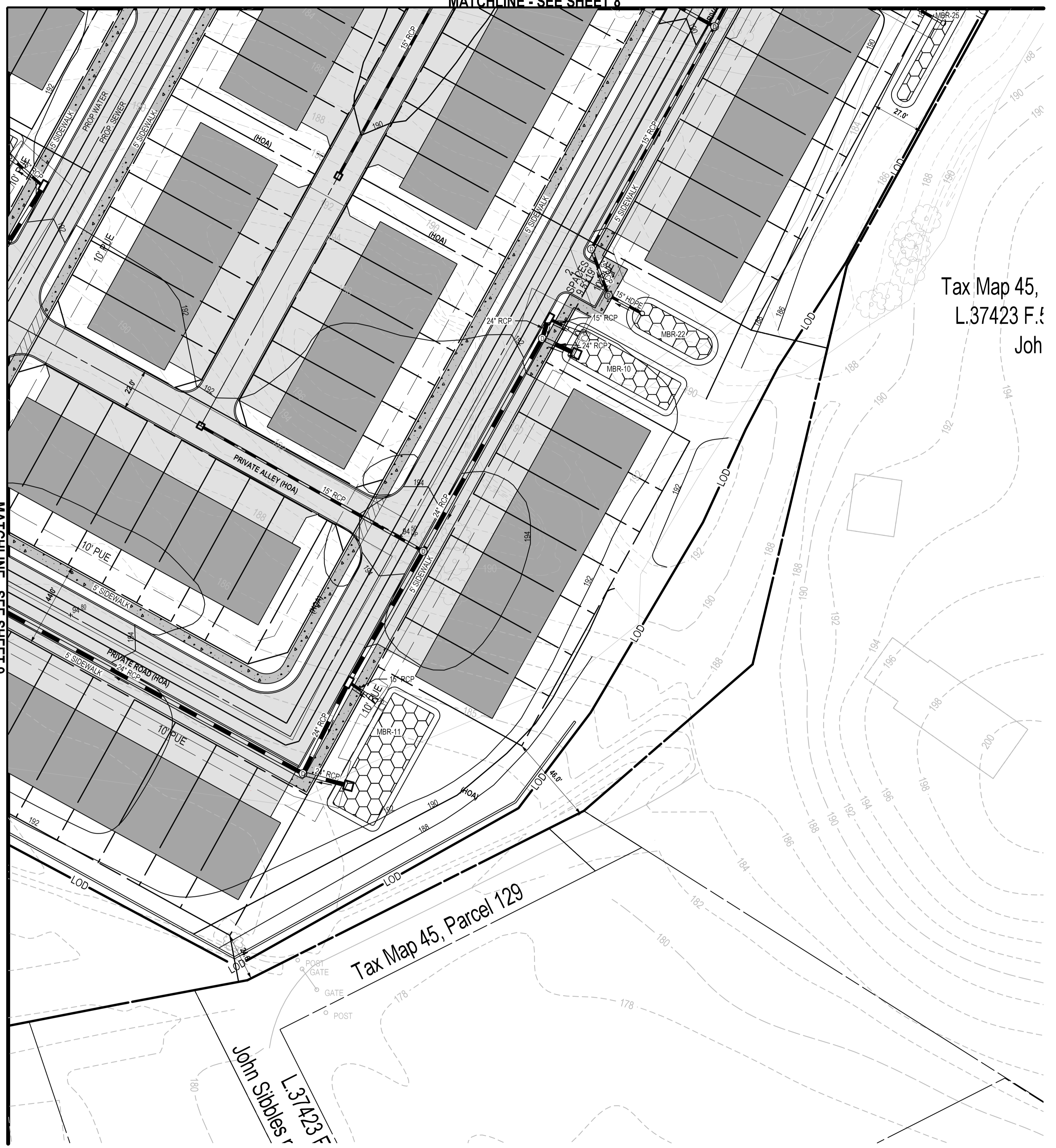


PLAN VIEW
SITE DEVELOPMENT CONCEPT PLAN
FAIRWOOD SQUARE
PARCELS 5, 118 & 123

QUEEN ANNE (7th) ELECTION DISTRICT, PRINCE GEORGE'S COUNTY, MARYLAND

TAX MAP 45, F3	ZONING CATEGORY: RE
WSSC 200' SHEET 207NE11	
SITE DATA HORIZONTAL: 1440.83 VERTICAL: NGVD 29	DATE: AUG 2021 DESIGNED: CBM TECHNICIAN: ZAH CHECKED: THD CAD STD'S: V8/NCS VERSION:
SHEET 9 OF 11	PROJECT NO. 3902-04-00

MATCHLINE - SEE SHEET 8



SCALE: 1" = 30'

Tax Map 45,
L.37423 F
John Sibbles

MATCHLINE - SEE SHEET 9

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 Case Number: (Plan Approval #): 45700-2021-0
 Case Type: P/R/W
 Issuance Date: 8/29/2022
 Address: 8158 ENTERPRISE RD BOWIE, Maryland 20720
 Lot(s) and Block(s):
 REVIEWED BY: CRCMA
 APPROVED BY:
 Rey De Guzman



Peer Reviewed By:
Carl R. Corse, P.E.
 Discipline:
SITE / ROAD
 Date:
AUG 25, 2022

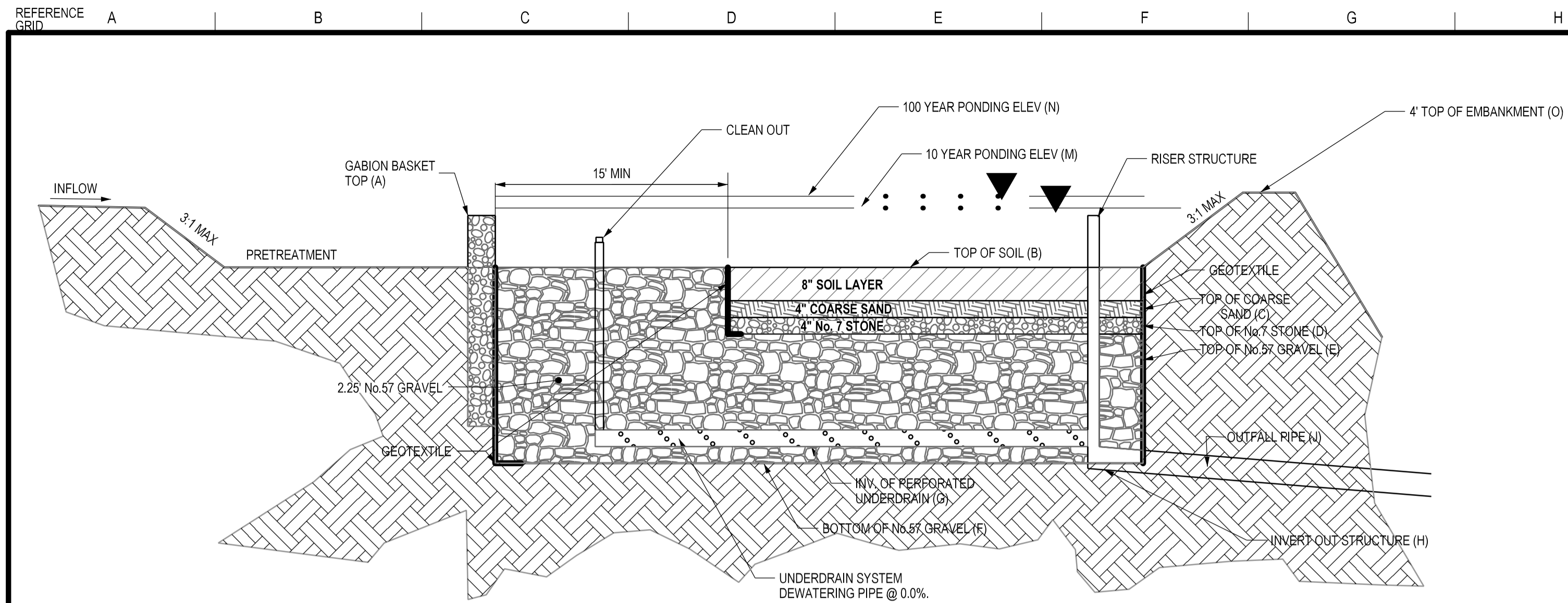
PLAN VIEW
**SITE DEVELOPMENT CONCEPT PLAN
 FAIRWOOD SQUARE
 PARCELS 5, 118 & 123**

TAX MAP 45, F3	ZONING CATEGORY: RE
WSSC 200' SHEET 207NE11	
SITE DATUM HORIZONTAL: NAD 83 VERTICAL: NGVD 29	
DATE: AUG 2021 DESIGNED: CBM TECHNICIAN: ZAH CHECKED: THD CAD STD'S: V8 / NCS VERSION:	

DPIE CONCEPT # 45700-2021-0

PROJECT NO.
3902-04-00



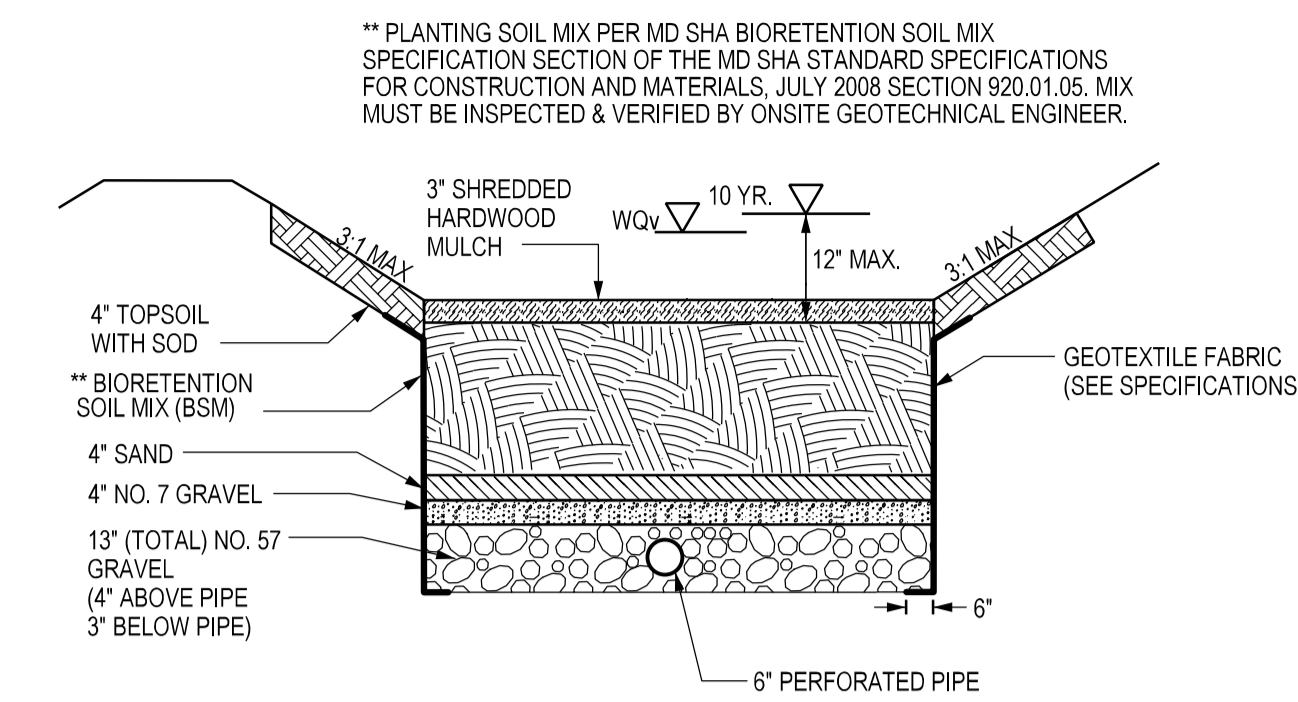


TYPICAL SUBMERGED GRAVEL WETLAND CROSS SECTION NTS

SUBMERGED GRAVEL WETLAND SECTION CHART

SUBMERGED GRAVEL ID	GABION BASKET TOP (A)	TOP OF BIO-SOIL (B)	TOP OF COURSE SAND (C)	TOP OF No. 7 STONE (D)	TOP OF No. 57 GRAVEL (E)	BOTTOM OF No. 57 GRAVEL (F)	INV. OF PERF. UNDERDRAIN (G)	10-YR WEIR ELEV. (H)	10-YR WSEL (I)	100-YR WEIR ELEV. (J)	100-YR WSEL (K)	TOP OF EMBANKMENT (L)
SGW-01	181.00	180.00	179.33	179.00	178.67	178.00	178.25	-	-	-	-	182.00

*10-YR AND 100-YR WSEL TO BE CALCULATED AT TIME OF TECHNICAL REVIEW

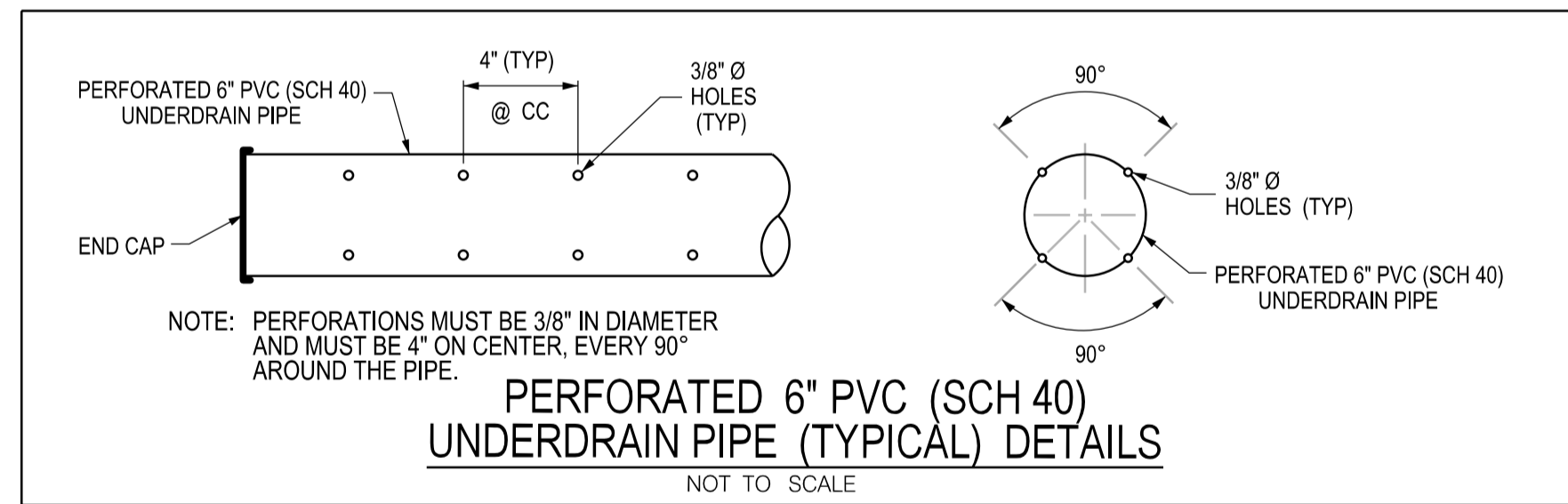
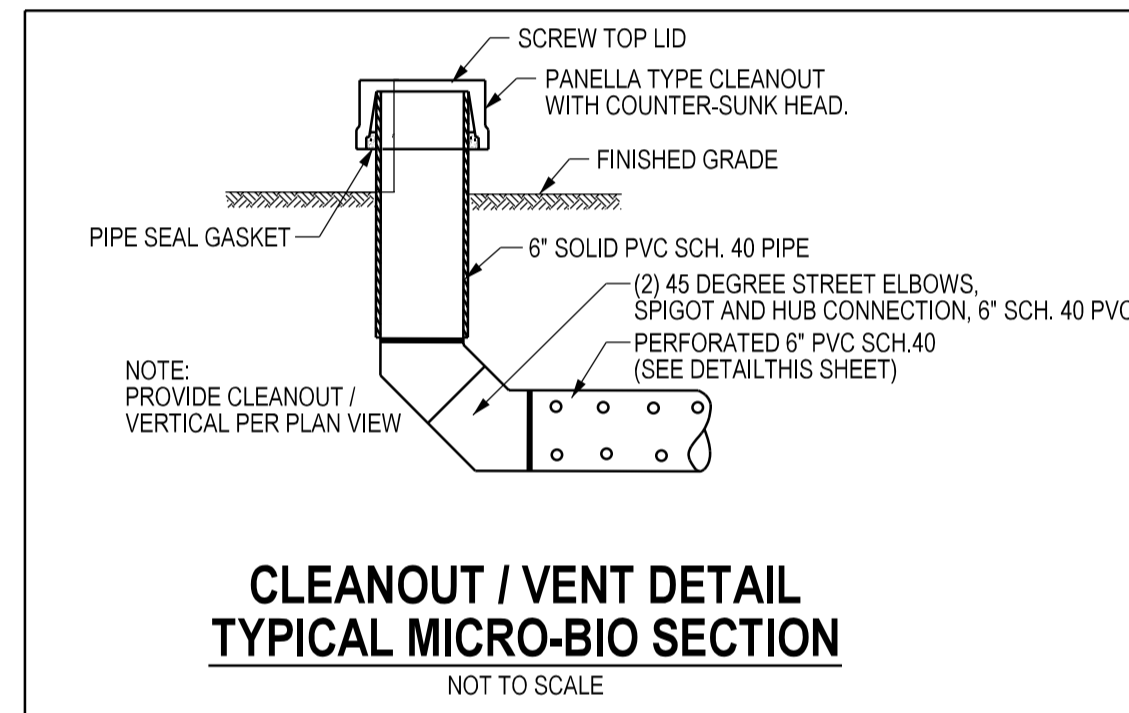


MICROBIORETENTION CROSS SECTION NTS

MICROBIORETENTION CROSS-SECTION

DEVICE NUMBER	BOTTOM OF ESD FACILITY (A)	UNDERDRAIN INVERT (B)	BOTTOM OF PEA GRAVEL (C)	BOTTOM OF SAND (D)	BOTTOM OF BSM (E)	TOP OF BSM (F)	WQV/WEIR ELEV. (G)	10-YR WSEL (H)	TOP OF EMBANKMENT (J)
MBR-01	175.34	175.59	176.34	176.67	177.00	181.00	181.75	*	182.00
MBR-02	179.34	179.59	180.34	180.67	181.00	185.00	185.75	*	186.00
MBR-03	179.34	179.59	180.34	180.67	181.00	183.00	183.75	*	184.00
MBR-04	174.34	174.59	175.34	175.67	176.00	180.00	180.83	*	181.00
MBR-05	174.34	174.59	175.34	175.67	176.00	180.00	180.83	*	181.00
MBR-06	177.84	178.09	178.84	179.17	179.50	183.00	183.75	*	184.00
MBR-07	179.34	179.59	180.34	180.67	181.00	185.00	185.83	*	186.00
MBR-08	181.34	181.59	182.34	182.67	183.00	187.00	187.75	*	188.00
MBR-09	176.34	176.59	177.34	177.67	178.00	182.00	182.75	*	183.00
MBR-10	186.34	186.59	187.34	187.67	188.00	191.00	191.83	*	192.00
MBR-11	187.34	187.59	188.34	188.67	189.00	191.00	191.75	*	192.00
MBR-12	186.84	187.09	187.84	188.17	188.50	191.00	191.83	*	192.00
MBR-13	186.34	186.59	187.34	187.67	188.00	191.00	191.75	*	192.00
MBR-14	176.34	176.59	177.34	177.67	178.00	182.00	182.83	*	183.00
MBR-15	186.34	186.59	187.34	187.67	188.00	191.00	191.75	*	192.00
MBR-16	185.34	185.59	186.34	186.67	187.00	191.00	191.75	*	192.00
MBR-17	186.34	186.59	187.34	187.67	188.00	190.00	190.75	*	191.00
MBR-18	187.34	187.59	188.34	188.67	189.00	191.00	191.75	*	192.00
MBR-19	182.34	182.59	183.34	183.67	184.00	186.00	186.75	*	187.00
MBR-20	181.34	181.59	182.34	182.67	183.00	187.00	187.75	*	188.00
MBR-21	179.34	179.59	180.34	180.67	181.00	184.00	184.75	*	185.00
MBR-22	186.34	186.59	187.34	187.67	188.00	190.00	190.75	*	191.00
MBR-23	182.34	182.59	183.34	183.67	184.00	186.00	186.75	*	187.00
MBR-24	186.34	186.59	187.34	187.67	188.00	190.00	190.83	*	191.00
MBR-25	180.34	180.59	181.34	181.67	182.00	184.00	184.75	*	185.00
MBR-26	182.34	182.59	183.34	183.67	184.00	186.00	186.75	*	187.00
MBR-27	176.34	176.59	177.34	177.67	178.00	180.00	180.75	*	181.00
MBR-28	181.34	181.59	182.34	182.67	183.00	185.00	185.75	*	186.00
MBR-29	184.84	185.09	185.84	186.17	186.50	188.50	189.25	*	189.50
MBR-30	185.34	185.59	186.34	186.67	187.00	189.00	189.75	*	190.00
MBR-31	179.34	179.59	180.34	180.67	181.00	183.00	183.75	*	184.00

*10-YR WSEL TO BE CALCULATED AT TIME OF TECHNICAL REVIEW



SOIL BORING SUMMARY

Soil Boring Number	Ex. Ground Elevation	Groundwater Elevation	SWM Facility No. Boring can be Associated with
SB-1	182.3	173.0	SGW-01
SB-2	189.9	SB Not Taken	
SB-3	183.9	175.9	
SB-4	180.2	173.2	MBR-01, MBR-04
SB-5	184.9	178.7	
SB-6	178.1	172.6	MBR-09, MBR-27
SB-7	177.5	170.4	MBR-03, MBR-05, MBR-14
SB-8	177.7	173.8	MBR-06, MBR-07, MBR-08
SB-9	188.4	174.4	MBR-19
SB-10	184.1	174.9	MBR-17
SB-11	185.5	Dry	MBR-23, MBR-26
SB-12	184.6	Dry	MBR-18
SB-13	187.9	Dry	
SB-14	182.3	178.2	MBR-24
SB-15	180.0	176.0	MBR-15, MBR-16
SB-16	177.9	174.4	MBR-10, MBR-22
SB-17	188.2	Dry	
SB-18	188.1	Dry	
SB-19	189.8	Dry	
SB-20	183.9	176.2	MBR-12
SB-21	183	174.0	MBR-11
SB-22	180.9	175.9	MBR-13
SB-23	186.4	179.6	
SB-24	182.6	175.7	MBR-02
SB-25	178.8	170.1	MBR-21
SB-26	183.2	177.2	MBR-20, POND 1

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 APPROVED BY: Roy De Guzman

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ESD DETAILS

SITE DEVELOPMENT CONCEPT PLAN

FAIRWOOD SQUARE

PARCELS 5, 118 & 123

QUEEN ANNE (7th) ELECTION DISTRICT, PRINCE GEORGE'S COUNTY, MARYLAND

TAX MAP 45, F3	ZONING CATEGORY: RE
WSSC 200' SHEET 207NE11	
SITE DATUM HORIZONTAL: MAD 83 VERTICAL: NGVD 29	
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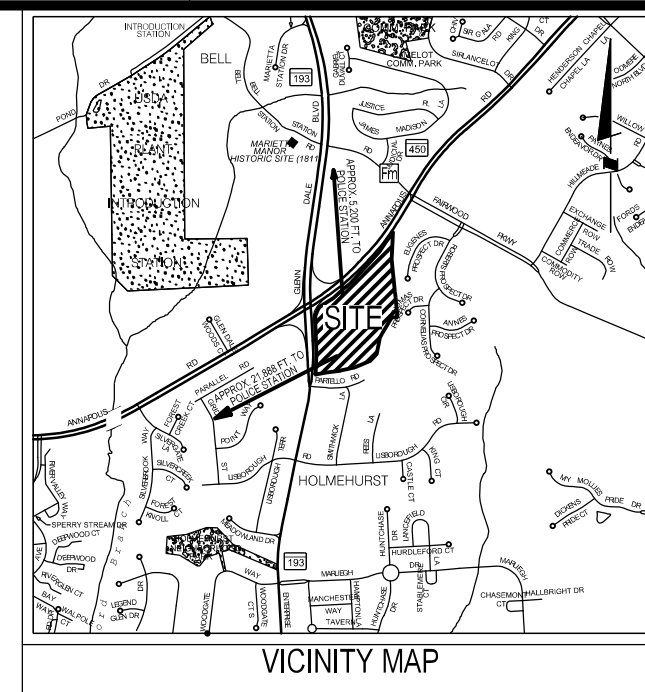
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TREE CONSERVATION PLAN FAIRWOOD SQUARE

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SHEET INDEX
SHEET 1: COVER SHEET
SHEET 2: DETAILS & SCHEDULES
SHEET 3-6: PLAN VIEW

Standard Woodland Conservation Worksheet for Prince George's County

SECTION I - Establishing Site Information (Enter acres for each zone)

1 Zone:	M, S, T
2 Gross Tract:	22.20
3 Floodplain:	0.00
4 Previously Dedicated Land:	0.00
5 Net Tract (1a):	22.20

7 Property Description or Subdivision Name: FARWOOD SQUARE
8 Is this site subject to the 1989 or 1991 Ordinance: N
9 Is this site subject to the 1991 Ordinance: Y
10 Subject to 2010 Ordinance and in PFA (Priority Funding Area): N
11 Is this one (1) single family lot? (Y or N): N
12 Are there prior TCF approvals which include a: N
13 combination of this lots? (Y or N): N
14 Is any portion of the property in a WC Bank? (Y or N): N
15 Break-even Point (preservation) = 3.34 acres
16 Clearing permitted w/o reforestation = 1.50 acres

SECTION II - Determining Requirements (Enter acres for each corresponding column)

Column A	Column B	Column C	Column D	Off-Site Impacts (1:1)
WCT(AFT) %	Net Tract	Floodplain (1:1)		
17 Existing Woodland:	1.84	0.00		
18 Woodland Conservation Threshold (WCT) =	15.00%	1.84	0.00	
19 Smaller of 17 or 18:		1.84		
20 Woodland above WCT:	0.00			
21 Woodland cleared:	1.38	0.00	0.00	
22 Woodland cleared above WCT (smaller of 16 or 17):	0.00			
23 Clearing above WCT (0.25 - 1) replacement requirement:	0.00			
24 Woodland cleared below WCT:	1.38			
25 Clearing below WCT (2.1 replacement requirement):	2.78			
26 Reforestation Required Threshold (AFT) =	15.00%	1.50		
27 Off-site WCA being provided on this property:	0.00			
28 Woodland Conservation Required:	6.12			

SECTION III - Meeting the Requirements (Enter acres for each corresponding column)

29 Woodland Preservation:	0.45
30 Reforestation / Reforestation:	0.00
31 Natural Regeneration:	0.00
32 Landscape Credits:	0.00
33 Specimen/Historic Tree Credit (CRZ area * 2.0):	0.00
34 Forest Enhancement Credit (Area * 25):	0.00
35 Street Tree Credit (Existing or 10-year canopy coverage):	0.00
36 Area approved for fee-in-lieu:	0.00
37 Off-site Woodland Conservation Credits Required:	5.67
38 Off-site WCA (preservation) being provided on this property:	0.00
39 Off-site WCA (reforestation) being provided on this property:	0.00
40 Woodland Conservation Provided:	6.12

41 Area of woodland not cleared: 0.45 acres
42 Net tract woodland retained not part of requirements: 0.00 acres
43 100' floodplain woodland retained: 0.00 acres
44 On-site woodland conservation provided: 0.45 acres
45 On-site woodland conservation alternatives provided: 0.00 acres
46 On-site woodland retained not credited: 0.00 acres

47 Prepared by: David Bickel 3210 Date: 12/30/2022

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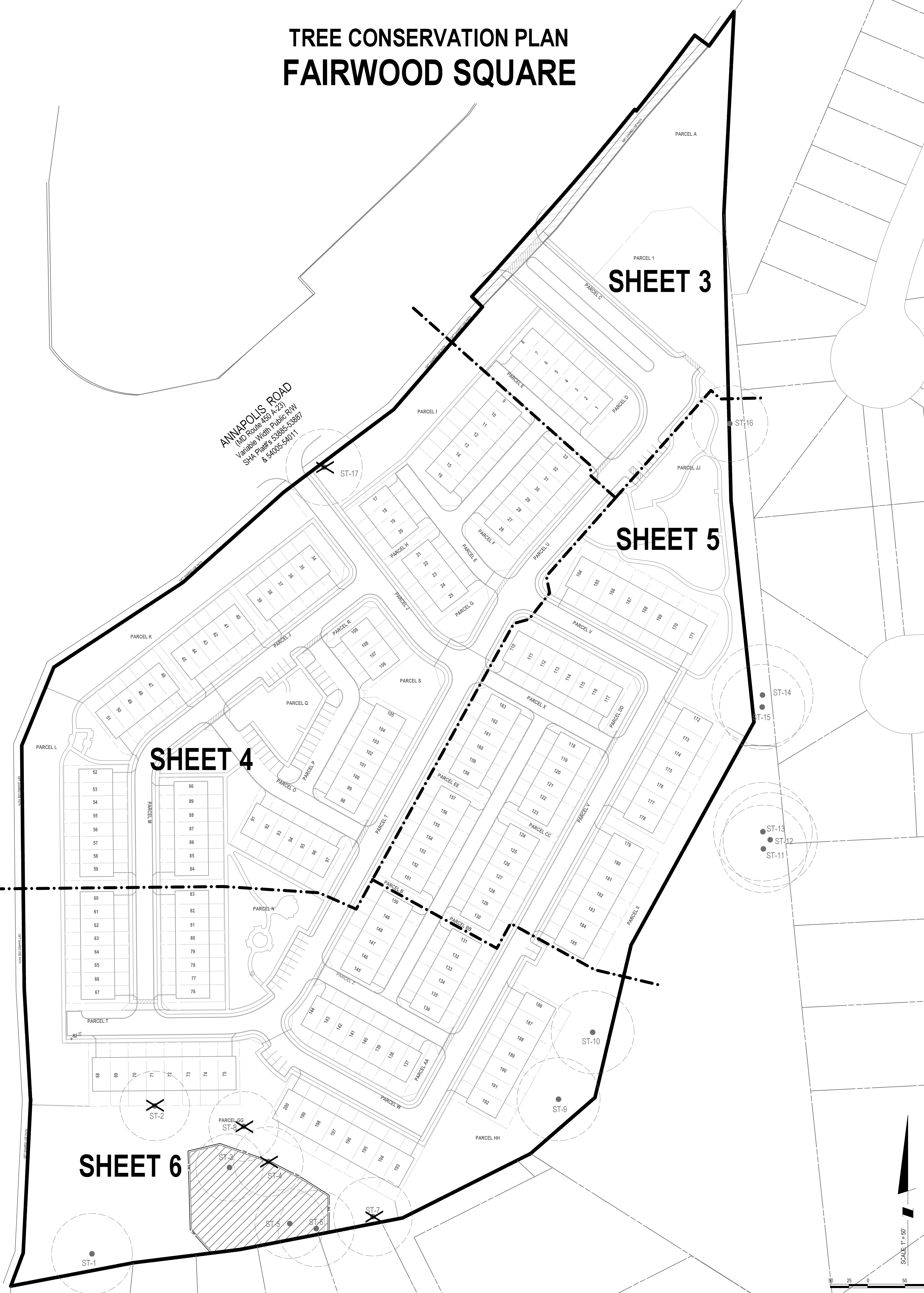
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12205 ANNAPOLIS ROAD
BOWIE, MD 20720



ENTERPRISE ROAD
(MD Route 193 A, 27)
Variable Width Public R/W
SHA Plans: 53873-46723,
53887 & 54006

ANNAPOLIS ROAD
(MD Route 193 A, 23)
Variable Width Public R/W
SHA Plans: 53885-53887
& 54005-54011



LEGEND

- SITE BOUNDARY
- PROPOSED LOT LINE
- PROPOSED RIGHT-OF-WAY LINE
- ADJACENT PROPERTY LINE
- ROAD CENTERLINE
- EASEMENT
- EXISTING 10' CONTOUR
- EXISTING 2' CONTOUR
- WETLAND
- 25' WETLAND BUFFER
- PROPOSED STORM DRAIN
- PROPOSED WATER
- PROPOSED SEWER
- SHRUBS & NON-WOODLAND VEGETATION
- EXISTING WOODLANDS
- SPECIMEN TREE
- SPECIMEN TREE REMOVED
- WOODLAND PRESERVATION AREA
- TPF TREE PROTECTION FENCE (TEMPORARY)
- STEEP SLOPES

PRESERVATION AREAS

AREA A	0.45 AC
TOTAL	0.45 AC

NRI STATISTICS TABLE

AREA	ACRES	ST-1	ST-2	ST-3	ST-4	ST-5	ST-6	ST-7	ST-8	ST-9	ST-10	ST-11	ST-12	ST-13	ST-14	ST-15	ST-16	ST-17	
GROSS TRACT AREA	22.20																		
EXISTING 100-YEAR FLOODPLAIN	0.00																		
NET TRACT AREA	22.20																		
EXISTING WOODLAND IN THE FLOODPLAIN	1.84																		
EXISTING WOODLAND NET TRACT	1.84																		
EXISTING WOODLAND TOTAL	1.84																		
EXISTING PWA	0.00																		
REGULATED STREAMS (F OF CENTERLINE)	0.00																		
RPB/BNP WOODDED BUFFER (UP TO 300 FEET WIDE)	0.00																		

GENERAL INFORMATION TABLE

LAYER CATEGORY	LAYER NAME	VALUE
Zone	Living Zone	RE
Zone	Arboreal Policy Area (APA)	NA
Administrative	TCR Dist (TR)	207NE11
Administrative	WSSC Dist (Sheet 200)	207NE11
Administrative	Priority Habitat Zone (PHZ)	NA
Administrative	Planning Area (Plan Area)	71A
Administrative	Electrical District (ED)	02
Administrative	Countywide District (CD)	03
Administrative	General District (Gen Dist)	04
Administrative	100' Floodplain Zone (100'FP)	05
Administrative	100' Floodplain Zone (100'FP)	06
Administrative	100' Floodplain Zone (100'FP)	07
Administrative	100' Floodplain Zone (100'FP)	08
Administrative	100' Floodplain Zone (100'FP)	09
Administrative	100' Floodplain Zone (100'FP)	10
Administrative	100' Floodplain Zone (100'FP)	11
Administrative	100' Floodplain Zone (100'FP)	12
Administrative	100' Floodplain Zone (100'FP)	13
Administrative	100' Floodplain Zone (100'FP)	14
Administrative	100' Floodplain Zone (100'FP)	15
Administrative	100' Floodplain Zone (100'FP)	16
Administrative	100' Floodplain Zone (100'FP)	17
Administrative	100' Floodplain Zone (100'FP)	18
Administrative	100' Floodplain Zone (100'FP)	19
Administrative	100' Floodplain Zone (100'FP)	20

PLAN VIEW
TYPE 2 TREE CONSERVATION PLAN-DSP-22028
FAIRWOOD SQUARE
ENTERPRISE & ANNAPOLIS ROAD
QUEEN ANNE (7th) ELECTION DISTRICT, PRINCE GEORGE'S COUNTY, MARYLAND

TAX MAP	45, F3	CURRENT ZONING CATEGORY	RE
WSSC SHEET	207NE11	PREVIOUS ZONING CATEGORY	RE
SITE BATHY	NA	DESIGNED:	D/B
HORIZONTAL: 1/4" = 80'		CHECKED:	D/B
VERTICAL: 1/8" = 20'		CAD STYL:	V8 / NCS
DATE:	12/30/2022	PROJECT NO.:	3902-04-00
DATE:	12/30/2022		
DATE:	12/30/2022		
DATE:	12/30/2022		

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 www.solteszco.com

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NO. REVISIONS BY DATE

MISS UTILITY NOTE
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APPLICANT
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 BOWIE, MD 20720



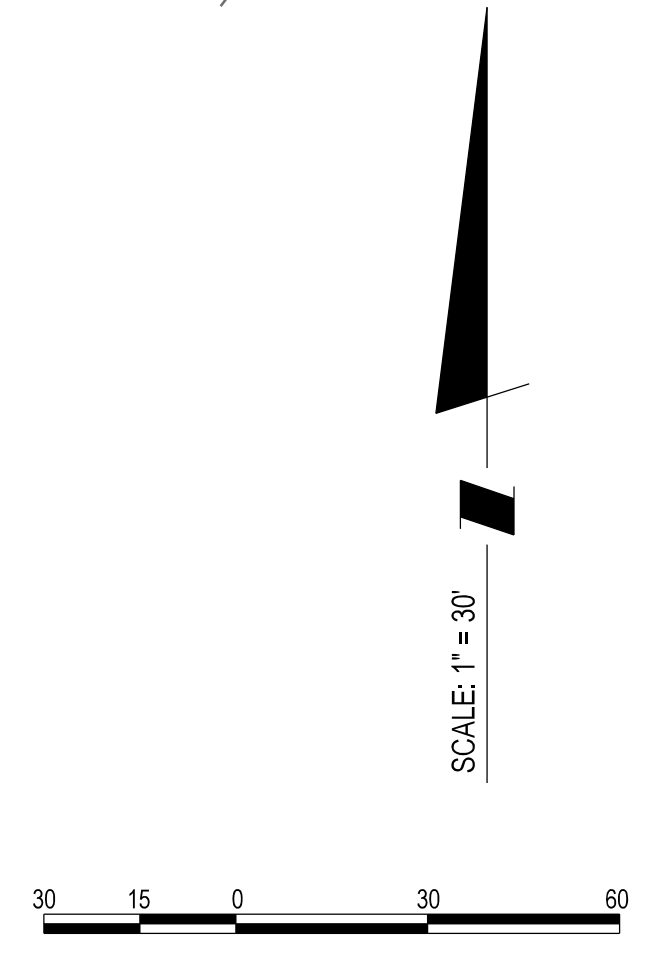
12/30/2022

PLAN VIEW
TYPE 2 TREE CONSERVATION PLAN-DSP-22028
FAIRWOOD SQUARE
ENTERPRISE & ANNAPOLIS ROAD
 QUEEN ANNE (7th) ELECTION DISTRICT, PRINCE GEORGES COUNTY, MARYLAND



LEGEND

	SITE BOUNDARY
	PROPOSED LOT LINE
	PROPOSED RIGHT-OF-WAY LINE
	ADJACENT PROPERTY LINE
	ROAD CENTERLINE
	EASEMENT
	EXISTING 10' CONTOUR
	EXISTING 2' CONTOUR
	WETLAND
	25' WETLAND BUFFER
	PROPOSED STORM DRAIN
	PROPOSED WATER
	PROPOSED SEWER
	SHRUBS & NON-WOODLAND VEGETATION
	EXISTING WOODLANDS
	SPECIMEN TREE
	SPECIMEN TREE REMOVED
	WOODLAND PRESERVATION AREA
	TREE PROTECTION FENCE (TEMPORARY)
	STEEP SLOPES



TAX MAP 45, F3	CURRENT ZONING CATEGORY RE
WSHC 200 SHEET 207NE11	PREVIOUS ZONING CATEGORY RE
SITE DATUM HORIZONTAL: NAD 83 VERTICAL: NGVD 29	DATE: 12/30/2022
DESIGNED BY: DUB CHECKED BY: DUB CAD STYL: DUB VERSION: V8 / NCS	
SHEET 3 OF 6	
PROJECT NO. 3902-04-00	

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12/30/2022

PLAN VIEW
TYPE 2 TREE CONSERVATION PLAN-DSP-22028
FAIRWOOD SQUARE
ENTERPRISE & ANNAPOLIS ROAD
 QUEEN ANNE (7th) ELECTION DISTRICT, PRINCE GEORGES COUNTY, MARYLAND

TAX MAP 45, F3	CURRENT ZONING CATEGORY RE
-------------------	-------------------------------

WS&C SHEET 207NE11	PREVIOUS ZONING CATEGORY RE
-----------------------	--------------------------------

SITE DATUM HORIZONTAL: NAD 83 VERTICAL: NAVD 28	DATE: 12/30/2022
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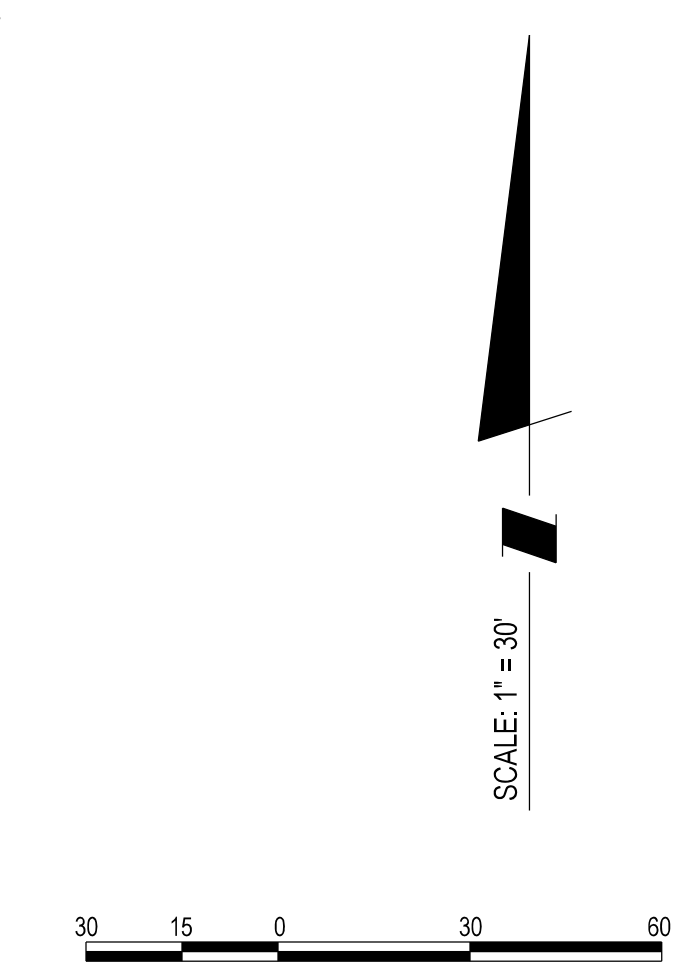
DESIGNED: DUB	CHECKED: DUB
DATE: 12/30/2022	SCALE: 1" = 30'
SHEET 4	CAD STDS. V8/NCS
OF 6	VERSION:

PROJECT NO. 3902-04-00	PROJECT NO. 3902-04-00
---------------------------	---------------------------

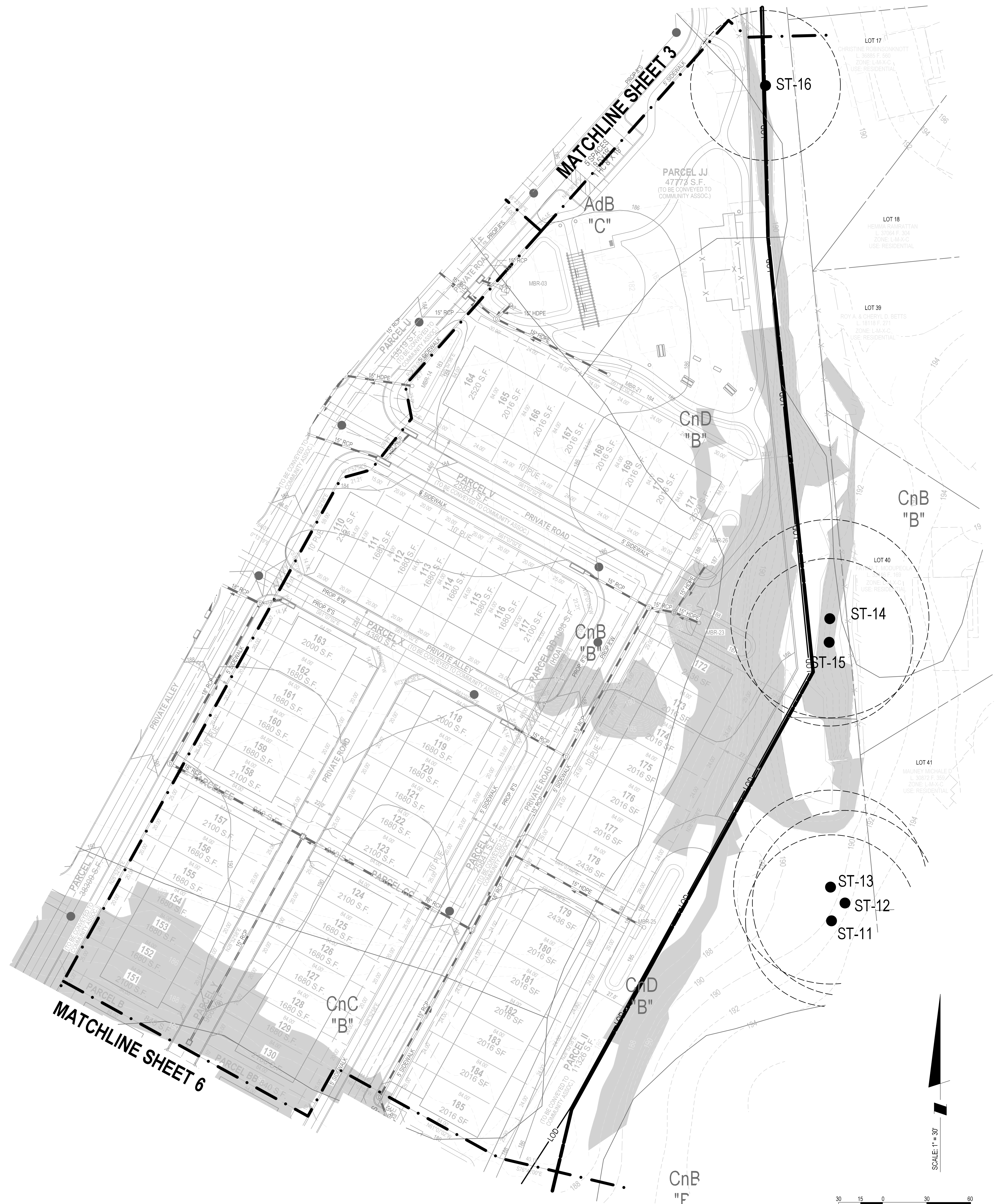


LEGEND

- SITE BOUNDARY
- PROPOSED LOT LINE
- PROPOSED RIGHT-OF-WAY LINE
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- ROAD CENTERLINE
- EASEMENT
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- PROPOSED WATER
- PROPOSED SEWER
- SHRUBS & NON-WOODLAND VEGETATION
- EXISTING WOODLANDS
- SPECIMEN TREE
- SPECIMEN TREE REMOVED
- WOODLAND PRESERVATION AREA
- TPF
- TREE PROTECTION FENCE (TEMPORARY)
- STEEP SLOPES



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12/30/2022

PLAN VIEW
TYPE 2 TREE CONSERVATION PLAN-DSP-22028
FAIRWOOD SQUARE
ENTERPRISE & ANNAPOLIS ROAD
 QUEEN ANNE (7th) ELECTION DISTRICT, PRINCE GEORGES COUNTY, MARYLAND

TAX MAP 45, F3	CURRENT ZONING CATEGORY RE
WS&C SHEET 207NE11	PREVIOUS ZONING CATEGORY RE
SITE DATUM HORIZONTAL: NAD 83 VERTICAL: NGVD 29	DATE: 12/30/2022
SCALE: 1" = 30'	DESIGNED: D/B
SHEET 5	CHECKED: D/B
OF 6	CAD STYL: V8 / NCS
PROJECT NO. 3902-04-00	

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 QUEEN ANNE (7th) ELECTION DISTRICT, PRINCE GEORGES COUNTY, MARYLAND

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WSBC 200 SHEET 207NE11	PREVIOUS ZONING CATEGORY RE
SITE DATUM HORIZONTAL: NAD 83 VERTICAL: NGVD 29	DATE: 12/30/2022 DESIGNED: DUB TECHNICAL: DUB CHECKED: DUB CAD STDS: DUB VERSION: V8 / NCS
SHEET 6 OF 6	PROJECT NO. 3902-04-00

MATCHLINE SHEET 4

MATCHLINE SHEET 5

ENTERPRISE ROAD
 (MD Route 193 A27)
 Variable Width Public R/W
 SHA Plans 46723, 46725,
 53887 & 54006

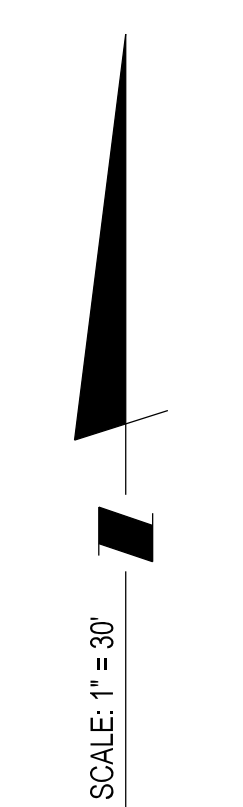
UdaF "D"

CoD "B"

POND 1
 100 YR CONTROL
 PRESERVATION AREA A- 0.45AC +/-
CnB "B"



- LEGEND**
- SITE BOUNDARY
 - PROPOSED LOT LINE
 - PROPOSED RIGHT-OF-WAY LINE
 - ADJACENT PROPERTY LINE
 - ROAD CENTERLINE
 - EASEMENT
 - EXISTING 10' CONTOUR
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SCALE: 1" = 30'

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Transmittal

To: <u>M-NCPPC</u>	Date: <u>January 17, 2023</u>
<u>14741 Governor Oden Bowie Drive</u>	Subject: <u>Fairwood Square</u>
<u>Upper Marlboro, Md 20772</u>	<u>DSP-22028 Acceptance</u>
Attn: <u>Application Section</u>	Project #: <u>39020400</u>

The following items are transmitted: Herewith Separate Cover Via Messenger Overnight

Copies	Pages	Description
1	9	Signed Application
1	6	DSP
1	6	Landscape Plan
1	2	Recreation Plan
1	54	Architectural Plan
1	1	Zoning Sketch Map
1	11	SWM Concept Plan
1	2	SWM Concept Letter
1	1	Photometric Plan
1	6	TCPII
1	1	NRI
1	39	Informational Mailing, affidavit, receipt and list of addresses
1	25	Acceptance Mailing, affidavit, receipt and list of addresses
1	1	Vicinity Map
1	1	WSSC Receipt
1	1	Red Line Property Exhibit
1	26	SOJ
1	2	Parking Analysis
1	1	Rec. Facilities Cost Estimate
1	4	Point-by-Point Response

The above items are submitted: At your request For your approval For your review For your action For your files For your information

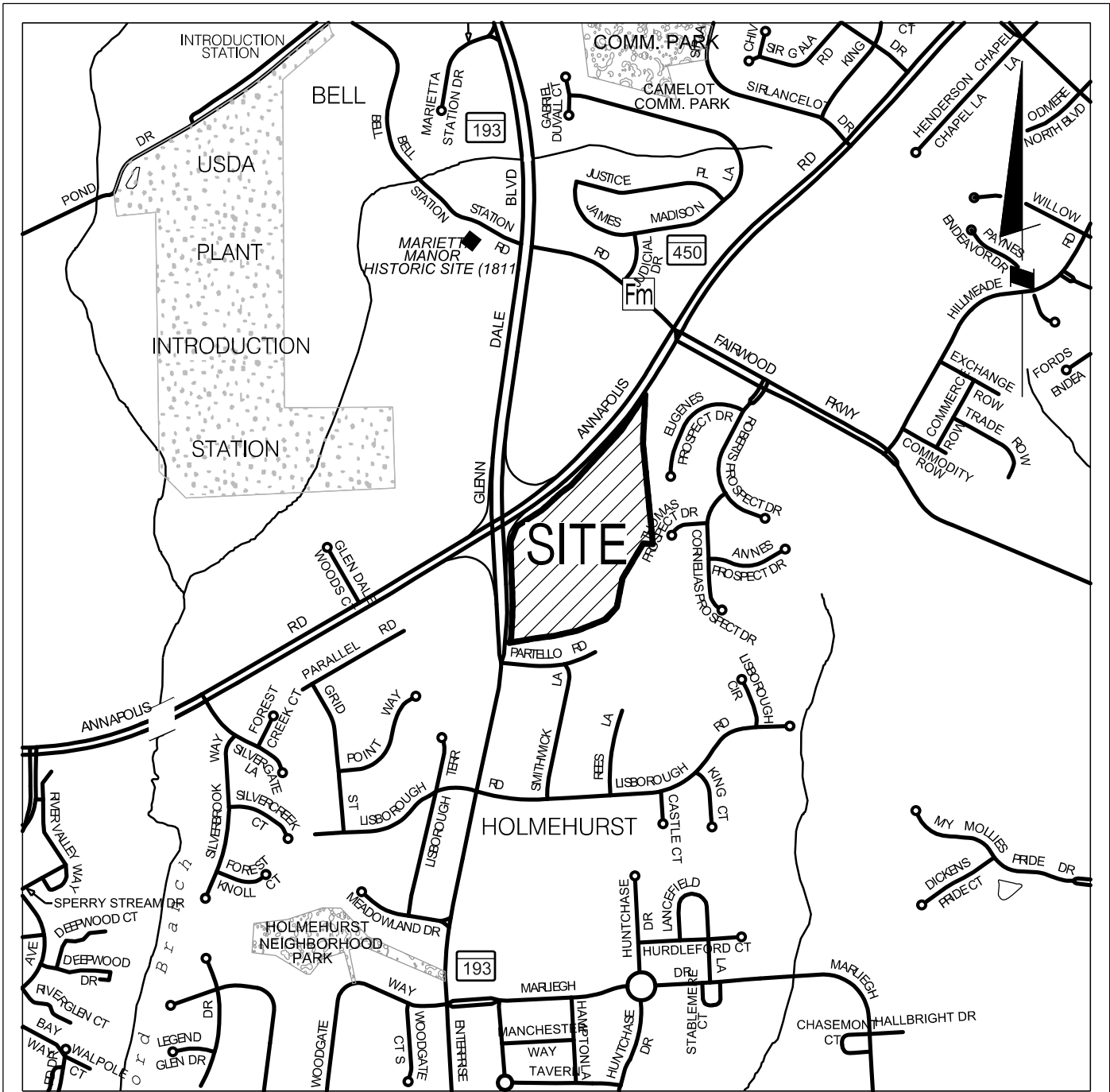
General Remarks:

Copies to:

By: Young Roh



Addressee Name
Date
Page 2 of 2



VICINITY MAP

INVOICE



Please make checks payable to WSSC Water. Please mail payments to: WSSC Water, Attn: Permit Services Section (Lobby Level), 14501 Sweitzer Lane, Laurel, MD 20707. Please include a copy of this invoice with payment.

IMPORTANT!! - Electronic payments (ACH or Credit Card) must be made via the ePermitting Citizen Self Service (CSS) online payment system.

To:

Name	Company Name	Address
Lori Walter		
Young Roh	Soltesz	4300 Forbes Blvd. Boulevard, 230 Lanham, Md 20706
PSU Applicant	TEST Company & Associates, Inc.	14501 Sweitzer Lane Laurel, Md 20707

Invoice Number	Invoice Date	Invoice Amount	Amount Due	Invoice Status	Invoice Description
00252230	01/10/2022	\$1,693.00	\$0.00	Paid In Full	NONE

Reference Number	GL Account	Description	Quantity	Total
4-21058 and DSP-21047	06-40650	GOV Review (Major)	1	\$1,693.00

Total Non-SDC Fees \$1,693.00

Note: When making an online payment, Western Union charges a \$5.95 convenience fee per online transaction. The convenience fee is not included on the WSSC Water permit/plan invoice total.

PAYMENTS (This invoice only)

Reference Number	Payment Receipt #	Description	Payment Method	Amount Paid
4-21058 and DSP-21047	TRC-231385-11-01-2022	GOV Review (Major)	ACH #4751	\$1,693.00

Total Paid This Invoice \$1,693.00

ARCHITECTURAL GRADE FIBER GLASS SHINGLES CHARCOAL GREY

METAL SEAM ROOF w/ OPT. LOFT DORMER



TIMBERLAKE HOMES

ARCHITECTURE COLLABORATIVE

DETAILS AND DIMENSIONS SHOWN ON THESE FLOOR PLANS AND ELEVATION ARE APPROXIMATE AND SUBJECT TO CHANGE. ILLUSTRATIONS ARE ARTIST CONCEPTS AND MAY VARY IN DETAIL FROM FLOOR PLAN AND SPECIFICATIONS.



'FAIRWOOD SQUARE'

- NOTES:**
- SOME FEATURES SHOWN IN RENDERING ARE OPTIONAL
 - WINDOW GRILLS ON REAR & SIDE TO MATCH FRONT ELEVATION

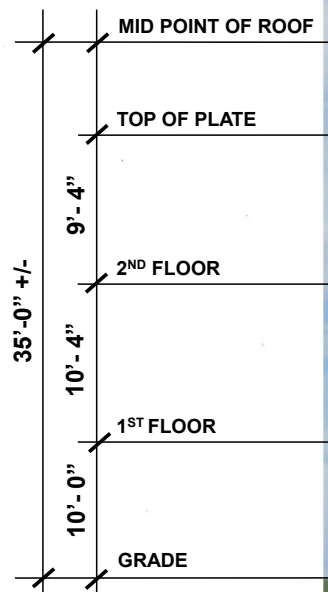
FRONT ELEVATION
18' REAR GARAGE TOWNHOUSE

FLAT ROOF AT FRONT ENTRY

HORIZONTAL SIDING IN GABLE

SYN. SPANDREL PANELS

2 OVER 2 VINYL WINDOWS



FRONT ELEVATION
24' FRONT GARAGE TOWNHOUSE

BRICK w/ BRICK WINDOW & DOOR SURROUNDS

BOXED BAY w/ OPT. STANDING SEAM METAL ROOF

2-STORY BOXED BAY

4-LITE PANEL FRONT DOOR

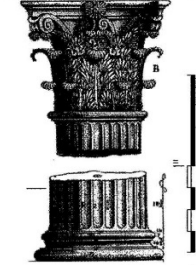
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8334 Main Street
Ellicott City, MD 21043
www.archcol.com
Tel.: (410) 466-7600 Fax: (410) 466-0903

TIMBERLAKE HOMES		date	02/08/22
content	TOWNHOUSE -- PRESENTATION	scale	3/16" = 1'
FILE#	FairwoodSquare_18Rear	title	'FAIRWOOD SQUARE'

revisions	02/15/22	ELEVATION COUNTY PRESENTATION
-----------	----------	-------------------------------

SHEET #





REAR ELEVATION
18' REAR GARAGE TOWNHOUSE

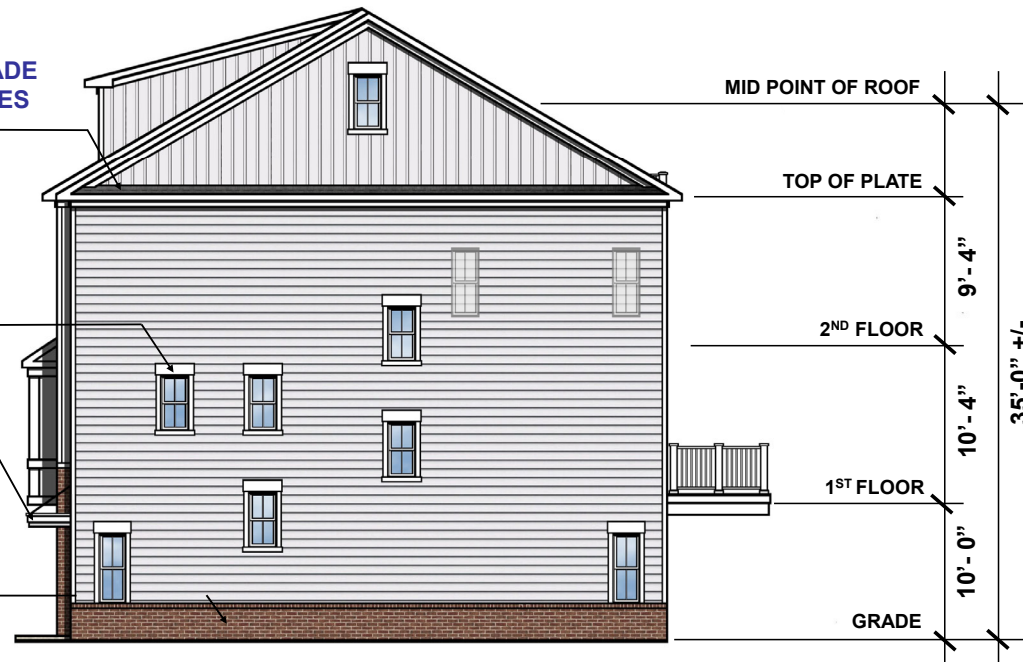
6'-0" CANTILEVEL DECK
w/ SAFETY RAIL.

PENT ROOF w/
ARCHITECTURAL GRADE
FIBER GLASS SHINGLES
CHARCOAL GREY

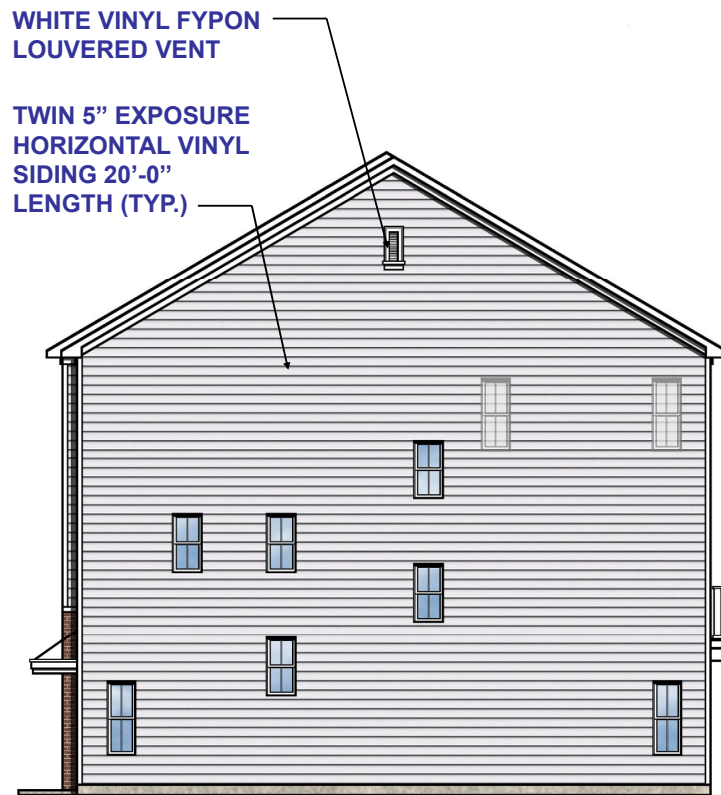
SYN. TRIM
WINDOW HEAD &
SILL w/ SYN. TRIM
SURROUND

FLAT ROOF AT
FRONT ENTRY

BRICK
WATERTABLE
w/ BRICK SILL



HIGH VIS. SIDE ELEVATION
18' & 24' TOWNHOUSE



TYP. SIDE ELEVATION
18' & 24' TOWNHOUSE
(SHOWN w/ OPT. LOFT)

ARCHITECTURAL
GRADE FIBER
GLASS SHINGLES
CHARCOAL GREY

TWIN 5" EXPOSURE
HORIZONTAL VINYL
SIDING 20'-0"
LENGTH (TYP.)

SAFETY RAIL w/
OPT. REAR
LOFT DECK

CONT. RIDGE
VENT

WHITE VINYL
CORNER
BOARDS



REAR ELEVATION
24' FRONT GARAGE TOWNHOUSE

6'-0" CANTILEVEL DECK
w/ SAFETY RAIL.

NOTES:

- SOME FEATURES SHOWN IN RENDERING ARE OPTIONAL
- WINDOW GRILLS ON REAR & SIDE TO MATCH FRONT ELEVATION

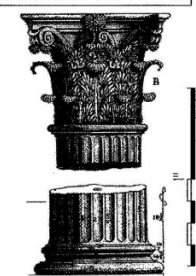
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TIMBERLAKE HOMES
content
scale 3/16" = 1' FILE# FairwoodSquare_080922 date 02/08/22
TOWNHOUSE - PRESENTATION
title
'FAIRWOOD SQUARE'

revisions	ELEVATION COUNTY PRESENTATION
02/15/22	

SHEET #





Architecture + Planning
888.456.5849
ktgy.com

Timberlake Homes
304 Harry S. Truman Pkwy
Suite M
Annapolis, MD 21401

FAIRWOOD SQUARE
MARYLAND # 20150204

SCHEMATIC STRIP ELEVATION
OCTOBER 7, 2022

FOXGLOVE AND REDWOOD
FRONT ELEVATION

A1.0



1 | LEFT ELEVATION - STANDARD



2 | RIGHT ELEVATION - HIGH VISIBILITY



Architecture + Planning
888.456.5849
ktgy.com

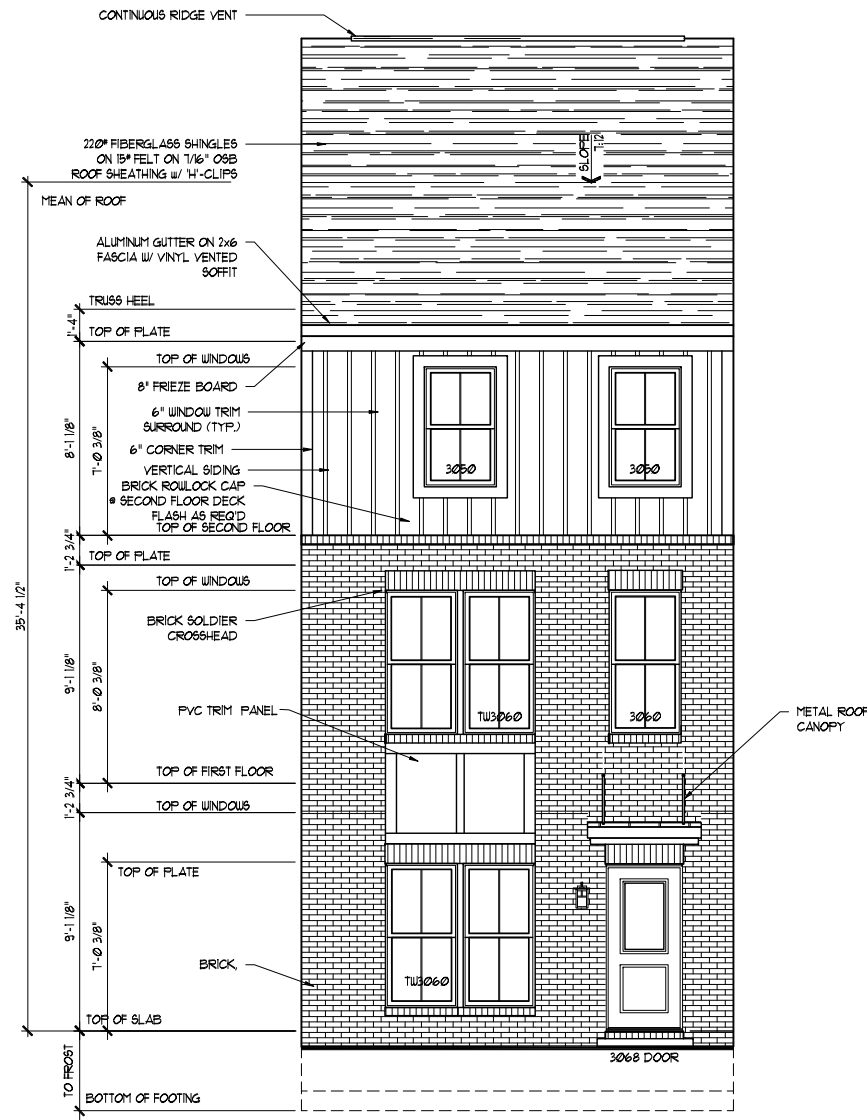
Timberlake Homes
304 Harry S. Truman Pkwy
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FAIRWOOD SQUARE
MARYLAND # 20150204

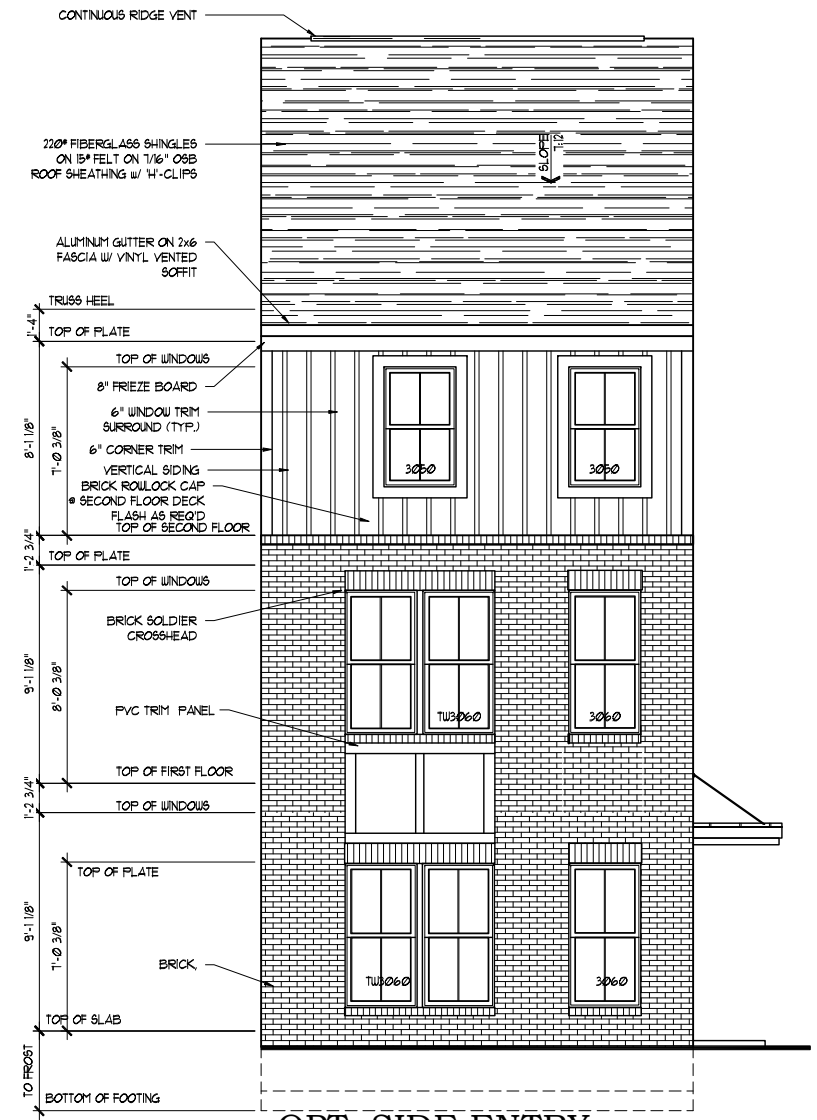
SCHEMATIC STRIP ELEVATION
OCTOBER 7, 2022

FOXGLOVE AND REDWOOD
REAR ELEVATION

A1.2



FRONT ELEVATION 1
 SCALE (17x11): 1/8" = 1'-0"
 SCALE (34x22): 1/4" = 1'-0"



OPT. SIDE ENTRY FRONT ELEVATION 1
 SCALE (17x11): 1/8" = 1'-0"
 SCALE (34x22): 1/4" = 1'-0"

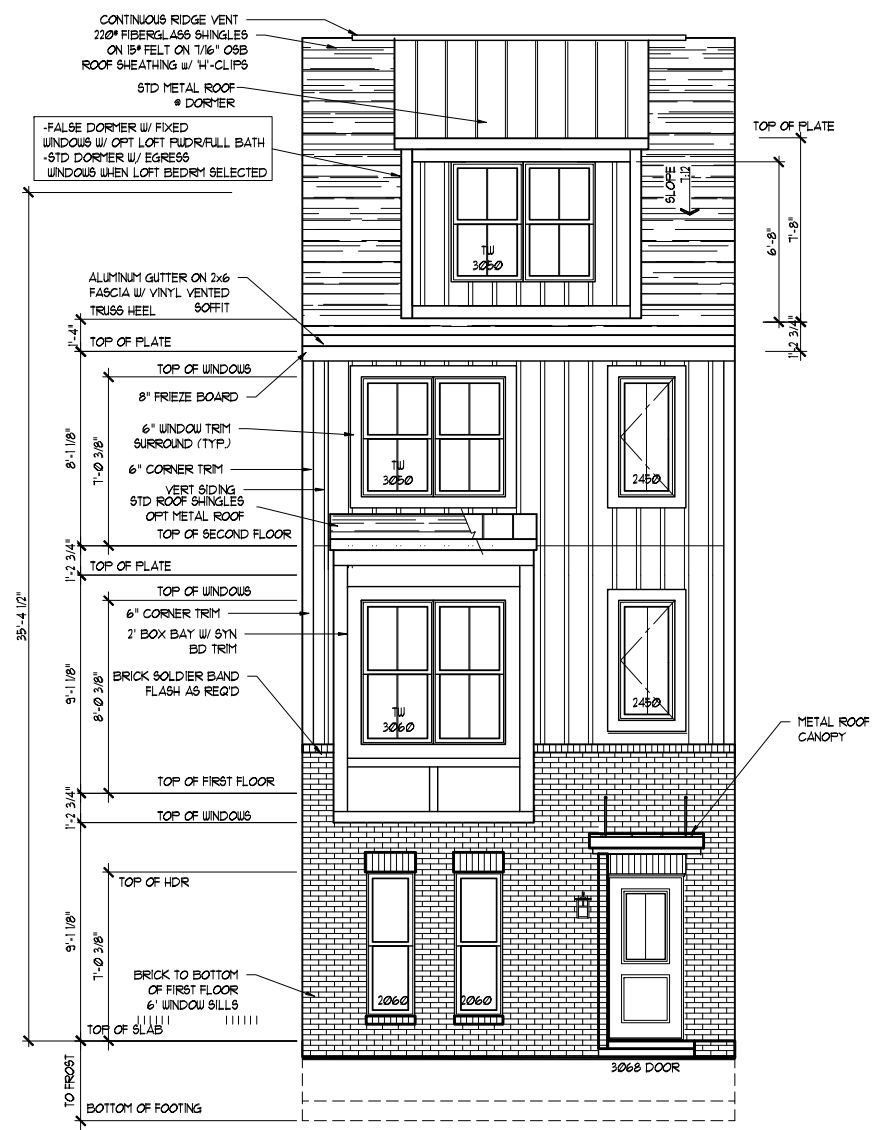
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 Tel.: (410) 465-7500 Fax: (410) 465-0903

content		ELEVATION 1	
scale: 1" = 4' (34x22)	file: (17x11) 3.1	drawn: RC	date: 3-9-21
U.N.O. 1" = 8'		title	
		TIMBERLAKE HOMES	
		MADIERA	

date	revision	by

Professional Certification	
I hereby certify that these documents were prepared or approved by me, and I am a duly licensed professional architect under the laws of the State of Maryland.	
license number	5621
expiration date	04-09-2024
SHEET #	
3.1	



FRONT ELEVATION #2
 SCALE (17x11): 1/8" = 1'-0"
 SCALE (34x22): 1/4" = 1'-0"

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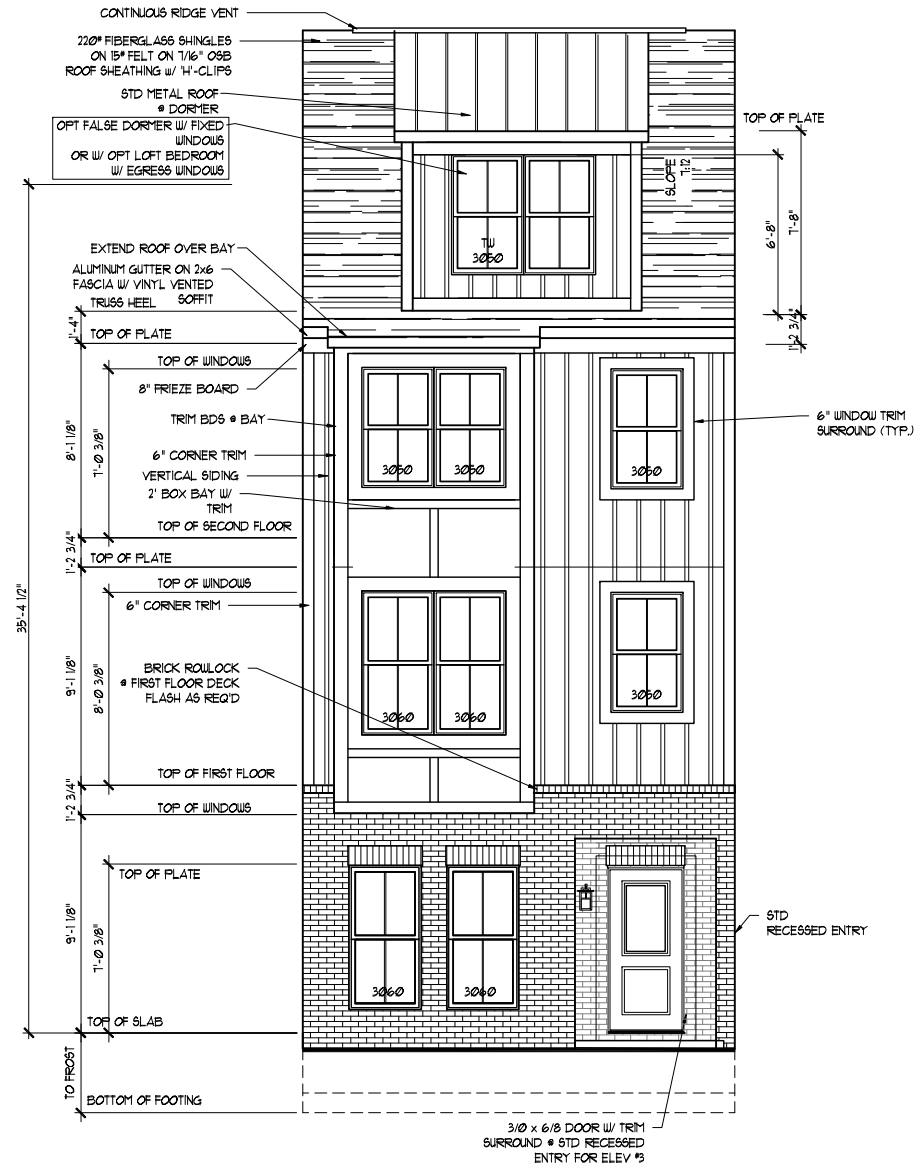
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 Ellicott City, MD 21043
 www.archcol.com
 Tel.: (410) 465-7500 Fax: (410) 465-0903

content	
ELEVATION 2	date: 3-9-21
scale: 1"=4' (34x22) file: U.N.O. 1"=8' (17x11) 3.2	drawn: RC
title	
TIMBERLAKE HOMES	
MADIERA	

date	revision	by

SHEET #
3.2

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 license number: 5621
 expiration date: 04-09-2024



FRONT ELEVATION #3

SCALE (17x11): 1/8" = 1'-0"
 SCALE (34x22): 1/4" = 1'-0"

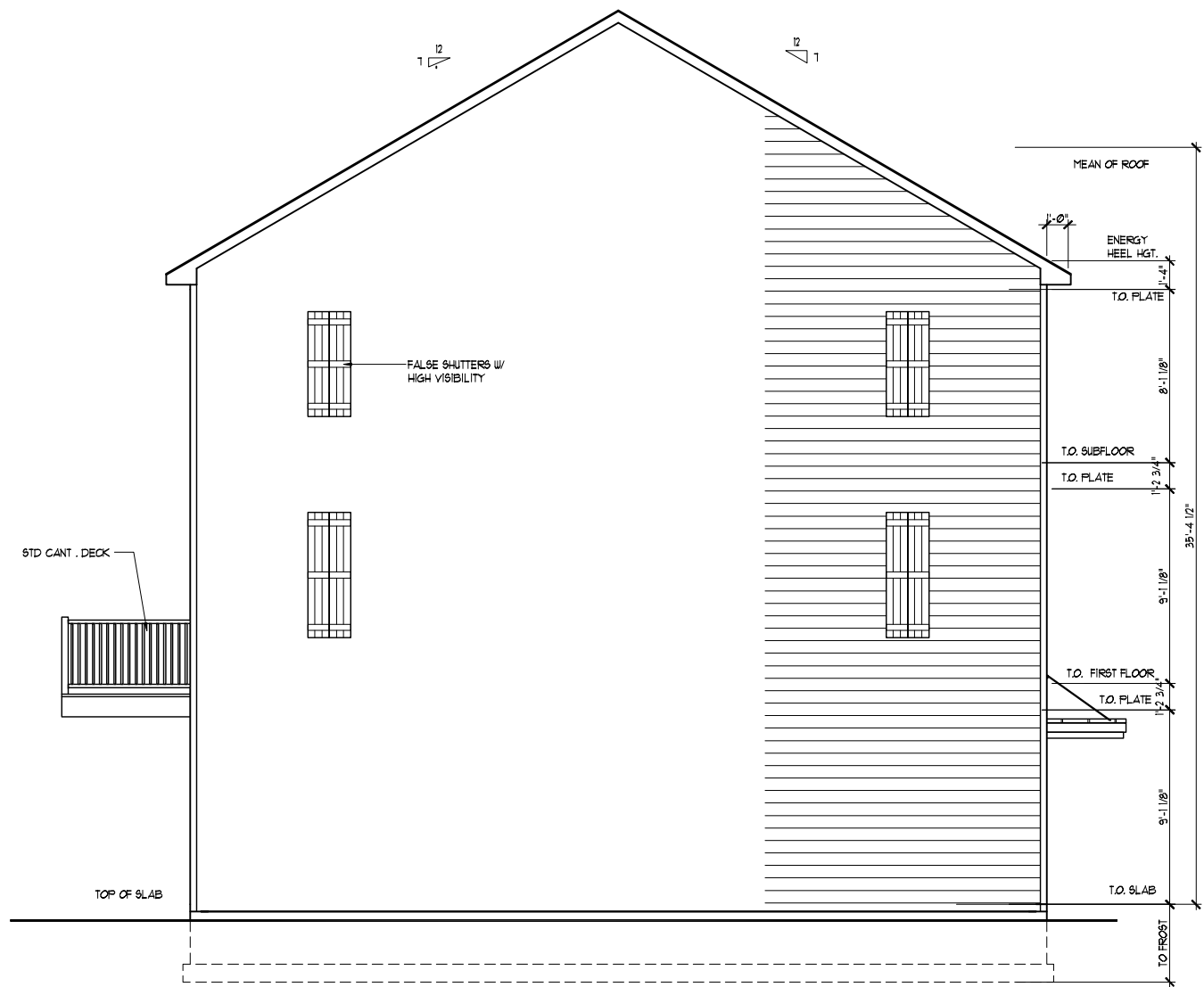
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content	ELEVATION 3	
scale: 1" = 4'	drawn: RC	date: 3-9-21
U.N.O. 1" = 8'	file: (34x22) 3.3	
	TIMBERLAKE HOMES	
	MADIERA	
	title	

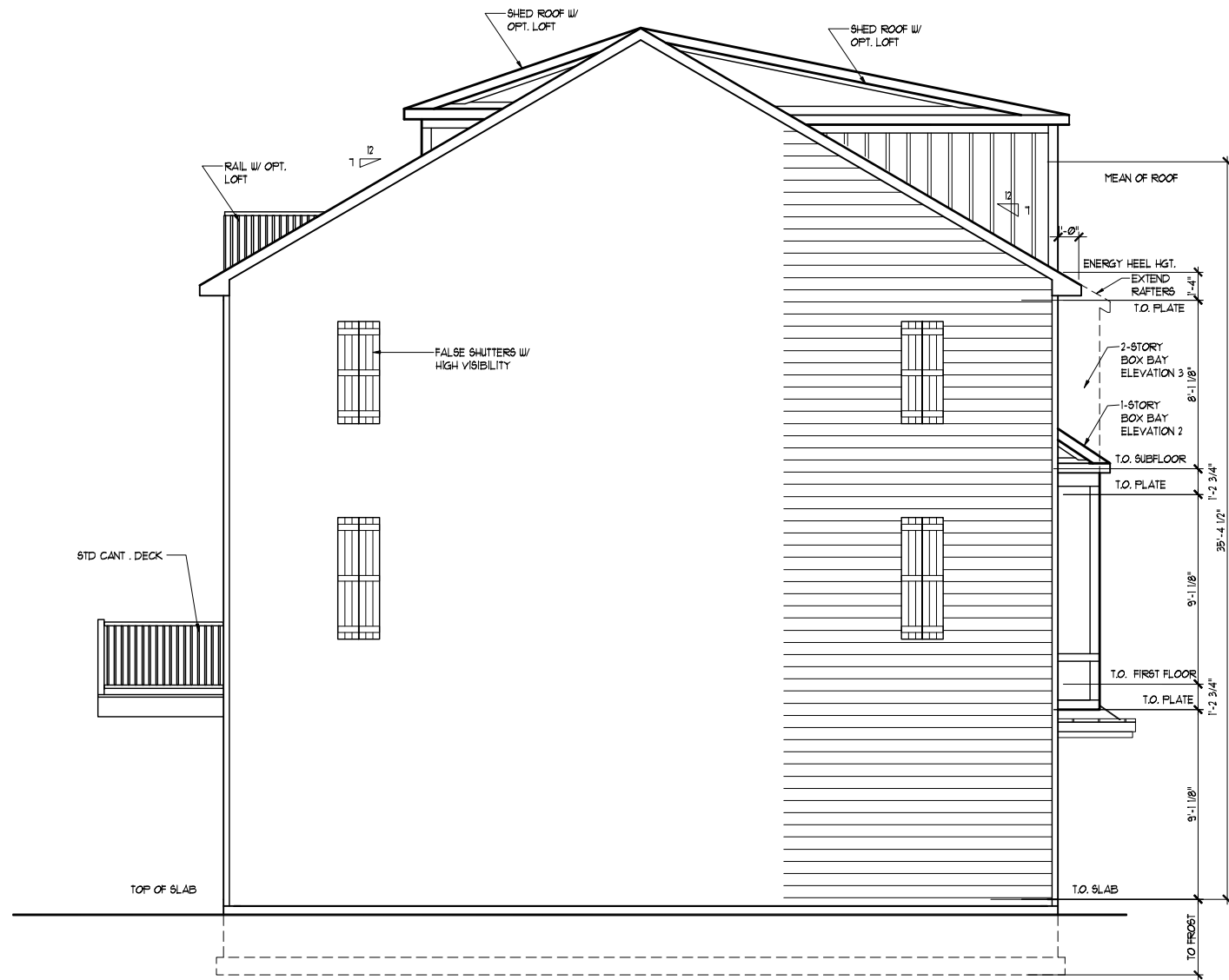
date	revision	by

Professional Certification	SHEET #
I hereby certify that these documents were prepared or approved by me, and I am a duly licensed professional architect under the laws of the State of Maryland.	3.3
license number: 5621	
expiration date: 04-09-2024	



LEFT SIDE ELEVATION

SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"



**ELEVATION 2 & 3 w/ OPT. LOFT
LEFT SIDE ELEVATION**

SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"

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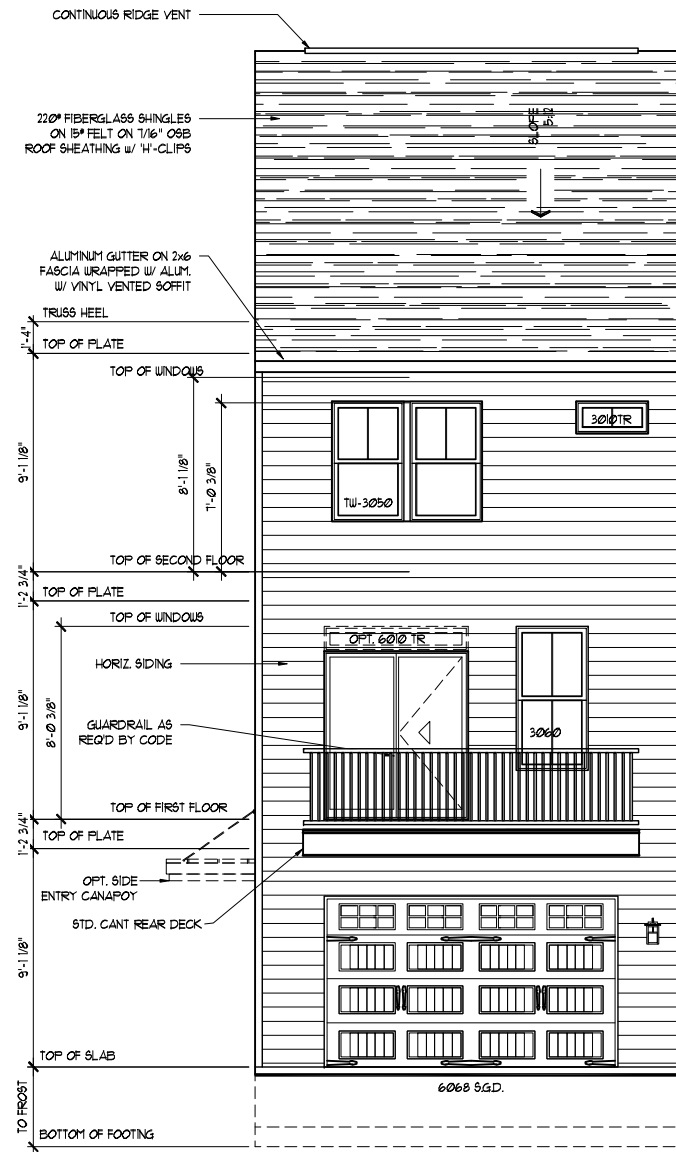
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Tel.: (410) 465-7500 Fax: (410) 465-0903

content: **END CONDITION ELEVATIONS**
scale: 1" = 4' (34x22) | file: 3.4
U.N.O. 1" = 8' (17x11)
drawn: RC
date: 3-9-21
TIMBERLAKE HOMES
MADIERA

date	revision	by

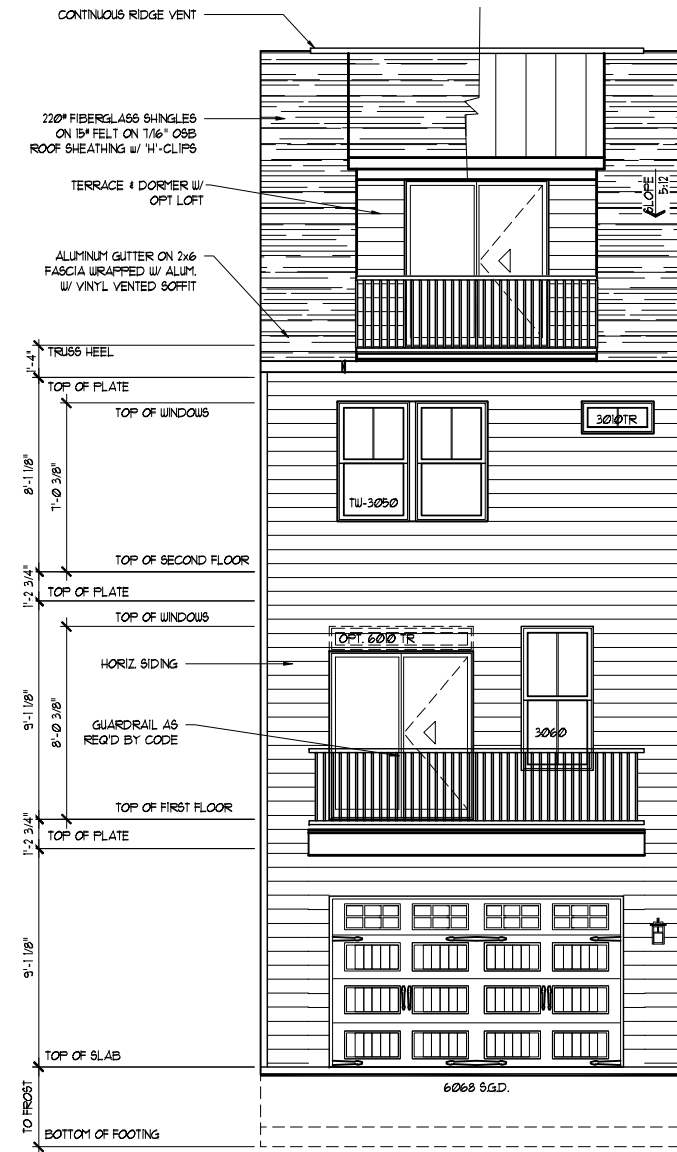
SHEET #
3.4

Professional Certification
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license number: 5621
expiration date: 04-09-2024



REAR ELEVATION

SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"



**OPT. LOFT
STD CANT REAR DECK
REAR ELEVATION**

SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"

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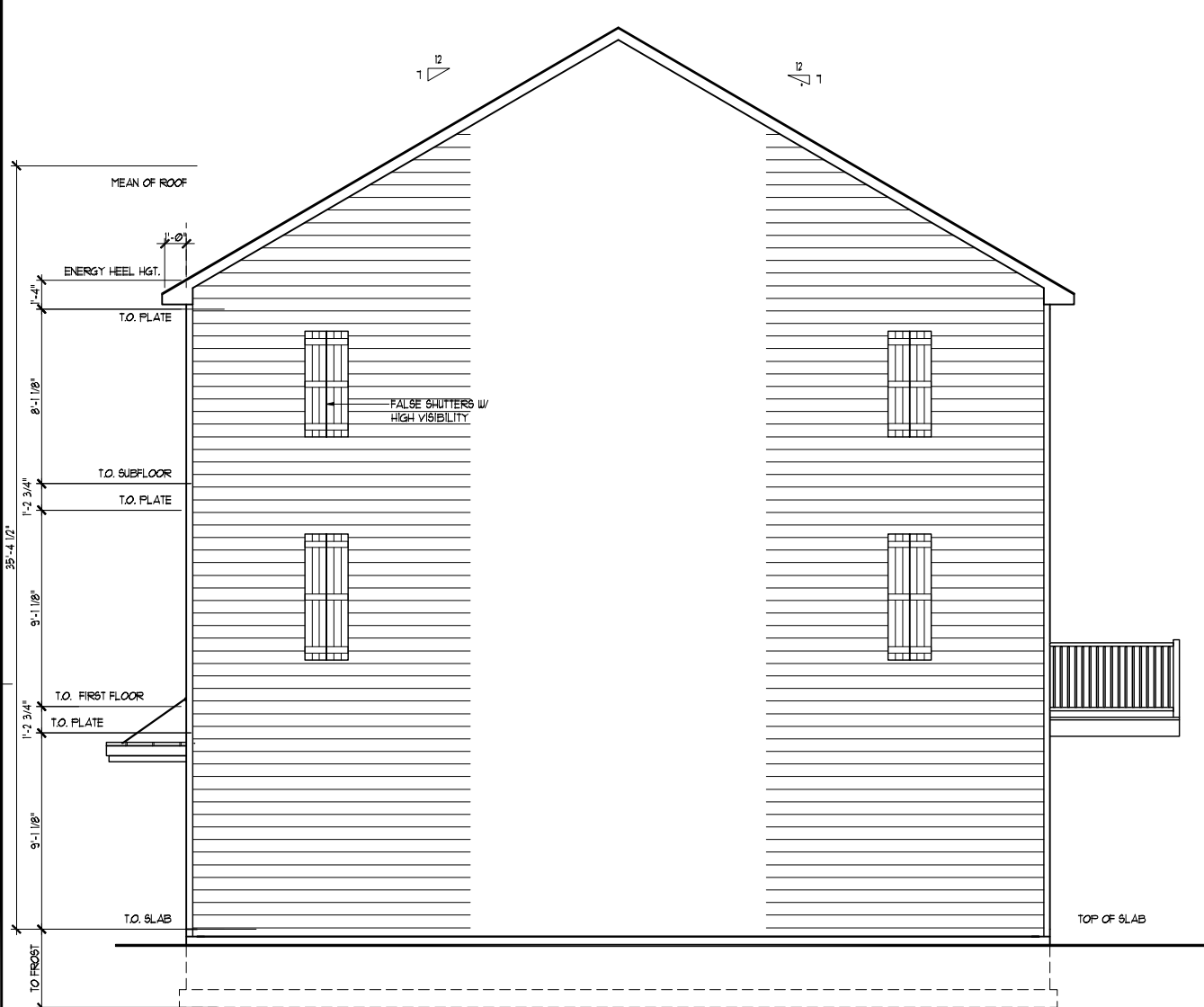
Architecture Collaborative, Inc.
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content: REAR ELEVATION
scale: 1"=4' (34x22) file: 3-9-21
U.N.O. 1"=8' (17x11) 3.5
drawn: RC
date: 3-9-21
title: TIMBERLAKE HOMES
MADIERA

date	revision	by

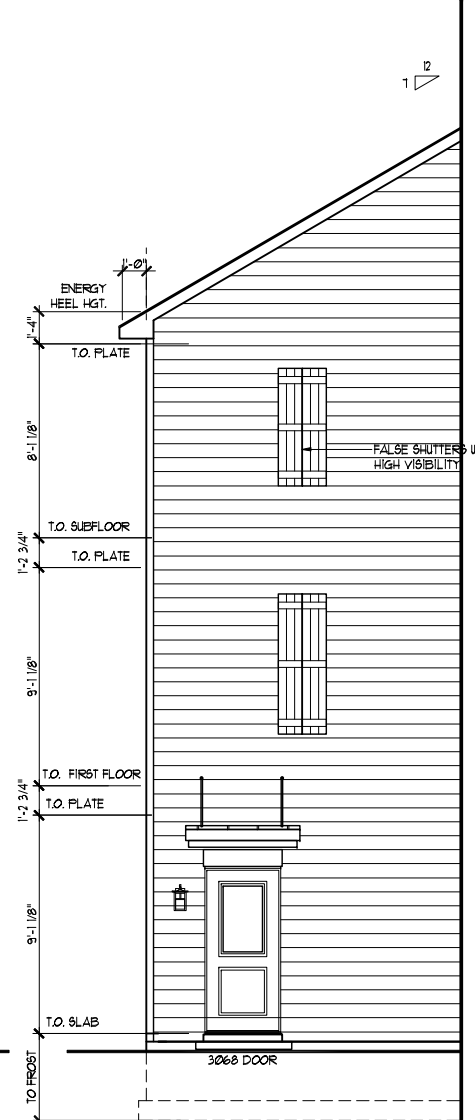
SHEET #
3.5

Professional Certification
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license number: 5621
expiration date: 04-09-2024



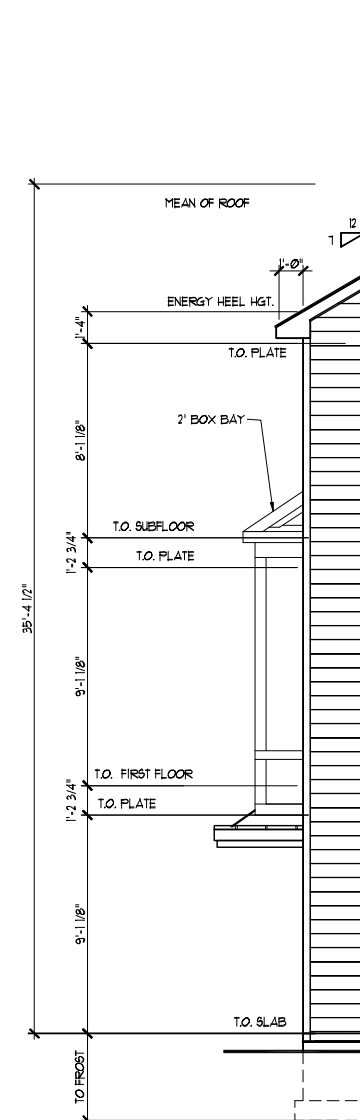
RIGHT SIDE ELEVATION

SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"



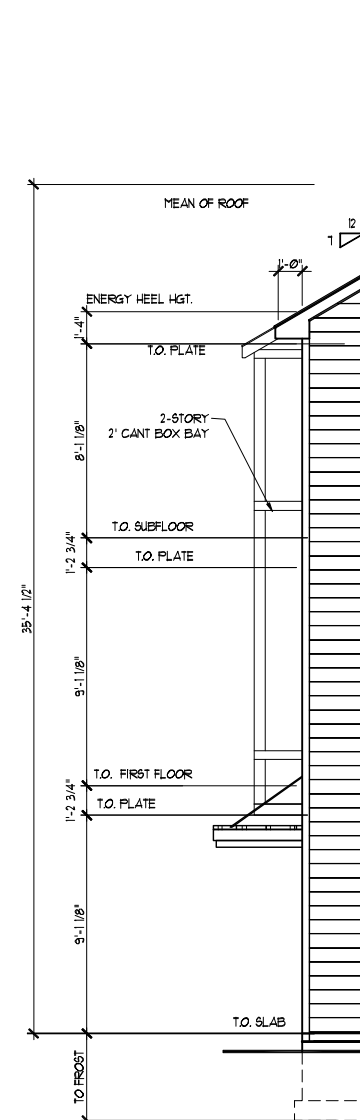
**OPT. SIDE ENTRY
RIGHT SIDE ELEVATION**

SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"



**ELEVATION 2
RIGHT SIDE ELEVATION**

SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"



**ELEVATION 3
RIGHT SIDE ELEVATION**

SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"

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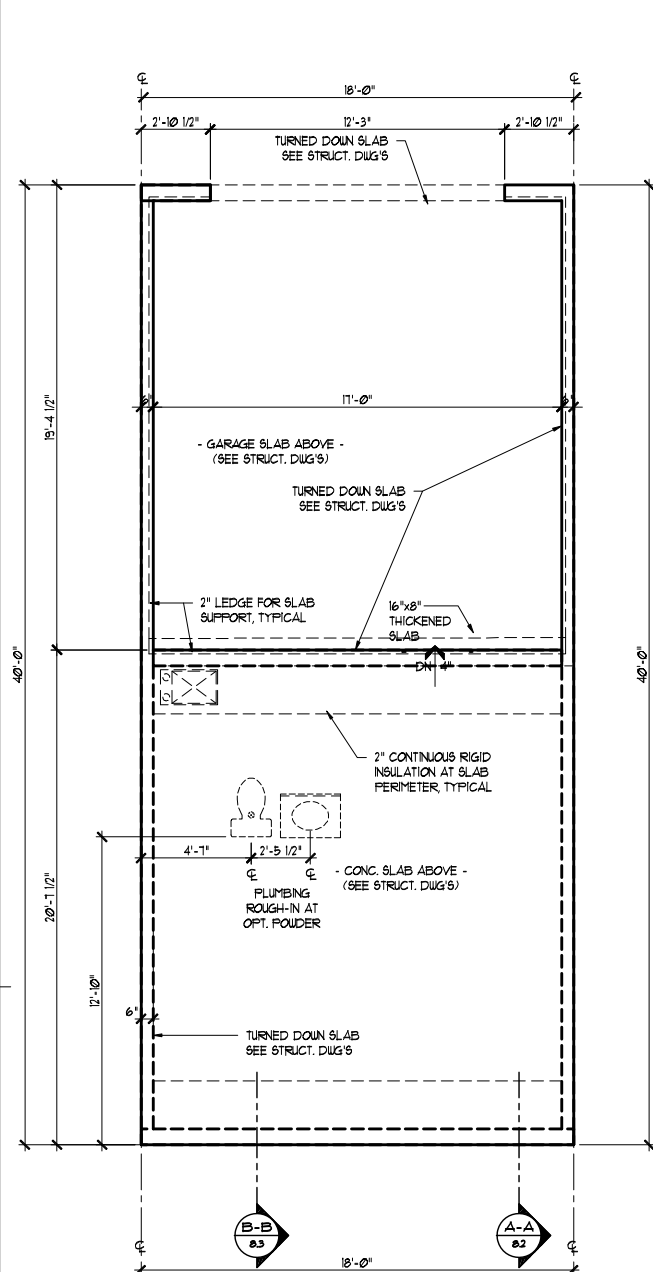
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Tel.: (410) 465-7500 Fax: (410) 465-0903

content: **RIGHT SIDE ELEVATIONS**
scale: 1"=4' (34x22) file: **3.6**
U.N.O. 1"=8' (17x11) 3.6
drawn: RC date: 3-9-21
TIMBERLAKE HOMES
MADIERA
title

date	revision	by

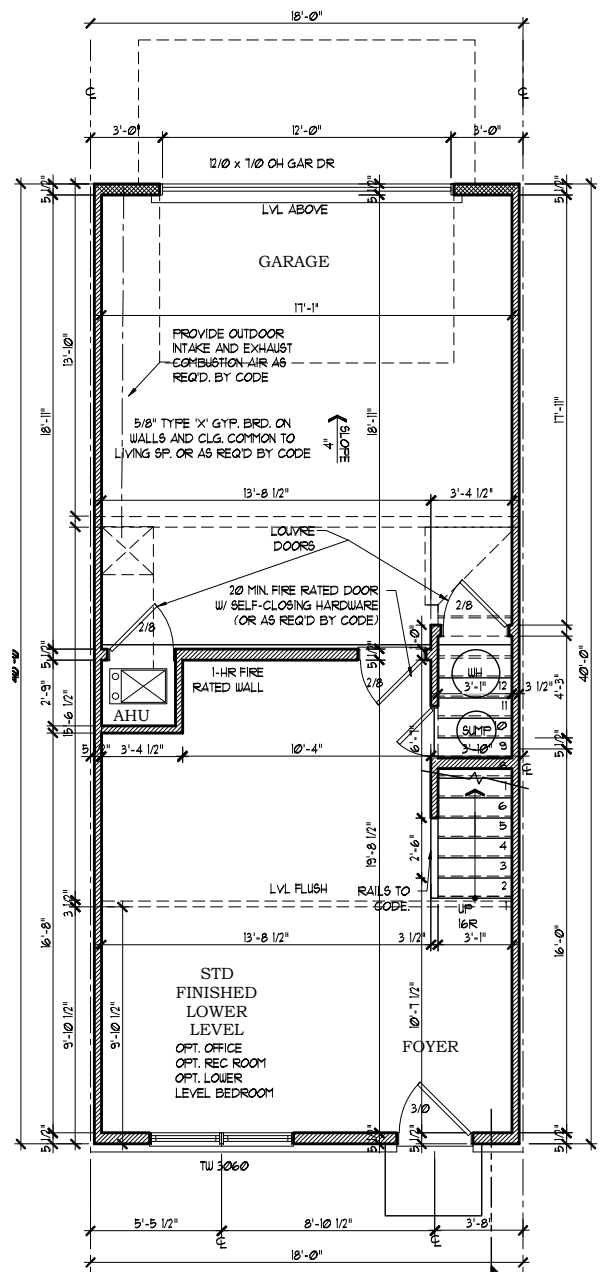
SHEET #
3.6

Professional Certification
I hereby certify that these documents were prepared or approved by me, and I am a duly Licensed Professional Architect under the laws of the State of Maryland.
license number: 5621
expiration date: 04-09-2024



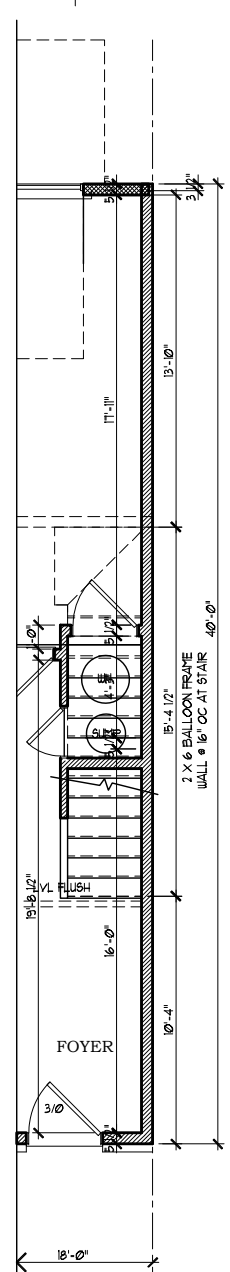
**ELEVATIONS #1 & #2
SLAB FOUNDATION PLAN**

SCALE (17x11): 1/8" = 1'-0"
SCALE (36x24): 1/4" = 1'-0"



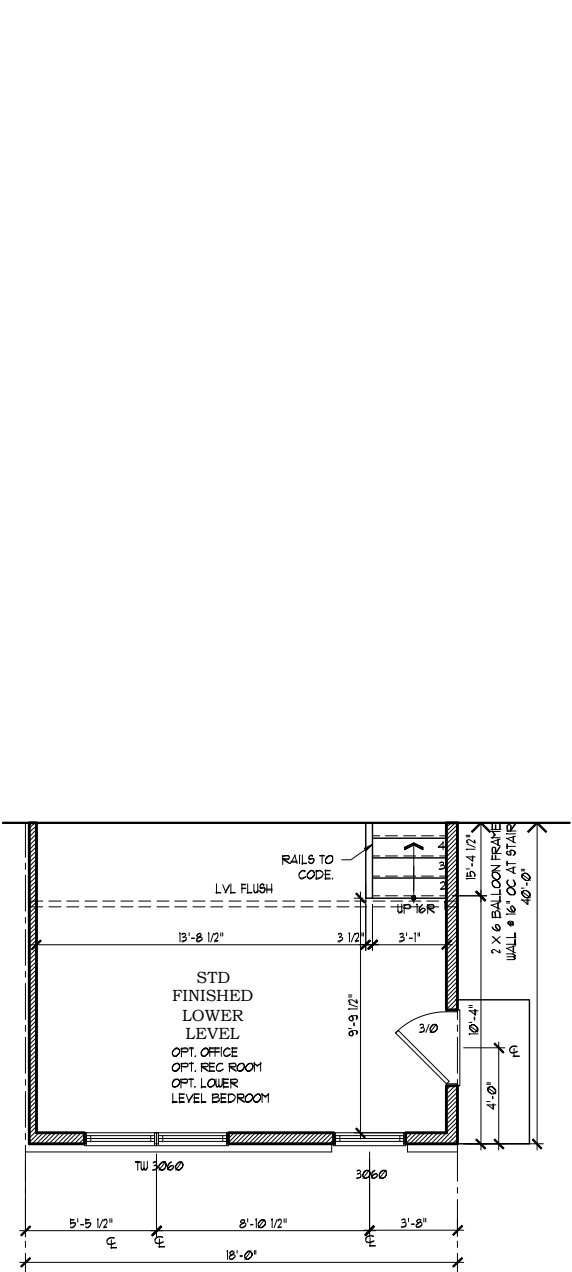
**ELEVATION 1
LOWER LEVEL PLAN**

SCALE (17x11): 1/8" = 1'-0"
SCALE (36x24): 1/4" = 1'-0"



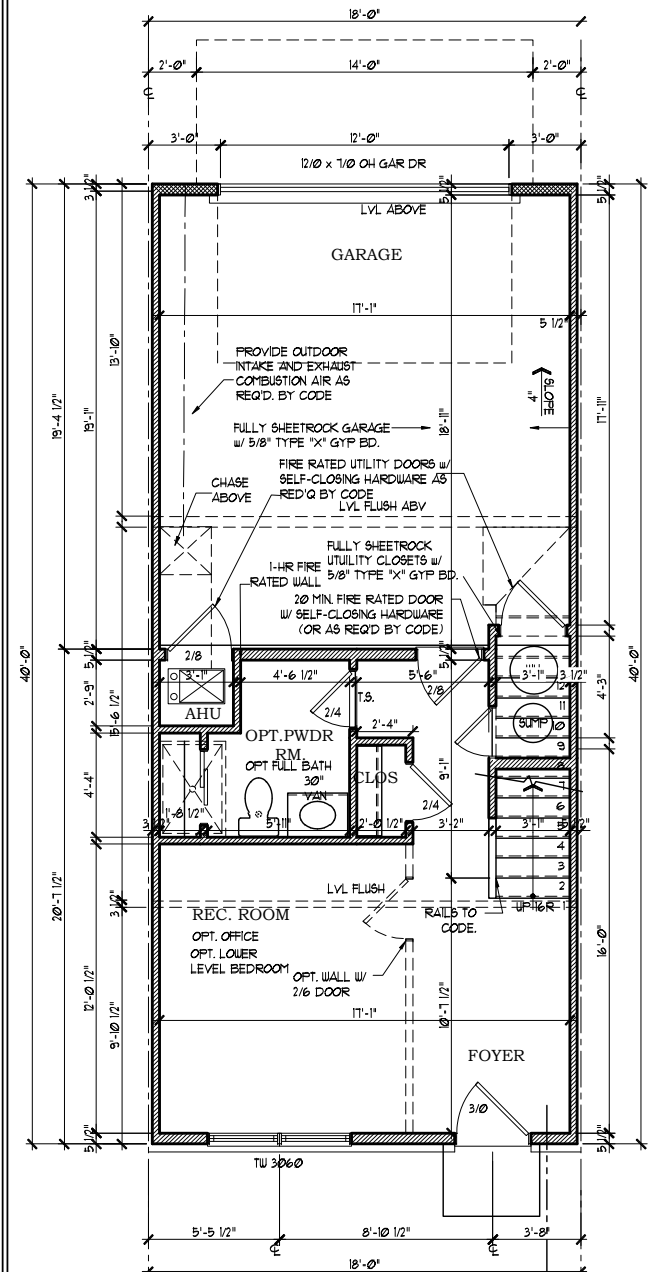
**END UNIT
LOWER LEVEL**

SCALE (17x11): 1/8" = 1'-0"
SCALE (36x24): 1/4" = 1'-0"



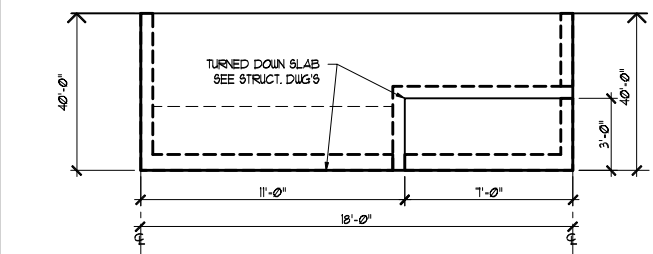
**OPT. SIDE ENTRY
LOWER LEVEL PLAN**

SCALE (17x11): 1/8" = 1'-0"
SCALE (36x24): 1/4" = 1'-0"



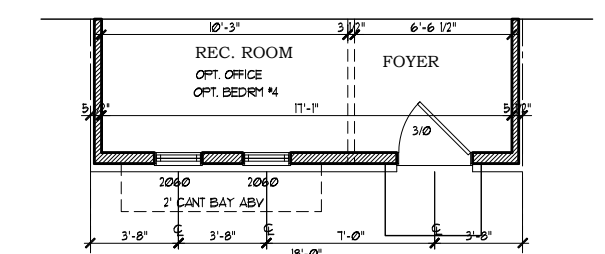
**ELEVATION 1
OPT. FINISHED
LOWER LEVEL PLAN**

SCALE (17x11): 1/8" = 1'-0"
SCALE (36x24): 1/4" = 1'-0"



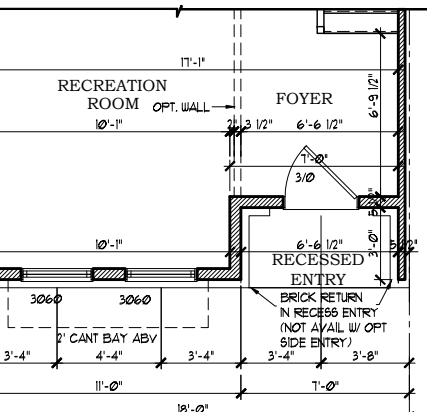
**ELEVATION #3
PARTIAL PLAN
SLAB FOUNDATION PLAN**

SCALE (17x11): 1/8" = 1'-0"
SCALE (36x24): 1/4" = 1'-0"



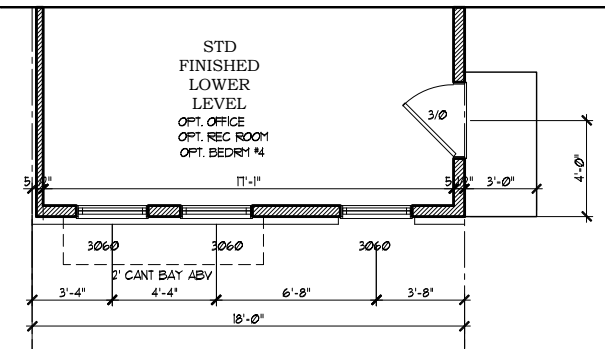
**ELEVATION 2
LOWER LEVEL PLAN**

SCALE (17x11): 1/8" = 1'-0"
SCALE (36x24): 1/4" = 1'-0"



**ELEVATION 3
LOWER LEVEL PLAN**

SCALE (17x11): 1/8" = 1'-0"
SCALE (36x24): 1/4" = 1'-0"



**OPT. SIDE ENTRY
ELEVATION 3
LOWER LEVEL PLAN**

SCALE (17x11): 1/8" = 1'-0"
SCALE (36x24): 1/4" = 1'-0"

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TIMBERLAKE HOMES
MADIERA

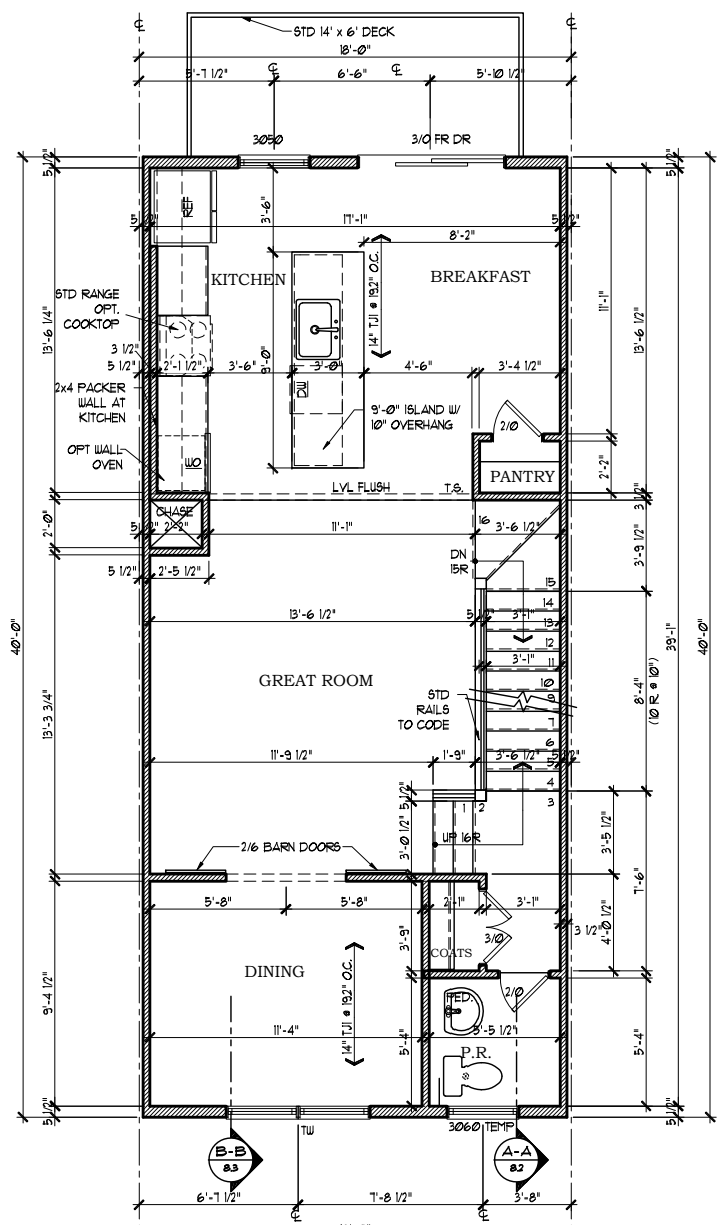
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scale: 1" = 4' (34x22) file: 3-9-21
U.N.O. 1" = 8' (17x11) 4.1
drawn: RC
date: 3-9-21

date	revision

Professional Certification
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license number: 5621
expiration date: 04-05-2024

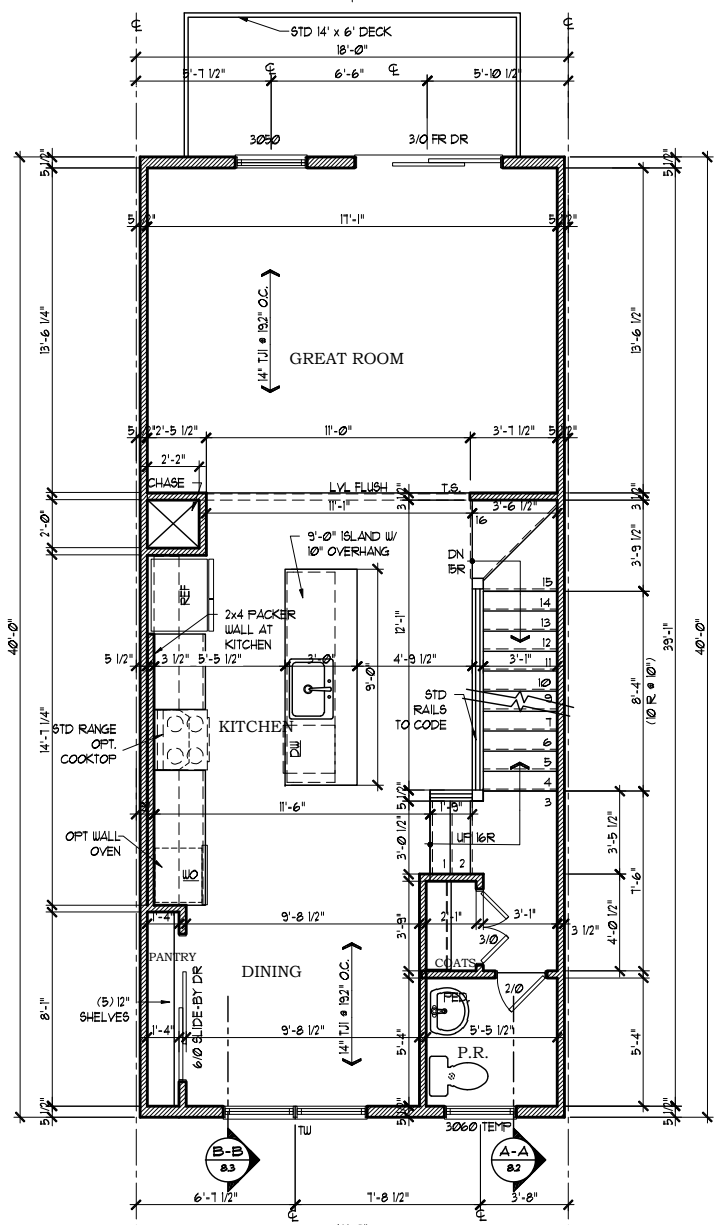
SHEET #
4.1

File Name: Z:\CLIENT\TIMBERLAKE\220116\16 SHEETS\4.1.DWG



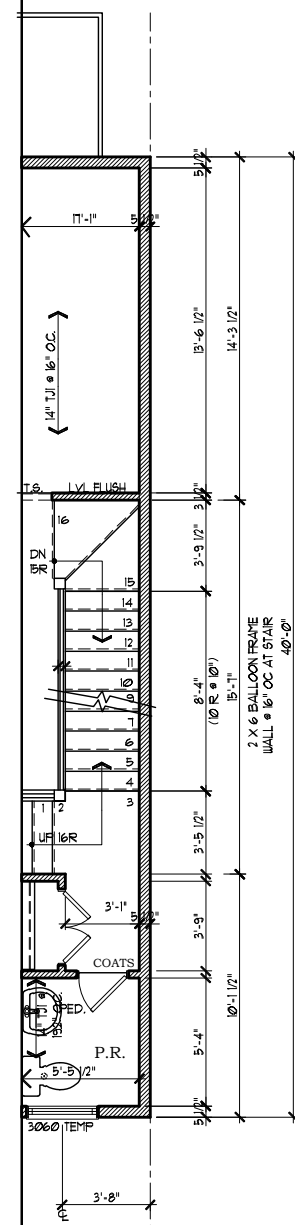
**OPT. REAR KITCHEN
ELEVATION #1
FIRST FLOOR PLAN**

SCALE (17x11): 1/8" = 1'-0"
SCALE (36x24): 1/4" = 1'-0"



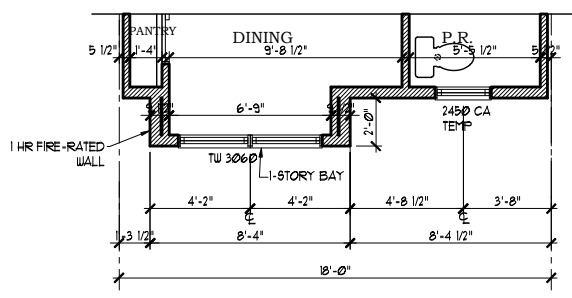
**STD CENTER KITCHEN
ELEVATION #1
FIRST FLOOR PLAN**

SCALE (17x11): 1/8" = 1'-0"
SCALE (36x24): 1/4" = 1'-0"



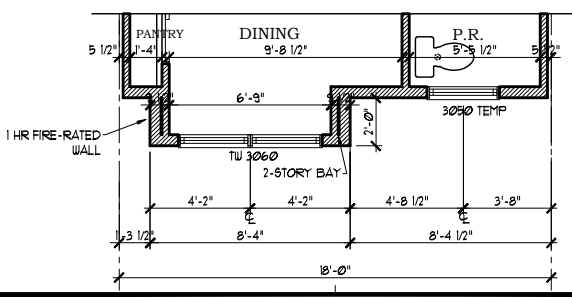
**END UNIT
FIRST FLOOR**

SCALE (17x11): 1/8" = 1'-0"
SCALE (36x24): 1/4" = 1'-0"



**ELEVATION #2
FIRST FLOOR PLAN**

SCALE (17x11): 1/8" = 1'-0"
SCALE (36x24): 1/4" = 1'-0"



**ELEVATION #3
FIRST FLOOR PLAN**

SCALE (17x11): 1/8" = 1'-0"
SCALE (36x24): 1/4" = 1'-0"

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FIRST FLOOR PLAN
content: **TIMBERLAKE HOMES**
scale: 1" = 4' (34x22) file: **MADIERA**
U.N.O. 1" = 8' (17x11) 5.1
drawn: RC date: 3-9-21
title

date	revision	by

SHEET #
5.1

Professional Certification
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license number: 5621
expiration date: 04-09-2024



Architecture + Planning
 8609 Westwood Center Dr.
 Suite 600
 Tysons, VA 22182
 ktgy.com
 703.992.6116

KTGY Project No: 20150204

Project Contact: Kit Thackrey
Email: kthackrey@ktgy.com

Principal: Smita Anand
Project Designer: Smita Anand

Developer

TIMBERLAKE HOMES
 304 HARRY S. TRUMAN PKWY
 SUITE M
 ANNAPOLIS, MD 21401
 PHONE NO. 443.837.3134
 FAX NO. ----

FAIRWOOD SQUARE
 PRINCE GEORGE'S COUNTY, MD
FOXGLOVE - 20x40 TH

No.	Date	Description

It is the clients responsibility prior to or during construction to notify the architect in writing of any perceived errors or omissions in the plans and specifications of which a contractor throughly knowledgeable with the building codes and methods of construction should reasonably be aware. Written instructions addressing such perceived errors or omissions shall be received from the architect prior to the client or clients subcontractors proceeding with the work. The client will be responsible for any defects in construction if these procedures are not followed.



Sept. 13, 2022
 License Stamp

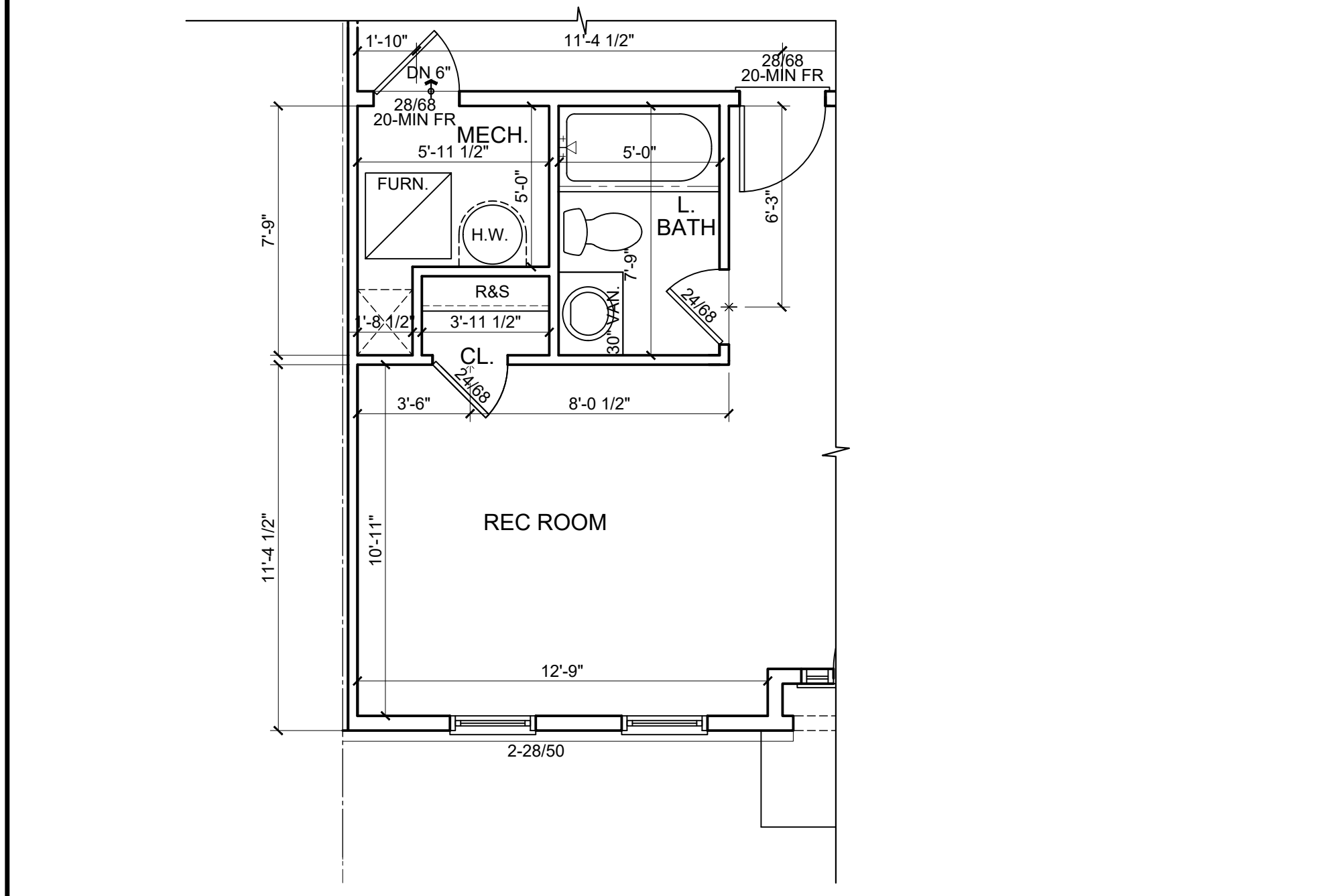
FIRST FLOOR PLANS

A-100

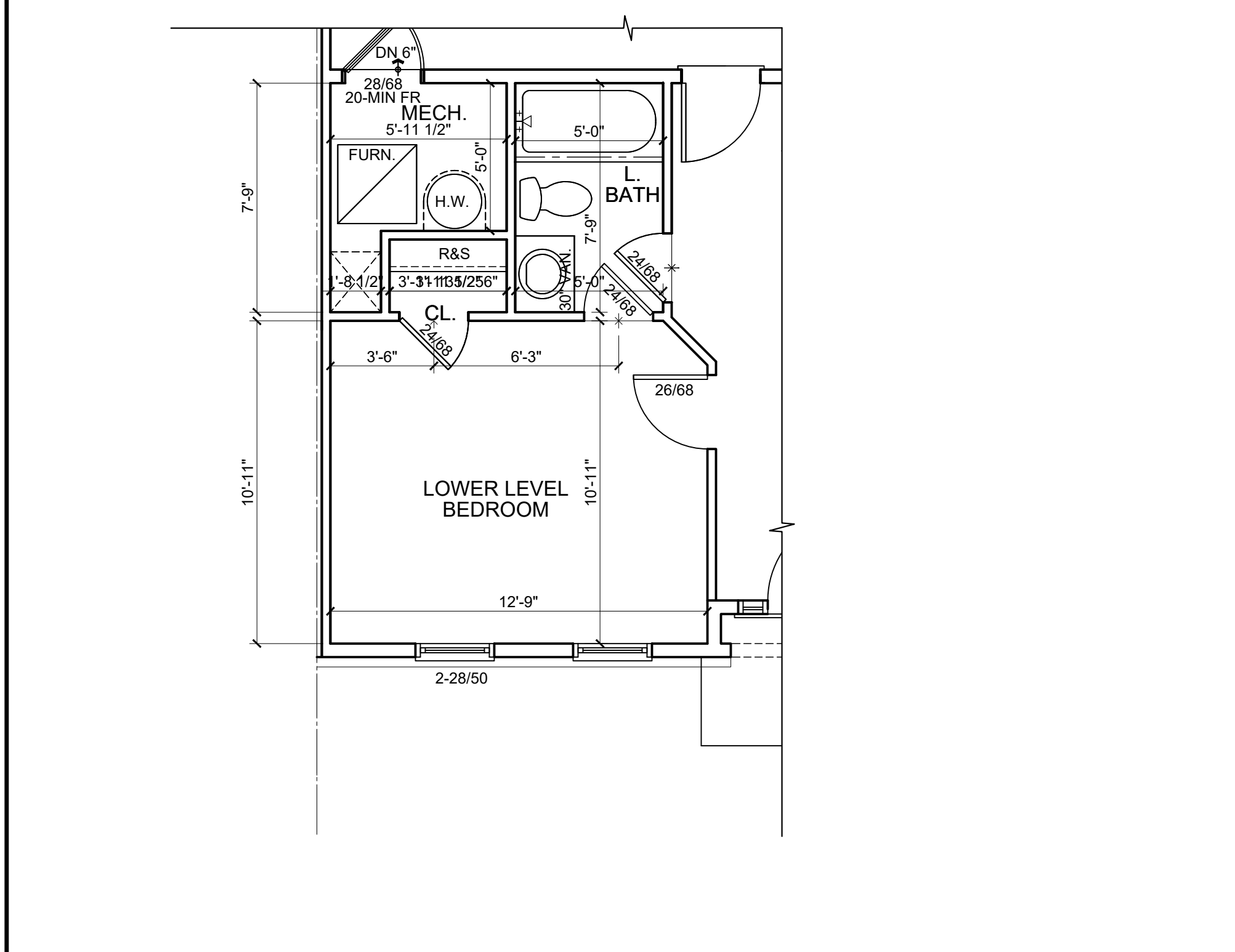
NOTE:
 ALL WINDOWS WITH A SILL HEIGHT LOCATED 72" OR MORE ABOVE THE EXTERIOR GRADE SHALL HAVE AN INTERIOR SILL HEIGHT OF NO LESS THAN 24" ABOVE FINISHED FLOOR. SILL HEIGHT MAY BE LOCATED LESS THAN 24" ABOVE INTERIOR FINISHED FLOOR, BUT NO LESS THAN 18" ABOVE INTERIOR FINISHED FLOOR, IF WINDOW GUARDS IN ACCORDANCE WITH ASTM F2006 FOR NON-EMERGENCY EGRESS WINDOWS AND ASTM F2090 FOR EMERGENCY EGRESS WINDOWS ARE INSTALLED.

NOTE:
 ALL EXTERIOR WALLS TO BE 5 1/2". UNLESS OTHERWISE NOTED; ALL INTERIOR WALLS TO BE 3 1/2", UNLESS OTHERWISE NOTED

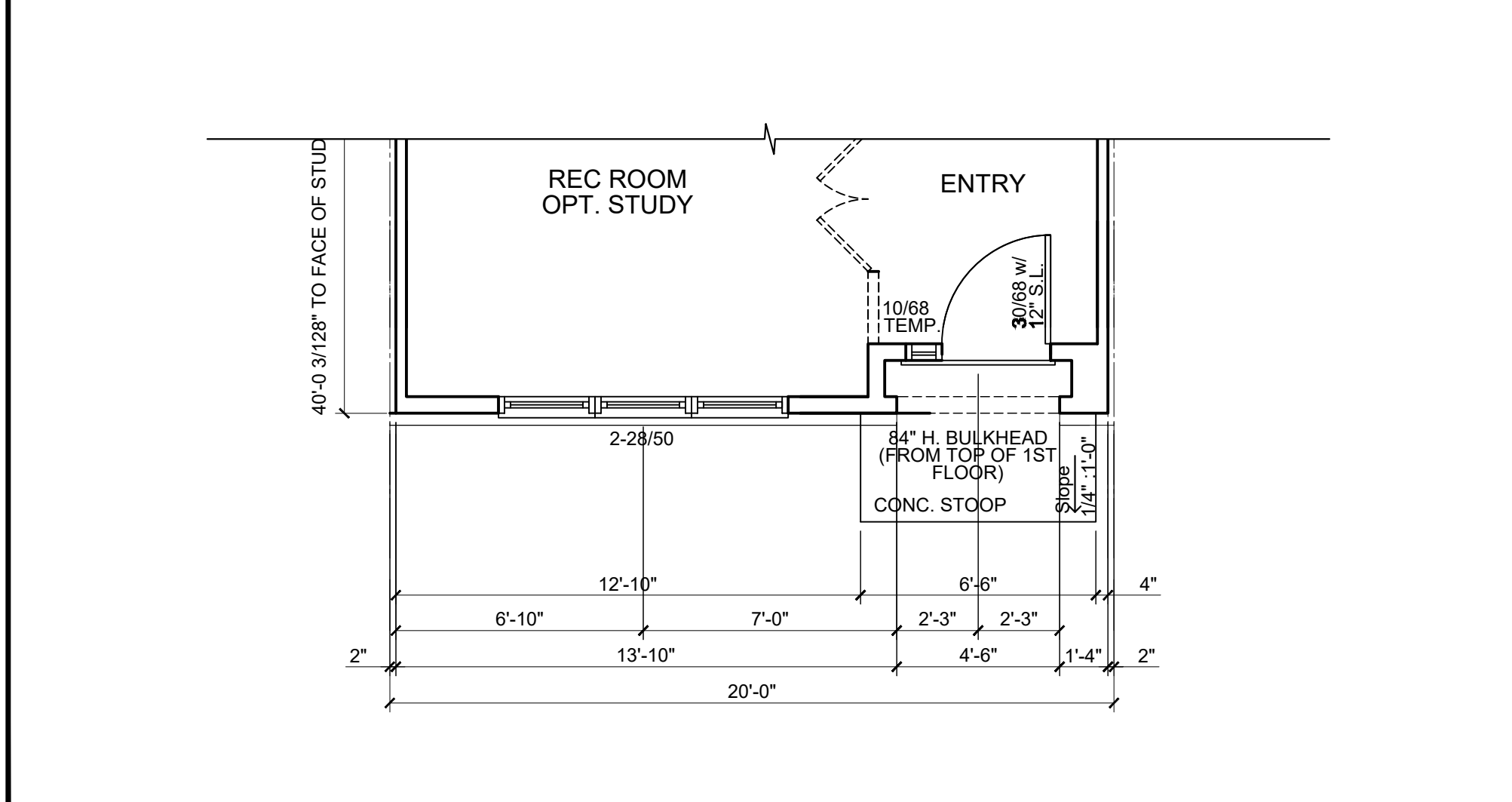
NOTE: THE COMMON WALL SHARED BY TWO TOWNHOMES SHALL BE CONSTRUCTED WITH OUT PLUMBING OR MECHANICAL EQUIPMENT, DUCTS OR VENTS IN THE CAVITY OF THE COMMON WALL.



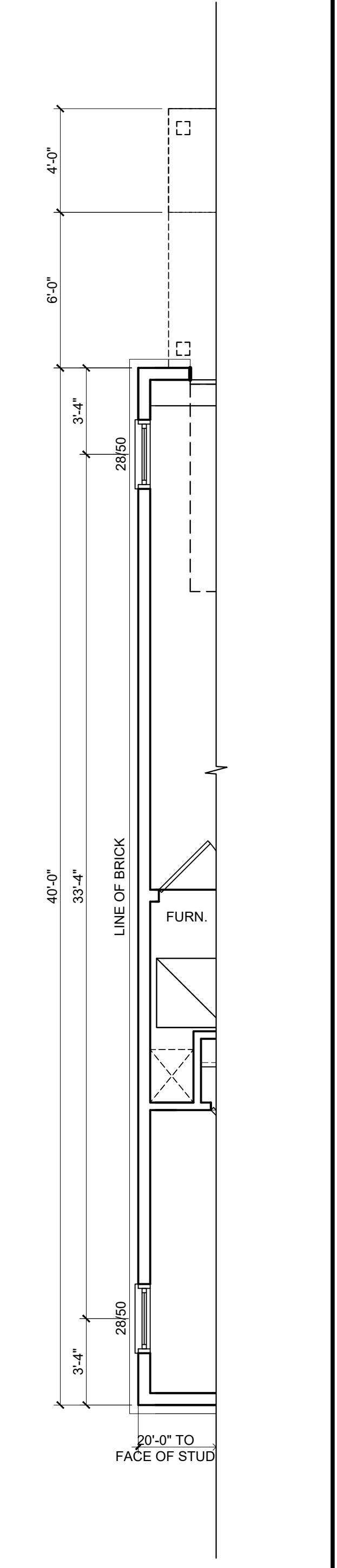
PART.FLR PLAN@OPT.REC RM W/FULL BATH & CL. SCALE: 1/4"=1'-0" 4



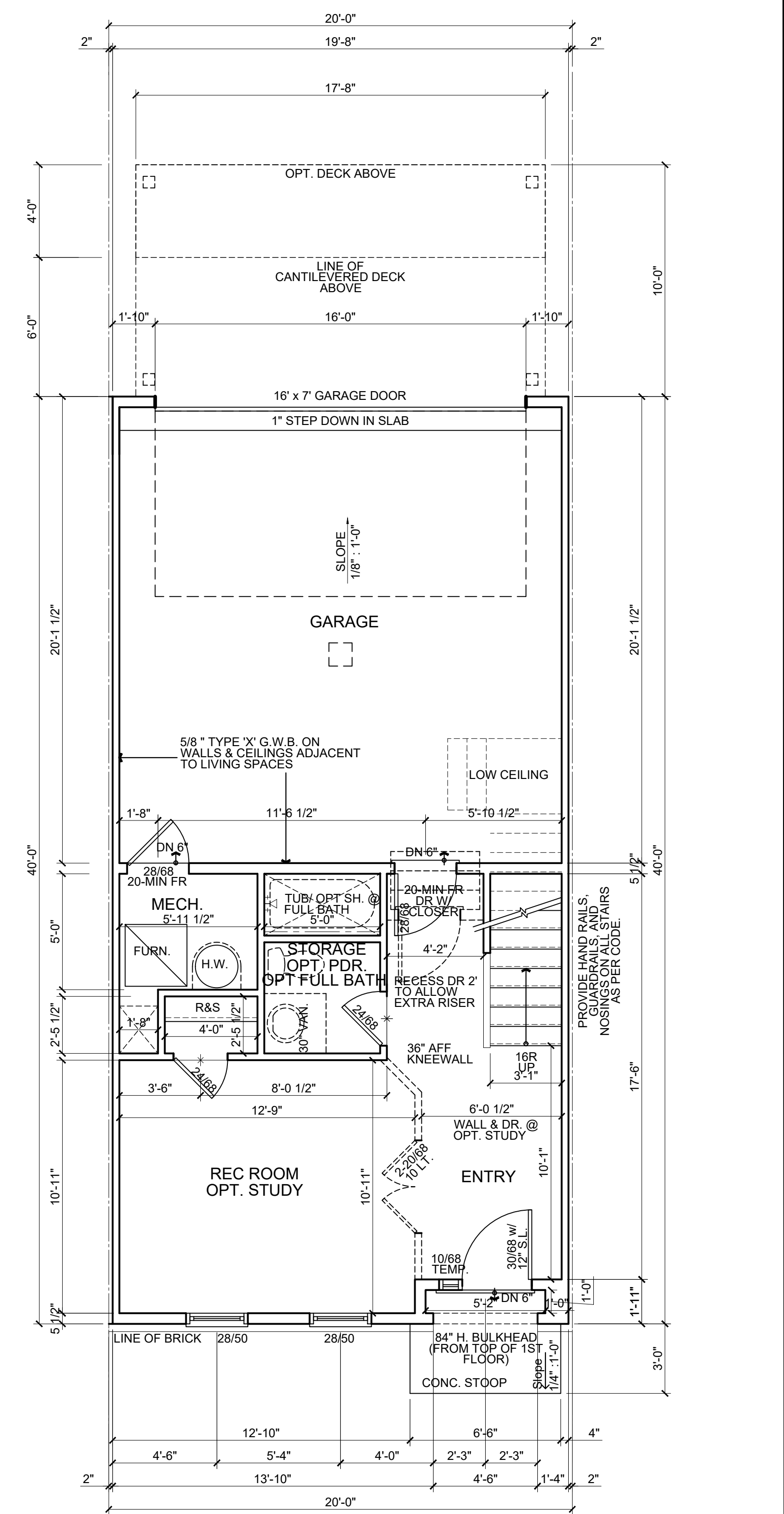
PART. FIRST FLOOR PLAN @ OPT. L. L. BEDROOM SCALE: 1/4"=1'-0" 3



PARTIAL FIRST FLOOR PLAN @ ELEVATION B& C SCALE: 1/4"=1'-0" 2



PARTIAL FIRST FLOOR @ END CONDITION



FIRST FLOOR PLANS @ ELEVATION A SCALE: 1/4"=1'-0" 1



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 Suite 600
 Tysons, VA 22182
 ktgy.com
 703.992.6116

KTGY Project No: 20150204

Project Contact: Kit Thackrey
Email: kthackrey@ktgy.com

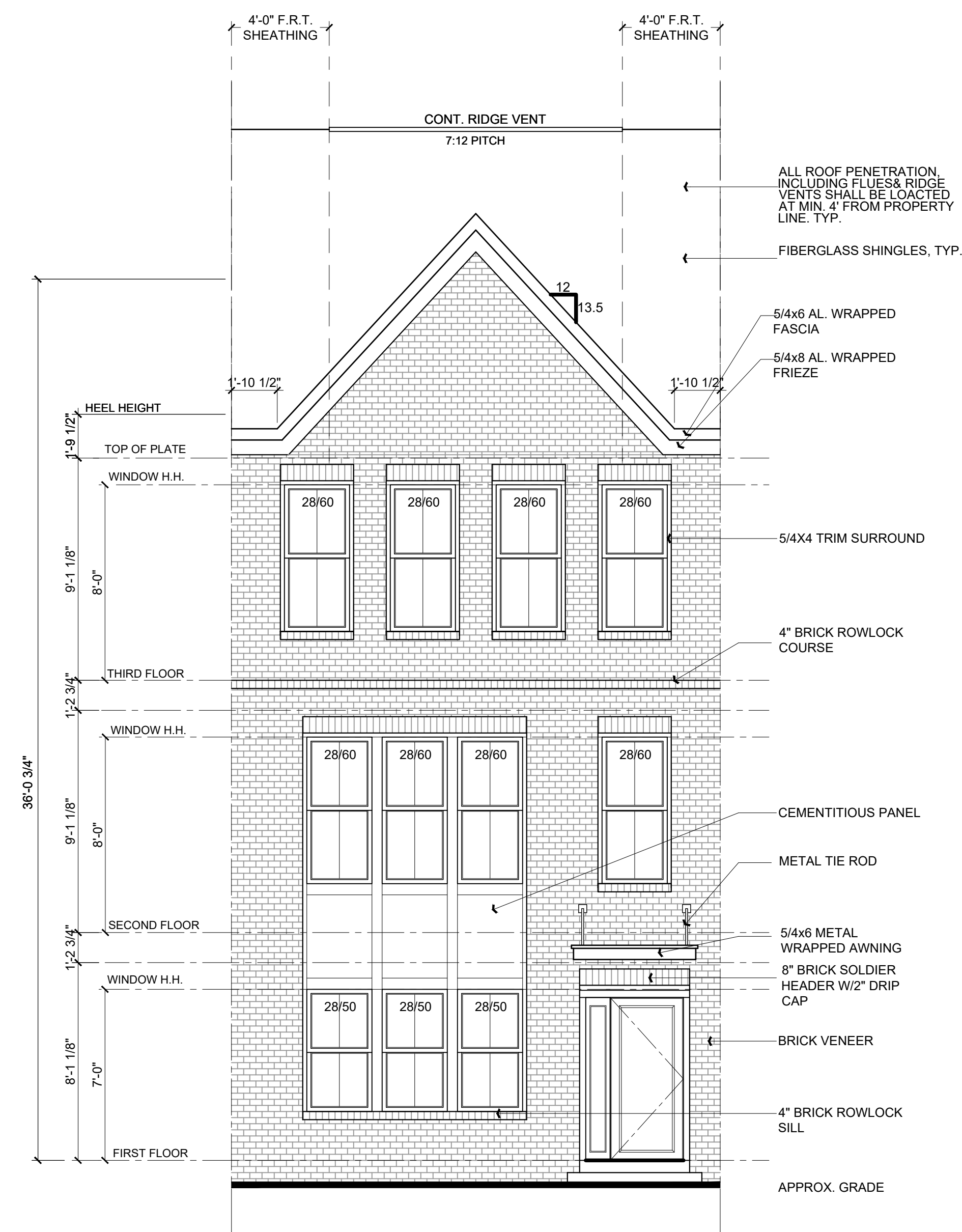
Principal: Smita Anand
Project Designer: Smita Anand

Developer

TIMBERLAKE HOMES
 304 HARRY S. TRUMAN PKWY
 SUITE M
 ANNAPOLIS, MD 21401
PHONE NO. 443.837.3134
FAX NO. ----

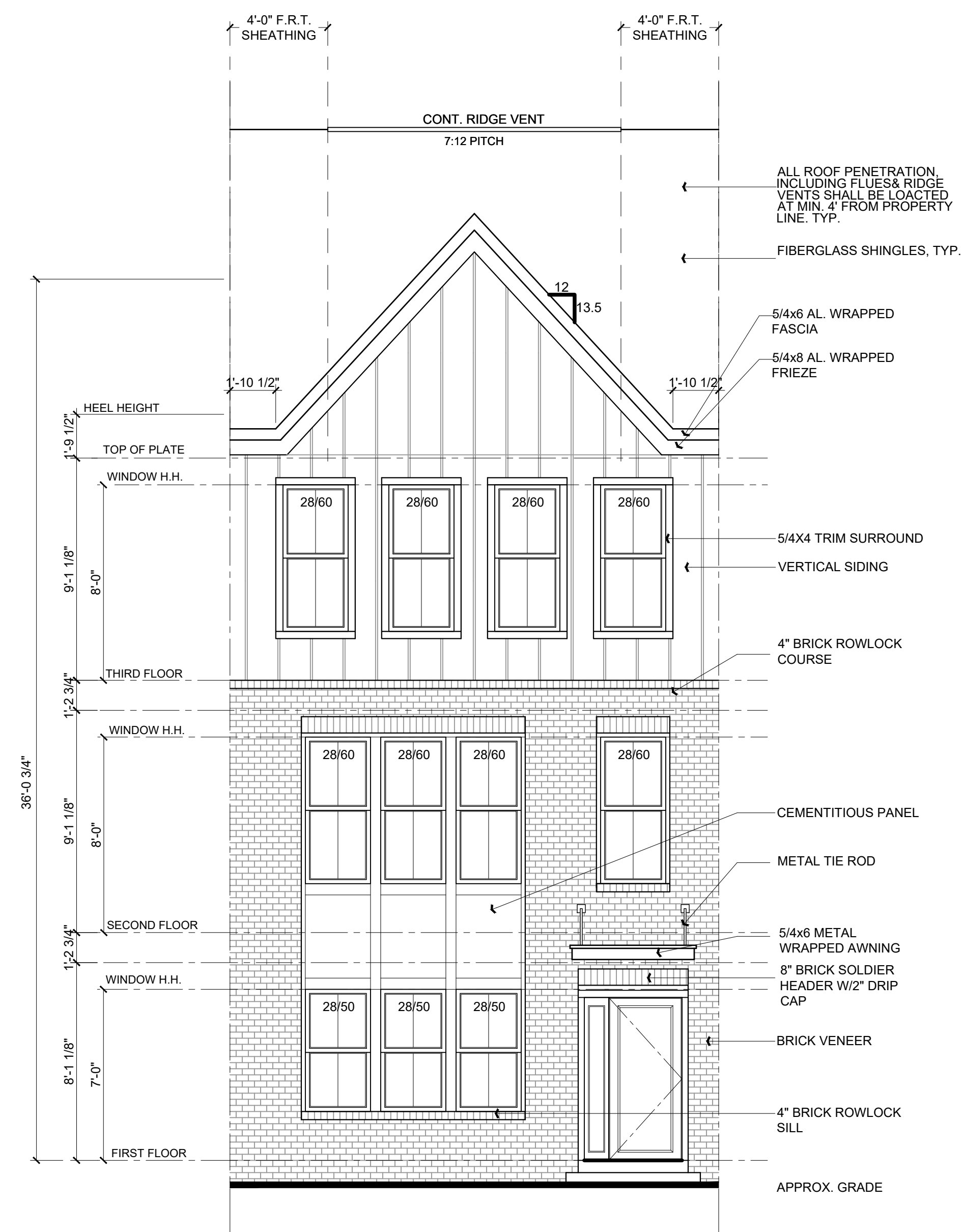
FAIRWOOD SQUARE
 PRINCE GEORGE'S COUNTY, MD

FOXGLOVE - 20x40 TH



FRONT ELEVATION B @ FULL BRICK

SCALE: 1/4"=1'-0" **2**



FRONT ELEVATION B @ 2/3 BRICK

SCALE: 1/4"=1'-0" **1**

No. Date Description

No.	Date	Description

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Sept. 13, 2022

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FRONT ELEVATION

A-202



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KTGY Project No: 20150204

Project Contact: Kit Thackrey
Email: kthackrey@ktgy.com

Principal: Smita Anand
Project Designer: Smita Anand

Developer

TIMBERLAKE HOMES
 304 HARRY S. TRUMAN PKWY
 SUITE M
 ANNAPOLIS, MD 21401
 PHONE NO. 443.837.3134
 FAX NO. ----

FAIRWOOD SQUARE
 PRINCE GEORGE'S COUNTY, MD
FOXGLOVE - 20x40 TH

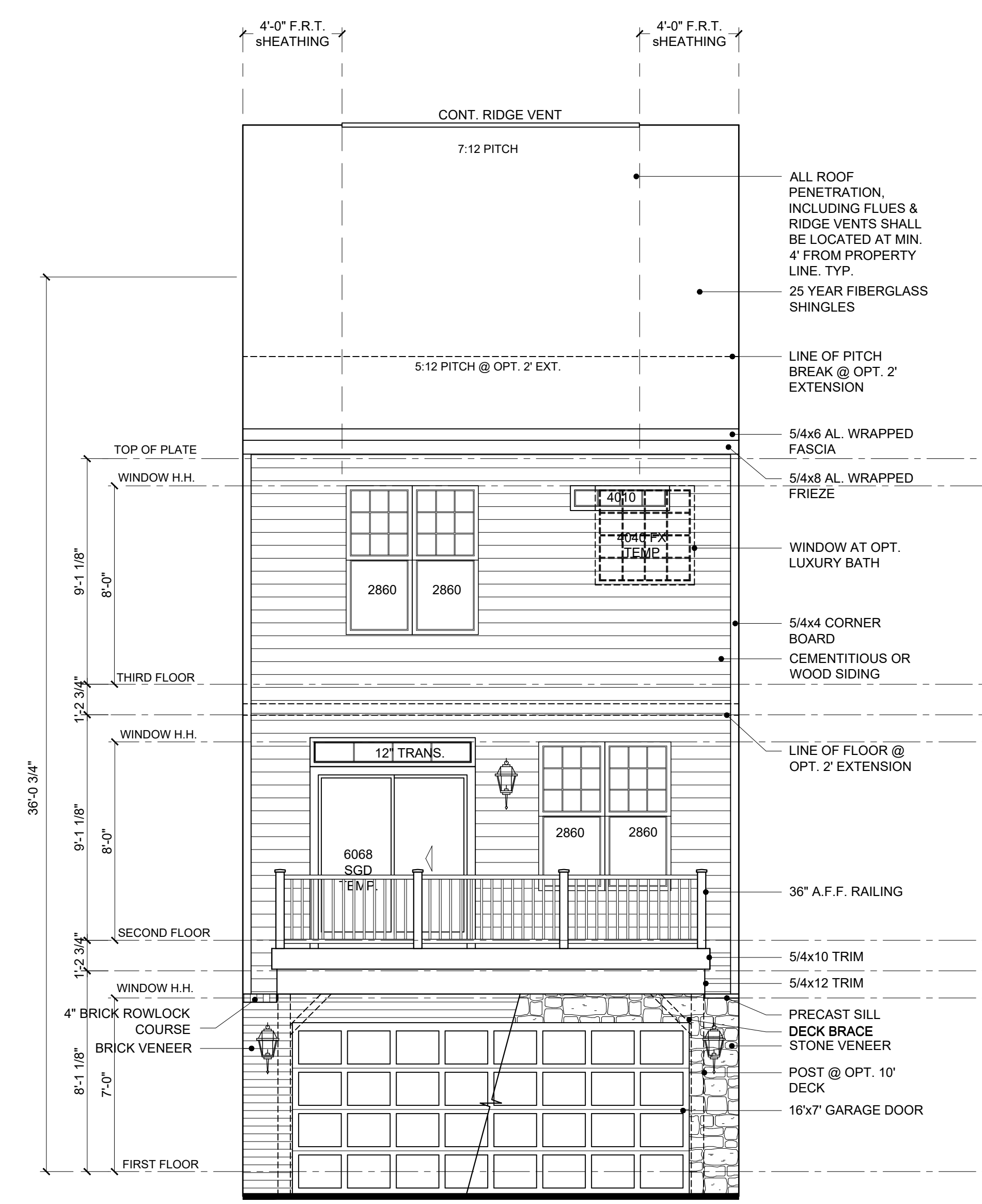
No.	Date	Description

It is the clients responsibility prior to or during construction to notify the architect in writing of any perceived errors or omissions in the plans and specifications of which a contractor thoroughly knowledgeable with the building codes and methods of construction should reasonably be aware. Written instructions addressing such perceived errors or omissions shall be received from the architect prior to the client or clients subcontractors proceeding with the work. The client will be responsible for any defects in construction if these procedures are not followed.



License Stamp

REAR ELEVATION
A-210



REAR ELEVATION @ ALL OPTIONS SCALE: 1/4"=1'-0" **1**



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 ktgy.com
 703.992.6116

KTGY Project No: 20150204

Project Contact: Kit Thackrey
Email: kthackrey@ktgy.com

Principal: Smita Anand
Project Designer: Smita Anand

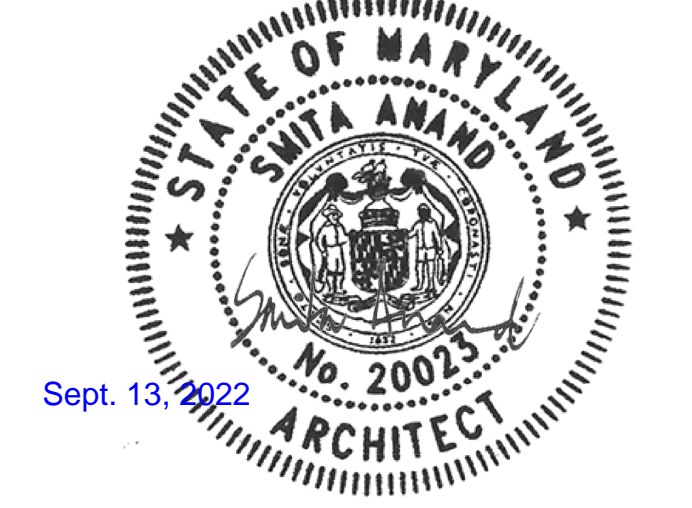
Developer

TIMBERLAKE HOMES
 304 HARRY S. TRUMAN PKWY
 SUITE M
 ANNAPOLIS, MD 21401
 PHONE NO. 443.837.3134
 FAX NO. ----

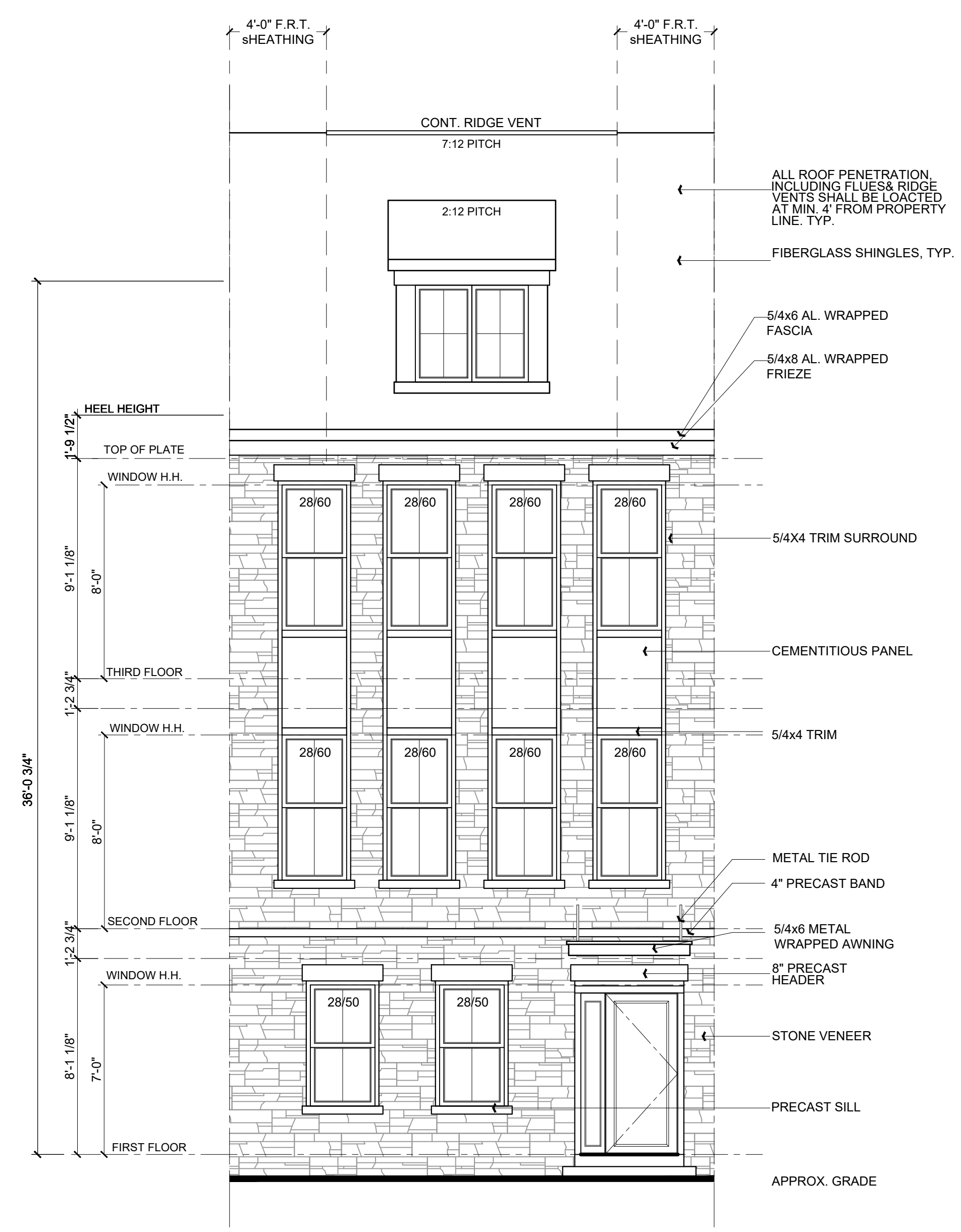
FAIRWOOD SQUARE
 PRINCE GEORGE'S COUNTY, MD
REDWOOD - 20X40 TH

No.	Date	Description

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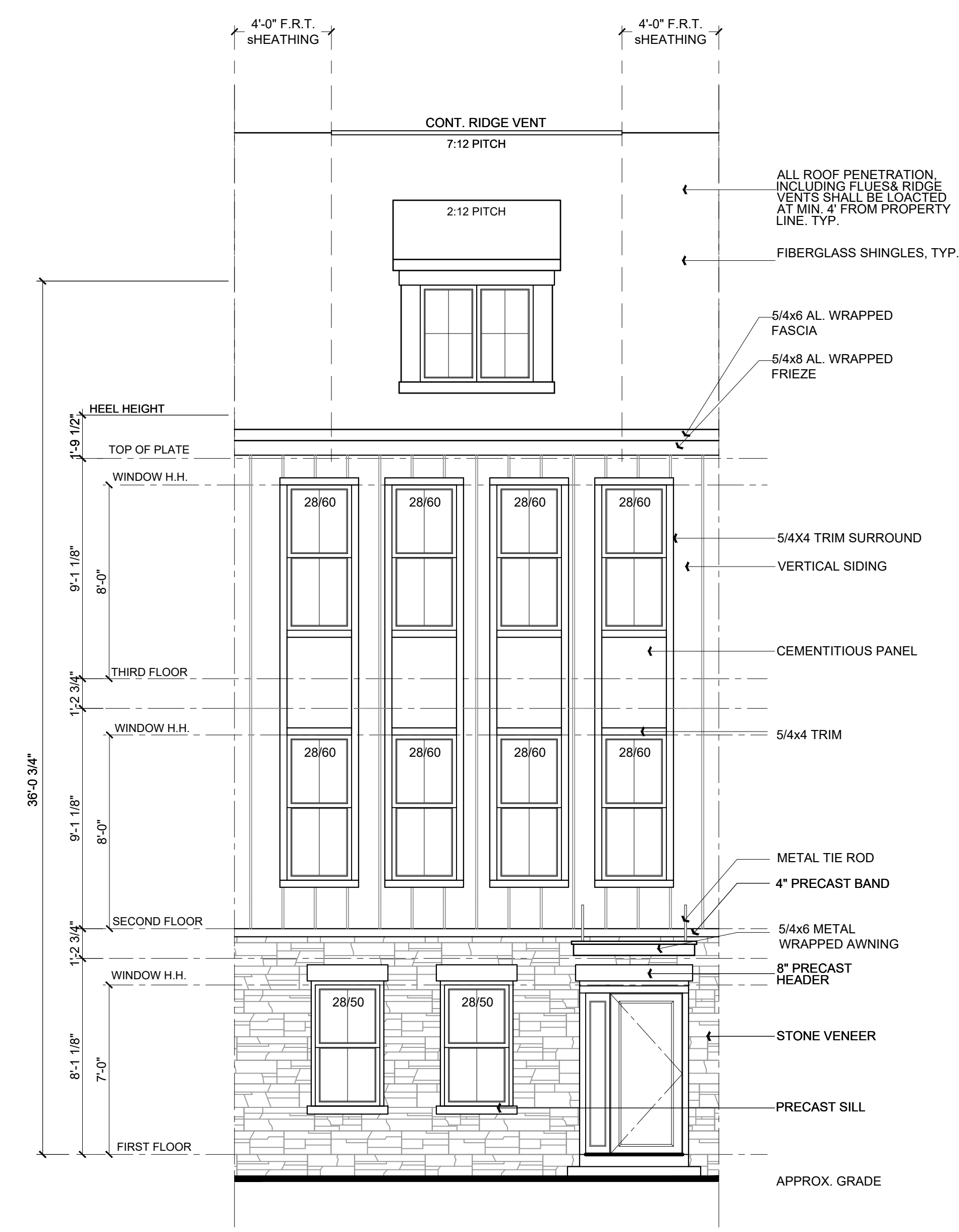


FRONT ELEVATION



FRONT ELEVATION A @ FULL STONE

SCALE: 1/4"=1'-0" **2**



FRONT ELEVATION A @ 1/3 STONE

SCALE: 1/4"=1'-0" **1**



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 FAX NO. ----

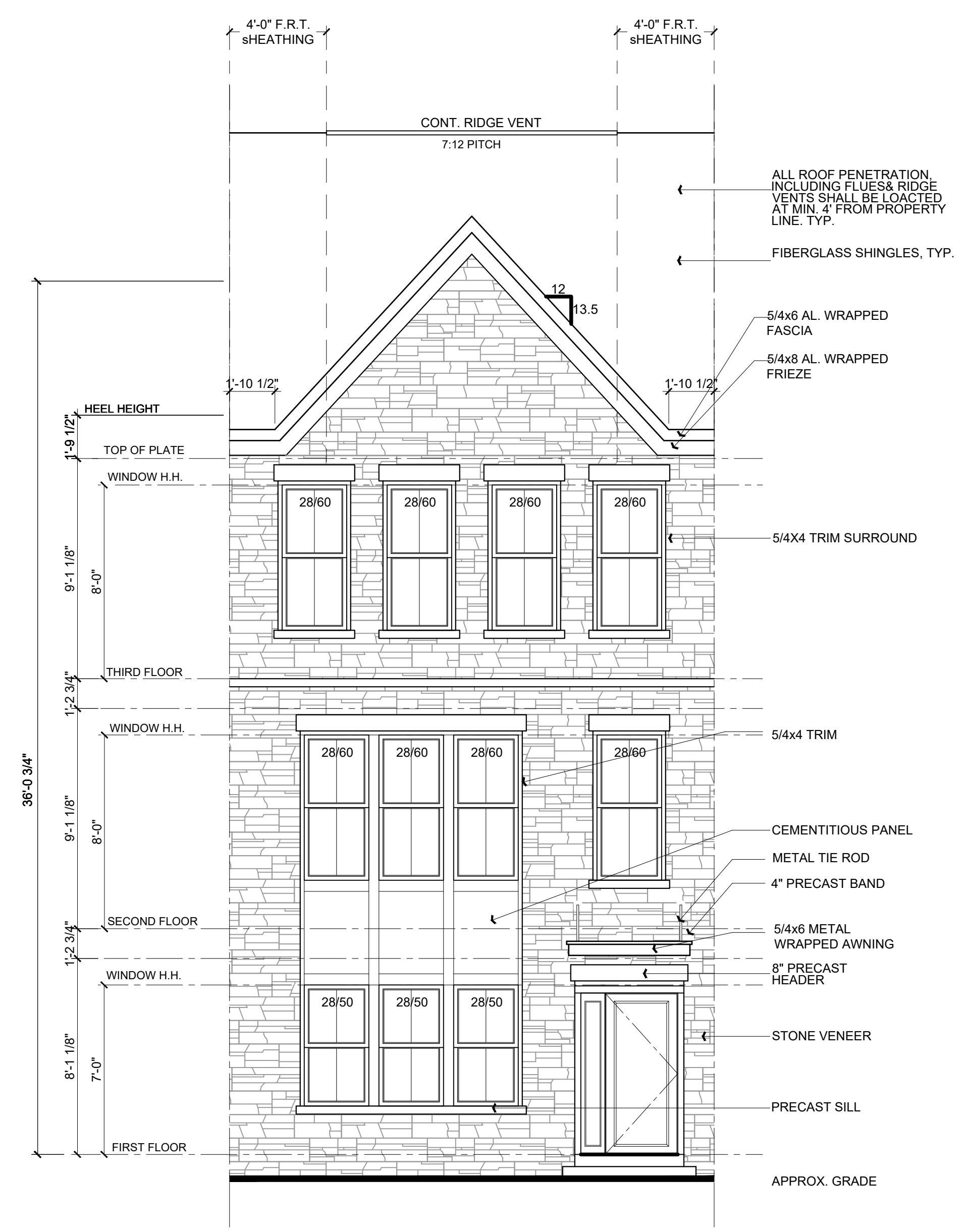
FAIRWOOD SQUARE
 PRINCE GEORGE'S COUNTY, MD
REDWOOD - 20X40 TH

No.	Date	Description

It is the clients responsibility prior to or during construction to notify the architect in writing of any perceived errors or omissions in the plans and specifications of which a contractor throughly knowledgeable with the building codes and methods of construction should reasonably be aware. Written instructions addressing such perceived errors or omissions shall be received from the architect prior to the client or clients subcontractors proceeding with the work. The client will be responsible for any defects in construction if these procedures are not followed.

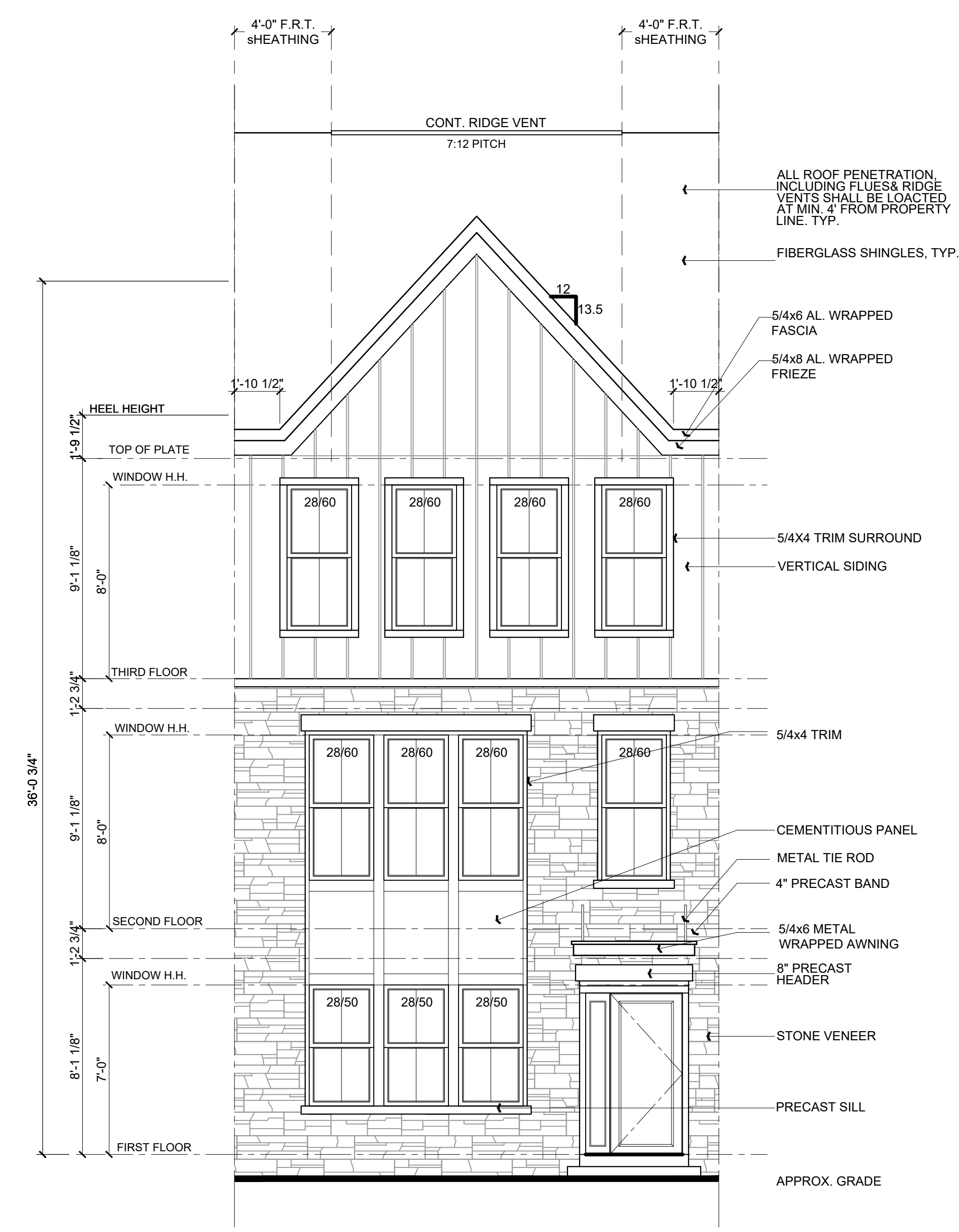


FRONT ELEVATION



FRONT ELEVATION B @ FULL STONE

SCALE: 1/4"=1'-0" **2**



FRONT ELEVATION B @ 2/3 STONE

SCALE: 1/4"=1'-0" **1**



Architecture + Planning
 8609 Westwood Center Dr.
 Suite 600
 Tysons, VA 22182
 ktgy.com
 703.992.6116

KTGY Project No: 20150204

Project Contact: Kit Thackrey
Email: kthackrey@ktgy.com

Principal: Smita Anand
Project Designer: Smita Anand

Developer

TIMBERLAKE HOMES
 304 HARRY S. TRUMAN PKWY
 SUITE M
 ANNAPOLIS, MD 21401
 PHONE NO. 443.837.3134
 FAX NO. ----

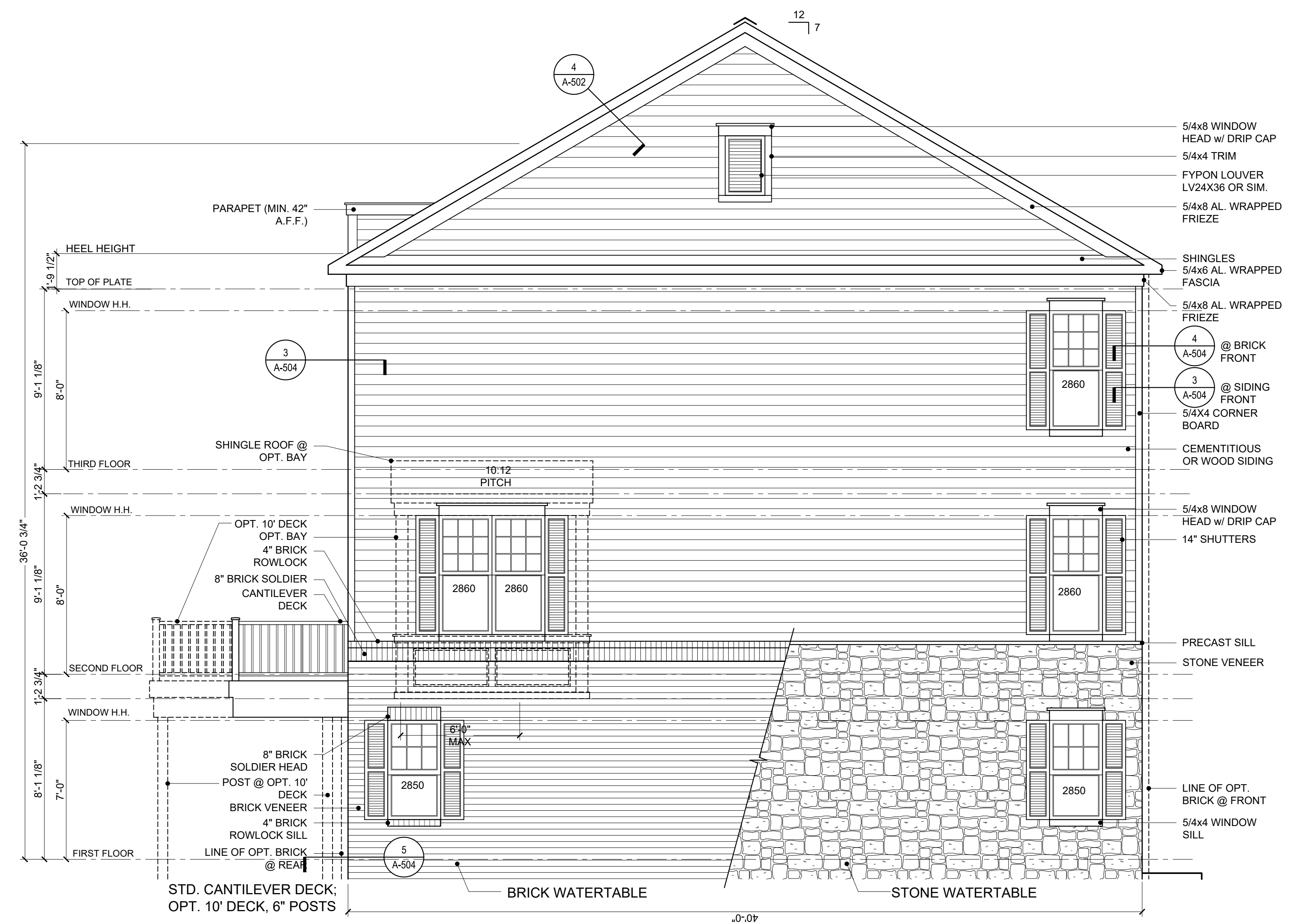
FAIRWOOD SQUARE
 PRINCE GEORGE'S COUNTY, MD
REDWOOD - 20X40 TH

No.	Date	Description

It is the clients responsibility prior to or during construction to notify the architect in writing of any perceived errors or omissions in the plans and specifications of which a contractor throughly knowledgeable with the building codes and methods of construction should reasonably be aware. Written instructions addressing such perceived errors or omissions shall be received from the architect prior to the client or clients subcontractors proceeding with the work. The client will be responsible for any defects in construction if these procedures are not followed.



LEFTSIDE ELEVATIONS
A-221



LEFT SIDE ELEVATION @ END UNITS SCALE: 1/4"=1'-0" **1**

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TIMBERLAKE HOMES

304 HARRY S TRUMAN PARKWAY, SUITE M
ANNAPOLIS, MD. 21401

TEL 301-350-0400
FAX 301-336-0885

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"LIBERTY"

24 x 40' TOWNHOUSE - LIBERTY

LOWER LEVEL	540 SQ. FT.
FIRST FLOOR	955 SQ. FT.
SECOND FLOOR	955 SQ. FT.
TOTAL	2450 SQ. FT.

ELEVATION #3	+15 SQ. FT.
OPT. SUNROOM	+360 SQ. FT.

REVISIONS		
DATE	COMMENTS	BY
03-18-2019	PRELIMINARY REVIEW	AJH
04-19-2019	MID-POINT REVIEW	AJH
05-17-2019	CLIENT COMMENTS & UPDATE DESIGN	AJH
06-01-2019	CLIENT COMMENTS & SENT FOR LATERAL BRACING	AJH
07-03-2019	ISSUE PERMIT SET	AJH
07-16-2019	UPDATE LATERAL BRACING PER ENGINEER	AJH
11-27-19	FOUNDATION REDLINES PER ENGINEER	ACI
04-28-2022	2018 CODE UPDATE- URBANESQUE ELEV. ADDED	TPF
05-13-2022	UPDATED SET	TPF

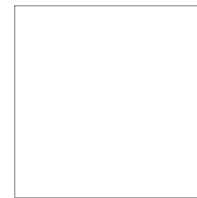
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2.0	IRC GENERAL NOTES
2.1	RES-CHECK COMPLIANCE FORMS
2.1A	IECC COMPLIANCE NOTES
2.2	PG COUNTY DETAILS
3.1	FRONT ELEVATION 1
3.1A	ELEV 1 OPT. END UNIT
3.2	FRONT ELEVATION 2
3.2A	ELEV 2 OPT. END UNIT
3.3	FRONT ELEVATION 3
3.3A	ELEV 3 OPT. END UNIT
3.4	REAR ELEVATION
3.5	URBANESQUE ELEVATIONS
3.6	PROPOSED STRIP ELEVATION - LIBERTY
4.1	FOUNDATION PLAN
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5.1C	URBANESQUE FIRST FLOOR- MID KITCHEN
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7.1A	OPTIONAL SUNROOM - PLANS
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8.1	2-HOUR FIRE WALL DETAILS
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S1.1	FIRST FLOOR FRAMING PLAN
S2.1	SECOND FLOOR FRAMING PLAN
S3.1	ROOF FRAMING
LB-1	LATERAL BRACING DETAILS
LB-2	LATERAL BRACING DETAILS
LB-3	LATERAL BRACING DETAILS
LB-4	FOUNDATION LATERAL BRACING PLAN
LB-5	LOWER LEVEL LATERAL BRACING PLAN
LB-6	FIRST FLOOR LB-REAR KITCHEN
LB-6A	FIRST FLOOR LB - MID KITCHEN
LB-6B	URBANESQUE FIRST FLOOR LB
LB-6C	URBANESQUE FIRST FLOOR LB
LB-7	SECOND FLOOR LATERAL BRACING PLANS
LB-8	OPT. SUNROOM LATERAL BRACING

ALL WORK SHALL COMPLY WITH 2018 INTERNATIONAL RESIDENTIAL CODE W/ AMENDMENTS

WALL BRACING SHALL BE IN ACCORDANCE WITH ENGINEERED DESIGN and CONTINUOUSLY SHEATHED W/ 7/16" WOOD SHEATHING

FLOOR FRAMING TO BE 14" ENGINEERED FLOOR SYSTEM (DESIGNED BY TRUSS MANUFACTURER)

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license number 5921
expiration date 04-03-2024



** THE LOCAL JURISDICTION SHALL FILL IN THIS TABLE WITH LOCAL CLIMATIC AND GEOGRAPHIC CRITERIA **

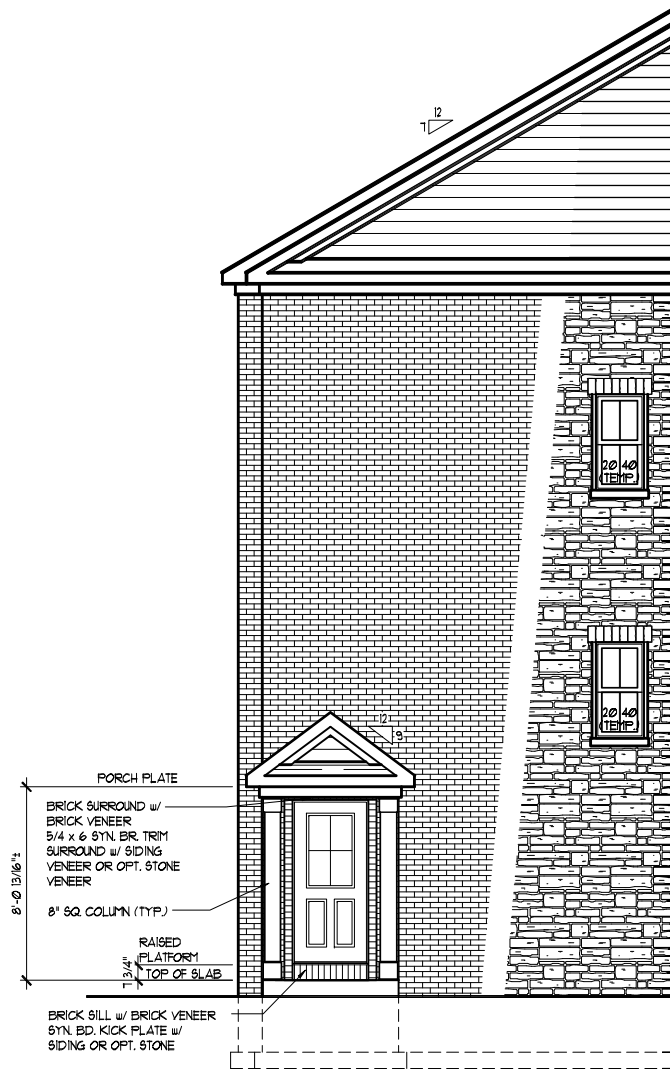
2018 CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA: PRINCE GEORGES COUNTY MARYLAND													
GROUND SNOW LOAD	WIND DESIGN				SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP.	ICE BARRIER UNDERLAYMENT REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP
	Speed (mph)	Topographic Effects	Special Wind Region	Windborne Debris Zone		Weathering	Frost Line Depth	Termite					
35 P&F	115	B			A/B	SEVERE	30"	MODERATE TO HEAVY					

STRUCT. REVIEW	05-13-2022
PROJECT REVIEW	05-13-2022

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8334 Main Street Ellicott City, MD 21043
ArchitectureCollaborative.com
Tel.: (410) 465-7500 Fax: (410) 465-0903

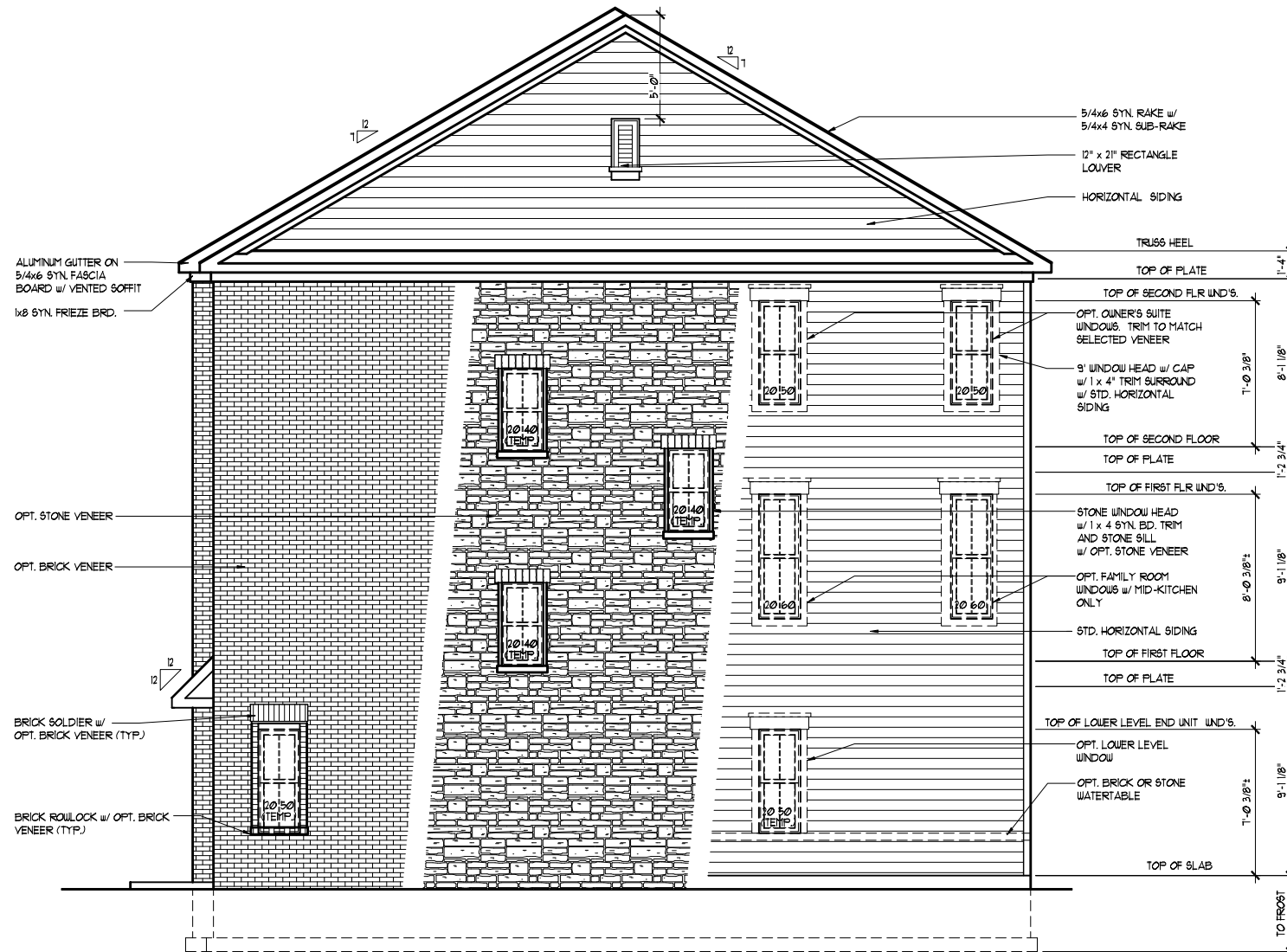
LIBERTY

TL172024



**RIGHT SIDE ELEVATION
w/ OPT. SIDE ENTRY
ELEVATION #1 (OPT. END UNIT)**

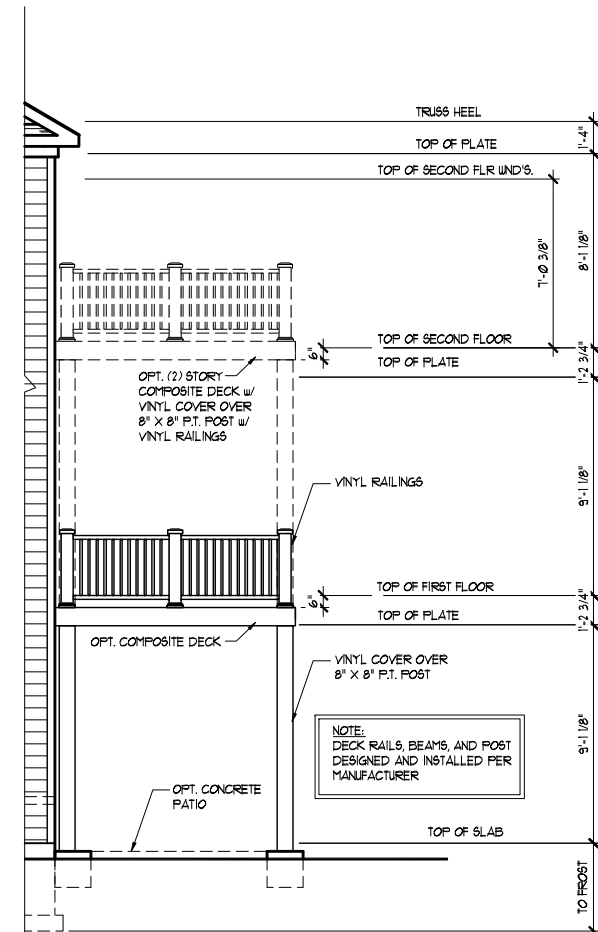
SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"



**RIGHT SIDE ELEVATION w/ OPT. END UNIT
ELEVATION #1**

SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"

NOTE:
OPT. WINDOW TRIM AS REQUIRED
WITH HIGH VISIBILITY OR AS PER
COMMUNITY REQUIREMENTS.



OPT. REAR DECK

SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"

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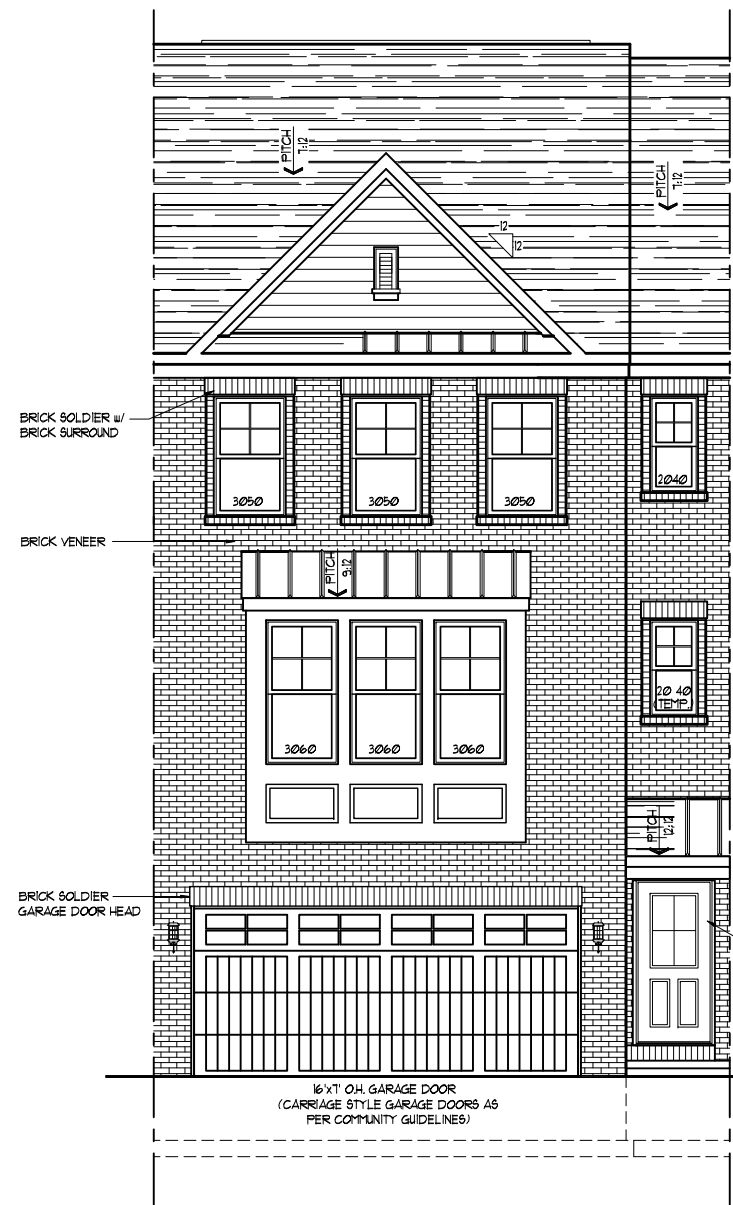
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Ellicott City, MD 21043
www.archcol.com
Tel.: (410) 465-7500 Fax: (410) 465-0903

content: **ELEV 1 OPT. END UNIT**
scale: 1" = 4' (34x22) file: **3.1A**
U.N.O. 1" = 8' (17x11)
date: **03/05/19**
drawn: **ACI**
TIMBERLAKE HOMES
LIBERTY
title

date	revision	by

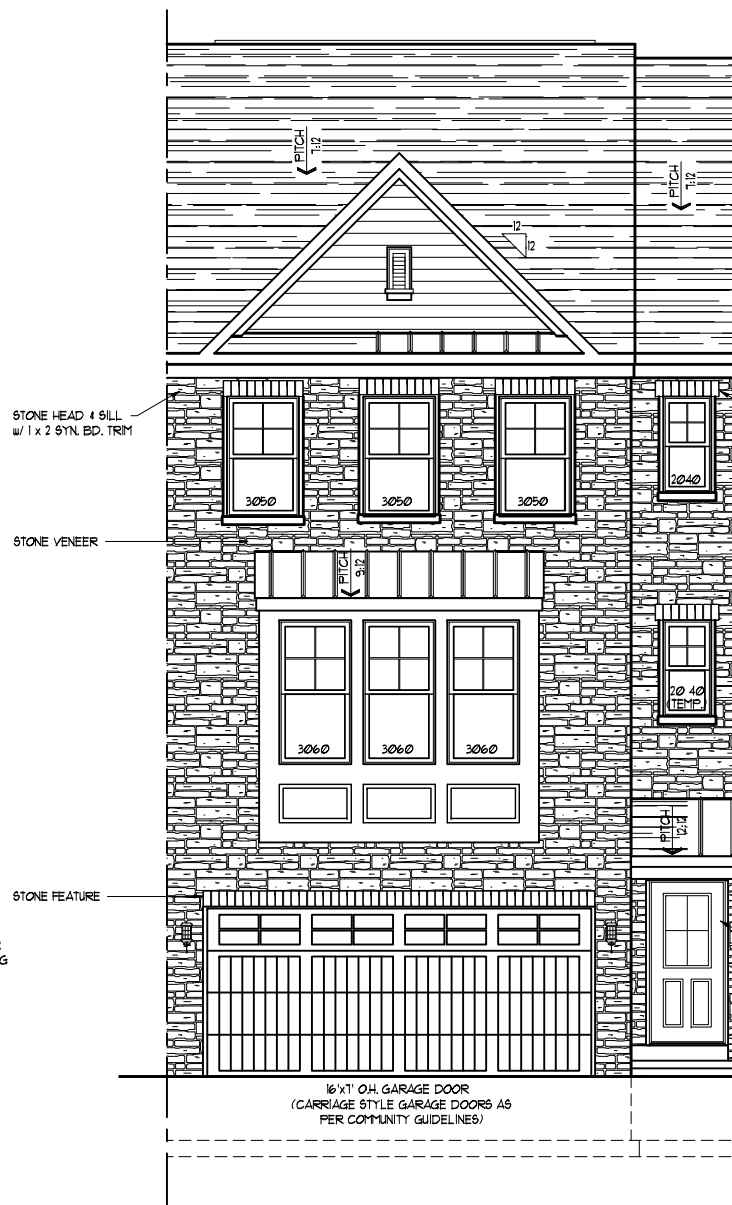
SHEET #
3.1A

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license number: **5621**
expiration date: **04-09-2024**



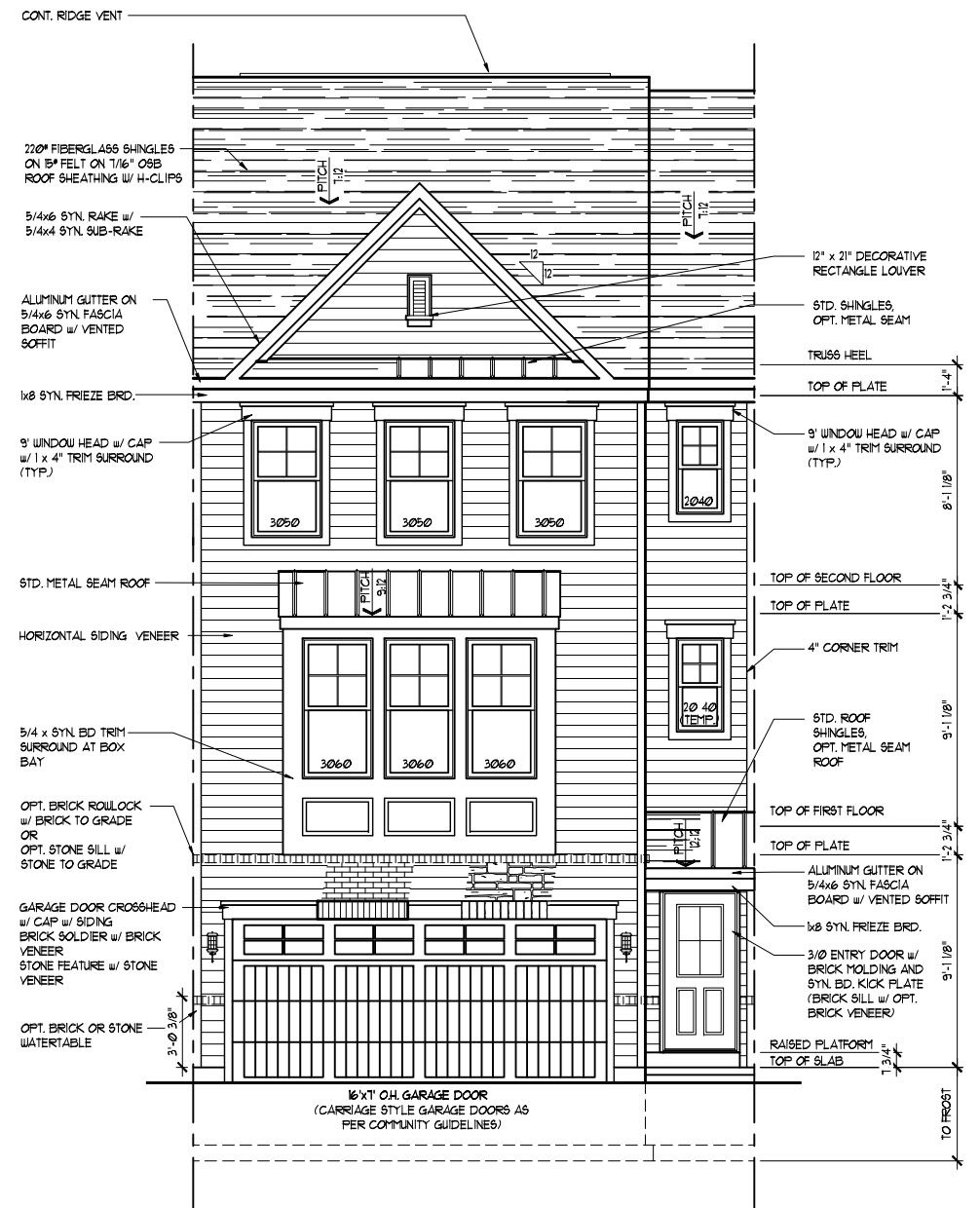
**ELEVATION #2
w/ BRICK VENEER**

SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"



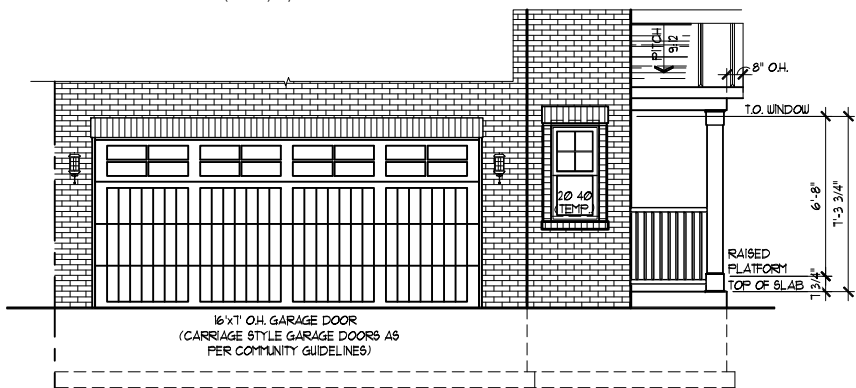
**ELEVATION #2
w/ STONE VENEER**

SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"



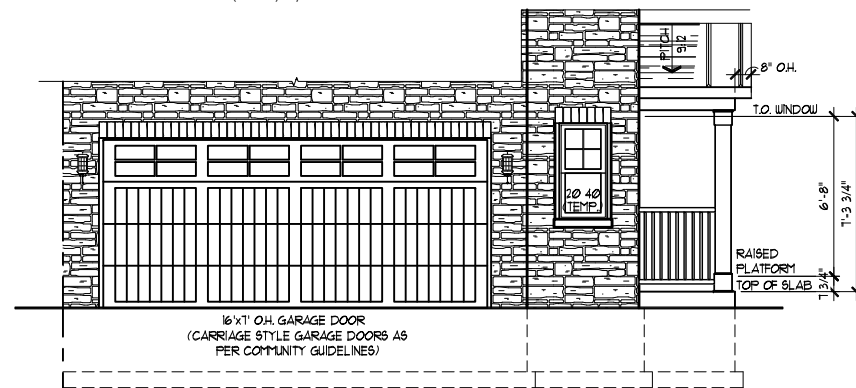
**ELEVATION #2
w/ SIDING VENEER**

SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"



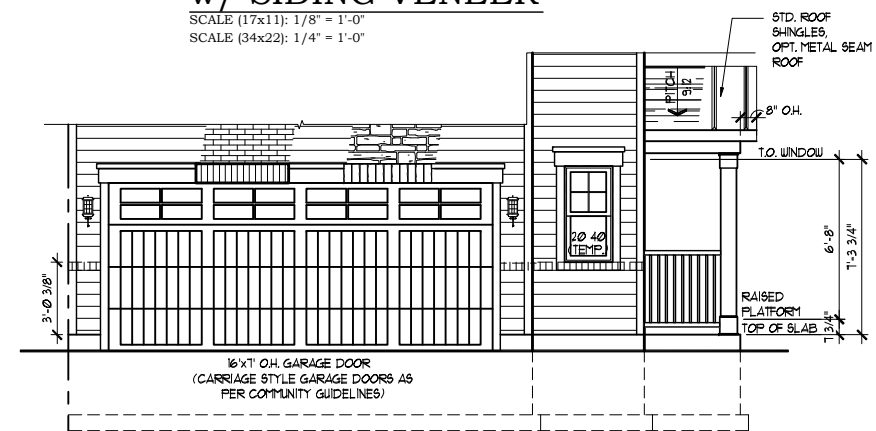
**ELEVATION #2 - OPT. SIDE ENTRY
w/ BRICK VENEER (OPT. END UNIT)**

SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"



**ELEVATION #2- OPT. SIDE ENTRY
w/ STONE VENEER (OPT. END UNIT)**

SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"



**ELEVATION #2- OPT. SIDE ENTRY
w/ SIDING VENEER (OPT. END UNIT)**

SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"

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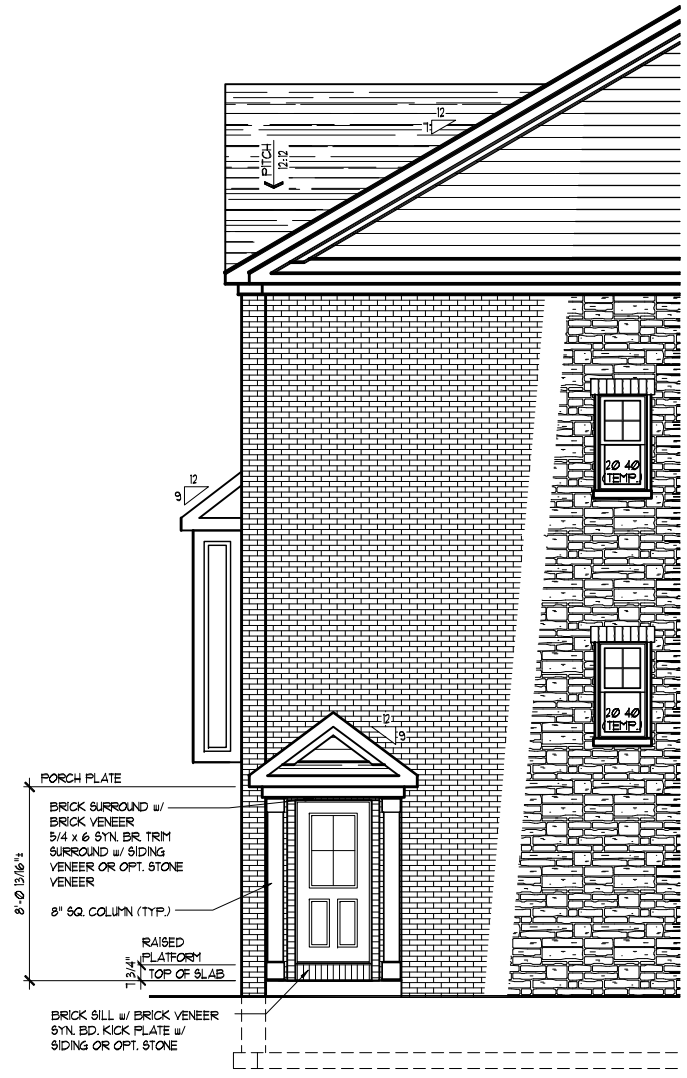
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8334 Main Street
Ellicott City, MD 21043
www.archcol.com
Tel.: (410) 465-7500 Fax: (410) 465-0903

content: FRONT ELEVATION 2
date: 03/05/19
drawn: ACI
file: (34x22)
U.N.O. 1" = 8' (17x11) 3/2
title: **TIMBERLAKE HOMES**
LIBERTY

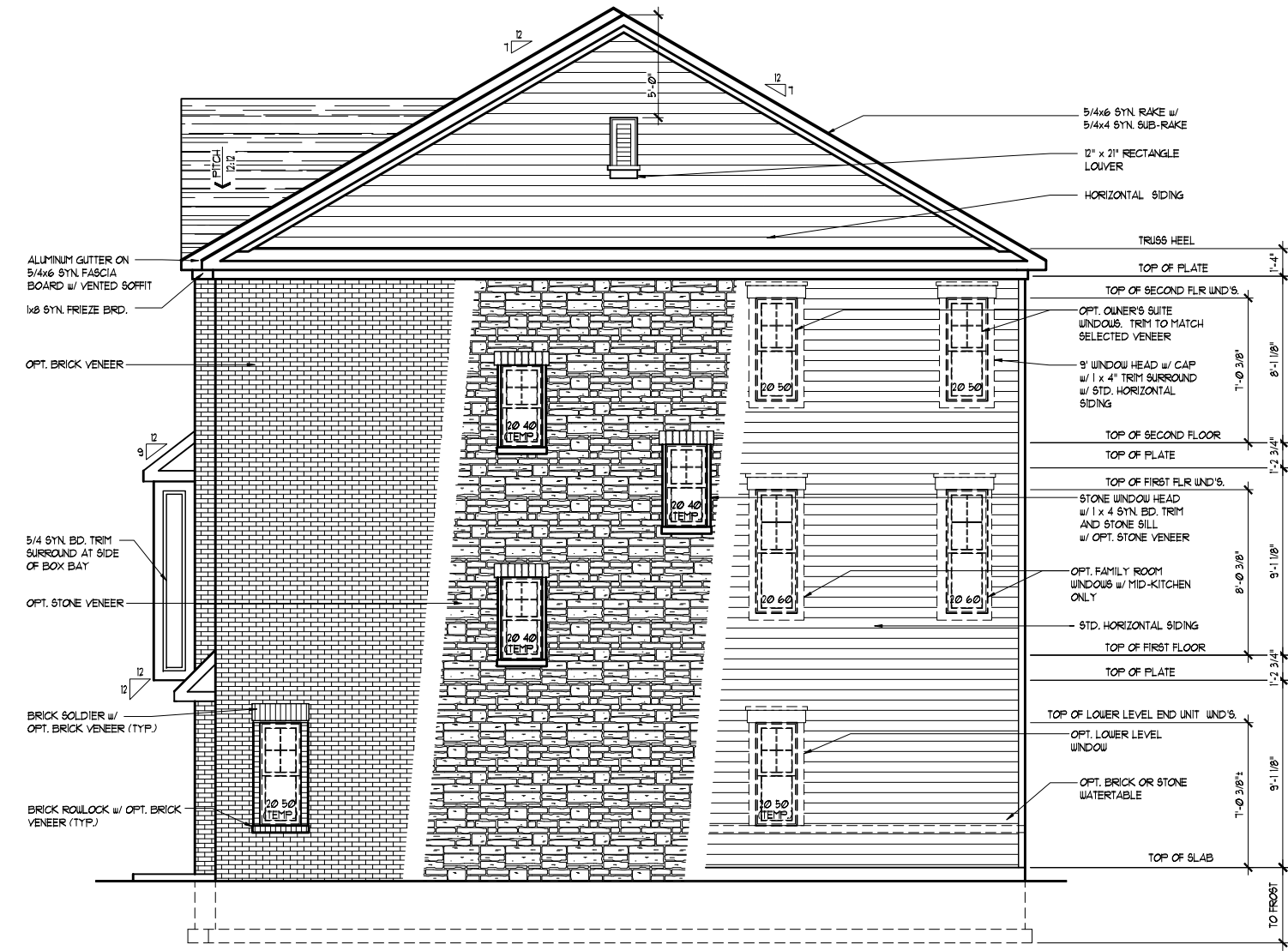
date	revision

SHEET #
3.2

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license number: 5921
expiration date: 04-09-2024

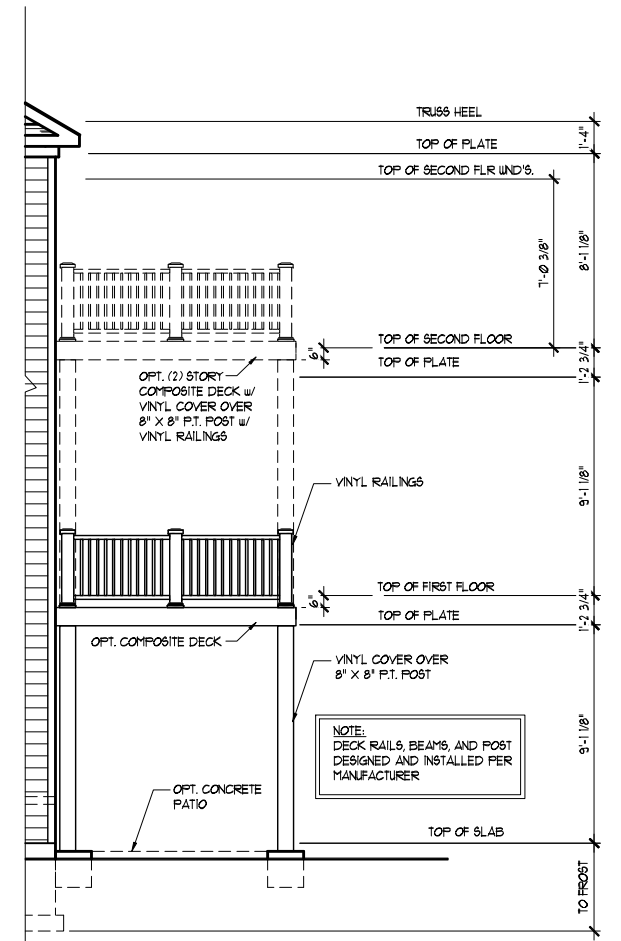


**RIGHT SIDE ELEVATION
w/ OPT. SIDE ENTRY
ELEVATION #2 (OPT. END UNIT)**
SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"



**RIGHT SIDE ELEVATION w/ OPT. END UNIT
ELEVATION #2**
SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"

NOTE:
OPT. WINDOW TRIM AS REQUIRED WITH HIGH VISIBILITY OR AS PER COMMUNITY REQUIREMENTS.



OPT. REAR DECK
SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"

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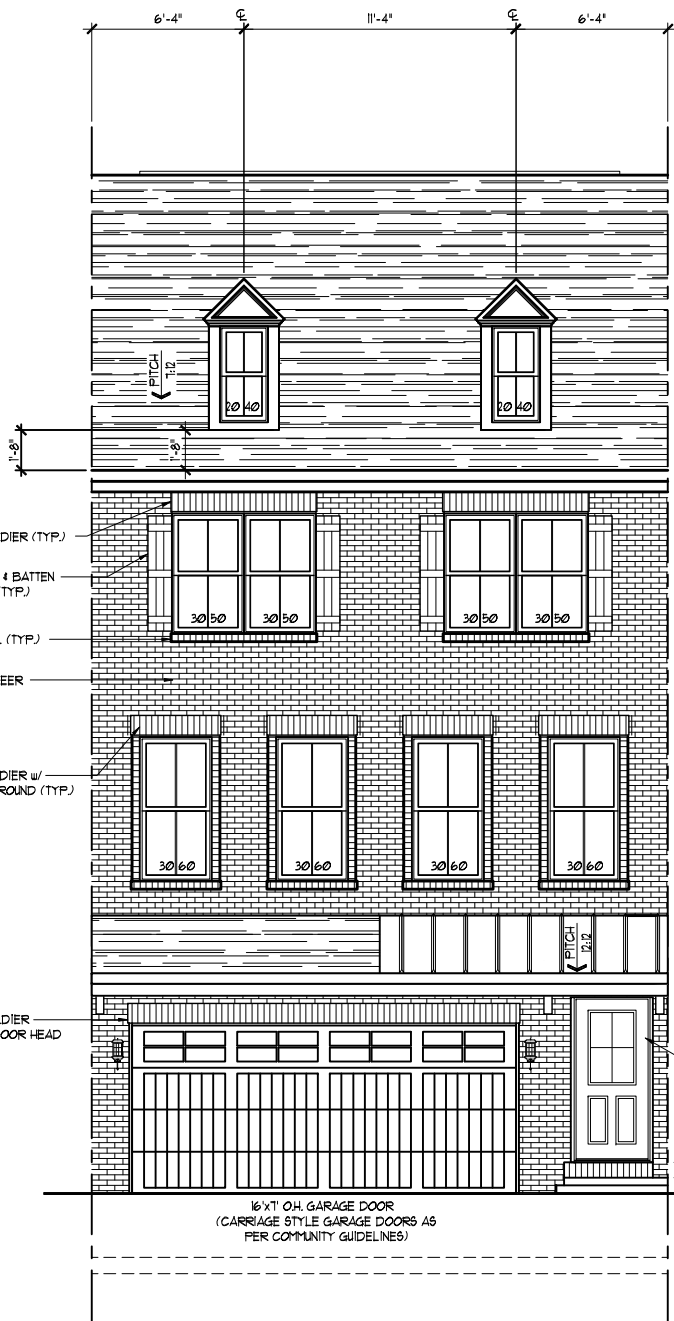
Architecture Collaborative, Inc.
8334 Main Street
Ellicott City, MD 21043
www.archcol.com
Tel.: (410) 465-7500 Fax: (410) 465-0903

ELEV 2 OPT. END UNIT
date: 03/05/19
drawn: ACI
file: 3.2A
U.N.O. 1" = 8' (17x11)
scale: 1" = 4' (34x22)
content: **TIMBERLAKE HOMES**
LIBERTY
title

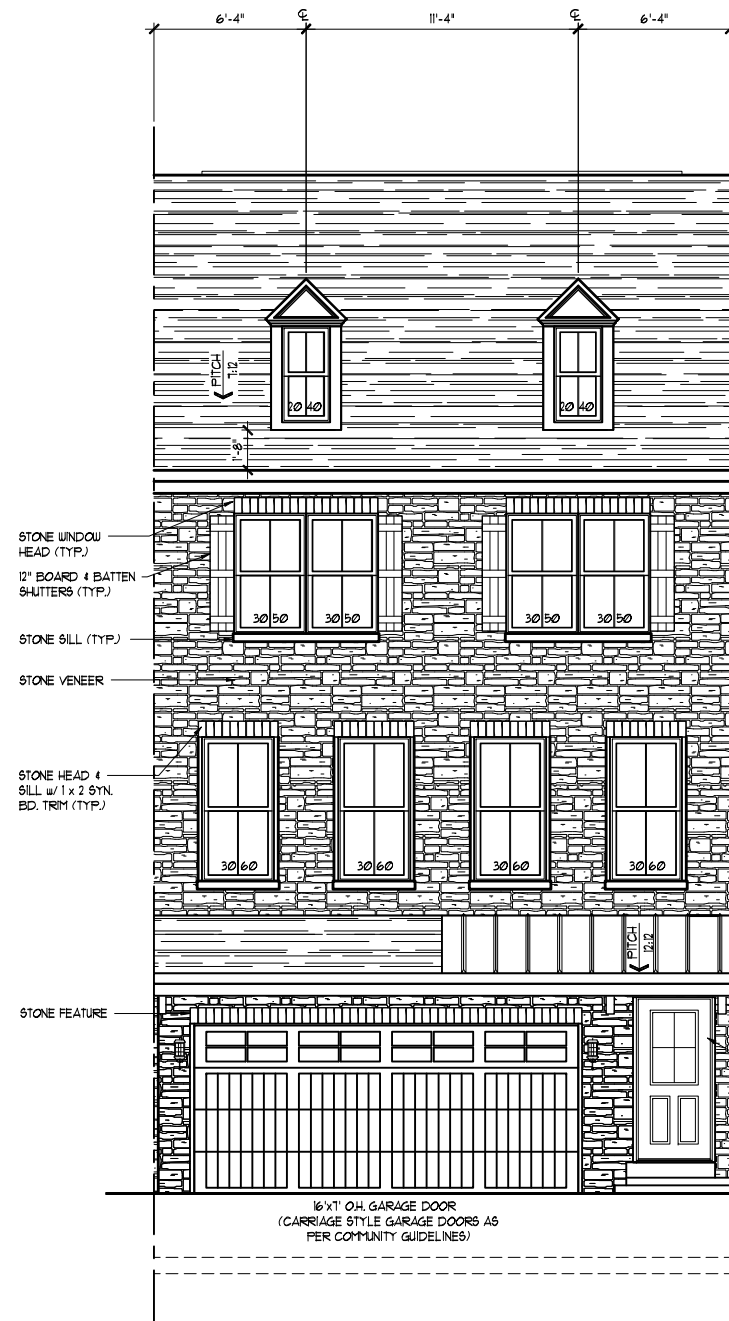
date	revision	by

SHEET #
3.2A

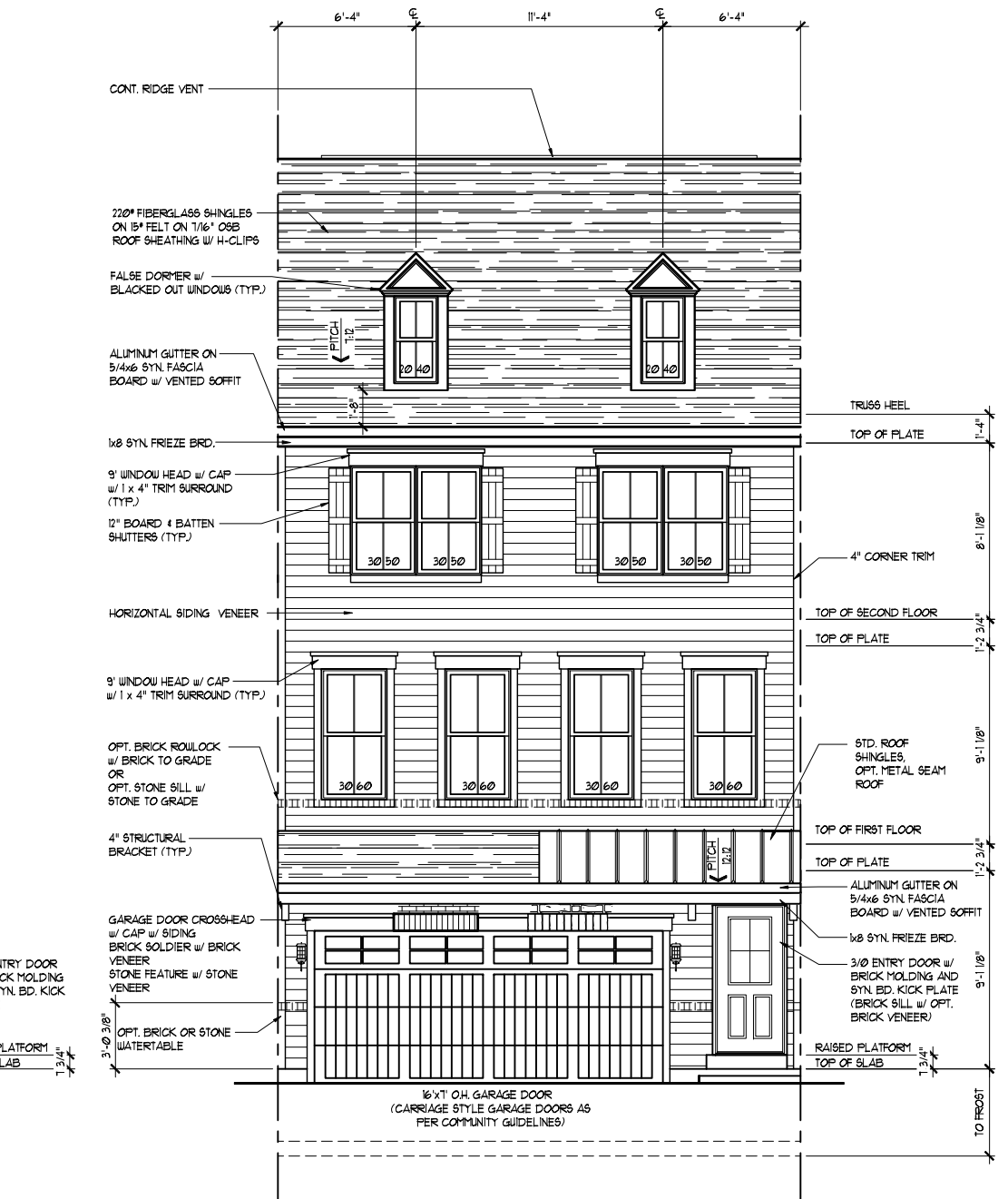
Professional Certification
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license number: 5624
expiration date: 04-09-2024



**ELEVATION #3
w/ BRICK VENEER**
SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"



**ELEVATION #3
w/ STONE VENEER**
SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"



**ELEVATION #3
w/ SIDING VENEER**
SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"

NOTE:
OPT. SIDE ENTRY IS NOT
AVAILABLE w/ ELEVATION #3

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content: **FRONT ELEVATION 3**
date: 03/05/19
drawn: ACI
scale: 1" = 4' (34x22) file: 172111_3.3
U.N.O. 1" = 8' (17x11)
title: **TIMBERLAKE HOMES**
LIBERTY

date	revision	by

SHEET #
3.3

Professional Certification
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license number: 5821
expiration date: 04-09-2024

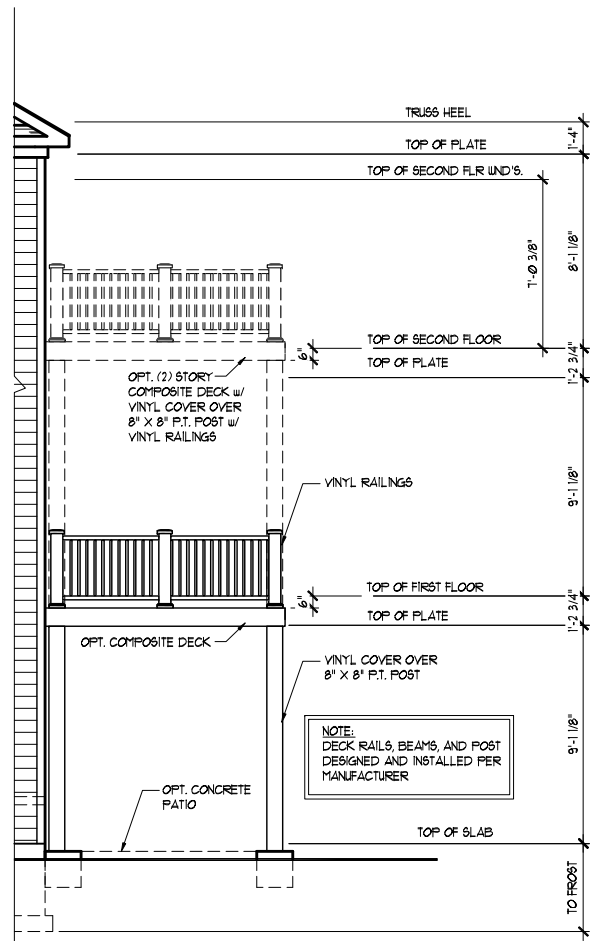


RIGHT SIDE ELEVATION w/ OPT. END UNIT ELEVATION #3

SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"

NOTE:
OPT. WINDOW TRIM AS REQUIRED WITH HIGH VISIBILITY OR AS PER COMMUNITY REQUIREMENTS.

NOTE:
OPT. SIDE ENTRY IS NOT AVAILABLE w/ ELEVATION #3



OPT. REAR DECK

SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"

NOTE:
DECK RAILS, BEAMS, AND POST DESIGNED AND INSTALLED PER MANUFACTURER

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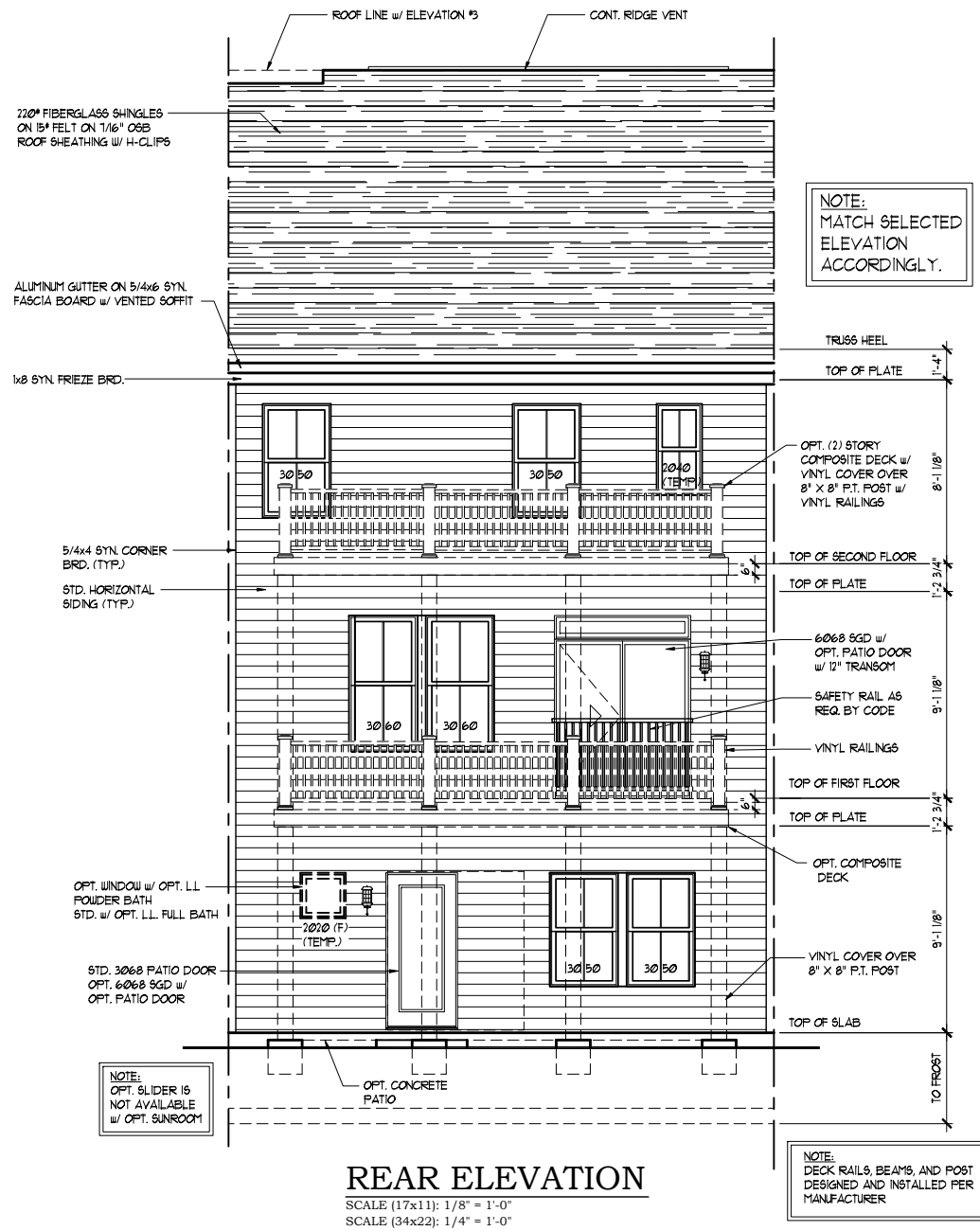
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8334 Main Street
Ellicott City, MD 21043
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Tel.: (410) 465-7500 Fax: (410) 465-0903

content: **ELEV 3 OPT. END UNIT**
scale: 1" = 4' (34x22) file: 3.3A date: 03/05/19
U.N.O. 1" = 8' (17x11) 3.3A
TIMBERLAKE HOMES
LIBERTY

date	revision	by

SHEET #
3.3A

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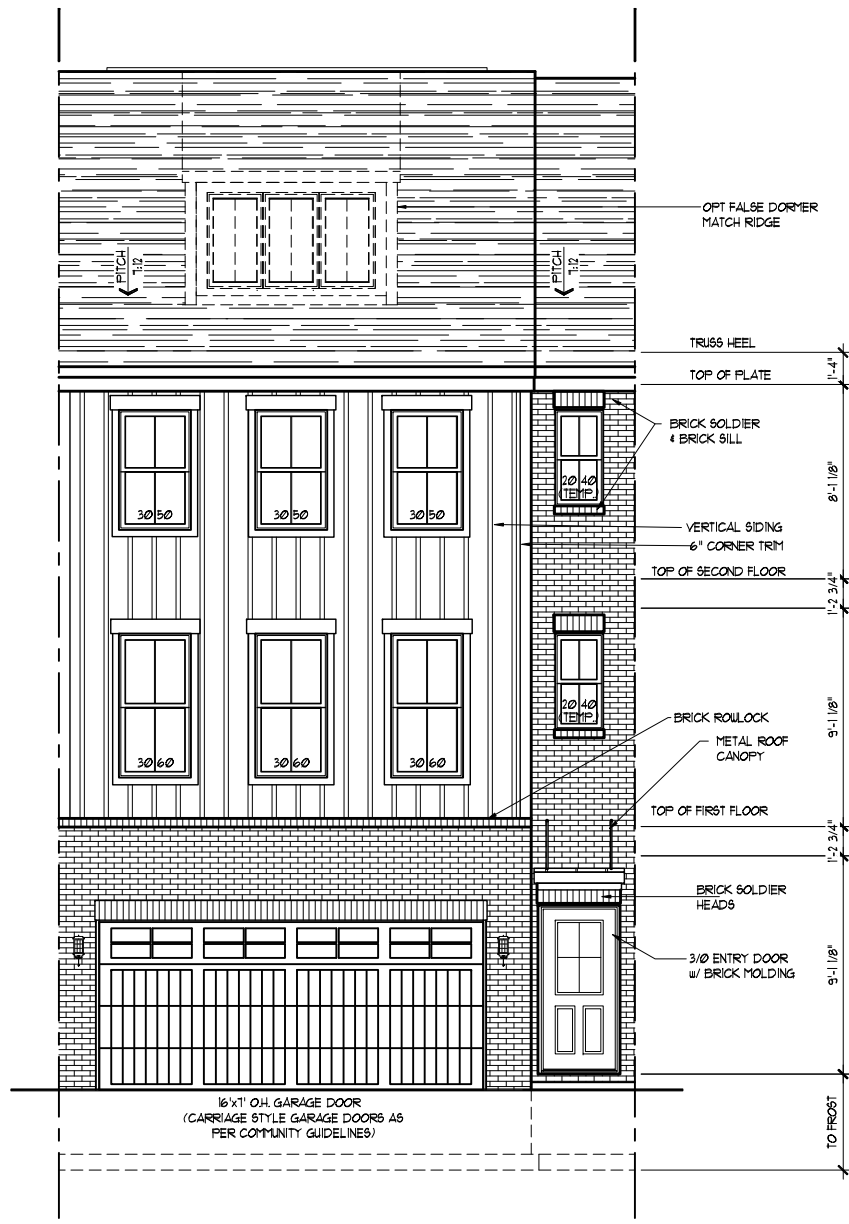
Architecture Collaborative, Inc.
 8334 Main Street
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 www.archcol.com
 Tel.: (410) 465-7500 Fax: (410) 465-0903

content	REAR ELEVATION	date:	03/05/19
scale:	1" = 4' (34x22)	file:	3.4
U.N.O. 1" = 8'	(17x11)	drawn:	ACI
title	TIMBERLAKE HOMES	LIBERTY	

date	revision	by

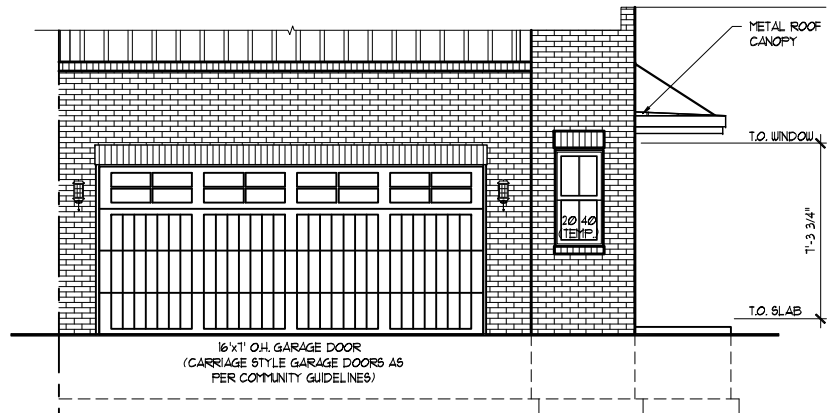
SHEET #
 3.4

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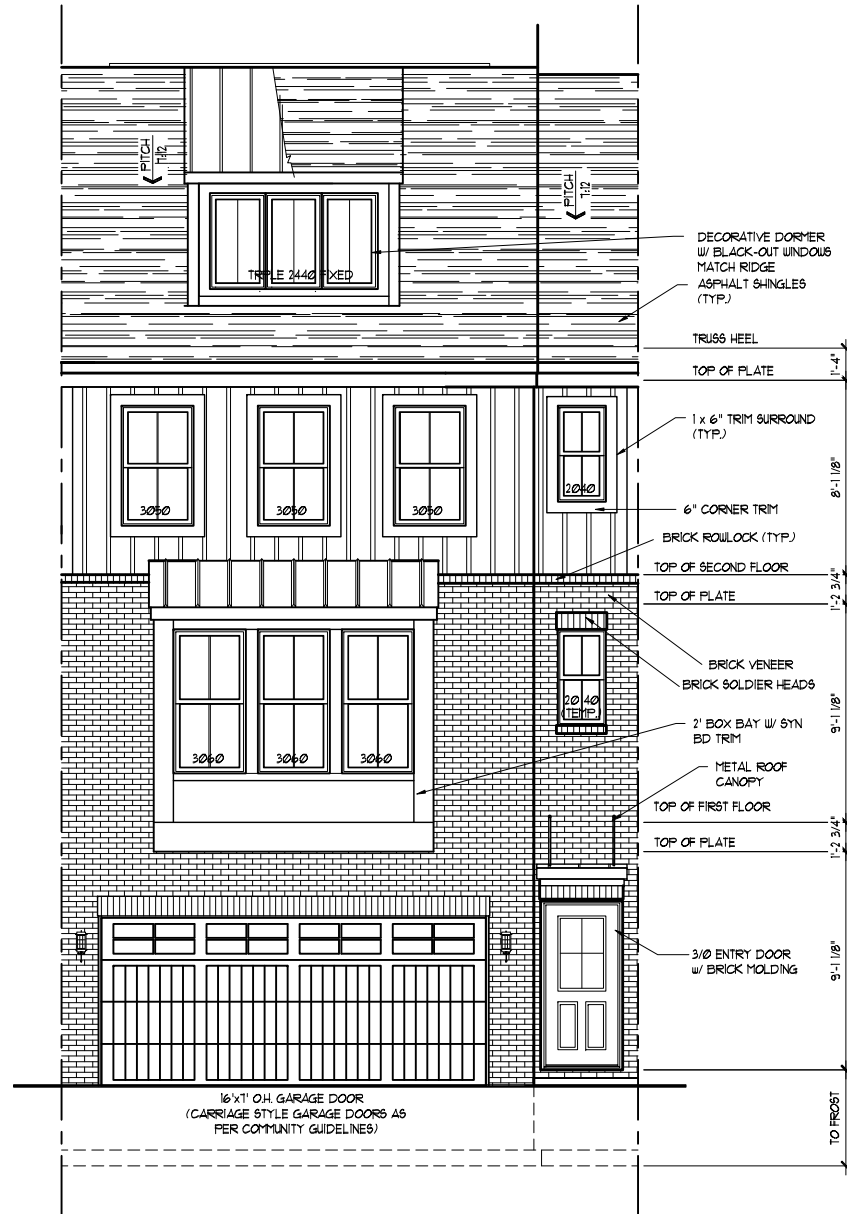
ELEVATION #U-1

SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"



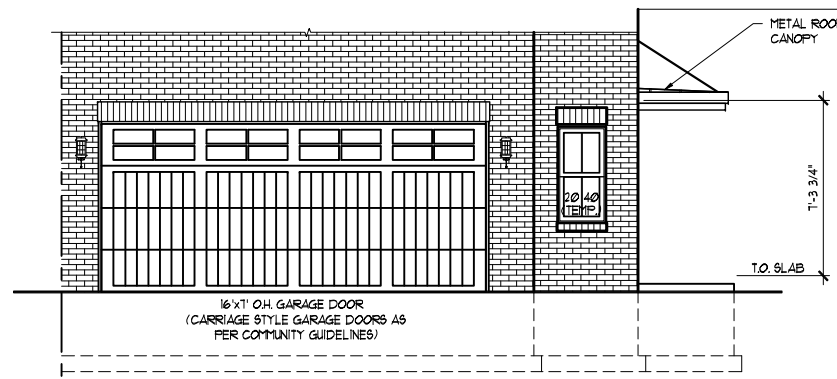
ELEVATION #U-1- OPT. SIDE ENTRY (OPT. END UNIT)

SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"



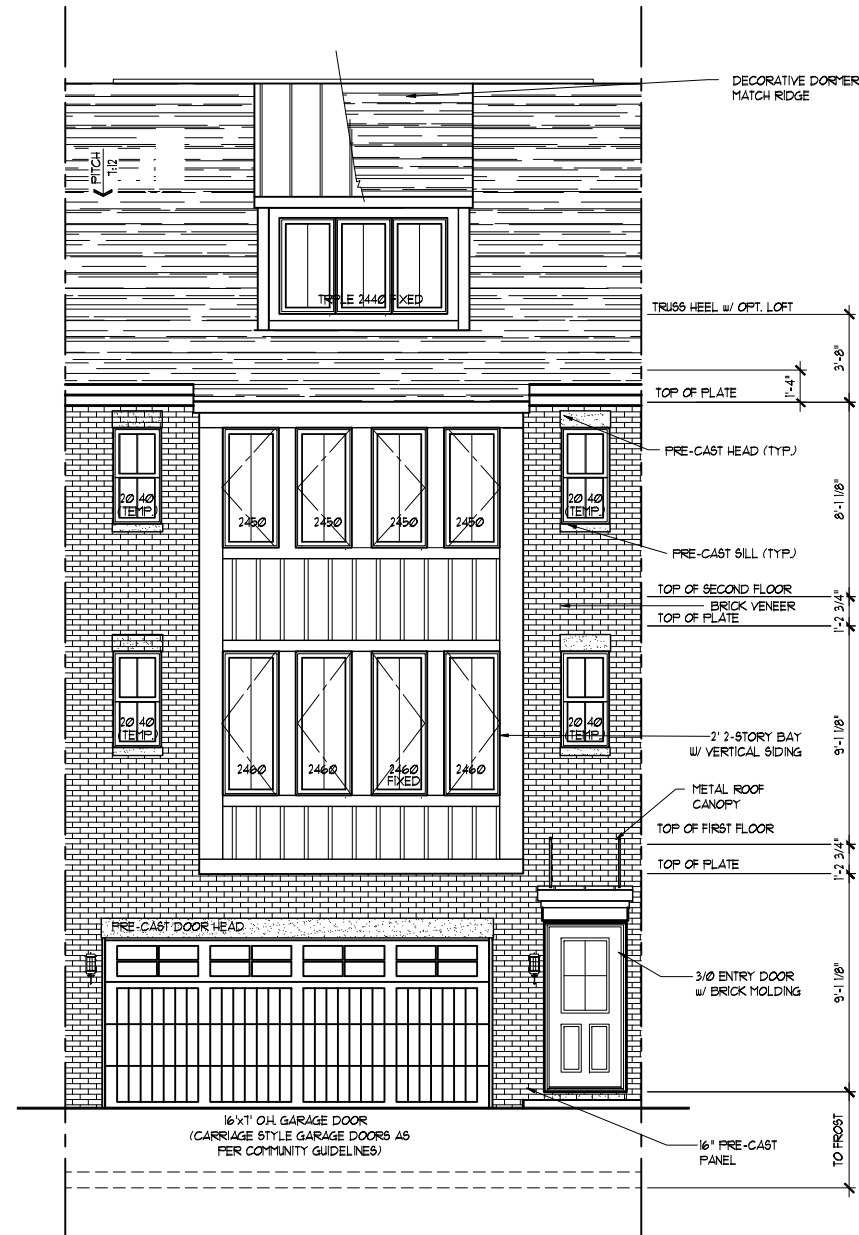
ELEVATION #U-2

SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"



ELEVATION #U-2 - OPT. SIDE ENTRY (OPT. END UNIT)

SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"



ELEVATION #U-3

SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"

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content: **URBANESQUE ELEVATIONS**
date: 03/05/19
drawn: ACI
file: (34x22)
U.N.O. 1" = 8' (17x11) 3.5
title: **TIMBERLAKE HOMES LIBERTY**

date	revision

SHEET #
3.5

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license number: 5621
expiration date: 04-09-2024



**FAIRWOOD SQUARE
PROPOSED URBANESQUE STRIP ELEVATION - 24' WIDE TH - LIBERTY**

SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"

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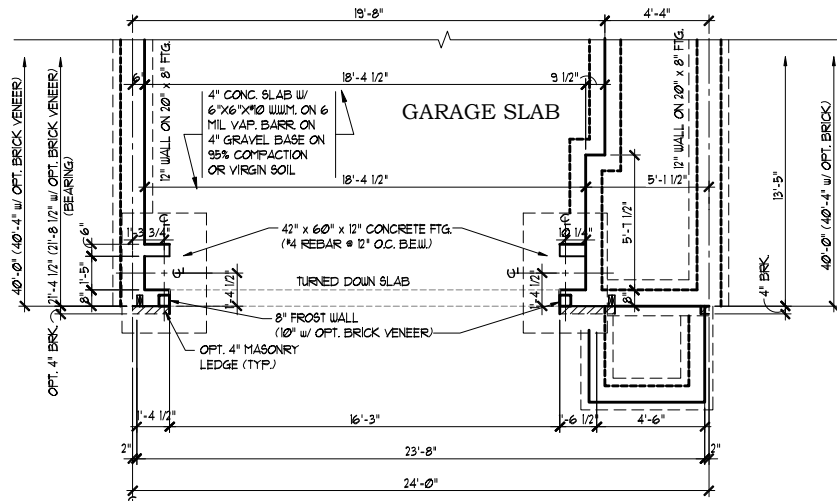
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www.archcol.com
Tel.: (410) 465-7500 Fax: (410) 465-0903

content: **PROPOSED STRIP ELEVATION - LIBERTY**
scale: 1"=4' (34x22) file: draw: ACI date: 03/05/19
U.N.O. 1"=8' (17x11) 3.6
TIMBERLAKE HOMES
LIBERTY
title

date	revision	by

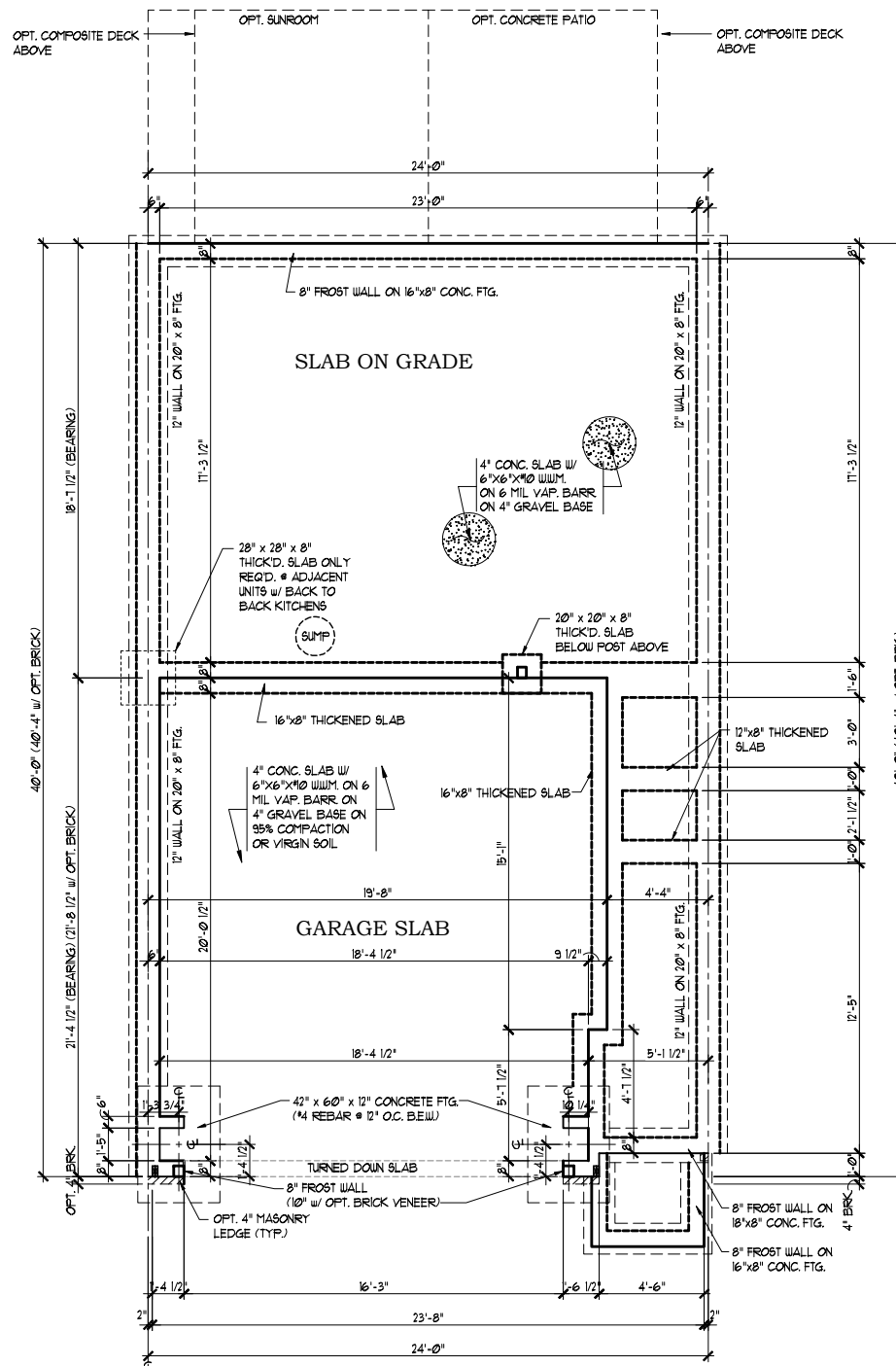
SHEET #
3.6

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license number: 5621
expiration date: 04-09-2024



**ELEV. #3, #U-3
FOUNDATION PLAN**

SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"



**ELEVATIONS #1, #U-1, #2, #U-2
FOUNDATION PLAN**

SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"

MULHERN & KULP HAS REVIEWED THESE PLANS FOR FOOTING DESIGN ONLY. ALL OTHER GRAVITY DESIGN BY OTHERS.

DESIGN LOADS:
ROOF DEAD LOAD = 11 PSF (TRUSSES)
GROUND SNOW LOAD = 30 PSF
FLOOR DEAD LOAD = 10 PSF
FLOOR LIVE LOAD = 30 PSF (SLEEPING AREAS)
FLOOR LIVE LOAD = 40 PSF
ALLOWABLE SOIL BEARING PRESSURE = 2500 PSF

FOUNDATION NOTES

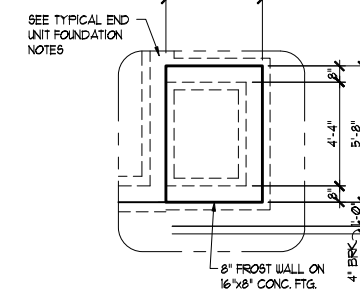
SECTION R-300
FOOTINGS AND SLABS ON GRADE SHALL BEAR ON UNDISTURBED VIRGIN SOIL OR 95% COMPACTED FILL.

SECTION R-310
1. BASEMENTS SHALL HAVE A MINIMUM OF ONE EMERGENCY ESCAPE AND RESCUE OPENING THAT SHALL OPEN DIRECTLY INTO A PUBLIC WAY.
2. SLEEPING ROOMS IN BASEMENTS THAT ARE PROTECTED BY AN AUTOMATIC FIRE SPRINKLER SYSTEM ARE NOT REQUIRED TO HAVE AN EMERGENCY ESCAPE AND RESCUE OPENING (AS PER CODE).

SECTION R-302.13
FLOOR ASSEMBLIES LOCATED DIRECTLY OVER A SPACE THAT IS NOT PROTECTED BY AN AUTOMATIC FIRE SPRINKLER SYSTEM SHALL BE:
(A) CONSTRUCTED OF NOMINAL 2"x10" OR GREATER DIMENSIONAL LUMBER
-OR-
(B) PROVIDED WITH 1/2" GYPSUM WALLBOARD MEMBRANE OR AN APPROVED FIRE-PROTECTIVE COVERING (AS PER CODE)

TYPICAL END UNIT FOUNDATION:

- SIDING / STONE:
8" WALL ON 16"x8" CONC. FT'G.
- BRICK:
10" WALL w/ 4" BRICK LEDGE ON 18"x8" CONC. FT'G.



**END UNIT w/
OPT. SIDE ENTRY
(w/ ELEV. #1, #1-U OR #2, #U-2 ONLY)**
SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"

MULHERN & KULP HAS REVIEWED THESE PLANS FOR FOOTING DESIGN ONLY. ALL OTHER GRAVITY DESIGN BY OTHERS.

FOUNDATION PLAN
date: 03/05/19
drawn: ACI
file: (34x22)
U.N.O. 1" = 8" (17x11) 1/4"

TIMBERLAKE HOMES
LIBERTY

date	revision	by

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expiration date: 04-09-2024

SHEET #
4.1

FOUNDATION NOTES

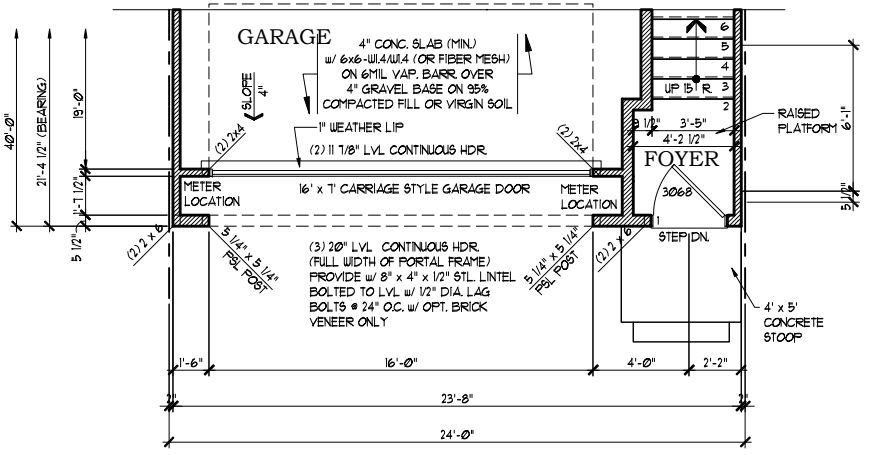
SECTION R-506
FOOTINGS AND SLABS ON GRADE SHALL BEAR ON UNDISTURBED VIRGIN SOIL OR 95% COMPACTED FILL.

SECTION R-310
1. BASEMENTS SHALL HAVE A MINIMUM OF ONE EMERGENCY ESCAPE AND RESCUE OPENING THAT SHALL OPEN DIRECTLY INTO A PUBLIC WAY.
2. SLEEPING ROOMS IN BASEMENTS THAT ARE PROTECTED BY AN AUTOMATIC FIRE SPRINKLER SYSTEM ARE NOT REQUIRED TO HAVE AN EMERGENCY ESCAPE AND RESCUE OPENING (AS PER CODE).

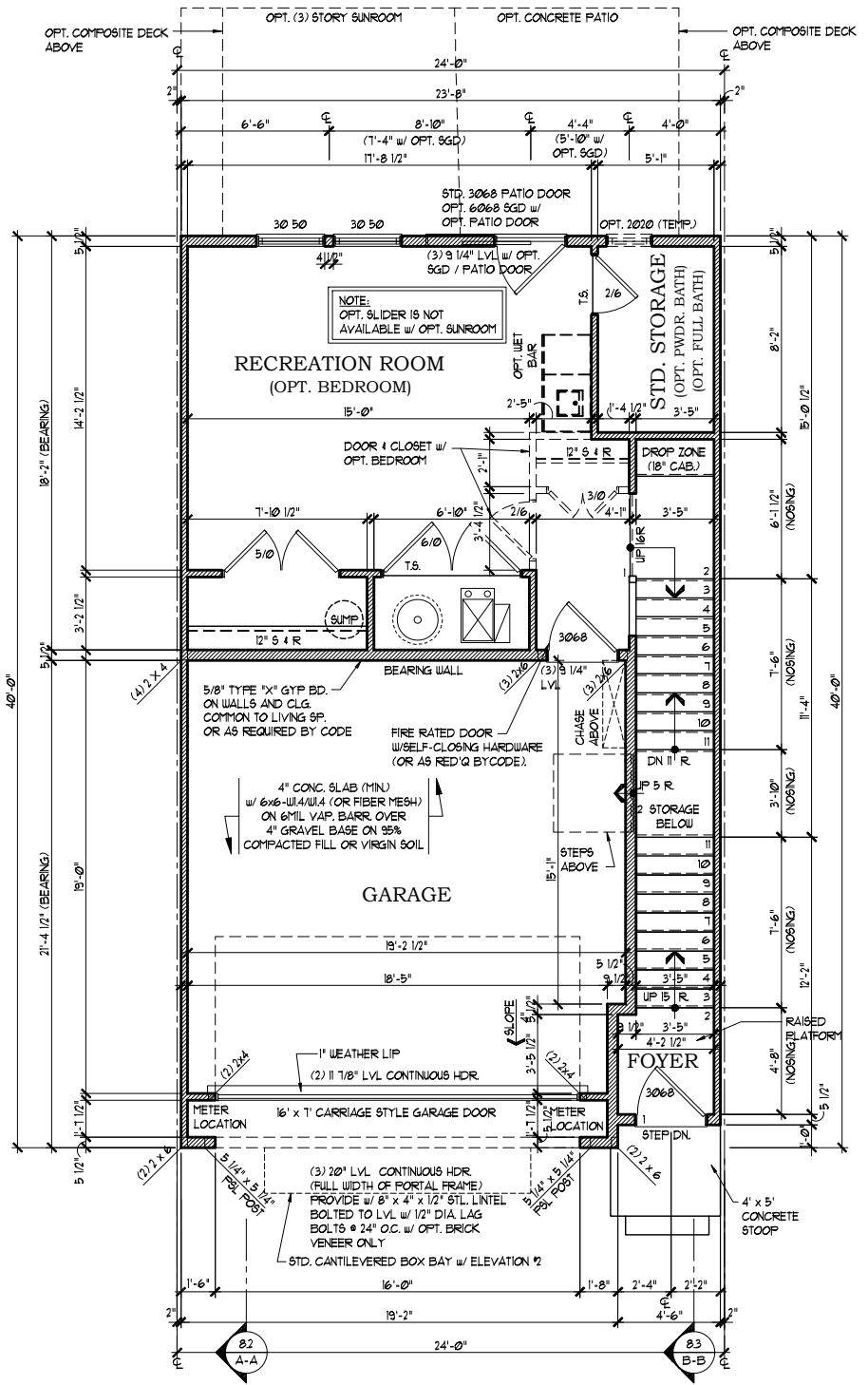
SECTION R-302.13
FLOOR ASSEMBLIES LOCATED DIRECTLY OVER A SPACE THAT IS NOT PROTECTED BY AN AUTOMATIC FIRE SPRINKLER SYSTEM SHALL BE:
(A) CONSTRUCTED OF NOMINAL 2" x 10" OR GREATER DIMENSIONAL LUMBER
-OR-
(B) PROVIDED WITH 1/2" GYPSUM WALLBOARD MEMBRANE OR AN APPROVED FIRE-PROTECTIVE COVERING (AS PER CODE)

FRAMING NOTES:

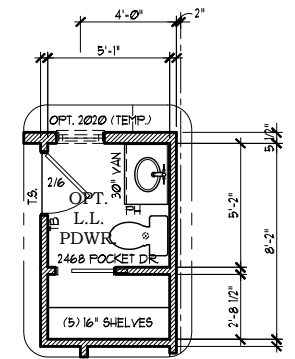
1. ALL EXTERIOR WALLS ARE TO BE 2x6 STUDS FRAMED @ 24" O.C., UNLESS NOTED OTHERWISE.
2. ALL INTERIOR WALLS ARE TO BE 2x4 STUDS FRAMED @ 16" O.C., UNLESS NOTED OTHERWISE.
3. SOLID BLOCK ALL BEAMS & HEADERS (GREATER THAN 4") w/ (1) 2x KING STUD. THE NUMBER OF STUDS SPECIFIED AT A SUPPORT INDICATES THE NUMBER OF JACK STUDS REQUIRED (TYP) UNLESS NOTED OTHERWISE.
4. (2) 2 x 10 HEADERS (TYP) AT OPENINGS LESS THAN 12" UNLESS NOTED OTHERWISE.
5. (3) 2 x 10 HEADERS AT OPENINGS 12" OR GREATER UNLESS NOTED OTHERWISE.
6. SUB-FLOOR SHALL BE 3/4" THICK (MIN) TONGUE & GROOVE TO MEET APA STANDARD.



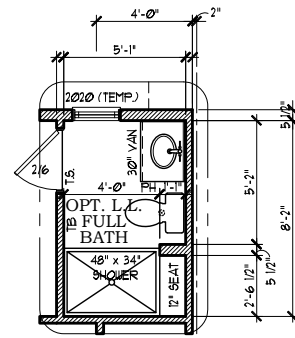
LOWER LEVEL PLAN: ELEVATION #3, #U-3
SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"



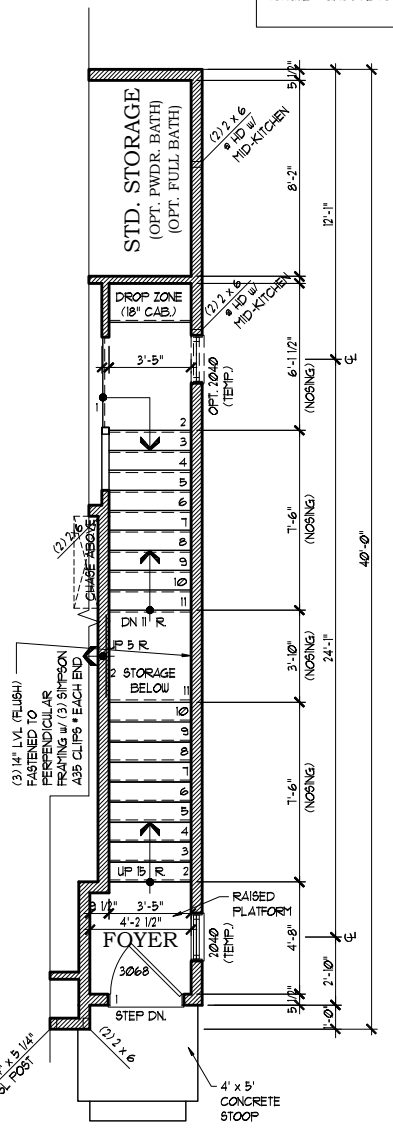
LOWER LEVEL PLAN: ELEVATION #1, #U-1, OR #2, #U-2
SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"



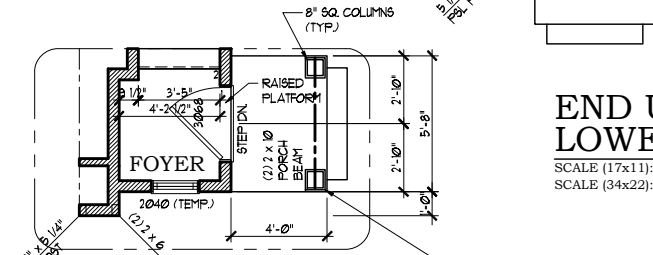
OPT. L.L. PWDR. BATH
SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"



OPT. L.L. FULL BATH
SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"



END UNIT LOWER LEVEL
SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"



END UNIT w/ OPT. SIDE ENTRY (w/ ELEV. #1, #U-1 OR #2, #U-2 ONLY)
SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"

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LOWER LEVEL PLAN
date: 03/05/19
drawn: ACI
file: (34x22)
U.N.O. 1" = 8' (17x11) 4.2
title: **TIMBERLAKE HOMES LIBERTY**

date	revision	by

SHEET #
4.2

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license number: 5621
expiration date: 04-09-2024

TIMBERLAKE HOMES

304 HARRY S. TRUMAN PARKWAY, SUITE M
ANNAPOLIS, MD. 21401

TEL 301-350-0400
FAX 301-336-0885

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"ROLAND"

24' x 44' TOWNHOUSE

LOWER LEVEL	641 SQ. FT.
FIRST FLOOR	1099 SQ. FT.
SECOND FLOOR	1091 SQ. FT.
TOTAL	2831 SQ. FT.

ELEVATION #3	+15 SQ. FT.
OPT. LOFT	+418 SQ. FT.
OPT. LOFT w. BEDROOM	+520 SQ. FT.

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2.2	IECC COMPLIANCE NOTES
3.1	FRONT ELEVATION 1
3.1A	FRONT ELEVATION 1_OPT. LOFT
3.1B	ELEV 1 OPT. END UNIT
3.2	FRONT ELEVATION 2
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3.2B	ELEV 2 OPT. END UNIT
3.3	FRONT ELEVATION 3
3.3A	ELEV 3 OPT. END UNIT
3.4	REAR ELEVATION
3.5	URBANESQUE ELEVATIONS
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LB-6A	FIRST FLOOR LB-MID KITCHEN
LB-7	SECOND FLOOR LATERAL BRACING PLANS
LB-8	OPT. LOFT LATERAL BRACING

REVISIONS		
DATE	COMMENTS	BY
03-15-2019	PRELIMINARY PLANS	SF
05-28-2019	MID-POINT REVIEW	AJH
06-18-2019	RE-DESIGN_MID-POINT REVIEW	AJH
07-17-2019	CLIENTS COMMENTS	AJH
07-31-2019	ADDED STRUCTURE AND LATERL BRACING TO SET	AJH
08-30-2019	REVISED LOFT, MISC. STRUCTURAL & PG SHEET	SF
09-24-2019	ADDED LOFT ROOF & FLOOR FRAMING, MISC. DETAILS	RC
11-26-19	REVISED BASEMENT STAIRS & CLARIFY LATERAL DESIGN	SF
12-18-2019	FOOTING COORDINATION PER ENGINEER	RC
04-21-2022	2018 CODE UPDATE- URBANESQUE ELEV ADDED	TPF
05-16-2022	PERMIT SET	TPF

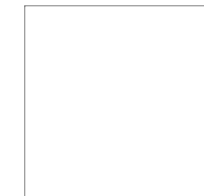
ALL WORK SHALL COMPLY WITH 2018 INTERNATIONAL RESIDENTIAL CODE W/ AMENDMENTS

WALL BRACING SHALL BE IN ACCORDANCE WITH ENGINEERED DESIGN and CONTINUOUSLY SHEATHED W/ 7/16" WOOD SHEATHING

FLOOR FRAMING TO BE 14" ENGINEERED FLOOR SYSTEM (DESIGNED BY TRUSS MANUFACTURER)

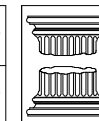
** THE LOCAL JURISDICTION SHALL FILL IN THIS TABLE WITH LOCAL CLIMATIC AND GEOGRAPHIC CRITERIA **

2018 CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA: PRINCE GEORGES COUNTY MARYLAND													
GROUND SNOW LOAD	WIND DESIGN				SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP.	ICE BARRIER UNDERLAYMENT REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP.
	Speed (mph)	Topographic Effects	Special Wind Region	Windborne Debris Zone		Weathering	Frost Line Depth	Termite					
35 PSF	115	B			A/B	SEVERE	30"	MODERATE TO HEAVY					



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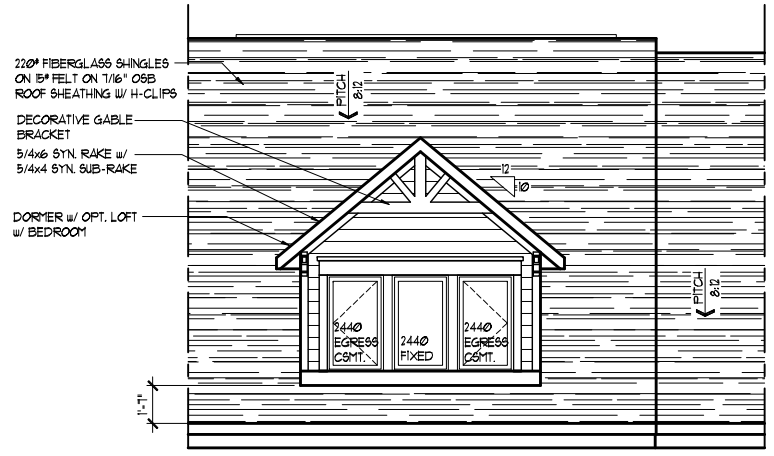
STRUCT. REVIEW	05-16-2022
PROJECT REVIEW	05-16-2022



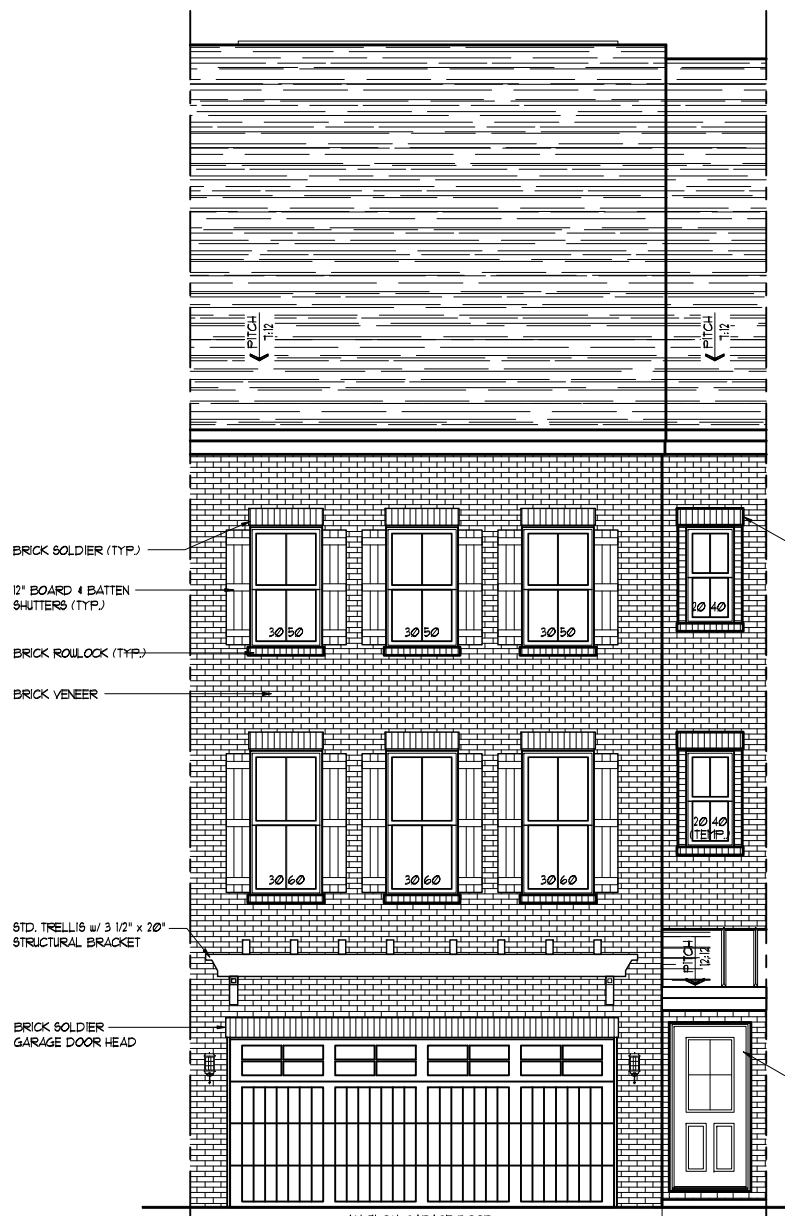
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ROLAND

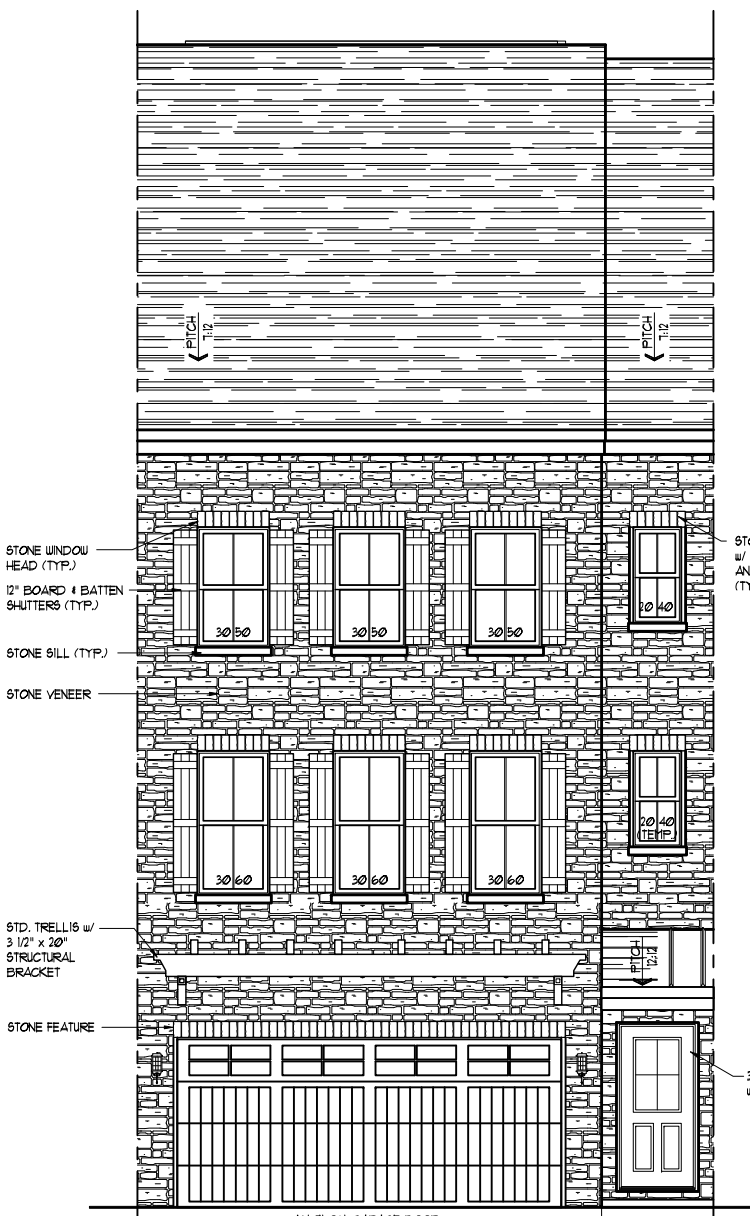
TL182324



OPT. LOFT w/ BEDROOM
 SCALE (17x11): 1/8" = 1'-0"
 SCALE (34x22): 1/4" = 1'-0"

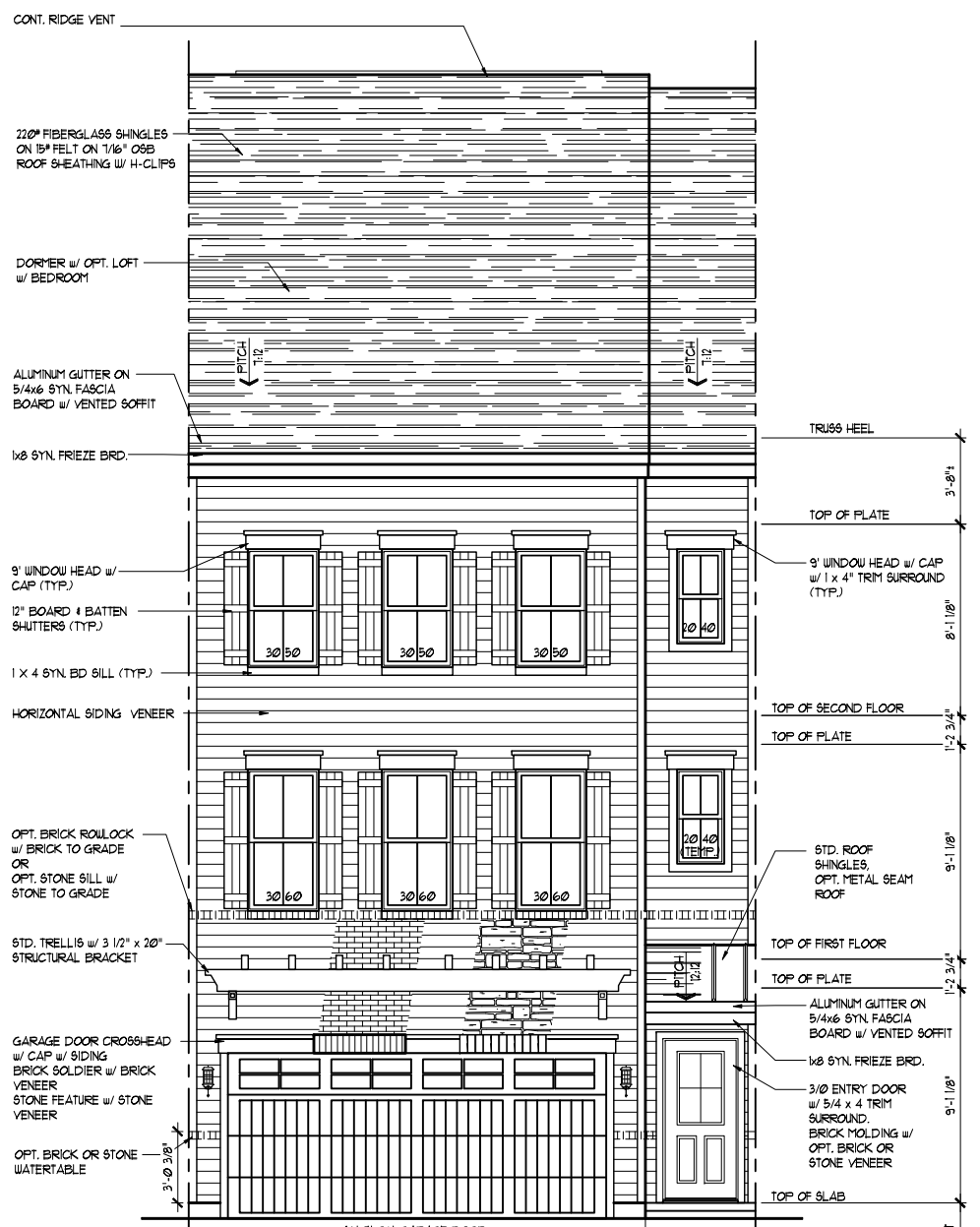


ELEVATION #1 w/ BRICK VENEER
 SCALE (17x11): 1/8" = 1'-0"
 SCALE (34x22): 1/4" = 1'-0"



ELEVATION #1 w/ STONE VENEER
 SCALE (17x11): 1/8" = 1'-0"
 SCALE (34x22): 1/4" = 1'-0"

NOTE:
 1. OPT. SIDE ENTRY PARTIAL ELEVATION, SEE SHEET 3.1



ELEVATION #1 w/ SIDING VENEER
 SCALE (17x11): 1/8" = 1'-0"
 SCALE (34x22): 1/4" = 1'-0"

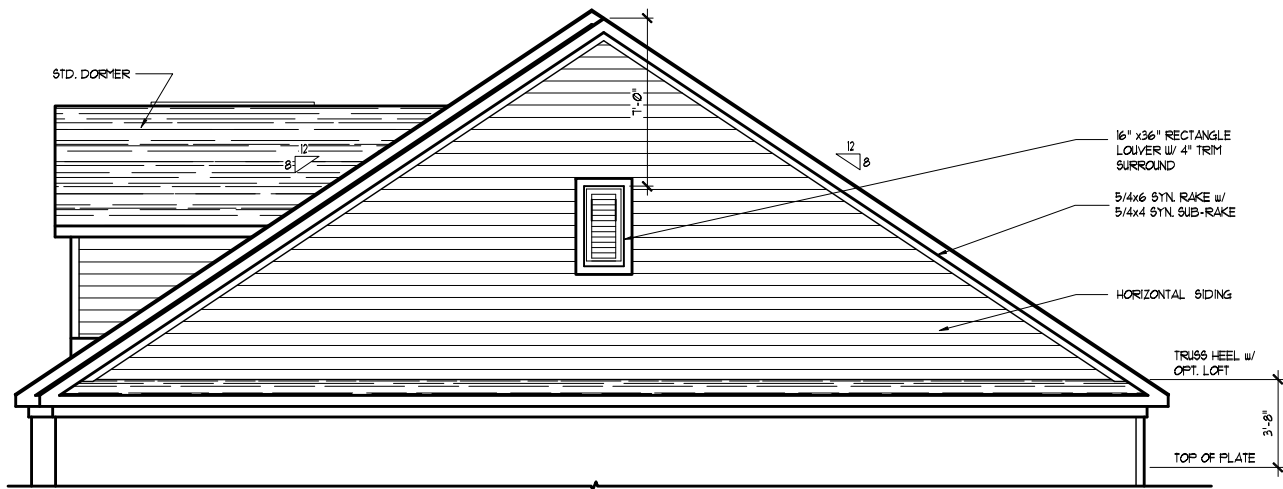
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FRONT ELEVATION 1 - OPT. LOFT
 content: FRONT ELEVATION 1 - OPT. LOFT
 scale: 1" = 4' (34x22) file: 3.1A
 U.N.O. 1" = 8' (17x11) 3.1A
 date: 03/15/19
 drawn: ACI
 title: TIMBERLAKE HOMES
 ROLAND

date	revision	by

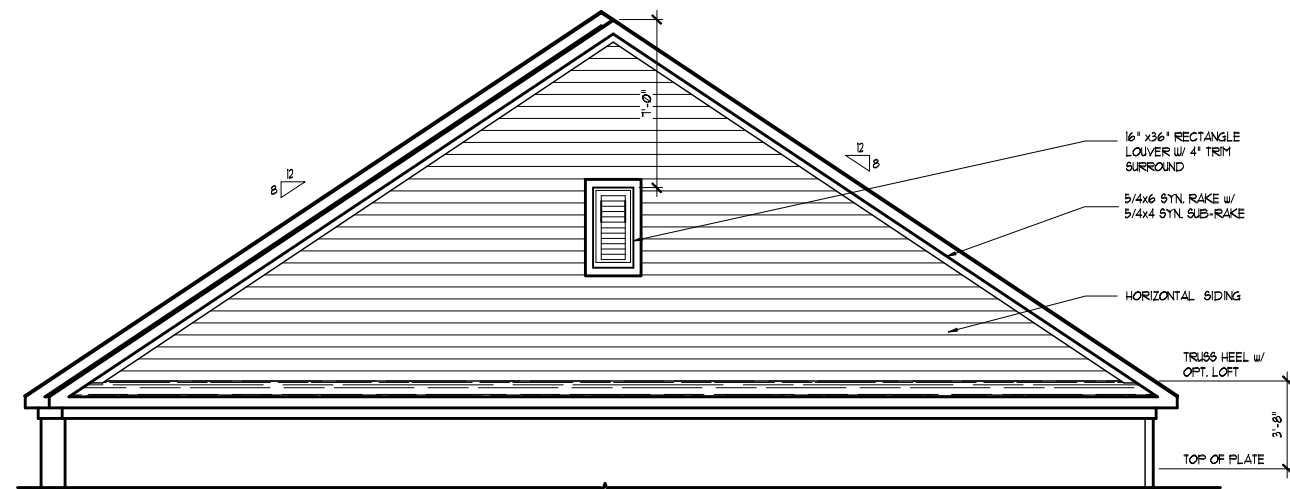
SHEET #
3.1A

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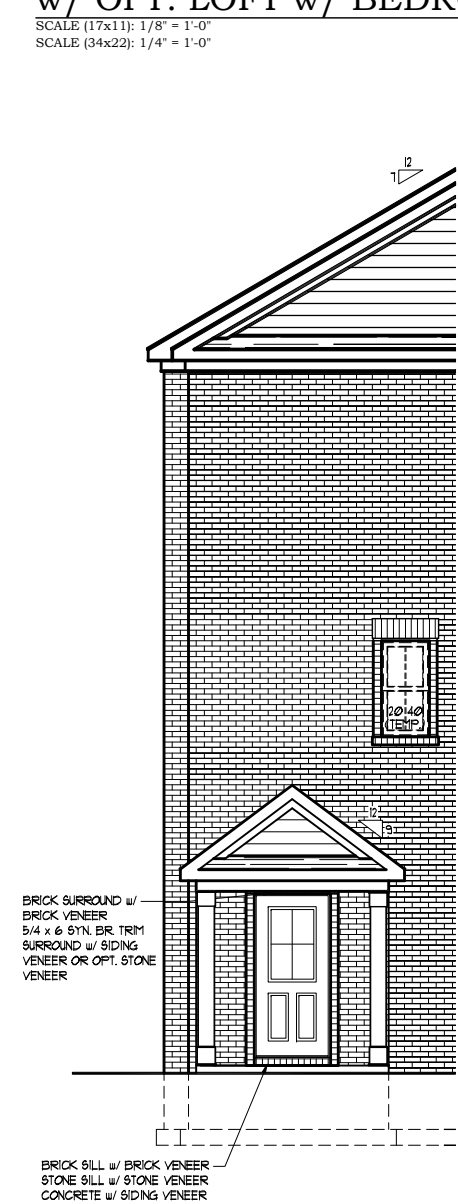
**RIGHT SIDE ELEVATION w/ OPT. END UNIT
w/ OPT. LOFT w/ BEDROOM**

SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"



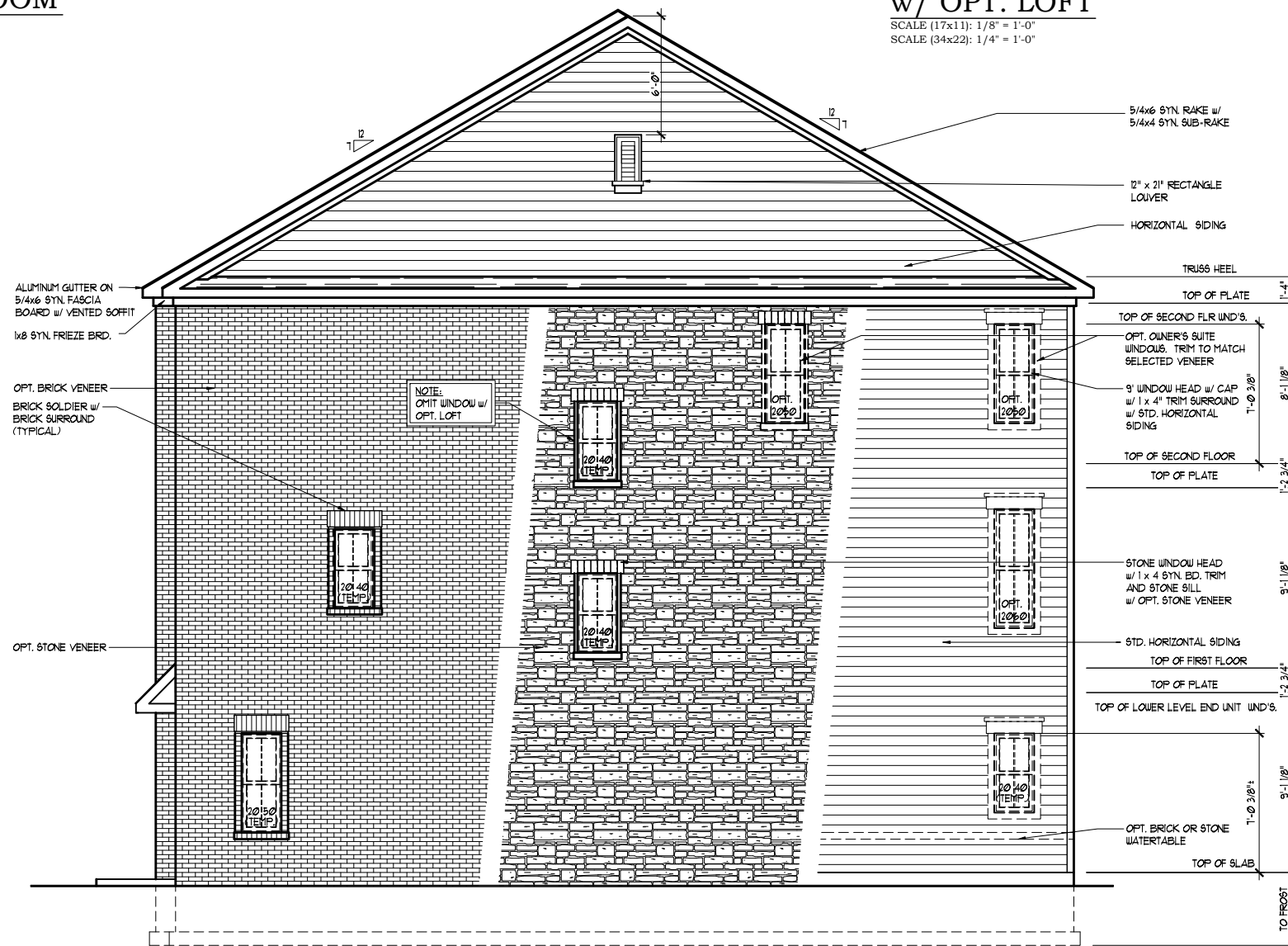
**RIGHT SIDE ELEVATION w/ OPT. END UNIT
w/ OPT. LOFT**

SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"



**RIGHT SIDE ELEVATION
w/ OPT. END UNIT
ELEVATION #1**

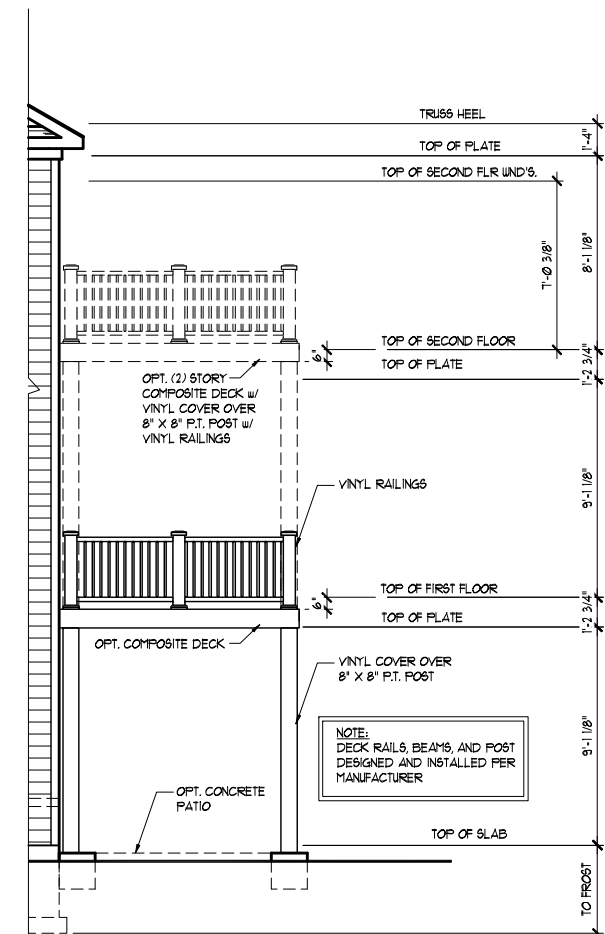
SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"



**RIGHT SIDE ELEVATION w/ OPT. END UNIT
ELEVATION #1**

SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"

NOTE:
OPT. WINDOW TRIM AS REQUIRED
WITH HIGH VISIBILITY OR AS PER
COMMUNITY REQUIREMENTS.



OPT. REAR DECK

SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"

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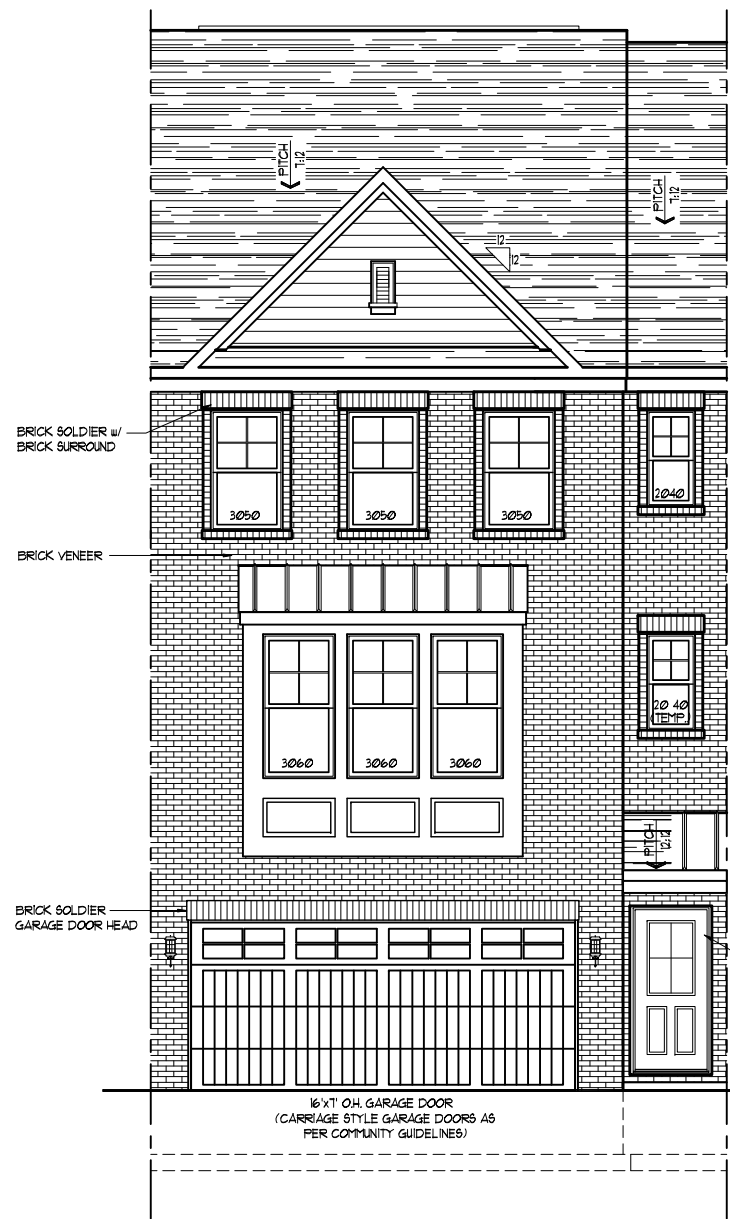
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content: **ELEV 1 OPT. END UNIT**
scale: 1" = 4' (34x22) file: **3.1B** date: **03/15/19**
U.N.O. 1" = 8' (17x11)
TIMBERLAKE HOMES
ROLAND
title

date	revision	by

SHEET #
3.1B

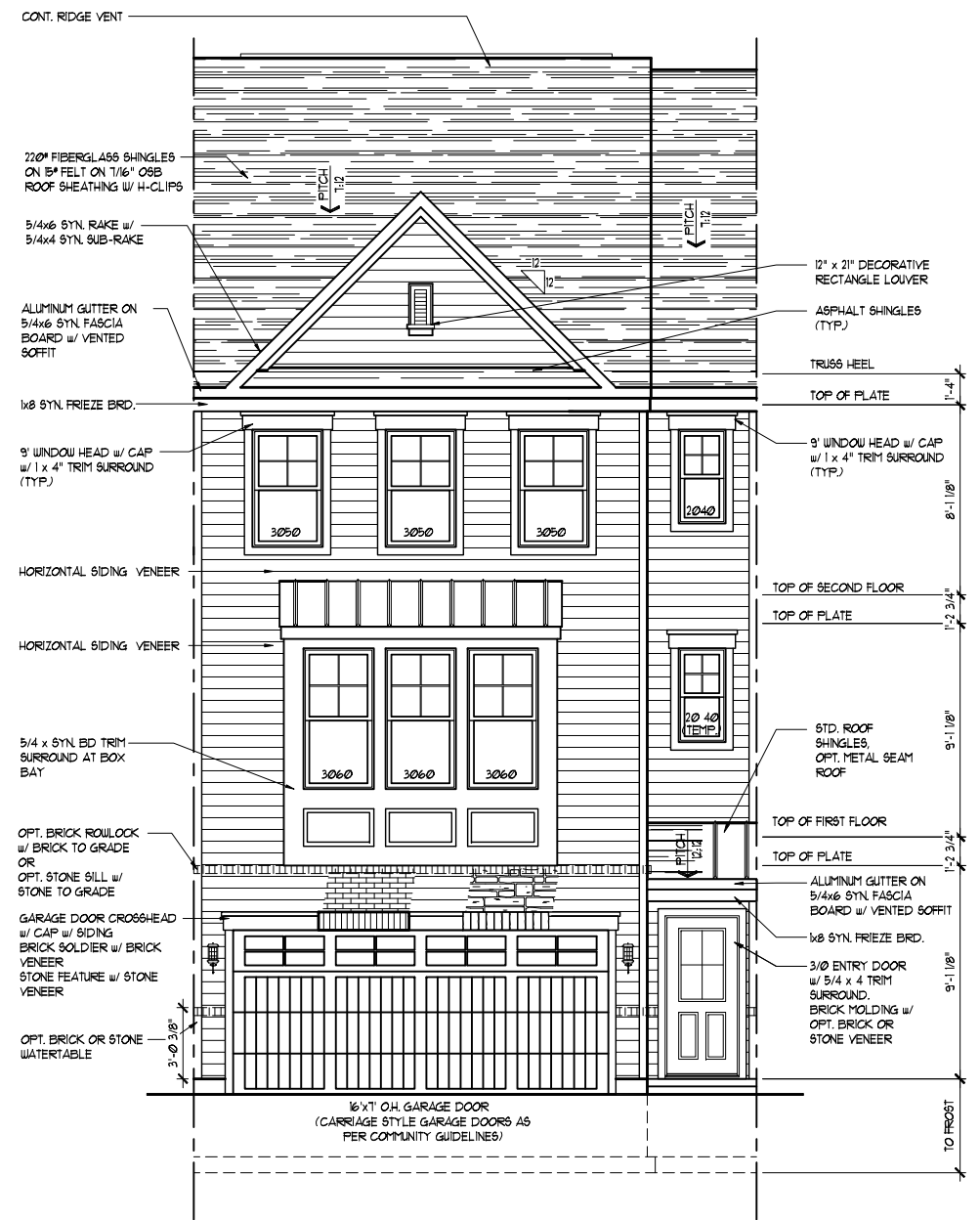
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license number: **5621**
expiration date: **04-09-2024**



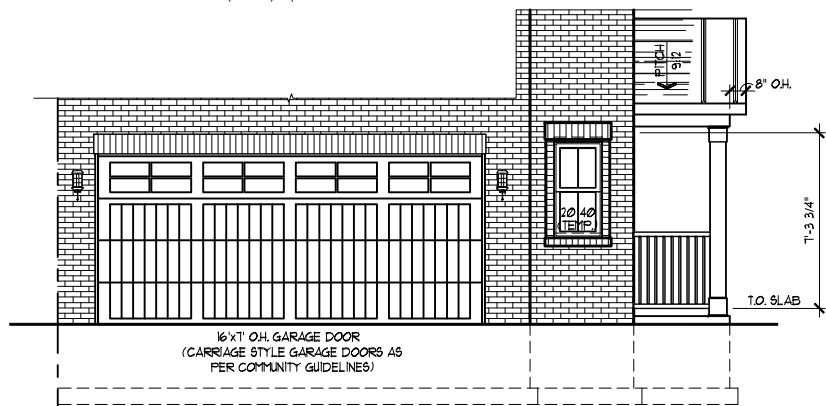
**ELEVATION #2
w/ BRICK VENEER**
SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"



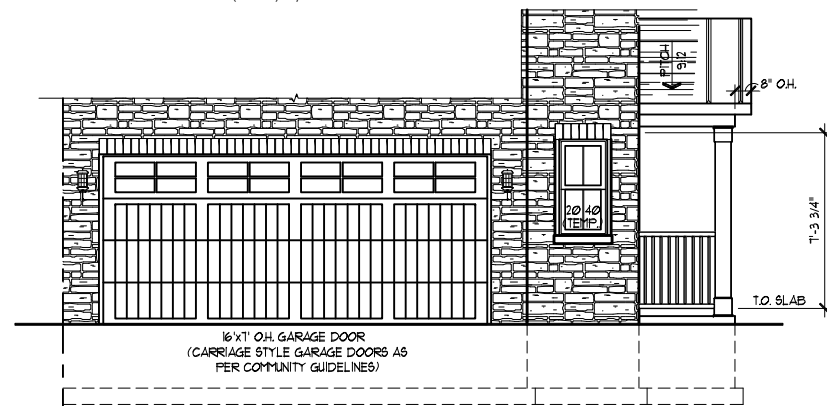
**ELEVATION #2
w/ STONE VENEER**
SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"



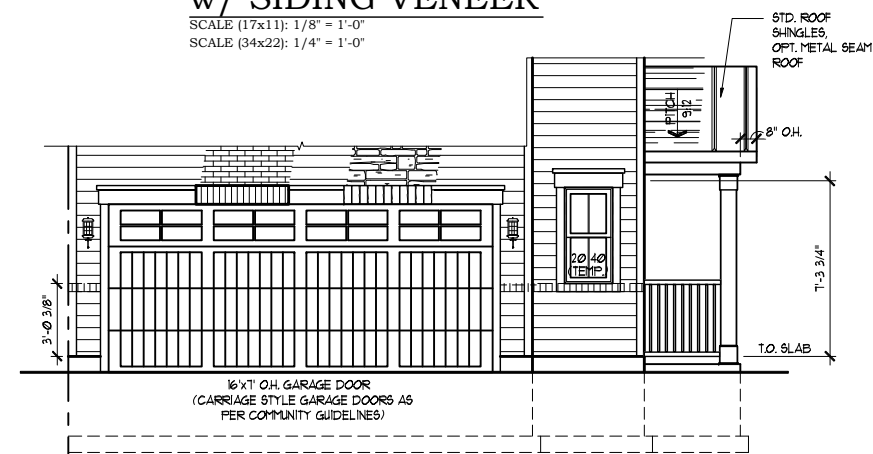
**ELEVATION #2
w/ SIDING VENEER**
SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"



**ELEVATION #2 - OPT. SIDE ENTRY
w/ BRICK VENEER (OPT. END UNIT)**
SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"



**ELEVATION #2- OPT. SIDE ENTRY
w/ STONE VENEER (OPT. END UNIT)**
SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"



**ELEVATION #2- OPT. SIDE ENTRY
w/ SIDING VENEER (OPT. END UNIT)**
SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"

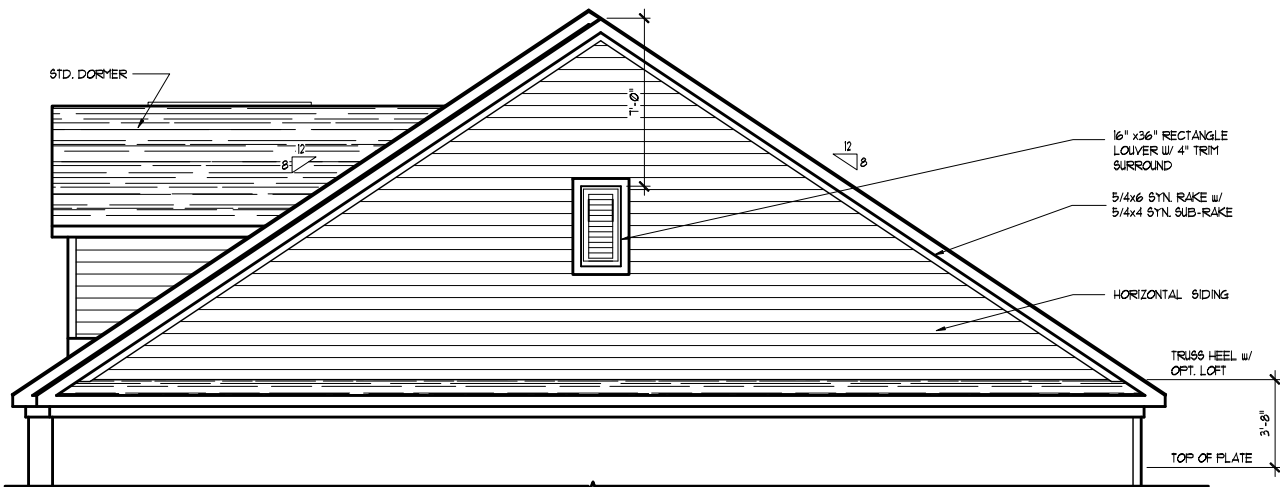
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content: FRONT ELEVATION 2
scale: 1" = 4' (34x22) file: U.N.O. 1" = 8' (17x11) 3.2
drawn: ACI date: 03/15/19
title: TIMBERLAKE HOMES ROLAND

date	revision

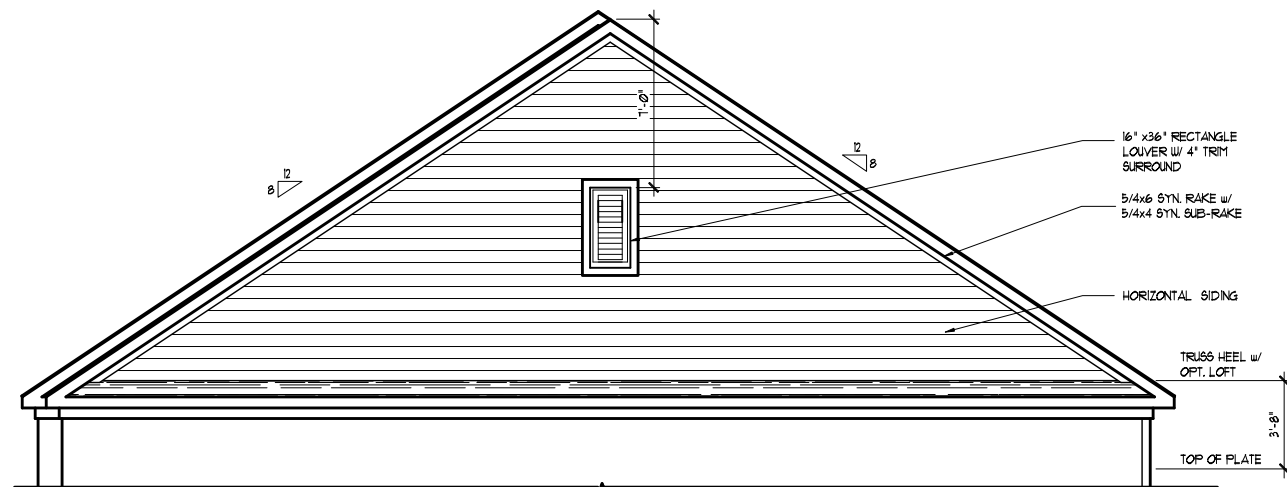
SHEET #
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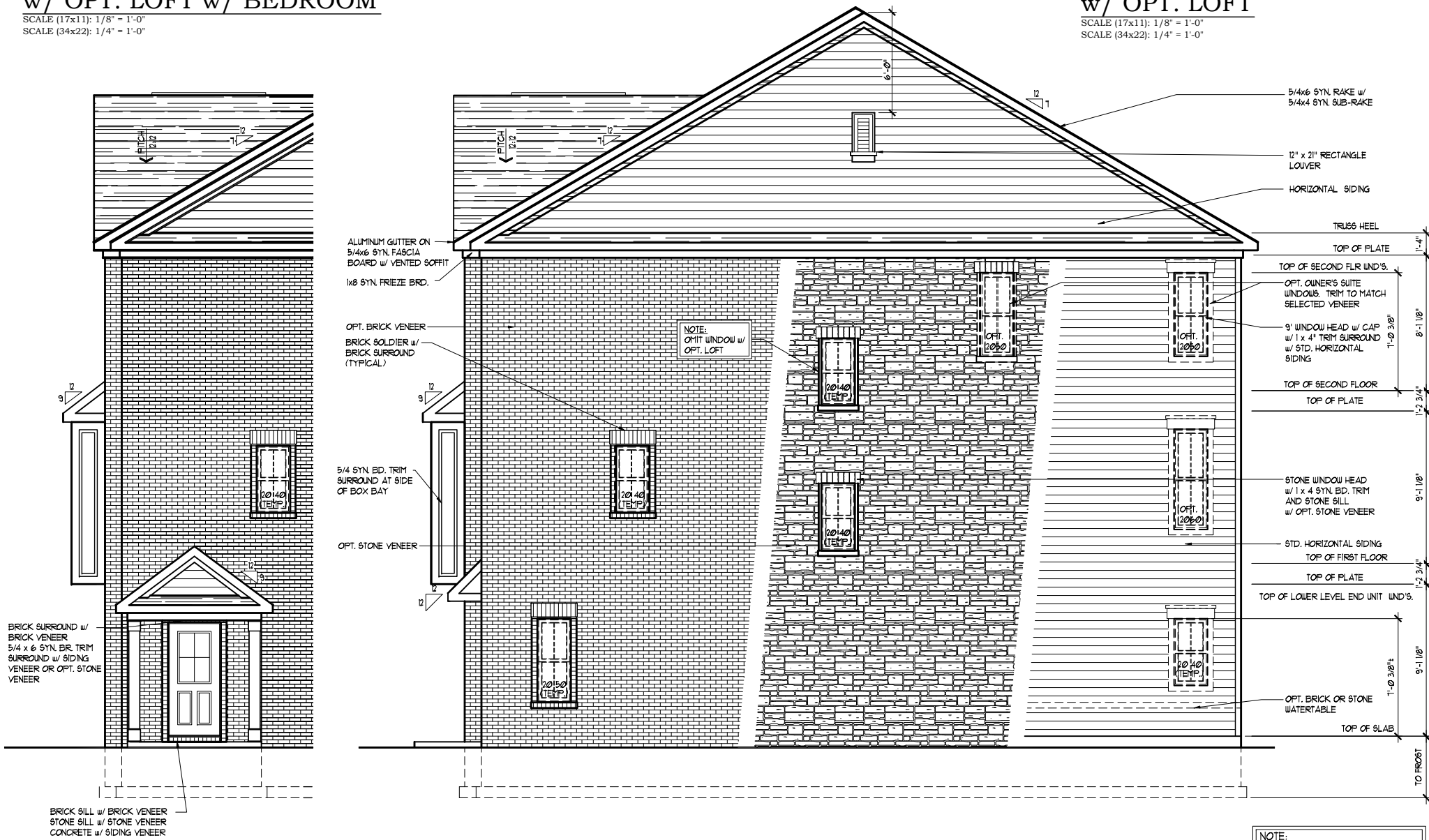
**RIGHT SIDE ELEVATION w/ OPT. END UNIT
w/ OPT. LOFT w/ BEDROOM**

SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"



**RIGHT SIDE ELEVATION w/ OPT. END UNIT
w/ OPT. LOFT**

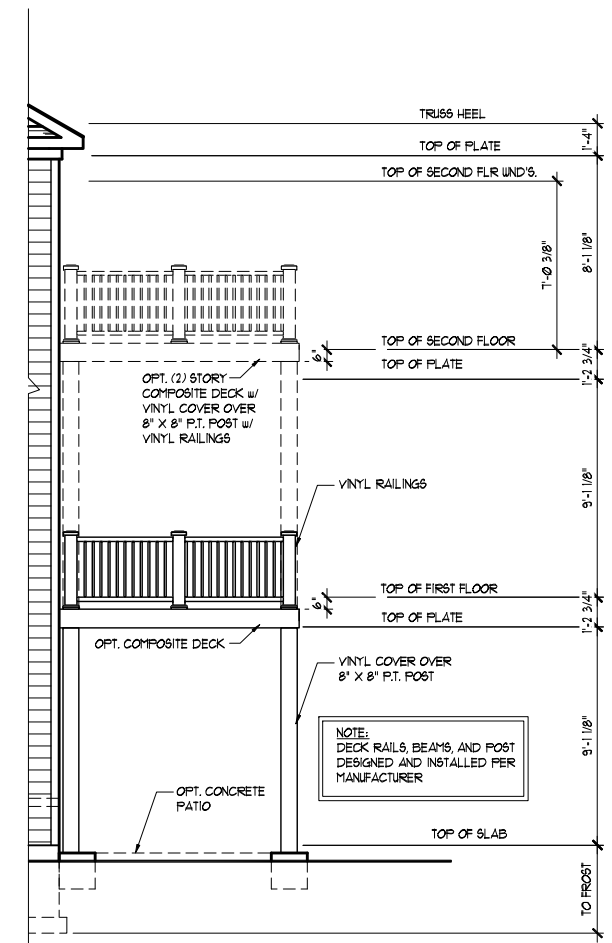
SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"



**RIGHT SIDE ELEVATION w/ OPT. END UNIT
ELEVATION #2**

SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"

NOTE:
OPT. WINDOW TRIM AS REQUIRED
WITH HIGH VISIBILITY OR AS PER
COMMUNITY REQUIREMENTS.



OPT. REAR DECK

SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"

**RIGHT SIDE ELEVATION
w/ OPT. END UNIT
ELEVATION #2**

SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"

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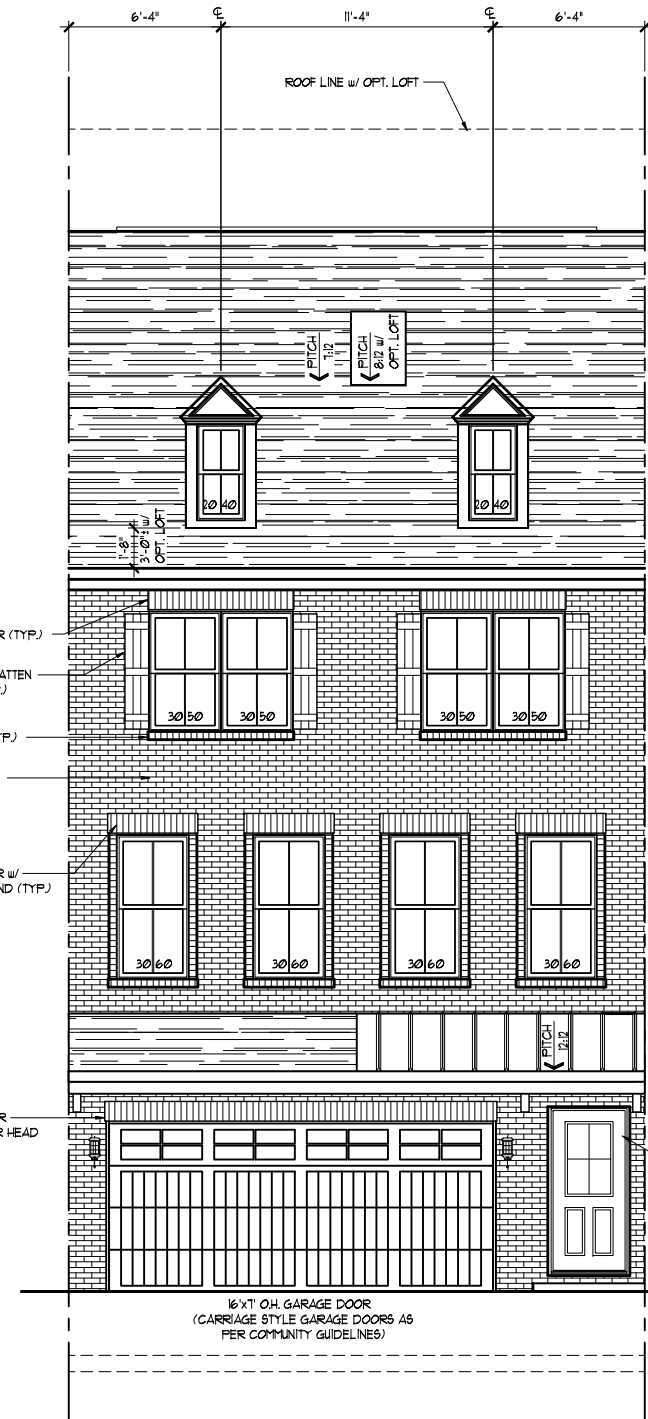
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content: **ELEV 2 OPT. END UNIT**
file: **1"=4" (34x22)**
U.N.O. 1"=8" (17x11) 3.2B
date: **03/15/19**
drawn: **ACI**
title: **TIMBERLAKE HOMES**
ROLAND

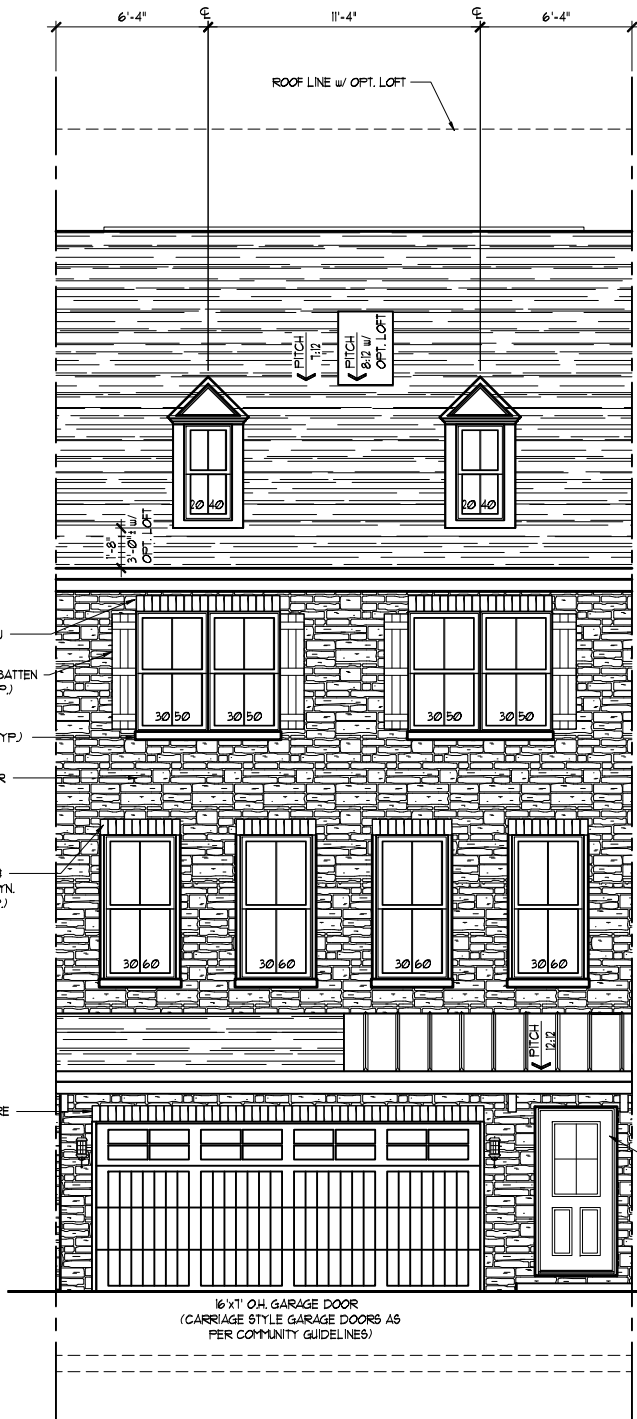
date	revision	by

SHEET #
3.2B

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license number: **5621**
expiration date: **04-09-2024**

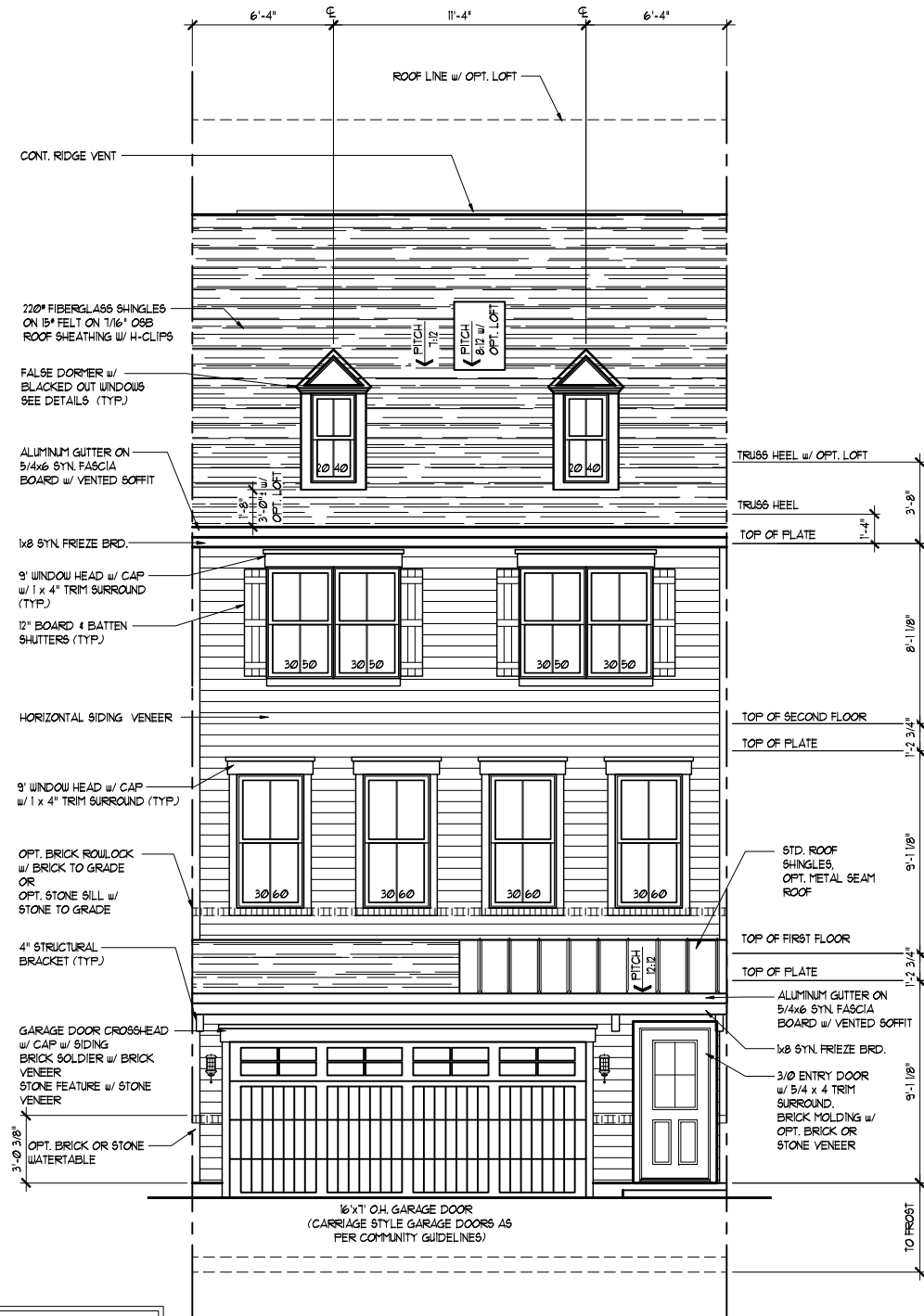


**ELEVATION #3
w/ BRICK VENEER**
SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"



**ELEVATION #3
w/ STONE VENEER**
SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"

NOTE:
1. OPT. SIDE ENTRY IS NOT AVAILABLE w/ ELEVATION #3
2. OPT. LOFT w/ BEDROOM IS NOT AVAILABLE w/ ELEVATION #3



**ELEVATION #3
w/ SIDING VENEER**
SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"

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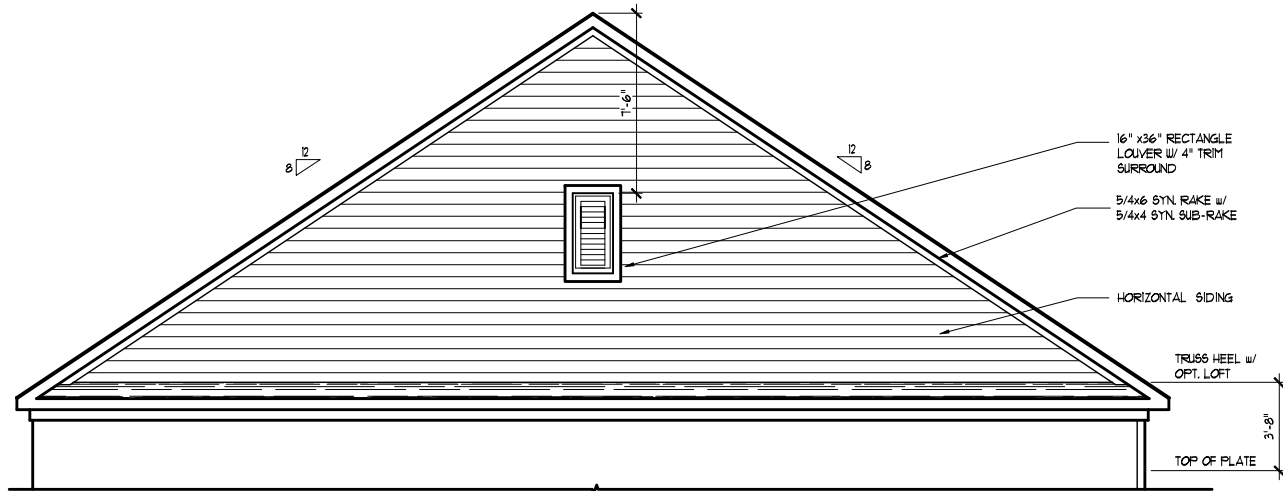
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content: **FRONT ELEVATION 3**
date: 03/15/19
drawn: ACI
scale: 1" = 4' (34x22) file: 172x11_3.3
U.N.O. 1" = 8' (17x11)
TIMBERLAKE HOMES
ROLAND
title

date	revision	by

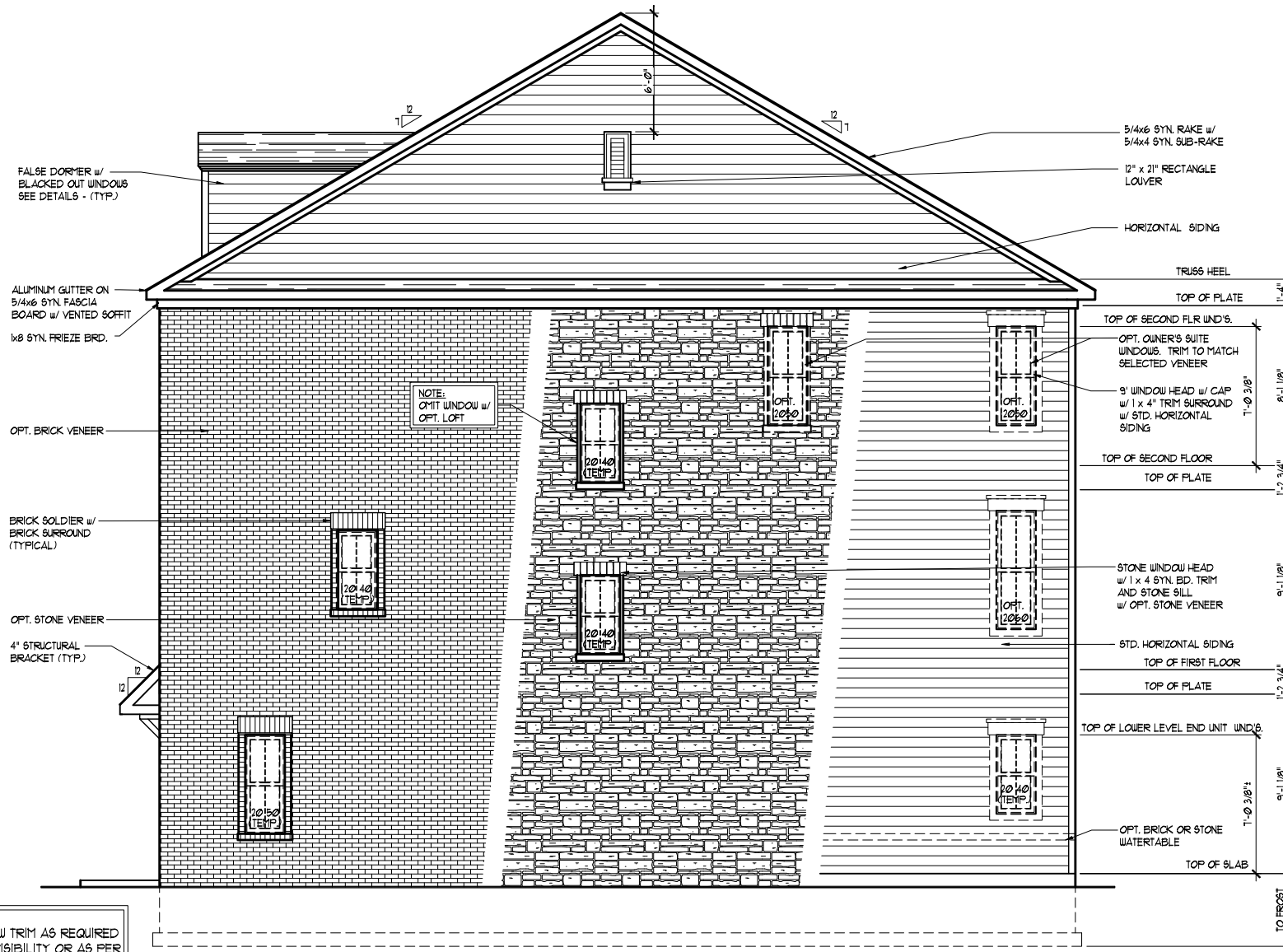
SHEET #
3.3

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expiration date: 04-09-2024



**RIGHT SIDE ELEVATION w/ OPT. END UNIT
w/ OPT. LOFT w/ BEDROOM**

SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"

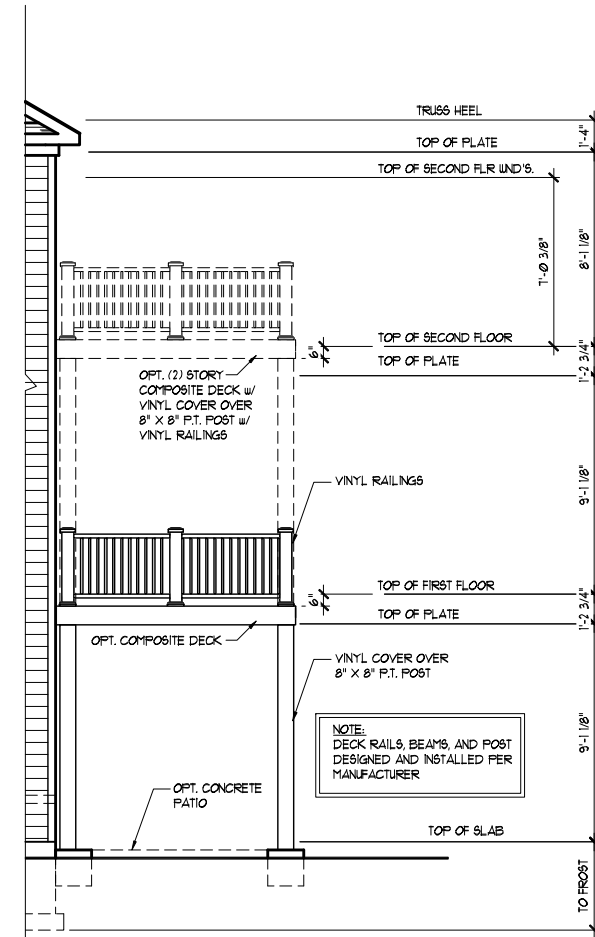


**RIGHT SIDE ELEVATION w/ OPT. END UNIT
ELEVATION #3**

SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"

NOTE:
OPT. WINDOW TRIM AS REQUIRED
WITH HIGH VISIBILITY OR AS PER
COMMUNITY REQUIREMENTS.

NOTE:
OPT. SIDE ENTRY IS NOT
AVAILABLE w/ ELEVATION #3



OPT. REAR DECK

SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"

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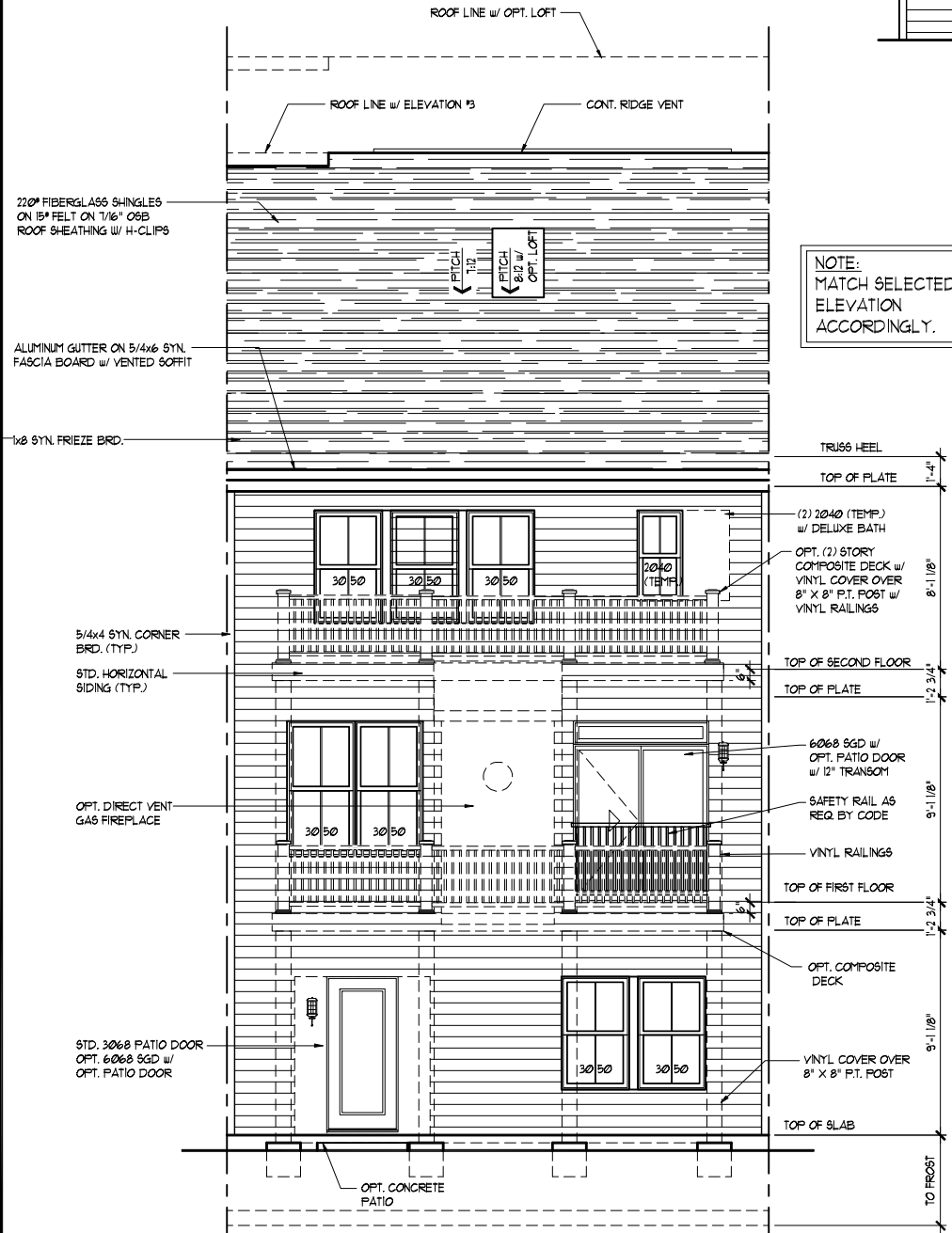
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content: **ELEV 3 OPT. END UNIT**
scale: 1" = 4' (34x22) file: 3.3A date: 03/15/19
U.N.O. 1" = 8' (17x11) 3.3A drawn: ACI
TIMBERLAKE HOMES
ROLAND
title

date	revision	by

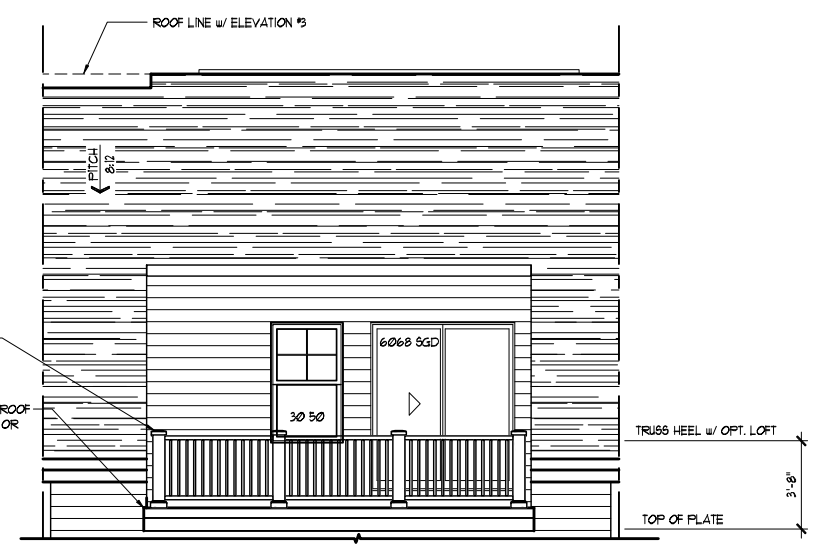
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3.3A

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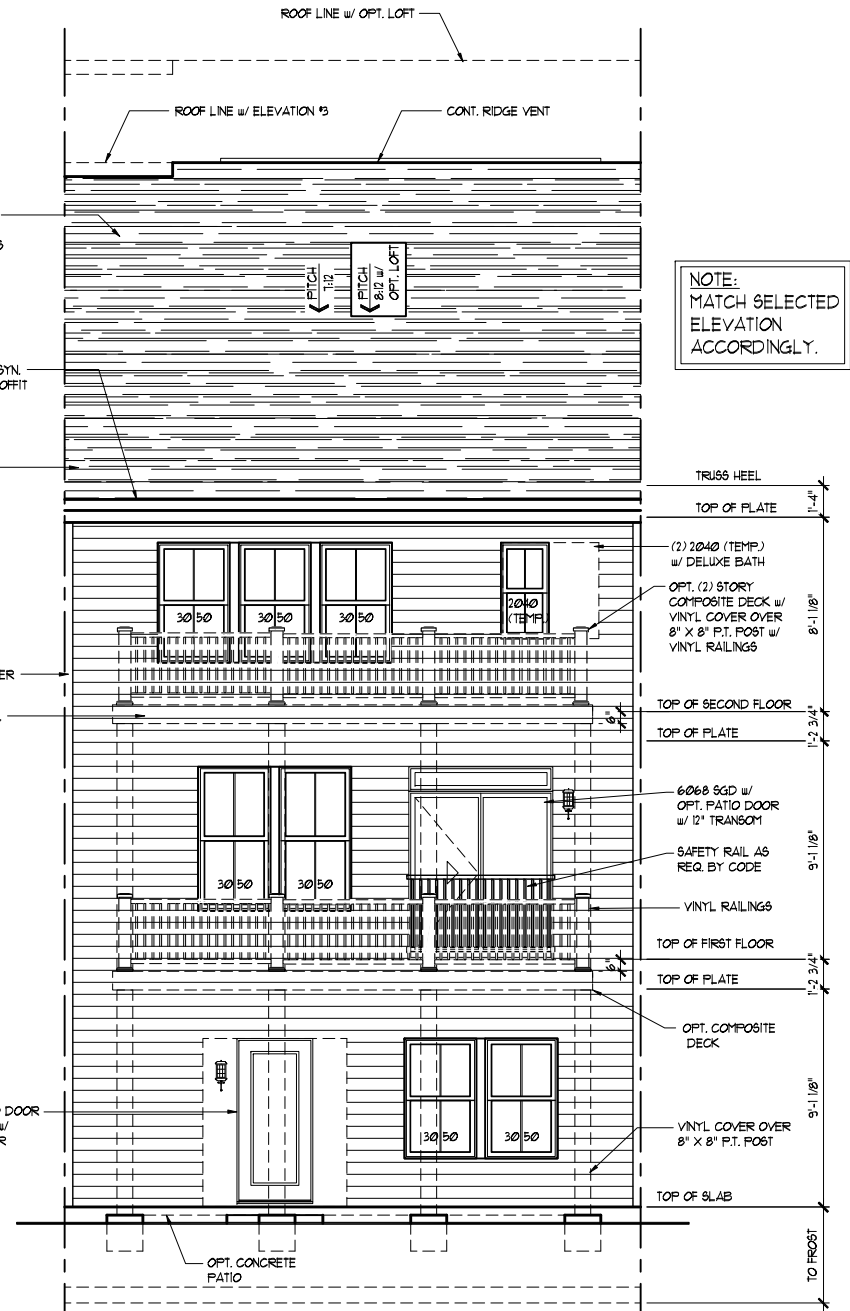


OPT. REAR ELEVATION w/ MID-KITCHEN
 SCALE (17x11): 1/8" = 1'-0"
 SCALE (34x22): 1/4" = 1'-0"

NOTE: DECK RAILS, BEAMS, AND POST DESIGNED AND INSTALLED PER MANUFACTURER



OPT. LOFT ELEVATION
 SCALE (17x11): 1/8" = 1'-0"
 SCALE (34x22): 1/4" = 1'-0"



OPT. REAR ELEVATION w/ REAR KITCHEN
 SCALE (17x11): 1/8" = 1'-0"
 SCALE (34x22): 1/4" = 1'-0"

NOTE: DECK RAILS, BEAMS, AND POST DESIGNED AND INSTALLED PER MANUFACTURER

NOTE: MATCH SELECTED ELEVATION ACCORDINGLY.

NOTE: MATCH SELECTED ELEVATION ACCORDINGLY.

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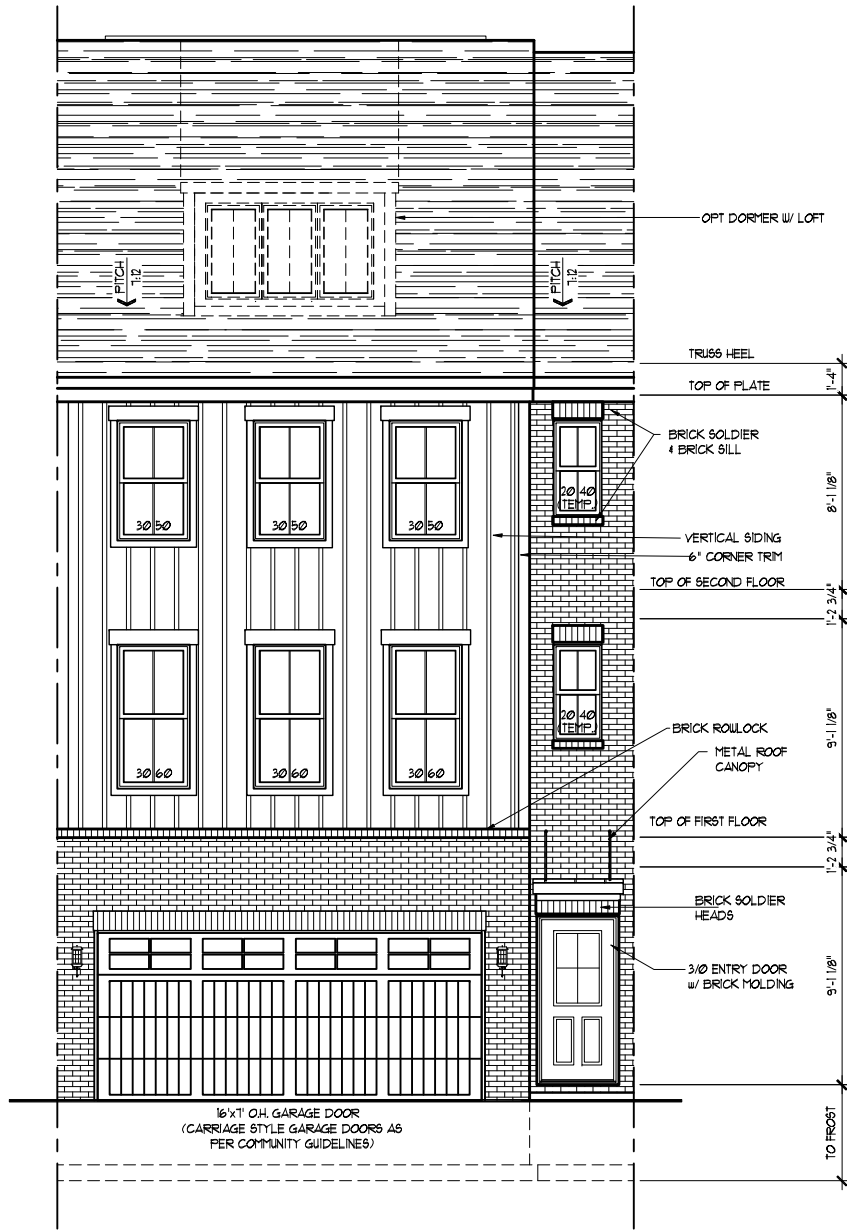
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content: REAR ELEVATION
 scale: 1" = 4' (34x22) file: 3.4 REAR ELEVATION date: 03/15/19
 U.N.O. 1" = 8' (17x11) drawn: ACI
TIMBERLAKE HOMES
 ROLAND
 title

date	revision	by

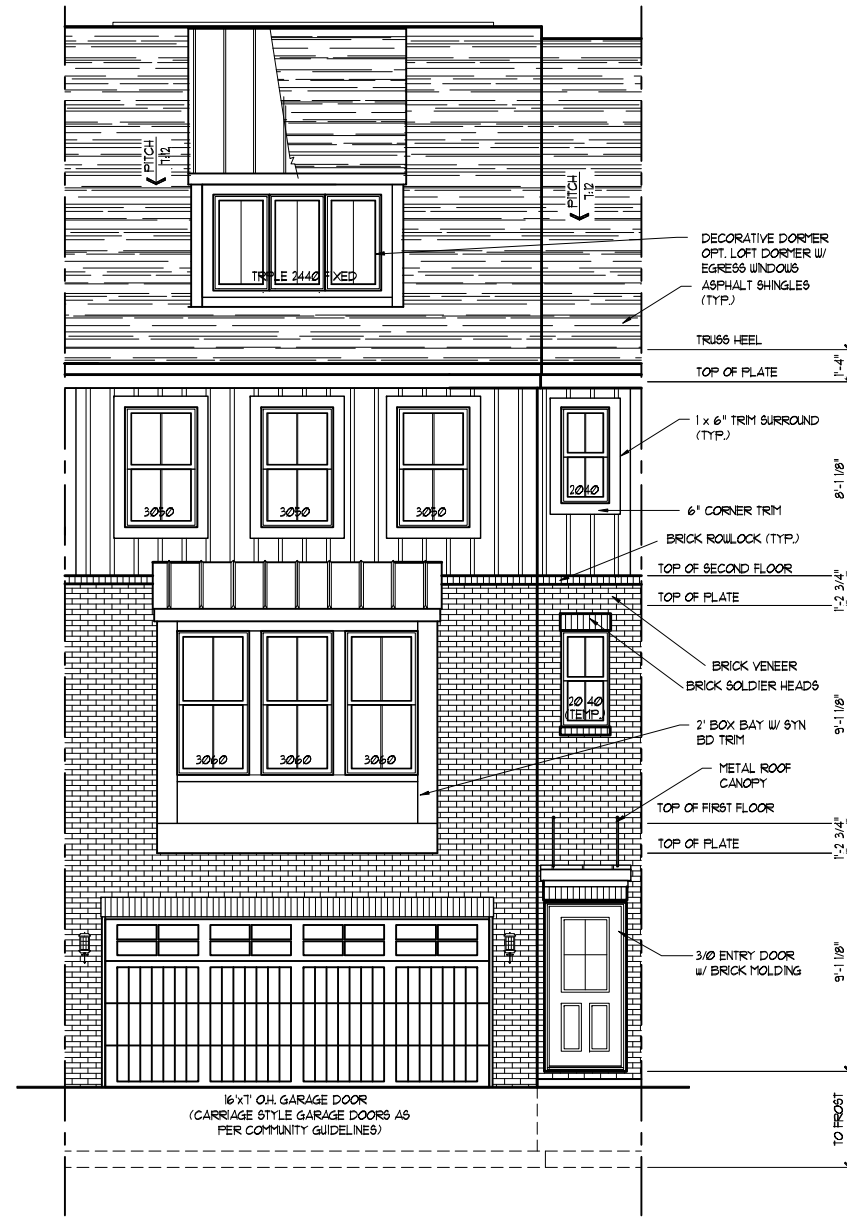
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3.4

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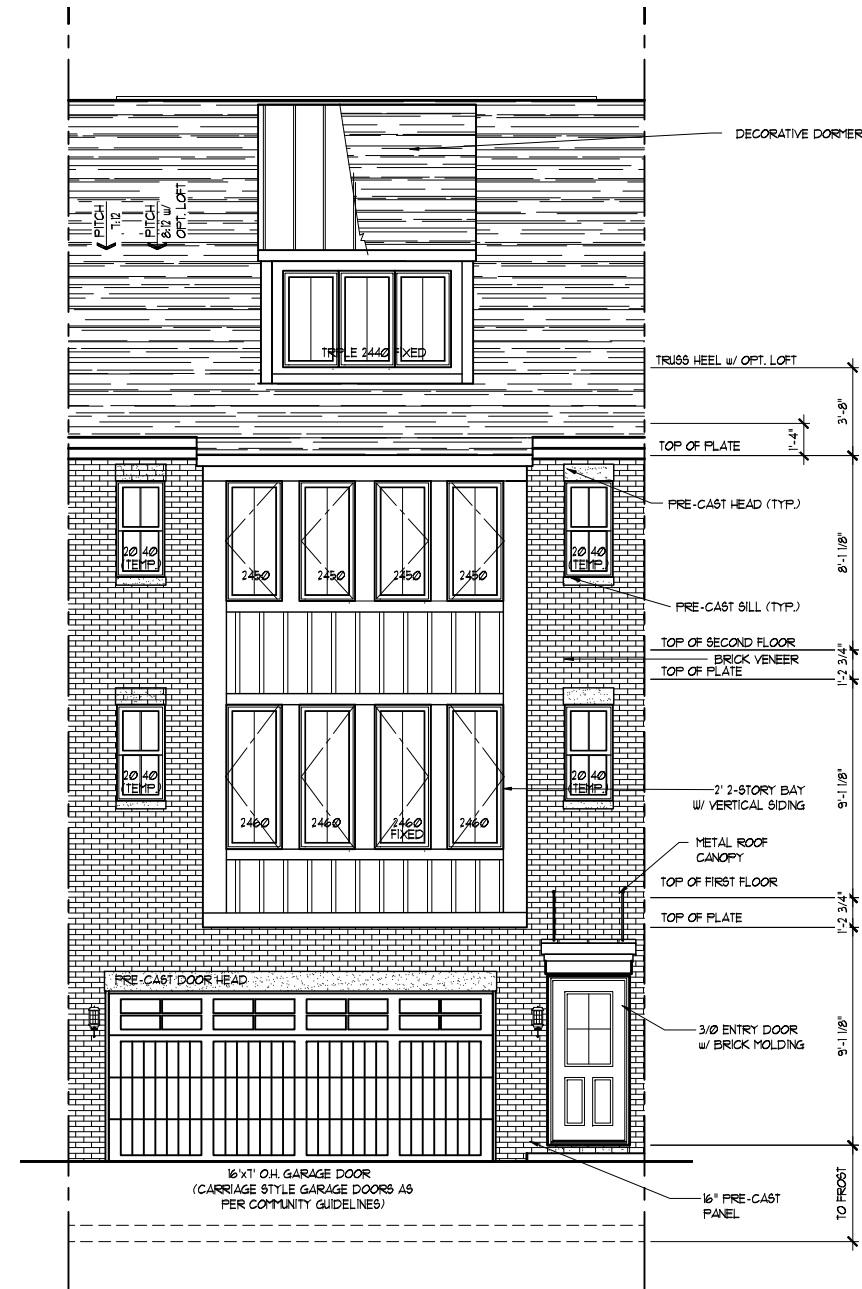
ELEVATION #1

SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"



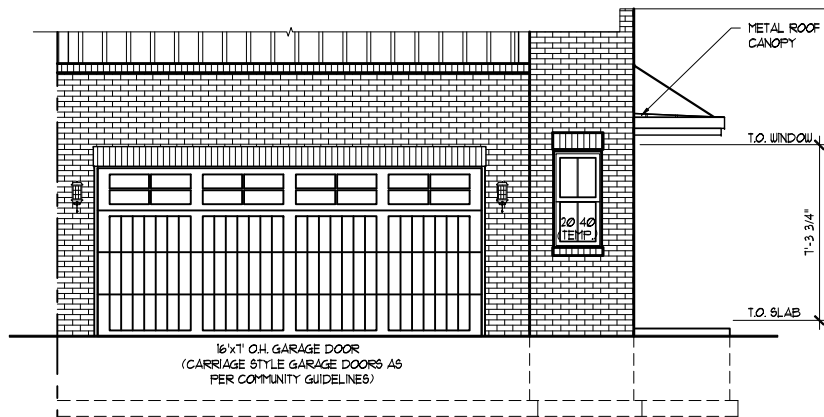
ELEVATION #2

SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"



ELEVATION #3

SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"



ELEVATION #1- OPT. SIDE ENTRY (OPT. END UNIT)

SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"

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content: **URBANESQUE ELEVATIONS**
scale: 1" = 4' (34x22) file: **3.5** date: **03/15/19**
U.N.O. 1" = 8' (17x11) 3.5
drawn: **ACI**
title: **TIMBERLAKE HOMES**
ROLAND

date	revision

SHEET #
3.5

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license number: **5621**
expiration date: **04-09-2024**



**FAIRWOOD SQUARE
PROPOSED STRIP ELEVATION - 24' WIDE TH - ROLAND**

SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"

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content: **PROPOSED STRIP ELEVATION - ROLAND**
scale: 1" = 4' (34x22) file: U.N.O. 1" = 8' (17x11) 3.6
drawn: ACI date: 03/15/19
TIMBERLAKE HOMES
ROLAND
title

date	revision	by

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3.6

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license number: 5621
expiration date: 04-05-2024

FOUNDATION NOTES

SECTION R-506
FOOTINGS AND SLABS ON GRADE SHALL BEAR ON UNDISTURBED VIRGIN SOIL OR 95% COMPACTED FILL.

SECTION R-310
1. BASEMENTS SHALL HAVE A MINIMUM OF ONE EMERGENCY ESCAPE AND RESCUE OPENING THAT SHALL OPEN DIRECTLY INTO A PUBLIC WAY.
2. SLEEPING ROOMS IN BASEMENTS THAT ARE PROTECTED BY AN AUTOMATIC FIRE SPRINKLER SYSTEM ARE NOT REQUIRED TO HAVE AN EMERGENCY ESCAPE AND RESCUE OPENING (AS PER CODE).

SECTION R-30213
FLOOR ASSEMBLIES LOCATED DIRECTLY OVER A SPACE THAT IS NOT PROTECTED BY AN AUTOMATIC FIRE SPRINKLER SYSTEM SHALL BE:
(A) CONSTRUCTED OF NOMINAL 2"x 10" OR GREATER DIMENSIONAL LUMBER
-OR-
(B) PROVIDED WITH 1/2" GYPSUM WALLBOARD MEMBRANE OR AN APPROVED FIRE-PROTECTIVE COVERING (AS PER CODE)

FRAMING NOTES:

1. ALL EXTERIOR WALLS ARE TO BE 2x6 STUDS FRAMED @ 24" O.C., UNLESS NOTED OTHERWISE.

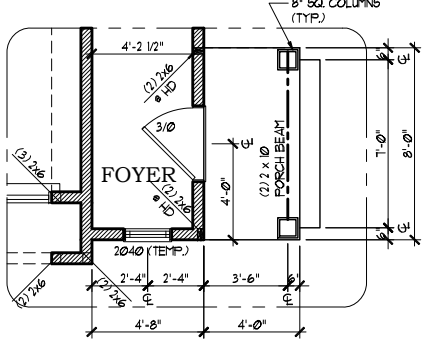
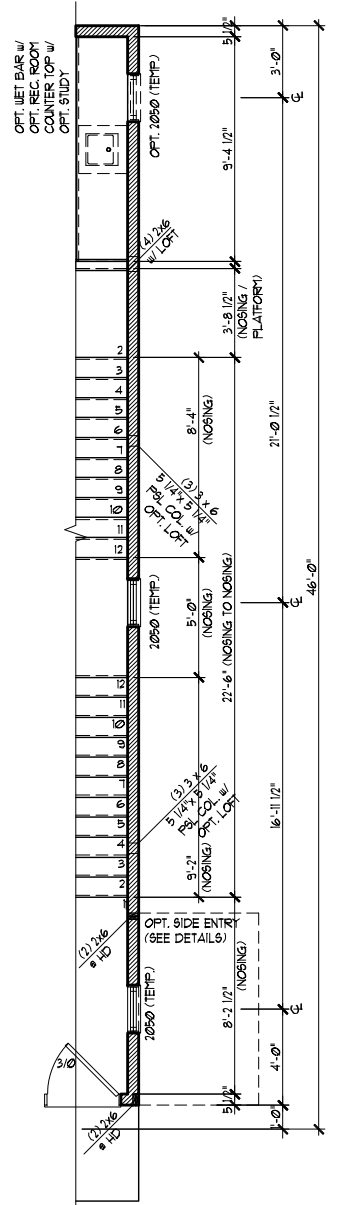
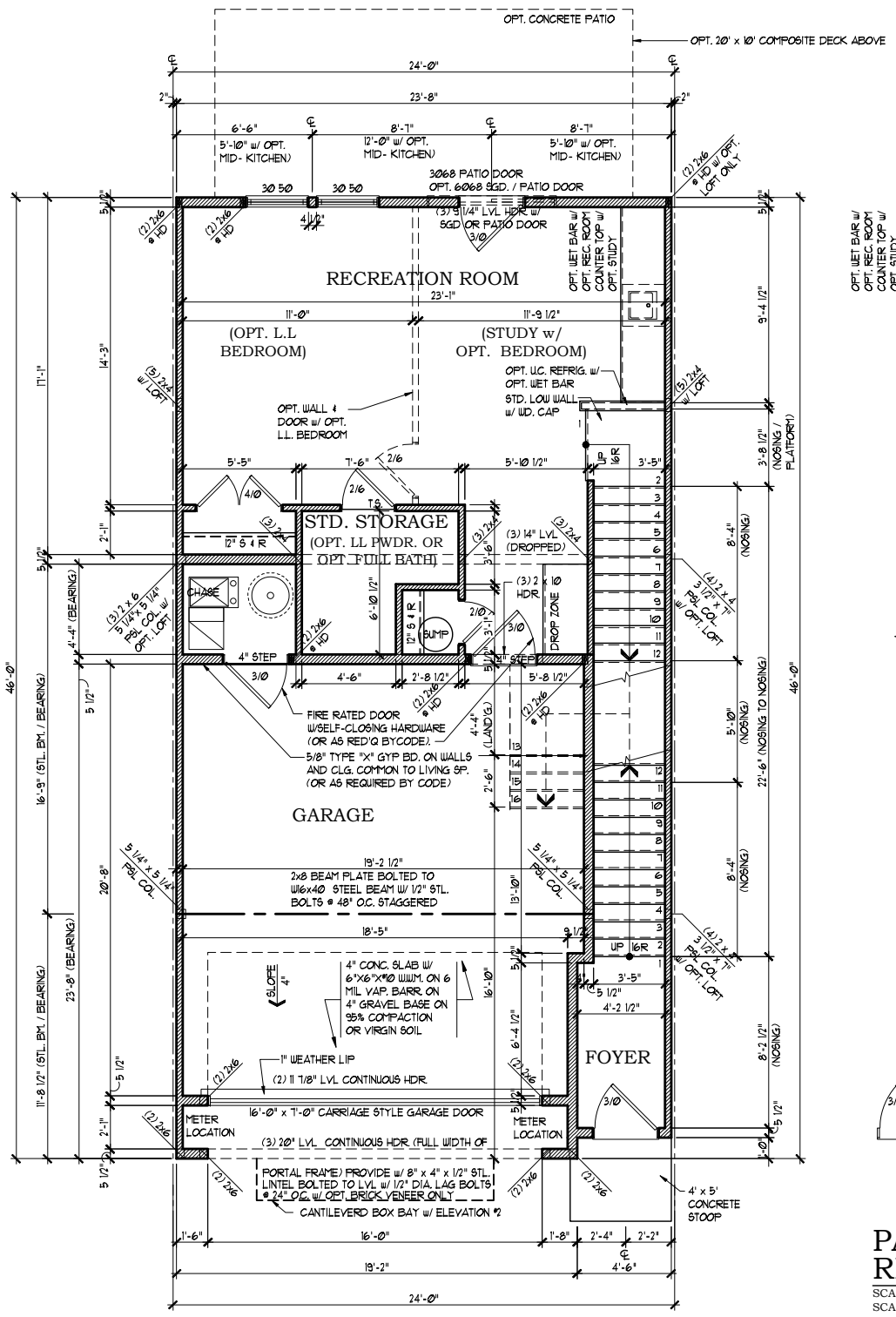
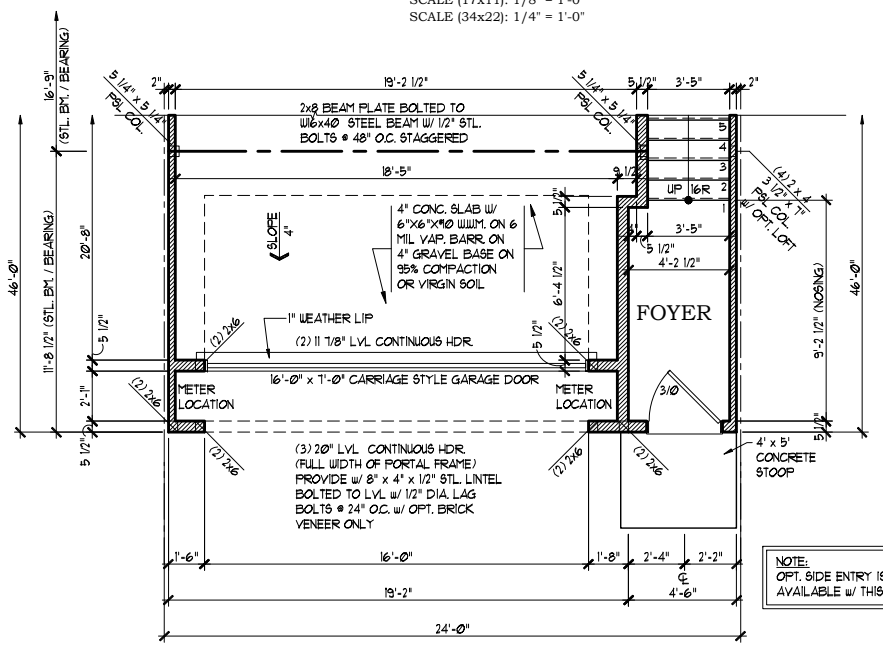
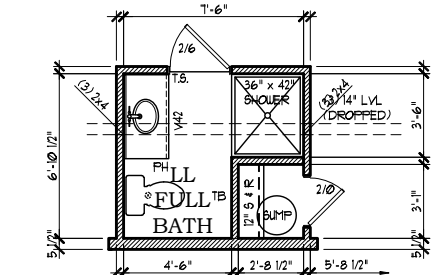
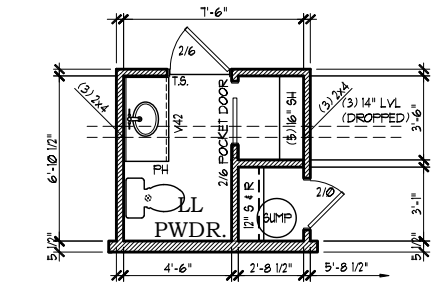
2. ALL INTERIOR WALLS ARE TO BE 2x4 STUDS FRAMED @ 16" O.C., UNLESS NOTED OTHERWISE.

3. SOLID BLOCK ALL BEAMS & HEADERS (GREATER THAN 4") w/ (1) 2x JACK STUD & (1) 2x KING STUD. THE NUMBER OF STUDS SPECIFIED AT A SUPPORT INDICATES THE NUMBER OF JACK STUDS REQUIRED (TYP) UNLESS NOTED OTHERWISE.

4. (2) 2 x 10 HEADERS (TYP) AT OPENINGS LESS THAN 12" UNLESS NOTED OTHERWISE.

5. (3) 2 x 10 HEADERS AT OPENINGS 12" OR GREATER UNLESS NOTED OTHERWISE.

6. SUB-FLOOR SHALL BE 3/4" THICK (MIN) TONGUE & GROOVE TO MEET APA STANDARD.



ELECTRICAL NOTES:
CHAPTER 34

- PROVIDE SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS WIRED TO A NEARBY CIRCUIT (WITH BATTERY BACKUP) AND INTER-CONNECTED FOR SIMULTANEOUS ACTIVATION (AS REQUIRED BY CODE).
- ELECTRICAL OUTLETS LOCATED IN GARAGES, KITCHEN, POWDER ROOM, BATH ROOMS, LAUNDRY AREA, CRAMM SPACES AND THE EXTERIOR ARE TO BE GFCI PROTECTED AS REQUIRED BY CODE.
- PROVIDE SWITCH w/ KEYLESS LIGHT IN ATTIC SPACES.
- THESE DRAWINGS ARE SCHEMATIC ONLY.
- THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND INSTALLATION OF ALL ELECTRICAL SYSTEMS.
- ALL ELECTRICAL WORK SHALL MEET THE REQUIREMENTS OF THE NATIONAL ELECTRIC CODE, THE LOCAL POWER COMPANY AND ALL APPLICABLE CODES.
- FIXTURES AND APPARATUS ARE SELECTED BY THE BUILDER AND SHALL BE UL APPROVED.

ELECTRICAL SYMBOLS

⊕	DUPLEX OUTLET 18" AFF.
⊕42	DUPLEX OUTLET 42" AFF.
⊕18	DUPLEX OUTLET 18" AFF. HALF SWITCHED
⊕220	220 VOLT DUPLEX OUTLET
⊕UP	WATERPROOF RECEPTACLE
⊕GF	GROUND FAULT INTERRUPTER
⊕GF42	GROUND FAULT INTERRUPTER 42" AFF.
⊕S	WALL SWITCH
⊕S3	3-WAY WALL SWITCH
⊕S4	4-WAY WALL SWITCH
⊕D	DIMMER WALL SWITCH
⊕F	EXHAUST FAN
⊕FL	FAN/LIGHT COMBO
⊕L	LIGHT FIXTURE CEILING MOUNTED
⊕R	LIGHT FIXTURE RECESSED LIGHT
⊕FC	FIXTURE FULL CHAIN
⊕FL	FLUORESCENT LIGHT FIXTURE
⊕FLOOD	FLOOD LIGHTS
⊕LW	LIGHT FIXTURE WALL MOUNTED
⊕T	THERMOSTAT
⊕JB	JUNCTION BOX
⊕C	DOOR CHIME
⊕TJ	TELEPHONE JACK
⊕TVJ	TELEVISION JACK
⊕GD	GARBAGE DISPOSAL
⊕SD	SMOKE DETECTOR
⊕CD	CARBON MONOXIDE DETECTOR
⊕CS	COMBINATION SMOKE-CARBON DETECTOR
⊕EP	ELECTRIC PANEL
⊕EM	ELECTRIC METER
⊕I	INTERCOM
⊕IC	INTERCOM CONSOLE

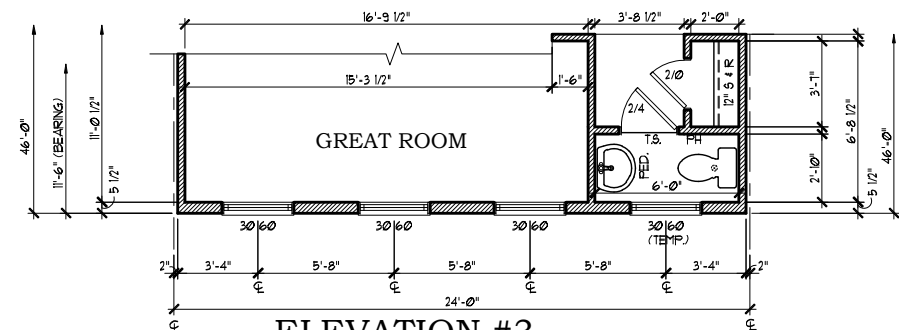
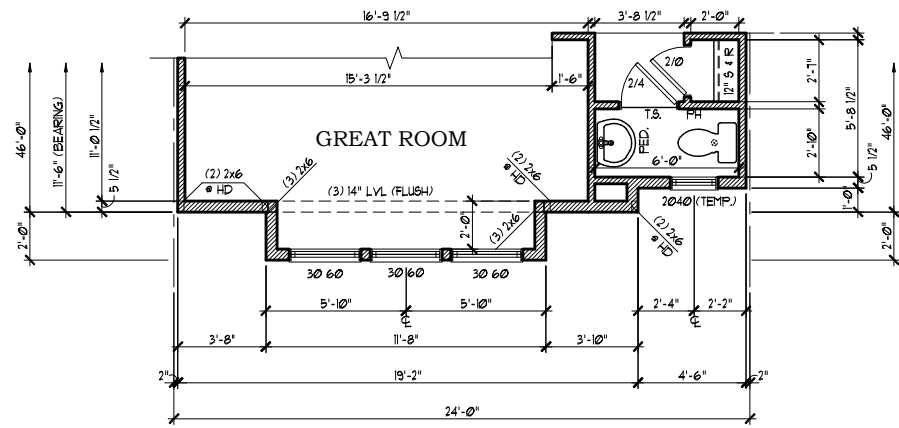
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LOWER LEVEL PLAN
date: 03/15/19
drawn: ACI
file: (34x22)
U.N.O. 1" = 8' (17x11) 4.2
TIMBERLAKE HOMES
ROLAND

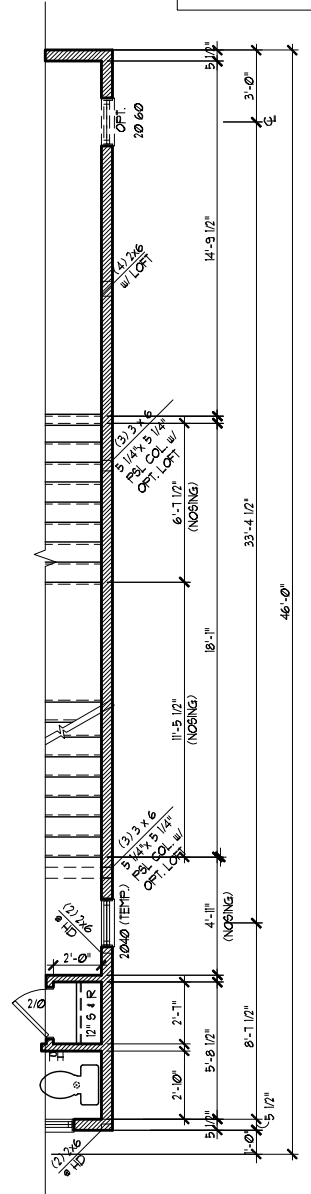
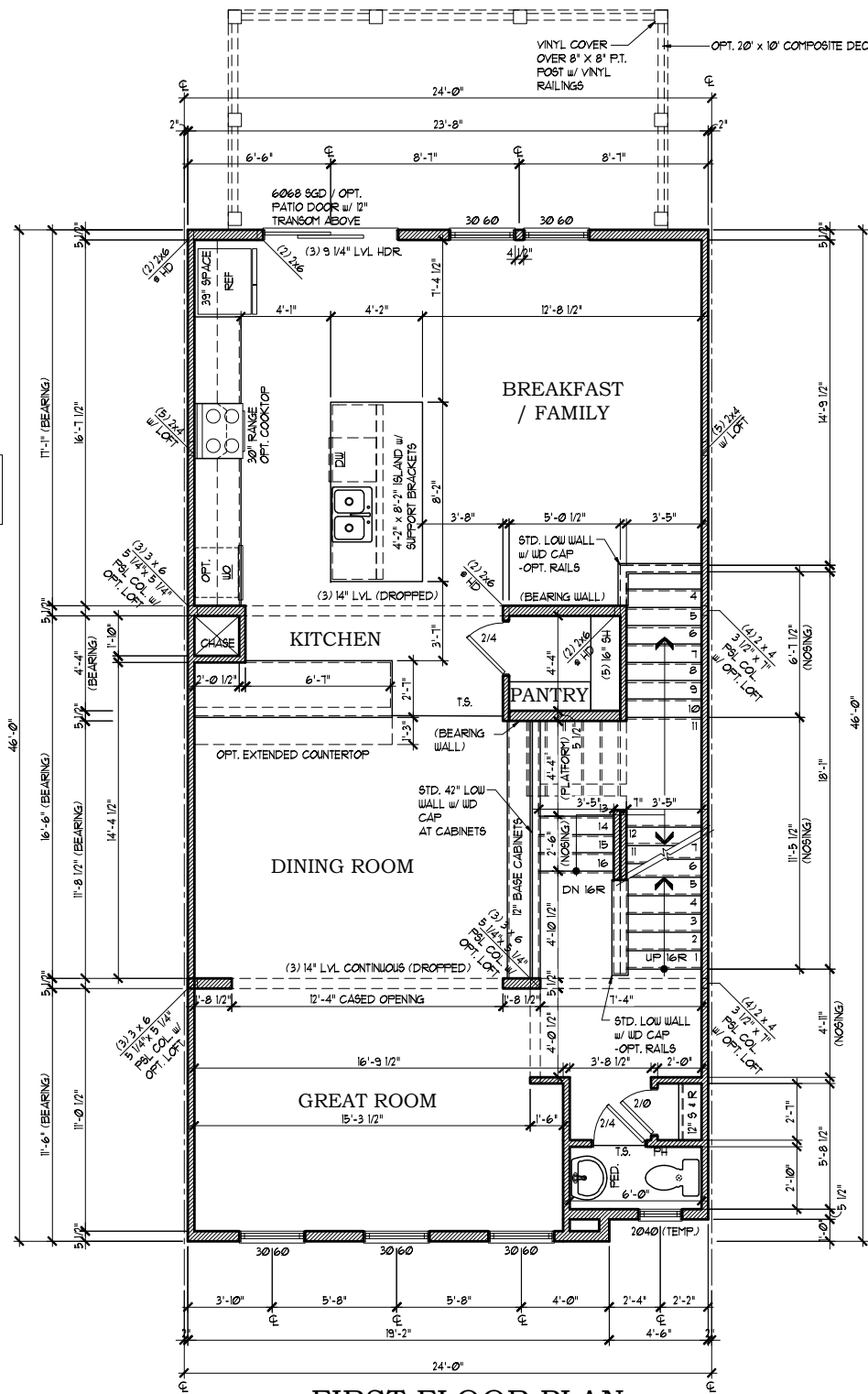
date	revision

SHEET #
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expiration date: 04-09-2024



NOTE:
 SEE KITCHEN MANUF.
 PLANS FOR EXACT
 LAYOUT AND DIMENSIONS.



- FRAMING NOTES:**
1. ALL EXTERIOR WALLS ARE TO BE 2x6 STUDS FRAMED @ 24" O.C., UNLESS NOTED OTHERWISE.
 2. ALL INTERIOR WALLS ARE TO BE 2x4 STUDS FRAMED @ 16" O.C., UNLESS NOTED OTHERWISE.
 3. SOLID BLOCK ALL BEAMS 4 HEADERS (GREATER THAN 4") w/ (1) 2x JACK STUD & (1) 2x KING STUD. THE NUMBER OF STUDS SPECIFIED AT A SUPPORT INDICATES THE NUMBER OF JACK STUDS REQUIRED (TYP.) UNLESS NOTED OTHERWISE.
 4. (2) 2 x 10 HEADERS (TYP.) AT OPENINGS LESS THAN 12" UNLESS NOTED OTHERWISE.
 5. (3) 2 x 10 HEADERS AT OPENINGS 12" OR GREATER, UNLESS NOTED OTHERWISE.
 6. SUB-FLOOR SHALL BE 3/4" THICK (MIN) TONGUE & GROOVE TO MEET APA STANDARD.

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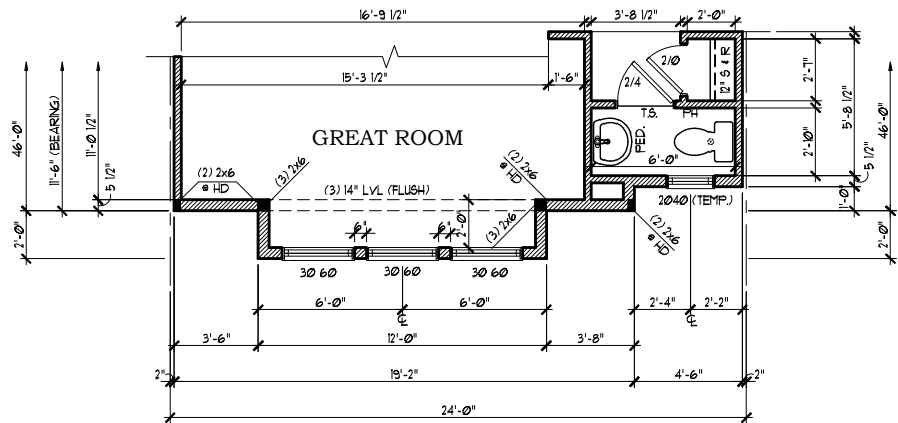
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content: **FIRST FLOOR PLAN - REAR KITCHEN**
 scale: 1" = 4' (34x22) file: **ACI** date: **03/15/19**
 U.N.O. 1" = 8' (17x11) 5.1
TIMBERLAKE HOMES
 ROLAND
 title

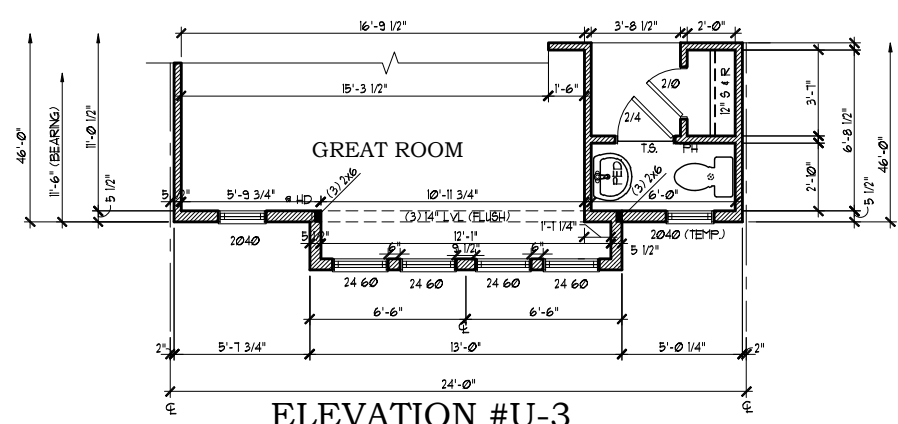
date	revision	by

SHEET #
5.1

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 expiration date: **04-09-2024**

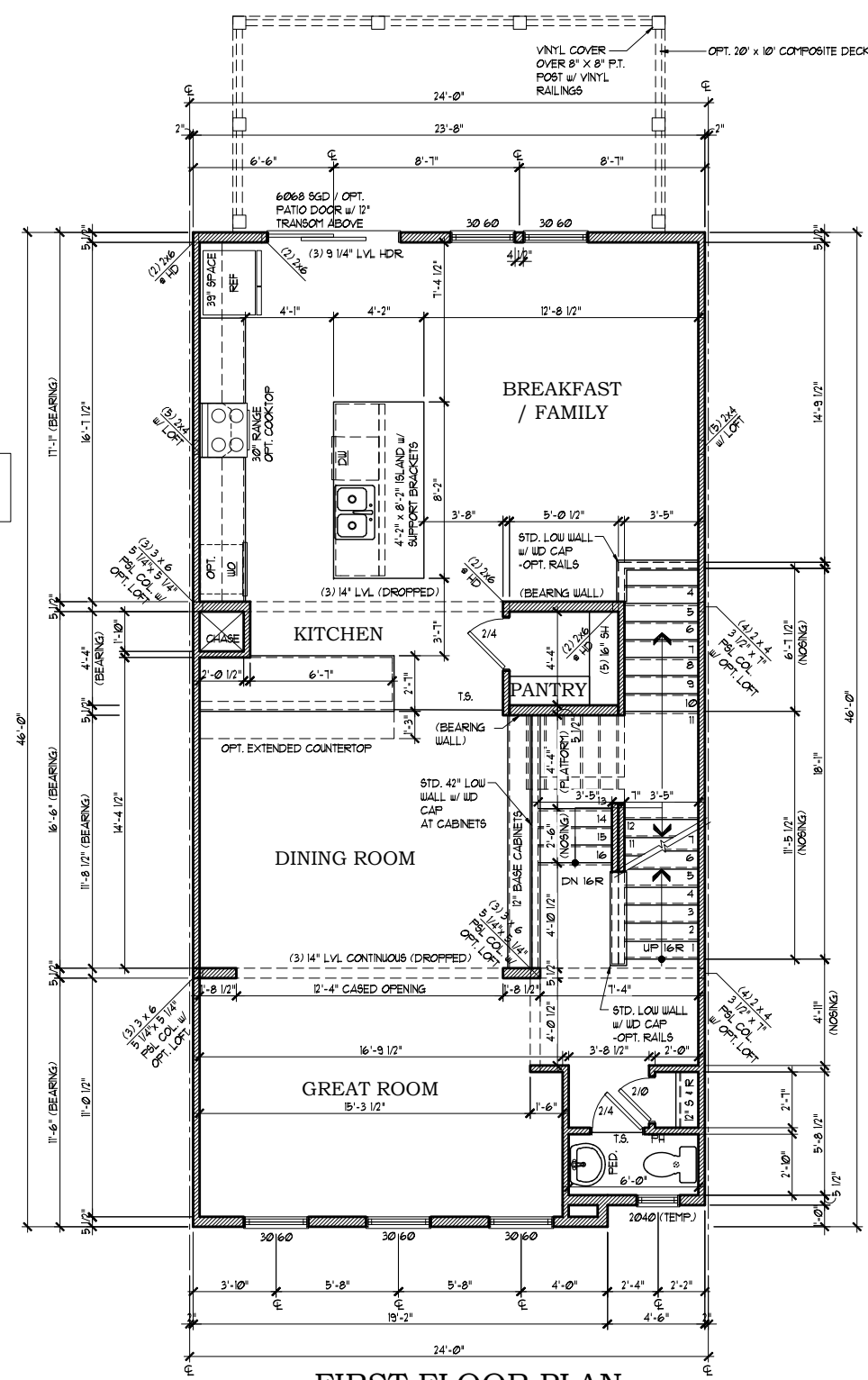


ELEVATION #U-2
 SCALE (17x11): 1/8" = 1'-0"
 SCALE (34x22): 1/4" = 1'-0"

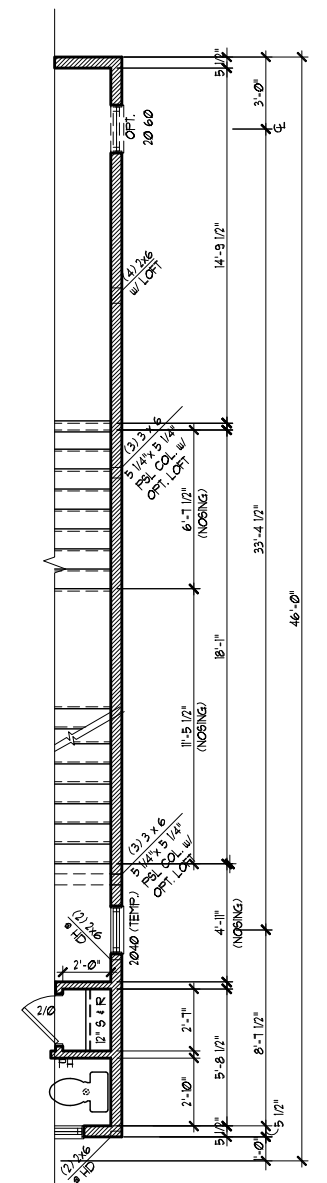


ELEVATION #U-3
 SCALE (17x11): 1/8" = 1'-0"
 SCALE (34x22): 1/4" = 1'-0"

NOTE:
 SEE KITCHEN MANUF.
 PLANS FOR EXACT
 LAYOUT AND DIMENSIONS.



**FIRST FLOOR PLAN
 REAR KITCHEN
 ELEVATION #U-1**
 SCALE (17x11): 1/8" = 1'-0"
 SCALE (34x22): 1/4" = 1'-0"



**PARTIAL PLAN
 RIGHT END UNIT**
 SCALE (17x11): 1/8" = 1'-0"
 SCALE (34x22): 1/4" = 1'-0"

- FRAMING NOTES:**
1. ALL EXTERIOR WALLS ARE TO BE 2x6 STUDS FRAMED @ 24" O.C., UNLESS NOTED OTHERWISE.
 2. ALL INTERIOR WALLS ARE TO BE 2x4 STUDS FRAMED @ 16" O.C., UNLESS NOTED OTHERWISE.
 3. SOLID BLOCK ALL BEAMS & HEADERS (GREATER THAN 4") w/ (1) 2x JACK STUD & (1) 2x KING STUD. THE NUMBER OF STUDS SPECIFIED AT A SUPPORT INDICATES THE NUMBER OF JACK STUDS REQUIRED (TYP.) UNLESS NOTED OTHERWISE.
 4. (2) 2 x 10 HEADERS (TYP.) at OPENINGS LESS THAN 12" UNLESS NOTED OTHERWISE.
 5. (3) 2 x 10 HEADERS at OPENINGS 12" or GREATER, UNLESS NOTED OTHERWISE.
 6. SUB-FLOOR SHALL BE 3/4" THICK (MIN) TONGUE & GROOVE TO MEET APA STANDARD.

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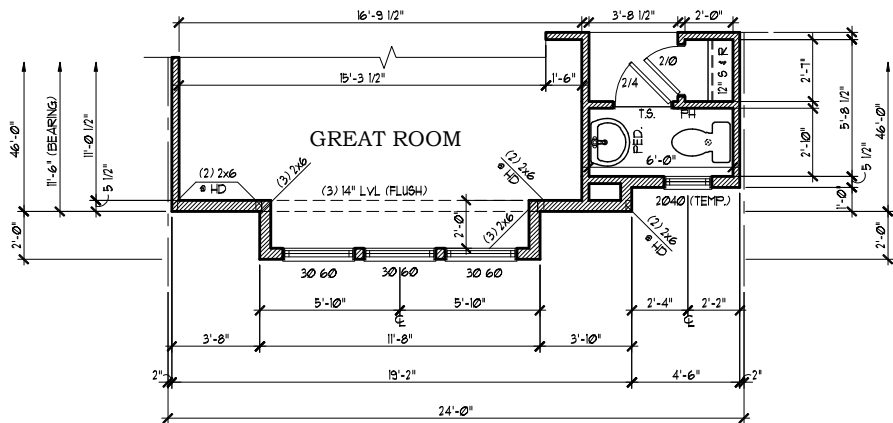
content: **URBANESQUE FIRST FLOOR- REAR KITCHEN**
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 U.N.O. 1" = 8' (17x11) 5.1B

date	revision	by

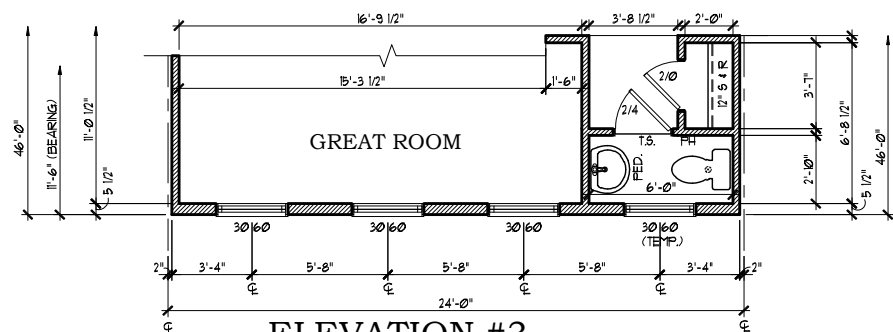
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 expiration date: 04-05-2024

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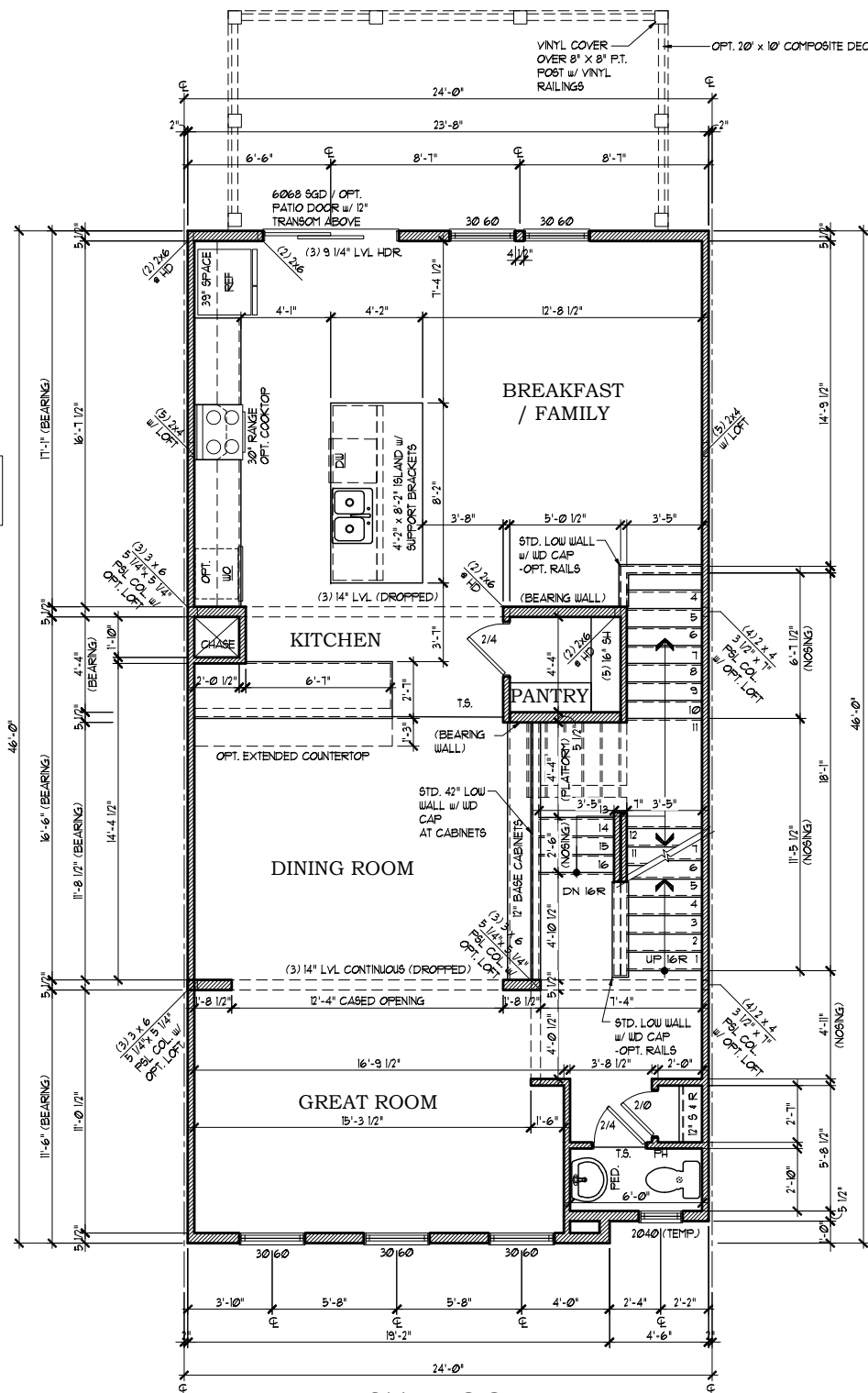


ELEVATION #2
SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"

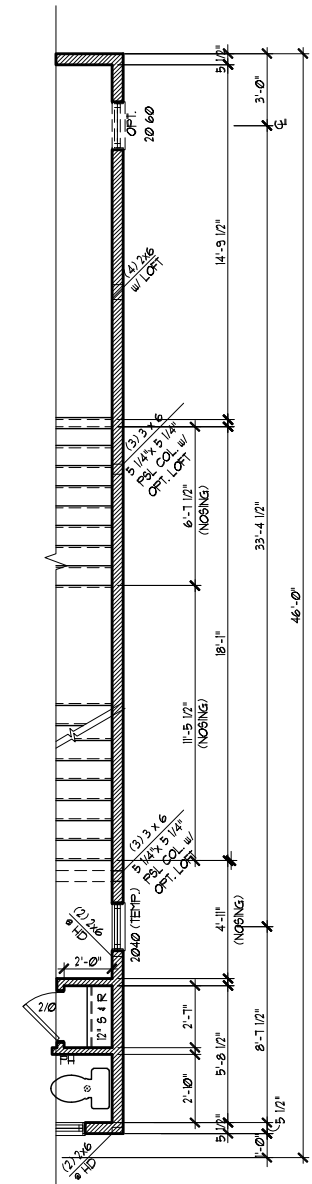


ELEVATION #3
SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"

NOTE:
SEE KITCHEN MANUF.
PLANS FOR EXACT
LAYOUT AND DIMENSIONS.



**FIRST FLOOR PLAN
REAR KITCHEN
ELEVATION #1**
SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"



**PARTIAL PLAN
RIGHT END UNIT**
SCALE (17x11): 1/8" = 1'-0"
SCALE (34x22): 1/4" = 1'-0"

- FRAMING NOTES:**
1. ALL EXTERIOR WALLS ARE TO BE 2x6 STUDS FRAMED @ 24" O.C., UNLESS NOTED OTHERWISE.
 2. ALL INTERIOR WALLS ARE TO BE 2x4 STUDS FRAMED @ 16" O.C., UNLESS NOTED OTHERWISE.
 3. SOLID BLOCK ALL BEAMS & HEADERS (GREATER THAN 4") w/ (1) 2x JACK STUD & (1) 2x KING STUD. THE NUMBER OF STUDS SPECIFIED AT A SUPPORT INDICATES THE NUMBER OF JACK STUDS REQUIRED (TYP) UNLESS NOTED OTHERWISE.
 4. (2) 2 x 10 HEADERS (TYP) at OPENINGS LESS THAN 12" UNLESS NOTED OTHERWISE.
 5. (3) 2 x 10 HEADERS at OPENINGS 12" or GREATER, UNLESS NOTED OTHERWISE.
 6. SUB-FLOOR SHALL BE 3/4" THICK (MIN) TONGUE & GROOVE TO MEET APA STANDARD.

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Tel.: (410) 465-7500 Fax: (410) 465-0903

content: URBANESQUE-FIRST FLOOR-MID KITCHEN
drawn: ACI
date: 03/15/19
file: 34x22
U.N.O. 1" = 8" (17x11) 5.1C
TIMBERLAKE HOMES
ROLAND
title

date	revision

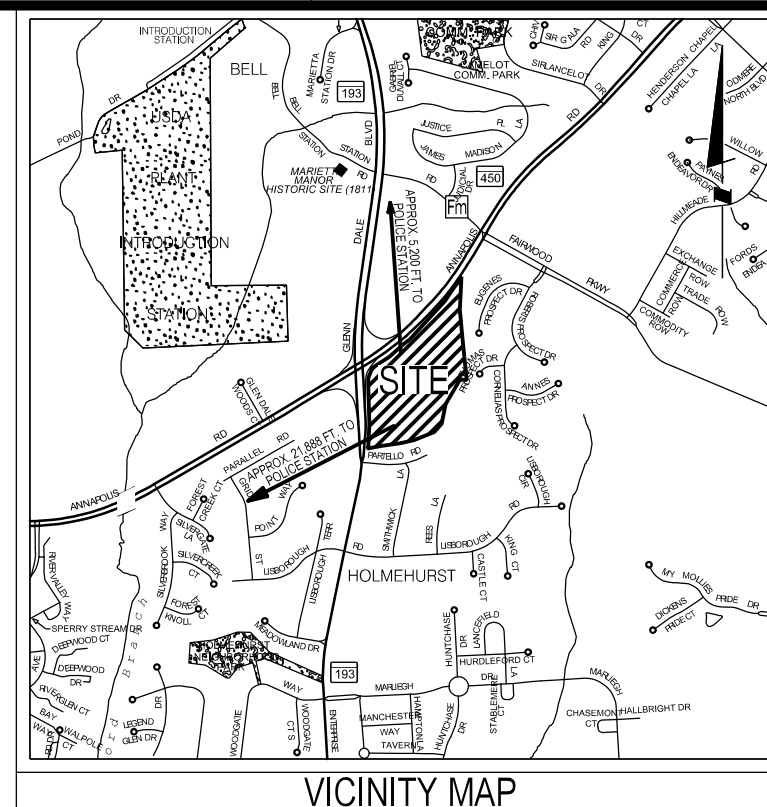
SHEET #
5.1C

Professional Certification
I hereby certify that these documents were prepared or approved by me, and I am a duly Licensed Professional Architect under the laws of the State of Maryland.
license number: 5621
expiration date: 04-09-2024

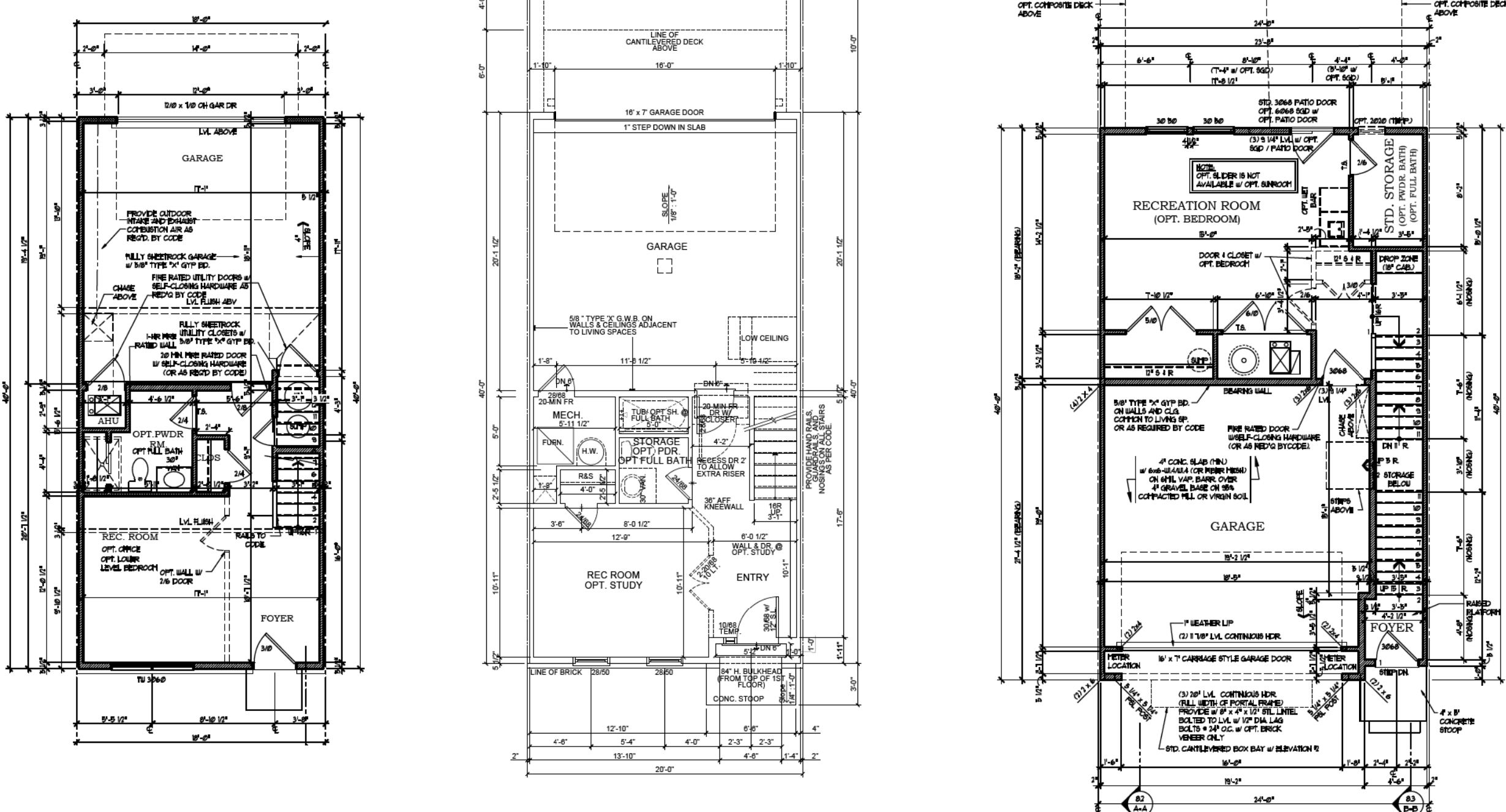
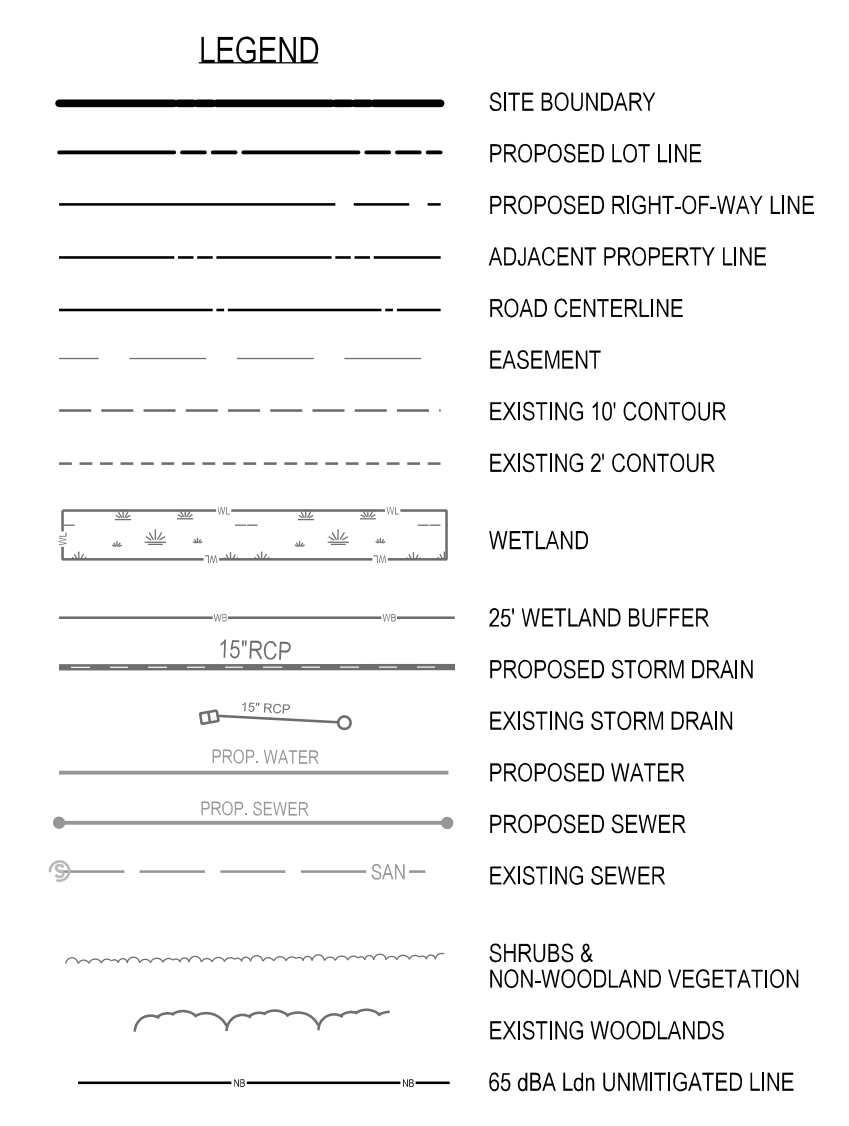
DETAILED SITE PLAN FAIRWOOD SQUARE

SOLTESZ, LLC
4300 Forbes Boulevard, Suite 230
Lanham, MD 20706
P. 301.794.7555 F. 301.794.7656
www.solteszco.com

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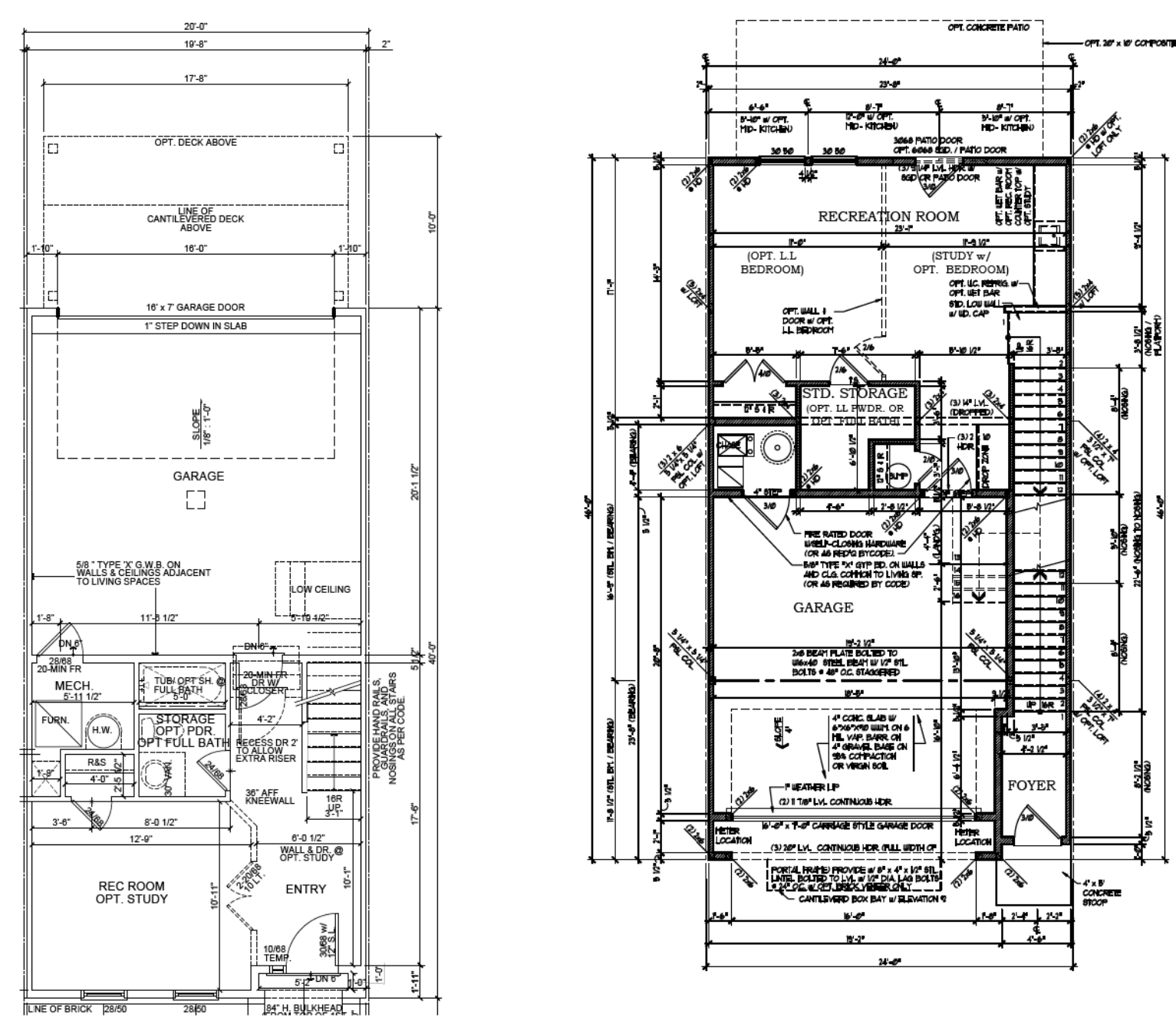
SHEET INDEX
SHEET 1: COVER SHEET
SHEET 2: APPROVAL SHEET
SHEET 3-6: PLANVIEW



MADIERA 18FT x 40FT
1 CAR GARAGE
3 STORY W/OPT LOFT
BUILDING HEIGHT: 36'-3/4"
DRIVEWAY WIDTH: 12FT
DRIVEWAY MATERIAL: ASPHALT

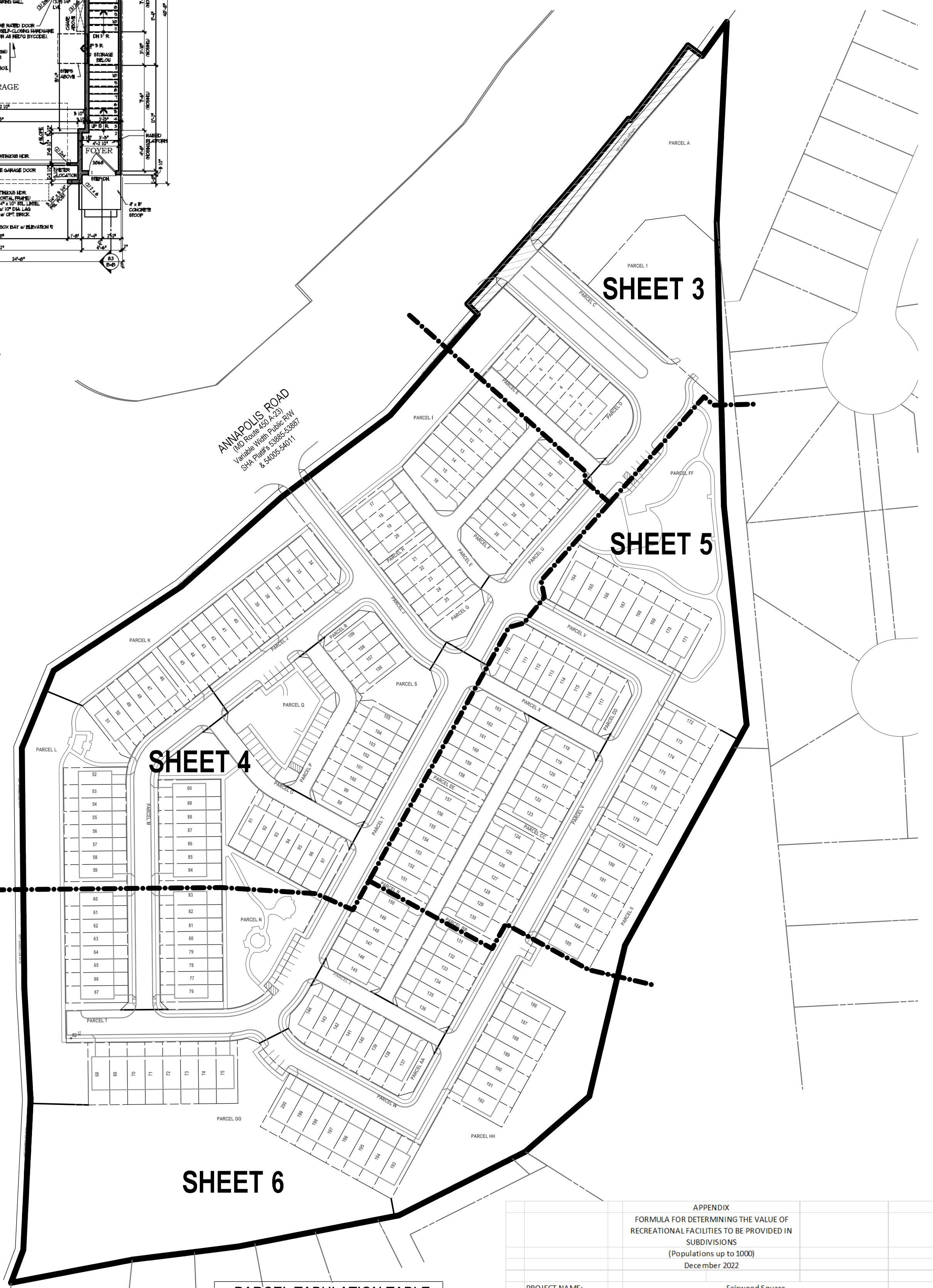
FOXGLOVE 20FT x 40FT
2 CAR GARAGE
3 STORY
BUILDING HEIGHT: 36'-3/4"
DRIVEWAY WIDTH: 16FT
DRIVEWAY MATERIAL: ASPHALT

LIBERTY 24FT x 40FT
2 CAR GARAGE
3 STORY
BUILDING HEIGHT: 36'-3/4"
DRIVEWAY WIDTH: 16FT
DRIVEWAY MATERIAL: ASPHALT



REDWOOD 20FT x 40FT
2 CAR GARAGE
3 STORY W/OPT LOFT
BUILDING HEIGHT: 36'-3/4"
DRIVEWAY WIDTH: 16FT
DRIVEWAY MATERIAL: ASPHALT

ROLAND 24FT x 44FT
2 CAR GARAGE
3 STORY
BUILDING HEIGHT: 36'-4"
DRIVEWAY WIDTH: 16FT
DRIVEWAY MATERIAL: ASPHALT



LOTS	Brick	Stone	Stucco
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LOTS	Brick	Stone	Stucco
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Statement of Finished Square Footage

Project Name:	FAIRWOOD SQUARE
Model Name:	LIBERTY
Total Base Finished Area:	2450 SF
Total Finished Area with all Options:	2825 SF
Above-grade finished area:	N/A
Below-grade finished area:	N/A
Total Unfinished Area:	453 SF
Above-grade:	20 SF
Below-grade:	N/A
Garage (1-car, 2-car):	433 SF
Two-storage foyer or vaulted ceiling:	yes

Statement of Finished Square Footage

Project Name:	FAIRWOOD SQUARE
Model Name:	MADIERA
Total Base Finished Area:	1740 SF
Total Finished Area with all Options:	1740 SF
Above-grade finished area:	N/A
Below-grade finished area:	N/A
Total Unfinished Area:	377 SF
Above-grade:	35 SF
Below-grade:	N/A
Garage (1-car, 2-car):	342 SF
Two-storage foyer or vaulted ceiling:	yes

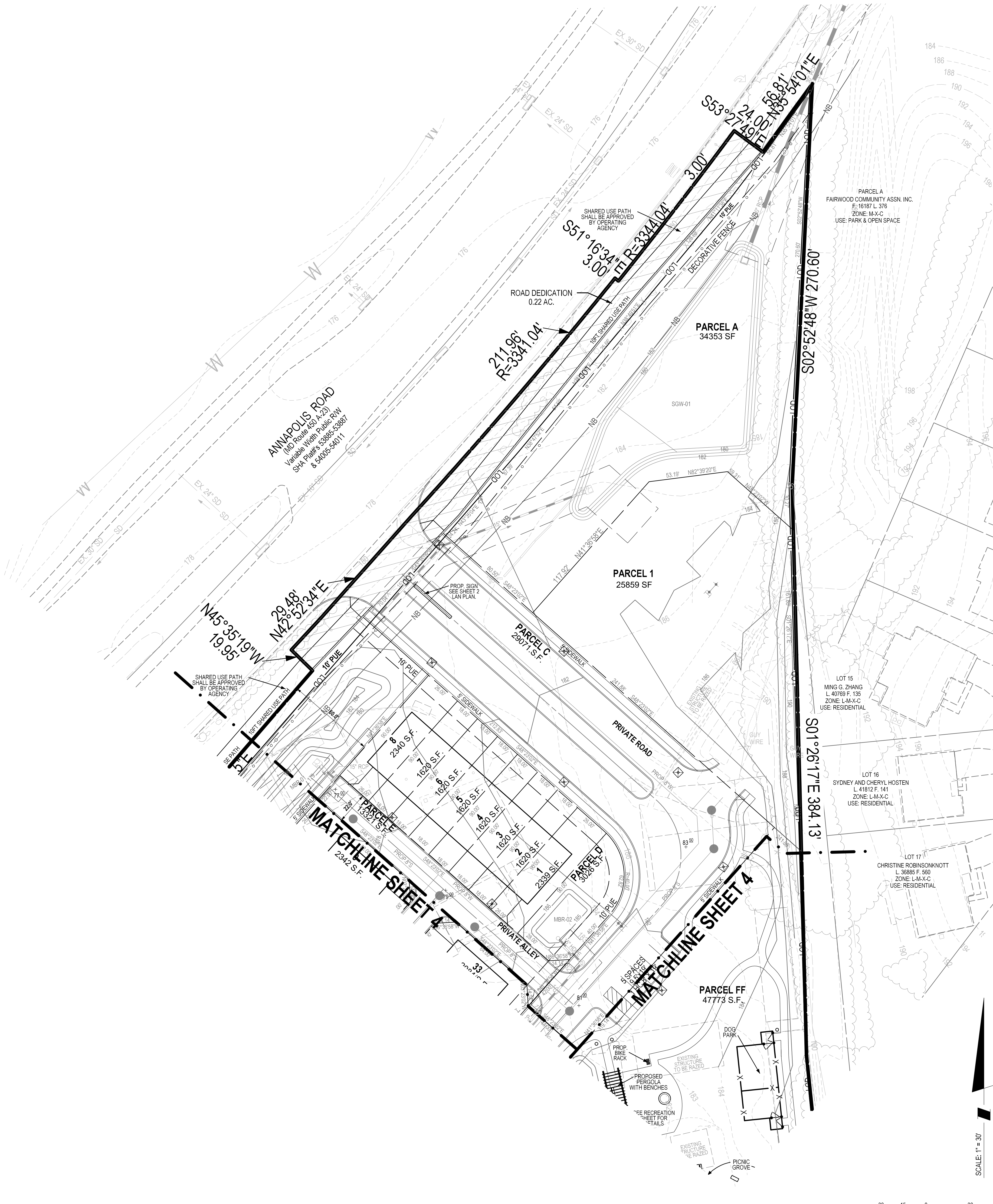
Statement of Finished Square Footage

Project Name:	FAIRWOOD SQUARE
Model Name:	ROLAND
Total Base Finished Area:	2031 SF
Total Finished Area with all Options:	3366 SF
Above-grade finished area:	N/A
Below-grade finished area:	N/A
Total Unfinished Area:	491 SF
Above-grade:	36 SF
Below-grade:	N/A
Garage (1-car, 2-car):	453 SF
Two-storage foyer or vaulted ceiling:	yes

Statement of Finished Square Footage

Project Name:	Fairwood Square
Model Name:	Foxglove
Total Base Finished Area:	1088
Total Finished Area with all Options:	1947
Above-grade finished area:	N/A
Below-grade finished area:	N/A
Total Unfinished Area:	444
Above-grade:	N/A
Below-grade:	N/A
Garage (1-car, 2-car):	2-CAR
Two-storage foyer or vaulted ceiling:	yes

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NO. REVISIONS BY DATE

MISS UTILITY NOTE
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APPLICANT
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 FAX # 301-336-0885
 MR. GREG McANINCH

OWNER
 IRMGARD H HAWKINS BY-PASS TRUST
 12205 ANNAPOLIS ROAD
 BOWIE, MD 20720



2/16/2023

PLAN VIEW

DETAILED SITE PLAN -DSP-22028
FAIRWOOD SQUARE
 ENTERPRISE & ANNAPOLIS ROAD
 QUEEN ANNE (7th) ELECTION DISTRICT, PRINCE GEORGES COUNTY, MARYLAND

TAX MAP 45, F3 CURRENT ZONING CATEGORY RE

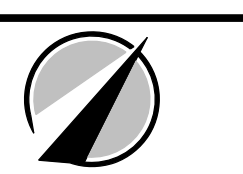
WSBC 200 SHEET 207NE11 PREVIOUS ZONING CATEGORY RE

SITE DATUM: NAD 83
 HORIZONTAL: NAD 83
 VERTICAL: NGVD 29

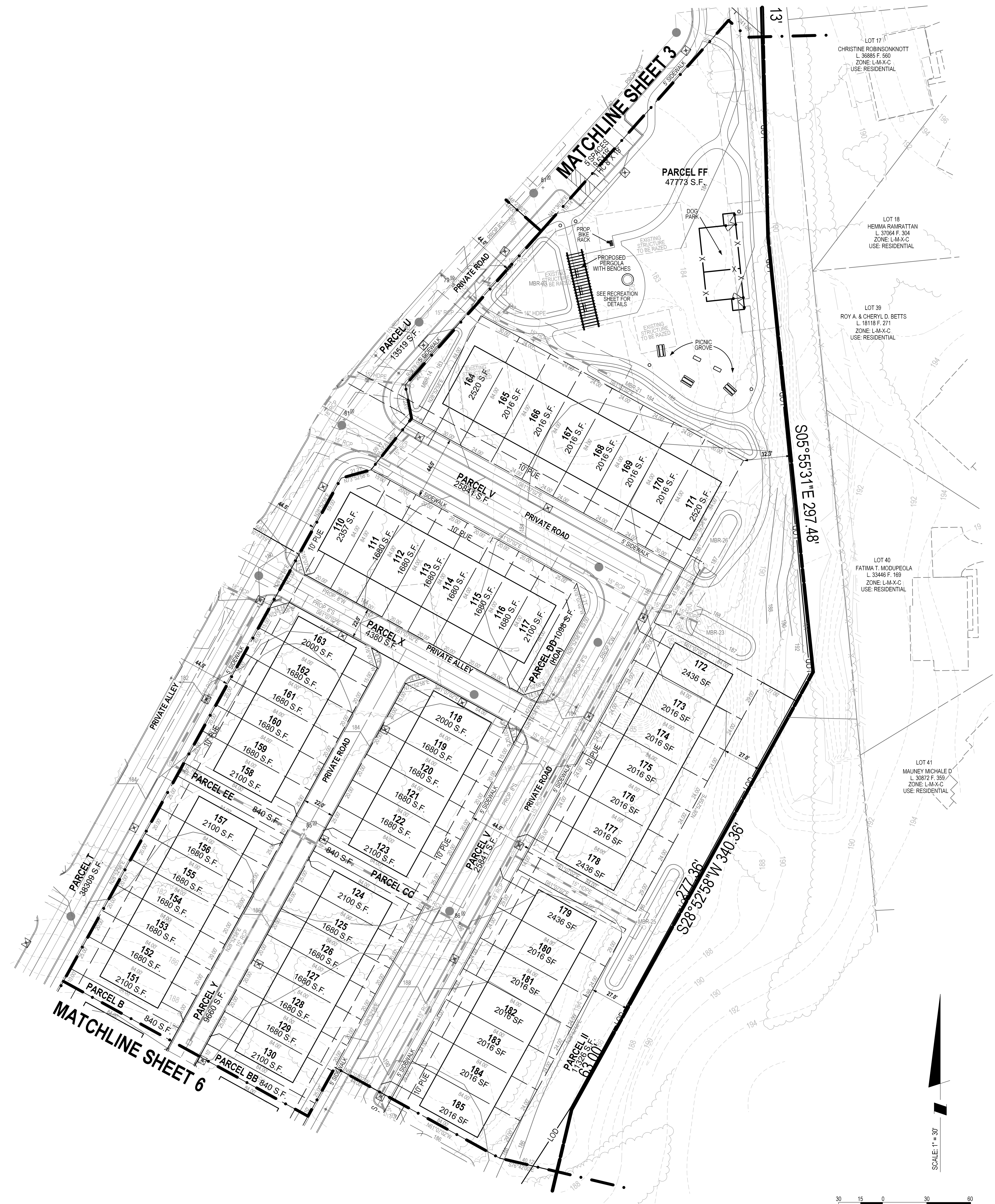
DATE: 2/16/2023
 DESIGNED: YOR
 CHECKED: YOR
 CAD STDL: D/B
 VERSION: V8 / NCS

SHEET 3 OF 6

PROJECT NO. 3902-04-00



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 BOWIE, MD 20720



2/16/2023

PLAN VIEW
DETAILED SITE PLAN -DSP-22028
FAIRWOOD SQUARE
ENTERPRISE & ANNAPOLIS ROAD
 QUEEN ANNE (7th) ELECTION DISTRICT, PRINCE GEORGES COUNTY, MARYLAND

TAX MAP 45, F3	CURRENT ZONING CATEGORY RE
WS&C 200 SHEET 207NE11	PREVIOUS ZONING CATEGORY RE
SITE DATUM HORIZONTAL: NAD 83 VERTICAL: NGVD 29	
1" = 30'	DATE: 2/16/2023
SHEET 5	DESIGNED: YOR
OF 6	TECHNICIAN: YOR
	CHECKED: D/B
	CAD STPL: V8 / NCS
PROJECT NO. 3902-04-00	

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ENTERPRISE ROAD

ANNAPOLIS ROAD

PARCEL K

PARCEL L

PARCEL M

PARCEL N

PARCEL T

PARCEL J



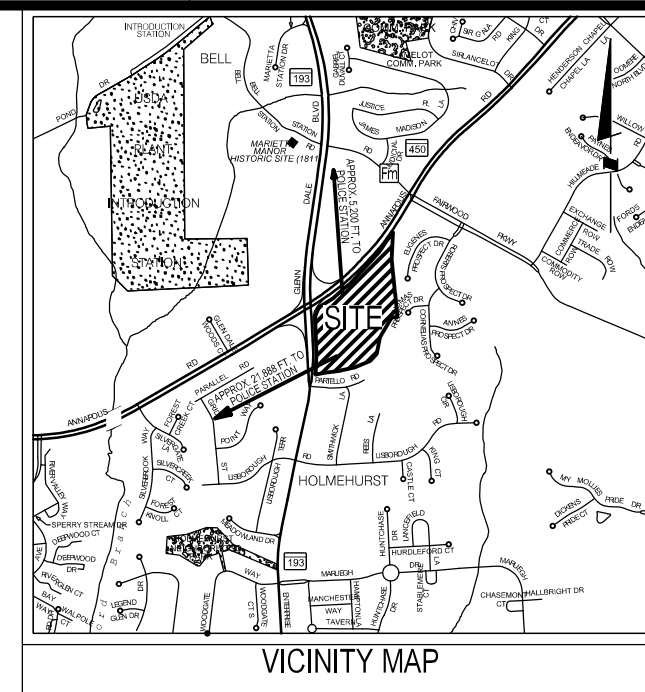
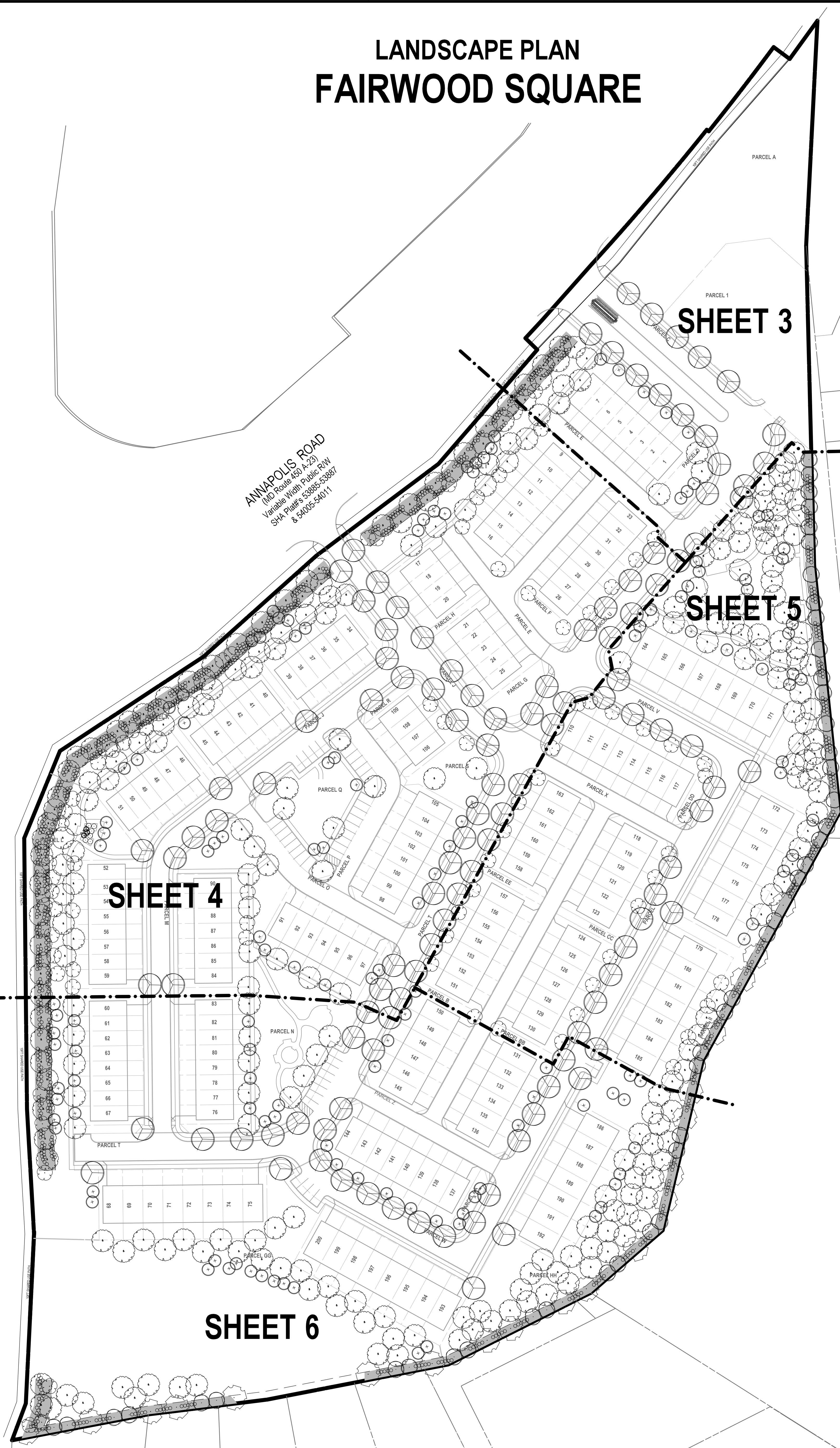
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EXHIBIT FOR
FIRE ACCESS
FAIRWOOD SQUARE
DSP-22028
PRINCE GEORGE'S COUNTY, MARYLAND

SCALE: 1" = 60'

LANDSCAPE PLAN FAIRWOOD SQUARE



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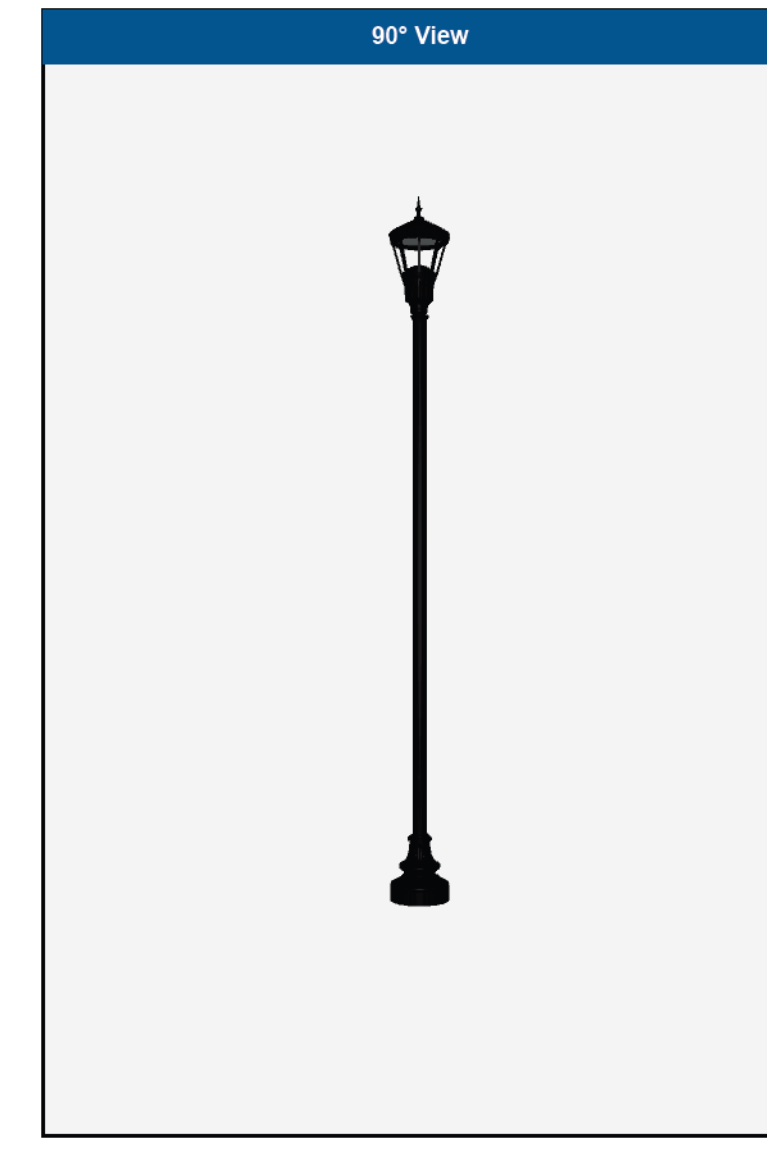
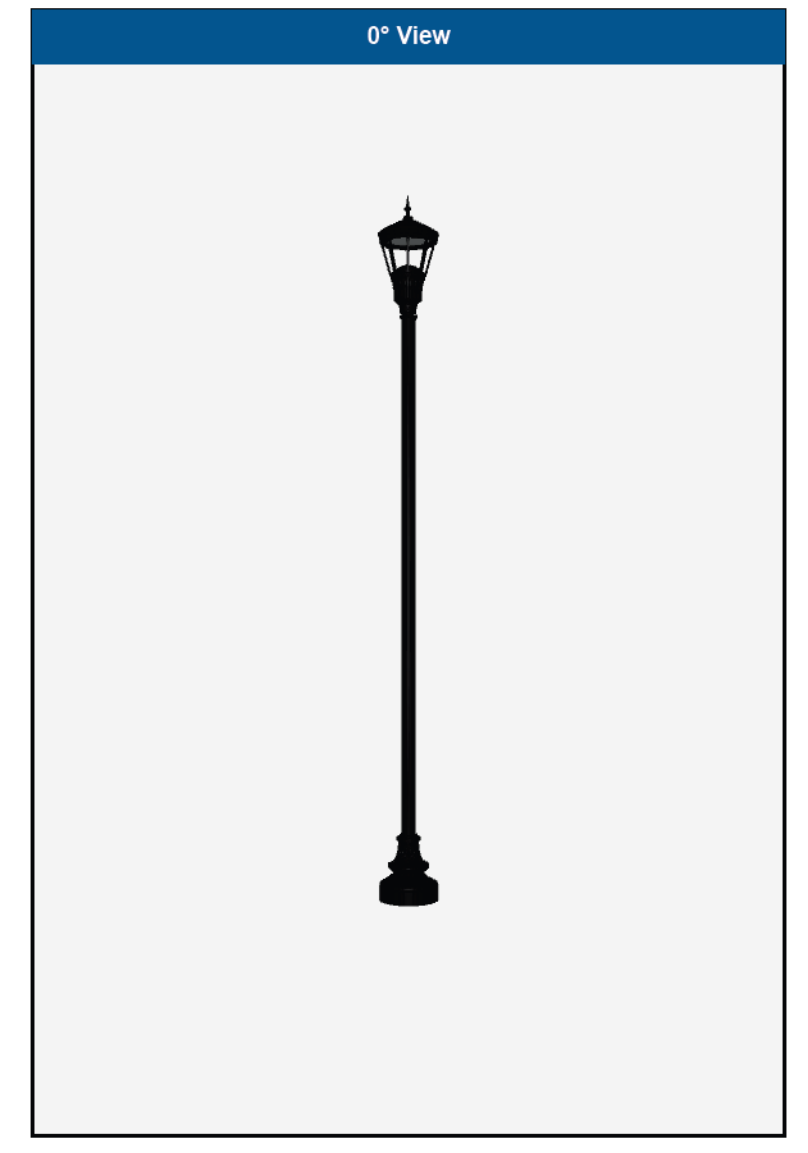
SHEET INDEX
 SHEET 1: COVER SHEET
 SHEET 2: DETAILS & SCHEDULES
 SHEET 3-6: PLAN VIEW

NO.	REVISIONS	BY	DATE

MISS UTILITY NOTE
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Job Name: Fairwood Square - Timberlake Homes
 Job Location: Timberlake Homes
 Quote No.:
 Type:
 Catalog Number: AUCL2 P30 30K MVOLT FC3 BK SK PR7 PCLL L03 WDA 14 S4J 17D C03 BK DBB ASSY17124



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 FAX # 301-336-0885
 MR. GREG McANINCH

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 BOWIE, MD 20720



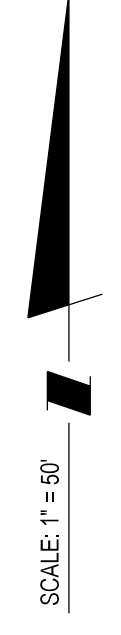
Ordering Information			
Luminaire Catalog Number: AUCL2 P30 30K MVOLT FC3 BK SK PR7 PCLL L03 WDA 14 S4J 17D C03 BK DBB Series: (WDA) Wadsworth aluminum pole Performance Package: (P30) P30 performance package Color Temperature: (BK) 3000K Voltage: (MVOLT) 120-277V Options: (FC3) Full code, type III Finish: (BK) black FinalTrim: (SK) Spoke final	Photocontrol Receptacle: (PR7) 7 pin NEMA dimmable photocontrol receptacle Photocontrol: (PCLL) PCLL photovoltaic Prewire Leads: (L03) 3F prewire leads	Pole Catalog Number: WDA 14 S4J 17D C03 BK DBB Series: (WDA) Wadsworth aluminum pole Pole Height: (14) 14' FT Shank Style: (S4J) Shaft, 48" diameter smooth, 25 wall Base Diameter: (17D) 17" Base, Diamond Pattern Bolt Circle Pole Top Mounting: (C03) Toron, 3.00 O.D. x 3/8" tall	Finish: (BK) black Base Mounting: (DBB) Direct burial base, galvanized steel

ENTERPRISE ROAD
 (MD Route 193 A-27)
 Variable Width Public R/W
 SHA Plans: 46723, 46725,
 53987 & 54006

ANNAPOLIS ROAD
 (MD Route 160 A-23)
 Variable Width Public R/W
 SHA Plans: 53985-53987
 & 54005-54011

LEGEND

	SITE BOUNDARY
	PROPOSED LOT LINE
	PROPOSED RIGHT-OF-WAY LINE
	ADJACENT PROPERTY LINE
	ROAD CENTERLINE
	EASEMENT
	EXISTING 10' CONTOUR
	EXISTING 2' CONTOUR
	WETLAND
	25' WETLAND BUFFER
	PROPOSED STORM DRAIN
	PROPOSED WATER
	PROPOSED SEWER
	SHRUBS & NON-WOODLAND VEGETATION
	EXISTING WOODLANDS
	SHADE TREES
	ORNAMENTAL TREES
	EVERGREEN TREES
	SHRUBS
	PROPOSED LIGHT



PLAN VIEW

LANDSCAPE PLAN-DSP-22028
FAIRWOOD SQUARE
ENTERPRISE & ANNAPOLIS ROAD
 QUEEN ANNE (7th) ELECTION DISTRICT, PRINCE GEORGES COUNTY, MARYLAND

TAX MAP 45, F3	CURRENT ZONING CATEGORY RE
WSGC 200 SHEET 207NE11	PREVIOUS ZONING CATEGORY RE
SITE DATUM HORIZONTAL: NAD 83 VERTICAL: NGVD 29	DATE: 2/16/2023
SCALE: 1" = 50'	DESIGNED: DUB
SHEET 1 OF 6	TECHNICAL: DUB
PROJECT NO. 3902-04-00	CHECKED: DUB
	CAD STYL: V8 / NCS
	VERSION:

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REFERENCE	A	B	C	D	E	F	G	H	I	J	K	L	M	N	O
SCHEDULE FOR SECTION 4.1 RESIDENTIAL REQUIREMENTS FOR TOWNHOUSES, ONE-FAMILY SEMI-DETACHED, AND TWO-FAMILY DWELLINGS ARRANGED HORIZONTALLY															
1. NUMBER OF DWELLING UNITS:	200	UNITS													
2. NUMBER OF TREES REQUIRED PER DWELLING UNIT:	1.5	SHADE TREES													
	1.0	ORNAMENTAL/EVERGREEN TREES													
3. TOTAL NUMBER OF TREES REQUIRED:	300	SHADE TREES													
	200	ORNAMENTAL/EVERGREEN TREES													
4. TOTAL NUMBER OF TREES PROVIDED:	300	SHADE TREES													
	200	ORNAMENTAL TREES													
	0	EVERGREEN TREES													
SHEET 3	8	UNITS													
SHEET 4	77	UNITS													
SHEET 5	56	UNITS													
SHEET 6	59	UNITS													

REFERENCE	A	B	C	D	E	F	G	H	I	J	K	L	M	N	O
SCHEDULE FOR SECTION 4.7 BUFFERING INCOMPATIBLE USES REQUIREMENTS															
1. GENERAL PLAN DESIGNATION:	DEVELOPED TIER, CORRIDOR NODE OR CENTER														
	DEVELOPING OR RURAL TIER														
2. USE OF PROPOSED DEVELOPMENT:	TOWNHOUSE														
3. IMPACT OF PROPOSED DEVELOPMENT:	N/A														
4. USE OF ADJOINING DEVELOPMENT:	ONE-FAMILY DETACHED														
5. IMPACT OF ADJOINING DEVELOPMENT:	N/A														
6. MINIMUM REQUIRED BUFFERYARD (A,B,C,D OR E)	A														
7. MINIMUM REQUIRED BUILDING SETBACK	20 FEET														
8. BUILDING SETBACK PROVIDED	20 FEET														
9. MINIMUM REQUIRED WIDTH OF LANDSCAPE YARD	10 FEET														
10. WIDTH OF LANDSCAPE YARD PROVIDED: (THE REQUIRED SETBACK AND LANDSCAPE YARD MAY BE REDUCED BY 50% IN THE DEVELOPED TIER, CORRIDOR NODE OR CENTER WHEN A 6 FOOT HIGH FENCE OR WALL IS PROVIDED)	10 FEET														
11. LINEAR FEET OF BUFFER STRIP REQUIRED ALONG PROPERTY LINE AND RIGHT-OF-WAY	816	LINEAR FEET													
12. PERCENTAGE OF REQUIRED BUFFERYARD OCCUPIED BY EXISTING TREES:	0	%													
13. IS A SIX FOOT HIGH FENCE OR WALL INCLUDED IN BUFFERYARD?	YES	X	NO												
14. TOTAL NUMBER OF PLANT UNITS REQUIRED IN BUFFER STRIP:	327	P.U.													
15. TOTAL NUMBER OF PLANT UNITS PROVIDED:	SHADE TREES 5 X 10 P.U. = 50 P.U. ORNAMENTAL/EVERGREEN TREES 26 X 5 P.U. = 130 P.U. SHRUBS 150 X 1 P.U. = 150 P.U. TOTAL = 330 P.U.														

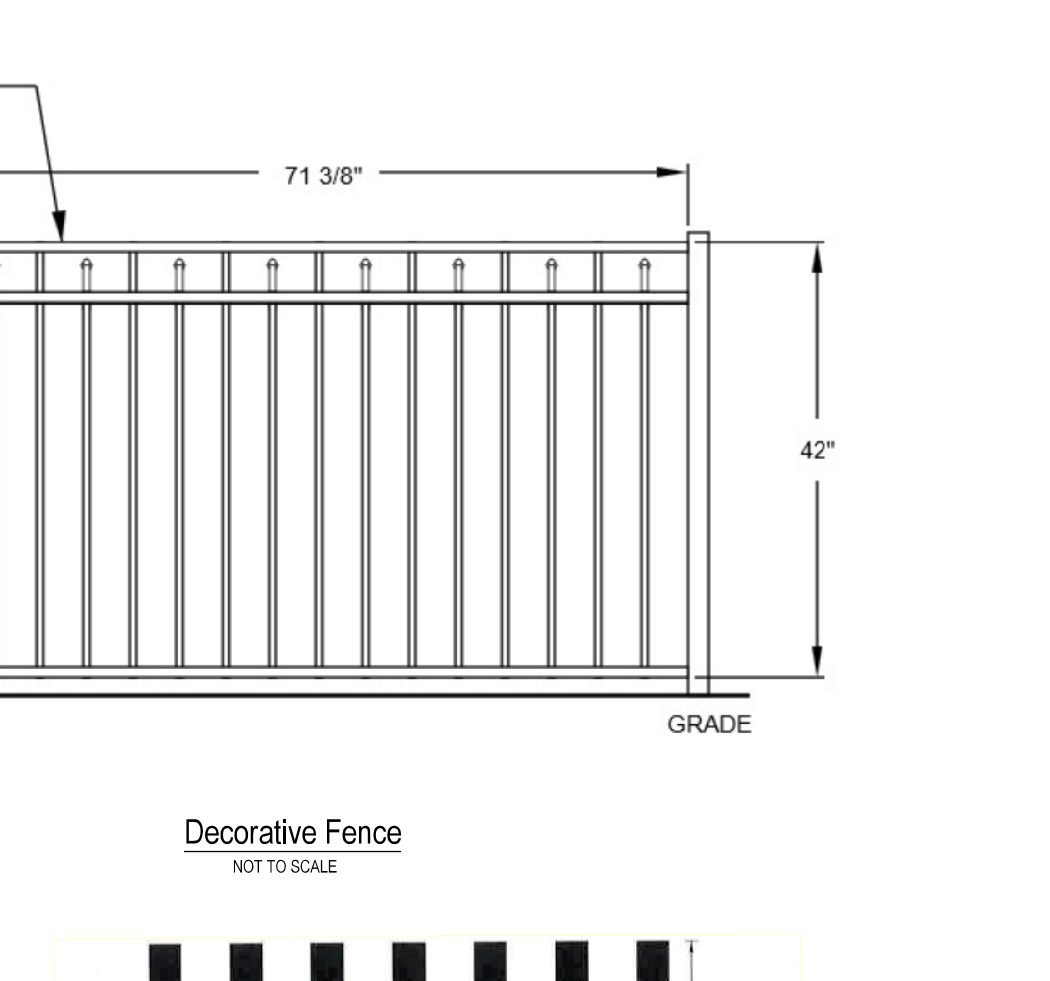
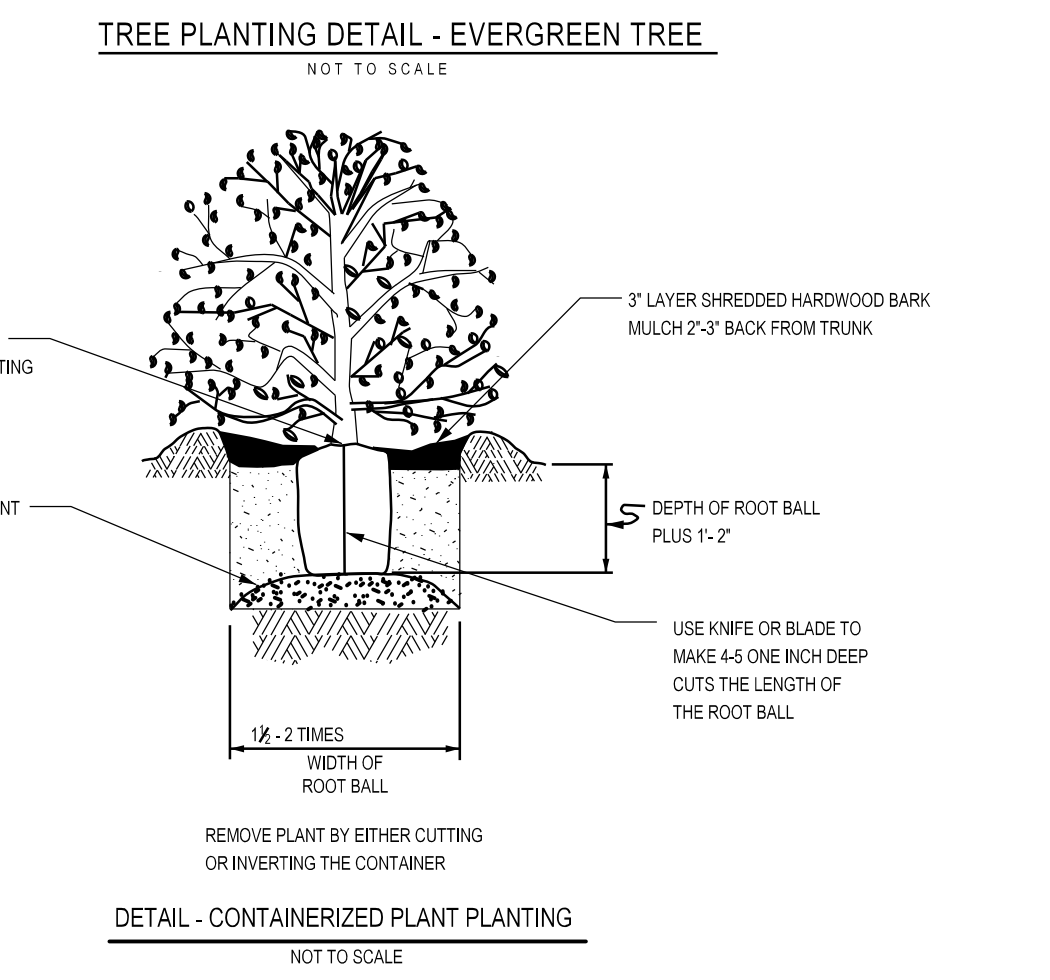
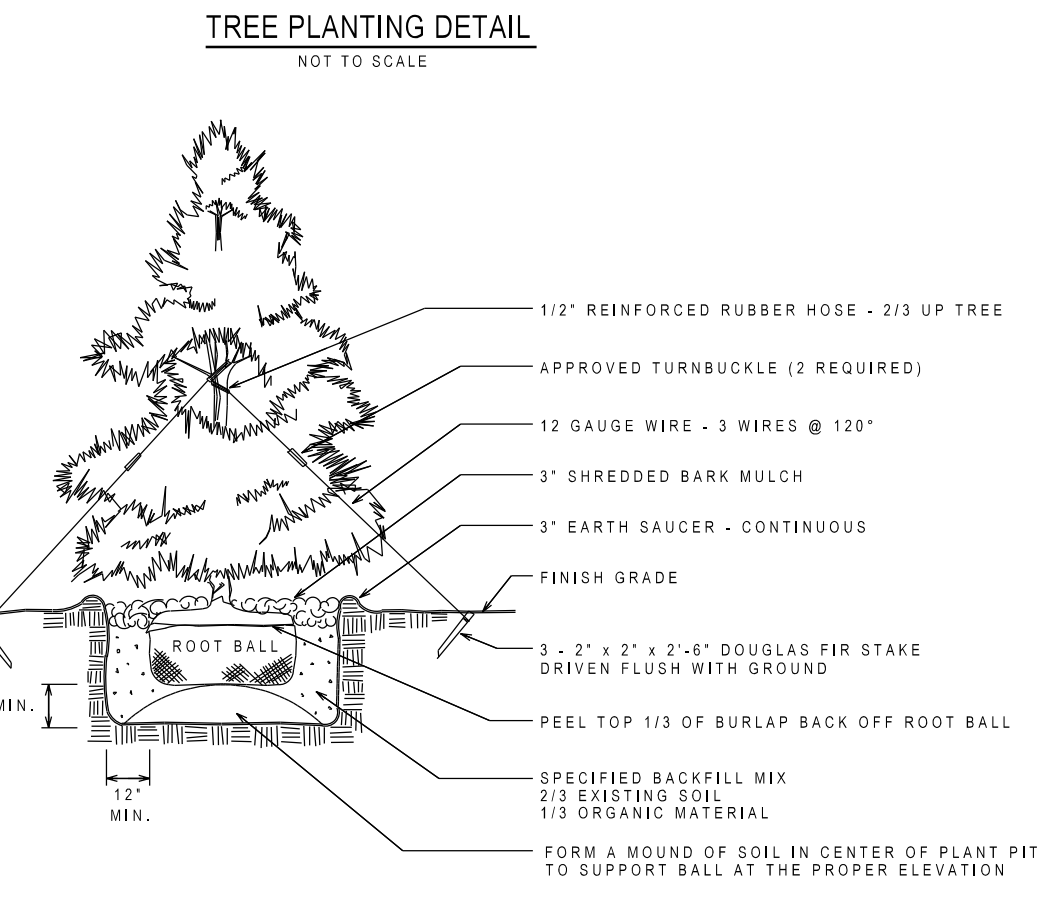
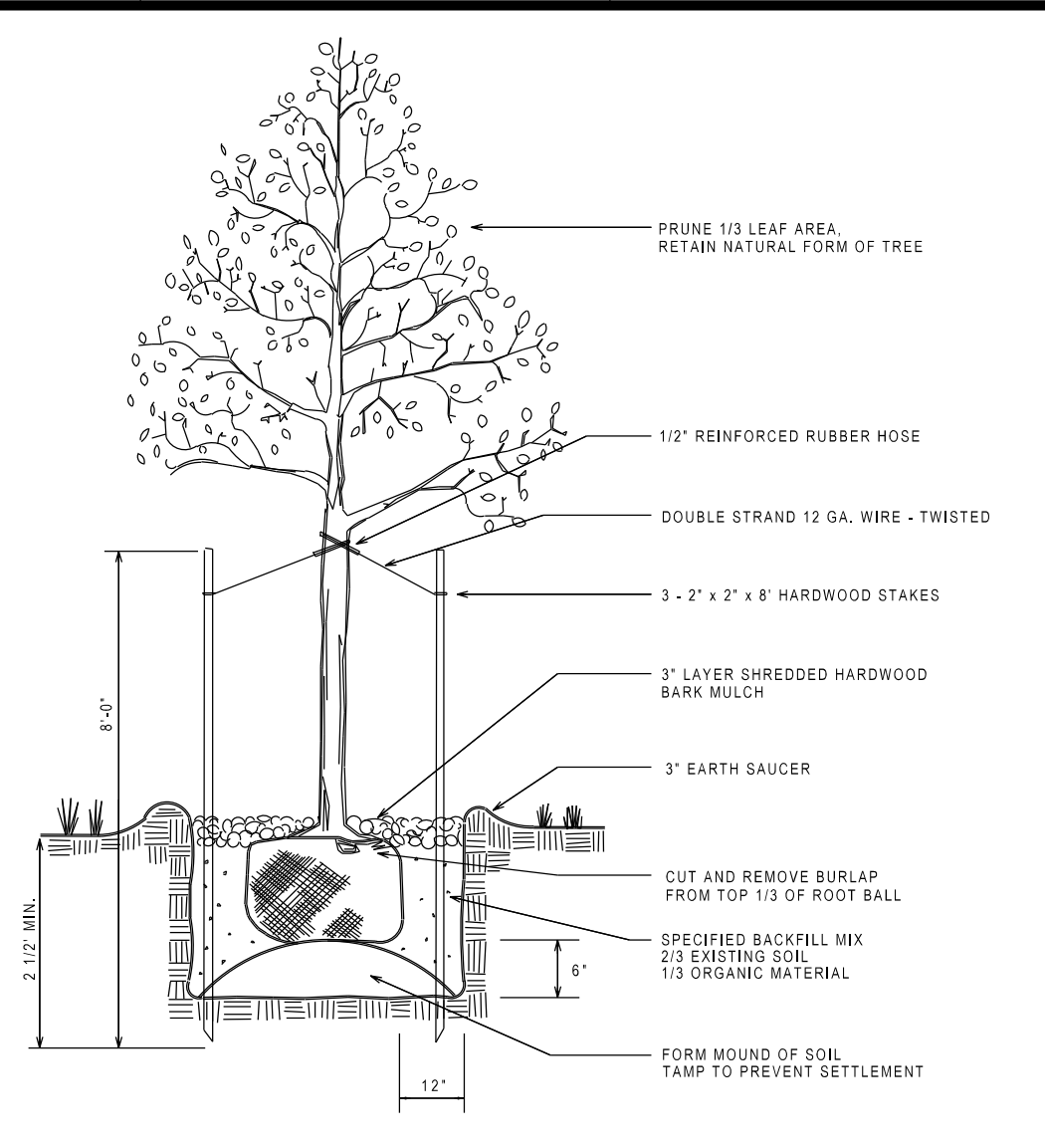
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SCHEDULE FOR SECTION 4.7 BUFFERING INCOMPATIBLE USES REQUIREMENTS															
1. GENERAL PLAN DESIGNATION:	DEVELOPED TIER, CORRIDOR NODE OR CENTER														
	DEVELOPING OR RURAL TIER														
2. USE OF PROPOSED DEVELOPMENT:	TOWNHOUSE														
3. IMPACT OF PROPOSED DEVELOPMENT:	N/A														
4. USE OF ADJOINING DEVELOPMENT:	ONE-FAMILY DETACHED														
5. IMPACT OF ADJOINING DEVELOPMENT:	N/A														
6. MINIMUM REQUIRED BUFFERYARD (A,B,C,D OR E)	A														
7. MINIMUM REQUIRED BUILDING SETBACK	20 FEET														
8. BUILDING SETBACK PROVIDED	20 FEET														
9. MINIMUM REQUIRED WIDTH OF LANDSCAPE YARD	10 FEET														
10. WIDTH OF LANDSCAPE YARD PROVIDED: (THE REQUIRED SETBACK AND LANDSCAPE YARD MAY BE REDUCED BY 50% IN THE DEVELOPED TIER, CORRIDOR NODE OR CENTER WHEN A 6 FOOT HIGH FENCE OR WALL IS PROVIDED)	10 FEET														
11. LINEAR FEET OF BUFFER STRIP REQUIRED ALONG PROPERTY LINE AND RIGHT-OF-WAY	982	LINEAR FEET													
12. PERCENTAGE OF REQUIRED BUFFERYARD OCCUPIED BY EXISTING TREES:	16.2	% (160LF)													
13. IS A SIX FOOT HIGH FENCE OR WALL INCLUDED IN BUFFERYARD?	YES	X	NO												
14. TOTAL NUMBER OF PLANT UNITS REQUIRED IN BUFFER STRIP:	329	P.U.													
15. TOTAL NUMBER OF PLANT UNITS PROVIDED:	SHADE TREES 15 X 10 P.U. = 150 P.U. ORNAMENTAL/EVERGREEN TREES 18 X 5 P.U. = 90 P.U. SHRUBS 100 X 1 P.U. = 100 P.U. TOTAL = 340 P.U.														

REFERENCE	A	B	C	D	E	F	G	H	I	J	K	L	M	N	O
SCHEDULE FOR SECTION 4.6 BUFFERING RESIDENTIAL DEVELOPMENT FROM SPECIAL ROADWAYS															
1. NAME AND TYPE OF SPECIAL ROADWAY:	ANNAPOLIS ROAD/HISTORIC DEVELOPED TIER														
2. GENERAL PLAN DESIGNATION:	DEVELOPING TIER														
	RURAL TIER														
3. LINEAR FEET OF STREET FRONTAGE, NOT INCLUDING DRIVEWAY ENTRANCES (NOT INCLUDING DRIVEWAY OPENINGS):	737 FEET														
4. MINIMUM REQUIRED BUFFER:	20 FEET														
5. MINIMUM WIDTH OF PROVIDED BUFFER:	20 FEET														
6. PERCENTAGE OF REQUIRED BUFFER STRIP OCCUPIED BY EXISTING TREES:	0 %														
7. NUMBER OF PLANTS REQUIRED: 80 PLANT UNITS PER 100 LINEAR FEET OF FRONTAGE	590 PLANT UNITS														
8. NUMBER OF PLANTS PROVIDED:	16 SHADE TREES(10PU) 10 ORN/EVERGREEN TREES (5PU) 380 SHRUBS(1PU)														

REFERENCE	A	B	C	D	E	F	G	H	I	J	K	L	M	N	O
SCHEDULE FOR SECTION 4.6 BUFFERING RESIDENTIAL DEVELOPMENT FROM SPECIAL ROADWAYS															
1. NAME AND TYPE OF SPECIAL ROADWAY:	ENTERPRISE ROAD/HISTORIC DEVELOPED TIER														
2. GENERAL PLAN DESIGNATION:	DEVELOPING TIER														
	RURAL TIER														
3. LINEAR FEET OF STREET FRONTAGE, NOT INCLUDING DRIVEWAY ENTRANCES (NOT INCLUDING DRIVEWAY OPENINGS):	579 FEET														
4. MINIMUM REQUIRED BUFFER:	20 FEET														
5. MINIMUM WIDTH OF PROVIDED BUFFER:	20 FEET														
6. PERCENTAGE OF REQUIRED BUFFER STRIP OCCUPIED BY EXISTING TREES:	0 %														
7. NUMBER OF PLANTS REQUIRED: 80 PLANT UNITS PER 100 LINEAR FEET OF FRONTAGE	463 PLANT UNITS														
8. NUMBER OF PLANTS PROVIDED:	8 SHADE TREES(10PU) 12 ORN/EVERGREEN TREES (5PU) 323 SHRUBS(1PU)														

REFERENCE	A	B	C	D	E	F	G	H	I	J	K	L	M	N	O
SCHEDULE FOR SECTION 4.9 SUSTAINABLE LANDSCAPING REQUIREMENTS															
1. PERCENTAGE OF NATIVE PLANT MATERIAL PROPOSED IN EACH CATEGORY (MINIMUM REQUIRED): SHADE TREES: TOTAL 409 X50% = 205 NATIVE TOTAL NUMBER PROVIDED 409 = 100 % NATIVE															
ORNAMENTAL: TOTAL 294 X50% = 147 NATIVE TOTAL NUMBER PROVIDED 294 = 100 % NATIVE															
SHRUBS: TOTAL 953 X30% = 286 NATIVE TOTAL NUMBER PROVIDED 953 = 100 % NATIVE															
EVERGREEN: TOTAL 0 X30% = 0 NATIVE TOTAL NUMBER PROVIDED 0 = 100 % NATIVE															
2. ARE INVASIVE SPECIES PROPOSED?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>														
3. ARE EXISTING INVASIVE SPECIES ON SITE IN AREAS THAT ARE TO REMAIN UNDISTURBED?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>														
4. IF YES IS CHECKED DIRECTLY ABOVE, IS A NOTE INCLUDED ON THE PLAN REQUIRING REMOVAL OF INVASIVE SPECIES PRIOR TO CERTIFICATION IN ACCORDANCE WITH SECTION 1.5 CERTIFICATION OF PLANT MATERIALS, OF THIS MANUAL/MINIMUM NUMBER OF SHADE TREES REQUIRED:	YES <input type="checkbox"/> N/A <input checked="" type="checkbox"/>														
5. ARE TREES PROPOSED TO BE PLANTED ON SLOPES GREATER THAN 3 TO 1?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>														

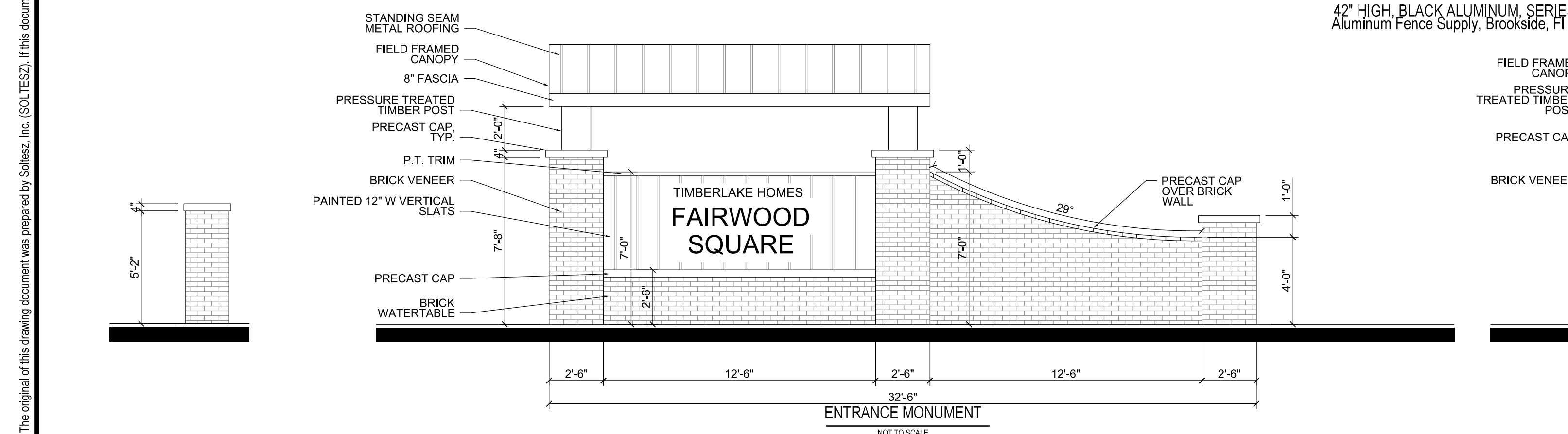
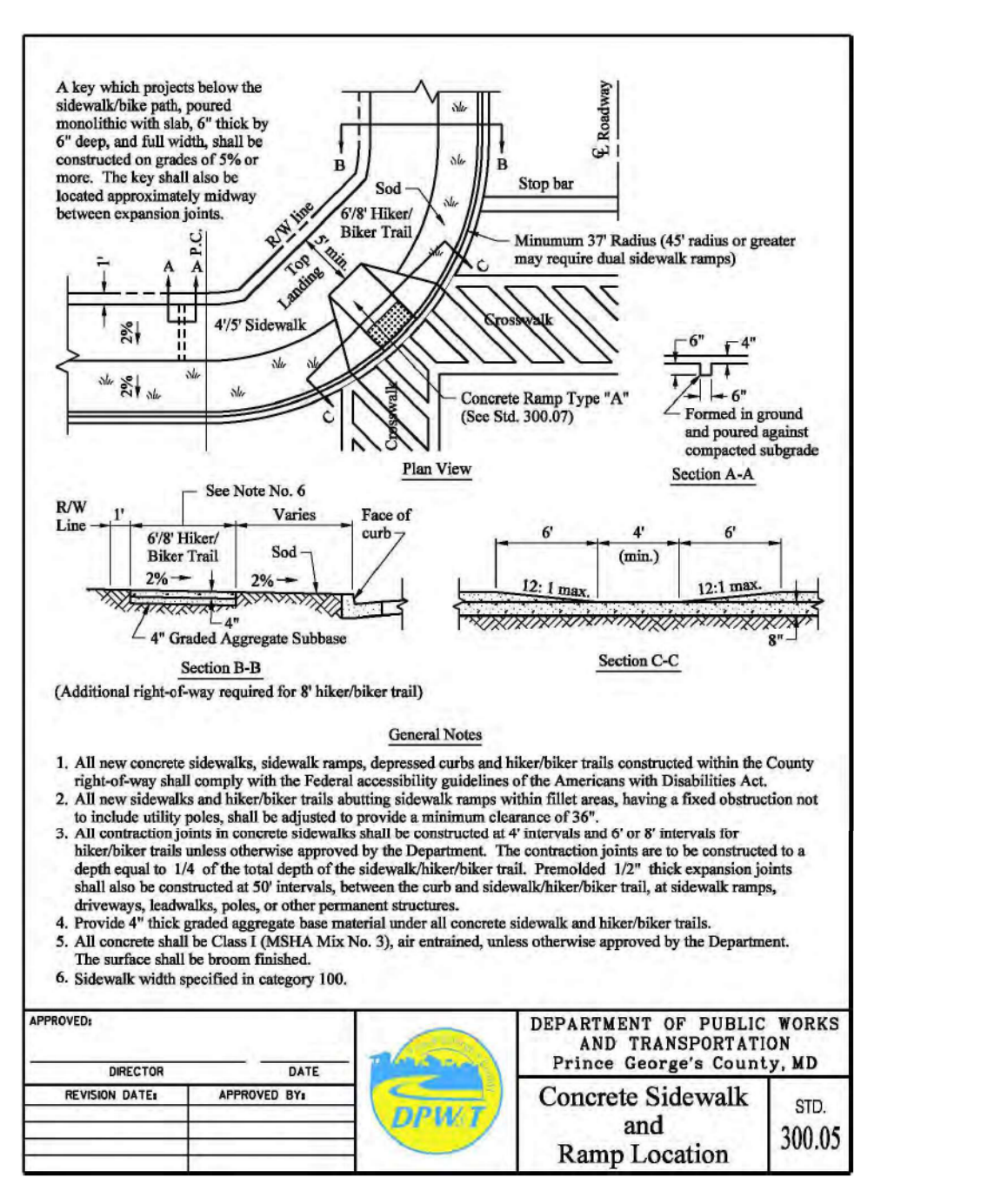
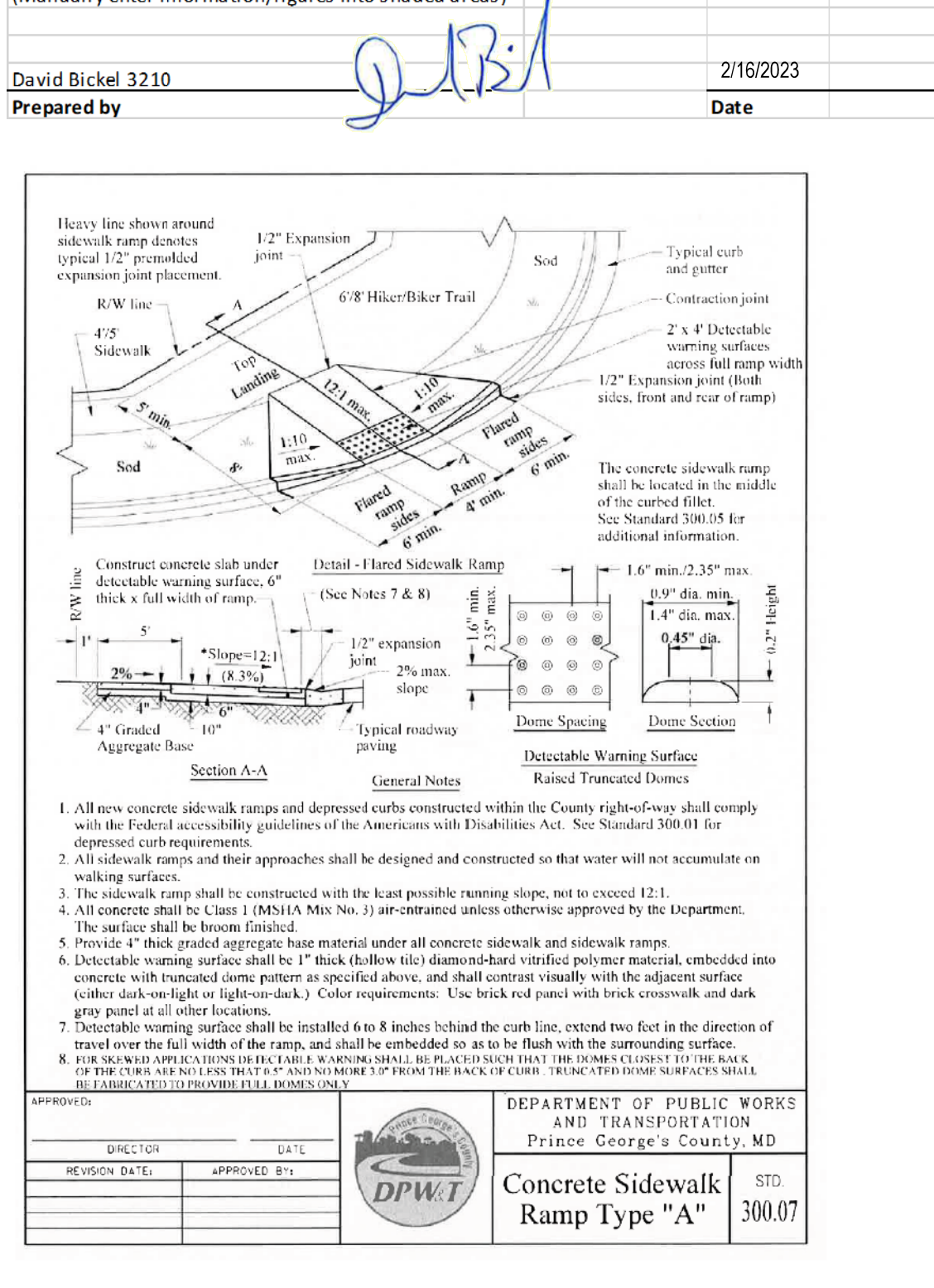
REFERENCE	A	B	C	D	E	F	G	H	I	J	K	L	M	N	O
SCHEDULE FOR SECTION 4.10 STREET TREES ALONG PRIVATE RIGHTS-OF-WAY															
1. NUMBER OF STREET TREES REQUIRED (1 TREE PER 35 LINEAR FEET OF FRONTAGE EXCLUDING DRIVEWAY OPENINGS):	114 STREET TREES														
2. NUMBER OF STREET TREES PROVIDED:	115 STREET TREES														
3. IF ORNAMENTAL TREES ARE USED ARE THEY SPACED ON AVERAGE 30 FEET ON CENTER? (ORNAMENTAL TREES MAY ONLY BE USED WHERE OVERHEAD WIRES PROHIBIT THE PLANTING OF SHADE TREES)	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A														
4. ARE STREET TREES LOCATED A MINIMUM 35 FEET FROM POINT OF CURVATURE OF AN INTERSECTION?	X YES <input type="checkbox"/> NO <input type="checkbox"/>														
5. ARE STREET TREES LOCATED A MINIMUM 10 FEET FROM THE POINT OF CURVATURE OF A RESIDENTIAL DRIVEWAY?	X YES <input type="checkbox"/> NO <input type="checkbox"/>														
6. ARE STREET TREES LOCATED A MINIMUM 20 FEET FROM THE POINT OF CURVATURE OF A COMMERCIAL DRIVEWAY?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> N/A														
7. ARE STREET TREES LOCATED BETWEEN SIDEWALK AND FACE OF CURB IN A SPACE NO LESS THAN FIVE FEET WIDE?	X YES <input type="checkbox"/> NO <input type="checkbox"/>														
8. ARE STREET TREES LOCATED A MINIMUM OF 15 FEET FROM STREET LIGHT POLES?	X YES <input type="checkbox"/> NO <input type="checkbox"/>														
9. ARE STREET TREES LOCATED A MINIMUM OF 10 FEET FROM WATER METERS?	X YES <input type="checkbox"/> NO <input type="checkbox"/>														
10. ARE STREET TREES LOCATED A MINIMUM OF 10 FEET FROM STORM DRAIN INLETS, HYDRANTS OR MANHOLES?	X YES <input type="checkbox"/> NO <input type="checkbox"/>														
11. AREA OF SOIL SURFACE REQUIRED (MINIMUM OF 150 SQUARE FEET FOR ISOLATED TREES AND A MINIMUM OF 120 SQUARE FEET FOR CONTINUOUS LANDSCAPE STRIPS):	13680 SQUARE FEET														
12. MINIMUM AREA OF SOIL SURFACE PROVIDED:	13680 SQUARE FEET														



PLANT LIST	COMMON NAME	HEIGHT/SPREAD	CALLIPER	ROOT	SPACING	REMARKS
ARO 45	Acer rubrum 'October Glory'	12'-14'	2 1/2\"	B&B	As Shown	Native
AS 36	Acer saccharum 'Spectol'	12'-14'	2 1/2\"	B&B	As Shown	Native
FG 31	Fagus grandifolia	12'-14'	2 1/2\"	B&B	As Shown	Native
LS 0	Liquidambar styraciflua	12'-14'	2 1/2\"	B&B	As Shown	Native
LSR 0	Liquidambar styraciflua 'Rotundifolia'	12'-14'	2 1/2\"	B&B	As Shown	Native
LI 23	Lindendend tulipifera	12'-14'	2 1/2\"	B&B	As Shown	Native
NS 33	Nyssa sylvatica	12'-14'	2 1/2\"	B&B	As Shown	Native
PA 43	Prunus x aceribola	12'-14'	2 1/2\"	B&B	As Shown	Native
QP 81	Quercus palustris	12'-14'	2 1/2\"	B&B	As Shown	Native
QH 19	Quercus phellos	12'-14'	2 1/2\"	B&B	As Shown	Native
QR 43	Quercus rubra	12'-14'	2 1/2\"	B&B	As Shown	Native
UAP 55	Ulmus americana 'Princeton'	12'-14'	2 1/2\"	B&B	As Shown	Native

Tree Canopy Coverage Schedule for Sec. 25-128	Project Name:	TCP#:	DND Case #:	Area (acres):
Fairwood Square			DS-2-2028	22.29
Site Calculations:	Zone 1:	M-X-T		22.29
	Zone 2:			
	Zone 3:			
	Zone 4:			
	Total Acres:			22.29
Total Acres (gross acres)	22.29	% of TCC required	10.0%	TCC Required (in SF)
A. TOTAL ON-SITE WC PROVIDED (acres) =	0.45	acres		19602
B. TOTAL AREA EXISTING TREES (non-WC acres) =	0	acres		0
C. TOTAL SQUARE FOOTAGE IN LANDSCAPE TREES =				102975
D. TOTAL TREE CANOPY COVERAGE PROVIDED =				97095
E. TOTAL SQUARE FOOTAGE REQUIRED =				102975
				Requirement Satisfied

Credit Categories for Landscape Trees	TCC Credit per Tree Based on Size at Planting (SF)	Number of Trees	TCC Credit (SF)
Deciduous - columnar shade tree (50' or less height)	2-1/2' - 3" = 65		0
	3-3 1/2" = 75		0
Deciduous - ornamental tree (20' or less height with equal spread). Minimum planting size 7'-9" in height	1-1/2' - 2-3/4" = 75	242	18150
	2-2 1/2" = 100		0
Deciduous - minor shade tree (25-50' height with equal spread or greater). Minimum planting size 8'-10" in height	2-1/2' - 3" = 110		0
Deciduous - major shade tree (50' and greater height with spread equal to or greater than height). Minimum planting size 12 to 14' in height	2-3/2' - 3" = 225	377	84825
Evergreen - columnar tree less than 30' height with spread less than 15'	6-8" = 40		0
	8-10" = 50		0
	10-12" = 75		0
Evergreen - small tree (30-40' height with spread of 15-20')	8-10" = 100		0
	10-12" = 125		0
Evergreen - medium tree (40-50' height with spread of 20-30')	8-10" = 150		0
	10-12" = 175		0
Evergreen - large tree (50' height or greater with spread of over 30')	8-10" = 200		0
	10-12" = 250		0
TOTAL NUMBER OF TREES/TCC CREDIT (SF)		619	102975
(Manually enter information/figures into shaded areas)			
David Bickel 3210		2/16/2023	
Prepared by:		Date	



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APPLICANT
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FAX # 301-336-0885
MR. GREG MCANINCH

OWNER
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12205 ANNAPOLIS ROAD
BOWIE, MD 20720

1. Plants shall be nursery grown in accordance with good horticultural practice, and grown under climatic conditions similar to those in the locality of the project. They shall have been root pruned, preferably within the last year.
2. They shall be sound, healthy and vigorous, well branched and densely foliated when in leaf. They shall be free of disease, pest, eggs or larvae, and shall have a healthy developed root system.
3. Plants shall not be pruned before delivery. Trees with a damaged or crooked leader or multiple leaders, abrasions on the bark, sunscald, disfiguring knots or fresh cuts over 1" will be rejected.
4. Topsoil shall be fertile, friable and typical of the locality; it shall be free of stones, lumps, plants, roots, sticks and shall not be delivered in a frozen or muddy condition.
5. Planting soil (backfill mix) shall be five-parts topsoil and one-part well loose peat moss.
6. Staking materials: Guys wire shall be pliable #12 gauge galvanized twisted two-strand wire. Hose shall be a suitable length of two-ply rubber hose inch diameter, stakes shall conform to the detail # inch diameter, stakes shall conform to the detail on this sheet.
7. Wrapping material shall be a standard manufactured tree wrapping paper with crinkled surface and fastened by an approved method.

B. APPLICABLE SPECIFICATIONS AND STANDARDS
1. "Standard Plant Names," latest edition American Joint Committee on Horticulture Nomenclature.
2. "American Standard of Nursery Stock," latest edition, American Association of Nurserymen.
3. DIGGING AND HANDLING OF PLANT MATERIALS

1. Immediately before digging, spray all evergreen or deciduous plant material in full leaf with anti-desiccant, applying an adequate film over trunks, branches, twigs and/or foliage.
2. Dig balled and burlapped (B&B) plants with firm natural balls of earth, of a diameter not less than that recommended by American Standard of Nursery Stock, and of sufficient depth to include the fibrous and feeding roots. Plants moved with a ball will not be accepted if the ball is cracked or broken before or during planting operations.

D. EXCAVATING OF PLANTING AREA
1. Stake out on the ground locations for plants and outlines of area to be planted, and obtain approval of the landscape architect before excavation is begun. Landscaping areas to be thoroughly weeded prior to planting operations.
E. PLANTING OPERATIONS
1. Set plants at same relationship to finished grade as they bore to the ground from which they were dug. Use planting soil to backfill approximately 2/3 full, water thoroughly before installing remainder of the planting soil to top of pits, eliminating all air pockets.
2. Set planting plumb and brace rigidly in position until the planting soil has been setted solidly around the ball and roots. Cut ropes or strings from the top of ball after plant has been set. Leave burlap or cloth wrapping intact around balls. Turn under and bury portions of burlap at top of ball.
3. Protect plants at all times from sun or drying winds. Plants that can not be planted immediately on delivery shall be kept in the shade, well protected with soil, peat moss or other acceptable material and shall be kept well watered. Plants shall not remain unplanted for longer than three days after delivery.
4. Plants shall not be bound with wire or rope at any time so as to damage the bark or break branches. Plants shall be lifted and handled from the bottom of the ball only.
5. Mutch all pits and beds with a two inch layer of bark, mulch immediately after planting and work into the top three inches of the planting soil. Form a 3" earth saucer around each plant. Water all plants immediately after planting. Add additional mulch.

F. STAKING, WRAPPING AND PRUNING
1. Staking shall be completed immediately after planting. Plants shall stand plumb after staking. Stakes and guy wire shall be removed at the end of the guarantee period and disposed of off-site by the contractor.
2. Wrap deciduous tree trunks starting at the base of the tree up to the second branch. Remove wrapping at the end of the guarantee period.
3. Prune plants at the time of planting as directed by the landscape architect to remove 1/5 or 1/3 of the foliage. Remove all dead wood, suckers or broken branches and preserve the natural character of the plant.

G. GUARANTEE
1. All plant material shall be guaranteed by the contractor to be in a healthy and vigorous condition at the beginning of the second growing season following acceptance by the landscape architect.
H. TREE PRESERVATION
1. Snow fencing shall be erected around all areas where existing vegetation is to be preserved.
2. Individual trees and groups of trees shall be protected by fencing around a perimeter of their branches using standard 48" high snow fence securely mounted to standard steel posts set not more than 8' apart.
3. Fencing shall be installed prior to the start of any construction activity.

TAX MAP 45, 3F SHEET
CURRENT ZONING CATEGORY: RE
WSEC 207E111
PREVIOUS ZONING CATEGORY: RE

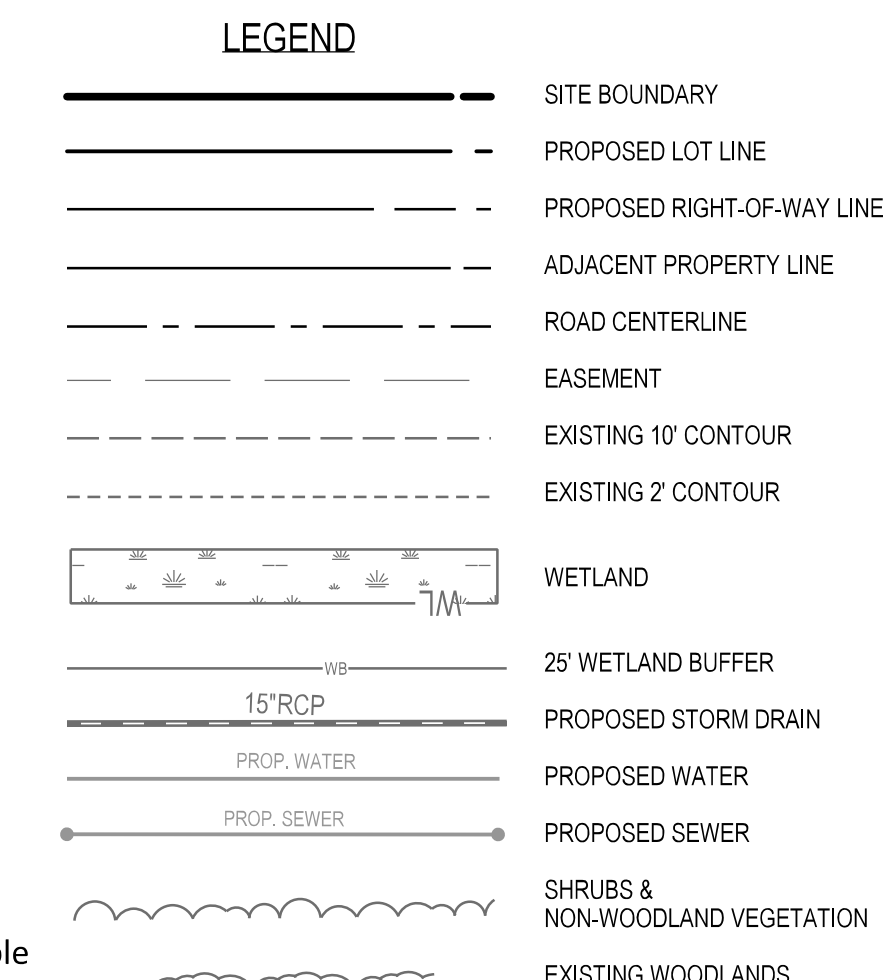
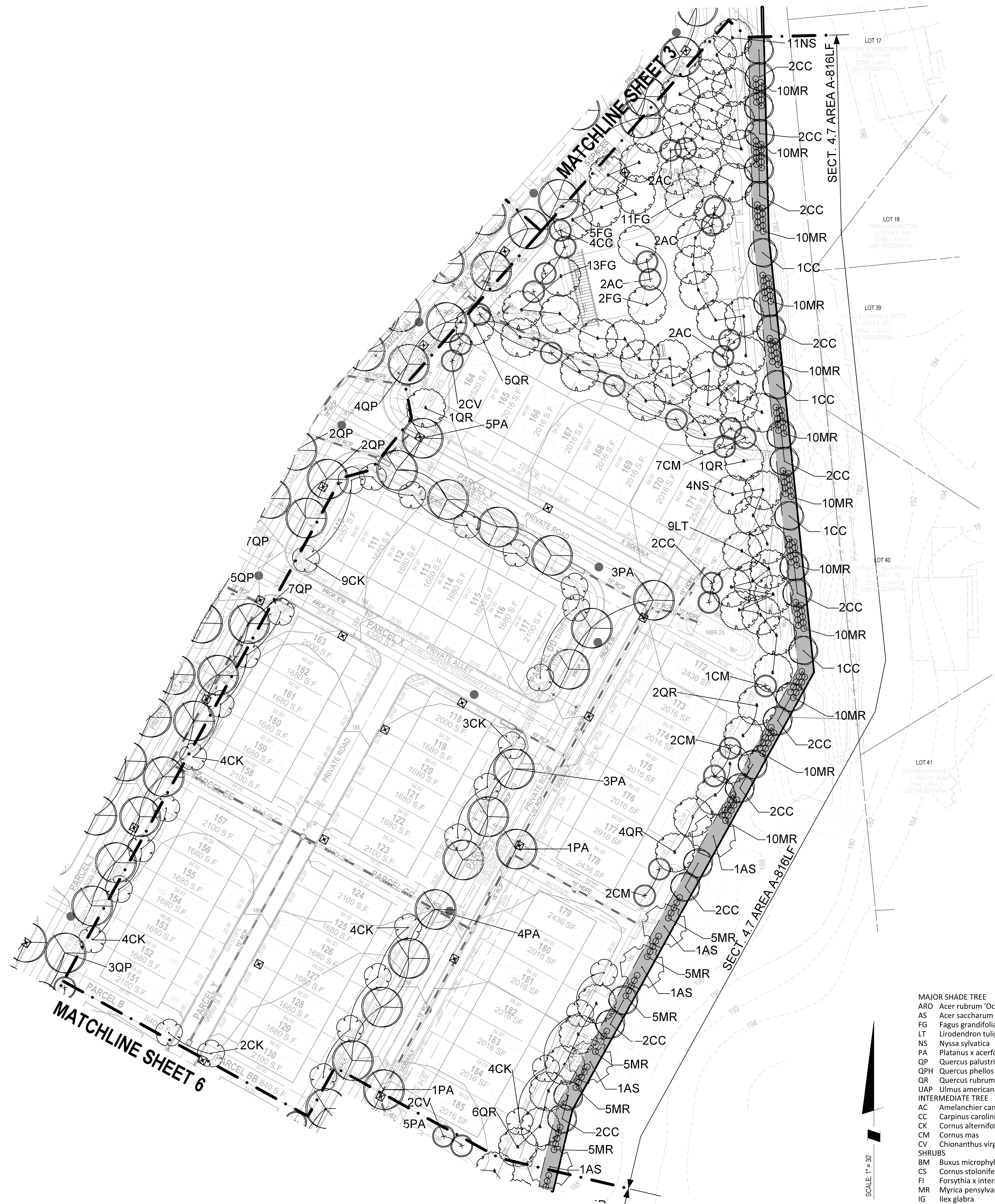
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DESIGNED: DUB
HORIZONTAL: 1403.83
CHECKED: DUB
VERTICAL: 1403.28
DATE: 2/16/2023
DRAWN: 1" = 30'
TECHNICAL: DUB
SHEET 2
CHECKED: DUB
OF 6
CAD STDS: V8/NCS
VERSION:

PROJECT NO: 3902-04-00

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DETAIL/SCHEDULE SHEET
LANDSCAPE PLAN-DSP-22028
FAIRWOOD SQUARE
ENTERPRISE & ANNAPOLIS ROAD
QUEEN ANNE (7th) ELECTION DISTRICT, PRINCE GEORGES COUNTY, MARYLAND

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MAJOR SHADE TREE		
ARO	Acer rubrum 'October Glory'	October Glory Red Maple
AS	Acer saccharum 'Bonfire'	Bonfire Sugar Maple
FG	Fagus grandifolia	American Beech
LT	Liriodendron tulipifera	Tulip Poplar
NS	Nyssa sylvatica	Black Gum/ Sour Gum
PA	Platanus x acerifolia	London Planetree
QP	Quercus palustris	Pin Oak
QPH	Quercus phellos	Willow Oak
QR	Quercus rubrum	Northern Red Oak
UAP	Ulmus americana 'Princeton'	Princeton Elm
INTERMEDIATE TREE		
AC	Amelanchier canadensis	Serviceberry
CC	Carpinus caroliniana	American Hornbeam
CK	Cornus alternifolia	Kousa Dogwood
CM	Cornus mas	Cornelian Cherry Dogwood
CV	Chionanthus virginicus	White Fringe Tree
SHRUBS		
BM	Buxus microphylla var japonica	Winter Gem
CS	Cornus stolonifera	Red-osier Dogwood
FI	Forsythia x intermedia	Lynwood Forsythia
MR	Myrica pensylvanica	Northern Bayberry
IG	Ilex glabra	Inkberry
BD	Buddleia davidii	Butterfly Bush
GRASSES		
LV	Liriope muscari 'Variegata'	Variegated Liriope

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PLAN VIEW
LANDSCAPE PLAN-DSP-22028
FAIRWOOD SQUARE
ENTERPRISE & ANNAPOLIS ROAD
 QUEEN ANNE (7th) ELECTION DISTRICT, PRINCE GEORGES COUNTY, MARYLAND

TAX MAP 45, F3	CURRENT ZONING CATEGORY RE
WS&C 200 SHEET 207HE11	PREVIOUS ZONING CATEGORY RE
SITE DATUM HORIZONTAL: NAD 83 VERTICAL: NAVD 28	DATE: 2/16/2023
SCALE: 1" = 30'	DESIGNED: D/B
SHEET 5	CHECKED: D/B
OF 6	CAD STYL: V8 / NCS
PROJECT NO. 3902-04-00	

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2/16/2023

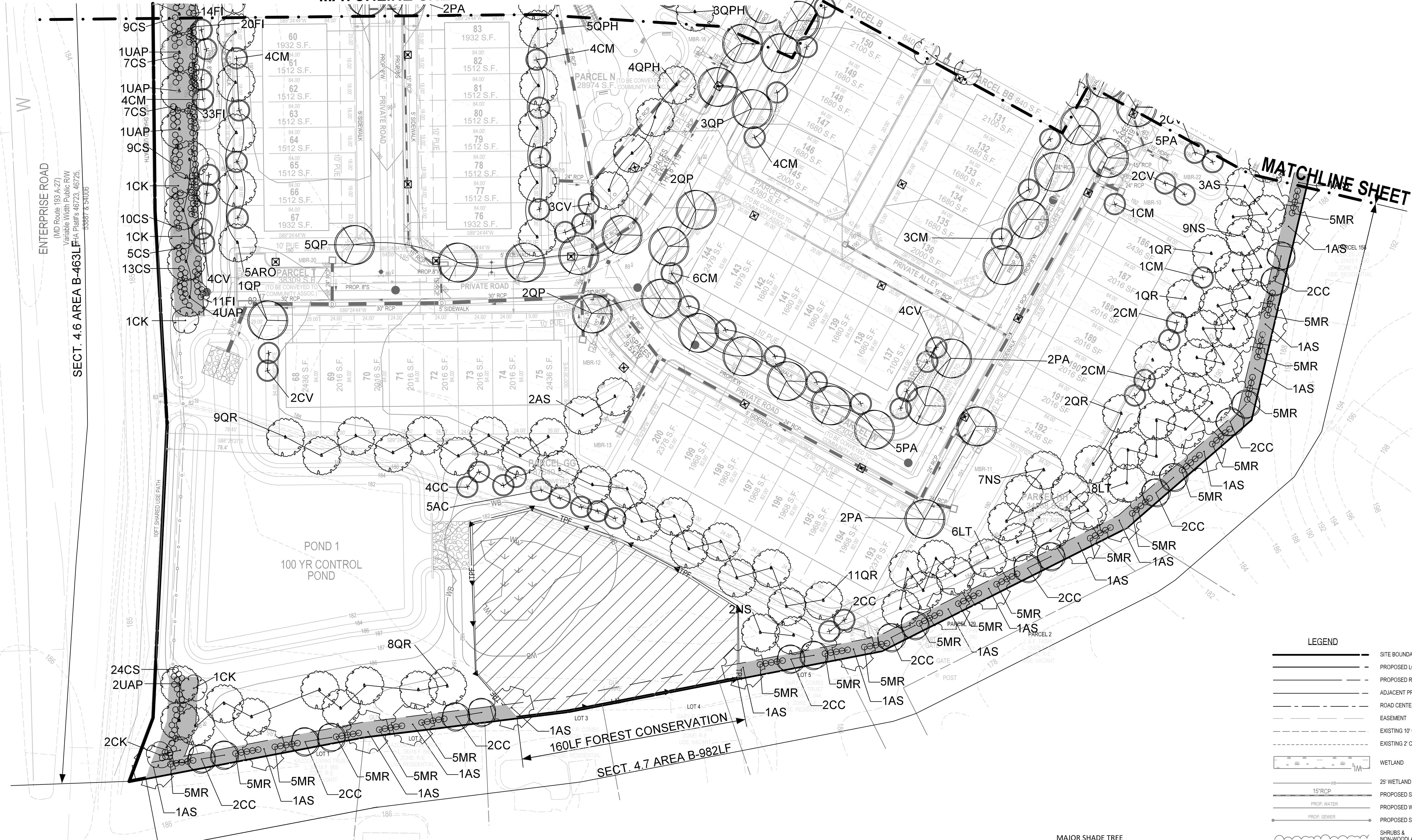
PLAN VIEW

**LANDSCAPE PLAN-DSP-22028
 FAIRWOOD SQUARE
 ENTERPRISE & ANNAPOLIS ROAD**

TAX MAP 45, F3	CURRENT ZONING CATEGORY RE
WS&C 200' SHEET 207NE11	PREVIOUS ZONING CATEGORY RE
SITE DATUM HORIZONTAL: NAD 83 VERTICAL: NAVD 83	DATE: 2/16/2023
SCALE: 1" = 30'	DESIGNED: D/B
SHEET 6	CHECKED: D/B
OF 6	CAD STYL: V8 / NCS
PROJECT NO. 3902-04-00	

MATCHLINE SHEET 4

MATCHLINE SHEET 5

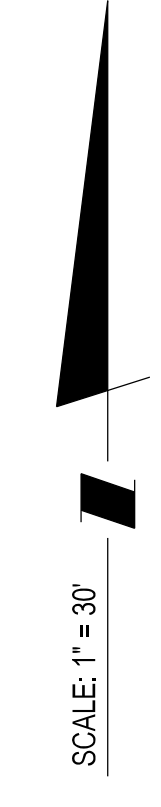


LEGEND

- SITE BOUNDARY
- - - PROPOSED LOT LINE
- - - PROPOSED RIGHT-OF-WAY LINE
- - - ADJACENT PROPERTY LINE
- - - ROAD CENTERLINE
- - - EASEMENT
- - - EXISTING 10' CONTOUR
- - - EXISTING 2' CONTOUR
- - - WETLAND
- - - 25' WETLAND BUFFER
- - - 15'RCP
- - - PROPOSED STORM DRAIN
- - - PROPOSED WATER
- - - PROPOSED SEWER
- - - SHRUBS & NON-WOODLAND VEGETATION
- - - EXISTING WOODLANDS

- MAJOR SHADE TREE
- AS
- FG
- LT
- NS
- PA
- QP
- QPH
- QR
- UAP
- AC
- CC
- CM
- CV
- BM
- CS
- FI
- MR
- IG
- BD
- LV

- Acer rubrum 'October Glory' October Glory Red Maple
- Acer saccharum 'Bonfire' Bonfire Sugar Maple
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- Liriodendron tulipifera Tulip Poplar
- Nyssa sylvatica Black Gum/ Sour Gum
- Platanus x acerfolia London Planetree
- Quercus palustris Pin Oak
- Quercus phellos Willow Oak
- Quercus rubrum Northern Red Oak
- Ulmus americana 'Princeton' Princeton Elm
- Serviceberry
- American Hornbeam
- Kousa Dogwood
- Cornelian Cherry Dogwood
- White Fringe Tree
- Buxus microphylla var japonica Winter Gem
- Cornus stolonifera Red-osier Dogwood
- Forsythia x intermedia Lynwood Forsythia
- Myrica pensylvanica Northern Bayberry
- Ilex glabra Inkberry
- Buddleia davidii Butterfly Bush
- Variegated Lirope



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STAIANO ENGINEERING, INC.

*Sound & Vibration
Measurement, Research & Control*

1923 STANLEY AVENUE
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Michael A. Staiano, PE, INCE Bd. Cert.
Email: mike@staianoengineering.com

301-468-1074
Fax: 301-468-1262

28 December 2022

L 22894A
J/N 732

Mr. Greg McAninch
Timberlake Homes, BT
304 Harry S. Truman Parkway, Suite M
Annapolis, Maryland 21401

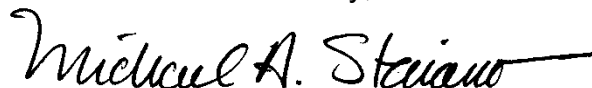
Subject: Md. Rtes. 450 and 193 Traffic
Noise Analysis and Exposure Gradient Evaluation
Fairwood Square Prince George's County, Maryland

Dear Mr. McAninch:

Combined Md. Rte. 450 and Md. Rte. 193 highway traffic noise was reanalyzed for the proposed Fairwood Square development. The predictions were made using the state-of-the-art U.S. Federal Highway Administration Traffic Noise Model (TNM) computer program with a detailed geometric representation of the site topography. The analysis found that the day-night average sound levels at the dwelling units closest the roadways are expected to be 53–60 dBA in 2027. These levels are only slightly greater than those likely existing in 2021 and are all within the County 65-dBA day-night average sound level outdoor criterion for residential areas. Dwellings at greater distances will have lower sound levels due to both sound spreading and shielding by intervening structures. Consequently, the proposed development meets the Prince George's Co. design requirement without mitigation.

If you have any questions or if I can be of further help, please let me know.

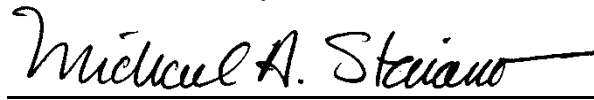
Sincerely,


Michael A. Staiano

Attachment: Staiano Engineering Report No. L 22894A

**MD. RTES. 450 AND 193
TRAFFIC NOISE ANALYSIS and EXPOSURE GRADIENT EVALUATION
FAIRWOOD SQUARE
PRINCE GEORGE'S COUNTY, MARYLAND**

By



Michael A. Staiano

Report No. **L 22894A**

28 December 2022

for

Timberlake Homes, BT
Annapolis, Maryland
J/N 732

In March 2022, highway sound levels were evaluated at the proposed Fairwood Square residential development with respect to the Prince George's Co. day-night average sound level (L_{dn}) 65-dBA design requirement.¹ The estimates were based upon expected 2027 traffic for Md. Rtes. 450 and 193 using a rudimentary implementation of U.S. Federal Highway Administration highway traffic noise prediction procedures and considered the roadways *individually*. The results indicated that separately the 65-dBA[L_{dn}] exposures extend about to the site boundary and do not include any dwelling units although the *combined* sound levels from the roadways will be higher at the immediate junction of their "contours" such that some of the units nearest that intersection may have greater exposure.

The Planning Board review of that study concluded that since it did not take into account topography or the collective noise of the intersecting roadways "a more detailed noise study will be required at the time of DSP. If the proposed residential lots are impacted, mitigation such as architectural soundproofing, fencing, or berms can be used to reduce impacts."

This study supplements the March 2022 evaluation by rigorously analyzing the traffic sound levels at the dwellings closest to the roadways and evaluating the extent of the traffic noise exposures on the site.

SUMMARY

Combined Md. Rte. 450 and Md. Rte. 193 highway traffic noise was reanalyzed for the proposed Fairwood Square development. The predictions were made using the state-of-the-art U.S. Federal Highway Administration Traffic Noise Model (TNM) computer program with a detailed geometric representation of the site topography. The analysis found that the day-night average sound levels at the dwelling units closest the roadways are expected to be 53–60 dBA in 2027. These levels are only slightly greater than those likely existing in 2021 and are all within the County 65-dBA day-night average sound level outdoor criterion for residential areas. Dwellings at greater distances will have lower sound levels due to both sound spreading and shielding by intervening structures. Consequently, the proposed development meets the Prince George's Co. design requirement without mitigation.

PREDICTED SOUND LEVELS

Analysis Procedures

Mathematical formulas have been derived which relate the noise generated by a stream of highway traffic to the volume and speed of the traffic, and the mix of vehicle types in the flow. The FHWA Traffic Noise Model provides the most accurate traffic noise predictions currently obtainable and has the capability of mapping the spatial distribution of traffic noise exposure. TNM utilizes the most up-to-date vehicle noise emission levels, makes possible the detailed representation of topographic features, and considers the effects of hard (that is, sound-reflective) surfaces and soft (sound-attenuating) ground.² The latest version of the TNM computer program (Version 3.1)³ was the computational procedure used in this evaluation.

Highway Noise Modeling. The volume and character of the traffic on a roadway determine the amount of sound energy generated by a highway. However, the highway configuration, distance of a receptor from the roadway, and intervening land surface features (e.g., hills, buildings, paved parking lots, or large bodies of water) determine the magnitude of the traffic noise received by the receptor. The detailed traffic noise analysis necessary for accurate predictions and noise barrier design involves the creation of a three-dimensional geometric representation (or "model") of a study area that uses points, straight-line segments, and defined areas to describe roadways, receptors, and intervening features affecting sound propagation. These features and elements must be represented in adequate detail for the resultant predicted sound levels to agree reasonably with the actual traffic noise exposures on the site.

Road geometry is defined by concatenated straight line segments representing the centerline of the modeled roadway of specified width. The line segments must be sufficiently short to approximate the vertical and horizontal curvature of the road with each travel lane represented as a separate modeled road. Differentiation of the traffic lanes—especially directional roadways—enables the more accurate characterization of the roadway noise propagation and the consideration of roadway-grade effects on heavy-truck noise generation. The overall length of the modeled road centerlines must extend beyond the most outlying receptors—by as much as four times the setback of the receptors. A residential development may be modeled by a representative sample of dwellings, for example, by the two end houses and every third house if the distance between houses in a row is <200 ft. Barriers are represented by straight-line segments that should be shorter in length than those used to represent the roadways.

TNM provides for a variety of modeling elements that may be needed for accurate noise predictions. Terrain lines may be necessary to represent salient topographic features, including: hills, ridges, valleys, swales, road cuts, road-fill hinge lines, and road-fill base lines. Barriers usually describe noise control features—either freestanding walls or berms, but also can represent large building structures to characterize their noise shielding benefits. Ground zones describe surface characteristics differentiating sound-attenuating, soft ground (e.g., "lawn") from acoustically hard surfaces—such as pavement (including the roadways themselves) and bodies of water. Where a development with very closely spaced, detached houses is being evaluated, building rows may be included in the site model to account for the shielding by front-row houses to receptors setback further from the roadway. (TNM also allows for the inclusion of tree zones. In practice, the woods on development sites rarely are dense enough to justify their consideration for the receptor distances of consequence.)

TNM Accuracy. All computational prediction entails some uncertainty—even with exactly known traffic conditions and expertly modeled site geometry. When noise predictions from TNM (Version 2.5) were compared to traffic noise measurements at relatively simple sites, TNM tended to over-predict traffic noise on average by 0.5 dBA.⁴ Predictions to relatively distant receptors and/or over severe topography will be less accurate.⁵

TNM Ver. 2.5 was substantially updated by Version 3.0 which included improved acoustical computations as well as minor changes and updates. A validation study was performed comparing the predictions of the TNM 3.0 version to the results predicted by the older TNM Ver. 2.5 and field measured data. Overall, when predictions were compared to measured data, both TNM 2.5 and TNM 3.0 performed similarly, but not identically. In general, TNM 2.5 tended to overpredict measured data by about 0.5 dBA while TNM 3.0 tended to underpredict by about 0.5 dBA.⁶

In addition to the accuracy limitations inherent in the noise prediction algorithms, errors can arise from a number of causes: poor site modeling, incorrect traffic data, plan changes (e.g., highway design, development configuration, or site grading), and sound propagation other than in a calm, homogeneous atmosphere. The summation of all errors may result in prediction uncertainties of ± 2 dBA or more.

Exposure Gradient Determination. Sharply drawn contour *lines* can be misleading. Such "contours" may be reasonably accurate if the adjacent topography is flat and unshielded. In reality, site topography and features, such as buildings and noise barriers, likely will produce very irregular noise exposures and result in highly misleading contour shapes. Furthermore, the uncertainty inherent in traffic noise prediction effectively widens the contour line such that its *thickness* may be 40% or more of its distance from the roadway. As a practical consequence, the details of a finely drawn contour line often are meaningless.⁷ For this reason, TNM represents the spatial distribution of traffic noise exposure with *color gradients* and does not provide for contour *lines*.

Analysis Inputs and Assumptions. To accurately describe the site noise exposure, the computations included: the *combined* noise generated from

- Segments of the MD-450 roadway extending at least 1000 ft east and west of the development,
- The MD-193 roadway immediately adjacent to the development, and
- The MD-193 northbound to MD 450 eastbound turning lane.

Noise predictions were based upon both 2021 and 2027 traffic conditions for Md. Rtes. 450 and 193.⁸ In addition, movements in the northbound MD-193 to eastbound MD-450 turning lane were analyzed—as given in Table 1.⁹ The stop-and-go influences of the

signalized intersection again were represented as uninterrupted flow (i.e., free flow at constant speed) as a reasonable first approximation.

Shielding and ground reflection influences of the area topography and site grading were incorporated into the site model by a terrain line representing the band of land separating the dwellings from the rights-of-way. Ground surfaces were taken as sound-attenuating "lawn" aside from the paved roadway surfaces and 12-ft shoulders. The roadway pavement type was taken as "average." The overall site model is shown in Figure 1. The site topography was based upon Soltesz, LLC electronic files: 2022-11-02_Site Layout/"SIT_Master.dwg," received 11 November and 2022"SIT_Master_12-06-2022_Lowered Grading.dwg," received 6 December 2022.

Sound levels were sampled at eight *specific locations* representative of the dwelling units closest the roadways along both the MD-450 and MD-193 frontages, as defined in Table 2 and shown in Figure 2. The receptors were evaluated at 5-ft above first-floor elevation. In addition, the *spatially distributed exposure* of the traffic noise attenuating with distance from the roadways was estimated. A ≥ 50 dBA[L_{dn}] color gradient in a band extending about 300 ft into the site from the project boundary was created from the sound levels predicted on a 10x10-ft matrix of points above approximate ground level. The shielding benefits of the front tier of proposed structures to the succeeding tier approximately 80 ft behind them (i.e., setback about 180 ft from the property line) in the acoustical shadow zone were not considered.

Analysis Results

Location-Specific Sound Levels. Without mitigation, the 2027 traffic sound levels are expected to be 53–60 dBA[L_{dn}] at the dwellings closest the roadways—as given in Table 2 and Figure 3. The 2021 traffic was estimated to be about 0.5-dBA quieter, 53–59 dBA[L_{dn}]. The predicted levels all meet the County 65-dBA day-night average sound level outdoor criterion for residential areas. Consequently, the development—as proposed—complies with County highway noise design requirements without modification.

Distributed Noise Exposure. The estimated spatial distribution of day-night average sound levels from Rtes. 450 and 193 combined is shown in Figure 3 depicting a range of sound levels from 70 dBA[L_{dn}] within the roadways rights-of-way to 50 dBA[L_{dn}] on the development site. On-site traffic noise beyond the evaluated exposure zone will be <50 dBA[L_{dn}]. The rendered noise exposure gradient is only truly representative of the dwellings immediately fronting the roadways. Traffic sound levels beyond them will be significantly less due to additional shielding of noise by the fronting structures which is not considered in this analysis.

REFERENCES

- 1 Staiano, M.A., Md. Rtes. 450 and 193 Preliminary Traffic Noise Estimate--Fairwood Square Prince George's County, Maryland, Staiano Engineering Report No. L 22891, 16 March 2022.

- 2 Hastings, A.L., Traffic Noise Model 3.0—Technical Manual, U.S. Dept. of Transportation Report No. FHWA-HEP-20-012 , December 2019.
- 3 Hastings, A.L., Traffic Noise Model 3.1 - Technical Manual, U.S. Dept. of Transportation Report No. FHWA-HEP-21-041, September 2021.
- 4 Rochat, J.L., and G.G. Fleming, Addendum to Validation of FHWA’s Traffic Noise Model® (TNM): Phase 1, U.S. Department of Transportation Report No. DOT-VNTSC-FHWA-02-01 Addendum, July 2004.
- 5 Staiano, M.A., “Traffic Noise Model vs. Extreme Topography,” Transportation Research Record, No. 1859, Transportation Research Board (TRB), National Research Council, Washington, D.C., 2003.
- 6 Hastings, A.L., Rapoza, A.S., Ahearn, M.J., Reed, E.M., Kaye, S.R., Validation of FHWA’s Traffic Noise Model: Version 3.0, U.S. Department of Transportation, Report No. FHWA-HEP-20-011, December 2019.
- 7 Staiano, M.A., “Representing Highway Noise Exposures—Downfall of Contourtionists,” Sound & Vibration Magazine, Vol., 40, No. 8, August 2006.
- 8 “Traffic Impact Analysis for Hawkins Property (Bowie, Md)”, Lenhart Traffic Consulting, Inc, 16 July 2021.
- 9 Lenhart, M., “Noise Analysis Traffic Data - MD 193 NB to MD 450 EB.pdf,” email, Lenhart Traffic Consulting, Inc, 11 November 2022.

Table 1. ANALYZED TRAFFIC CONDITIONS
Turning traffic: MD-193 northbound to MS 450 eastbound;
Md. Rtes. 450 and 193 traffic per Ref. 1.

COND	ROADWAY	MD193N-MD450E turning lane	
	YEAR	2021	2027
DAILY	Average Daily Traffic (ADT) [vehicles]	4,458	5,376
	Nighttime (10 PM–7 AM) Traffic [%ADT]	8.4%	8.4%
	Directional Distribution* [%ADT]	--	--
	Vehicle Mix [%ADT]—light vehicles	95.6%	95.6%
	—medium trucks	3.3%	3.3%
	—heavy trucks	1.1%	1.1%
	Average Vehicle Speed [MPH]	30	30
PEAK HOUR	Time	16:45	16:45
	Hourly Volume (HV) [vehicles]	467	555
	[%ADT]	10.3%	10.3%
	Directional Distribution* [%HV]	--	--
	Vehicle Mix [%HV]—light vehicles	95.6%	95.6%
	—medium trucks	3.3%	3.3%
	—heavy trucks	1.1%	1.1%
Average Vehicle Speed [MPH]	30	30	

Table 2. TRAFFIC NOISE PREDICTION LOCATIONS and RESULTS

Day-night average sound levels, L_{dn} , for combined roadways; considering terrain shielding; all sound levels rounded to nearest whole decibel; **bold** sound levels exceed County limit

REC	REC COORD		Gnd Elev	FF Elev	Rec Hgt*	Pred L_{dn}	
	X	Y	Z			2021	2027
01	1370791.9	471860.4	186	187.7	6.7	53	53
08	1370684.3	471956.9	184	183.5	4.5	59	59
16	1370541.6	471765.7	186	186.3	5.3	57	57
34	1370386.8	471666.2	184	186.5	7.5	59	59
46	1370184.9	471509.3	188	190.0	7.0	59	59
52	1370077.6	471367.0	190	192.5	7.5	59	60
67	1370080.9	471059.0	188	190.8	7.8	58	59
68	1370096.3	470936.3	188	189.5	6.5	57	57

* height of 5-ft receiver at first-floor elevation re ground elevation

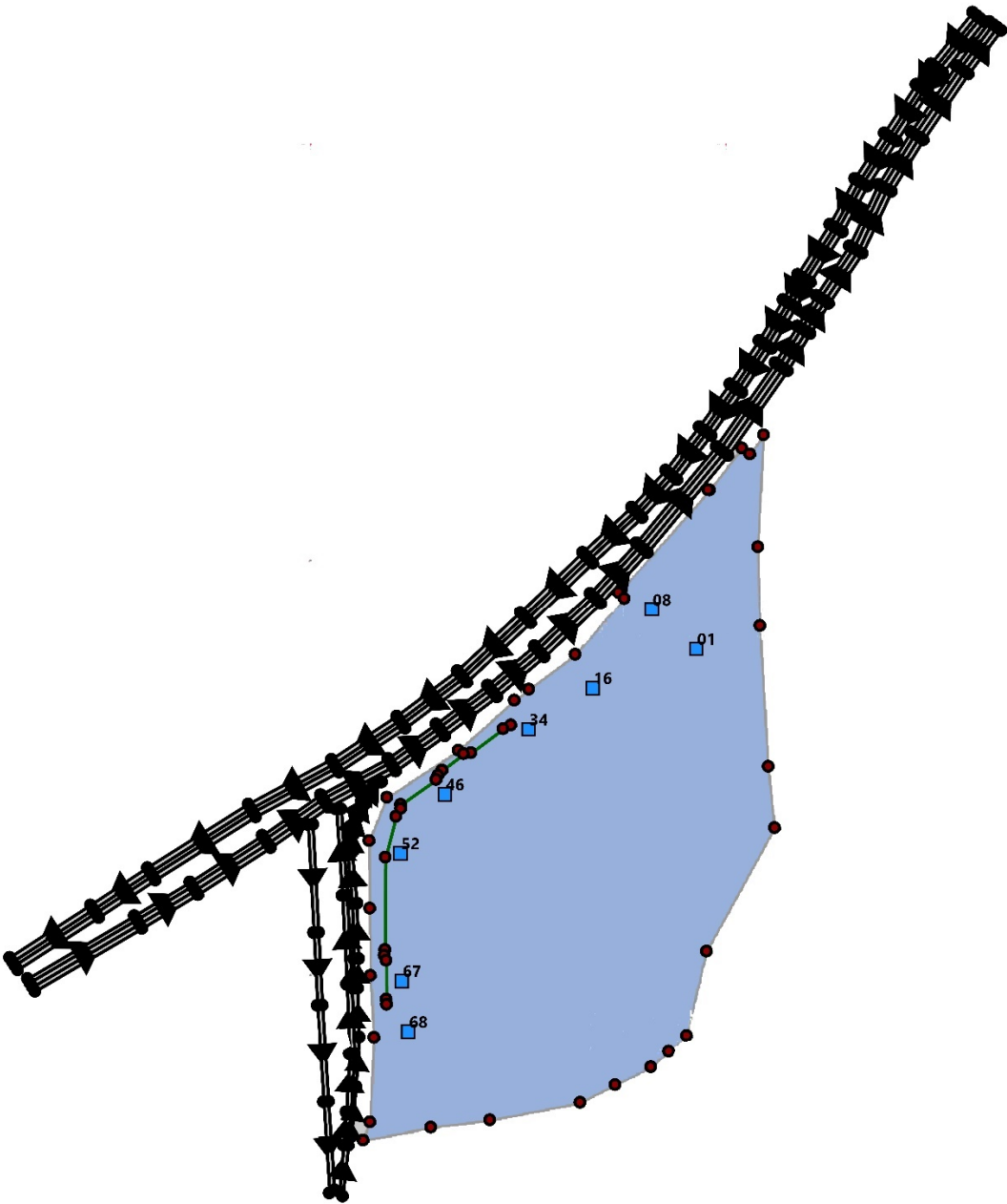


Figure 1. NOISE PREDICTION MODEL GEOMETRY
TNM geometric model, showing

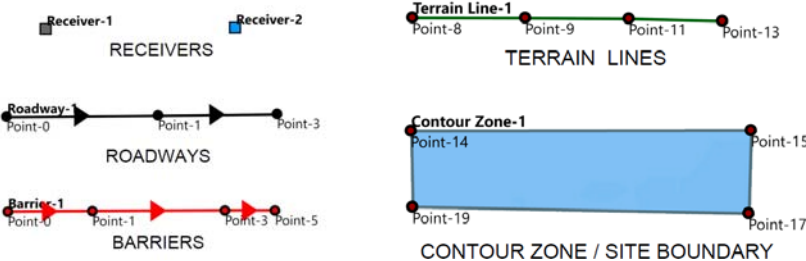






Figure 2. SITE PLAN
evaluated receptor locations shown by targets with unit numbers



Figure 3. EXPECTED NOISE EXPOSURE from MD. RTES. 450 and 193 COMBINED outdoor *day-night average sound levels* (L_{dn}); ignoring shielding from proposed on-site structures; location-specific sound levels as per Table 2; color gradient denotes 50 dBA[L_{dn}] to 70 dBA[L_{dn}] noise exposure range

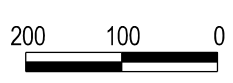


SCALE: 1" = 200'

-  SIDE WALK
-  10FT SHARED USE PATH



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PEDESTRIAN AND BIKEWAY FACILITIES PLAN
FAIRWOOD SQUARE
 DSP-22028
 PRINCE GEORGE'S COUNTY, MARYLAND

Matthew C. Tedesco, Esq.
Admitted in Maryland

Email: mtedesco@mhlawyers.com
Ext. 222

February 15, 2023

Via Electronic Delivery

Andrew Shelly
Planner
Development Review Division
M-NCPPC
County Administration Building
Upper Marlboro, MD 20772

Re: *DSP-22028 – Fairwood Square*
SDRC Point-By-Point Response Letter
SDRC Date: February 3, 2023

Dear Mr. Shelly:

On behalf of the applicant, please find below point-by-point responses to the SDRC Meeting Comments transmitted to the applicant on February 3, 2023.

Urban Design:

MAJOR ISSUES:

1. Revise the Tree Canopy Coverage (TCC) schedule, as twenty percent TCC is required and not ten percent, since the property is in the RE Zone. Conformance with TCC is outside the bounds of the Zoning Ordinance and the conditions permitted with the proposed townhouse use. Additional TCC will be required or justification for the applicability of a waiver.

RESPONSE: This issue was vetted and addressed with the approval of PPS 4-21058, and pursuant to the Planning Board's finding, as adopted in PGCPB Resolution No.2022-108 at page 21, the required TCC for the development is ten percent (10%) and not twenty percent (20%). See screen shot below from PGCPB Resolution 2022-108.

Conformance with the Tree Canopy Coverage Ordinance

Subtitle 25, Division 3, the Tree Canopy Coverage Ordinance, requires a minimum percentage of the site to be covered by tree canopy for any development projects that propose more than 5,000 square feet of gross floor area or disturbance and require a grading permit. The property is in the R-E Zone, but conforms to Footnote 144 of Section 27-441, which allows the site to be reviewed under the M-X-T standards and will require 10 percent of the gross tract area to be covered in tree canopy. Compliance with the TCC requirements will be evaluated at the time of DSP review.

2. Staff believes additional recreational facilities are necessary to meet the required recreational facility value. Below are technical comments about the facilities.

a. Doggie cleanup stations, a dog park and the associated equipment, and bike racks are not recreational facilities and should be removed from the cost estimate and DSP.

RESPONSE: Although still proposed as an amenity for the project, the cost estimate for the on-site recreation facilities has been revised to remove the dog park, associated equipment, and bike racks. The proposed estimated value of the other recreational facilities is \$254,000, which exceeds the value of facilities to be provided (to wit: \$217,906).

b. Provide a detailed plan of the Butterfly Garden demonstrating the proposed plantings.

RESPONSE: The proposed planting plan for the Butterfly Garden has been added to the Landscape Plan.

c. Provide a site detail of the chain link fencing surrounding the playground. Ensure the chain link fencing is vinyl coated.

RESPONSE: A detail of the proposed chain link fence, with black vinyl coating, has been provided on the Recreation Plan sheet 2.

d. Staff would recommend the Applicant provide additional active recreation facilities. These could include fitness stations or more playground equipment.

RESPONSE: The applicant contends that the detailed site plan includes adequate recreational facilities as well as other design features not included in the valuation for recreational amenities that exceed the formula for determining recreational facilities to be provided.

3. Provide the noise study from Condition 5b of PPS 4-21058 prior to approval of the DSP.

RESPONSE: The noise study has been provided.

4. Provide a pedestrian and bikeway facilities plan from Condition 10 of PPS 4-21058.

RESPONSE: A pedestrian and bikeway facilities plan has been provided.

MINOR ISSUES:

1. Provide high visibility side elevations for the “Roland” architectural model.

RESPONSE: High visibility side elevations for the “Roland” model have been provided.

2. Label the retaining wall shown on sheets 3 and 5 of the DSP.

a. Provide a site detail of the retaining wall.

RESPONSE: A retaining wall is not proposed with the revised site grading shown on the DSP.

3. Provide site details of the playground and dog park gate.

RESPONSE: Details of the playground and dog park gate, with black vinyl chain link, have been provided on the Recreation Plan sheet 2.

4. Provide site details of the ADA curb ramps and crosswalks required from Condition 10.d. of PPS 4-21058.

RESPONSE: The ADA curb ramps and crosswalks have been provided.

5. Have a discussion with staff on the recreational permit timeline and ADA parking near the proposed recreational facilities.

RESPONSE: Two additional ADA parking spaces near the playground have been provided. The DSP includes a recreational facilities amenities chart that include permit triggers for each of the proposed facilities.

Office of the Fire Marshal:

1. Fire hydrants are not shown. Please show hydrant placement.

RESPONSE: Fire hydrants have been added to the plans.

2. A personnel door must be provided on each unit within 150' of a fire access road. Please demonstrate compliance for units 52-59, 76-83, 84-90, 49, 50, and 51 (Provide Exhibit).

RESPONSE: The requested exhibit for the fire access has been provided.

3. While not a compliance comment, we would note that due to the 22' and 24' private roads, no on street parking will be allowed other than in spaces where sufficient width is provided in addition to the 22' required for fire access. Fire lane markings will be required prior to occupancy.

RESPONSE: The comment regarding on street parking and fire lane marking is noted.

Community Planning:

No major issues, however, the 2022 Approved Bowie-Mitchellville and Vicinity Master Plan, makes several recommendations that should be considered and effect the subject property:

• Six-foot-wide sidewalks on both sides:

RESPONSE: Pursuant to condition 10.c. of PPS 4-21058 (PGCPB No. 2022-108), 5-foot-wide sidewalks are provided.

• Crosswalks on all legs of an intersection:

RESPONSE: Crosswalks on all legs of intersections are provided.

• **Bicycle lanes or a separated facility:**

RESPONSE: The applicant is providing bike parking – separate lanes or separate facilities are not proposed or required with the previously approved PPS.

• **Street trees:**

RESPONSE: Street trees are provided.

• **Modern stormwater management best practices, such as bioswales:**

RESPONSE: Modern SWM best practices are provided and the development has an approved Site Development Concept Plan (45700-2021).

For the segment of A-23, MD 450 (Annapolis Road) from Bell Station Road/Fairwood Road to MD 193 (Glenn Dale Boulevard), the master plan recommends 120-foot minimum right-of-way with four motor vehicle lanes, and 10-foot-wide minimum shared-use paths (pp. 246, and 262).

RESPONSE: Noted. The segment of A-23 from Bell Station Road to MD 193 has been dedicated and has been built to its full section with a minimum of four travel lanes (we would note that there are six travel lanes along the entire frontage of the subject property as the road approaches the intersection on MD 193). The shared use path is provided on the north side on MD 450. Any additional improvements within the right-of-way are subject to the approval of the State Highway Administration.

For the segment of A-27, MD 193 (Enterprise Road) from MD 450 (Annapolis Road, A-23) to US 50 (John Hanson Highway, F-4) the master plan recommends 100-foot minimum right-of-way with four motor vehicle lanes, and 10-foot-wide minimum shared-use paths in both directions (pp. 247, and 262)

RESPONSE: Noted. The segment of A-27 from MD 250 to the terminus of the property frontage has been dedicated and has been built to its full section with a minimum of four travel lanes. Any additional improvements, including a shared use path, within the right-of-way are subject to the approval of the State Highway Administration.

Transportation Planning:

All internal roads (not alleys) shall be designed with six-foot sidewalks.

RESPONSE: Pursuant to condition 10.c. of PPS 4-21058 (PGCPB No. 2022-108), a minimum 5-foot-wide sidewalk is provided along both sides of all internal street.

10. The applicant and the applicant's heirs, successors, and/or assignees shall construct the following facilities as part of the development of the site, and show these facilities on a pedestrian and bikeway facilities plan, as part of the detailed site plan, prior to its acceptance:

- c. A minimum 5-foot-wide sidewalk along both sides of the internal roadways throughout the site, including Americans with Disabilities Act curb ramps and associated crosswalks.

Environmental Planning:

1. The proposed retaining wall and grading along the eastern boundary line appears to impact the critical root zones (CRZ) of off-site specimen trees # 14, 15, and 16. Provide information from an arborist on how to safeguard these trees to provide the best chance for survivability. Provide any additional preservation measures details to the TCP2. Work with the property owners where these trees are located, as needed.

RESPONSE: No retaining wall is proposed with the revised site grading.

2. Provide information from an arborist on how to safeguard and provide the best chance for survivability of on-site specimen trees #1, 3, 6, 9, and 10 from the proposed grading in the CRZ of these trees. Provide any additional preservation measures details to the TCP2.

RESPONSE: The report will be provided, as needed. The applicant will use best practices and available methods provided in the Environmental Technical Manual to safeguard and provide the best chance of survivability for the on-site specimen trees.

3. The following revisions are needed on the TCP2:

- a. Add TCP2-003-2023 to the approval box.

RESPONSE: TCP2-003-2023 has been added to the approval box.

- b. Correct the DRD # in the approval box to DSP-22028.

RESPONSE: The DRD # has been corrected to provide Case Number DSP-22028.

- c. Use the updated worksheet that can be found on the Commission's website.

RESPONSE: The updated worksheet has been provided.

- d. Add TCP2-003-2023 to the worksheet.

RESPONSE: TCP2-003-2023 has been added to the worksheet.

- e. Label the retaining wall along the eastern boundary line to show top and bottom elevations.

RESPONSE: Due to regrading efforts, no retaining wall is proposed with the revised site grading.

f. Add the following note below the specimen tree table:

“This plan is in accordance with the following variance from the strict requirements of Subtitle 25 approved by the Planning Board on 10/20/2022 for the removal of specimen trees ST-2, 4, 7 ,8 and 17.”

RESPONSE: The requested note has been added below the specimen tree table.

g. Add the Property Awareness Certificate to the plan and have the owner sign it.

RESPONSE: The Property Awareness Certificate has been provided on the cover sheet.

h. Provide the detail for the Woodland Preservation Signage.

RESPONSE: A detail for the Woodland Preservation Signage has been provided.

i. Show the location of the Woodland Preservation signs to the plan view and add the symbol to the Legend.

RESPONSE: The Woodland Preservation signs have been added to the plan view with the symbol added to the Legend.

j. Correct General Note #7, this property is adjacent to Enterprise Road and Annapolis Road which are Historic roadways.

RESPONSE: General Note #7 has been corrected.

k. General Note #10 indicates there is already a recorded woodland conservation easement. If this is correct, please provide the recorded easement documents. If this is not correct revise the statement to remove the Liber Folio numbers listed.

RESPONSE: This note was not correct and has been corrected accordingly – there is no recorded woodland conservation easement on the property.

l. Provide the bearings and distances of the property boundaries to the plan.

RESPONSE: The bearings and distances of the property boundaries have been provided.

Subdivision Section:

MAJOR ISSUES:

1. As stated in the Preliminary Plan of Subdivision Conformance section above, per Condition 5.b of the PPS approval, Phase II noise studies should be submitted for review.

RESPONSE: A Phase II noise study has been provided.

2. Per Condition 3.c of the PPS, a note indicating that the southern vehicular access point along MD 450 shall be limited to a right-in/right-out only access, should be added to the site plan, unless modified by the operating agency with written correspondence.

RESPONSE: A note for the southern vehicular access point has been added to the site plan.

TECHNICAL COMMENTS:

1. The note located at the bottom of the Parcel Tabulation Table should be revised to specify the commercial parcel as Parcel B. While this commercial parcel is labeled on the table as Parcel B, it is labeled as Parcel 1 on the site plan. The table should be reconciled to match the site plan.

RESPONSE: A corrected Parcel Tabulation Table has been provided.

2. The Recreational Facilities Table on Sheet 1 should be revised to state the project name, the total dwelling units per approved PPS and the total value of the required recreational facilities. Also, the title of last column of the table which is “permit trigger” should be corrected to “trigger for construction”.

RESPONSE: A revised Recreational Facilities Table has been provided.

3. General Note 5 on Sheet 1 of the DSP references an incorrect PPS case number. This should be corrected to PPS 4-21058.

RESPONSE: PPS case number has been corrected in the General Note #5.

4. The property line bearings and distances should be clearly shown and should not be overlapped by other features.

RESPONSE: The property line bearings and distances have been clearly shown on the plan.

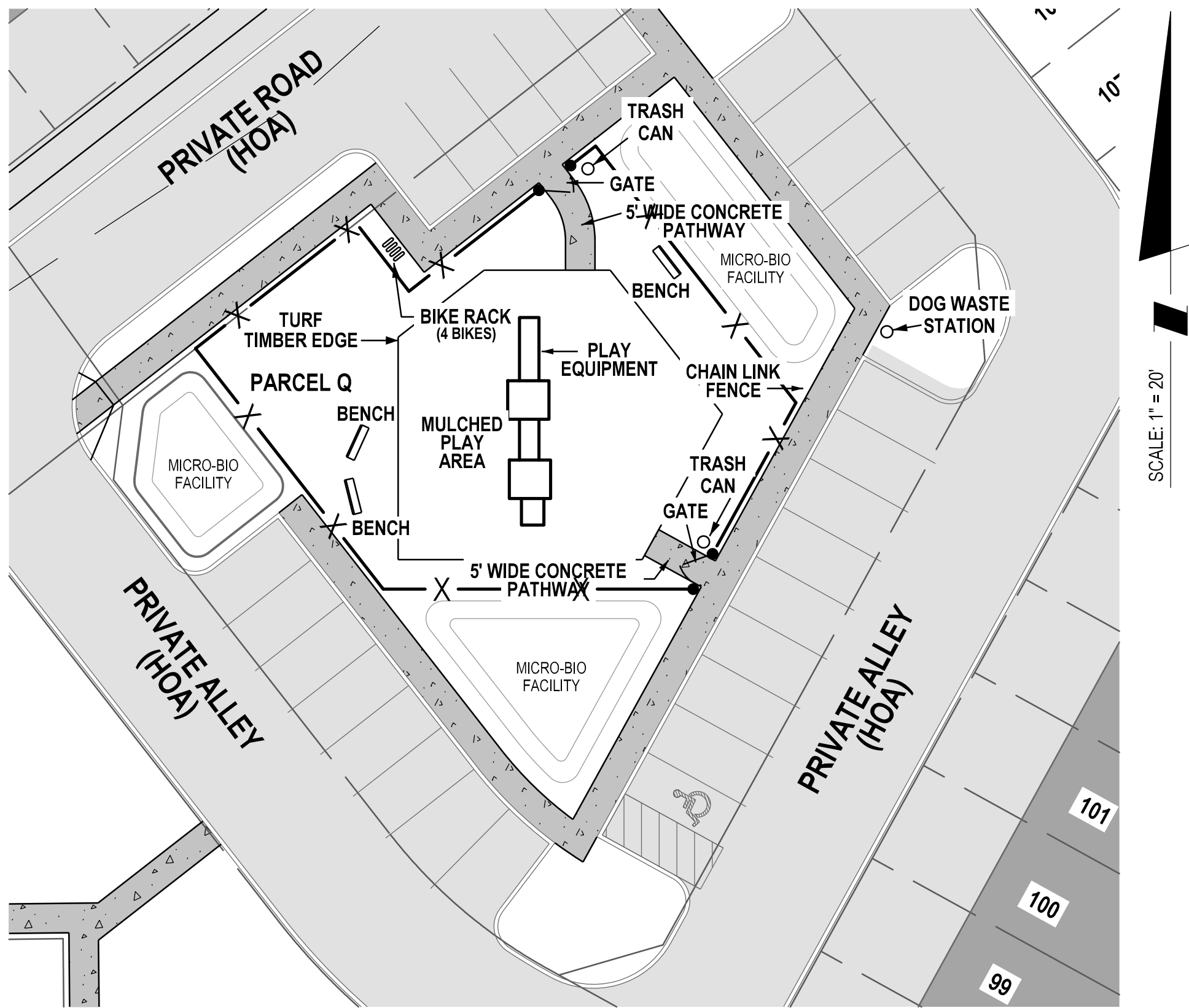
If you have any questions, please do not hesitate to contact me at 301-441-2420.

Respectfully submitted,

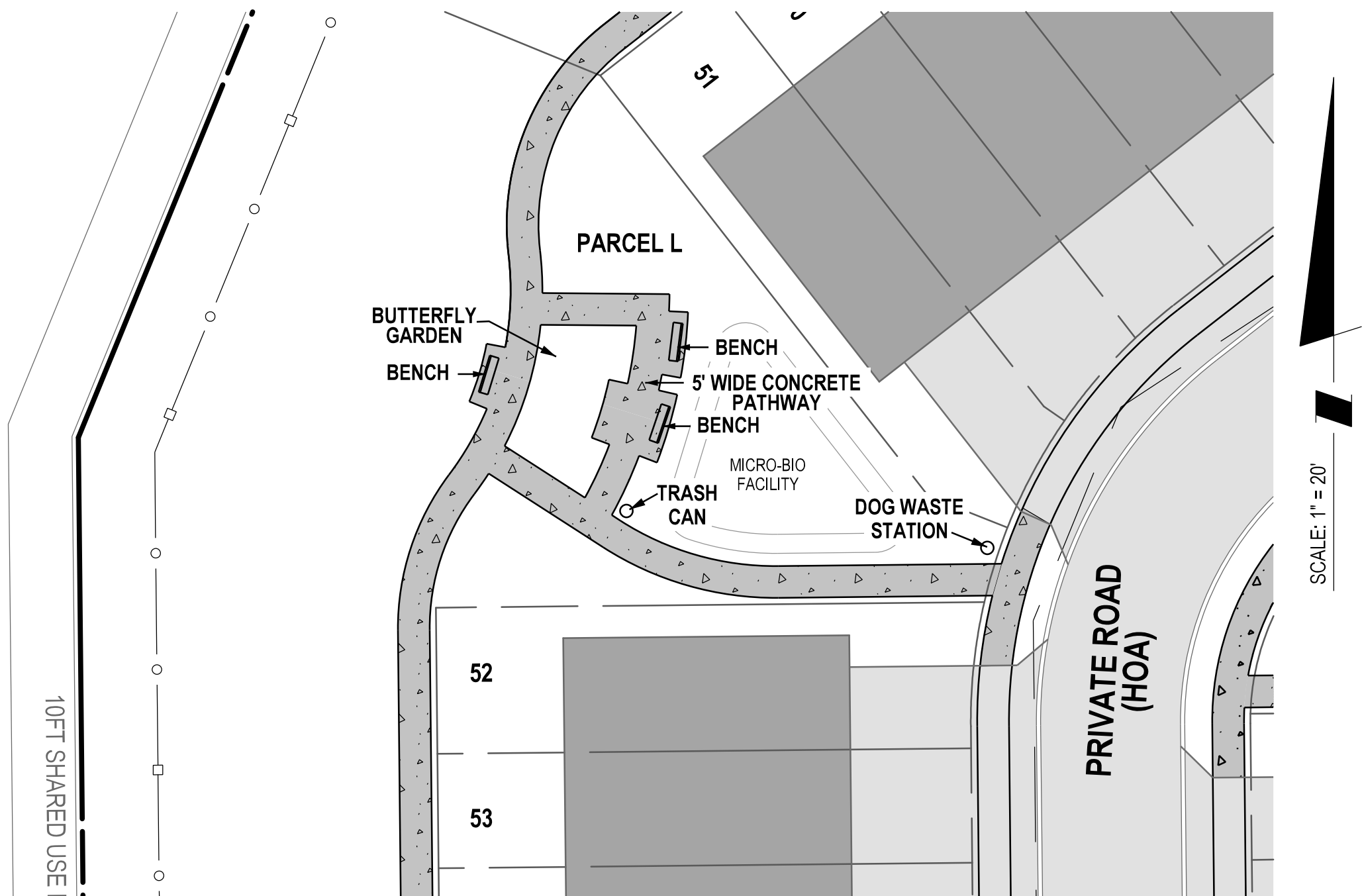


Matthew C. Tedesco
Attorney for the Applicant.

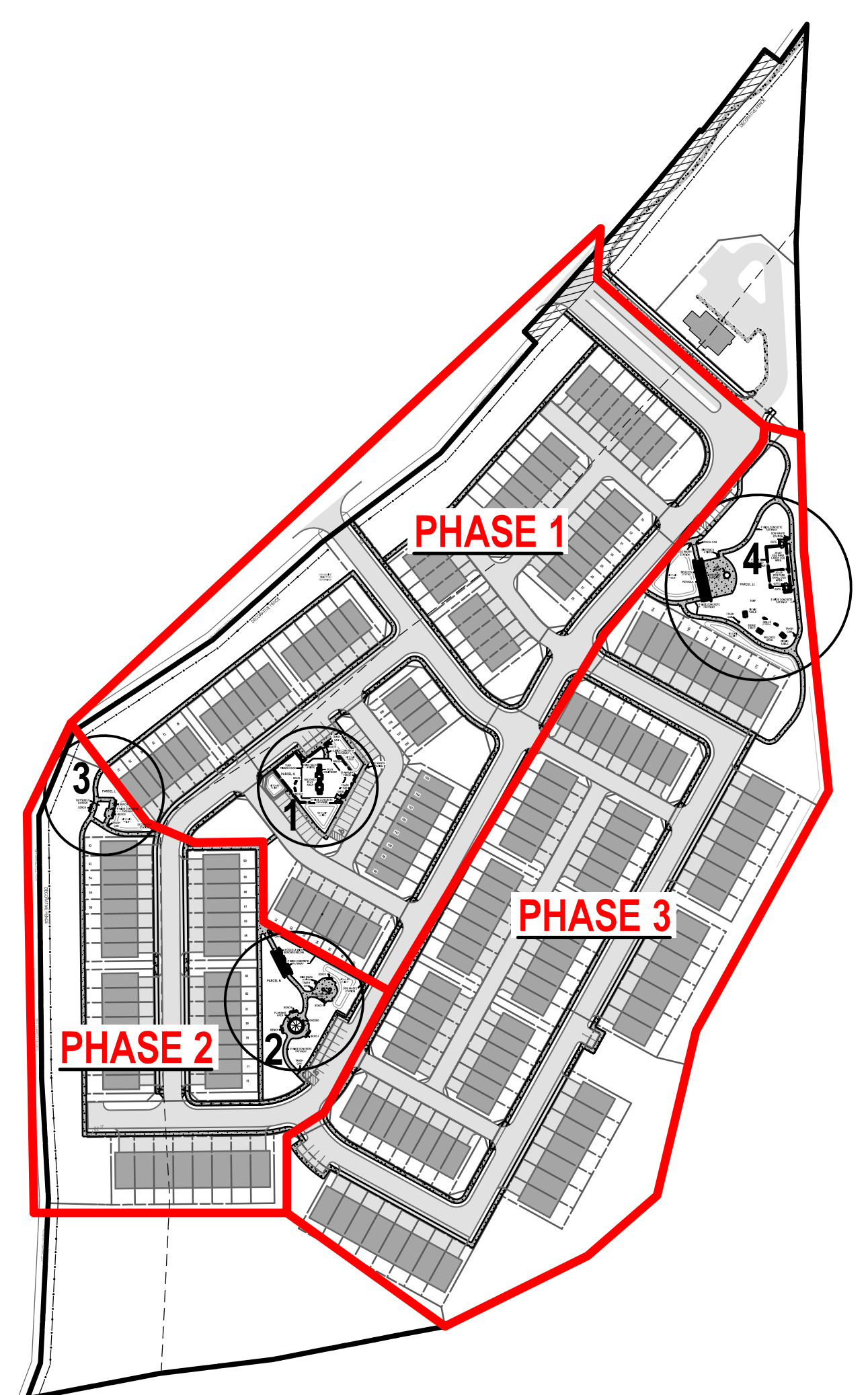
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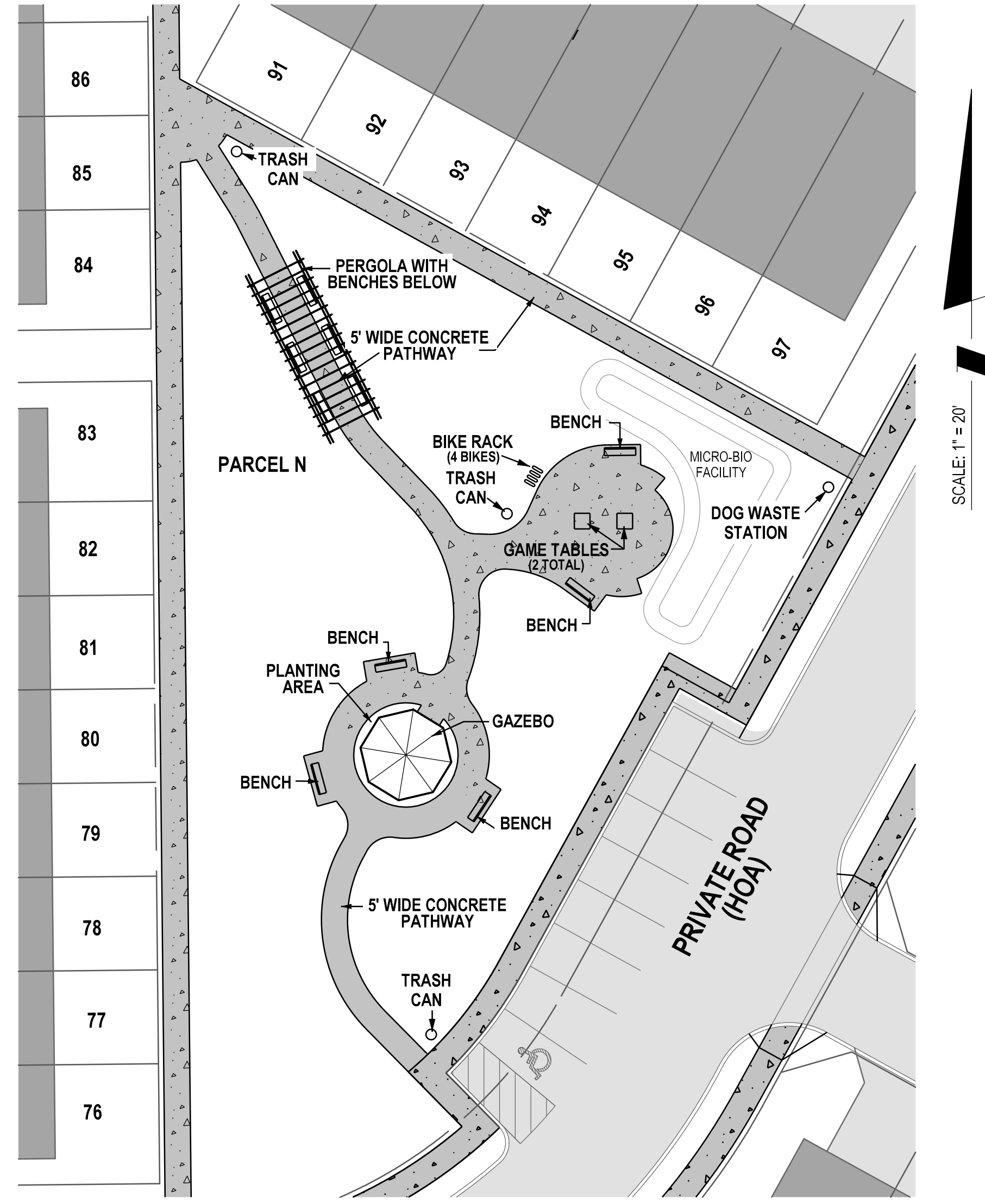
RECREATIONAL AREA - 1
SCALE: 1"=20'



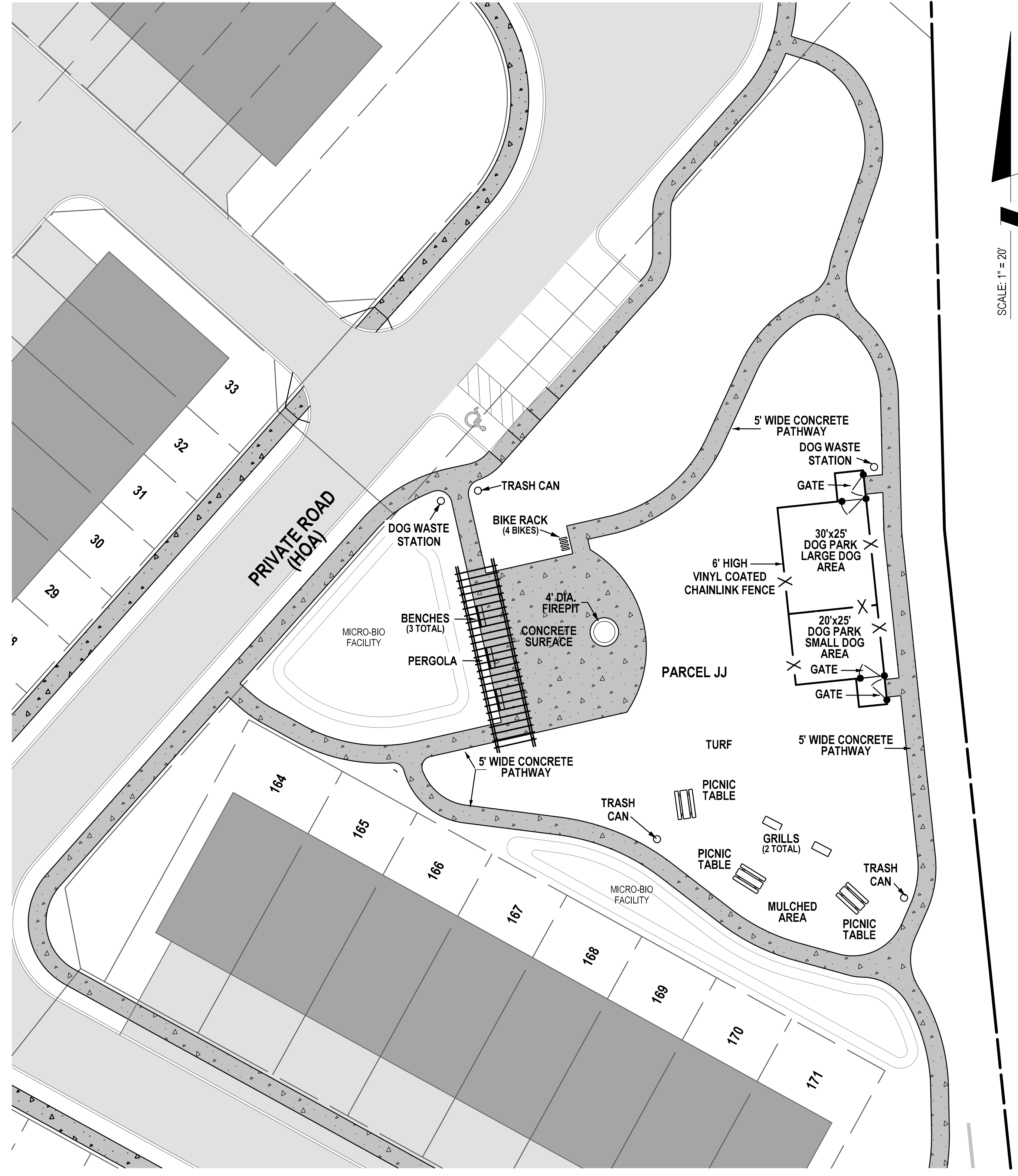
RECREATIONAL AREA - 3
SCALE: 1"=20'



RECREATIONAL AREA LOCATION MAP
NOT TO SCALE



RECREATIONAL AREA - 2
SCALE: 1"=20'



RECREATIONAL AREA - 4
SCALE: 1"=20'

- CONSTRUCTION TIMELINE**
- PHASE 1: PRIOR TO 71st BUILDING PERMIT
- CONSTRUCT REC. AREA 1
 - PHASE 2: PRIOR TO 110th BUILDING PERMIT
- CONSTRUCT REC. AREA 2 & 3
 - PHASE 3: PRIOR TO 150th BUILDING PERMIT
- CONSTRUCT REC. AREA 4

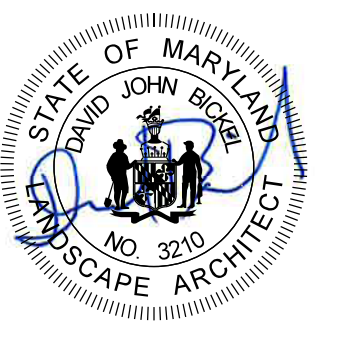
SOLTESZ, LLC
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Lanham, MD 20706
P. 301.794.7555 F. 301.794.7656
www.solteszco.com

Engineering
Surveying
Planning
Environmental Sciences

MISS UTILITY NOTE
INFORMATION CONCERNING EXISTING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS. THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF ALL EXISTING UTILITIES AND UTILITY CROSSINGS BY DIGGING TEST PITS BY HAND, WELL IN ADVANCE OF THE START OF EXCAVATION. CONTACT MISS UTILITY AT 1-800-251-7777 48 HOURS PRIOR TO THE START OF EXCAVATION. IF CLEARANCES ARE LESS THAN SHOWN ON THE PLAN OR TWELVE (12) INCHES, WHOEVER IS LESS, CONTACT THE ENGINEER AND THE UTILITY COMPANY BEFORE PROCEEDING WITH CONSTRUCTION. CLEARANCES LESS THAN NOTED MAY REQUIRE REVISION TO THE PLAN.

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PHONE # 443-837-3110
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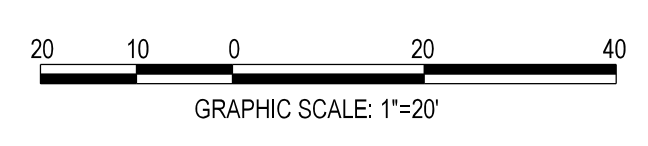


2/16/2023

RECREATION PLAN

DETAILED SITE PLAN -DSP-22028
FAIRWOOD SQUARE
ENTERPRISE & ANNAPOLIS ROAD
QUEEN ANNE (7th) ELECTION DISTRICT, PRINCE GEORGES COUNTY, MARYLAND

TAX MAP 45, F3	CURRENT ZONING CATEGORY RE
WS&C 200 SHEET 207NE11	PREVIOUS ZONING CATEGORY RE
SITE DATUM HORIZONTAL: MD 83 VERTICAL: NGVD 29	DATE: 2/16/2023
1" = 20'	DESIGNED: YOR
SHEET 1	TECHNICAL: YOR
OF 2	CHECKED: DVB
PROJECT NO. 3902-04-00	CAD STYL: V8 / NCS
	VERSION:



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Picnic Table & Backless Benches
 'ELLA'- 72" LENGTH, IN-GROUND MOUNT
 Victor Stanley, www.Victor Stanley.com



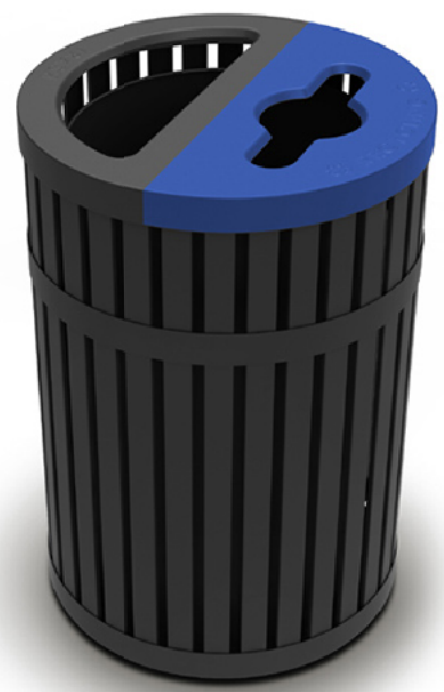
Bench



Fire Pit



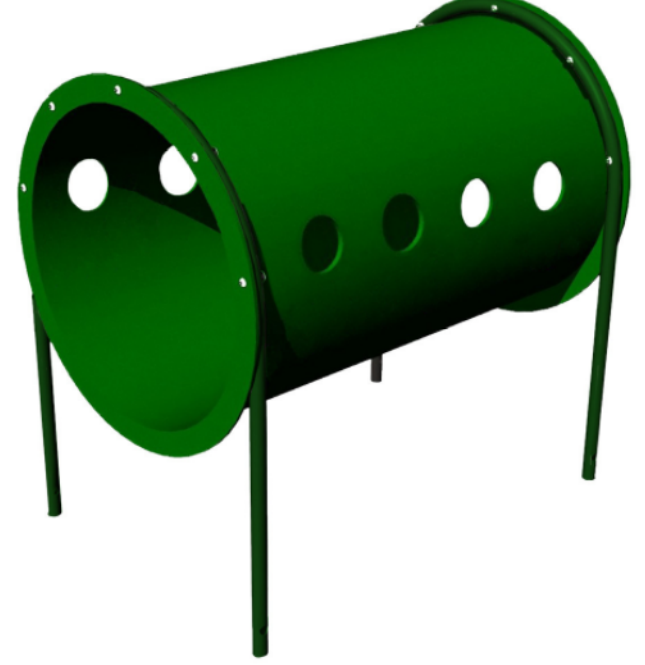
Dual Grate Family Size Pedestal Grill-In-Ground Mount
 Belson Outdoors, Naperville, IL 60563/www.belson.com
 MODEL P660-3



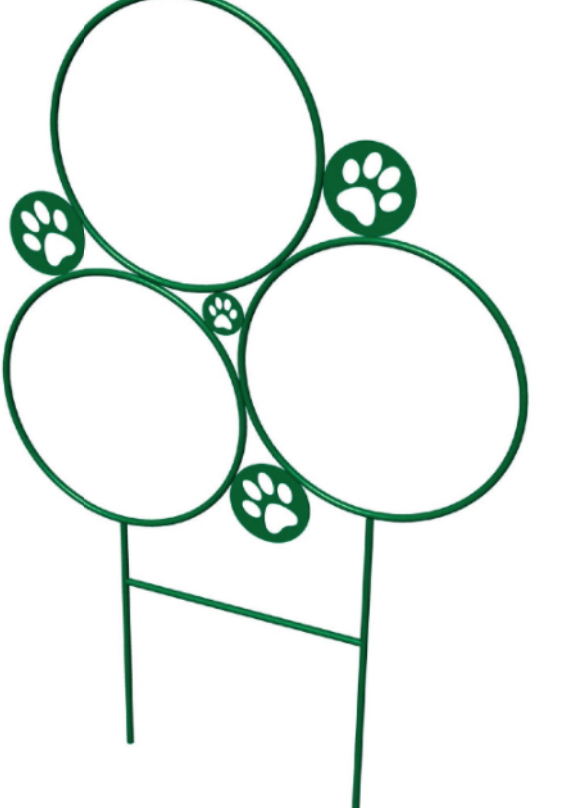
Archtec Series Parkview 4 Waste/Recyclers
 MODEL DC-728501, 23.25" Dia x 34" H
 Belson Outdoors, Naperville, IL 60563/www.belson.com



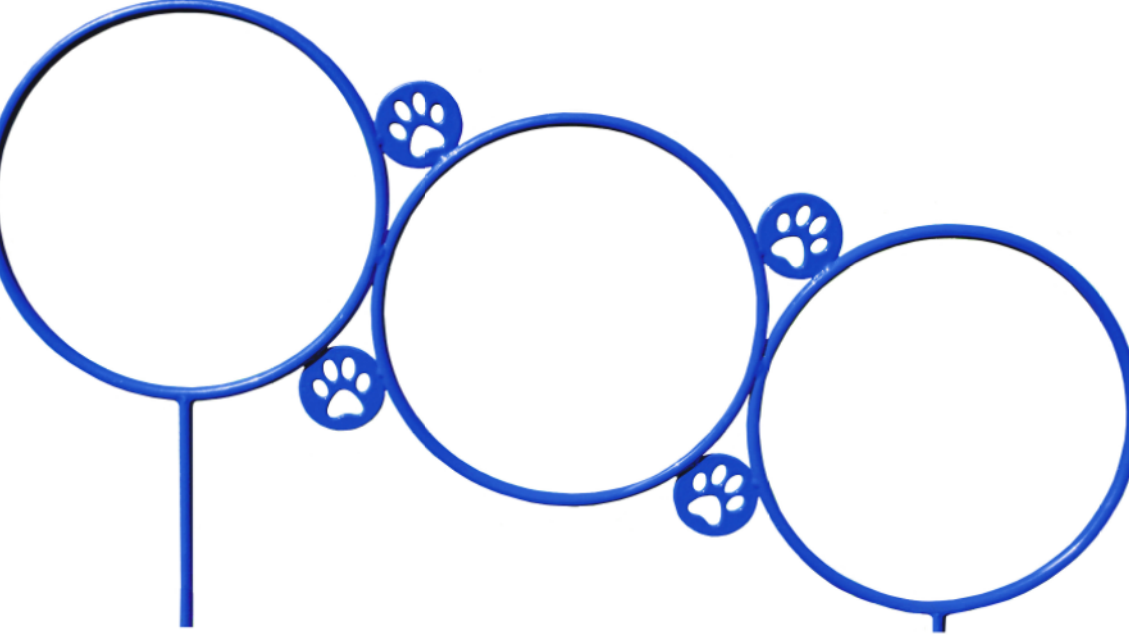
Dog Fire Hydrant
 IN-GROUND MOUNT
 The Park, Delray Beach FL www.theparkcatalog.com



Doggie Crawl
 IN-GROUND MOUNT
 The Park, Delray Beach FL www.theparkcatalog.com



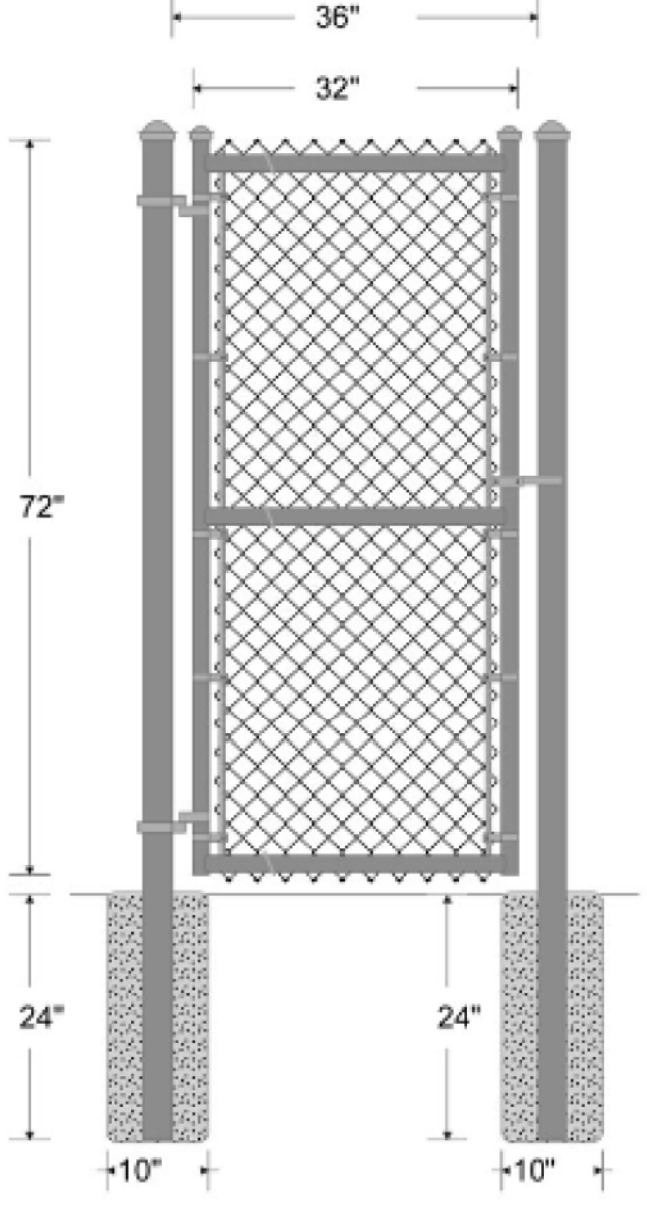
Large Dog Jump Hoop
 IN-GROUND MOUNT
 The Park, Delray Beach FL www.theparkcatalog.com



Small Dog Jump Hoop
 IN-GROUND MOUNT
 The Park, Delray Beach FL www.theparkcatalog.com



Dog Waste Station
 IN-GROUND MOUNT
 The Park, Delray Beach FL www.theparkcatalog.com



6' Dog Park Gate



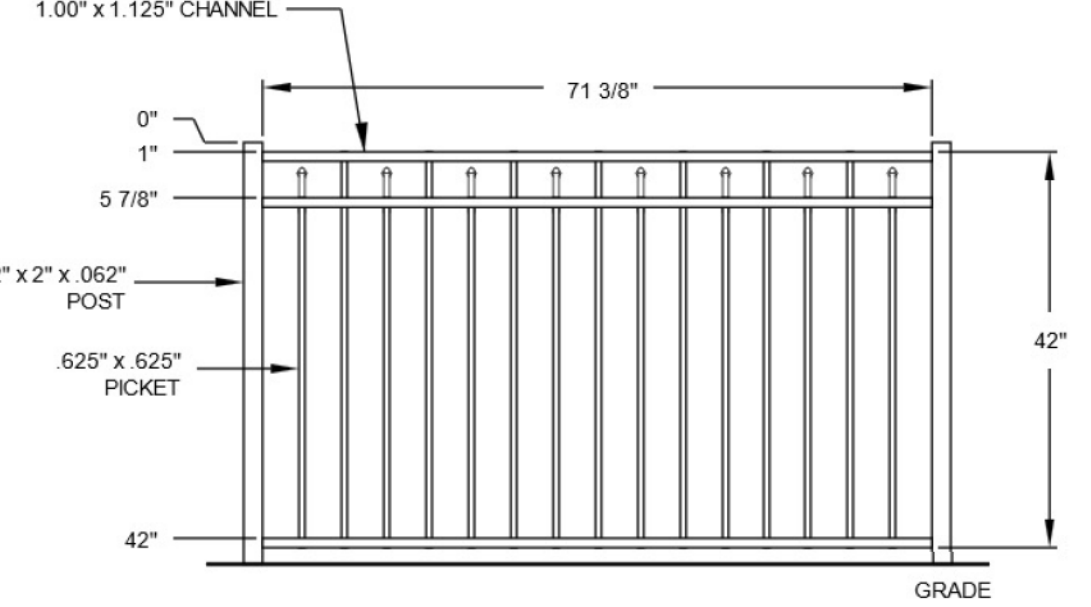
Gazebo



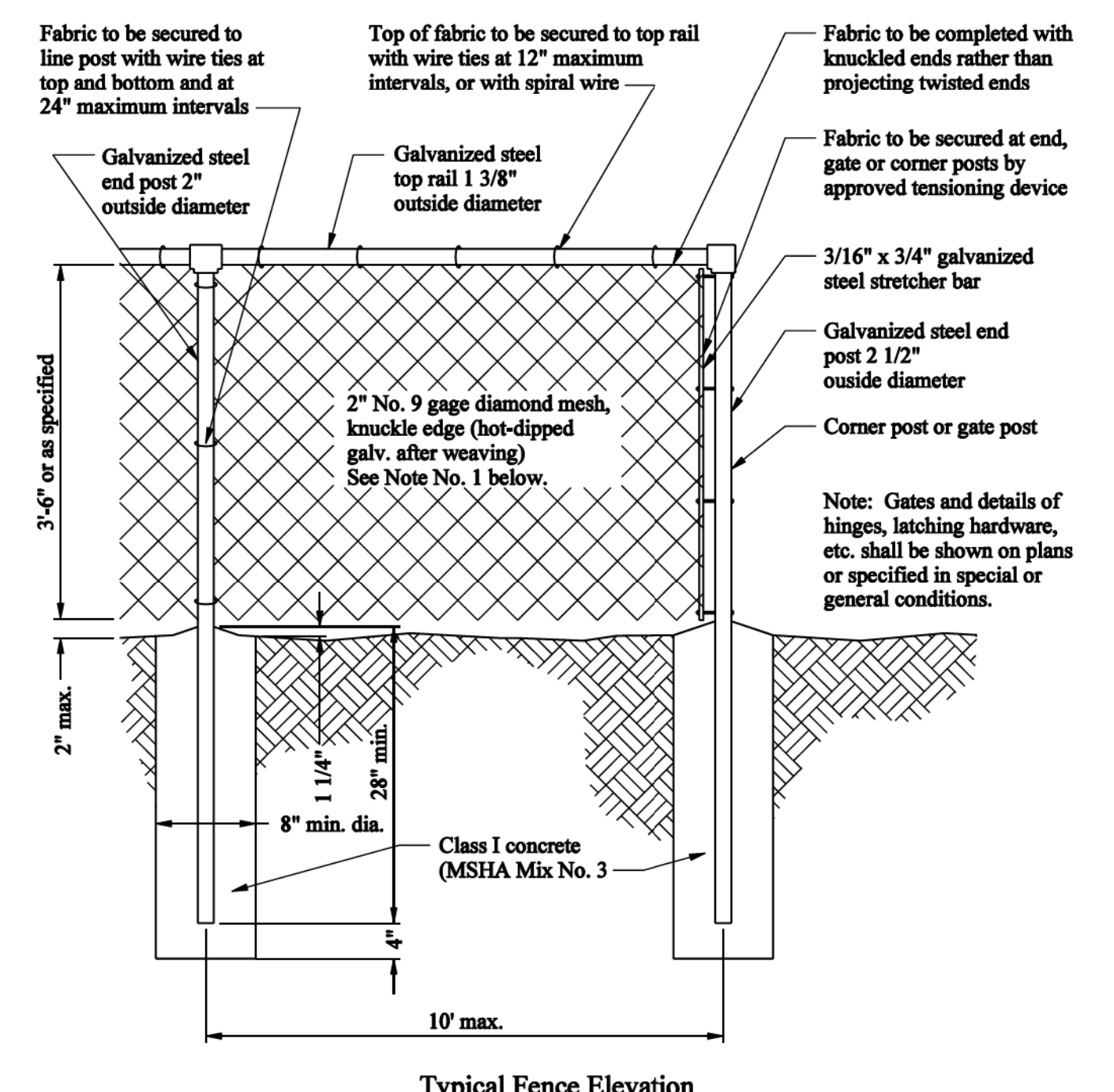
SunCast Wooden Pegola
 MODEL PA1012 10ft x 12ft
 Tractor Supply /www.tractorsupply.com



Game Table

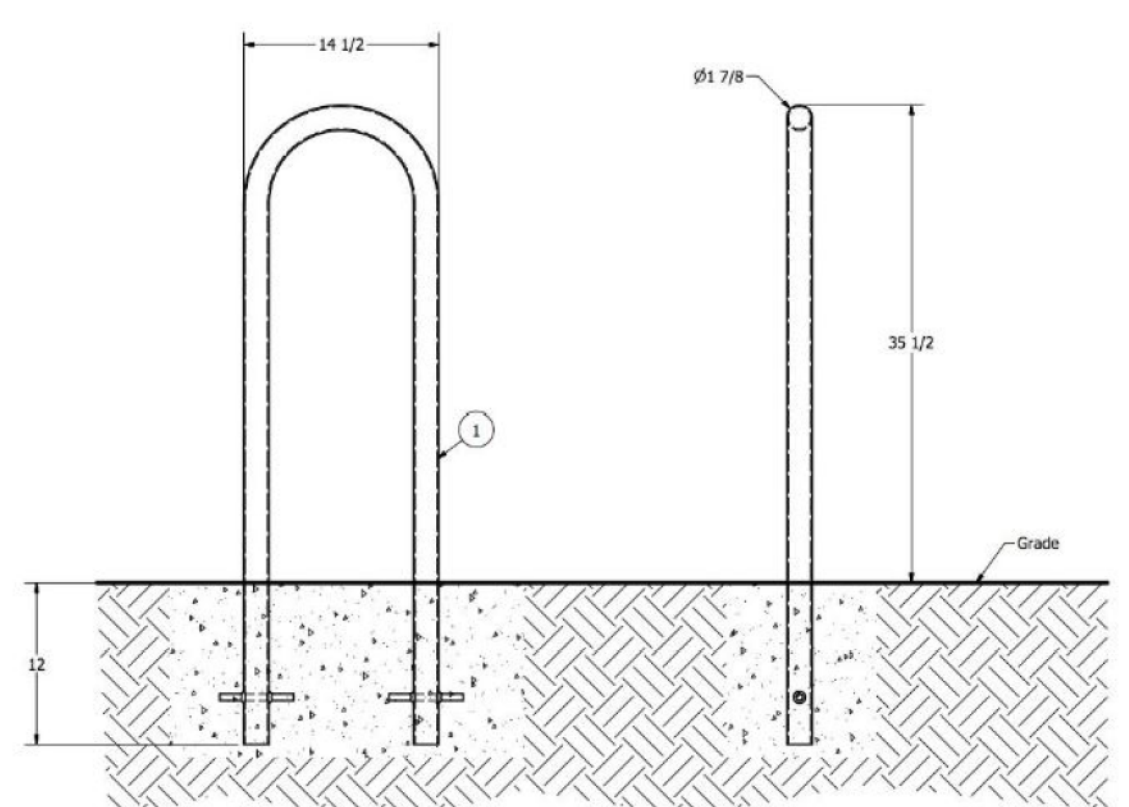


Aluminum Fence
 42" HIGH, BLACK ALUMINUM, SERIES C, 3 RAIL
 Aluminum Fence Supply, Brookside, FL 34604/www.aluminumfencesupply.com



Notes:
 1. Black or dark green vinyl clad over galvanized steel chain link fence is required.
 2. Galvanizing for all chain link fence types shall be in accordance with AASHTO M-181.
 3. Fence posts used on structures shall be embedded 12" in epoxy sockets.

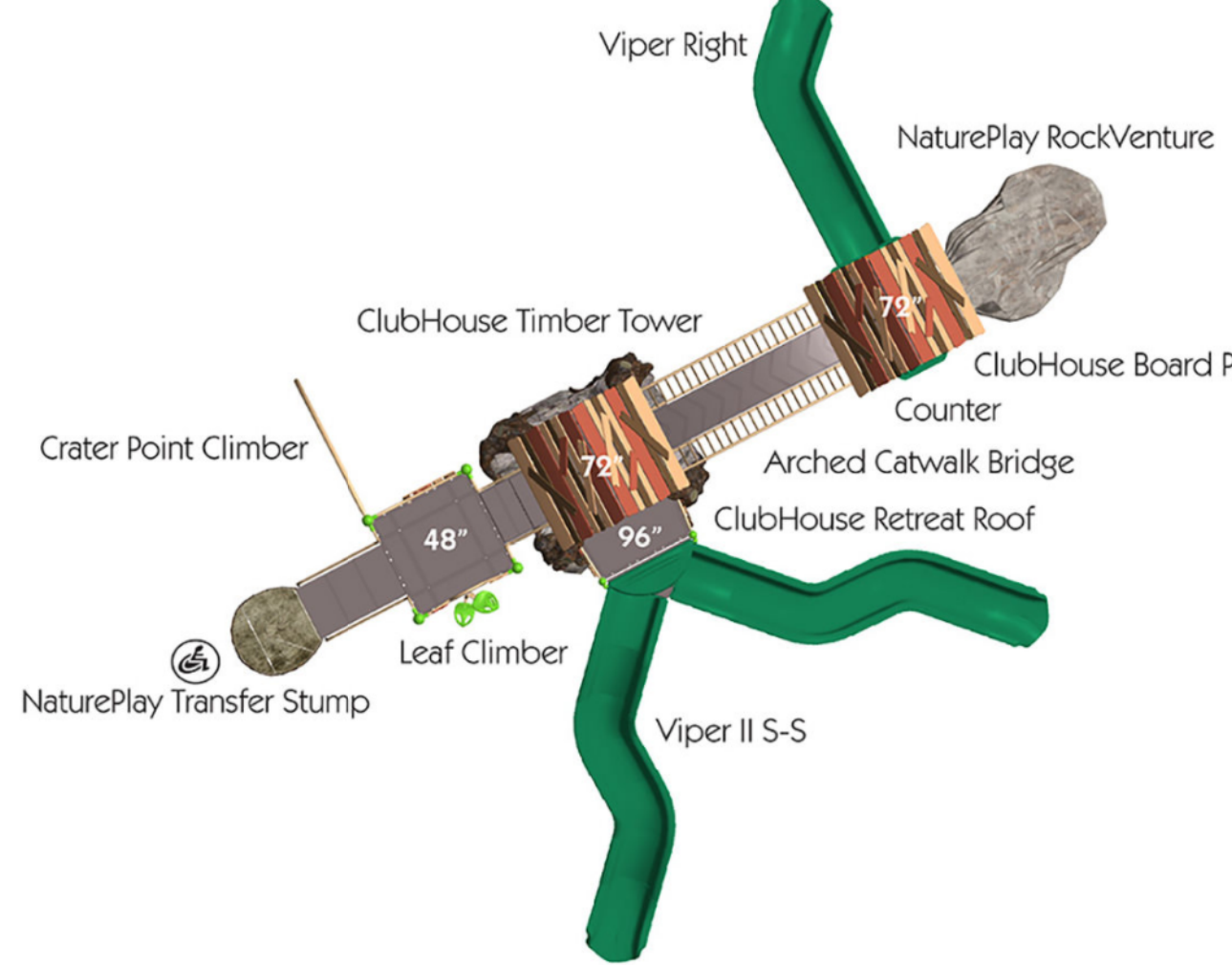
APPROVED:	DATE:		DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION Prince George's County, MD	Chain Link Fence (Residential Property Installation)	STD. 300.26
DIRECTOR	DATE				
REVISION DATE:	APPROVED BY:				



Bicycle Rack
 INVERTED U



NATURE PLAY NUNP-2325
 AGES 2-12, USE ZONE: 48' x 42', FALL HEIGHT 96"
 Burke Playground Equipment/All Recreation Ashburn, Md www.allrec.com



SOLTESZ, LLC
 4300 Forbes Boulevard, Suite 230
 Lanham, MD 20706
 P. 301.794.7555 F. 301.794.7656
 www.solteszco.com

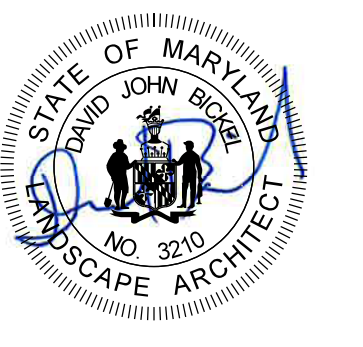
Engineering
 Surveying
 Planning
 Environmental Sciences

NO.	REVISIONS	BY	DATE
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MISS UTILITY NOTE
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2/16/2023

RECREATION PLAN

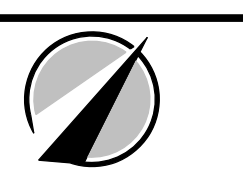
DETAILED SITE PLAN -DSP-22028
FAIRWOOD SQUARE
ENTERPRISE & ANNAPOLIS ROAD
 QUEEN ANNE (7th) ELECTION DISTRICT, PRINCE GEORGES COUNTY, MARYLAND

TAX MAP 45, F3	CURRENT ZONING CATEGORY RE
WSBC 300 SHEET 207NE11	PREVIOUS ZONING CATEGORY RE

SITE DATUM:
 HORIZONTAL: MGD 83
 VERTICAL: NGVD 29

DATE: 2/16/2023	DESIGNED: YOR
CHECKED: YOR	TECHNICAL: YOR
CAD STG: V8 / NCS	DRAWN: DUB

SHEET 2	OF 2
PROJECT NO. 3902-04-00	



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GENERAL NOTES

- 1. THIS PLAN IS SUBMITTED TO FULFILL THE WOODLAND CONSERVATION REQUIREMENTS FOR DSP-22028. IF DSP-22028 EXPIRES, THEN THIS TOPZ ALSO EXPIRES AND IS NO LONGER VALID.
2. CUTTING OR CLEARING OF WOODLAND NOT IN CONFORMANCE WITH THIS PLAN OR WITHOUT THE EXPRESSED WRITTEN CONSENT OF THE PLANNING DIRECTOR OR DESIGNEE SHALL BE SUBJECT TO A \$900 PER SQUARE FOOT MITIGATION FEE.
3. A PRE-CONSTRUCTION MEETING IS REQUIRED PRIOR TO THE ISSUANCE OF GRADING PERMITS. THE DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION OR THE DEPARTMENT OF ENVIRONMENTAL RESOURCES AS APPROPRIATE SHALL BE CONTACTED PRIOR TO THE START OF ANY WORK ON THE SITE TO CONDUCT A PRE-CONSTRUCTION MEETING WHERE IMPLEMENTATION OF WOODLAND CONSERVATION MEASURES SHOWN ON THIS PLAN WILL BE DISCUSSED IN DETAIL.
4. THE DEVELOPER OR BUILDER OF THE LOTS OR PARCELS SHOWN ON THIS PLAN SHALL NOTIFY FUTURE BUYERS OF ANY WOODLAND CONSERVATION AREAS THROUGH THE PROVISION OF A COPY OF THIS PLAN AT TIME OF CONTRACT SIGNING. FUTURE PROPERTY OWNERS ARE ALSO SUBJECT TO THIS REQUIREMENT.
5. THE OWNERS OF THE PROPERTY SUBJECT TO THIS TREE CONSERVATION PLAN ARE SOLELY RESPONSIBLE FOR CONFORMANCE TO THE REQUIREMENTS CONTAINED HEREIN.
6. THE PROPERTY IS WITHIN THE DEVELOPING TIER AND IS ZONED R-E BUT CB-50-2021 DR2 ALLOWS THIS SITE TO BE DEVELOPED USING M-X-T STANDARDS.
7. THE PROPERTY IS ADJACENT TO ENTERPRISE ROAD AND ANNAPOLIS ROAD WHICH ARE HISTORIC ROADWAYS.
8. THE PROPERTY IS ADJACENT TO A ROADWAY CLASSIFIED AS ARTERIAL OR GREATER, ANNAPOLIS RD (A-23) AND ENTERPRISE RD(A-27)
9. THIS PLAN IS NOT GRANDFATHERED UNDER CB-27-2010, SECTION 25-117(G).

- TREE PRESERVATION AND RETENTION NOTES
11. ALL WOODLANDS DESIGNATED ON THIS PLAN FOR PRESERVATION ARE THE RESPONSIBILITY OF THE PROPERTY OWNER. THE WOODLAND AREAS SHALL REMAIN IN A NATURAL STATE. THIS INCLUDES THE CANOPY TREES AND UNDERSTORY VEGETATION. A REVISED TREE CONSERVATION PLAN IS REQUIRED PRIOR TO CLEARING WOODLAND AREAS THAT ARE NOT SPECIFICALLY IDENTIFIED TO BE CLEARED ON THE APPROVED TOPZ.
12. TREE AND WOODLAND CONSERVATION METHODS SUCH AS ROOT PRUNING SHALL BE CONDUCTED AS NOTED ON THIS PLAN.
13. THE LOCATION OF ALL TEMPORARY TREE PROTECTION FENCING (TPF) SHOWN ON THIS PLAN SHALL BE PLACED OR STAKED IN THE FIELD PRIOR TO THE PRE-CONSTRUCTION MEETING. UPON APPROVAL OF THE LOCATIONS BY THE COUNTY INSPECTOR, INSTALLATION OF THE TPF'S MAY BEGIN.
14. ALL TEMPORARY TREE PROTECTION FENCING REQUIRED BY THIS PLAN SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF CLEARING AND GRADING OF THE SITE AND SHALL REMAIN IN PLACE UNTIL THE BOND IS RELEASED FOR THE PROJECT. FAILURE TO INSTALL AND MAINTAIN TEMPORARY OR PERMANENT TREE PROTECTIVE DEVICES IS A VIOLATION OF THIS TOPZ.
15. WOODLAND PRESERVATION AREAS SHALL BE POSTED WITH SIGNAGE AS SHOWN ON THE PLANS AT THE SAME TIME AS THE TEMPORARY TPF INSTALLATION. THESE SIGNS MUST REMAIN IN PERPETUITY.

- REMOVAL OF HAZARDOUS TREES OR LIMBS BY DEVELOPERS OR BUILDERS
16. THE DEVELOPER AND/OR BUILDER IS RESPONSIBLE FOR THE COMPLETE PRESERVATION OF ALL FORESTED AREAS SHOWN ON THE APPROVED PLAN TO REMAIN UNDISTURBED. ONLY TREES OR PARTS THEREOF DESIGNATED BY THE COUNTY AS DEAD, DYING, OR HAZARDOUS MAY BE REMOVED.
17. A TREE IS CONSIDERED HAZARDOUS IF A CONDITION IS PRESENT WHICH LEADS A CERTIFIED ARBORIST OR LICENSED TREE EXPERT TO BELIEVE THAT THE TREE OR A PORTION OF THE TREE HAS A POTENTIAL TO FALL AND STRIKE A STRUCTURE, PARKING AREA, OR OTHER HIGH USE AREA AND RESULT IN PERSONAL INJURY OR PROPERTY DAMAGE.
18. DURING THE INITIAL STAGES OF CLEARING AND GRADING, IF HAZARDOUS TREES ARE PRESENT, OR TREES ARE PRESENT THAT ARE NOT HAZARDOUS BUT ARE LEANING INTO THE DISTURBED AREA, THE PERMITEE SHALL REMOVE SAID TREES USING A CHAIN SAW. CORRECTIVE MEASURES REQUIRING THE REMOVAL OF THE HAZARDOUS TREE OR PORTIONS THEREOF SHALL REQUIRE AUTHORIZATION BY THE COUNTY INSPECTOR. ONLY AFTER APPROVAL BY THE INSPECTOR MAY THE TREE BE CUT BY CHAINSAW TO NEAR THE EXISTING GROUND LEVEL. THE STUMP SHALL NOT BE REMOVED OR COVERED WITH SOIL, MULCH OR OTHER MATERIALS THAT WOULD INHIBIT SPROUTING.
19. IF A TREE OR TREES BECOME HAZARDOUS PRIOR TO BOND RELEASE FOR THE PROJECT, DUE TO STORM EVENTS OR OTHER SITUATIONS NOT RESULTING FROM AN ACTION BY THE PERMITEE, PRIOR TO REMOVAL, A CERTIFIED ARBORIST OR A LICENSED TREE EXPERT MUST CERTIFY THAT THE TREE OR PORTION OF THE TREE IN QUESTION HAS A POTENTIAL TO FALL AND STRIKE A STRUCTURE, PARKING AREA, OR OTHER HIGH USE AREA AND MAY RESULT IN PERSONAL INJURY OR PROPERTY DAMAGE. IF A TREE OR PORTIONS THEREOF ARE IN IMMINENT DANGER OF STRIKING A STRUCTURE, PARKING AREA, OR OTHER HIGH USE AREA, AND MAY RESULT IN PERSONAL INJURY OR PROPERTY DAMAGE THEN THE CERTIFICATION IS NOT REQUIRED AND THE PERMITEE SHALL TAKE CORRECTIVE ACTION IMMEDIATELY. THE CONDITION OF THE AREA SHALL BE FULLY DOCUMENTED THROUGH PHOTOGRAPHS PRIOR TO CORRECTIVE ACTION BEING TAKEN. THE PHOTOS SHALL BE SUBMITTED TO THE INSPECTOR FOR DOCUMENTATION OF THE DAMAGE.
IF CORRECTIVE PRUNING MAY ALLEVIATE A HAZARDOUS CONDITION, THE CERTIFIED ARBORIST OR A LICENSED TREE EXPERT MAY PROCEED WITHOUT FURTHER AUTHORIZATION. THE PRUNING MUST BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE APPROPRIATE ANSI A-300 PRUNING STANDARDS. THE CONDITION OF THE AREA SHALL BE FULLY DOCUMENTED THROUGH PHOTOGRAPHS PRIOR TO CORRECTIVE ACTION BEING TAKEN. THE PHOTOS SHALL BE SUBMITTED TO THE INSPECTOR FOR DOCUMENTATION OF THE DAMAGE.

DEBRIS FROM THE TREE REMOVAL OR PRUNING THAT OCCURS WITHIN 35 FEET OF THE WOODLAND EDGE MAY BE REMOVED AND PROPERLY DISPOSED OF BY RECYCLING, CHIPPING OR OTHER ACCEPTABLE METHODS. ALL DEBRIS THAT IS MORE THAN 36 FEET FROM THE WOODLAND EDGE SHALL BE CUT UP TO ALLOW CONTACT WITH THE GROUND, THUS ENCOURAGING DECOMPOSITION. THE SMALLER MATERIALS SHALL BE PLACED INTO BRUSH PILES THAT WILL SERVE AS WILDLIFE HABITAT.

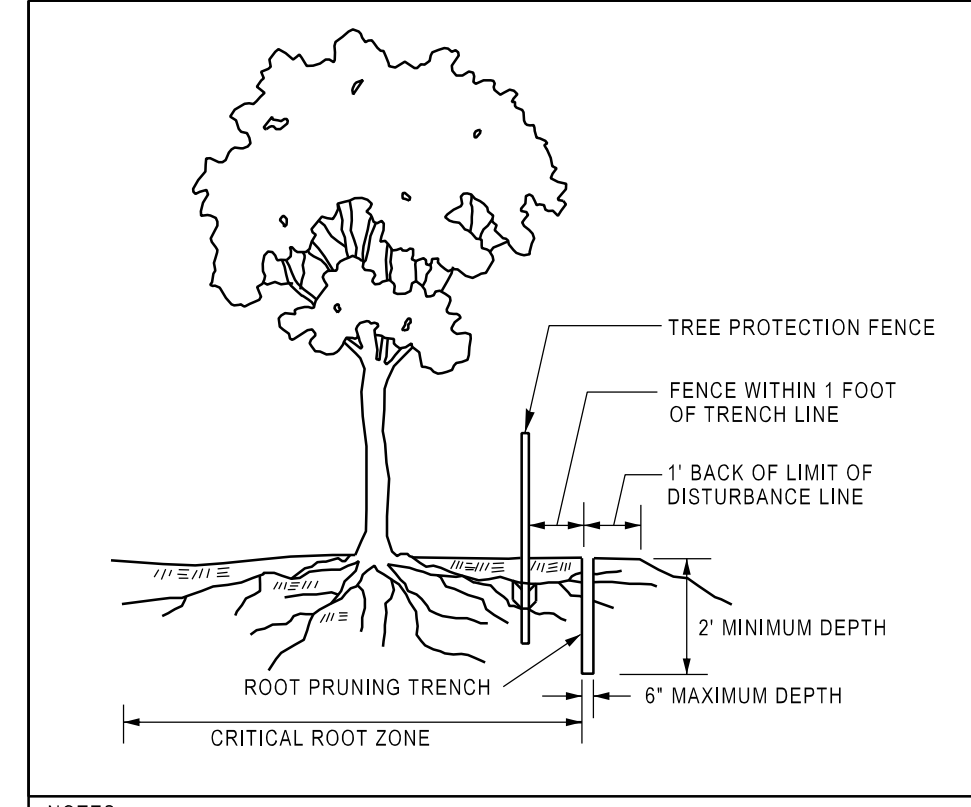
TREE WORK TO BE COMPLETED WITHIN A ROAD RIGHT-OF-WAY REQUIRES A PERMIT FROM THE MARYLAND DEPARTMENT OF NATURAL RESOURCES UNLESS THE TREE REMOVAL IS SHOWN WITHIN THE APPROVED LIMITS OF DISTURBANCE ON A TOPZ. THE WORK IS REQUIRED TO BE CONDUCTED BY A LICENSED TREE EXPERT.

20. ALL EXISTING DEBRIS SHALL BE REMOVED FROM THE WOODLAND PRESERVATION AREAS AND ALL PROPOSED POST DEVELOPMENT NOTES:
21. IF THE DEVELOPER OR BUILDER NO LONGER HAS AN INTEREST IN THE PROPERTY AND THE NEW OWNER DESIRES TO REMOVE A HAZARDOUS TREE OR PORTION THEREOF, THE NEW OWNER SHALL OBTAIN A WRITTEN STATEMENT FROM A CERTIFIED ARBORIST OR LICENSED TREE EXPERT IDENTIFYING THE HAZARDOUS CONDITION AND THE PROPOSED CORRECTIVE MEASURES PRIOR TO HAVING THE WORK CONDUCTED. AFTER PROPER DOCUMENTATION HAS BEEN COMPLETED PER THE HANDOUT "GUIDANCE FOR PRINCE GEORGE'S COUNTY PROPERTY OWNERS PRESERVATION OF WOODLAND CONSERVATION AREAS", THE ARBORIST OR TREE EXPERT MAY THEN REMOVE THE TREE. THE STUMP SHALL BE CUT AS CLOSE TO THE GROUND AS POSSIBLE AND LEFT IN PLACE. THE REMOVAL OR GRINDING OF THE STUMPS IN THE WOODLAND CONSERVATION AREA IS NOT PERMITTED.

IF A TREE OR PORTIONS THEREOF ARE IN IMMINENT DANGER OF STRIKING A STRUCTURE, PARKING AREA, OR OTHER HIGH USE AREA AND MAY RESULT IN PERSONAL INJURY OR PROPERTY DAMAGE THEN THE CERTIFICATION IS NOT REQUIRED AND THE PERMITEE SHALL TAKE CORRECTIVE ACTION IMMEDIATELY. THE CONDITION OF THE AREA SHALL BE FULLY DOCUMENTED THROUGH PHOTOGRAPHS PRIOR TO CORRECTIVE ACTION BEING TAKEN. THE PHOTOS SHALL BE SUBMITTED TO THE INSPECTOR FOR DOCUMENTATION OF THE DAMAGE.

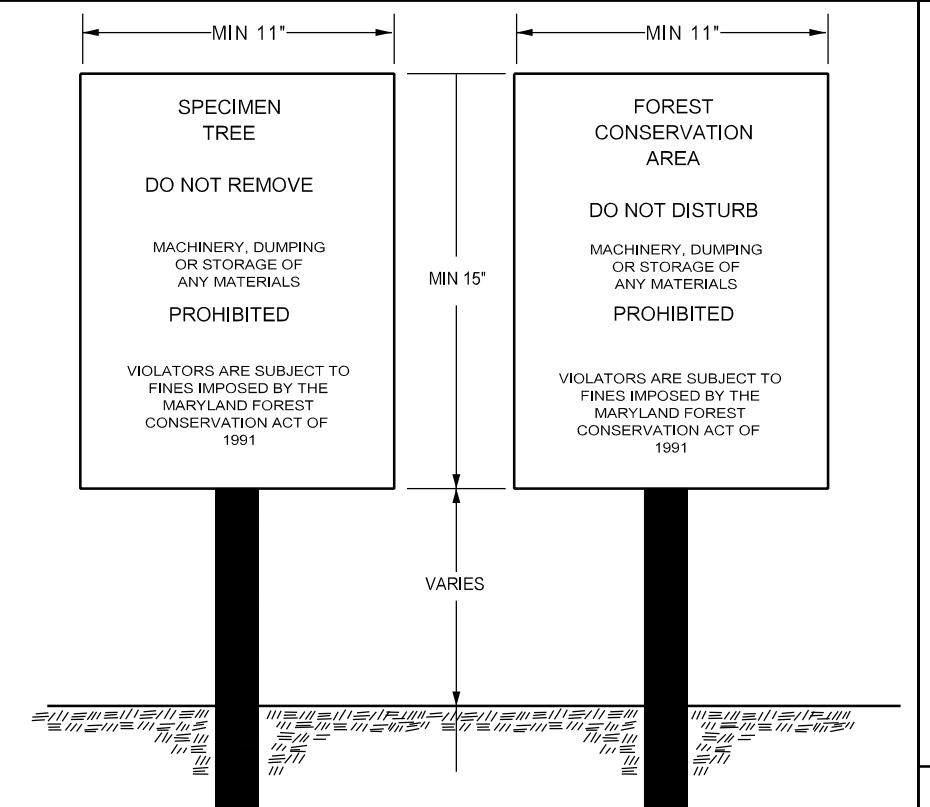
TREE WORK TO BE COMPLETED WITHIN A ROAD RIGHT-OF-WAY REQUIRES A PERMIT FROM THE MARYLAND DEPARTMENT OF NATURAL RESOURCES UNLESS THE TREE REMOVAL IS SHOWN WITHIN THE APPROVED LIMITS OF DISTURBANCE ON A TOPZ. THE WORK IS REQUIRED TO BE CONDUCTED BY A LICENSED TREE EXPERT.
22. THE REMOVAL OF NOXIOUS, INVASIVE, AND NON-NATIVE PLANT SPECIES FROM ANY WOODLAND PRESERVATION AREA SHALL BE DONE WITH THE USE OF HAND-HELD EQUIPMENT ONLY (PRUNERS OR A CHAIN SAW). THESE PLANTS MAY BE CUT NEAR THE GROUND AND MATERIAL LESS THAN TWO INCHES DIAMETER MAY BE REMOVED FROM THE AREA AND DISPOSED OF APPROPRIATELY. ALL MATERIAL FROM THESE NOXIOUS, INVASIVE, AND NON-NATIVE PLANTS GREATER THAN TWO (2) INCHES DIAMETER SHALL BE CUT TO ALLOW CONTACT WITH THE GROUND, THUS ENCOURAGING DECOMPOSITION.

23. THE USE OF BROADCAST SPRAYING OF HERBICIDES IS NOT PERMITTED. HOWEVER, THE USE OF HERBICIDES TO DISCOURAGE RE-SPROUTING OF INVASIVE, NOXIOUS, OR NON-NATIVE PLANTS IS PERMITTED IF DONE AS AN APPLICATION OF THE CHEMICAL DIRECTLY TO THE CUT STUMP IMMEDIATELY FOLLOWING CUTTING OF PLANT TOPS. THE USE OF ANY HERBICIDE SHALL BE DONE IN ACCORDANCE WITH THE LABEL INSTRUCTIONS.
24. THE USE OF CHAINSAWS IS EXTREMELY DANGEROUS AND SHOULD NOT BE CONDUCTED WITH POORLY MAINTAINED EQUIPMENT, WITHOUT SAFETY EQUIPMENT, OR BY INDIVIDUALS NOT TRAINED IN THE USE OF THIS EQUIPMENT FOR THE PRUNING AND/OR CUTTING OF TREES.



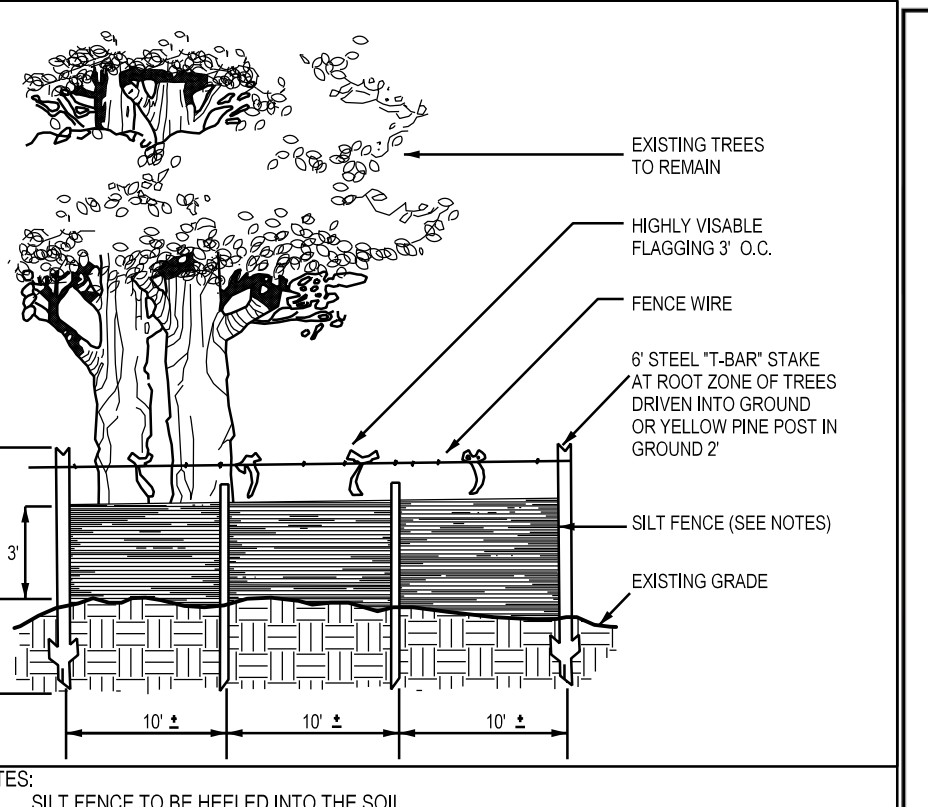
- NOTES:
1. RETENTION AREA TO BE ESTABLISHED AS PART OF THE FOREST CONSERVATION PLAN REVIEW PROCESS.
2. BOUNDARIES OF RETENTION AREA SHOULD BE STAKED, FLAGGED AND/OR FENCED PRIOR TO TRENCHING.
3. EXACT LOCATION OF TRENCH SHOULD BE IDENTIFIED.
4. TRENCH SHOULD BE IMMEDIATELY BACKFILLED WITH SOIL REMOVED OR OTHER HIGH ORGANIC SOIL.
5. ROOTS SHOULD BE CLEANLY CUT USING VIBRATORY KNIFE OR OTHER ACCEPTABLE EQUIPMENT.

ROOT PRUNING A-4, DET-10



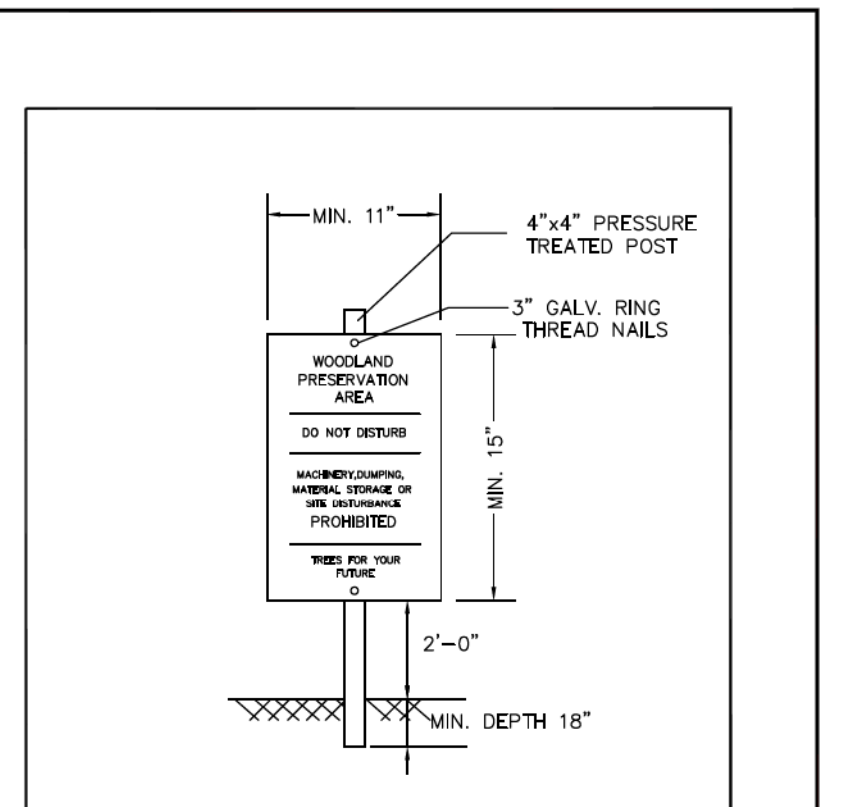
- NOTES:
1. BOTTOM OF SIGNS TO BE HIGHER THAN TOP OF TREE PROTECTION FENCE.
2. SIGNS TO BE PLACED APPROXIMATELY 50' APART. CONDITIONS ON SITE AFFECTING VISIBILITY MAY WARRANT PLACING SIGNS CLOSER OR FARTHER APART.
3. ATTACHMENT OF SIGNS TO TREES IS PROHIBITED.
4. TEMPORARY SIGNAGE SHOULD BE PROVIDED ON THE TEMPORARY TREE PROTECTION DEVICE(TTPD) WHEREVER FEASIBLE.

TEMPORARY CONSTRUCTION SIGNS NOT TO SCALE



- NOTES:
1. SILT FENCE TO BE HEDED INTO THE SOIL.
2. WIRE, SNOW FENCE, ETC FOR TREE PROTECTION ONLY.
3. BOUNDARIES OF RETENTION AREA WILL BE ESTABLISHED AS PART OF THE FOREST CONSERVATION PLAN REVIEW PROCESS.
4. BOUNDARIES OF RETENTION AREA SHOULD BE STAKED AND FLAGGED PRIOR TO INSTALLING DEVICE.
5. AVOID ROOT DAMAGE WHEN PLACING ANCHOR POSTS.
6. DEVICE SHOULD BE PROPERLY MAINTAINED THROUGHOUT CONSTRUCTION. PROTECTION SIGNS ARE ALSO REQUIRED.
7. LOCATE FENCE OUTSIDE THE CRITICAL ROOT ZONE.

TYPE 4 (TEMPORARY) TREE PROTECTION FENCE COMBINATION SILT FENCE & TREE PROTECTION A-4, DET-8



- NOTES:
1. ATTACHMENT OF SIGNS TO TREES IS PROHIBITED.
2. SIGNS SHOULD BE PROPERLY MAINTAINED.
3. AVOID INJURY TO ROOTS WHEN PLACING POSTS FOR THE SIGNS.
4. SIGNS SHOULD BE POSTED TO BE VISIBLE TO ALL CONSTRUCTION PERSONNEL FROM ALL DIRECTIONS.
5. SIGNS SHOULD BE INSTALLED AT LEAST THE AS TREE PROTECTION DEVICE.
6. LOCATE SIGNS APPROXIMATELY EVERY 50 FEET ALONG FENCING.
7. SIGNS SHOULD BE IN PLACE IMMEDIATELY FOLLOWING STAKE OUT OF L.O.D. AND REMAIN IN PLACE IN PERPETUITY.

WOODLAND PRESERVATION AREA SIGN

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Table with columns: NO., REVISIONS, BY, DATE. It is mostly empty.

MISS UTILITY NOTE

INFORMATION CONCERNING EXISTING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS. THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF ALL EXISTING UTILITIES AND UTILITY CROSSINGS BY EXCAVATING TEST PITS BY HAND, WELL IN ADVANCE OF THE START OF EXCAVATION. CONTACT MISS UTILITY AT 1-800-337-8777, 48 HOURS PRIOR TO THE START OF EXCAVATION. IF CLEARANCES ARE LESS THAN SHOWN ON THE PLAN OR THREE (3) INCHES, WHOEVER IS LESS CONTACT THE ENGINEER AND THE UTILITY COMPANY BEFORE PROCEEDING WITH CONSTRUCTION. CLEARANCES LESS THAN NOTED MAY REQUIRE REVISIONS TO THIS PLAN.

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FAX # 301-336-0885
MR. GREG McANNINCH

OWNER
IRMGARD H HAWKINS BY-PASS TRUST
12205 ANNAPOLIS ROAD
BOWIE, MD 20720



2/16/2023

PLAN VIEW
TYPE 2 TREE CONSERVATION PLAN-DSP-22028
FAIRWOOD SQUARE
ENTERPRISE & ANNAPOLIS ROAD
QUEEN ANNE (7th) ELECTION DISTRICT, PRINCE GEORGE'S COUNTY, MARYLAND

Table with project details: TAX MAP 45, F3; CURRENT ZONING CATEGORY RE; WSCC 202 SHEET 207NE11; PREVIOUS ZONING CATEGORY RE; SITE DATUM HORIZONTAL: NAD 83; VERTICAL: NGVD 29; DATE: 2/16/2023; DESIGNED: DUB; CHECKED: DUB; SHEET 2 OF 6; PROJECT NO. 3902-04-00.

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REVISIONS

NO.	REVISIONS	BY	DATE

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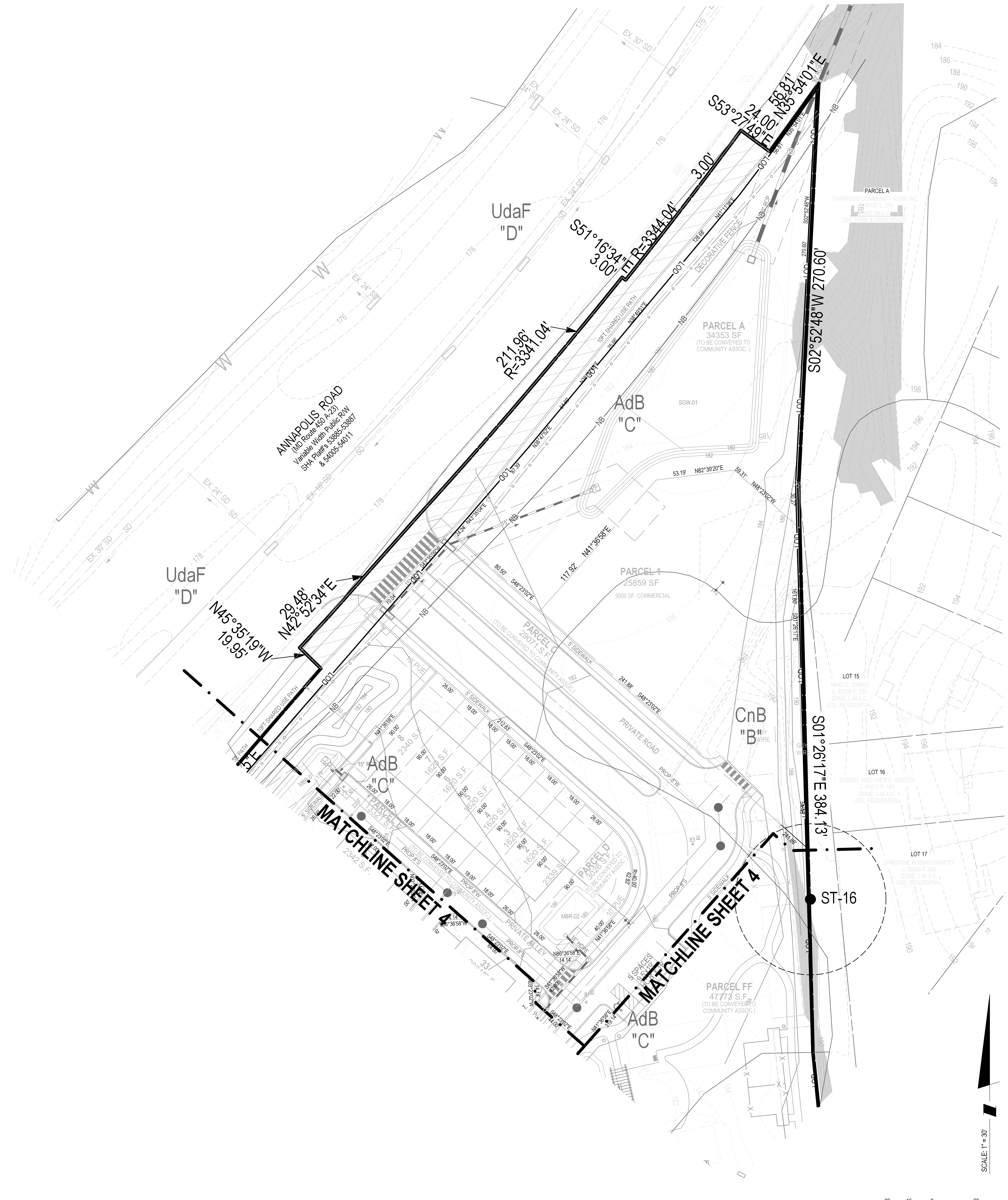
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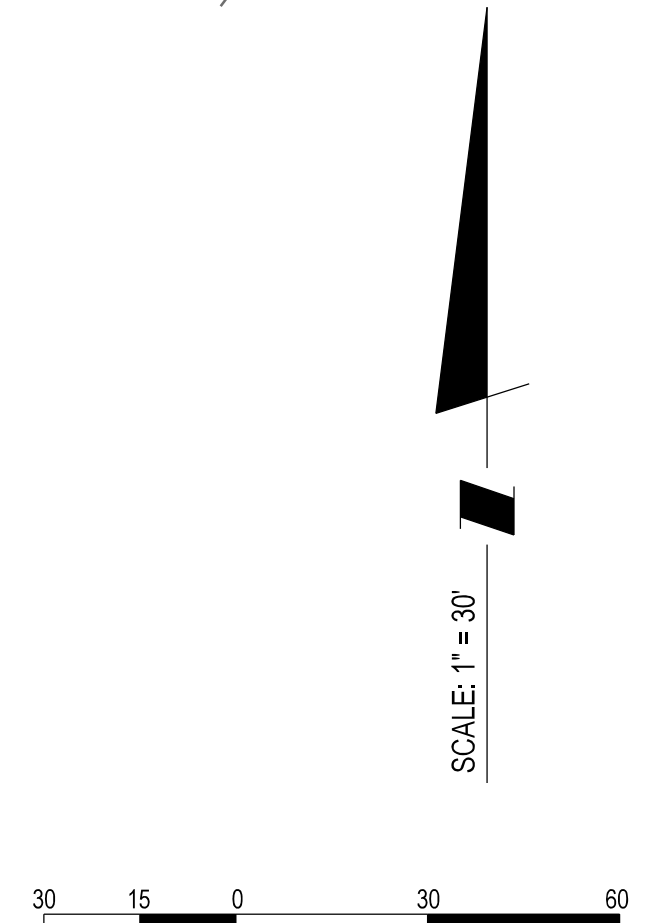
2/16/2023

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TYPE 2 TREE CONSERVATION PLAN-DSP-22028
FAIRWOOD SQUARE
ENTERPRISE & ANNAPOLIS ROAD
 QUEEN ANNE (7th) ELECTION DISTRICT, PRINCE GEORGES COUNTY, MARYLAND



LEGEND

	SITE BOUNDARY
	PROPOSED LOT LINE
	PROPOSED RIGHT-OF-WAY LINE
	ADJACENT PROPERTY LINE
	ROAD CENTERLINE
	EASEMENT
	EXISTING 10' CONTOUR
	EXISTING 2' CONTOUR
	WETLAND
	25' WETLAND BUFFER
	PROPOSED STORM DRAIN
	PROPOSED WATER
	PROPOSED SEWER
	SHRUBS & NON-WOODLAND VEGETATION
	EXISTING WOODLANDS
	SPECIMEN TREE
	SPECIMEN TREE REMOVED
	WOODLAND PRESERVATION AREA
	TREE PROTECTION FENCE WISIGN (TEMPORARY)
	STEEP SLOPES



TAX MAP 45, F3	CURRENT ZONING CATEGORY RE
WSHC 200' SHEET 20TH E11	PREVIOUS ZONING CATEGORY RE
SITE DATUM HORIZONTAL: NAD 83 VERTICAL: NGVD 29	DATE: 2/16/2023
DESIGNED: DUB	CHECKED: DUB
DATE: 2/16/2023	CAD STYL: DUB
DESIGNED: DUB	VERSION: V8 / NCS
CHECKED: DUB	
CAD STYL: DUB	
VERSION: V8 / NCS	
SHEET 3	
OF 6	
PROJECT NO. 3902-04-00	

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NO. REVISIONS BY DATE

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2/16/2023

PLAN VIEW
TYPE 2 TREE CONSERVATION PLAN-DSP-22028
FAIRWOOD SQUARE
ENTERPRISE & ANNAPOLIS ROAD
 QUEEN ANNE (7th) ELECTION DISTRICT, PRINCE GEORGES COUNTY, MARYLAND

TAX MAP 45, F3	CURRENT ZONING CATEGORY RE
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WS&C 200 SHEET 207NE11	PREVIOUS ZONING CATEGORY RE
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SITE DATUM HORIZONTAL: NAD 83 VERTICAL: NAVD 29	DATE: 2/16/2023
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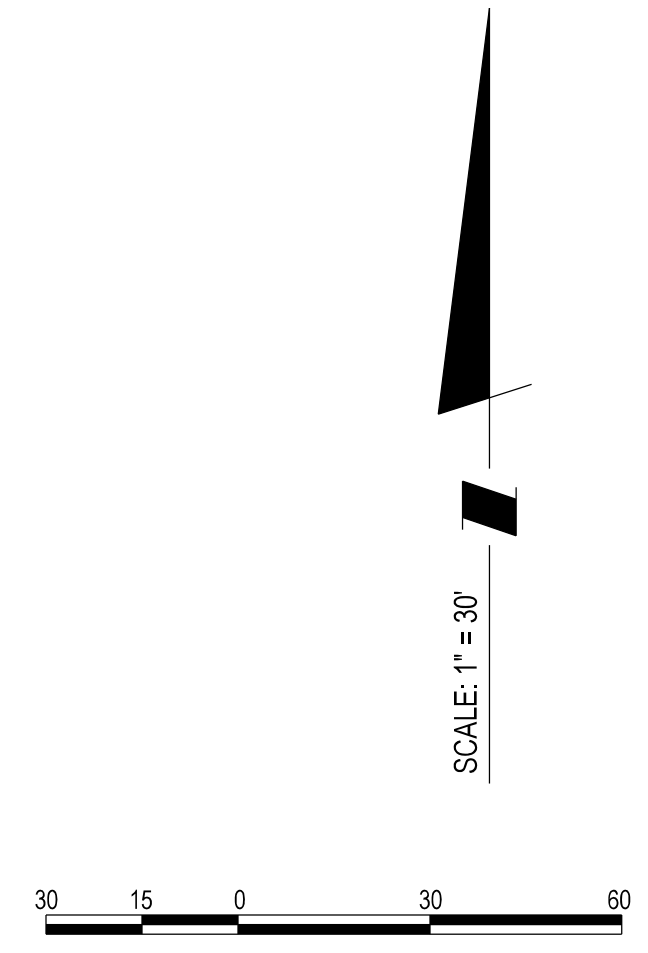
DESIGNED: DUB	CHECKED: DUB
DATE: 2/16/2023	DATE: 2/16/2023
1" = 30'	CAD STDS. VERSION: V8/NCS

SHEET 4	PROJECT NO. 3902-04-00
OF 6	

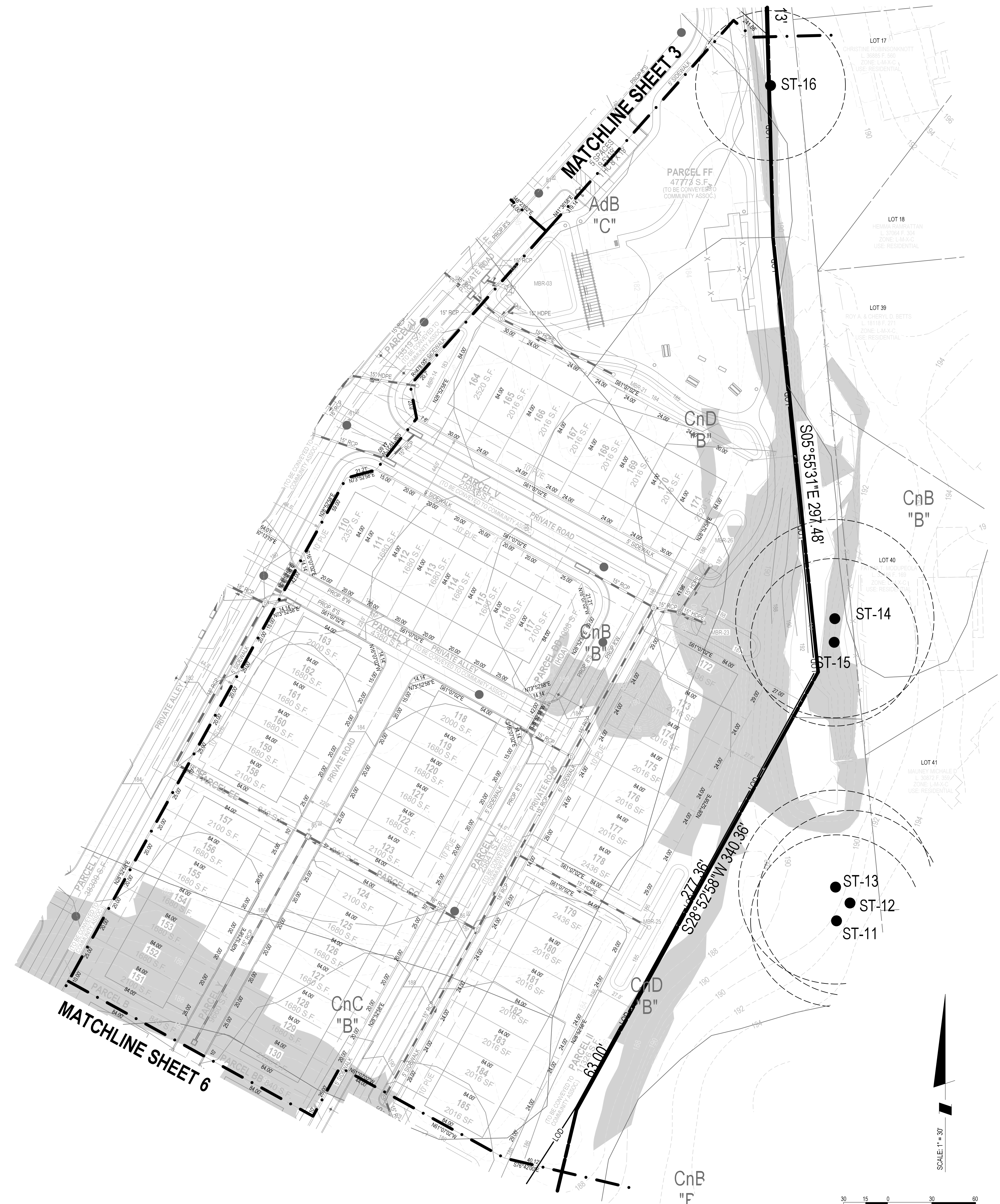
PROJECT NO. 3902-04-00



- LEGEND**
- SITE BOUNDARY
 - PROPOSED LOT LINE
 - PROPOSED RIGHT-OF-WAY LINE
 - ADJACENT PROPERTY LINE
 - ROAD CENTERLINE
 - EASEMENT
 - EXISTING 10' CONTOUR
 - EXISTING 2' CONTOUR
 - WETLAND
 - 25' WETLAND BUFFER
 - 15" RCP PROPOSED STORM DRAIN
 - PROPOSED WATER
 - PROPOSED SEWER
 - SHRUBS & NON-WOODLAND VEGETATION
 - EXISTING WOODLANDS
 - SPECIMEN TREE
 - SPECIMEN TREE REMOVED
 - WOODLAND PRESERVATION AREA
 - TREE PROTECTION FENCE WISJON (TEMPORARY)
 - STEEP SLOPES



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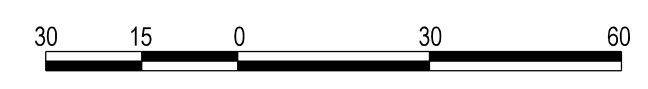


2/16/2023

- LEGEND**
- SITE BOUNDARY
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PLAN VIEW
TYPE 2 TREE CONSERVATION PLAN-DSP-22028
FAIRWOOD SQUARE
ENTERPRISE & ANNAPOLIS ROAD
 QUEEN ANNE (7th) ELECTION DISTRICT, PRINCE GEORGES COUNTY, MARYLAND

TAX MAP 45, F3	CURRENT ZONING CATEGORY RE
WS&C 200 SHEET 207NE11	PREVIOUS ZONING CATEGORY RE
SITE BATHY HORIZONTAL: NAD 83 VERTICAL: NGVD 29	DATE: 2/16/2023
DESIGNED: DUB CHECKED: DUB SHEET 5 OF 6 PROJECT NO. 3902-04-00	DATE: 2/16/2023 DESIGNED: DUB CHECKED: DUB CAD STDS. V8 / NCS



SCALE: 1" = 30'

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2/16/2023

PLAN VIEW
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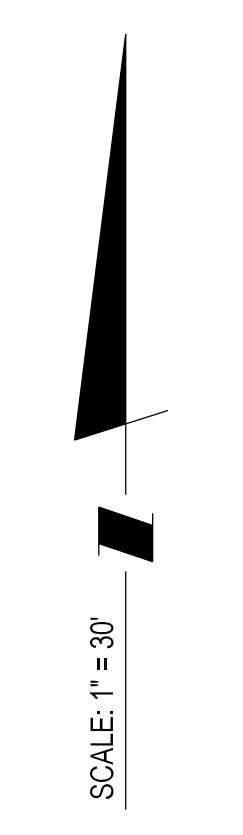
TAX MAP 45, F3	CURRENT ZONING CATEGORY RE
WS&C 200 SHEET 207NE11	PREVIOUS ZONING CATEGORY RE
SITE DATUM HORIZONTAL: NAD 83 VERTICAL: NAVD 28	DATE: 2/16/2023
DESIGNED: DUB	CHECKED: DUB
DATE: 2/16/2023	CAD STYL: DUB
VERSION: V8 / NCS	
PROJECT NO. 3902-04-00	

MATCHLINE SHEET 4

MATCHLINE SHEET 5



- LEGEND**
- SITE BOUNDARY
 - PROPOSED LOT LINE
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 - ADJACENT PROPERTY LINE
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Transmittal

To: M-NCPPC	Date: February 16, 2023
14741 Governor Oden Bowie Drive	Subject: Fairwood Square
Upper Marlboro, Md 20772	DSP-22028
	for SDRC comments
Attn: Application Section	Project #: 39020400

The following items are transmitted: Herewith Separate Cover Via Messenger Overnight

Copies	Pages	Description
1	6	TCPII
1	6	DSP
1	6	Landscape Plan
1	2	Recreation Plan
1	65	Architectural Plan
1	1	Fire Access Exhibit
1	1	Pedestrian Bikeway Exhibit
1	10	Noise Study

The above items are submitted: At your request For your approval For your review For your action For your files For your information

General Remarks:

Copies to:

By: Young Roh

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GENERAL NOTES

1. THIS PLAN IS SUBMITTED TO FULFILL THE WOODLAND CONSERVATION REQUIREMENTS FOR DSP-22028. IF DSP 22028 EXPIRES, THEN THIS TOPZ ALSO EXPIRES AND IS NO LONGER VALID.
2. CUTTING OR CLEARING OF WOODLAND NOT IN CONFORMANCE WITH THIS PLAN OR WITHOUT THE EXPRESSED WRITTEN CONSENT OF THE PLANNING DIRECTOR OR DESIGNEE SHALL BE SUBJECT TO A \$900 PER SQUARE FOOT MITIGATION FEE.
3. A PRE-CONSTRUCTION MEETING IS REQUIRED PRIOR TO THE ISSUANCE OF GRADING PERMITS. THE DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION OR THE DEPARTMENT OF ENVIRONMENTAL RESOURCES AS APPROPRIATE SHALL BE CONTACTED PRIOR TO THE START OF ANY WORK ON THE SITE TO CONDUCT A PRE-CONSTRUCTION MEETING WHERE IMPLEMENTATION OF WOODLAND CONSERVATION MEASURES SHOWN ON THIS PLAN WILL BE DISCUSSED IN DETAIL.
4. THE DEVELOPER OR BUILDER OF THE LOTS OR PARCELS SHOWN ON THIS PLAN SHALL NOTIFY FUTURE BUYERS OF ANY WOODLAND CONSERVATION AREAS THROUGH THE PROVISION OF A COPY OF THIS PLAN AT TIME OF CONTRACT SIGNING. FUTURE PROPERTY OWNERS ARE ALSO SUBJECT TO THIS REQUIREMENT.
5. THE OWNERS OF THE PROPERTY SUBJECT TO THIS TREE CONSERVATION PLAN ARE SOLELY RESPONSIBLE FOR CONFORMANCE TO THE REQUIREMENTS CONTAINED HEREIN.
6. THE PROPERTY IS WITHIN THE DEVELOPING TIER AND IS ZONED R-E BUT CB-50-2021 DR2 ALLOWS THIS SITE TO BE DEVELOPED USING M-X-T STANDARDS.
7. THE PROPERTY IS ADJACENT TO ENTERPRISE ROAD AND ANNAPOLIS ROAD WHICH ARE HISTORIC ROADWAYS.
8. THE PROPERTY IS ADJACENT TO A ROADWAY CLASSIFIED AS ARTERIAL OR GREATER, ANNAPOLIS RD (A-23) AND ENTERPRISE RD(A-27).
9. THIS PLAN IS NOT GRANDFATHERED UNDER CB-27-2010, SECTION 25-117(G).

TREE PRESERVATION AND RETENTION NOTES

11. ALL WOODLANDS DESIGNATED ON THIS PLAN FOR PRESERVATION ARE THE RESPONSIBILITY OF THE PROPERTY OWNER. THE WOODLAND AREAS SHALL REMAIN IN A NATURAL STATE. THIS INCLUDES THE CANOPY TREES AND UNDERSTORY VEGETATION. A REVISED TREE CONSERVATION PLAN IS REQUIRED PRIOR TO CLEARING WOODLAND AREAS THAT ARE NOT SPECIFICALLY IDENTIFIED TO BE CLEARED ON THE APPROVED TOPZ.
12. TREE AND WOODLAND CONSERVATION METHODS SUCH AS ROOT PRUNING SHALL BE CONDUCTED AS NOTED ON THIS PLAN.
13. THE LOCATION OF ALL TEMPORARY TREE PROTECTION FENCING (TPFS) SHOWN ON THIS PLAN SHALL BE PLACED OR STAKED IN THE FIELD PRIOR TO THE PRE-CONSTRUCTION MEETING. UPON APPROVAL, OR LOCATIONS BY THE COUNTY INSPECTOR, INSTALLATION OF THE TPFS MAY BEGIN.
14. ALL TEMPORARY TREE PROTECTION FENCING REQUIRED BY THIS PLAN SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF CLEARING AND GRADING OF THE SITE AND SHALL REMAIN IN PLACE UNTIL THE BOND IS RELEASED FOR THE PROJECT. FAILURE TO INSTALL AND MAINTAIN TEMPORARY OR PERMANENT TREE PROTECTIVE DEVICES IS A VIOLATION OF THIS TOPZ.
15. WOODLAND PRESERVATION AREAS SHALL BE POSTED WITH SIGNAGE AS SHOWN ON THE PLANS AT THE SAME TIME AS THE TEMPORARY TPFI INSTALLATION. THESE SIGNS MUST REMAIN IN PERPETUITY.

REMOVAL OF HAZARDOUS TREES OR LIMBS BY DEVELOPERS OR BUILDERS

16. THE DEVELOPER AND/OR BUILDER IS RESPONSIBLE FOR THE COMPLETE PRESERVATION OF ALL FORESTED AREAS SHOWN ON THE APPROVED PLAN TO REMAIN UNDISTURBED. ONLY TREES OR PARTS THEREOF DESIGNATED BY THE COUNTY AS DEAD, DYING, OR HAZARDOUS MAY BE REMOVED.
17. A TREE IS CONSIDERED HAZARDOUS IF A CONDITION IS PRESENT WHICH LEADS A CERTIFIED ARBORIST OR LICENSED TREE EXPERT TO BELIEVE THAT THE TREE OR A PORTION OF THE TREE HAS A POTENTIAL TO FALL AND STRIKE A STRUCTURE, PARKING AREA, OR OTHER HIGH USE AREA AND RESULT IN PERSONAL INJURY OR PROPERTY DAMAGE.
18. DURING THE INITIAL STAGES OF CLEARING AND GRADING, IF HAZARDOUS TREES ARE PRESENT, OR TREES ARE PRESENT THAT ARE NOT HAZARDOUS BUT ARE LEANING INTO THE DISTURBED AREA, THE PERMITEE SHALL REMOVE SAID TREES USING A CHAIN SAW. CORRECTIVE MEASURES REQUIRING THE REMOVAL OF THE HAZARDOUS TREE OR PORTIONS THEREOF SHALL REQUIRE AUTHORIZATION BY THE COUNTY INSPECTOR. ONLY AFTER APPROVAL BY THE INSPECTOR MAY THE TREE BE CUT BY CHAINSAW TO NEAR THE EXISTING GROUND LEVEL. THE STUMP SHALL NOT BE REMOVED OR COVERED WITH SOIL, MULCH OR OTHER MATERIALS THAT WOULD INHIBIT SPROUTING.
19. IF A TREE OR TREES BECOME HAZARDOUS PRIOR TO BOND RELEASE FOR THE PROJECT, DUE TO STORM EVENTS OR OTHER SITUATIONS NOT RESULTING FROM AN ACTION BY THE PERMITEE, PRIOR TO REMOVAL, A CERTIFIED ARBORIST OR A LICENSED TREE EXPERT MUST CERTIFY THAT THE TREE OR PORTION OF THE TREE IN QUESTION HAS A POTENTIAL TO FALL AND STRIKE A STRUCTURE, PARKING AREA, OR OTHER HIGH USE AREA AND MAY RESULT IN PERSONAL INJURY OR PROPERTY DAMAGE. IF A TREE OR PORTIONS THEREOF ARE IN IMMINENT DANGER OF STRIKING A STRUCTURE, PARKING AREA, OR OTHER HIGH USE AREA, AND MAY RESULT IN PERSONAL INJURY OR PROPERTY DAMAGE THEN THE CERTIFICATION IS NOT REQUIRED AND THE PERMITEE SHALL TAKE CORRECTIVE ACTION IMMEDIATELY. THE CONDITION OF THE AREA SHALL BE FULLY DOCUMENTED THROUGH PHOTOGRAPHS PRIOR TO CORRECTIVE ACTION BEING TAKEN. THE PHOTOS SHALL BE SUBMITTED TO THE INSPECTOR FOR DOCUMENTATION OF THE DAMAGE.

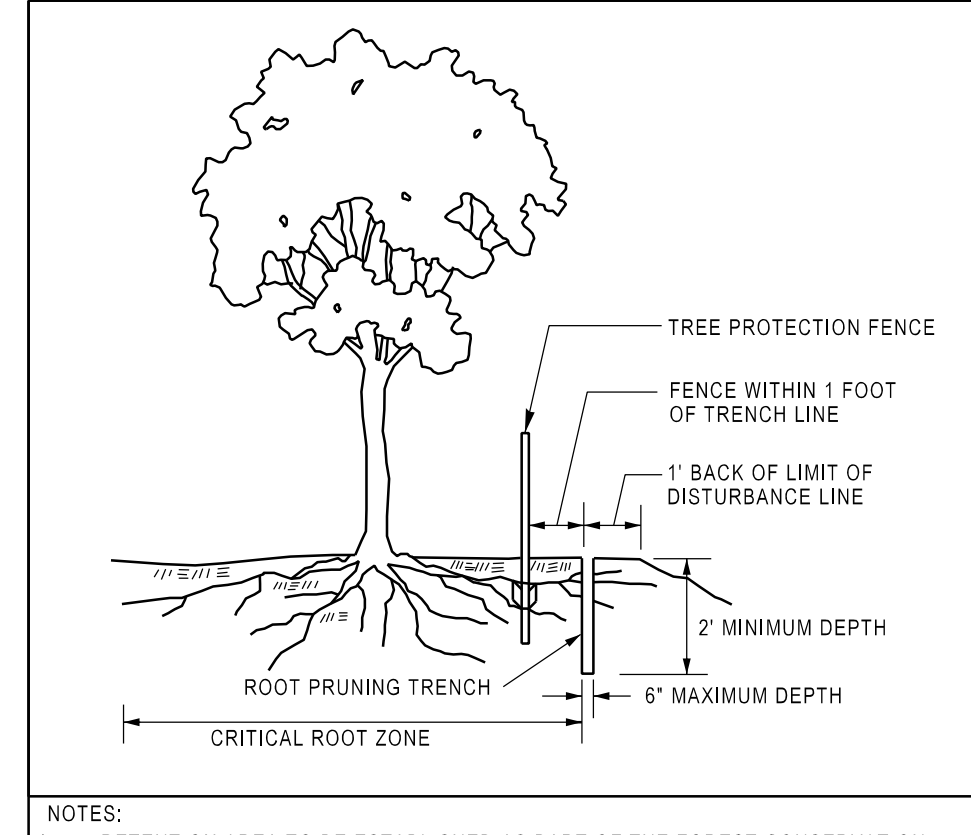
IF CORRECTIVE PRUNING MAY ALLEVIATE A HAZARDOUS CONDITION, THE CERTIFIED ARBORIST OR A LICENSED TREE EXPERT MAY PROCEED WITHOUT FURTHER AUTHORIZATION. THE PRUNING MUST BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE APPROPRIATE ANSI A-300 PRUNING STANDARDS. THE CONDITION OF THE AREA SHALL BE FULLY DOCUMENTED THROUGH PHOTOGRAPHS PRIOR TO CORRECTIVE ACTION BEING TAKEN. THE PHOTOS SHALL BE SUBMITTED TO THE INSPECTOR FOR DOCUMENTATION OF THE DAMAGE.

DEBRIS FROM THE TREE REMOVAL OR PRUNING THAT OCCURS WITHIN 35 FEET OF THE WOODLAND EDGE MAY BE REMOVED AND PROPERLY DISPOSED OF BY RECYCLING, CHIPPING OR OTHER ACCEPTABLE METHODS. ALL DEBRIS THAT IS MORE THAN 36 FEET FROM THE WOODLAND EDGE SHALL BE CUT UP TO ALLOW CONTACT WITH THE GROUND, THUS ENCOURAGING DECOMPOSITION. THE SMALLER MATERIALS SHALL BE PLACED INTO BRUSH PILES THAT WILL SERVE AS WILDLIFE HABITAT.

TREE WORK TO BE COMPLETED WITHIN A ROAD RIGHT-OF-WAY REQUIRES A PERMIT FROM THE MARYLAND DEPARTMENT OF NATURAL RESOURCES UNLESS THE TREE REMOVAL IS SHOWN WITHIN THE APPROVED LIMITS OF DISTURBANCE ON A TOPZ. THE WORK IS REQUIRED TO BE CONDUCTED BY A LICENSED TREE EXPERT.

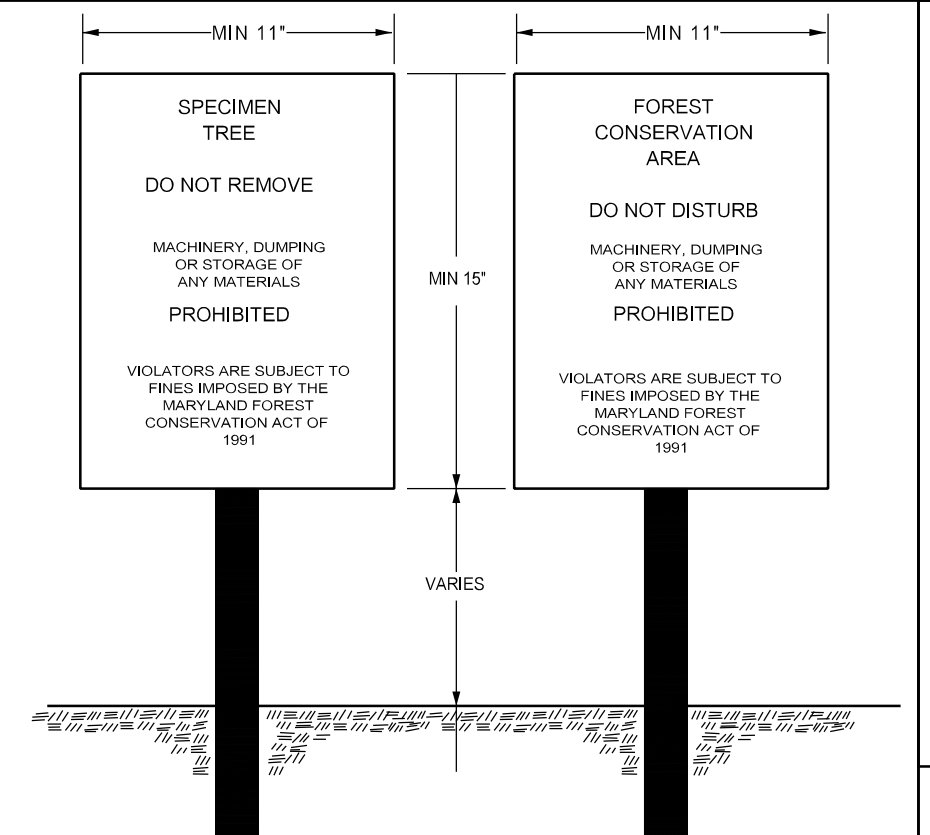
20. ALL EXISTING DEBRIS SHALL BE REMOVED FROM THE WOODLAND PRESERVATION AREAS AND ALL PROPOSED POST DEVELOPMENT NOTES:

21. IF THE DEVELOPER OR BUILDER NO LONGER HAS AN INTEREST IN THE PROPERTY AND THE NEW OWNER DESIRES TO REMOVE A HAZARDOUS TREE OR PORTION THEREOF, THE NEW OWNER SHALL OBTAIN A WRITTEN STATEMENT FROM A CERTIFIED ARBORIST OR LICENSED TREE EXPERT IDENTIFYING THE HAZARDOUS CONDITION AND THE PROPOSED CORRECTIVE MEASURES PRIOR TO HAVING THE WORK CONDUCTED. AFTER PROPER DOCUMENTATION HAS BEEN COMPLETED PER THE HANDOUT "GUIDANCE FOR PRINCE GEORGE'S COUNTY PROPERTY OWNERS' PRESERVATION OF WOODLAND CONSERVATION AREAS", THE ARBORIST OR TREE EXPERT MAY THEN REMOVE THE TREE. THE STUMP SHALL BE CUT AS CLOSE TO THE GROUND AS POSSIBLE AND LEFT IN PLACE. THE REMOVAL OR GRINDING OF THE STUMPS IN THE WOODLAND CONSERVATION AREA IS NOT PERMITTED.
- IF A TREE OR PORTIONS THEREOF ARE IN IMMINENT DANGER OF STRIKING A STRUCTURE, PARKING AREA, OR OTHER HIGH USE AREA AND MAY RESULT IN PERSONAL INJURY OR PROPERTY DAMAGE THEN THE CERTIFICATION IS NOT REQUIRED AND THE PERMITEE SHALL TAKE CORRECTIVE ACTION IMMEDIATELY. THE CONDITION OF THE AREA SHALL BE FULLY DOCUMENTED THROUGH PHOTOGRAPHS PRIOR TO CORRECTIVE ACTION BEING TAKEN. THE PHOTOS SHALL BE SUBMITTED TO THE INSPECTOR FOR DOCUMENTATION OF THE DAMAGE.
- TREE WORK TO BE COMPLETED WITHIN A ROAD RIGHT-OF-WAY REQUIRES A PERMIT FROM THE MARYLAND DEPARTMENT OF NATURAL RESOURCES UNLESS THE TREE REMOVAL IS SHOWN WITHIN THE APPROVED LIMITS OF DISTURBANCE ON A TOPZ. THE WORK IS REQUIRED TO BE CONDUCTED BY A LICENSED TREE EXPERT.
22. THE REMOVAL OF NOXIOUS, INVASIVE, AND NON-NATIVE PLANT SPECIES FROM ANY WOODLAND PRESERVATION AREA SHALL BE DONE WITH THE USE OF HAND-HELD EQUIPMENT ONLY (PRUNERS OR A CHAIN SAW). THESE PLANTS MAY BE CUT NEAR THE GROUND AND MATERIAL LESS THAN TWO INCHES DIAMETER MAY BE REMOVED FROM THE AREA AND DISPOSED OF APPROPRIATELY. ALL MATERIAL FROM THESE NOXIOUS, INVASIVE, AND NON-NATIVE PLANTS GREATER THAN TWO (2) INCHES DIAMETER SHALL BE CUT TO ALLOW CONTACT WITH THE GROUND, THUS ENCOURAGING DECOMPOSITION.
23. THE USE OF BROADCAST SPRAYING OF HERBICIDES IS NOT PERMITTED. HOWEVER, THE USE OF HERBICIDES TO DISCOURAGE RE-SPROUTING OF INVASIVE, NOXIOUS, OR NON-NATIVE PLANTS IS PERMITTED IF DONE AS AN APPLICATION OF THE CHEMICAL DIRECTLY TO THE CUT STUMP IMMEDIATELY FOLLOWING CUTTING OF PLANT TOPS. THE USE OF ANY HERBICIDE SHALL BE DONE IN ACCORDANCE WITH THE LABEL INSTRUCTIONS.
24. THE USE OF CHAINSAWS IS EXTREMELY DANGEROUS AND SHOULD NOT BE CONDUCTED WITH POORLY MAINTAINED EQUIPMENT, WITHOUT SAFETY EQUIPMENT, OR BY INDIVIDUALS NOT TRAINED IN THE USE OF THIS EQUIPMENT FOR THE PRUNING AND/OR CUTTING OF TREES.



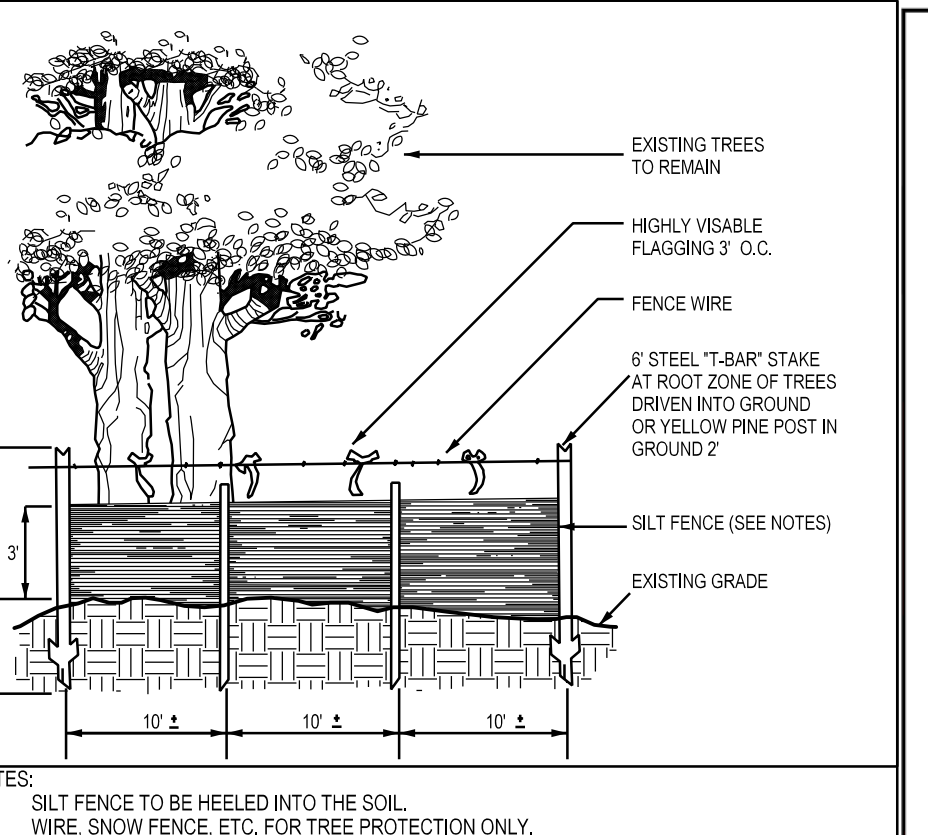
- NOTES:
1. RETENTION AREA TO BE ESTABLISHED AS PART OF THE FOREST CONSERVATION PLAN REVIEW PROCESS.
 2. BOUNDARIES OF RETENTION AREA SHOULD BE STAKED, FLAGGED AND/OR FENCED PRIOR TO TRENCHING.
 3. EXACT LOCATION OF TRENCH SHOULD BE IDENTIFIED.
 4. TRENCH SHOULD BE IMMEDIATELY BACKFILLED WITH SOIL REMOVED OR OTHER HIGH ORGANIC SOIL.
 5. ROOTS SHOULD BE CLEANLY CUT USING VIBRATORY KNIFE OR OTHER ACCEPTABLE EQUIPMENT.

ROOT PRUNING A-4, DET-10



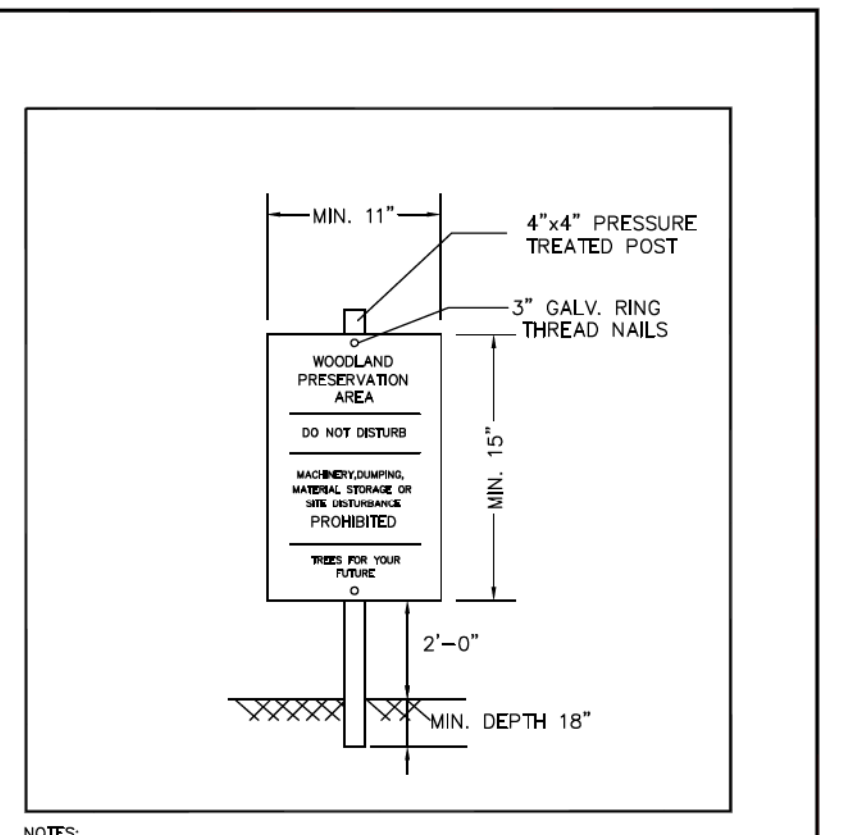
- NOTES:
1. BOTTOM OF SIGNS TO BE HIGHER THAN TOP OF TREE PROTECTION FENCE.
 2. SIGNS TO BE PLACED APPROXIMATELY 50' APART. CONDITIONS ON SITE AFFECTING VISIBILITY MAY WARRANT PLACING SIGNS CLOSER OR FARTHER APART.
 3. ATTACHMENT OF SIGNS TO TREES IS PROHIBITED.
 4. TEMPORARY SIGNAGE SHOULD BE PROVIDED ON THE TEMPORARY TREE PROTECTION DEVICE(TPFD) WHEREVER FEASIBLE.

TEMPORARY CONSTRUCTION SIGNS NOT TO SCALE



- NOTES:
1. SILT FENCE TO BE HEDED INTO THE SOIL.
 2. WIRE, SNOW FENCE, ETC FOR TREE PROTECTION ONLY.
 3. BOUNDARIES OF RETENTION AREA WILL BE ESTABLISHED AS PART OF THE FOREST CONSERVATION PLAN REVIEW PROCESS.
 4. BOUNDARIES OF RETENTION AREA SHOULD BE STAKED AND FLAGGED PRIOR TO INSTALLING DEVICE.
 5. AVOID ROOT DAMAGE WHEN PLACING ANCHOR POSTS.
 6. DEVICE SHOULD BE PROPERLY MAINTAINED THROUGHOUT CONSTRUCTION.
 7. PROTECTION SIGNS ARE ALSO REQUIRED.
 8. LOCATE FENCE OUTSIDE THE CRITICAL ROOT ZONE.

TYPE 4 (TEMPORARY) TREE PROTECTION FENCE COMBINATION SILT FENCE & TREE PROTECTION A-4, DET-8



- NOTES:
1. ATTACHMENT OF SIGNS TO TREES IS PROHIBITED.
 2. SIGNS SHOULD BE PROPERLY MAINTAINED.
 3. AVOID INJURY TO ROOTS WHEN PLACING POSTS FOR THE SIGNS.
 4. SIGNS SHOULD BE POSTED TO BE VISIBLE TO ALL CONSTRUCTION PERSONNEL FROM ALL DIRECTIONS.
 5. SIGNS SHOULD BE INSTALLED AT LEAST THE AS TREE PROTECTION DEVICE.
 6. LOCATE SIGNS APPROXIMATELY EVERY 50 FEET ALONG FENCING.
 7. SIGNS SHOULD BE IN PLACE IMMEDIATELY FOLLOWING STAKE OUT OF L.O.D. AND REMAIN IN PLACE IN PERPETUITY.

WOODLAND PRESERVATION AREA SIGN

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 304 HARRY S. TRUMAN PARKWAY
 SUITE M
 ANNAPOLIS, MD 21401
 PHONE # 443-837-3110
 FAX # 301-336-0885
 MR. GREG McANNINCH

OWNER
 IRMGARD H HAWKINS BY-PASS TRUST
 12205 ANNAPOLIS ROAD
 BOWIE, MD 20720



2/16/2023

PLAN VIEW
TYPE 2 TREE CONSERVATION PLAN-DSP-22028
FAIRWOOD SQUARE
ENTERPRISE & ANNAPOLIS ROAD
 QUEEN ANNE (7th) ELECTION DISTRICT, PRINCE GEORGE'S COUNTY, MARYLAND

TAX MAP 45, F3	CURRENT ZONING CATEGORY RE
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WSGC 202 SHEET 207NE11	PREVIOUS ZONING CATEGORY RE
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SITE DATUM HORIZONTAL: NAD 83 VERTICAL: NGVD 29	DATE: 2/16/2023
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DESIGNED: DUB	CHECKED: DUB
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SHEET 2	CAD STYL: V8 / NCS
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PROJECT NO. 3902-04-00	
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NO. REVISIONS BY DATE

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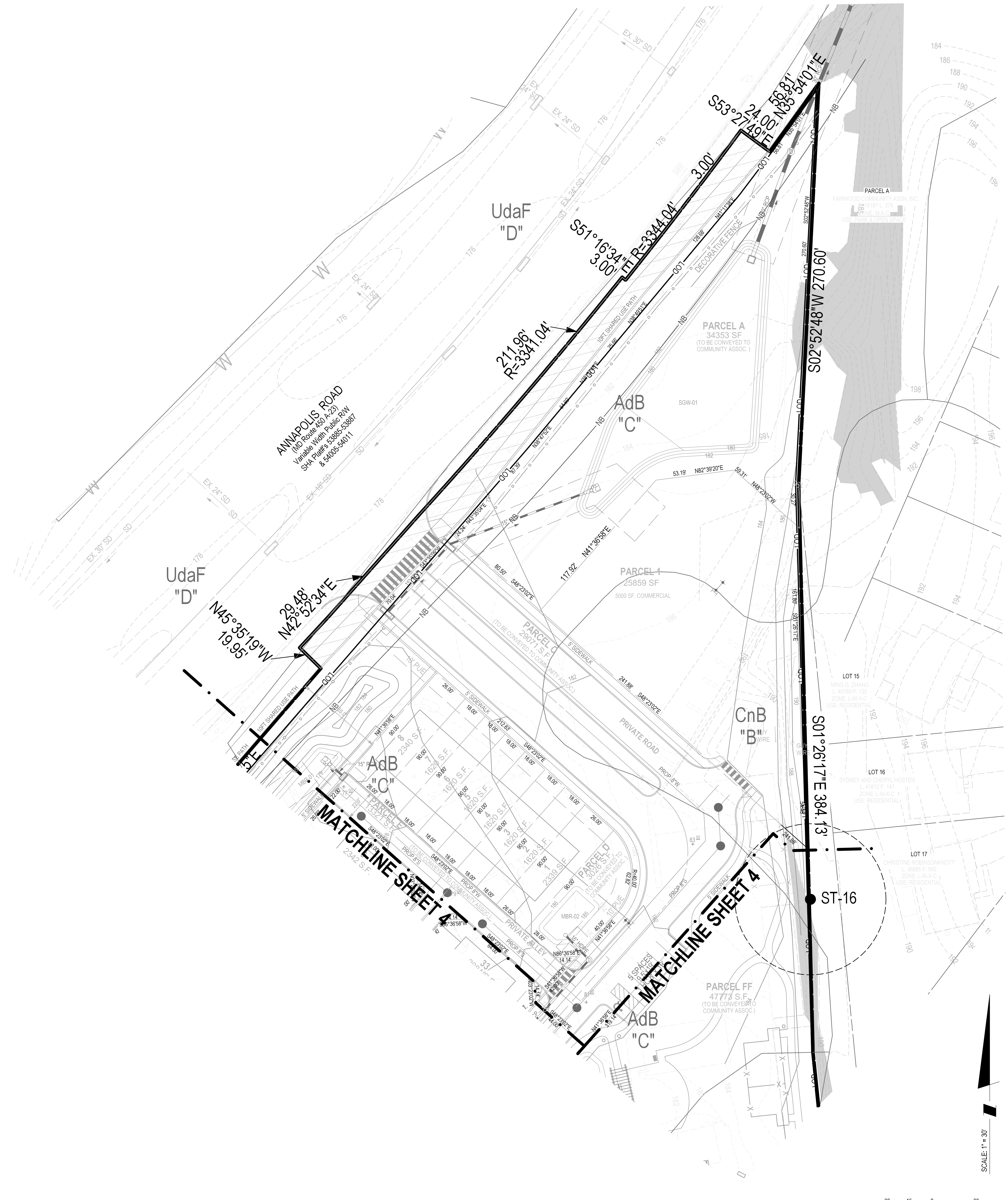
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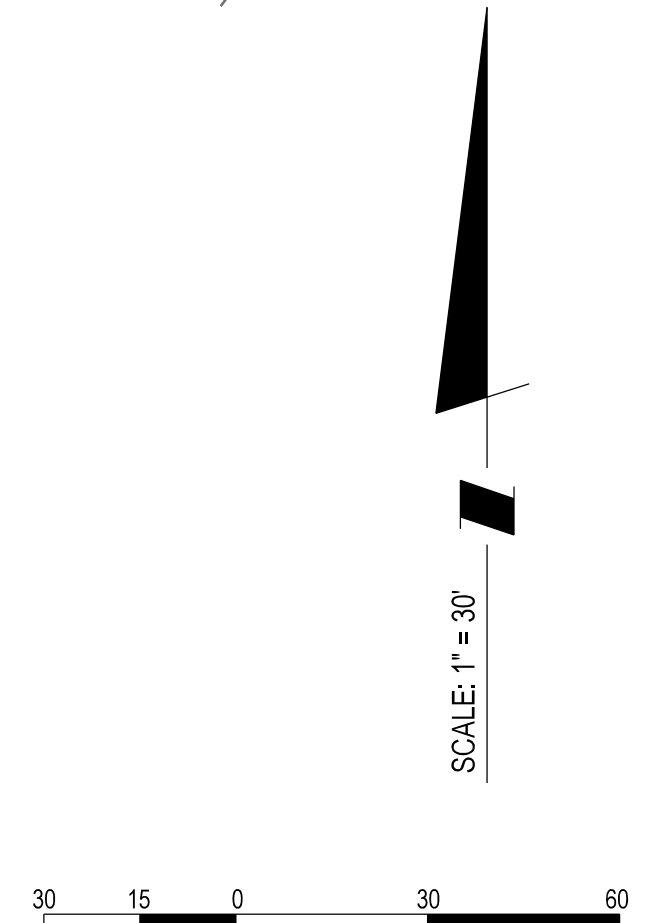


2/16/2023

PLAN VIEW
TYPE 2 TREE CONSERVATION PLAN-DSP-22028
FAIRWOOD SQUARE
ENTERPRISE & ANNAPOLIS ROAD
 QUEEN ANNE (7th) ELECTION DISTRICT, PRINCE GEORGES COUNTY, MARYLAND



- LEGEND**
- SITE BOUNDARY
 - PROPOSED LOT LINE
 - PROPOSED RIGHT-OF-WAY LINE
 - ADJACENT PROPERTY LINE
 - ROAD CENTERLINE
 - EASEMENT
 - EXISTING 10' CONTOUR
 - EXISTING 2' CONTOUR
 - WETLAND
 - 25' WETLAND BUFFER
 - 15" RCP PROPOSED STORM DRAIN
 - PROPOSED WATER
 - PROPOSED SEWER
 - SHRUBS & NON-WOODLAND VEGETATION
 - EXISTING WOODLANDS
 - SPECIMEN TREE
 - SPECIMEN TREE REMOVED
 - WOODLAND PRESERVATION AREA
 - TREE PROTECTION FENCE WISIGN (TEMPORARY)
 - STEEP SLOPES



TAX MAP 45, F3	CURRENT ZONING CATEGORY RE
WSGC 200 SHEET 20TH E11	PREVIOUS ZONING CATEGORY RE
SITE DATUM HORIZONTAL: NAD 83 VERTICAL: NGVD 29	DATE: 2/16/2023
DESIGNED: DUB	CHECKED: DUB
DATE: 2/16/2023	VERSION: V8 / NCS
SHEET 3	OF 6
PROJECT NO. 3902-04-00	

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2/16/2023

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TYPE 2 TREE CONSERVATION PLAN-DSP-22028
FAIRWOOD SQUARE
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 QUEEN ANNE (7th) ELECTION DISTRICT, PRINCE GEORGES COUNTY, MARYLAND

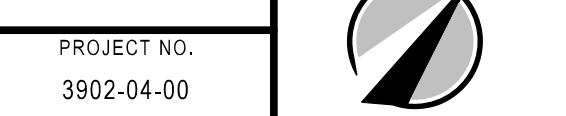
TAX MAP 45_F3	CURRENT ZONING CATEGORY RE
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WS&C 200 SHEET 207NE11	PREVIOUS ZONING CATEGORY RE
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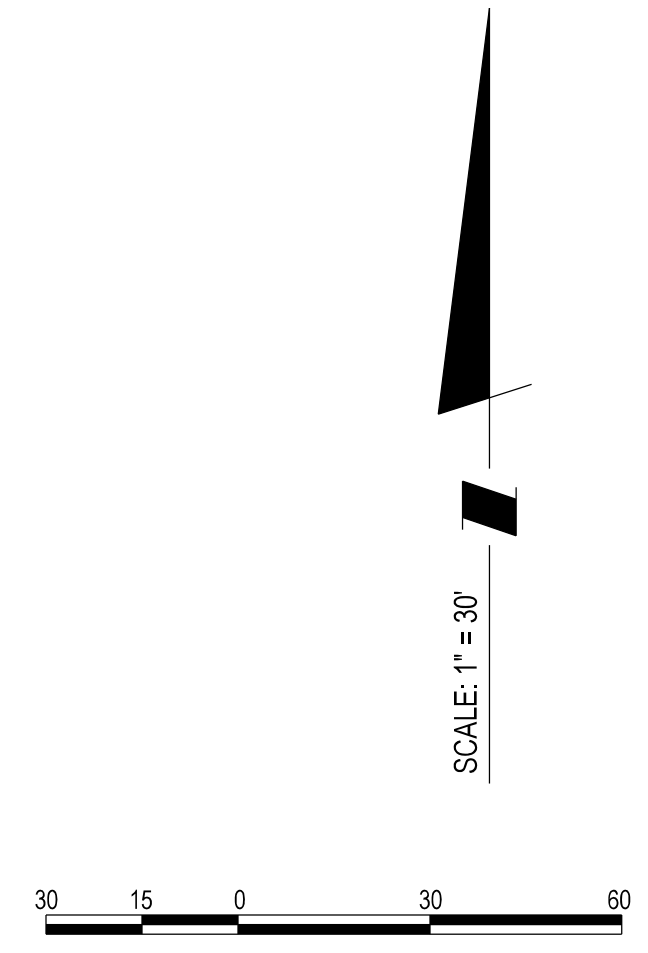
SITE DATUM HORIZONTAL: NAD 83 VERTICAL: NAVD 29	DATE: 2/16/2023
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DESIGNED: DUB	CHECKED: DUB
DATE: 2/16/2023	CAD STDS. VERSION: V8/NCS

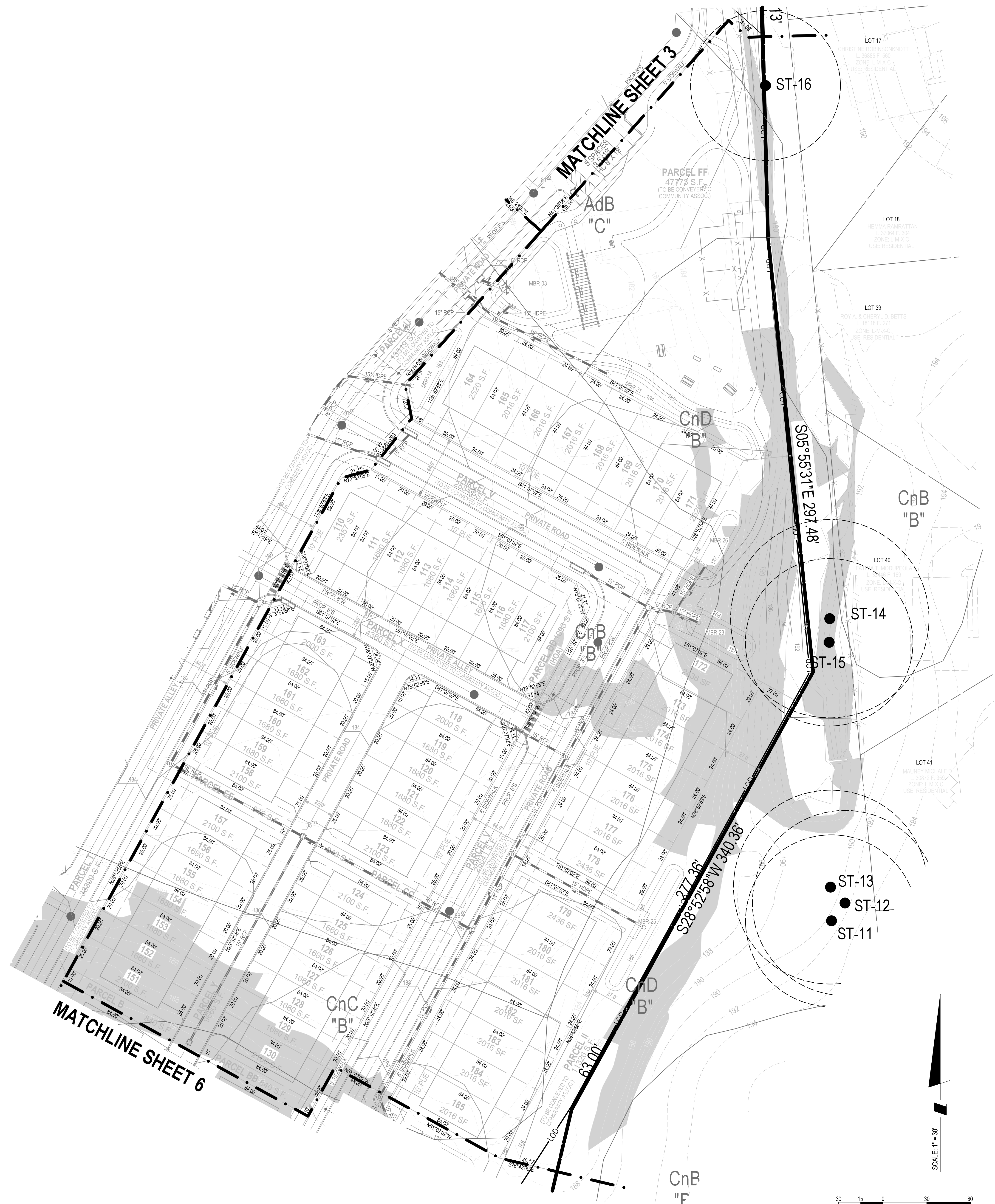
SHEET 4	PROJECT NO. 3902-04-00
OF 6	



- LEGEND**
- SITE BOUNDARY
 - PROPOSED LOT LINE
 - PROPOSED RIGHT-OF-WAY LINE
 - ADJACENT PROPERTY LINE
 - ROAD CENTERLINE
 - EASEMENT
 - EXISTING 10' CONTOUR
 - EXISTING 2' CONTOUR
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 - PROPOSED STORM DRAIN
 - PROPOSED WATER
 - PROPOSED SEWER
 - SHRUBS & NON-WOODLAND VEGETATION
 - EXISTING WOODLANDS
 - SPECIMEN TREE
 - SPECIMEN TREE REMOVED
 - WOODLAND PRESERVATION AREA
 - TPF → TREE PROTECTION FENCE WISIGN (TEMPORARY)
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LEGEND

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PLAN VIEW
TYPE 2 TREE CONSERVATION PLAN-DSP-22028
FAIRWOOD SQUARE
ENTERPRISE & ANNAPOLIS ROAD
 QUEEN ANNE (7th) ELECTION DISTRICT, PRINCE GEORGES COUNTY, MARYLAND

TAX MAP 45, F3	CURRENT ZONING CATEGORY RE
WSBC 300 SHEET 207NE11	PREVIOUS ZONING CATEGORY RE
SITE BATHY HORIZONTAL: NAD 83 VERTICAL: NGVD 29	DATE: 2/16/2023
SCALE: 1" = 30'	DESIGNED: DUB
SHEET 5	CHECKED: DUB
OF 6	CAD STPL: DUB
PROJECT NO. 3902-04-00	VERSION: V8 / NCS



SCALE: 1" = 30'

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2/16/2023

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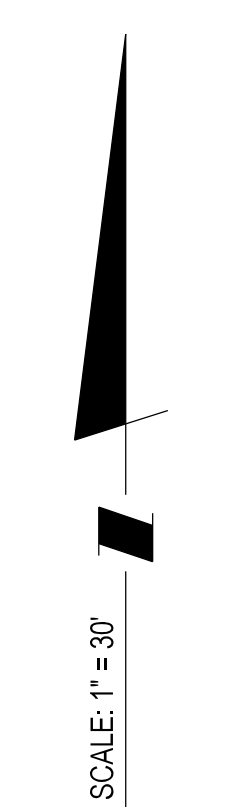
TAX MAP 45, F3	CURRENT ZONING CATEGORY RE
WS&C 200 SHEET 207NE11	PREVIOUS ZONING CATEGORY RE
SITE DATUM HORIZONTAL: NAD 83 VERTICAL: NAVD 28	DATE: 2/16/2023
SCALE: 1" = 30'	DESIGNED: DUB
SHEET 6	TECHNICAL: DUB
OF 6	CHECKED: DUB
PROJECT NO. 3902-04-00	CAD STYL: V8 / NCS
	VERSION:

MATCHLINE SHEET 4

MATCHLINE SHEET 5



- LEGEND**
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**STATEMENT OF JUSTIFICATION
DSP-22028**

FAIRWOOD SQUARE

OWNER: Irmgard H. Hawkins By-Pass Trust
12205 Annapolis Road
Bowie, Maryland 20720

APPLICANT: Timberlake Homes, BT
304 Harry S. Truman Parkway, Suite M
Annapolis, MD 21401

ATTORNEY/AGENT: Matthew C. Tedesco, Esq.
McNamee Hosea, P.A.
6411 Ivy Lane, Suite 200
Greenbelt, Maryland 20770
(301) 441-2420 Voice
(301) 982-9450 Fax
MTedesco@mhlawyers.com

CIVIL ENGINEER: Soltesz, LLC
4300 Forbes Boulevard, Suite 230
Lanham, Maryland 20706
(301) 794-7555

REQUEST: Detailed Site Plan (DSP-22028) for the development of 200 Single-Family Attached (Townhouse) Residential Homes and the future development of approximately 5,000 square feet of commercial/retail uses in the prior R-E Zone. (Note, this DSP shows limited infrastructure associated with future Parcel 1 – in the form of grading and the fillet/driveway entrance for the future commercial development. A future DSP amendment for Parcel 1 that includes architecture (and any other site improvements for the commercial development) will necessary).

I. DESCRIPTION OF PROPERTY

1. Property Address – 12105 and 12205 Annapolis Road and 5015 Enterprise Road, Bowie, Maryland 20720.

2. Location – Located at the southeast quadrant of the intersection of Annapolis Road (MD 450) and Enterprise Road (MD 193).
3. Use –200 Single-Family Attached (Townhouse) Residential Homes comprising of 18-foot, 20-foot, and 24-foot-wide units, and the future development of approximately 5,000 square feet of commercial/retail uses. The latter will require a separate DSP amendment once commercial tenants are identified for approval of architecture associated with the commercial component of the development. Currently, Parcel 1 includes grading and a fillet/driveway entrance for the future commercial development. The unit breakdown is as follows:
 - 24-foot-wide: 45 units (front loaded)
 - 20-foot-wide: 54 units (rear loaded)
 - 18-foot-wide: 101 units (rear loaded)
4. Incorporated Area – None.
5. Council District – 6.
6. Election District – 7.
7. Existing Lots and Parcels – Parcels 5, 118 and 123.
8. Total Area – 22.29 acres.
9. Tax Map/Grid – 45-E3, F3.
10. Zone – RE (Prior: R-E).
11. WSSC 200 FT Ref – 207NE11.
12. FAR – 0.44 proposed (1.4 permitted)
13. Density – 8.97du/acre

II. APPLICANT’S PROPOSAL

Timberlake Homes, BT (the “Applicant”) is requesting the approval of this Detailed Site Plan (DSP-22028) to accommodate the development of Fairwood Square (the “Property”). The Property is located in the southeast quadrant of the intersection of MD 450 (Annapolis Road) and MD 193 (Enterprise Road) and is 22.29 acres. The Property is comprised of three parcels, recorded by deed in the Prince George’s County Land Records as Parcel 5, recorded in Liber 15572 at folio 167; Parcel 118, recorded in Liber 15572 at folio 171; and Parcel 123, recorded in Liber 15594 at folio 275. The Property is within the Residential Estate Zone under both the

current Prince George’s County Zoning Ordinance (known as the RE Zone) and the prior Zoning Ordinance (known as the R-E Zone). However, this application is being reviewed in accordance with the prior Prince George’s County Zoning Ordinance and prior Prince George’s County Subdivision Regulations, pursuant to Section 27-1704 of the County Code.

Specifically, Preliminary Plan of Subdivision 4-21058 (PGCPB Resolution No. 2022-108) triggers the “grandfathering” provisions set forth in Section 27-1704 pursuant to Section 24-1903(b), which provides that “[o]nce approved, development applications that utilize the prior Subdivision Regulations shall be considered ‘grandfathered’ and subject to the provisions set forth in Section 24-1704 of this Subtitle.” Section 24-1704(b) provides, among other things, “until and unless the period of time under which the subdivision approval remains valid expires, the project may proceed to the next steps in the approval process (including any zoning steps that may be necessary) and continue to be reviewed and decided under the Subdivision Regulations and Zoning Ordinance in effect immediately prior to the effective date of the [new] County Subdivision Regulations and Zoning Ordinance.” Although the PPS was approved after April 1, 2022, Sections 24-1903(b) and 24-1704(b), when read together, clearly result in a “grandfathered” PPS that triggers the ability to pursue the “next steps in the approval process (including any zoning steps)” (i.e., a DSP under Part 27 of the Code) vis-à-vis Section 27-1704 of the new Zoning Ordinance. Consequently, this detailed site plan is filed under (or pursuant to) Section 27-1704 of the new Zoning Ordinance; thereby, triggering utilization of the prior Zoning Ordinance - including CB-50-2021. Section 27-1704(a) provides: “development approvals or permits of any type approved under this Subtitle or Subtitle 24 of this Code prior to April 1, 2022 remain valid for the period of time specified in the Zoning Ordinance or Subdivision Regulations under which the project was approved.”

The applicant has spent more than nine (9) months and a significant amount of money not only preparing and processing PPS 4-21058, but also in preparing and designing this detailed site plan (including all accompanying supporting plans/documents) pursuant to the regulations and requirements applicable to the prior Subdivision Regulations and prior Zoning Ordinance. That is, on November 16, 2021, the District Council adopted CB-50-2021 that amended Section 27-441(b)(1) and (7) to allow any use allowed in the M-X-T Zone (excluding those permitted by special exception) under certain circumstances. The subject property conforms to the requirements of Footnote 144, and the applicant seeks to development the property pursuant to the same. Further, the applicant recognizes that the provisions of the prior Subdivision Regulations and prior Zoning Ordinance have been successfully utilized and implemented for development of mixed-uses throughout the County for decades. Therefore, with the utilization of Footnote 144, which is consistent with the future land use recommendation(s) in the recently adopted Bowie and Vicinity Master Plan for the subject property, development pursuant to the prior Subdivision Regulations and prior Zoning Ordinance offers the most efficient, flexible, and established framework for review and approval of the applicant’s desired use/development at this time.

DSP-22028 proposes 200 single family attached units (townhouse) comprising of forty-five (45) 24-foot-wide units; fifty-four (54) 20-foot-wide units; and one hundred and one (101) 18-foot-wide units. The DSP also includes 36 parcels for private streets, HOA parcels, open

space and recreation areas; and for future commercial development comprising of approximately 5,000 square feet of gross floor area. Parcel 1 shows limited infrastructure associated with the future commercial development consisting of grading and a fillet/driveway entrance for the future commercial development. Once a commercial tenant is identified, an amendment to this DSP will be requested for Parcel 1 to include architecture associated with the commercial development.

	SF	AC
Total Site Area	970,952	22.29
Area of Floodplain		0.00
Net Tract Area		22.29

		# of units	Base SF	Total SF	
Madiera	18' RL	101	1,740	175,740	
Foxglove/Redwood*	20' RL	54	2,238	120,852	
Roland/Liberty**	24' FL	45	2,831	127,395	
GFA This Application		200		428,936	21.32 AC
GFA – Commercial/Retail***				5,000	0.97AC
FAR					0.44****

* The DSP includes two different model types for the 20-foot-wide products, the templates of which and Statement of Finished Square Footage for both are provided on the DSP submitted herewith.

** The DSP includes two different model types for the 24-foot-wide products, the templates of which and Statement of Finished Square Footage for both are provided on the DSP submitted herewith.

*** A future architectural DSP for the commercial/retail component of the development will be required.

**** Section 27-545(b)(2)(A): Optional Method of Development. Residential Use. Additional gross floor area equal to a floor area ratio (FAR) of one (1.0) shall be permitted where twenty (20) or more dwelling units are provided. Consequently, the base FAR of 0.4 (Sec. 27-548) is increased under the Optional Method of Development to an FAR of 1.4 since more than twenty (20) residential units are provided.

III. COMMUNITY

Fairwood Square is located on Tax Map 45 in Grids E3, E4, and F3. The property is within Planning Area 71A. The properties abutting the subject site to the east consist of single-family detached dwellings within the Legacy Mixed-Use Community (formerly the Mixed-Use Community) Zone. The properties abutting the site to the south consist of single-family detached dwellings within the RE Zone under the current and prior zoning. The properties to the west,

beyond MD 193 and Glenn Dale Boulevard, consist of single-family detached dwellings and vacant land within the Residential, Rural Zone under the current and prior zoning. The properties to the north, beyond MD 450, currently consist of commercial development (gas station and office buildings) within the Commercial, General and Office (CGO) and Commercial Service (CS) (formerly the Commercial Office and Commercial Miscellaneous) Zones.

The site is within the 2022 *Approved Bowie-Mitchellville and Vicinity Master Plan* (“Master Plan”). Land Use strategy 17.1 of the Master Plan recommends the redevelopment of the site (otherwise known as the former Frank’s Nursery property) into commercial land use (page 76). Map 16, Future Land Use, designates this property in the Commercial future land use category (page 50). Comprehensive Zoning strategy 11.1 of the master plan recommends the reclassification of the property to the CGO Zone to support the recommended commercial development (page 89). The CGO Zone permits single-family attached units at 20 units to the acre, which is double the density proposed with DSP-22028. Notwithstanding, with the approval of PPS 4-21058, the Planning Board correctly found, in accordance with Section 24-121(a)(5) of the prior Subdivision Regulations, that events have occurred to render the relevant recommendations within the comprehensive plan no longer appropriate, is no longer applicable, or the Prince George’s County District Council has not imposed the recommended zoning. This finding was based on the fact that the Master Plan did not include an SMA and based on the fact that the District Council adopted Prince George’s County Council Bill CB-050-2021 in 2021, allowing townhouses and commercial uses that are generally permitted in the Mixed-Use Transportation Oriented (M-X-T) Zone, to be developed in the R-E Zone under certain circumstances. Consequently, the District Council has not imposed the recommended zoning. Therefore, the development previously satisfied the requirements of Section 24-121(a)(5).

“Plan Prince George’s 2035” (Plan 2035), which placed the subject property in the Established Communities Growth Policy Area. Plan 2035:

classifies existing residential neighborhoods and commercial areas served by public water and sewer outside of the Regional Transit Districts and Local Centers, as Established Communities. Established Communities are most appropriate for context-sensitive infill and low-to medium-density development. Plan 2035 recommends maintaining and enhancing existing public services (police and fire/EMS), facilities (such as libraries, schools, parks, and open space), and infrastructure in these areas (such as sidewalks) to ensure that the needs of existing residents are met.

(Plan 2035 at p. 20).

IV. PREVIOUS APPROVALS

The Property is subject to PPS 4-21058, which was approved by the Prince George’s County Planning Board on October 20, 2022, and PGCPB Resolution No. 2022-108 was adopted on November 10, 2022 with the following conditions applicable to the review of DSP-22028:

- 2. Development of the site shall be in conformance with Stormwater Management Concept Plan 45700-2021, and any subsequent revisions.**

COMMENT: A SWM concept plan (45700-2021-00) was approved by the Prince George's County Department of Permitting, Inspections and Enforcement (DPIE) on August 29, 2022 and is valid until August 29, 2025. The SWM concept plan shows the use of 31 micro-bioretenion facilities, 1 submerged gravel wetland, and 1 pond, which are reflected on the DSP.

- 5. Prior to approval of a detailed site plan, the applicant and the applicant's heirs, successors, and/or assignees shall provide the following:**

- a. Signage and design features to facilitate a limited right-in/right-out only access driveway from the western access point along MD 450 (Annapolis Road), as well as the driveway design and exact details/profiles of the signage, unless modified by the State Highway Administration at the time of access permit.**

COMMENT: The right-in and right-out access along eastbound MD 450 has been approved by SHA and will be designed to SHA standards and specifications. The entrance will include the required "bell shaped island" to enforce right-in and right-out movements along with the standard signage and pavement markings as required by SHA.

- b. A noise study certified by a professional engineer with competency in acoustical analysis demonstrating the proposed lots are not impacted, or that interior noise levels for dwellings impacted by the 65 dBA Ldn noise contour will be reduced to 45 dBA or less, and exterior recreational spaces will be reduced to 65 dBA or less.**

COMMENT: The applicant has commissioned a second noise study that will further analyze the predicted combined noise exposures of MD 450 and MD 193 at specific locations that are representative of the proposed dwelling units. This study will include the Federal Highway Administration (FHWA) highway traffic noise predictions procedure, Traffic Noise Model (TNM), along with traffic data. Spatial fluctuation of noise will be mapped and the TNM will provide the estimated noise exposure on the site. This report is currently in process and will be provided prior to the approval of the detailed site plan, as required by this condition.

- 10. The applicant and the applicant's heirs, successors, and/or assignees shall construct the following facilities as part of the development of the site, and show these facilities on a pedestrian and bikeway facilities plan, as part of the detailed site plan, prior to its acceptance:**

- a. A minimum 10-foot-wide shared-use path along the property frontage of MD 450 (Annapolis Road), unless modified by the operating agency with written correspondence.**

COMMENT: A minimum 10-foot-wide shared-use path along the property frontage of MD 450 (Annapolis Road), unless modified by the operating agency with written correspondence, is provided on the detailed site plan.

- b. A minimum 10-foot-wide shared-use path along the property frontage of MD 193 (Enterprise Road), unless modified by the operating agency with written correspondence.**

COMMENT: A minimum 10-foot-wide shared-use path along the property frontage of MD 193 (Enterprise Road), unless modified by the operating agency with written correspondence, is provided on the detailed site plan.

- c. A minimum 5-foot-wide sidewalk along both sides of the internal roadways throughout the site, including Americans with Disabilities Act curb ramps and associated crosswalks.**

COMMENT: A minimum 5-foot-wide sidewalk along both sides of the internal roadways throughout the site, including Americans with Disabilities Act curb ramps and associated crosswalks, is provided on the detailed site plan.

- d. Provide Americans with Disabilities Act curb ramps and crosswalks crossing all vehicular access points.**

COMMENT: Americans with Disabilities Act curb ramps and crosswalks crossing at all vehicular access points is provided on the detailed site plan.

- e. Bicycle parking near the commercial building entrance, in accordance with American Association of State Highway and Transportation Officials (AASHTO) guidelines.**

COMMENT: This will be depicted on the future detailed site plan for the commercial building/parcel.

- 13. The on-site recreational facilities shall be reviewed by the Urban Design Section of the Development Review Division of the Prince George's County Planning Department, for adequacy and proper siting, in accordance with the Parks and Recreation Facilities Guidelines, with the review of the site plan. Timing for construction shall also be determined at the time of detailed site plan.**

COMMENT: As provided the Recreation Plan included with the DSP, the applicant proposes three (3) phases and four (4) recreational areas. The phasing schedule for the private on-site recreational amenities are proposed as follows:

CONSTRUCTION TIMELINE

PHASE 1: PRIOR TO 71st BUILDING PERMIT
- CONSTRUCT REC. AREA 1

PHASE 2: PRIOR TO 110th BUILDING PERMIT
- CONSTRUCT REC. AREA 2 & 3

PHASE 3: PRIOR TO 192ND BUILDING PERMIT
- CONSTRUCT REC. AREA 4

Graphically, the phases are depicted as follows:



RECREATIONAL AREA LOCATION MAP
NOT TO SCALE

Additional information regarding the details of each recreation facility within each phase are provided below.

V. CONFORMANCE WITH THE ZONING ORDINANCE

The District Council exercised its legislative authority to amend the Zoning Ordinance by creating receiving areas for certain types of mixed uses allowed in the M-X-T Zone to be developed in the R-E Zone, subject to Footnote 144. Specifically, said uses are conditional – requiring conformance with three specific criteria including DSP approval. Conformance with these regulations (and additional Zoning Ordinance regulations discussed below) is required for the proposed development at the time of DSP review, including but not limited to the following:

Footnote 144: Provided, and notwithstanding any other provision of this Subtitle, that:

- a. **The uses are located on property or an assemblage of adjacent properties that:**
 1. **Prior to its subdivision to create any residential and commercial parcels or lots had a land area of at least twenty (20) acres;**
 2. **A portion of the boundary of the assemblage of adjacent properties is located at, and has frontage on, two intersecting roadways with a functional transportation classification of arterial or higher on the Master Plan of Transportation;**
 3. **A portion of the boundary of the assemblage of adjacent properties is adjacent to property that is located in a mixed-use zone or planned community zone.**

COMMENT: The subject property meets the minimum acreage requirement with 22.29 acres and has frontage on intersecting arterial roadways MD 450 and MD 193, and is adjacent to a mixed-used zone property to the east.

- b. **A Detailed Site Plan shall be approved in accordance with Part 3, Division 9 of this Subtitle. Regulations concerning the net lot area, lot coverage, and green area, lot/width frontage, yards, building height, density, accessory buildings, minimum area for development, and any other requirements of the R-E Zone shall not apply. The maximum residential density shall not exceed 200 dwelling units. The applicable regulations for the M-X-T Zone as set forth in Sections 27-544(a) and 27-548(h) shall apply.**

COMMENT: DSP-22028 is being filed in conformance to this criterion. Further, the proposed density does not exceed 200 residential units in conformance with this criterion. Finally, and as further provided on the detailed site plan filed in conjunction with the

application and as further articulated below, the development complies with the regulations for the M-X-T Zone.

- c. Notwithstanding the Table of Uses for the M-X-T Zone in Section 27 547(b), a gas station shall be prohibited. All other uses must be consistent with uses in the M-X-C Zone.**

COMMENT: The applicant's proposal conforms to Criteria c, as a gas station is not proposed and all uses are consistent with uses in the M-X-C Zone.

VI. CRITERIA FOR APPROVAL OF A DETAILED SITE PLAN & DESIGN GUIDELINES

The following Sections of the Prince George's County Zoning Ordinance are applicable to this application.

Section 27-285. Planning Board procedures.

(b) Required findings.

- (1) The Planning Board may approve a Detailed Site Plan if it finds that the plan represents a reasonable alternative for satisfying the site design guidelines, without requiring unreasonable costs and without detracting substantially from the utility of the proposed development for its intended use. If it cannot make these findings, the Planning Board may disapprove the Plan.**

COMMENT: Based on the points and reasons provided herein, in addition to the evidence filed in conjunction with this application (or any other previously approved applications as incorporated herein, as needed), the applicant contends that DSP-22028 represents the most reasonable alternative for satisfying the site design guidelines without requiring unreasonable costs and without detracting substantially from the utility of the proposed development for the intended uses. The project has been carefully designed to provide a mix of uses while also providing open space, recreation areas, landscape buffers, and a transition from the two intersection arterial roadways that front the property.

During the review of the PPS, concerns regarding the proposed density were raised. As articulated at the Planning Board hearing on October 20, 2022, the project design accommodates meaningful open space and further supports the finding, notwithstanding contentions to the contrary, that the site development is appropriate. After dedication of approximately 0.22 acres along the MD 450 frontage, the project would provide 12.37 acres of open space (or 56%). Taking a more conservative view, and although not applicable, assuming the open space set-side regulations provided in 27-6403 were applicable, this project would provide 7.7 acres (or 34.9%) open space set-aside. Section 27-6403 lists the requirements for the open space set aside which is 10% in the Residential Base Zone with mixed uses, 20% if all residential uses, and, assuming the implantation of the Master Plan CZ requirement to the CGO, it would be 7.5% for mixed

uses or 15% if all residential uses. This amount of open space ensures a quality project while not detracting from the utility of the proposed development for its intended use.

- (2) **The Planning Board shall also find that the Detailed Site Plan is in general conformance with the approved Conceptual Site Plan (if one was required).**

COMMENT: Not applicable. A Conceptual Site Plan was not required.

- (3) **The Planning Board may approve a Detailed Site Plan for Infrastructure if it finds that the plan satisfies the site design guidelines as contained in Section 27-274, prevents offsite property damage, and prevents environmental degradation to safeguard the public's health, safety, welfare, and economic well-being for grading, reforestation, woodland conservation, drainage, erosion, and pollution discharge.**

COMMENT: Not applicable. DSP-22028 is not a detailed site plan for infrastructure only. DSP-22028 includes all infrastructure necessary for the development of the residential component of the project and general infrastructure for future Parcel 1 that includes grading and fillet/driveway entrance for the future commercial development. Once a commercial tenant is identified, an amendment to this DSP will be requested for Parcel 1 to include architecture associated with the commercial development.

- (4) **The Planning Board may approve a Detailed Site Plan if it finds that the regulated environmental features have been preserved and/or restored in a natural state to the fullest extent possible in accordance with the requirement of Subtitle 24-130(b)(5).**

COMMENT: A natural resource inventory (NRI-131-06-02) was approved on July 12, 2022, and was provided with this application and the previously approved PPS (4-21058). The site contains a nontidal wetland with its associated buffer, which is not being impacted by the proposed development. There are 11 specimen trees scattered throughout the site. With the exception of the removal of five specimen trees, which was approved with the PPS, the other existing specimen trees are being preserved. In addition, according to the Green Infrastructure Plan, the southern half of the site is in the evaluation area, with the remainder of the site outside of the green infrastructure. The project design, as reflected on the DSP and the TCP2, meets the goals of the Green Infrastructure Plan, and focuses development outside of the most sensitive areas of the site. A SWM concept plan (45700-2021-00) was approved by the Prince George's County Department of Permitting, Inspections and Enforcement (DPIE) on August 29, 2022 and is valid until August 29, 2025. The SWM concept plan shows the use of 31 micro-bioretenion facilities, 1 submerged gravel wetland, and 1 pond, which are reflected on the DSP. Finally, development of this site is subject to the current WCO and TCC requirements, both of which are being met with this application. Finally, there are no Nontidal Wetlands of Special State Concern (NTWSSC) as mapped on Map 41 of the Master Plan.

The Planning Board, in approving PPS 4-21058 made findings in conformance with Section 24-130(b)(5), and this detailed site plan application is in substantial conformance with PPS 4-21058. Therefore, and for the other reasons provided herein and submitted herewith, the regulated environmental features have been preserved and/or restored in a natural state to the fullest extent possible.

Section 27-281. Purpose of Detailed Site Plans.

(b) General purposes.

(1) The general purposes of Detailed Site Plans are:

- (A) To provide for development in accordance with the principles for the orderly, planned, efficient and economical development contained in the General Plan, Master Plan, or other approved plan;**
- (B) To help fulfill the purposes of the zone in which the land is located;**
- (C) To provide for development in accordance with the site design guidelines established in this division; and**
- (D) To provide approval procedures that are easy to understand and consistent for all types of Detailed Site Plans.**

(c) Specific purposes.

(1) The specific purposes of Detailed Site Plans are:

- (A) To show the specific location and delineation of buildings and structures, parking facilities, streets, green areas, and other physical features and land uses proposed for the site;**
- (B) To show specific grading, planting, sediment control, tree preservation, and storm water management features proposed for the site;**
- (C) To locate and describe the specific recreation facilities proposed, architectural form of buildings, and street furniture (such as lamps, signs, and benches) proposed for the site; and**
- (D) To describe any maintenance agreements, covenants, or construction contract documents that are necessary to assure that the Plan is implemented in accordance with the requirements of this Subtitle.**

COMMENT: As articulated herein, as depicted on the detailed site plan, and previously analyzed by the findings made by the Planning Board in approving PPS 4-21058, this Detailed Site Plan will promote many of the purposes found in Section 27-281.

Section 27-283. Site Design Guidelines

- (a) The Detailed Site Plan shall be designed in accordance with the same guidelines as required for a Conceptual Site Plan (Section 27-274).**

- (b) **The guidelines shall only be used in keeping with the character and purpose of the proposed type of development, and the specific zone in which it is to be located.**
- (c) **These guidelines may be modified in accordance with Section 27-286.**

COMMENT: Generally, Section 27-274 provides design guidelines regarding parking, loading, and circulation, lighting, views, green area, site and streetscape amenities, grading, service areas, public spaces, and architecture. It is worth noting that every sub-part of Section 27-274(a) uses the word “should” when describing each of the guidelines. Thus, none of the design guidelines are mandatory; instead, they are as they appear, guidelines used to promote the purposes of the zone. The Planning Board is authorized to approve a detailed site plan so long as the plan represents a *reasonable alternative to satisfying the guidelines* – without requiring unreasonable costs or detracting substantially from the utility of the proposed development for its intended (and *permitted*) use.

Specifically, the applicant offers the following:

Section 27-274. Design Guidelines

In addition to the purposes set forth in Section 27-281, Section 27-274 further requires the Applicant demonstrate the following:

- (1) **General.**
 - (A) **The Plan should promote the purposes of the [Detailed] Site Plan.**

COMMENT: The purposes of the Detailed Site Plan are found in Sections 27-281(b) and (c).

- (2) **Parking, loading, and circulation**
 - (A) **Surface parking lots should be located and designed to provide safe and efficient vehicular and pedestrian circulation within the site, while minimizing the visual impact of cars. Parking spaces should be located to provide convenient access to major destination points on the site.**
 - (B) **Loading areas should be visually unobtrusive and located to minimize conflicts with vehicles or pedestrians.**
 - (C) **Vehicular and pedestrian circulation on a site should be safe, efficient, and convenient for both pedestrians and drivers.**

COMMENT: DSP-22028 will provide garage parking for the residents and on street parking and minor parking lots for visitors throughout the site. Resident parking is shown on the lots it serves. Surface parking is generally adjacent to recreational facilities; some overflow parking is appropriately provided on the street near residences. There are no large uninterrupted expanses of pavement. None of the parking is generally visible from outside DSP-22028. No loading docks are proposed with this DSP. Main entrance to the Property is from MD 450. Sidewalks are proposed along the public (subject to the operating agency) and private roads to provide safe and

efficient pedestrian circulation, minimizing conflicts between pedestrians and vehicles. Crosswalks are clearly marked.

(3) Lighting.

- (A) For uses permitting nighttime activities, adequate illumination should be provided. Light fixtures should enhance the design character.**

COMMENT: This DSP, which proposes residential uses, anticipates at least some activities taking place in the evening and will provide adequate lighting levels for safe vehicular and pedestrian movements. The site lighting will provide the new residents with a bright, safe atmosphere while not causing a glare or light bleeding onto adjoining properties, as the applicant proposes to use full cut-off light fixtures. For details of the lighting proposed, please see Sheet 2 of the Landscape Plan. The location and photometrics of the light fixtures can be found on the separate Photometric Plan.

(4) Views.

- (A) Site design techniques should be used to preserve, create, or emphasize scenic views from public areas.**

COMMENT: This Detailed Site Plan complies with the design guidelines outlined in sub-part (4). All buildings will be designed to provide a modern, clean and strong presence along road frontages. Other views and public areas will be emphasized through the use of sidewalks to collectively connect the various components of the project. Landscape treatments are proposed throughout the site, but also along the frontages of MD 450 and MD 193, which will further create or emphasize views from public areas.

(5) Green Area.

- (A) On site green area should be designed to complement other site activity areas and should be appropriate in size, shape, location, and design to fulfill its intended use.**

COMMENT: Green area is dispersed throughout the property. They are easily accessible for maintenance and provide separation between townhomes. For the location and details of the recreation facilities, please see Sheets 1 and 2 of the Recreation Plan. In addition, and as mentioned previously, during the review of the PPS, concerns regarding the proposed density were raised. As articulated at the Planning Board hearing on October 20, 2022, the project design accommodates meaningful open space and further supports the finding, notwithstanding contentions to the contrary, that on-site green area (or open space) is appropriate in size, shape, location, and design. After dedication of approximately 0.22 acres along the MD 450 frontage, the project would provide 12.37 acres of open space (or 56%). Taking a more conservative view, and although not applicable, assuming the open space set-side regulations provided in 27-6403 were applicable, this project would provide 7.7 acres (or 34.9%) open space set-aside. Section 27-6403 lists the requirements for the open space set aside which is 10% in the Residential Base Zone with mixed uses, 20% if all residential uses, and, assuming the

implantation of the Master Plan CZ requirement to the CGO, it would be 7.5% for mixed uses or 15% if all residential uses. This amount of open space ensures a quality project while not detracting from the utility of the proposed development for its intended use

(6) Site and streetscape amenities.

- (A) Site and streetscape amenities should contribute to an attractive, coordinated development and should enhance the use and enjoyment of the site.**

COMMENT: The Detailed Site Plan and Landscape Plan submitted with this application comply with the design guidelines outlined in sub-part (6). The proposed site and streetscape amenities will contribute to be attractive and coordinated with the development. That is, the site fixtures will be durable high-quality material and will be attractive, which will enhance the site for the future residents and patrons. As further referenced above, within this proposed phase, additional street connections and street scape amenities are proposed.

(7) Grading.

- (A) Grading should be performed to minimize disruption to existing topography and other natural and cultural resources on the site and on adjacent sites. To the extent practicable, grading should minimize environmental impacts.**

COMMENT: This Detailed Site Plan complies with the design guidelines outlined in sub-part (7). All grading and landscaping will help to soften the overall appearance of the improvements once constructed. The proposed development will address the needs and expectations of the modern resident. All grading and landscaping will help to soften the overall appearance of the improvements once constructed. The proposed development will address the needs and expectations of the modern consumer. To the fullest extent practical, all grading will be designed to minimize disruption to existing topography.

(8) Service Areas.

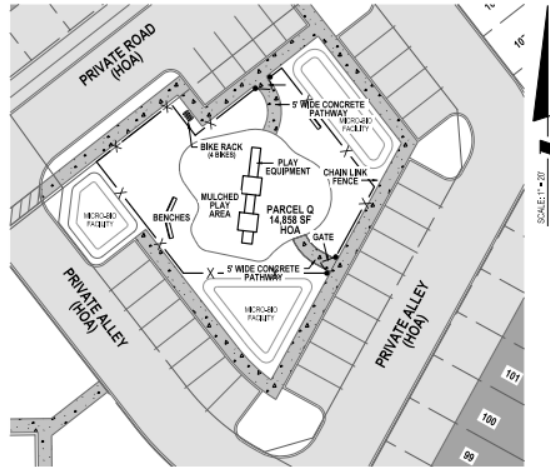
- (A) Service areas should be accessible, but unobtrusive.**

COMMENT: Service areas are not proposed with DSP-22028.

(9) Public Spaces.

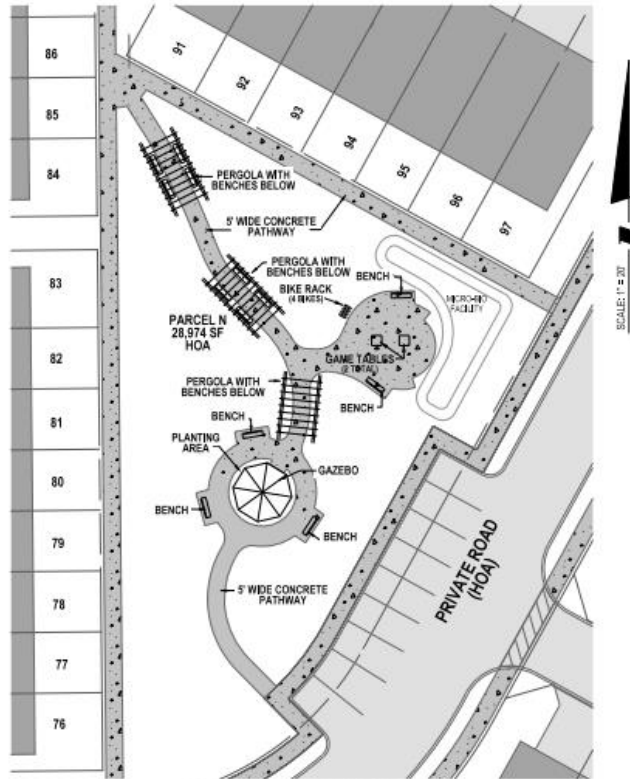
- (A) A public space system should be provided to enhance a large-scale commercial, mixed use, or multifamily development.**

COMMENT: The overall massing of buildings and attention to scale for this project, which are primarily residential in nature, will help create pedestrian and quasi-public areas that will be convenient to the residents. In particular, these areas include the open space and recreational areas proposed for the project that will serve the residents and their guests. These areas include recreations areas 1 – 4 depicted below. Additional public space will be in the form of the future detailed site plan for the commercial component of the project.



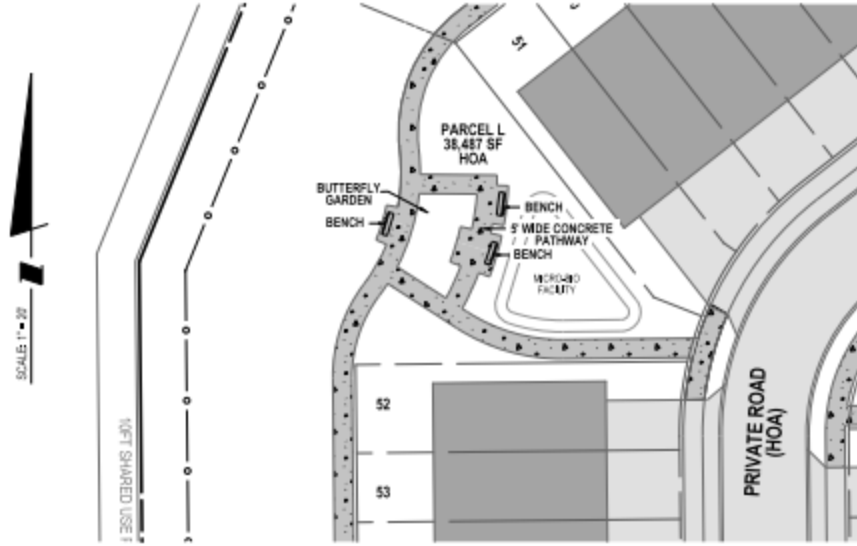
RECREATIONAL AREA - 1

SCALE: 1" = 20'



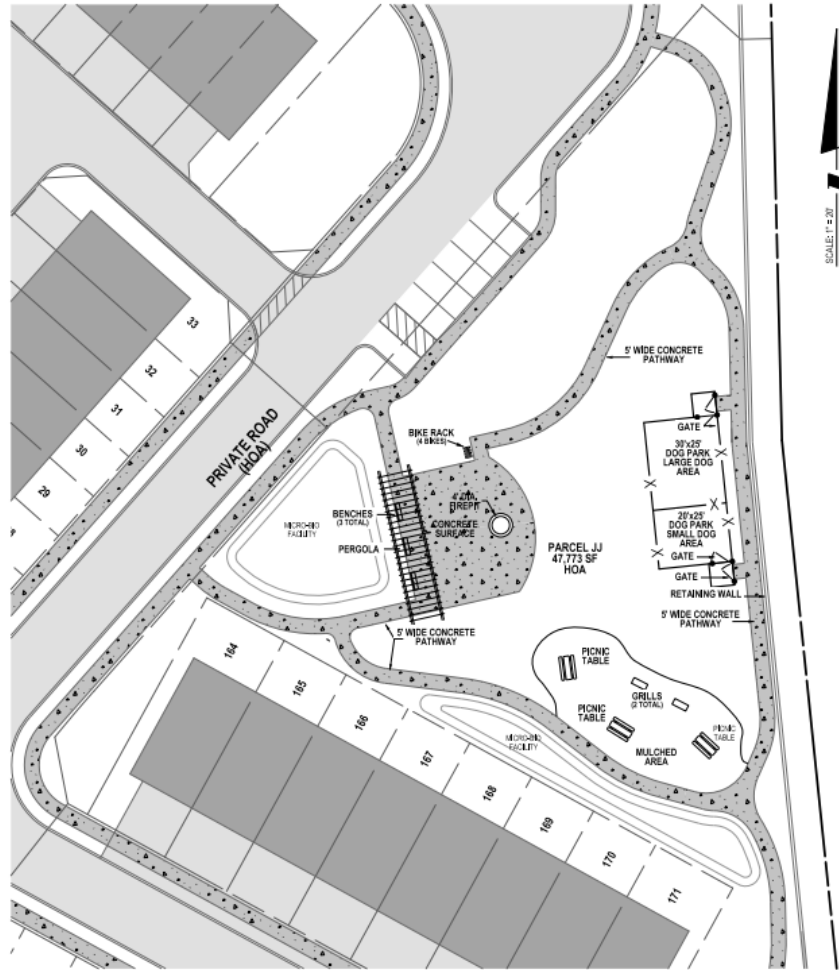
RECREATIONAL AREA - 2

SCALE: 1" = 20'



RECREATIONAL AREA - 3

SCALE 1" = 20'



RECREATIONAL AREA - 4
SCALE: 1" = 20'

(10) Architecture.

- (A) When architectural considerations are references for review, the Conceptual Site Plan should include a statement as to how the architecture of the buildings will provide a variety of building forms, with unified, harmonious use of materials and styles.**
- (B) The guidelines shall only be used in keeping with the character and purpose of the proposed type of development and the specific zone in which it is to be located.**
- (C) These guidelines may be modified in accordance with section 27-277.**

COMMENT: Architecture proposed with DSP-22028 complies with the design guidelines outlined in sub-part (10). The elevations for the proposed residential units are provided on the architectural elevations on Sheets submitted with this application. The design of the residential units depict high quality design and materials.

- (11) **Townhouses and Three-Story Dwellings.**
- (A) **Open space areas, particularly areas separating the rears of buildings containing townhouses, should retain, to the extent possible, single or small groups of mature trees. In areas where trees are not proposed to be retained, the applicant shall demonstrate to the satisfaction of the Planning Board or the District Council, as applicable, that specific site conditions warrant the clearing of the area. Preservation of individual trees should take into account the viability of the trees after the development of the site.**
 - (B) **Groups of townhouses should not be arranged on curving streets in long, linear strips. Where feasible, groups of townhouses should be at right angles to each other, and should facilitate a courtyard design. In a more urban environment, consideration should be given to fronting the units on roadways.**
 - (C) **Recreational facilities should be separated from dwelling units through techniques such as buffering, differences in grade, or preservation of existing trees. The rears of buildings, in particular, should be buffered from recreational facilities.**
 - (D) **To convey the individuality of each unit, the design of abutting units should avoid the use of repetitive architectural elements and should employ a variety of architectural features and designs such as roofline, window and door treatments, projections, colors, and materials. In lieu of this individuality guideline, creative or innovative product design may be utilized.**
 - (E) **To the extent feasible, the rears of townhouses should be buffered from public rights-of-way and parking lots. Each application shall include a visual mitigation plan that identifies effective buffers between the rears of townhouses abutting public rights-of-way and parking lots. Where there are no existing trees, or the retention of existing vegetation is not practicable, landscaping, berming, fencing, or a combination of these techniques may be used. Alternatively, the applicant may consider designing the rears of townhouse buildings such that they have similar features to the fronts, such as reverse gables, bay windows, shutters, or trim.**
 - (F) **Attention should be given to the aesthetic appearance of the offsets of buildings.**

COMMENT: The layout of the townhouse units depicted on DSP-22028 have been designed in an effort to, as much as possible; minimize the views of the rear of the units. Although the majority of units along MD 450 and MD 193 are perpendicular to the roads, they have been designed as rear loaded units so that the backs of units do not front on the public road. In addition, landscaping will be provided within landscape buffers/yards along the property frontage and in common areas within the site. Street trees will further screen and/or soften the units from the public right-of-way and private streets. Again, the architectural plans depict units that will provide high quality architecture with a variety of architectural elements to promote

individuality or aesthetically pleasing appearances with offsets of buildings. The high quality of the units will be depictive of and complement existing high quality residential development in the area. Finally, and as articulated above, the applicant is proposing a large percentage of open space – some of which will be amenitized with recreational areas (to wit: recreational areas 1 – 4) (see above) to serve the residents and their guests.



VII. M-X-T ZONE REGULATIONS

Sec. 27-548. - M-X-T Zone.

a) **Maximum floor area ratio (FAR):**

- 1) **Without the use of the optional method of development — 0.40 FAR; and**
- 2) **With the use of the optional method of development — 8.00 FAR.**

COMMENT: The FAR proposed by this application is 0.44.

- b) **The uses allowed in the M-X-T Zone may be located in more than one (1) building, and on more than one (1) lot.**

COMMENT: The uses proposed are located on more than one lot and in more than one building.

- c) **Except as provided for in this Division, the dimensions for the location, coverage, and height of all improvements shown on an approved Detailed Site Plan shall constitute the regulations for these improvements for a specific development in the M-X-T Zone.**

COMMENT: The Development Standards proposed with this application can be found on the DSP coversheet.

- d) **Landscaping, screening, and buffering of development in the M-X-T Zone shall be provided pursuant to the provisions of the Landscape Manual. Additional buffering and screening may be required to satisfy the purposes of the M-X-T Zone and to protect the character of the M-X-T Zone from adjoining or interior incompatible land uses.**

COMMENT: This application meets all buffer and plant unit requirements of the Landscape Manual and exceeds the TCC requirements.

- e) **In addition to those areas of a building included in the computation of gross floor area (without the use of the optional method of development), the floor area of the following improvements (using the optional method of development) shall be included in computing the gross floor area of the building of which they are a part: enclosed pedestrian spaces, theaters, and residential uses. Floor area ratios shall exclude from gross floor area that area in a building or structure devoted to vehicular parking and parking access areas (notwithstanding the provisions of Section 27-107.01). The floor area ratio shall be applied to the entire property which is the subject of the Conceptual Site Plan.**

COMMENT: The Floor Area Ratio calculation is shown on detailed site plan cover sheet.

- f) **Private structures may be located within the air space above, or in the ground below, public rights-of-way.**

COMMENT: Not applicable. This application does not propose private structures above or below the public right-of-way.

- g) **Each lot shall have frontage on, and direct vehicular access to, a public street, except lots for which private streets or other access rights-of-way have been authorized pursuant to Subtitle 24 of this Code.**

COMMENT: All units have access from the adjacent private streets or alleys in accordance with Subtitle 24, and as further approved with PPS 4-21058.

- h) **Townhouses developed pursuant to a Detailed Site Plan for which an application is filed after December 30, 1996, shall be on lots at least one thousand two hundred (1,200) square feet in size, and shall have at least sixty percent (60%) of the full front facades constructed of brick, stone, or stucco. In addition, there shall be no more than eight (8) townhouses per building group, except where the applicant demonstrates to the satisfaction of the Planning Board or District Council, as applicable, that more than eight (8) dwelling units (but not more than ten (10) dwelling units) would create a more attractive living environment or would be more environmentally sensitive. In no event shall the number of building groups containing more than eight (8) dwelling units exceed twenty percent (20%) of the total number of building groups in the total development. The minimum building width in any continuous, attached group shall be eighteen (18) feet, and the minimum gross living space shall be one thousand two hundred and fifty (1,250) square feet. For the purposes of this Subsection, gross living space shall be defined as all interior building space except the garage and unfinished basement or attic area. The minimum lot size, maximum number of units per building group and percentages of such building groups, and building width requirements and restrictions shall not apply to townhouses on land any portion which lies within one-half (½) mile of an existing or planned mass transit rail station site operated by the Washington Metropolitan Area Transit Authority and initially opened after January 1, 2000. In no event shall there be more than ten (10) dwelling units in a building group and no more than two (2) building groups containing ten (10) dwelling units. For purposes of this section, a building group shall be considered a separate building group (even though attached) when the angle formed by the front walls of two (2) adjoining rows of units is greater than forty-five degrees (45°). Except that, in the case of a Mixed-Use Planned Community, there shall be no more than eight (8) townhouses per building group, except when the applicant demonstrates to the satisfaction of the Planning Board or District Council, as applicable, that more than eight (8) dwelling units (but not more than ten (10) dwelling units) would create a more attractive living environment or would be more environmentally sensitive. In no event shall the number of building groups containing more than eight (8) dwelling units exceed twenty percent (20%) of the**

total number of building groups in the total development. The minimum building width in any continuous, attached group shall be eighteen (18) feet, and the minimum gross living space shall be one thousand two hundred and fifty (1,250) square feet. For the purposes of this Subsection, gross living space shall be defined as all interior building space except the garage and unfinished basement or attic area. Garages may not dominate the streetscape. Garages that are attached or incorporated into the dwelling shall be set back a minimum of four (4) feet from the front façade and there shall not be more than a single garage, not to exceed ten (10) feet wide, along the front façade of any individual unit. Garages may be incorporated into the rear of the building or freestanding in the rear yard and accessed by an alley. Sidewalks are required on both sides of all public and private streets and parking lots. At the time of Detailed Site Plan, the Planning Board or the District Council may approve a request to substitute townhouses, proposed for development as condominiums, in place of multifamily dwellings that were approved in a Conceptual Site Plan approved prior to April 1, 2004. Such substitution shall not require a revision to any previous plan approvals. Further, at the time of Detailed Site Plan for a Mixed-Use Planned Community, the Planning Board or the District Council may approve modifications to these regulations so long as the modifications conform to the applicable regulations for the particular development.

COMMENT: This application conforms to the requirements above.

- i) **The maximum height of multifamily buildings shall be one hundred and ten (110) feet. This height restriction shall not apply within any Transit District Overlay Zone, designated General Plan Metropolitan or Regional Centers, or a Mixed-Use Planned Community.**

COMMENT: Not applicable. There are no multifamily buildings proposed with this application.

- j) **As noted in Section 27-544(b), which references property placed in the M-X-T Zone through a Sectional Map Amendment approved after October 1, 2006, and for which a comprehensive land use planning study was conducted by Technical Staff prior to initiation, regulations for Conceptual or Detailed Site Plans (such as, but not limited to density, setbacks, buffers, screening, landscaping, height, recreational requirements, ingress/egress, and internal circulation) should be based on the design guidelines or standards intended to implement the development concept recommended by the Master Plan, Sector Plan, or the Sectional Map Amendment Zoning Change and any referenced exhibit of record for the property. This regulation also applies to property readopted in the M-X-T Zone through a Sectional Map Amendment approved after October 1, 2006 and for which a comprehensive land use planning study was conducted by Technical Staff prior to initiation of a concurrent Master Plan or Sector Plan (see Section 27-226(f)(3) of the Zoning Ordinance). Notwithstanding any other provision of this Code, this**

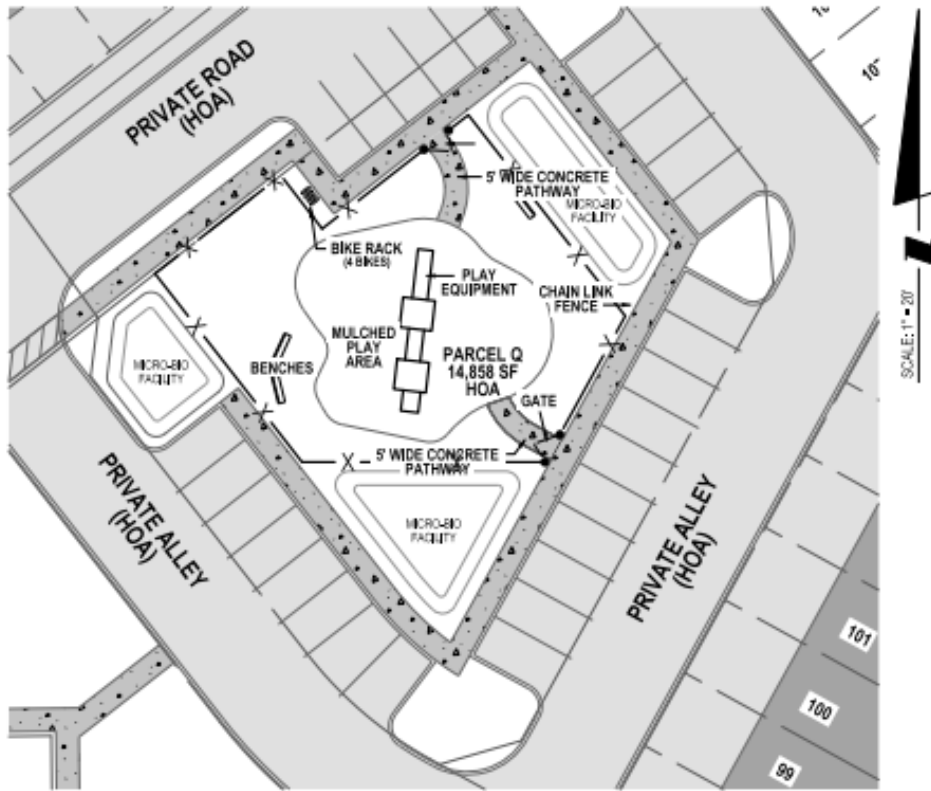
regulation shall not apply to property subject to the provisions of Section 27-544(f)(2)(I), above.

COMMENT: Not applicable. A comprehensive land use planning study was not conducted by Technical Staff for this property.

VIII. PRIVATE RECREATIONAL FACILITIES

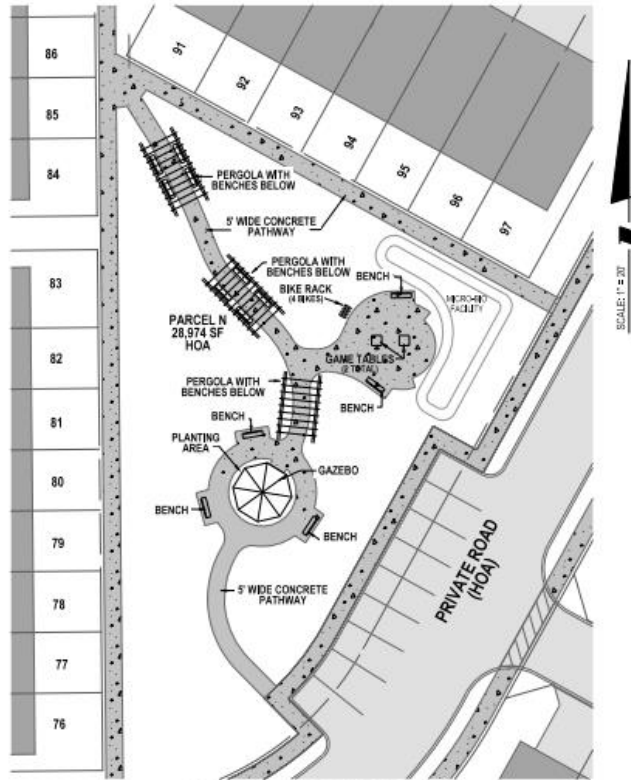
DSP-22028 proposes the development of 200 single-family attached (townhouse) residential units and the future development of approximately 5,000 square feet of commercial/retail uses. The applicant is proposing a mixture of both active and passive on-site private recreation facilities to serve the residents.

As provided on the detailed site plan, the applicant's proposed recreational facilities include the following: grilling area, dog park; walking path; tot lot play area; sitting areas and a fire pit sitting area; pergolas and gazebo; game tables; and butterfly garden. The applicant believes that these amenities, as evidenced by having successfully including them in other development projects, will result in a recreational area that will not only be utilized with great success, but will also be economically sustainable by the homeowner's association and residents of this neighborhood. As indicated above, depictions of the recreational facilities the applicant is proposing include the following:

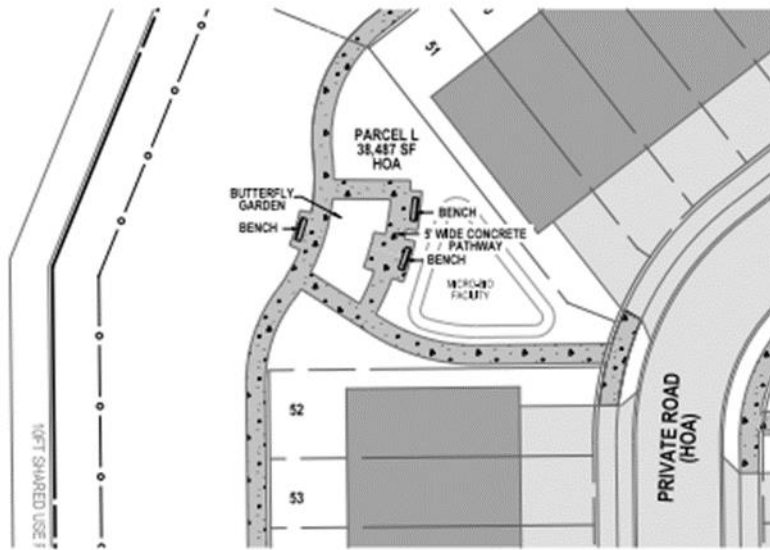


RECREATIONAL AREA - 1

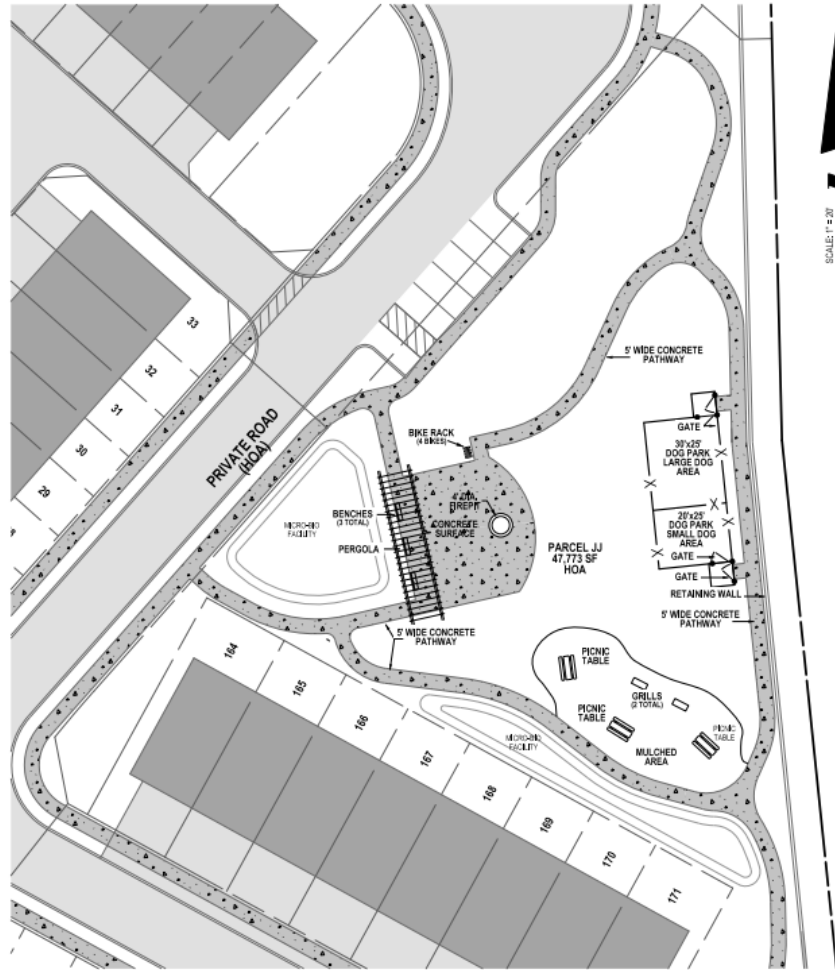
SCALE: 1" = 20'



RECREATIONAL AREA - 2
SCALE: 1" = 20'



RECREATIONAL AREA - 3
SCALE: 1" = 20'



RECREATIONAL AREA - 4
SCALE: 1" = 20'

VII. CONCLUSION

Based on the foregoing, as well as all of the development plans filed in conjunction with this application, the applicant respectfully requests the approval of DSP-22028.

Respectfully submitted,

MCNAMEE HOSEA, P.A.

By: _____/s/_____
Matthew C. Tedesco, Esq.

Date: ~~November 29, 2022~~
December 29, 2022
(Second Pre-Review Filing)

EXHIBIT - 1



EXHIBIT - 2



EXHIBIT - 3



EXHIBIT - 4



EXHIBIT-5



The original of this drawing document was prepared by Soltesz, Inc. (SOLTESZ). If this document was not obtained directly from SOLTESZ and/or it was transmitted electronically, SOLTESZ cannot guarantee that unauthorized changes and / or alterations were not made by others. If verification of the information contained hereon is needed, contact should be made directly with SOLTESZ. SOLTESZ makes no warranties, express or implied, concerning the accuracy of any information that has been transmitted by electronic means.

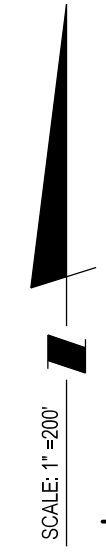
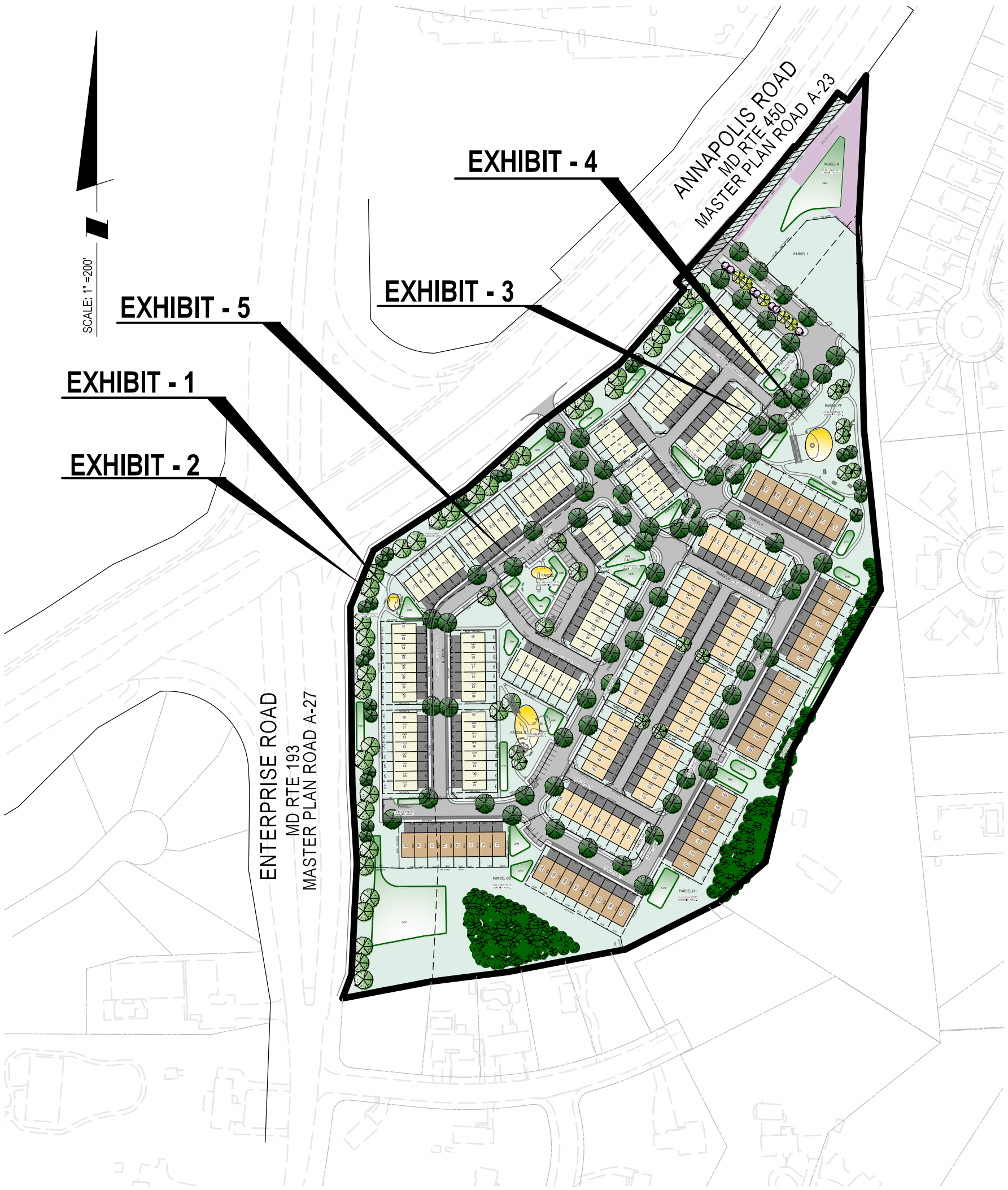
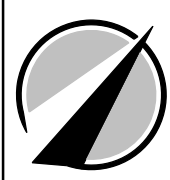


EXHIBIT - 1
EXHIBIT - 2
EXHIBIT - 3
EXHIBIT - 4
EXHIBIT - 5



RENDERING VIEW KEY



SOLTESZ, LLC
 4300 Forbes Boulevard, Suite 230
 Lanham, MD 20706
 P.301.794.7555 F.301.794.7656
 www.solteszco.com

RENDERING KEY
FAIRWOOD SQUARE
 PARCELS 5, 118 & 123
 QUEEN ANNE (7TH) ELECTION DISTRICT
 PRINCE GEORGE'S COUNTY, MARYLAND

JOB NO. 3902-04-00	SCALE 1"=200'	DATE 02-22-2023
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PLEASE DO NOT SIGN
HEARING
Proposed Development
Application DSP 22022
301-699-CALL



HEARING



Site Design Plans

Proposed Development

HILLSIDE AT FORT WASHINGTON - DETAILED SITE PLAN HEARING
FOR THE DEVELOPMENT OF 64 TOWNHOMES.

Application: **DSP 22022**

Applicant Contact: Name: TOM ZILA
Phone: (317) 421-6024
Email: T.ZILA@LAWA.COM

Planning Board Hearing Information

3:00-2023 10:00:00 VIRTUAL HEARING

For more information about this project
or to share comments:

301-699-CALL

or email PCPB@www.ppc.org

Become a Party of Record

To become a party of record please contact the Planning Department at (317) 421-6024.

Planning Department
10000 N. 10th Street
Tulsa, Oklahoma 74116
(317) 421-6024

Also, you may wish to submit a comment to the hearing
and request a copy of a report on the hearing.

For more information:

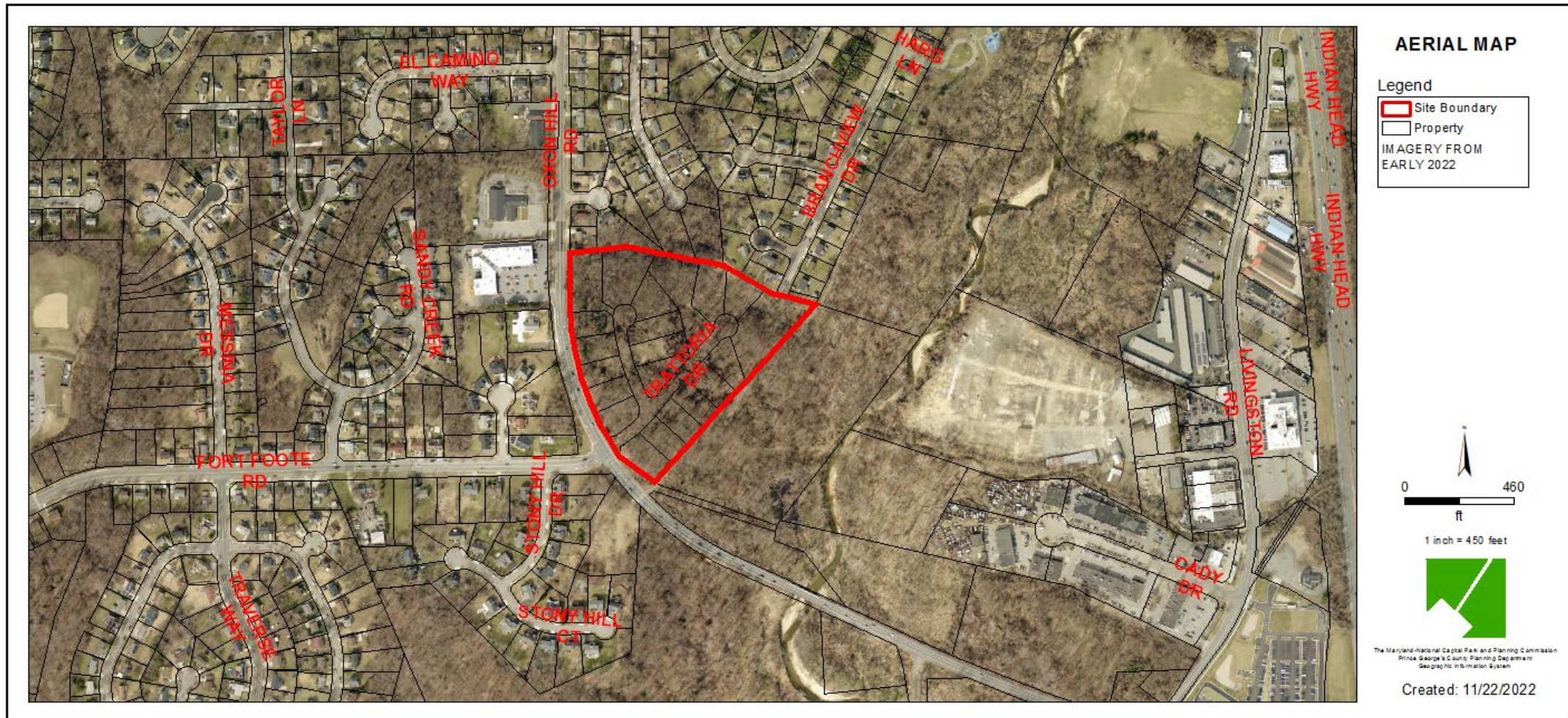
Visit our website: www.ppc.org
or call: (317) 421-6024
or email: PCPB@www.ppc.org

HILLSIDE AT FORT WASHINGTON

Detailed Site Plan

TCP2-005-2023

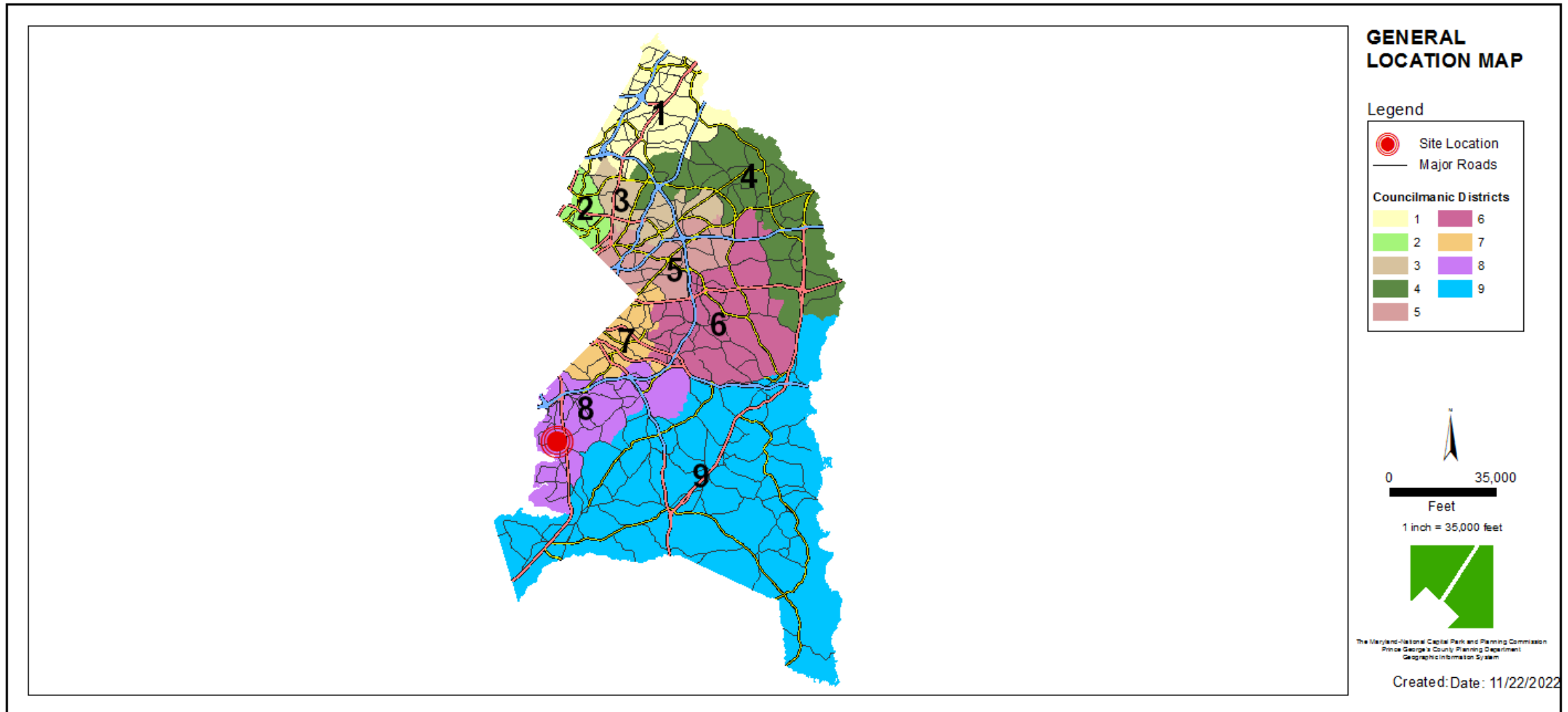
Staff Recommendation: APPROVAL with conditions



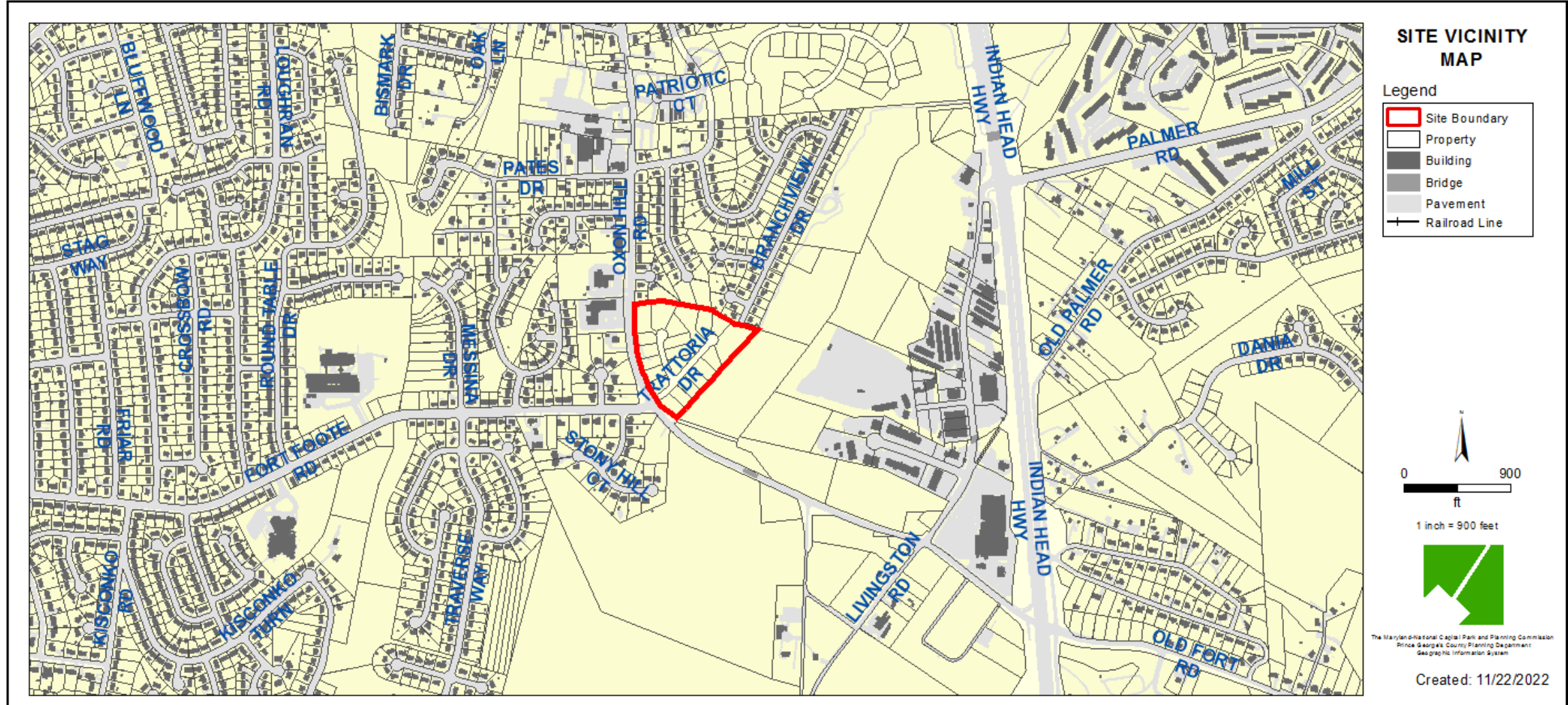
GENERAL LOCATION MAP

Council District: 08

Planning Area: 80



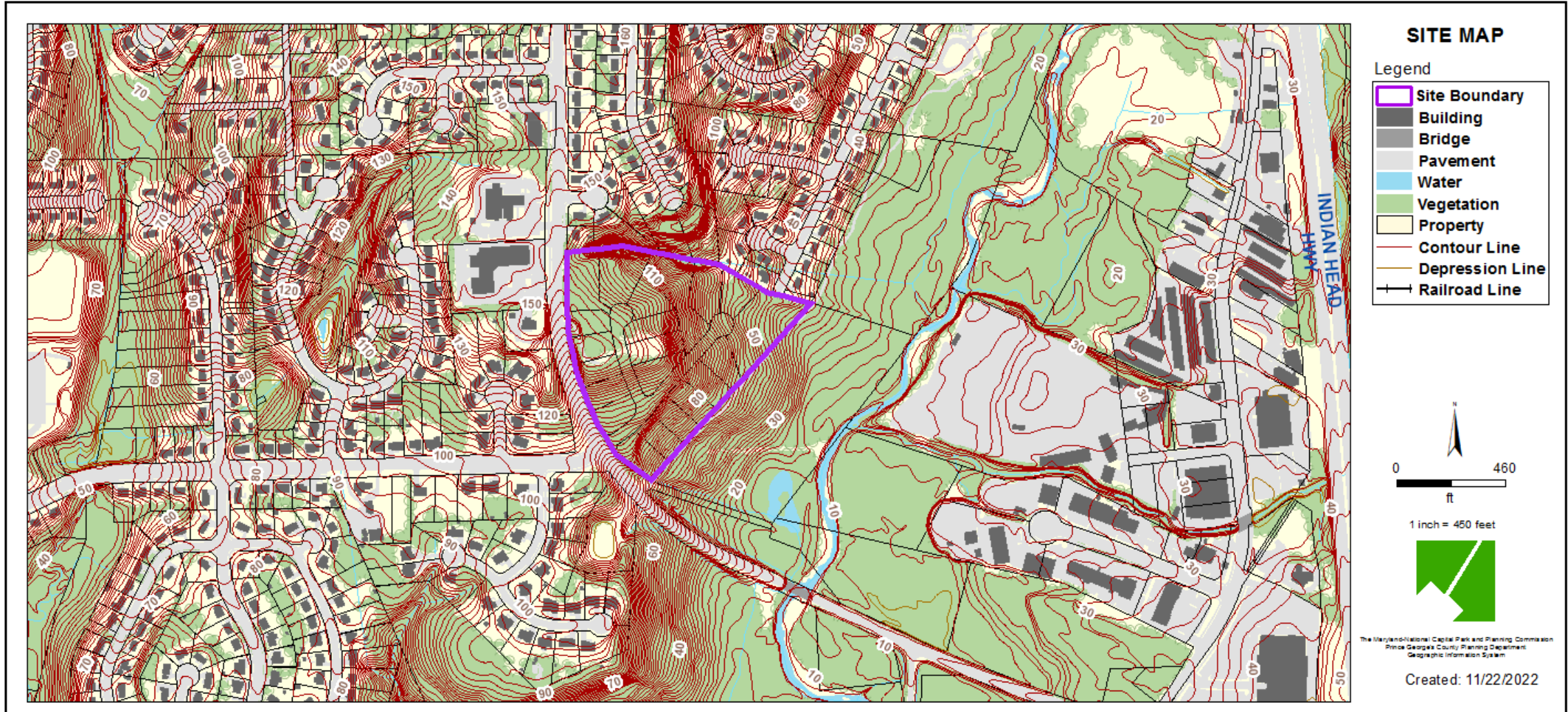
SITE VICINITY MAP



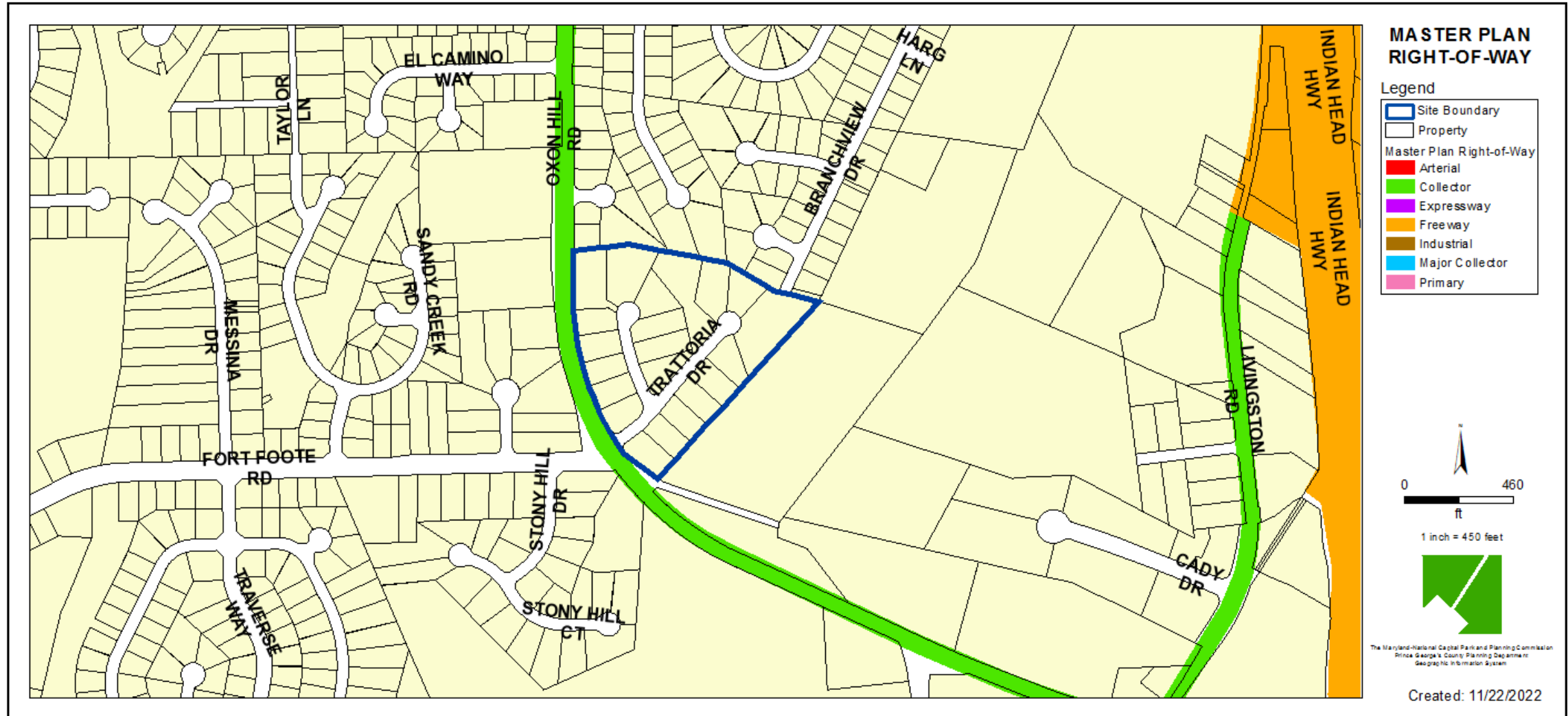
BIRD'S-EYE VIEW WITH APPROXIMATE SITE BOUNDARY OUTLINED



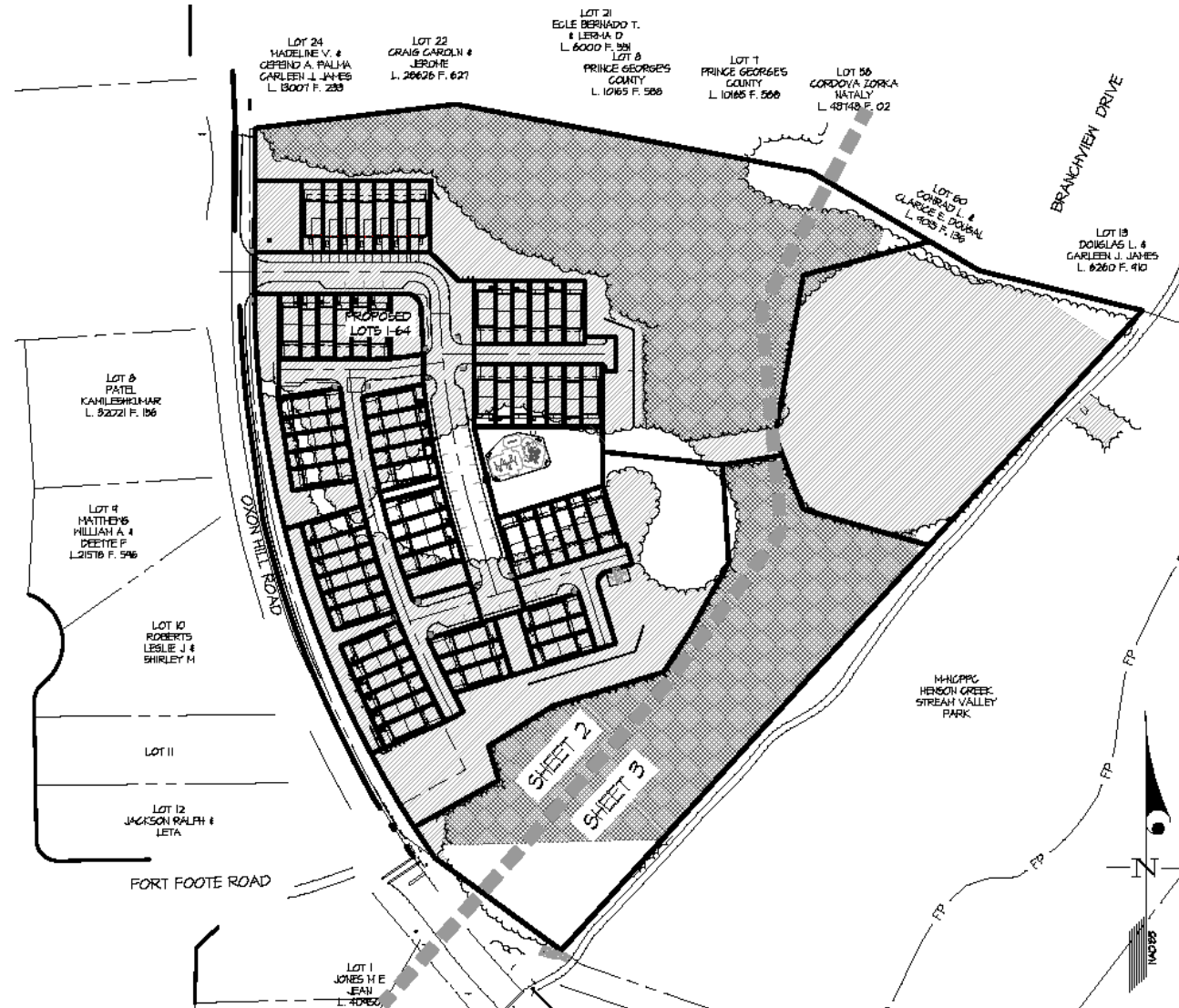
SITE MAP



MASTER PLAN RIGHT-OF-WAY MAP



TYPE 2 TREE CONSERVATION PLAN



ARCHITECTURAL MODELS (THE DAVIDSON AND THE LOFT)



ARCHITECTURAL MODELS (REAR ELEVATIONS)

THE DAVIDSON

THE LOFT



ARCHITECTURAL MODELS (THE PARK)



(THE PARK REAR ELEVATIONS)



STAFF RECOMMENDATION

APPROVAL with conditions

APPROVAL with conditions

Detailed Site Plan DSP-22022

Type 2 Tree Conservation Plan TCP2-005-2023

Major Issues:

N/A

Applicant Required Mailings:

- Informational Mailing 6/17/2022
- Acceptance Mailing 12/27/2022

April 25, 2023

BGH Fort Washington, LLC
c/o Haverford Homes
6110 Executive Blvd, Suite 310
Rockville, MD 20852



Re: Notification of Planning Board Action on
Detailed Site Plan DSP-22022
Hillside At Fort Washington

Dear Applicant:

This is to advise you that, on **April 20, 2023**, the above-referenced Detailed Site Plan was acted upon by the Prince George's County Planning Board in accordance with the attached Resolution.

Pursuant to Section 27-3605 of the Prince George's County Zoning Ordinance, the Planning Board's decision will become final 30 calendar days after the date of this final notice (**April 25, 2023**) of the Planning Board's decision, unless:

1. Within the 30 days, a written appeal has been filed with the District Council by the applicant or by an aggrieved person that appeared at the hearing before the Planning Board in person, by an attorney, or in writing and the review is expressly authorized in accordance with Section 25-212 of the Land Use Article of the Annotated Code of Maryland; or
2. Within the 30 days (or other period specified by Section 27-3301(c) of the Zoning Ordinance), the District Council decides, on its own motion, to review the action of the Planning Board.

(You should be aware that you will have to reactivate any permits pending the outcome of this case. If the approved plans differ from the ones originally submitted with your permit, you are required to amend the permit by submitting copies of the approved plans. For information regarding reactivating permits, you should call the County's Permit Office at 301-636-2050.)

Please direct any future communication or inquiries regarding this matter to Ms. Donna J. Brown, Clerk of the County Council, at 301-952-3600.

Sincerely,
James R. Hunt, Chief
Development Review Division

By: 
Reviewer

Attachment: PGCPB Resolution No. **2023-36**

cc: Donna J. Brown, Clerk of the County Council
Persons of Record

R E S O L U T I O N

WHEREAS, the Prince George’s County Planning Board is charged with the approval of Detailed Site Plans pursuant to Part 3, Division 9 of the Zoning Ordinance of the Prince George’s County Code; and

WHEREAS, a new Zoning Ordinance, Subtitle 27, Prince George’s County Code went into effect on April 1, 2022; and

WHEREAS, the subject property is within the Residential, Rural (RR) Zone; and

WHEREAS, the applicant, BGH Fort Washington, LLC, submitted an application for approval of a detailed site plan; and

WHEREAS, pursuant to Section 27-1704(b) of the Zoning Ordinance, projects which received development or permit approval prior to the effective date of the current ordinance may continue to be reviewed and decided in accordance with the Zoning Ordinance under which it was approved; and

WHEREAS, therefore, the Prince George’s County Planning Board of The Maryland-National Capital Park and Planning Commission reviewed this application under the Zoning Ordinance in existence prior to April 1, 2022; and

WHEREAS, in consideration of evidence presented at a public hearing on March 30, 2023, regarding Detailed Site Plan DSP-22022 for Hillside at Fort Washington, the Planning Board finds:

1. **Request:** This detailed site plan (DSP) approves 64 single-family attached dwelling units.
2. **Development Data Summary:**

	EXISTING	APPROVED
Zone(s)	RR	Prior R-R
Use(s)	Vacant/wooded	Residential
Acreage	14.11	14.11
Net tract area	14.11	14.11
Area within existing 100-year floodplain	0	0
Number of lots	19	64
Minimum lot area (square feet)	NA	1,100 sq. ft.

Other Development Data

Parking	REQUIRED	PROVIDED
Townhouse units at 2.04 x 64 units	131	128
Visitor/on-street parking	0	30
Total Parking Spaces	131	158

3. **Location:** This site is located in Fort Washington, on the east side of Oxon Hill Road, approximately 200 feet south of its intersection with Joellyn Court, and is within Planning Area 80 and Council District 8.
4. **Surrounding Uses:** The site is bounded to the east by the Henson Creek Stream Valley Park, in the Reserved Open Space (ROS) Zone; to the north by single-family detached homes in the Residential, Single-Family-95 (RSF-95) Zone; and to the west and south by Oxon Hill Road, with single-family detached residential communities in the Residential, Rural (RR) Zone beyond.
5. **Previous Approvals:** The 2006 *Approved Henson Creek-South Potomac Master Plan and Sectional Map Amendment* (master plan) retained the subject property under the prior Rural Residential (R-R) Zone.

On September 4, 2018, the Prince George’s County District Council approved Prince George’s County Council Bill CB-28-2018, for the purpose of amending the residential table of uses in the prior Prince George’s County Zoning Ordinance, to permit certain residential townhouse dwelling unit uses within the prior R-R Zone of Prince George’s County, subject to specified circumstances. The applicant has chosen to develop the subject property under the prior Zoning Ordinance.

On November 29, 2021, the District Council approved Prince George’s County Council Resolution CR-136-2021, the Countywide Sectional Map Amendment, which reclassified this property from the R-R Zone to the RR Zone, effective April 1, 2022.

The site is subject to Preliminary Plan of Subdivision (PPS) 4-21017 (PGCPB Resolution No. 2022-51), approved on April 28, 2022. This PPS covers 14.11 acres and approved 64 lots and 16 parcels for the development of 64 single-family attached dwelling units. This PPS supersedes a prior PPS, 4-05067, for the property.

6. **Design Features:** The applicant is approved to develop this 14.11-acre property with 64 townhouse units, and an approximately 12,255-square-foot recreation parcel, with a playground area. The townhouses will have access from private roads within the community, served by a single entrance on Oxon Hill Road. With the exception of seven units on the north side of the entrance to the community, all units will be rear loaded. The 17 units along Oxon Hill Road will have front facades facing the public road. The development will provide a network of sidewalks throughout the community, with connections to the existing sidewalk on Oxon Hill Road. This sidewalk will provide a direct connection to the Henson Creek Trail, located directly

south of this property. Post-top lantern style streetlights will be provided throughout the community, to foster a safe environment for the residents.

The development of the townhouses and associated infrastructure, including stormwater management (SWM), will occupy approximately 7.07 acres, with much of the remaining area to be placed in preservation.

Architecture

The applicant submitted architecture with this DSP for 20-foot-wide townhouse units, including the Davidson, Park, and Loft models. All models will be constructed on an at-grade slab foundation and will not have basements.

The Davidson model will be a two-stall, rear-load garage unit, with a base finished area of 1,767 square feet. The finishes include options such as varying shades of brick, siding, window treatments, dormers, bay windows, rear decks, and a brick water table along the foundation. The Loft model is identical to the Davidson model, but provides a rear rooftop deck. This additional rooftop feature will provide a base finished area of 2,397 square feet for the Loft units.

The Park model will offer a 2,032-square-foot base finished area, with a top level and rooftop terrace option. These units will have single vehicle front-load garages, with decorative carriage-house style doors. The design options will include varying shades of brick, siding, window treatments, dormers, bay windows, rear decks, soldier or jack-arch style window treatments with keystones, transom windows, decorative door columns, and a brick water table along the foundation.

Side elevations show a minimum of two standard architectural features; however, this requirement is included as a condition herein, to provide a note on the plan that ensures that all models have the minimum number of endwall features in a balanced composition. A separate condition, included herein, requires a note regarding a minimum of three standard endwall features, combined with a minimum of the first floor finished in brick on highly visible lots. In addition, a condition is included herein, requiring all units to have either a rooftop deck or a rear deck due to the small size of the lots and limited on-site open space.

Signage

A stone monument sign was approved for the entrance to the community. The sign will measure approximately 64-inches-high and 56 inches-wide and will be faced with an ashlar stone pattern and capped with Indiana Limestone. The sign panel will be 36 inches by 30 inches and set into the stone facing. The plan detail did not indicate if any form of illumination will be provided, so a condition has been included herein, to provide the method of lighting, if any, in the detail.

Recreational Facilities

The recreation area is located on Parcel R, is central to this community, and will be safely accessible by the network of sidewalks throughout the community. The playground within this parcel will be approximately 2,940 square feet and will include a multi-feature play structure,

swings, a climbing wall, benches, and a bike rack. The plans did not show a trash receptacle or dog waste facilities. A condition has been included herein, to provide detail for these features.

A requirement for completion of these facilities is also included as a condition herein, to ensure the timely provision of these amenities for future residents.

COMPLIANCE WITH EVALUATION CRITERIA

7. **Prince George's County Zoning Ordinance:** The subject application has been reviewed for compliance with the requirements in the prior R-R Zone and the site plan design guidelines of the Zoning Ordinance.

- a. The subject application is in conformance with the requirements of Section 27-441(b) of the prior Zoning Ordinance, which governs permitted uses in residential zones. The approved single-family attached dwellings are permitted use in the prior R-R Zone.
- b. The subject application is also in conformance with the requirements of Section 27-442, Regulations, of the prior Zoning Ordinance, regarding net lot area, lot coverage and green area, lot/width frontage, yards, building height, and density.
- c. Section 27-283 of the prior Zoning Ordinance provides guidance for DSPs. The section references the following design applicable guidelines described in Section 27-274(a) of the prior Zoning Ordinance:

(2) Parking, loading, and circulation

(C) Vehicular and pedestrian circulation on a site should be safe, efficient, and convenient for both pedestrians and drivers. To fulfill this goal, the following guidelines should be observed:

- (ix) Pedestrian and vehicular routes should generally be separate and clearly marked.**
- (x) Crosswalks for pedestrians that span vehicular lanes should be identified by the use of signs, stripes on the pavement, change of paving material, or similar techniques**
- (xi) Barrier-free pathways to accommodate the handicapped should be provided**

The applicant will provide a single point of vehicle access along Oxon Hill Road, which will allow for full turning movements to and from the site. The applicant's plan submission indicates that there is a 90-foot distance from Oxon Hill Road to the driveway for Lot 1. A queuing

analysis was provided, which considered the intersection of the site access point and Oxon Hill Road using the 95th percentile queuing as a metric to measure the vehicular calculated queue length at this location. The applicant's queuing analysis demonstrates an AM 95th percentile queue of 8 feet and a PM 95th percentile queue of 7 feet, both of which equate to less than one standard vehicle.

Regarding site circulation, the internal layout provides a continuous road network that allows vehicles to easily enter and exit the site, as well as adequate circulation to the approved dwellings. The DSP submission displays a sidewalk along the site's frontage along Oxon Hill Road, as well as an internal sidewalk network providing pedestrian movement throughout the development. A series of crosswalks are also shown on the DSP, which provide pedestrian connections where sidewalk facilities are interrupted. Bicycle parking has been provided at the community/playground area. A condition is included herein, requiring the applicant to update the plans to change the wave style bicycle rack to an inverted-U style rack or a similar model that provides two points of contact for a parked bicycle.

(3) Lighting.

- (A) For uses permitting nighttime activities, adequate illumination should be provided. Light fixtures should enhance the design character.**

Lighting on-site will consist of post-top lantern style streetlights throughout the community, to foster a safe environment for the residents.

(4) Views.

- (A) Site design techniques should be used to preserve, create, or emphasize scenic views from public areas.**

This criterion is not applicable to this site. There are no scenic views represented on or adjacent to this property.

(5) Green Area.

- (A) On-site green area should be designed to complement other site activity areas and should be appropriate in size, shape, location, and design to fulfill its intended use.**

Green areas have been established in the community as open space, playground, woodland preservation, and common greens on which many of the units are adjacent to or face. The green areas are proportional and accessible to the community.

(6) Site and streetscape amenities.

- (A) Site and streetscape amenities should contribute to an attractive, coordinated development and should enhance the use and enjoyment of the site.**

Streetscape amenities are not approved with this application; however, the plan does provide a comprehensive sidewalk network and a recreational area that is centrally located on the site.

(7) Grading.

- (A) Grading should be performed to minimize disruption to existing topography and other natural and cultural resources on the site and on adjacent sites. To the extent practicable, grading should minimize environmental impact.**

Grading is being performed to the extent necessary and is minimized to provide full preservation of the Prince George's County Woodland and Wildlife Habitat Conservation Ordinance (WCO) requirements on-site.

(10) Architecture.

- (A) When architectural considerations are referenced for review, the Conceptual Site Plan should include a statement as to how the architecture of the buildings will provide a variety of building forms, with unified, harmonious use of materials and styles.**
- (B) The guidelines shall only be used in keeping with the character and purpose of the proposed type of development and the specific zone in which it is to be located.**
- (C) These guidelines may be modified in accordance with Section 27-277.**

A conceptual site plan was not required with this application. The applicant is providing architecture, with several options, in keeping with the character of the prior R-R Zone.

(11) Townhouses and Three-Story Dwellings.

- (A) Open space areas, particularly areas separating the rears of buildings containing townhouses, should retain, to the extent possible, single or small groups of mature trees. In areas where trees are not proposed to be retained, the applicant shall demonstrate to the satisfaction of the Planning Board or the District Council, as applicable, that specific site conditions warrant the clearing of the area. Preservation of individual trees should take into account the viability of the trees after the development of the site.**
- (B) Groups of townhouses should not be arranged on curving streets in long, linear strips. Where feasible, groups of townhouses should be at right angles to each other, and should facilitate a courtyard design. In a more urban environment, consideration should be given to fronting the units on roadways.**
- (C) Recreational facilities should be separated from dwelling units through techniques such as buffering, differences in grade, or preservation of existing trees. The rears of buildings, in particular, should be buffered from recreational facilities.**
- (D) To convey the individuality of each unit, the design of abutting units should avoid the use of repetitive architectural elements and should employ a variety of architectural features and designs such as roofline, window and door treatments, projections, colors, and materials. In lieu of this individuality guideline, creative or innovative product design may be utilized.**
- (E) To the extent feasible, the rears of townhouses should be buffered from public rights-of-way and parking lots. Each application shall include a visual mitigation plan that identifies effective buffers between the rears of townhouses abutting public rights-of-way and parking lots. Where there are no existing trees, or the retention of existing vegetation is not practicable, landscaping, berming, fencing, or a combination of these techniques may be used. Alternatively, the applicant may consider designing the rears of townhouse buildings such that they have similar features to the fronts, such as reverse gables, bay windows, shutters, or trim.**
- (F) Attention should be given to the aesthetic appearance of the offsets of buildings.**

The approved townhomes are situated on a modified grid pattern, with either views of woodland preservation and green area, or located adjacent to these features. The architecture is varied with three unit-types, each containing several options for design features and materials.

8. **Preliminary Plan of Subdivision 4-21017:** On April 28, 2022, the Prince George's County Planning Board approved 4-21017, with 15 conditions (PGCPB Resolution No. 2022-51). The following conditions warrant discussion, in relation to the subject DSP:

2. Development of the site shall be in conformance with the Stormwater Management Concept Plan, 3742-2021-00, and any subsequent revisions.

The applicant submitted an approved SWM Concept Plan (37420-2021-0) and approval letter with this DSP. The Prince George's County Department of Permitting, Inspections and Enforcement (DPIE) issued the approval on January 19, 2022. The plan shows eight micro-bioretenion ponds. No SWM fee is required for providing on-site attenuation and quality control measures.

There is a larger pond shown in the northeast corner of the site, and this pond will provide an outfall structure on the adjacent Maryland-National Capital Park and Planning Commission property. This off-site outfall was approved in 2006 with DSP-06035, and with a Prince George's County Department of Public Works and Transportation permit, 3568-2007-00.

3. Prior to approval, the final plat shall include dedication of a 10-foot-wide public utility easement along the public rights-of-way, and one side of private rights-of-way, as delineated on the approved preliminary plan of subdivision.

The DSP shows 10-foot-wide public utility easements along Oxon Hill Road and along one side of Private Road A, consistent with the requirements of the prior Prince George's County Subdivision Regulations and this condition.

4. Total development within the subject property shall be limited to uses which generate no more than 45 AM peak-hour trips and 51 PM peak-hour vehicle trips. Any development generating an impact greater than that identified herein above shall require a new preliminary plan of subdivision with a new determination of the adequacy of transportation facilities.

This DSP includes a trip generation memorandum as part of the application which demonstrates conformance to the approved trip cap. This application considers 64 single-family attached dwelling units, which results in 45 AM peak-hour trips and 51 PM peak-hour trips. The Planning Board found that the subject DSP is within the trip cap established with PPS 4-21017.

7. **At time of final plat, a conservation easement shall be described by bearings and distances. The conservation easement shall contain the delineated primary management area, except for any approved impacts, and shall be reviewed by the Environmental Planning Section, prior to approval of the final plat. The following note shall be placed on the plat:**

“Conservation easements described on this plat are areas where the installation of structures and roads and the removal of vegetation are prohibited without prior written consent from the M-NCPPC Planning Director or designee. The removal of hazardous trees, limbs, branches, or trunks is allowed.”

The DSP delineates the primary management area (PMA) on-site. At the time of PPS approval, no impacts to the PMA were approved. According to the Type 2 tree conservation plan (TCP2), no impacts are approved to the on-site PMA areas.

8. **Development of this subdivision shall be in conformance with an approved Type 1 Tree Conservation Plan (TCP1-020-2021). The following note shall be placed on the final plat of subdivision:**

“Development is subject to restrictions shown on the approved Type 1 Tree Conservation Plan (TCP1-020-2021), or as modified by the Type 2 Tree Conservation Plan and precludes any disturbance or installation of any structure within specific areas. Failure to comply will mean a violation of an approved Tree Conservation Plan and will make the owner subject to mitigation under the Woodland and Wildlife Habitat Conservation Ordinance. This property is subject to the notification provisions of CB-60-2005. Copies of all approved Tree Conservation Plans for the subject property are available in the offices of the Maryland-National Capital Park and Planning Commission, Prince George’s County Planning Department.”

This DSP is in conformance with the approved Type 1 tree conservation plan. The note will be required at the time of final plat of subdivision.

9. **Prior to issuance of permits for this subdivision, a Type 2 tree conservation plan shall be approved. The following note shall be placed on the final plat of subdivision:**

“This plat is subject to the recordation of a Woodland Conservation Easement pursuant to Section 25-122(d)(1)(B) with the Liber and folio reflected on the Type 2 Tree Conservation Plan, when approved.”

The applicant submitted TCP2-005-2023 with this application, which was approved, with conditions provided herein.

10. **In accordance with Section 24-135(b) of the Prince George's County Subdivision Regulations, the applicant and the applicant's heirs, successors, and/or assignees shall provide adequate on-site recreational facilities.**
11. **The on-site recreational facilities shall be reviewed by the Urban Design Section of the Development Review Division of the Prince George's County Planning Department, for adequacy and proper siting, in accordance with the Prince George's County Park and Recreation Facilities Guidelines, with the review of the detailed site plan (DSP). Triggers for construction shall also be determined at the time of DSP.**

This application approves a multi-age playground to meet the requirements of Section 24-135(b) of the prior Subdivision Regulations. The playground will be located in a central location, with safe pedestrian access from throughout the community. The DSP shows that the construction of the playground shall be completed prior to the issuance of the 33rd building permit.

9. **2010 Prince George's County Landscape Manual:** The approved development is subject to the applicable standards of the 2010 *Prince George's County Landscape Manual* (Landscape Manual). Specifically, this application is subject to conformance with Section 4.1, Residential Requirements; Section 4.6, Buffering Development from Streets; Section 4.7, Buffering Incompatible Uses; Section 4.9, Sustainable Landscaping; and Section 4.10, Street Trees Along Private Streets, of the Landscape Manual. The required plantings and schedules have been provided on the submitted landscape plan, demonstrating conformance with these sections,
10. **2010 Prince George's County Woodland and Wildlife Habitat Conservation Ordinance:** This property is subject to the WCO because the property is greater than 40,000 square feet in size and contains more than 10,000 square feet of existing woodland. TCP2-005-2023 was submitted with this DSP application.

Based on the TCP2, the overall site contains 12.30 acres of net tract woodlands. The plan will clear 7.18 acres of on-site woodlands and 0.04 acre of off-site woodlands for a woodland conservation requirement of 4.66 acres. The TCP2 and woodland conservation worksheet show 4.66 acres of on-site preservation to meet the woodland requirement.

11. **Prince George's County Tree Canopy Coverage Ordinance:** Subtitle 25, Division 3 of the Prince George's County Code requires a minimum percentage of tree canopy coverage (TCC) on projects that require a grading or building permit for more than 5,000 square feet of disturbance. Properties in the prior R-R Zone are required to provide a minimum of 15 percent of the gross tract area in TCC. According to the TCC schedule, the site is 14.11 acres, resulting in a TCC requirement of 2.12 acres. The schedule shows that the requirement will be met on-site through a combination of woodland preservation and landscaping.

12. **Referral Comments:** The subject application was referred to the concerned agencies and divisions. The referral comments are summarized, as follows, and are incorporated herein by reference:

- a. **Historic Preservation**—The Planning Board has reviewed and adopts the memorandum dated January 17, 2023, incorporated herein by reference, which provided an evaluation that a Phase I archeology survey was completed on the property in 2006. No archeological sites were identified, and no additional archeology reviews were recommended. The subject property does not contain and is not adjacent to any designated Prince George’s County historic sites or resources.
- b. **Community Planning**—The Planning Board has reviewed and adopts the memorandum dated February 21, 2023 (Calomese to Burke), incorporated herein by reference, which provided a detailed description of the zoning history and an evaluation of the application.
- c. **Transportation Planning**—The Planning Board has reviewed and adopts the memorandum dated February 24, 2023 (Ryan to Burke), incorporated herein by reference, which offered the following review comments:

This property has frontage on Oxon Hill Road (C-708), along the western bounds of the site. Per the 2009 *Approved Countywide Master Plan of Transportation* (MPOT) and the master plan, the portion of Oxon Hill Road that fronts the subject property is designated as a collector roadway, with an ultimate right-of-way width of 80 feet. The DSP submission accurately displays this information, which is consistent with master plan recommendations. In addition, the plans depict 40 feet of right-of-way from the Oxon Hill Road center line to the property boundary, which contains the entirety of the sidewalk and bicycle lane which front the subject property.

The master plan recommended bicycle lane along the site’s frontage of Oxon Hill Road is accurately displayed on the DSP submission. A continuous sidewalk facility is also shown along the site’s frontage of Oxon Hill Road. In addition, the sidewalk network along Oxon Hill Road connects to the existing Henson Creek Trail located directly south of the subject site. The Planning Board found that these facilities adequately serve the goals and policies and further bicycle and pedestrian movement within the site and its immediate surroundings, as recommended in the MPOT and master plan..

- d. **Subdivision**—The Planning Board has reviewed and adopts the memorandum dated February 24, 2023 (Diaz-Campbell to Burke), incorporated herein by reference, which provided an evaluation of this proposal and offered the following comment:

The property currently consists of Lots 1–19, Parcels A and B, and two public streets (Trattoria Drive and Lerna Lane), as part of the subdivision of Fort Washington Ridge recorded in Plat Book PM 218 pages 55 and 56. The property was platted pursuant to prior PPS 4-05067. A new final plat will be required following this approved DSP, in order to plat the property, in accordance with PPS 4-21017, before permits can be

approved. Prior to approval of a final plat for the current PPS, a vacation petition to vacate the rights-of-way for public streets Trattoria Drive and Lerna Lane will be required.

- e. **Prince George’s County Department of Parks and Recreation (DPR)**—The Planning Board has reviewed and adopts the email dated March 1, 2023 (Thompson to Burke), incorporated herein by reference, which provided a reference to the PPS conditions regarding the on-site private recreational facilities.
- f. **Environmental Planning**—The Planning Board has reviewed and adopts the memorandum dated March 2, 2023 (Schneider to Burke), incorporated herein by reference, which provided an evaluation of the previous approvals and the current proposal contained herein, and summarized as follows:

Natural Resources Inventory

An approved Natural Resources Inventory Plan, NRI-072-05-01, was submitted with the review package, which was approved on February 20, 2020. The TCP2 and DSP show the required information in conformance with the NRI. No revisions are required for conformance to the NRI.

Specimen Trees

Section 25-122(b)(1)(G) of the Prince George’s County Code requires that “Specimen trees, champion trees, and trees that are part of a historic site or are associated with a historic structure shall be preserved and the design shall either preserve the critical root zone of each tree in its entirety or preserve an appropriate percentage of the critical root zone in keeping with the tree’s condition and the species’ ability to survive construction as provided in the Technical Manual.”

The site contains 49 specimen trees, 15 of which were approved for removal by the Planning Board with the approval of PPS 4-21017. This DSP shows no new specimen tree impacts.

Soils

The predominant soils found to occur on-site, according to the United States Department of Agriculture, Natural Resources Conservation Service, Web Soil Survey, are Beltsville silt loam, Beltsville-Urban land complex, Sassafras-Croom soils, and Sassafras–Urban land complex soils. Marlboro clay and Christiana complexes are not found on or near this property.

- g. **Prince George’s County Fire Department**—As of the writing of this resolution, the Fire Department did not provide comments.
- h. **Prince George’s County Department of Permitting, Inspections, and Enforcement (DPIE)**—The Planning Board has reviewed and adopts the memorandum dated

March 7, 2023 (Giles to Burke), incorporated herein by reference, which provided an evaluation of the public road and SWM requirements.

- i. **Prince George's County Police Department**—As of the writing of this resolution, the Police Department did not provide comments.
 - j. **Prince George's County Health Department**—The Planning Board has reviewed and adopts the memorandum dated January 14, 2023 (Adepoju to Burke), incorporated herein by reference, which provided comments related to the site's proximity to food sources and noise and dust controls. A condition to add the comments regarding noise and dust controls during the development of the site to the general notes of the DSP has been included herein.
 - k. **Washington Suburban Sanitary Commission (WSSC)**—As of the writing of this resolution, WSSC did not provide comments.
13. Based on the foregoing analysis, and as required by Section 27-285(b) of the prior Zoning Ordinance, the DSP represents a reasonable alternative for satisfying the site design guidelines of Subtitle 27, Part 3, Division 9, of the Prince George's County Code without requiring unreasonable cost and without detracting substantially from the utility of the approved development for its intended use.
14. As required by Section 27-285(b)(4) of the prior Zoning Ordinance, which became effective on September 1, 2010, a required finding for approval of a DSP is as follows:
- (4) The Planning Board may approve a Detailed Site Plan if it finds that the regulated environmental features have been preserved and/or restored in a natural state to the fullest extent possible in accordance with the requirement of Subtitle 24-130(b)(5).**

The regulated environmental features on this property have been preserved and/or restored to the fullest extent possible, consistent with conservation easements approved at the time of final plat.

NOW, THEREFORE, BE IT RESOLVED, that pursuant to Subtitle 27 of the Prince George's County Code, the Prince George's County Planning Board of The Maryland-National Capital Park and Planning Commission adopted the findings contained herein and APPROVED Type 2 Tree Conservation Plan TCP2-005-2023, and further APPROVED Detailed Site Plan DSP-22022 for the above-described land, subject to the following conditions:

1. Prior to certificate approval of this detailed site plan (DSP), the applicant shall:
 - a. Provide a note requiring a minimum of two standard endwall features, in a balanced composition, on all house models.
 - b. Provide a note requiring a minimum of three standard endwall features, combined with a minimum of the first floor finished in brick, in a balanced composition, on all corner and

highly visible lots, including Lots 1, 7, 8, 20, 21, 27, 32, 33, 44, 45, 49, 50, 55, 56, and 64.

- c. Provide an exhibit in the DSP plan set that identifies the corner and highly visible lots.
 - d. Provide a note that all units shall have either a rooftop deck or a minimum 4-foot-deep cantilevered rear deck.
 - e. Provide the method of illumination, if any, on the entrance sign detail.
 - f. Provide a trash receptacle in the playground area and a detail on the plan.
 - g. Provide a minimum of two dog waste stations on the site and a detail on the plan.
 - h. Revise the DSP detail sheets to change the bicycle rack from a wave style to an inverted-U style or similar model that provides two points of contact for a parked bicycle.
 - i. Provide the following notes on the DSP:
 - (1) During the construction phases of this project, no dust should be allowed to cross over property lines and impact adjacent properties. Indicate intent to conform to construction activity dust control requirements, as specified in the 2011 Maryland Standards and Specifications for Soil Erosion and Sediment Control.
 - (2) During the construction phases of this project, noise should not be allowed to adversely impact activities on the adjacent properties. Indicate intent to conform to construction activity noise control requirements, as specified in Subtitle 19 of the Prince George's County Code.
 - j. Provide the current Maryland-National Capital Park and Planning Commission approval block on all plans to be certified.
2. Prior to approval of the 33rd building permit, the applicant shall demonstrate that all on-site recreational facilities have been fully constructed, are operational, and have been inspected by the Maryland-National Capital Park and Planning Commission.


BE IT FURTHER RESOLVED, that an appeal of the Planning Board's action must be filed with the District Council of Prince George's County within thirty (30) days following the final notice of the Planning Board's decision.

* * * * *

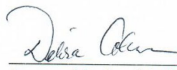
This is to certify that the foregoing is a true and correct copy of the action taken by the Prince George's County Planning Board of The Maryland-National Capital Park and Planning Commission on the motion of Commissioner Washington, seconded by Commissioner Geraldo, with Commissioners Washington, Geraldo, and Shapiro voting in favor of the motion, and with Commissioners Bailey and Doerner absent at its regular meeting held on Thursday, March 30, 2023, in Upper Marlboro, Maryland.

Adopted by the Prince George's County Planning Board this 20th day of April 2023.

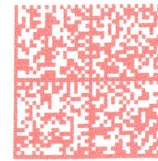
Peter A. Shapiro
Chairman

By 
Jessica Jones
Planning Board Administrator

PAS:JJ:TB:jah


Approved for Legal Sufficiency
M-NCPPC Office of General
Counsel

Dated 4/19/23



US POSTAGETM PITNEY BOWES



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CASE NO: DSP-22022
CASE NAME: HILLSIDE AT FORT
WASHINGTON
PARTY OF RECORD: 10
PB DATE: 4-20-2023

P.S.C.

BGH FORT WASHINGTON
6110 EXECUTIVE AVENUE SUITE 310
ROCKVILLE MD 20852
(CASE NUMBER: DSP-22022)

MICHAEL LENHART
645 B&A BOULEVARD SUITE 214
SEVERNA PARK MD 21146
(CASE NUMBER: DSP-22022)

SEVAG BALIAN
HAVERFORD HOMES
6110 EXECUTIVE BOULEVARD SUITE 310
ROCKVILLE MD 20852
(CASE NUMBER: DSP-22022)

GUTSCHICK, LITTLE & WEBER, P.A.
3909 NATIONAL DRIVE SUITE 250
BURTONSVILLE MD 20866
(CASE NUMBER: DSP-22022)

THOMAS ZYLA
GUTSCHICK, LITTLE & WEBER
3909 NATIONAL DRIVE SUITE 250
BURTONSVILLE MD 20866
(CASE NUMBER: DSP-22022)

TIM LONGFELLOW
3909 NATIONAL DRIVE
BURTONSVILLE MD 20866
(CASE NUMBER: DSP-22022)

MR. JOSEPH E SPENCER
CITIZEN
128 CROSS FOXES DRIVE
FORT WASHINGTON MD 20744 -5565
(CASE NUMBER: DSP-22022)

MR. ALBERT SLOCUM JR.
8010 HOMEFIELD DRIVE
HYATTSVILLE MD 20785
(CASE NUMBER: DSP-22022)

DAVID OWENS
FORT WASHINGTON FORWARD
938 SWAN CREEK ROAD EAST SUITE 123
FORT WASHINGTON MD 20744
(CASE NUMBER: DSP-22022)

MR. DAVID OWENS
FORT WASHINGTON FORWARD
938 SWAN CREEK ROAD EAST SUITE #123
FORT WASHINGTON MD 20744
(CASE NUMBER: DSP-22022)

NOTICE OF PUBLIC HEARING

Application Number: DSP-22022

Application Name: HILLSIDE AT FORT WASHINGTON

Date and Time of Planning Board Hearing: Thursday, March 30, 2023 @ 10:00 a.m. EST

Description of Request: DEVELOPMENT OF 64 TOWNHOUSES.

Address or Location: ON THE EAST SIDE OF OXON HILL ROAD, APPROXIMATELY 200 FEET SOUTH OF ITS INTERSECTION WITH JOELLYN COURT.

This Notice of Public Hearing is sent to you, a registered **person of record (or a registered civic association or municipality) for the subject application.**

This Notice also provides information about Planning Board procedures. A technical staff report (TSR), with a recommendation to the Planning Board (Board), will be prepared by the assigned reviewer and published to the Planning Department's website within one to two weeks prior to the scheduled hearing date (noted above). Technical staff reports may be viewed online and printed. Within three weeks of the Board's hearing and decision, a formal resolution will be adopted by the Board and published on the website for viewing and printing. If you have any questions about the process, please contact the Development Review Division at 301-952-3530.

All Planning Board hearings are scheduled to begin at 10:00 a.m. The order of the agenda items is for the convenience of the Planning Board and is subject to change without notice. If you would like to become a party of record, visit our website at http://www.mncppcapps.org/planning/Person_of_Record/default.cfm.

The Planning Board encourages the participation of all individuals to include those with special needs; advanced notice is encouraged. For special needs assistance, please call 301-952-4584. If you wish to receive the Planning Board Agenda and other published reports by e-mail, please sign up at http://www.pgplanning.org/Planning_Board/Agenda_Subscribe.htm and be sure to visit www.pgplanning.org for the latest information on all Department projects.

Attention: Due to COVID-19, Planning Board meetings are held virtually and may be viewed at <http://mncppc.iqm2.com/Citizens/Default.aspx>. If you wish to speak at the public hearing, registration must be received by 12 noon on Tuesday before the meeting; please register at <http://pgplanningboard.org/883/Watch-Meetings>. Submit comments and supporting documentation into the record by emailing PGCPB@mncppc.org, also by 12 noon on Tuesday before the meeting.

CASE NO: DSP-22022
CASE NAME: HILLSIDE AT FORT WASHINGTON
PARTY OF RECORD: § 4
PB DATE:

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BGH FORT WASHINGTON
6110 EXECUTIVE AVENUE SUITE 310
ROCKVILLE MD 20852
(CASE NUMBER: DSP-22022)

GUTSCHICK, LITTLE & WEBER, P.A.
3909 NATIONAL DRIVE SUITE 250
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FORT WASHINGTON FORWARD
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FORT WASHINGTON MD 20744
(CASE NUMBER: DSP-22022)

~~MR. DAVID OWENS~~
~~FORT WASHINGTON FORWARD~~
~~938 SWAN CREEK ROAD EAST SUITE #123~~
~~FORT WASHINGTON MD 20744~~
(CASE NUMBER: DSP-22022) **DUPLICATE**





The Maryland-National Capital Park and Planning Commission
 Prince George's County Planning Department
 Development Review Division
 301-952-3530

Note: Staff reports can be accessed at <http://mncppc.iqm2.com/Citizens/Default.aspx>

Detailed Site Plan Hillside at Fort Washington

DSP-22022

REQUEST	STAFF RECOMMENDATION
Development of 64 single-family attached dwelling units.	With the conditions recommended herein: <ul style="list-style-type: none"> • APPROVAL of Detailed Site Plan DSP-22022 • APPROVAL of Type 2 Tree Conservation Plan TCP2-005-2023

Location: On the east side of Oxon Hill Road, approximately 200 feet south of its intersection with Joellyn Court.	
Gross Acreage:	14.11
Zone:	RR
Zone Prior:	R-R
Reviewed per prior Zoning Ordinance:	Section 27-1704(b)
Dwelling Units:	64
Gross Floor Area:	N/A
Planning Area:	80
Council District:	08
Municipality:	N/A
Applicant/Address: BGH Fort Washington, LLC c/o Haverford Homes 6110 Executive Blvd, Suite 310 Rockville, MD 20852	
Staff Reviewer: Tom Burke Phone Number: 301-952-2739 Email: Thomas.Burke@ppd.mncppc.org	



Planning Board Date:	03/30/2023
Planning Board Action Limit:	03/30/2023
Staff Report Date:	03/10/2023
Date Accepted:	01/10/2023
Informational Mailing:	06/17/2022
Acceptance Mailing:	12/27/2022
Sign Posting Deadline:	02/28/2023

The Planning Board encourages all interested persons to request to become a person of record for this application. Requests to become a person of record may be made online at http://www.mncppcapps.org/planning/Person_of_Record/. Please call 301-952-3530 for additional information.

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MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

PRINCE GEORGE'S COUNTY PLANNING BOARD

STAFF REPORT

SUBJECT: Detailed Site Plan DSP-22022
Type 2 Tree Conservation Plan TCP2-005-2023
Hillside at Fort Washington

The Urban Design staff has completed the review of the detailed site plan and appropriate referrals. The following evaluation and findings lead to a recommendation of APPROVAL, with conditions, as described in the Recommendation section of this technical staff report.

EVALUATION CRITERIA

This property is within the Residential, Rural (RR) Zone; however, this application is being reviewed and evaluated in accordance with the prior Prince George's County Zoning Ordinance, pursuant to Section 27-1704(b) of the Zoning Ordinance, which allows an application for a project with an existing approval under the prior Zoning Ordinance or Subdivision Regulations, to be reviewed and approved under the prior Zoning Ordinance. This detailed site plan was reviewed and evaluated for conformance with the following criteria:

- a. The requirements of the prior Prince George's County Zoning Ordinance, specifically for the Rural Residential (R-R) Zone.
- b. The requirements of Preliminary Plan of Subdivision 4-21017.
- c. The requirements of the 2010 *Prince George's County Landscape Manual*.
- d. The requirements of the 2010 Prince George's County Woodland and Wildlife Habitat Conservation Ordinance.
- e. The requirements of the Prince George's County Tree Canopy Coverage Ordinance.
- f. Referral comments.

FINDINGS

Based upon the analysis of the subject detailed site plan, the Urban Design staff recommends the following findings:

1. **Request:** The subject application is for approval of a detailed site plan (DSP) for 64 single-family attached dwelling units.

2. **Development Data Summary:**

	EXISTING	PROPOSED
Zone(s)	RR	Prior R-R
Use(s)	Vacant/wooded	Residential
Acreage	14.11	14.11
Net tract area	14.11	14.11
Area within existing 100-year floodplain	0	0
Number of lots	19	64
Minimum lot area (square feet)	NA	1,100 sq. ft.

Other Development Data

Parking	REQUIRED	PROVIDED
Townhouse units at 2.04 x 64 units	131	128
Visitor/on-street parking	0	30
Total Parking Spaces	131	158

3. **Location:** This site is located in Fort Washington, on the east side of Oxon Hill Road, approximately 200 feet south of its intersection with Joellyn Court, and is within Planning Area 80 and Council District 8.

4. **Surrounding Uses:** The site is bounded to the east by the Henson Creek Stream Valley Park, in the Reserved Open Space Zone; to the north by single-family detached homes in the Residential, Single-Family-95 Zone; and to the west and south by Oxon Hill Road, with single-family detached residential communities in the Residential, Rural (RR) Zone beyond.

5. **Previous Approvals:** The 2006 *Approved Henson Creek-South Potomac Master Plan and Sectional Map Amendment* (master plan) retained the subject property under the prior Rural Residential (R-R) Zone.

On September 4, 2018, the Prince George’s County District Council approved Prince George’s County Council Bill CB-28-2018, for the purpose of amending the residential table of uses in the prior Prince George’s County Zoning Ordinance, to permit certain residential townhouse dwelling unit uses within the prior R-R Zone of Prince George’s County, subject to specified circumstances. The applicant has chosen to develop the subject property under the prior Zoning Ordinance.

On November 29, 2021, the District Council approved Prince George’s County Council Resolution CR-136-2021, the Countywide Sectional Map Amendment, which reclassified this property from the R-R Zone to the RR Zone, effective April 1, 2022.

The site is subject to Preliminary Plan of Subdivision (PPS) 4-21017 (PGCPB Resolution No. 2022-51), approved on April 28, 2022. This PPS covers 14.11 acres and approved 64 lots and 16 parcels for the development of 64 single-family attached dwelling units. This PPS supersedes a prior PPS, 4-05067, for the property.

6. **Design Features:** The applicant proposes to develop this 14.11-acre property with 64 townhouse units, and an approximately 12,255-square-foot recreation parcel, with a playground area. The townhouses will have access from private roads within the community, served by a single entrance on Oxon Hill Road. With the exception of seven units on the north side of the entrance to the community, all units will be rear loaded. The 17 units along Oxon Hill Road will have front facades facing the public road. The development will provide a network of sidewalks throughout the community, with connections to the existing sidewalk on Oxon Hill Road. This sidewalk will provide a direct connection to the Henson Creek Trail, located directly south of this property. Post-top lantern style streetlights will be provided throughout the community, to foster a safe environment for the residents.

The development of the townhouses and associated infrastructure, including stormwater management (SWM), will occupy approximately 7.07 acres, with much of the remaining area to be placed in preservation.

Architecture

The applicant has submitted architecture with this DSP for 20-foot-wide townhouse units, including the Davidson, Park, and Loft models. All models will be constructed on an at-grade slab foundation and will not have basements.



Figure 1. The Davidson and Loft units

The Davidson model will be a two-stall, rear-load garage unit, with a base finished area of 1,767 square feet. The finishes include options such as varying shades of brick, siding, window treatments, dormers, bay windows, rear decks, and a brick water table along the

foundation. The Loft model is identical to the Davidson model, but provides a rear rooftop deck, as pictured in Figure 2 below. This additional rooftop feature will provide a base finished area of 2,397 square feet for the Loft units.



Figure 2. The Loft rear facades

The Park model will offer a 2,032-square-foot base finished area, with a top level and rooftop terrace option. These units will have single vehicle front-load garages, with decorative carriage-house style doors. The design options will include varying shades of brick, siding, window treatments, dormers, bay windows, rear decks, soldier or jack-arch style window treatments with keystones, transom windows, decorative door columns, and a brick water table along the foundation.

All side elevations show a minimum of two standard architectural features; however, this requirement is included as a condition herein, to provide a note on the plan that ensures that all models have the minimum number of endwall features in a balanced composition. A separate condition requires a note regarding a minimum of three standard endwall features, combined with a minimum of the first floor finished in brick on highly visible lots. In addition, a condition is included herein, requiring all units to have either a rooftop deck or a rear deck due to the small size of the lots and limited on-site open space.



Figure 3. The Park units

Signage

A stone monument sign is proposed at the entrance to the community. The sign will measure approximately 64-inches-high and 56 inches wide and will be faced with an ashlar stone pattern and capped with Indiana Limestone. The sign panel will be 36 inches by 30 inches and set into the stone facing. The plan detail does not indicate if any form of illumination will be provided, so a condition has been included herein, to provide the method of lighting, if any, in the detail.

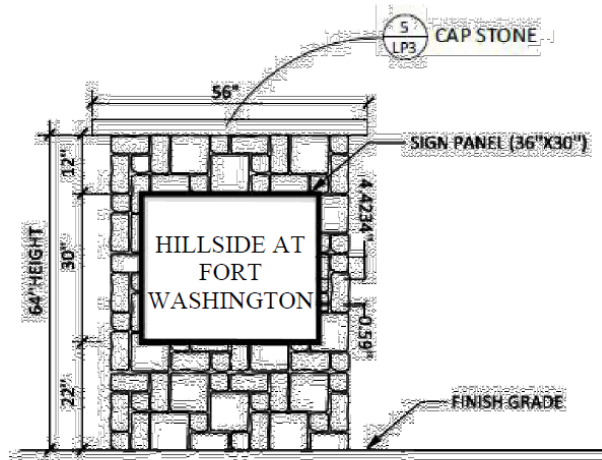


Figure 4. Entrance monument

Recreational Facilities

The recreation area is located on Parcel R, is central to this community, and will be safely accessible by the network of sidewalks throughout the community. The playground within this parcel will be approximately 2,940 square feet and will include a multi-feature play structure, swings, a climbing wall, benches, and a bike rack. The plans do not show a trash receptacle or dog waste facilities. A condition is included herein, to provide these detail features.

A requirement for the completion of these facilities is included as a condition herein, to ensure the timely provision of these amenities for future residents.

COMPLIANCE WITH EVALUATION CRITERIA

7. **Prince George's County Zoning Ordinance:** The subject application has been reviewed for compliance with the requirements in the prior R-R Zone and the site plan design guidelines of the Zoning Ordinance.
- a. The subject application is in conformance with the requirements of Section 27-441(b) of the prior Zoning Ordinance, which governs permitted uses in residential zones. The proposed single-family attached dwellings are a permitted use in the prior R-R Zone.
 - b. The proposal is also in conformance with the requirements of Section 27-442, Regulations, of the prior Zoning Ordinance, regarding net lot area, lot coverage and green area, lot/width frontage, yards, building height, and density.
 - c. Section 27-283 of the prior Zoning Ordinance provides guidance for DSPs. The section references the following design applicable guidelines described in Section 27-274(a) of the prior Zoning Ordinance:

(2) Parking, loading, and circulation

(C) Vehicular and pedestrian circulation on a site should be safe, efficient, and convenient for both pedestrians and drivers. To fulfill this goal, the following guidelines should be observed:

- (ix) Pedestrian and vehicular routes should generally be separate and clearly marked.**
- (x) Crosswalks for pedestrians that span vehicular lanes should be identified by the use of signs, stripes on the pavement, change of paving material, or similar techniques**
- (xi) Barrier-free pathways to accommodate the handicapped should be provided**

The applicant proposes a single point of vehicle access along Oxon Hill Road, which will allow for full turning movements to and from the site. The applicant's plan submission indicates that a 90-foot distance is proposed from Oxon Hill Road to the proposed driveway for Lot 1, and provided a queuing analysis which considered the intersection of the site access point and Oxon Hill Road using the 95th percentile queuing as a metric to measure the vehicular calculated queue length at this location. The applicant's queuing analysis demonstrates an AM 95th percentile queue of 8 feet and a

PM 95th percentile queue of 7 feet, both of which equate to less than one standard vehicle.

Regarding site circulation, the internal layout provides a continuous road network that allows vehicles to easily enter and exit the site, as well as adequate circulation to the proposed dwellings. The latest DSP submission displays a sidewalk along the site's frontage along Oxon Hill Road, as well as an internal sidewalk network providing pedestrian movement throughout the development. A series of crosswalks are also shown on the DSP, which provide pedestrian connections where sidewalk facilities are interrupted. Bicycle parking has been provided at the community/playground area. A condition is included herein, requiring the applicant to update the plans to change the wave style bicycle rack to an inverted-U style rack or a similar model that provides two points of contact for a parked bicycle.

(3) Lighting.

- (A) For uses permitting nighttime activities, adequate illumination should be provided. Light fixtures should enhance the design character.**

Lighting on-site will consist of post-top lantern style streetlights throughout the community, to foster a safe environment for the residents.

(4) Views.

- (A) Site design techniques should be used to preserve, create, or emphasize scenic views from public areas.**

This criterion is not applicable to this site. There are no scenic views represented on or adjacent to this property.

(5) Green Area.

- (A) On-site green area should be designed to complement other site activity areas and should be appropriate in size, shape, location, and design to fulfill its intended use.**

Green areas have been established in the community as open space, playground, woodland preservation, and common greens on which many of the units are adjacent to or face. The green areas are proportional and accessible to the community.

(6) Site and streetscape amenities.

- (A) Site and streetscape amenities should contribute to an attractive, coordinated development and should enhance the use and enjoyment of the site.**

Streetscape amenities are not proposed with this application; however, the plan does provide a comprehensive sidewalk network and a recreational area that is centrally located on the site.

(7) Grading.

- (A) Grading should be performed to minimize disruption to existing topography and other natural and cultural resources on the site and on adjacent sites. To the extent practicable, grading should minimize environmental impact.**

Grading is being performed to the extent necessary and is minimized to provide full preservation of the Prince George's County Woodland and Wildlife Habitat Conservation Ordinance (WCO) requirements on-site.

(10) Architecture.

- (A) When architectural considerations are referenced for review, the Conceptual Site Plan should include a statement as to how the architecture of the buildings will provide a variety of building forms, with unified, harmonious use of materials and styles.**
- (B) The guidelines shall only be used in keeping with the character and purpose of the proposed type of development and the specific zone in which it is to be located.**
- (C) These guidelines may be modified in accordance with Section 27-277.**

A conceptual site plan was not required with this application. The applicant is providing architecture, with several options, in keeping with the character of the prior R-R Zone.

(11) Townhouses and Three-Story Dwellings.

- (A) Open space areas, particularly areas separating the rears of buildings containing townhouses, should retain, to the extent possible, single or small groups of mature trees. In areas where trees are not proposed to be retained, the applicant shall demonstrate to the satisfaction of the Planning Board or the District Council, as applicable, that specific site conditions**

warrant the clearing of the area. Preservation of individual trees should take into account the viability of the trees after the development of the site.

- (B) Groups of townhouses should not be arranged on curving streets in long, linear strips. Where feasible, groups of townhouses should be at right angles to each other, and should facilitate a courtyard design. In a more urban environment, consideration should be given to fronting the units on roadways.
- (C) Recreational facilities should be separated from dwelling units through techniques such as buffering, differences in grade, or preservation of existing trees. The rears of buildings, in particular, should be buffered from recreational facilities.
- (D) To convey the individuality of each unit, the design of abutting units should avoid the use of repetitive architectural elements and should employ a variety of architectural features and designs such as roofline, window and door treatments, projections, colors, and materials. In lieu of this individuality guideline, creative or innovative product design may be utilized.
- (E) To the extent feasible, the rears of townhouses should be buffered from public rights-of-way and parking lots. Each application shall include a visual mitigation plan that identifies effective buffers between the rears of townhouses abutting public rights-of-way and parking lots. Where there are no existing trees, or the retention of existing vegetation is not practicable, landscaping, berming, fencing, or a combination of these techniques may be used. Alternatively, the applicant may consider designing the rears of townhouse buildings such that they have similar features to the fronts, such as reverse gables, bay windows, shutters, or trim.
- (F) Attention should be given to the aesthetic appearance of the offsets of buildings.

The proposed townhomes are situated on a modified grid pattern, with either views of woodland preservation and green area, or located adjacent to these features. The architecture is varied with three unit-types, each containing several options for design features and materials.

8. **Preliminary Plan of Subdivision 4-21017:** On April 28, 2022, the Prince George's County Planning Board approved 4-21017, with 15 conditions (PGCPB Resolution No. 2022-51). The following conditions warrant discussion, in relation to the subject DSP:

2. Development of the site shall be in conformance with the Stormwater Management Concept Plan, 3742-2021-00, and any subsequent revisions.

The applicant submitted an approved SWM Concept Plan (37420-2021-0) and approval letter with this DSP. The Prince George's County Department of Permitting, Inspections and Enforcement (DPIE) issued the approval on January 19, 2022. The plan proposes to use eight micro-bioretenion ponds. No SWM fee is required for providing on-site attenuation and quality control measures.

There is a larger pond proposed in the northeast corner of the site, and this pond will provide a proposed outfall structure on the adjacent Maryland-National Capital Park and Planning Commission property. This proposed off-site outfall was approved in 2006 with DSP-06035, and with a Prince George's County Department of Public Works and Transportation permit, No. 3568-2007-00.

3. Prior to approval, the final plat shall include dedication of a 10-foot-wide public utility easement along the public rights-of-way, and one side of private rights-of-way, as delineated on the approved preliminary plan of subdivision.

The DSP shows 10-foot-wide public utility easements along Oxon Hill Road and along one side of Private Road A, consistent with the requirements of the prior Prince George's County Subdivision Regulations and this condition.

4. Total development within the subject property shall be limited to uses which generate no more than 45 AM peak-hour trips and 51 PM peak-hour vehicle trips. Any development generating an impact greater than that identified herein above shall require a new preliminary plan of subdivision with a new determination of the adequacy of transportation facilities.

This DSP includes a trip generation memorandum as part of the application which demonstrates conformance to the approved trip cap. This application considers 64 single-family attached dwelling units, which results in 45 AM peak-hour trips and 51 PM peak-hour trips. Staff finds that the subject DSP is within the trip cap established with PPS 4-21017.

7. At time of final plat, a conservation easement shall be described by bearings and distances. The conservation easement shall contain the delineated primary management area, except for any approved impacts, and shall be reviewed by the Environmental Planning Section, prior to approval of the final plat. The following note shall be placed on the plat:

"Conservation easements described on this plat are areas where the installation of structures and roads and the removal of vegetation are prohibited without prior written consent from the M-NCPPC Planning Director or designee. The removal of hazardous trees, limbs, branches, or trunks is allowed."

The DSP delineates the primary management area (PMA) on-site. At the time of PPS approval, no impacts to the PMA were proposed or approved. According to the Type 2 tree conservation plan (TCP2), no impacts are proposed to the on-site PMA areas.

8. **Development of this subdivision shall be in conformance with an approved Type 1 Tree Conservation Plan (TCP1-020-2021). The following note shall be placed on the final plat of subdivision:**

“Development is subject to restrictions shown on the approved Type 1 Tree Conservation Plan (TCP1-020-2021), or as modified by the Type 2 Tree Conservation Plan and precludes any disturbance or installation of any structure within specific areas. Failure to comply will mean a violation of an approved Tree Conservation Plan and will make the owner subject to mitigation under the Woodland and Wildlife Habitat Conservation Ordinance. This property is subject to the notification provisions of CB-60-2005. Copies of all approved Tree Conservation Plans for the subject property are available in the offices of the Maryland-National Capital Park and Planning Commission, Prince George’s County Planning Department.”

This DSP is in conformance with the approved Type 1 tree conservation plan. The note will be required at the time of final plat of subdivision.

9. **Prior to issuance of permits for this subdivision, a Type 2 tree conservation plan shall be approved. The following note shall be placed on the final plat of subdivision:**

“This plat is subject to the recordation of a Woodland Conservation Easement pursuant to Section 25-122(d)(1)(B) with the Liber and folio reflected on the Type 2 Tree Conservation Plan, when approved.”

The applicant submitted TCP2-005-2023 with this application and is recommended for approval with conditions provided herein.

10. **In accordance with Section 24-135(b) of the Prince George’s County Subdivision Regulations, the applicant and the applicant’s heirs, successors, and/or assignees shall provide adequate on-site recreational facilities.**

11. **The on-site recreational facilities shall be reviewed by the Urban Design Section of the Development Review Division of the Prince George’s County Planning Department, for adequacy and proper siting, in accordance with the Prince George’s County Park and Recreation Facilities Guidelines, with the review of the detailed site plan (DSP). Triggers for construction shall also be determined at the time of DSP.**

The applicant proposes a multi-age playground to meet the requirements of Section 24-135(b) of the prior Subdivision Regulations. The playground is proposed in a central location, with safe, pedestrian access from throughout the community. The DSP shows that the construction of the playground shall be completed prior to the issuance of the 33rd building permit.

9. **2010 Prince George’s County Landscape Manual:** The proposed development is subject to the applicable standards of the 2010 *Prince George’s County Landscape Manual* (Landscape Manual). Specifically, this application is subject to conformance with Section 4.1, Residential Requirements; Section 4.6, Buffering Development from Streets; Section 4.7, Buffering Incompatible Uses; Section 4.9, Sustainable Landscaping; and Section 4.10, Street Trees Along Private Streets, of the Landscape Manual. The required plantings and schedules have been provided on the submitted landscape plan, demonstrating conformance with these sections,
10. **2010 Prince George’s County Woodland and Wildlife Habitat Conservation Ordinance:** This property is subject to the WCO because the property is greater than 40,000 square feet in size and contains more than 10,000 square feet of existing woodland. TCP2-005-2023 was submitted with this DSP application.

Based on the TCP2, the overall site contains 12.30 acres of net tract woodlands. The plan shows a proposal to clear 7.18 acres of on-site woodlands and 0.04 acre of off-site woodlands for a woodland conservation requirement of 4.66 acres. Currently, the TCP2 and woodland conservation worksheet show 4.66 acres of on-site preservation to meet the woodland requirement.

11. **Prince George’s County Tree Canopy Coverage Ordinance:** Subtitle 25, Division 3 of the Prince George’s County Code requires a minimum percentage of tree canopy coverage (TCC) on projects that require a grading or building permit for more than 5,000 square feet of disturbance. Properties in the prior R-R Zone are required to provide a minimum of 15 percent of the gross tract area in TCC. According to the TCC schedule, the site is 14.11 acres, resulting in a TCC requirement of 2.12 acres. The schedule shows that the requirement will be met on-site through a combination of woodland preservation and proposed landscaping.
12. **Referral Comments:** The subject application was referred to the concerned agencies and divisions. The referral comments are summarized as follows:
 - a. **Historic Preservation**—In a memorandum dated January 17, 2023, incorporated herein by reference, the Historic Preservation Section provided an evaluation that a Phase I archeology survey was completed on the property in 2006. No archeological sites were identified, and no additional archeology is recommended. The subject property does not contain and is not adjacent to any designated Prince George’s County historic sites or resources.
 - b. **Community Planning**—In a memorandum dated February 21, 2023 (Calomese to Burke), incorporated herein by reference, the Community Planning Division provided a detailed description of the zoning history and an evaluation of the application.
 - c. **Transportation Planning**—In a memorandum dated February 24, 2023 (Ryan to Burke), incorporated herein by reference, the Transportation Planning Section offered the following review comments:

This property has frontage on Oxon Hill Road (C-708), along the western bounds of the site. Per the 2009 *Approved Countywide Master Plan of Transportation* (MPOT) and the master plan, the portion of Oxon Hill Road that fronts the subject property is designated as a collector roadway, with an ultimate right-of-way width of 80 feet. The latest DSP submission accurately displays this information, which is consistent with master plan recommendations. In addition, the plans depict 40 feet of right-of-way from the Oxon Hill Road center line to the property boundary, which contains the entirety of the sidewalk and bicycle lane which front the subject property.

The master plan recommended bicycle lane along the site's frontage of Oxon Hill Road is accurately displayed on the DSP submission. A continuous sidewalk facility is also shown along the site's frontage of Oxon Hill Road. In addition, the sidewalk network along Oxon Hill Road connects to the existing Henson Creek Trail located directly south of the subject site. Staff finds these facilities adequately serve the goals and policies, as stated in the MPOT and master plan, and further bicycle and pedestrian movement within the site and its immediate surroundings.

- d. **Subdivision**—In a memorandum dated February 24, 2023 (Diaz-Campbell to Burke), incorporated herein by reference, the Subdivision Section provided an evaluation of this proposal and offered the following comment:

The property currently consists of Lots 1–19, Parcels A and B, and two public streets (Trattoria Drive and Lerna Lane), as part of the subdivision of Fort Washington Ridge recorded in Plat Book PM 218 pages 55 and 56. The property was platted pursuant to prior PPS 4-05067. A new final plat will be required following approval of this DSP, in order to plat the property, in accordance with PPS 4-21017, before permits can be approved. Prior to approval of a final plat for the current PPS, a vacation petition to vacate the rights-of-way for public streets Trattoria Drive and Lerna Lane will be required.

- e. **Prince George's County Department of Parks and Recreation (DPR)**—In an email dated March 1, 2023 (Thompson to Burke), incorporated herein by reference, DPR provided a reference to the PPS conditions regarding the on-site private recreational facilities.

- f. **Environmental Planning**—In a memorandum dated March 2, 2023 (Schneider to Burke), incorporated herein by reference, the Environmental Planning Section provided an evaluation of the previous approvals and the current proposal contained herein, and summarized as follows:

Natural Resources Inventory

An approved Natural Resource Inventory Plan, NRI-072-05-01, was submitted with the review package, which was approved on February 20, 2020. The TCP2 and DSP show the required information in conformance with the NRI. No revisions are required for conformance to the NRI.

Specimen Trees

Section 25-122(b)(1)(G) of the Prince George’s County Code requires that “Specimen trees, champion trees, and trees that are part of a historic site or are associated with a historic structure shall be preserved and the design shall either preserve the critical root zone of each tree in its entirety or preserve an appropriate percentage of the critical root zone in keeping with the tree’s condition and the species’ ability to survive construction as provided in the Technical Manual.”

The site contains 49 specimen trees, 15 of which were approved for removal by the Planning Board with the approval of PPS 4-21017. This DSP shows no new specimen tree impacts.

Soils

The predominant soils found to occur on-site, according to the United States Department of Agriculture, Natural Resources Conservation Service, Web Soil Survey, are Beltsville silt loam, Beltsville-Urban land complex, Sassafras-Croom soils, and Sassafras–Urban land complex soils. Marlboro clay and Christiana complexes are not found on or near this property.

- g. **Prince George’s County Fire Department**—As of the writing of this technical staff report, the Fire Department did not provide comments.
 - h. **Prince George’s County Department of Permitting, Inspections, and Enforcement (DPIE)**—In a memorandum dated March 7, 2023 (Giles to Burke), incorporated herein by reference, DPIE provided an evaluation of the public road and SWM requirements.
 - i. **Prince George’s County Police Department**—As of the writing of this technical staff report, the Police Department did not provide comments.
 - j. **Prince George’s County Health Department**—In a memorandum dated January 14, 2023 (Adepoju to Burke), incorporated herein by reference, the Health Department provided comments related to the site’s proximity to food sources, and noise and dust controls. A condition to add the comments regarding noise and dust controls during the development of the site to the general notes of the DSP is provided herein.
 - k. **Washington Suburban Sanitary Commission (WSSC)**—As of the writing of this technical staff report, WSSC did not provide comments.
- 13.** Based on the foregoing analysis, and as required by Section 27-285(b) of the prior Zoning Ordinance, the DSP represents a reasonable alternative for satisfying the site design guidelines of Subtitle 27, Part 3, Division 9, of the Prince George’s County Code without requiring unreasonable cost and without detracting substantially from the utility of the proposed development for its intended use.
- 14.** As required by Section 27-285(b)(4) of the prior Zoning Ordinance, which became effective on September 1, 2010, a required finding for approval of a DSP is as follows:

- (4) The Planning Board may approve a Detailed Site Plan if it finds that the regulated environmental features have been preserved and/or restored in a natural state to the fullest extent possible in accordance with the requirement of Subtitle 24-130(b)(5).**

The regulated environmental features on this property have been preserved and/or restored to the fullest extent possible, consistent with conservation easements approved at the time of final plat.

RECOMMENDATION

Based upon the foregoing evaluation and analysis, the Urban Design staff recommends that the Planning Board adopt the findings of this report and APPROVE Detailed Site Plan DSP-22022, and Type 2 Tree Conservation Plan TCP2-005-2023, for Hillside at Fort Washington, subject to the following conditions:

1. Prior to certificate approval of this detailed site plan (DSP), the applicant shall:
 - a. Provide a note requiring a minimum of two standard endwall features, in a balanced composition, on all house models.
 - b. Provide a note requiring a minimum of three standard endwall features, combined with a minimum of the first floor finished in brick, in a balanced composition, on all corner and highly visible lots, including Lots 1, 7, 8, 20, 21, 27, 32, 33, 44, 45, 49, 50, 55, 56, and 64.
 - c. Provide an exhibit in the DSP plan-set that identifies the corner and highly visible lots.
 - d. Provide a note that all units shall have either a rooftop deck or a minimum 4-foot-deep cantilevered rear deck.
 - e. Provide the method of illumination, if any, on the entrance sign detail.
 - f. Provide a trash receptacle in the playground area and a detail on the plan.
 - g. Provide a minimum of two dog waste stations on the site and a detail on the plan.
 - h. Revise the DSP detail sheets to change the bicycle rack from a wave style to an inverted-U style or similar model that provides two points of contact for a parked bicycle.
 - i. Provide the following notes on the DSP:
 - (1) During the construction phases of this project, no dust should be allowed to cross over property lines and impact adjacent properties. Indicate intent to conform to construction activity dust control requirements, as specified in the 2011 Maryland Standards and Specifications for Soil Erosion and Sediment Control.

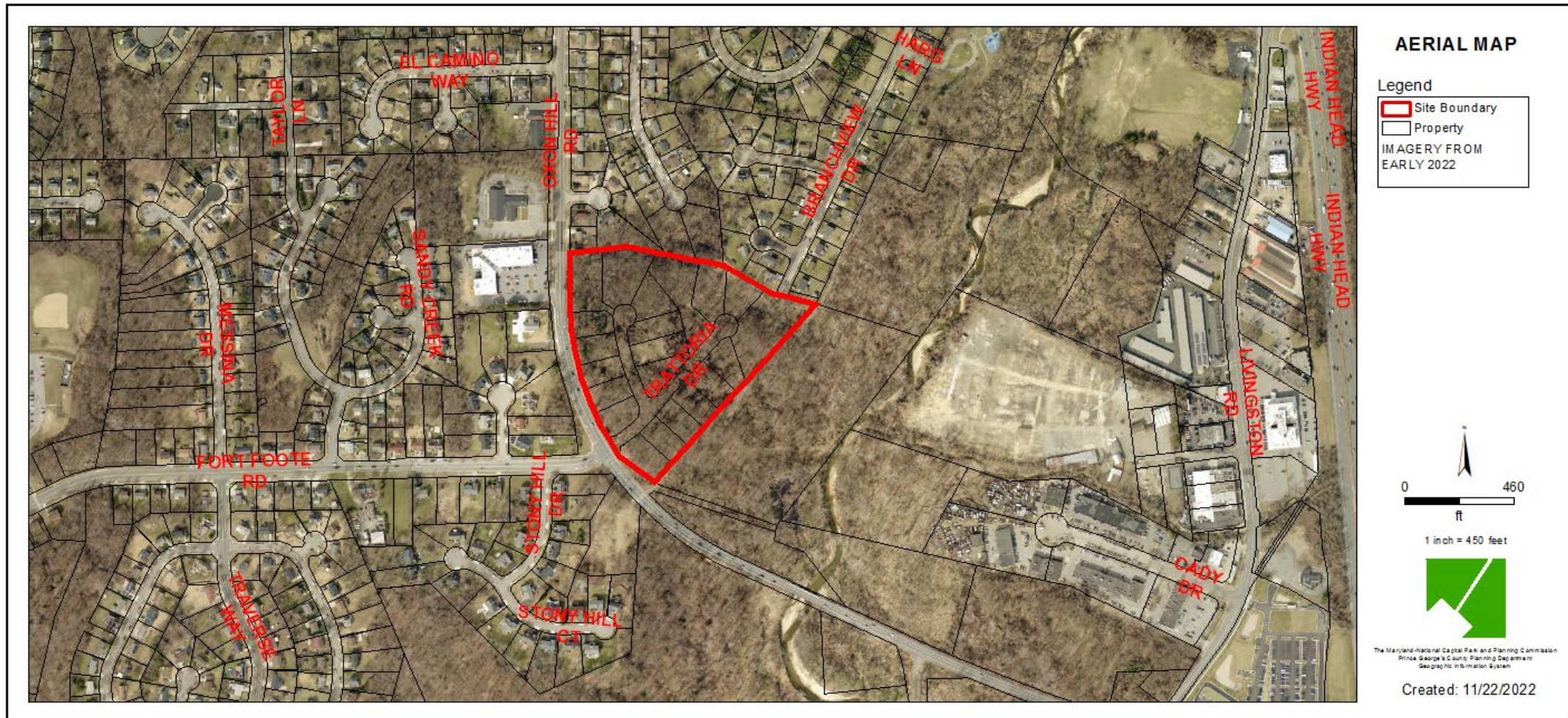
- (2) During the construction phases of this project, noise should not be allowed to adversely impact activities on the adjacent properties. Indicate intent to conform to construction activity noise control requirements, as specified in Subtitle 19 of the Prince George's County Code.
 - j. Provide the current Maryland-National Capital Park and Planning Commission approval block on all plans to be certified.
2. Prior to approval of the 33rd building permit, the applicant shall demonstrate that all on-site recreational facilities have been fully constructed, are operational, and have been inspected by the Maryland-National Capital Park and Planning Commission.

HILLSIDE AT FORT WASHINGTON

Detailed Site Plan

TCP2-005-2023

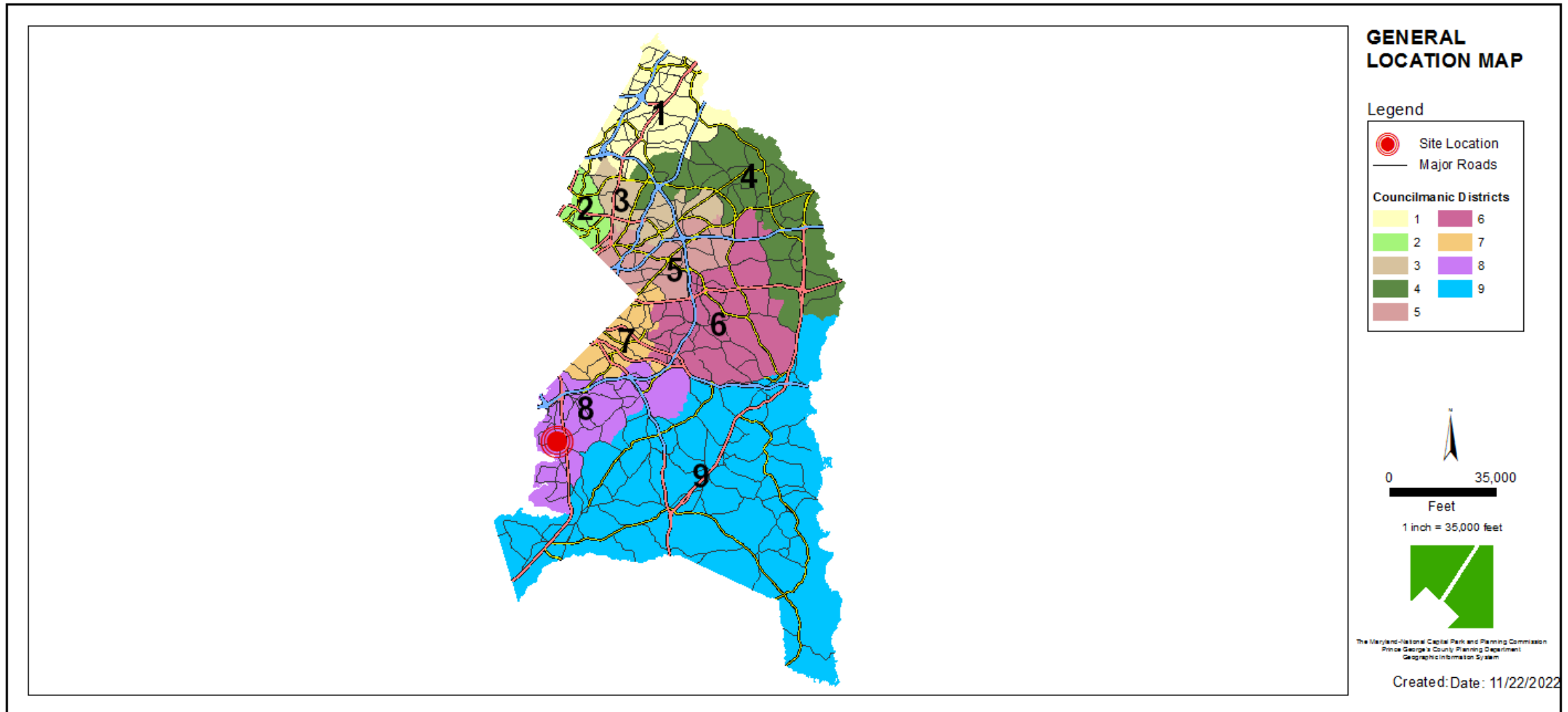
Staff Recommendation: APPROVAL with conditions



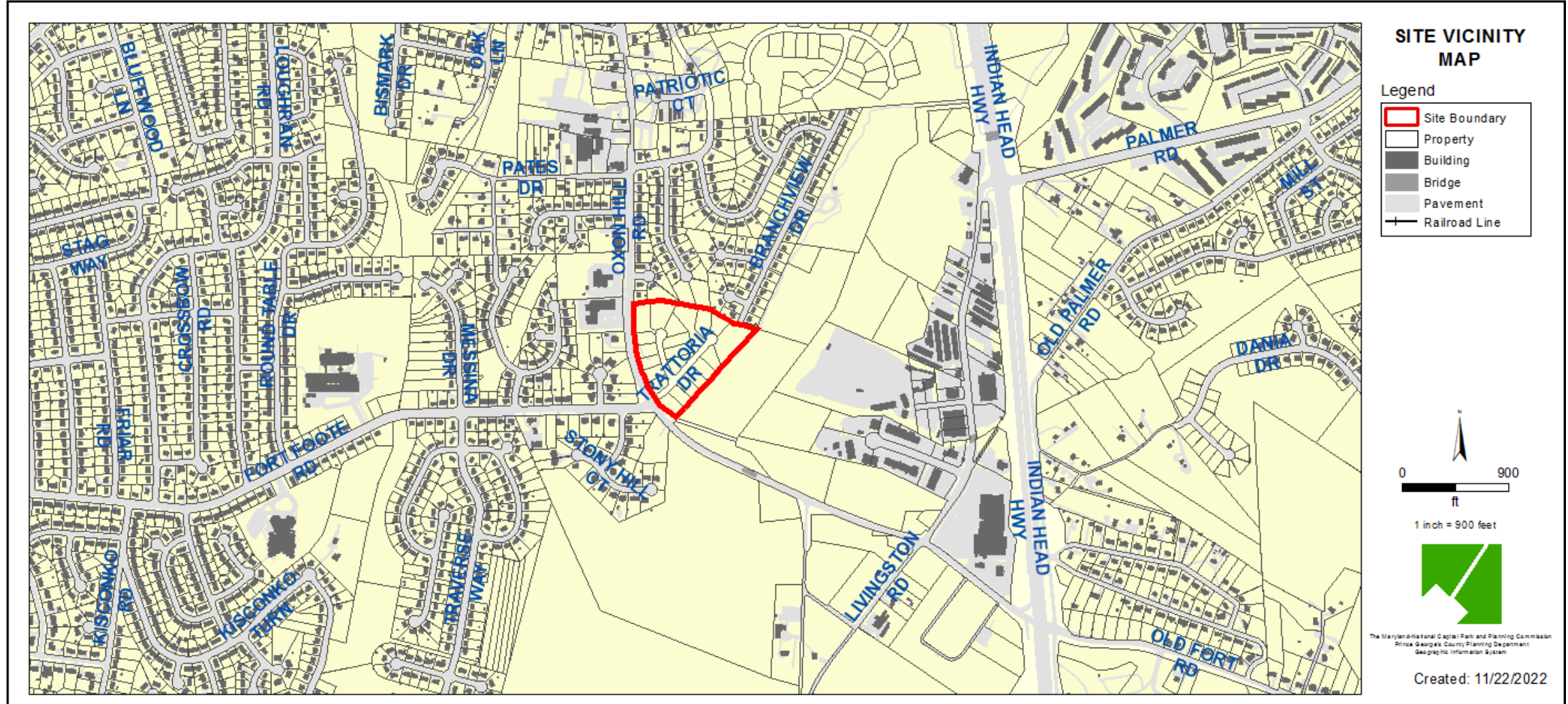
GENERAL LOCATION MAP

Council District: 08

Planning Area: 80



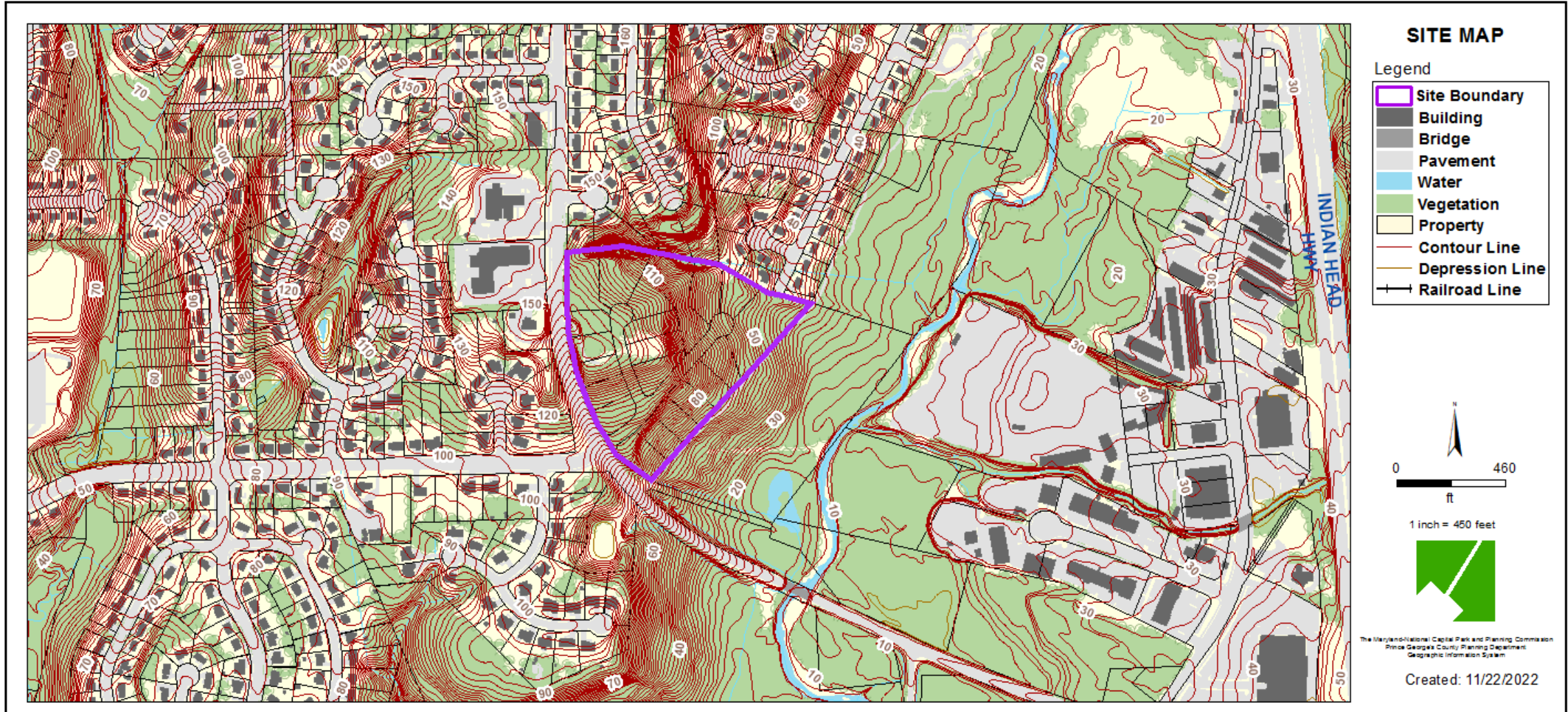
SITE VICINITY MAP



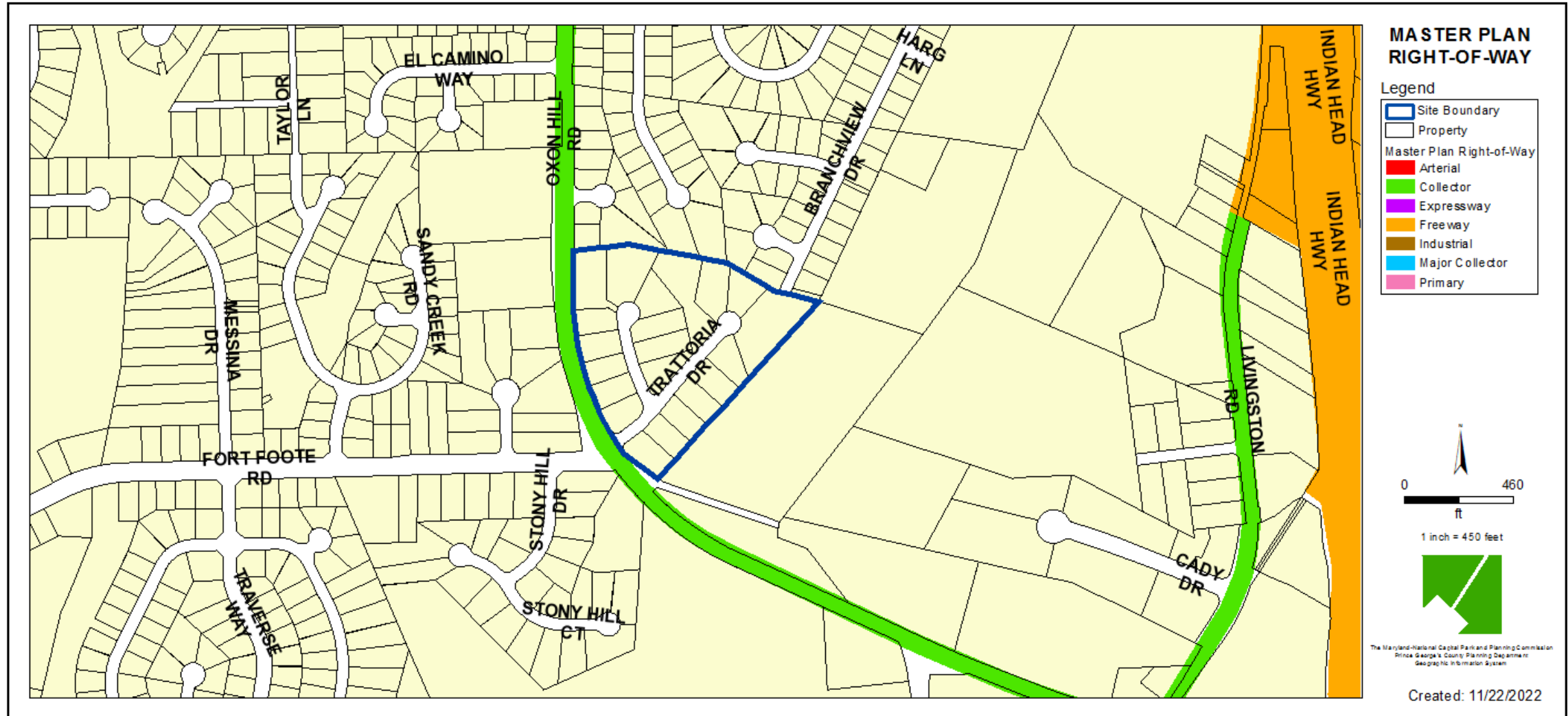
BIRD'S-EYE VIEW WITH APPROXIMATE SITE BOUNDARY OUTLINED



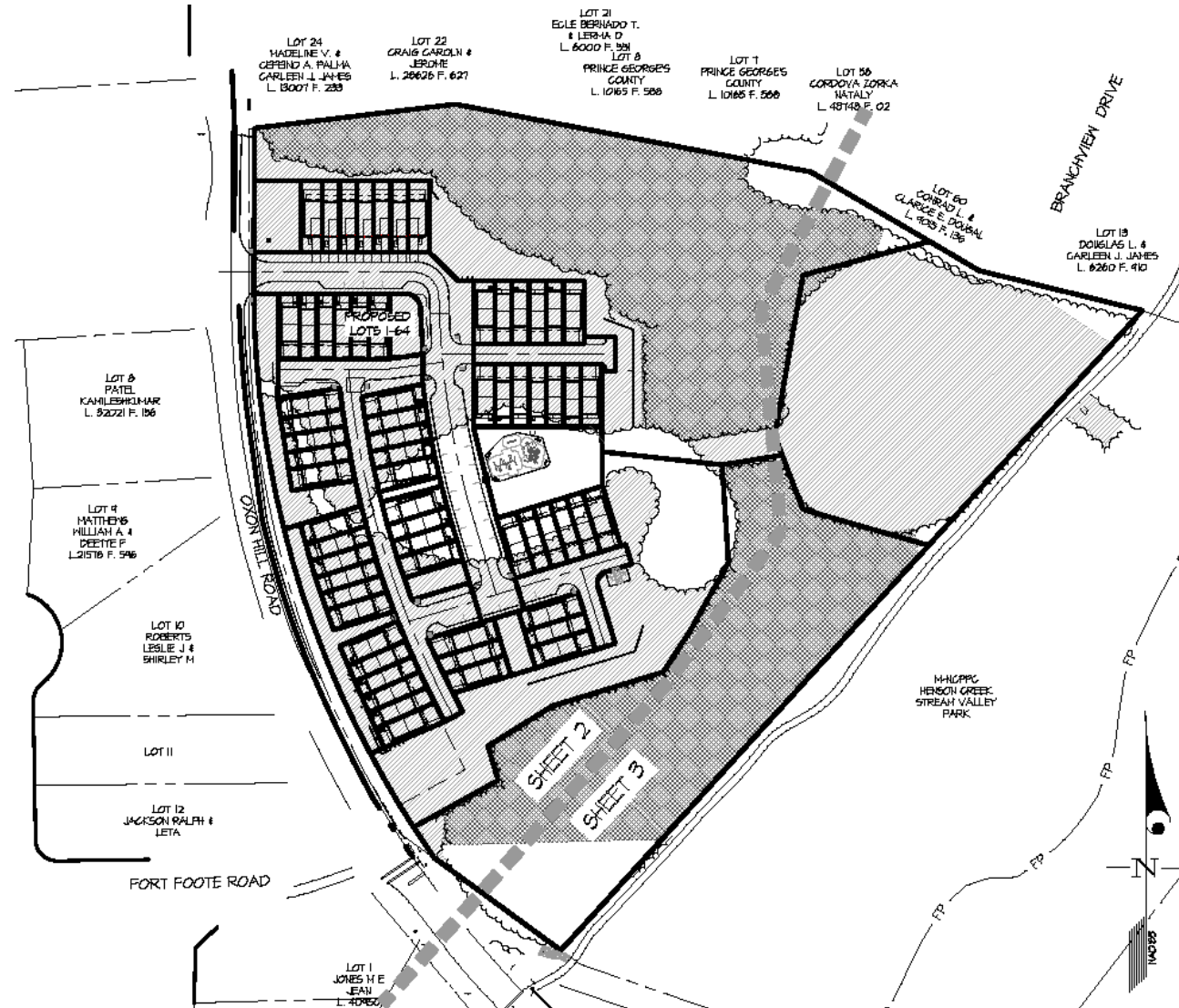
SITE MAP



MASTER PLAN RIGHT-OF-WAY MAP



TYPE 2 TREE CONSERVATION PLAN



ARCHITECTURAL MODELS (THE DAVIDSON AND THE LOFT)



ARCHITECTURAL MODELS (REAR ELEVATIONS)

THE DAVIDSON

THE LOFT



ARCHITECTURAL MODELS (THE PARK)



(THE PARK REAR ELEVATIONS)



STAFF RECOMMENDATION

APPROVAL with conditions
APPROVAL with conditions

Detailed Site Plan DSP-22022
Type 2 Tree Conservation Plan TCP2-005-2023

Major Issues:

N/A

Applicant Required Mailings:

- Informational Mailing 6/17/2022
- Acceptance Mailing 12/27/2022



STATEMENT OF JUSTIFICATION

Hillside at Fort Washington

Detailed Site Plan
(DSP-22022)

August, 2022

Prepared on behalf of:
BGH Fort Washington, LLC
c/o Sevag Balian
Haverford Homes
6110 Executive Boulevard, Suite 310
Rockville, Maryland 20852
301-864-6500

Prepared by:
Gutschick, Little & Weber
3909 National Drive, Suite 250
Burtonsville, Maryland 20866

On behalf of our client, BGH Fort Washington, LLC (“Applicant”), Gutschick, Little & Weber P.A., hereby submits this Statement of Justification in support of a proposed Detailed Site Plan for the subject property. The 64 dwelling unit townhouse development is permitted on the subject property consistent with the standards established pursuant to the Zoning Ordinance text amendment by the adoption of District Council Bill CB-28-2018, where all requirements for development shall be established by and shown on a Detailed Site Plan approved by the Planning Board and/or the District Council.

The Detailed Site Plan arranges 64 townhouses on fee simple lots on 14.11 acres arranged in a compact, urban layout with private streets and an extensive pedestrian sidewalk network. The overall proposed project unit density is 4.54 dwelling units/acre (64 du/14.11 acres), which is comparable to the R-80 density range (max 4.58 du/acre) found within the adjacent residential development to the north.

The Detailed Site Plan DSP-22022 application is submitted in compliance with the recently approved Preliminary Plan of Subdivision 4-21017 (PGCPB No. 2022-51), adopted on May 19, 2022. The proposed development plan is designed in compliance with the requirements for approval of a preliminary plan of subdivision found in Subtitle 24 of the Prince George’s County Code, the Subdivision Regulations, and in accordance with the Zoning Ordinance of Prince George’s County, Maryland, Subtitle 27 of the Prince George’s County Code.

I. Site Location and Description:

The subject property is located east of the Oxon Hill and Fort Foote Roads intersection in southwestern Prince George’s County. The physical address is 9304 Oxon Hill Road, Fort Washington, Maryland. The 14.11-acre property is identified as Lots 1-19 and Parcels ‘A’ & ‘B’ of the platted Fort Washington Ridge subdivision. The property is vacant, predominately forested and undeveloped.

II. Surrounding Uses:

The following uses surround the property:

North – Adjacent to the subject property is developed single family detached residential on R-80 zoned property.

East & Southeast – Adjacent to the subject property is M-NCPPC parkland containing the Henson Creek Hiker/Biker Trail.

West & Southwest – Across Oxon Hill Road is existing single family detached residential on R-R zoned property & a shopping center on C-S-C property.

III. Nature of Request:

This application proposes the development of 64 fee simple townhouses lots and 14 stormwater management (SWM)/open space/parkland dedication parcels. The front and rear-loaded townhouses are designed in a compact, urban layout served by a private alley network. The development is proposed adjacent to Oxon Hill Road and on the top of the hill, allowing the remaining wooded, steep-sloped property to be preserved. The SWM pond is located at the bottom corner of the property and will be vehicularly accessed through the adjacent residential subdivision via Branchview Drive. The proposed project density is comparable to the existing densities in the surrounding area.

IV. Development Data Summary:

Site Area Summary

Existing Site Area:	14.11 Ac.
Existing Lots:	19
Existing Parcels:	2
Proposed Site Area:	14.11 Ac.
Proposed Lots:	64
Proposed Parcels:	14
Total permitted residential units per CB-28-2018 and the 2035 General Plan:	64
Proposed residential units with DSP-22022:	64

Development Standards

Minimum Lot Area Required*:	1,100 SF.
Minimum Lot Area Proposed:	1,100 SF.
Minimum Lot Width Required*:	20 FT
Minimum Lot Width Proposed:	20 FT

REAR-LOADED TOWNHOUSES

Minimum Lot Setbacks Required/Proposed*:	
Front Yard:	10 FT
Side Yard:	4 FT
Rear Yard:	18 FT

FRONT-LOADED TOWNHOUSES

Minimum Lot Setbacks Required/Proposed*:	
Front Yard:	15 FT

Side Yard:	4 FT
Rear Yard:	18 FT

Minimum Distance Between Buildings Required/Proposed*:	18 FT
Maximum Building Height Required/Proposed*:	45 FT

*Per CB-28-2018, the ordinary R-R Zone development standards shall not apply to this property, but rather all development requirements for townhouses shall be determined at time of Detailed Site Plan, with the exception of Minimum Lot Area & Lot Width.

V. Previous Approvals:

PPS 4-05067 was approved by the Prince George's County Planning Board on March 9, 2006 (PGCPB Resolution No. 06-66). This PPS approved 19 lots and 2 parcels for the development of 19 single-family detached dwellings. The lots and parcels, along with two public streets (Trattoria Drive and Lerna Lane), were recorded in Plat Book PM 218, pages 55-56. This PPS was superseded by the recent approval of PPS 4-21017.

Detailed Site Plan DSP-06035 was approved by the Planning Director on October 5, 2006 for the development of Parcel A to include a paved trail connecting the proposed cul-de-sac of Trattoria Drive to the existing trail on the adjacent Maryland-National Capital Park and Planning Commission (M-NCPPC) park property to the east, as required by conditions of approval of PPS 4-05067. This DSP was never implemented and expired on December 31, 2021.

On May 19, 2022, the Planning Board adopted Preliminary Plan of Subdivision 4-21017 (PGCPB No. 2022-51) subject to 15 conditions. Prior to approval of a final plat for PPS 4-21017, a vacation petition to vacate the rights-of-way for public streets Trattoria Drive and Lerna Lane will be required.

VI. Relationship to County Plans and Policies:

General Plan 2035: The development proposed for the subject property is entirely consistent with the vision, policies, and strategies contained within the 2002 Prince George's County Approved General Plan, and the Plan Prince George's 2035 Approved General Plan (Plan Prince George's 2035). The subject property in this application is located within the Established Communities growth policy area of the Plan 2035. The Plan Prince George's 2035 describes Established Communities as appropriate for context-sensitive infill and low-to medium-density development and recommends maintaining and enhancing existing public services, facilities, and infrastructure to ensure that the needs of residents are met.

2006 Approved Master Plan and Sectional Map Amendment for the Henson Creek-South Potomac Planning Area:

The Master Plan retained the subject property in the R-R Zone & recommends residential, low-density land use on the property. However, Prince George's County Council Bill CB-28-2018 removes the R-R Zone requirements and allows townhouses to be developed on the subject property, rendering the land use requirements of the master plan no longer appropriate.

The approved CB-28-2018 did not provide guidance on density for the development, and so the Plan 2035 recommendation for context-sensitive infill in the Established Communities growth policy area was used to evaluate density for the site. The applicant proposed a density consistent with that permitted in the R-80 Zone, as the most adjacent property to the north was located in this zone (now zoned RSF-95). The maximum density allowed in the R-80 Zone is 4.58 dwelling units per acre. The recently approved PPS 4-21017 included 64 dwellings on 14.11 acres, which equates to 4.54 dwelling units per acre.

2017 Countywide Green Infrastructure Plan: While there are mapping errors showing regulated and evaluation areas over the entire property associated to the 2017 Green Infrastructure Plan (per PGCPB No. 2022-51), a stream and wetland area are located along the northern and southern edges of the subject property. These environmental features and their buffers are contained within a Primary Management Area conservation easement (per approved NRI-072-05), and are proposed to be fully preserved with the development of this DSP.

County's Ten-Year Water and Sewerage Plan: The 2010 Water Resources Functional Master Plan amends the 2002 General Plan, and provides growth guidance expressed as goals, policies, and strategies to address water quality impacts associated with land use in the county. The Plan references the Ten-year Water and Sewer Plan and addresses explicitly: Drinking Water Supply, Water Treatment, and Stormwater Management. The subject property is within water and sewer categories W-3 and S-3 and is served by the public water and sewer system operated by WSSC.

2009 Master Plan of Transportation:

According to the 2009 Master Plan of Transportation, the subject property fronts along Oxon Hill Road, a County-owned 80-foot master-planned right-of-way (C-708). Recently approved PPS 4-21017 proposed the required roadway dedication to achieve the ultimate right-of-way width. This DSP proposes the construction of roadway improvements consisting of a 5' wide bike lane and 5' sidewalk along the east side of Oxon Hill Road.

VII. Relationship to Requirements of the Zoning Ordinance:

Section 27-281 Purpose of Detailed Site Plan

(c) Specific purposes.

(1) The specific purposes of Detailed Site Plans are:

- (A) To show the specific location and delineation of buildings and structures, parking facilities, streets, green areas, and other physical features and land uses proposed for the site;**
- (B) To show specific grading, planting, sediment control, woodland conservation areas, regulated environmental features and storm water management features proposed for the site;**
- (C) To locate and describe the specific recreation facilities proposed, architectural form of buildings, and street furniture (such as lamps, signs, and benches) proposed for the site; and**

RESPONSE: The exhibits submitted with this application reflect a high standard of architecture including well-detailed facades that address the streetscape. The Hillside at Fort Washington's proposed townhouses also include variations in exterior architectural materials, colors, articulations, and fenestrations. Conceptual elevations, as well as dimensioned architectural elevation plan sets are contained within this Detailed Site Plan application package. The Applicant will make every attempt that is practicable to incorporate green building techniques and the use of environmentally sensitive building techniques to reduce overall energy consumption.

- (D) To describe any maintenance agreements, covenants, or construction contract documents that are necessary to assure that the Plan is implemented in accordance with the requirements of this Subtitle.**

RESPONSE: The Detailed Site Plan application documents show the above information that detail the architecture and location of buildings, parking spaces, vehicular traffic flow direction; accessible parking, access aisle and sign details; landscaping and lighting details; fencing details; curb, gutter, parking lot access and circulation, paving and sidewalk details; and public common area amenity details.

Section 27-285 Planning Board Procedures (Detailed Site Plans)

(b) Required findings for Detailed Site Plans

- (1) The Planning Board may approve a Detailed Site Plan if it finds that the plan represents a reasonable alternative for satisfying**

the site design guidelines, without requiring unreasonable costs and without detracting substantially from the utility of the proposed development for its intended use. If it cannot make these findings, the Planning Board may disapprove the Plan.

RESPONSE: The proposed development will not require unreasonable costs or substantially detract from the utility of the proposed site development for its intended use.

(2) *The Planning Board shall also find that the Detailed Site Plan is in general conformance with the approved Conceptual Site Plan (if one was required).*

RESPONSE: No CSP was required for this property:

(3) *The Planning Board may approve a Detailed Site Plan for Infrastructure if it finds that the plan satisfies the site design guidelines as contained in Section 27-274, prevents offsite property damage, and prevents environmental degradation to safeguard the public's health, safety, welfare, and economic well-being for grading, reforestation, woodland conservation, drainage, erosion, and pollution discharge.*

RESPONSE: A Detailed Site Plan prepared following the provisions of Part 3 Division 9 is submitted with this application. A Detailed Site Plan for Infrastructure is not required. Therefore, this standard does not apply.

(4) *The Planning Board may approve a Detailed Site Plan if it finds that the regulated environmental features have been preserved and/or restored in a natural state to the fullest extent possible in accordance with the requirement of Subtitle 24-130(b)(5).*

RESPONSE: A stream and wetland area are located along the northern and southern edges of the subject property. These environmental features and their buffers will be contained within a Primary Management Area conservation easement (per approved NRI-072-05), and are proposed to be fully preserved with the development of this DSP.

VIII. Preliminary Plan of Subdivision File No. 4-21017:

On May 19, 2022, the Planning Board approved 4-21017 (PGCPB No. 2022-51) subject to 15 conditions ***highlighted below in bold:***

1. **Prior to signature approval, the preliminary plan of subdivision (PPS) shall be revised, as follows:**
 - a. **Remove limit of disturbance, from the PPS.**

- b. **Show dimension from the centerline of Oxon Hill Road to the property's frontage.**

RESPONSE: The Preliminary Plan of Subdivision submitted on June 22, 2022 for certification complies with the conditions defined above.

2. **Development of the site shall be in conformance with the Stormwater Management Concept Plan, 3742-2021-00, and any subsequent revisions.**

RESPONSE: The Applicant understands and agrees to comply with this condition.

3. **Prior to approval, the final plat shall include dedication of a 10-foot-wide public utility easement along the public rights-of-way, and one side of private rights-of-way, as delineated on the approved Preliminary Plan of Subdivision.**

RESPONSE: The Final Plat designed per the Preliminary Plan of Subdivision submitted on June 22, 2022 for certification complies with the condition defined above.

4. **Total development within the subject property shall be limited to uses which generate no more than 45 AM peak-hour trips and 51 PM peak-hour vehicle trips. Any development generating an impact greater than that identified herein above shall require a new Preliminary Plan of Subdivision with a new determination of the adequacy of transportation facilities.**

RESPONSE: Detailed Site Plan DSP-22022 is in compliance with this condition.

5. **Prior to approval of any building permit within the subject property, the following road improvements shall (a) have full financial assurances, (b) have been permitted for construction through the operating agency's access permit process, and (c) have an agreed-upon timetable for construction with the appropriate operating agency:**

- a. **Provide a third left-turn lane along the eastbound leg (Livingston Road) of the MD 210 (Indian Head Highway)/Livingston Road/Palmer Road intersection, unless modified by the Maryland State Highway Administration, with written correspondence.**
- b. **Mill and overlay to the centerline of northbound Oxon Hill Road, fronting the subject property beginning at Fort Foote Road, and stripe the existing travel lane adjacent to the existing curb as a shoulder, along with**

installing “share the road with bike” signs, unless modified by the Prince George’s County Department of Permitting, Inspections and Enforcement, with written correspondence.

RESPONSE: The Applicant understands and agrees to comply with this condition.

6. **Prior to signature approval of the Preliminary Plan of Subdivision, the Type 1 Tree Conservation Plan (TCP1) shall be revised, as follows:**
 - a. **Revise the woodland conservation worksheet to correct the TCP1 number.**
 - b. **Revise the specimen tree table to add a protection measure column and whether special preservation treatment is recommended.**
 - c. **Have the revised plan signed and dated by the qualified professional who prepared it.**

RESPONSE: The Type 1 Tree Conservation Plan submitted on June 22, 2022 for certification complies with the conditions defined above.

7. **At time of final plat, a conservation easement shall be described by bearings and distances. The conservation easement shall contain the delineated primary management area, except for any approved impacts, and shall be reviewed by the Environmental Planning Section, prior to approval of the final plat. The following note shall be placed on the plat:**

“Conservation easements described on this plat are areas where the installation of structures and roads and the removal of vegetation are prohibited without prior written consent from the M-NCPPC Planning Director or designee. The removal of hazardous trees, limbs, branches, or trunks is allowed.”

RESPONSE: The Applicant understands and agrees to comply with this condition.

8. **Development of this subdivision shall be in conformance with an approved Type 1 Tree Conservation Plan (TCP1-020-2021). The following note shall be placed on the final plat of subdivision:**

“Development is subject to restrictions shown on the approved Type 1 Tree Conservation Plan (TCP1-020-2021), or as modified by the Type 2 Tree Conservation Plan and

precludes any disturbance or installation of any structure within specific areas. Failure to comply will mean a violation of an approved Tree Conservation Plan and will make the owner subject to mitigation under the Woodland and Wildlife Habitat Conservation Ordinance. This property is subject to the notification provisions of CB-60-2005. Copies of all approved Tree Conservation Plans for the subject property are available in the offices of the Maryland-National Capital Park and Planning Commission, Prince George's County Planning Department."

RESPONSE: The Applicant understands and agrees to comply with this condition.

9. **Prior to issuance of permits for this subdivision, a Type 2 Tree Conservation Plan shall be approved. The following note shall be placed on the final plat of subdivision:**

"This plat is subject to the recordation of a Woodland Conservation Easement pursuant to Section 25-122(d)(1)(B) with the Liber and folio reflected on the Type 2 Tree Conservation Plan, when approved."

RESPONSE: The Applicant understands and agrees to comply with this condition.

10. **In accordance with Section 24-135(b) of the Prince George's County Subdivision Regulations, the applicant and the applicant's heirs, successors, and/or assignees shall provide adequate on-site recreational facilities.**

RESPONSE: The Applicant understands and agrees to comply with this condition.

11. **The on-site recreational facilities shall be reviewed by the Urban Design Section of the Development Review Division of the Prince George's County Planning Department, for adequacy and proper siting, in accordance with the Prince George's County Park and Recreation Facilities Guidelines, with the review of the Detailed Site Plan (DSP). Triggers for construction shall also be determined at the time of DSP.**

RESPONSE: The Applicant understands and agrees to comply with this condition.

12. **Prior to submission of the final plat of subdivision, the applicant, and the applicant's heirs, successors, and/or assignees shall submit three original executed Recreational Facilities Agreements (RFAs) to the Development Review Division (DRD) of the Prince George's County Planning Department for construction of on-site recreational facilities, for approval. Upon approval by DRD, the RFA**

shall be recorded among the Prince George's County Land Records and the Liber and Folio of the RFA shall be noted on the final plat, prior to plat recordation.

RESPONSE: The Applicant understands and agrees to comply with this condition.

13. **Prior to approval of building permits for residential development, the applicant and the applicant's heirs, successors, and/or assignees shall submit a performance bond, letter of credit, or other suitable financial guarantee for construction of recreational facilities.**

RESPONSE: The Applicant understands and agrees to comply with this condition.

14. **Prior to approval of a final plat, the applicant and the applicant's heir, successors, and/or assignees shall demonstrate that a homeowners association has been established for the subdivision. The draft covenants shall be submitted to the Subdivision Section to ensure that the rights of the Maryland-National Capital Park and Planning Commission are included. The Liber/Folio of the declaration of covenants shall be noted on the final plat, prior to recordation.**

RESPONSE: The Applicant understands and agrees to comply with this condition.

15. **Prior to approval of building permits, the applicant and the applicant's heirs, successors, and/or assignees shall convey to the homeowners association land, as identified on the approved Preliminary Plan of Subdivision. Land to be conveyed shall be subject to the following:**
 - a. **A copy of the recorded deed for the property to be conveyed shall be submitted to the Subdivision Section of the Development Review Division.**
 - b. **All waste matter of any kind shall be removed from the property, and all disturbed areas shall have a full stand of grass or other vegetation upon completion of any phase, section, or the entire project.**
 - c. **The conveyed land shall not suffer the disposition of construction materials or soil filling, other than the placement of fill material associated with permitted grading operation that are consistent with the permit and minimum soil class requirements, discarded plant materials, refuse, or similar waste matter.**
 - d. **Any disturbance of land to be conveyed to the association shall be in accordance with an approved site plan and tree conservation plan. This shall**

include, but not be limited to, the location of sediment control measures, tree removal, temporary or permanent stormwater management facilities, utility placement, and stormdrain outfalls.

- e. **Stormdrain outfalls shall be designed to avoid adverse impacts on land to be conveyed to the association. The location and design of drainage outfalls that adversely impact property to be conveyed shall be reviewed and approved by the Development Review Division of the Prince George's County Planning Department.**
- f. **The Prince George's County Planning Board, or its designee, shall be satisfied that there are adequate provisions to ensure retention and future maintenance of the property to be conveyed.**

RESPONSE: The Applicant understands and agrees to comply with this condition.

IX. Conclusion:

The Applicant submits that this Detailed Site Plan DSP-22022 application request for the development of the proposed 64-unit townhouse development are submitted in compliance with the pending certified Preliminary Plan of Subdivision (4-21017). This request complies with the required findings for Detailed Site Plans, the General Plan 2035, the 2006 Approved Master Plan and Sectional Map Amendment for the Henson Creek-South Potomac Planning Area, and the applicable County plans and policies.

In light of the above, we request this Detailed Site Plan be approved. Please contact me if additional information is required.

Respectfully,


Thomas S. Zyla
Project Manager / Licensed Landscape Architect


cc: Sevag Balian

February 21, 2023

MEMORANDUM

TO: Thomas Burke, Acting Planner IV, Urban Design Review Section, Development Review Division

VIA: David A. Green, MBA, Planner IV, Long-Range Planning Section, Community Planning Division 

FROM: Michael D. Calomese, Planner III, Master Plans and Studies Section, Community Planning Division 

SUBJECT: DSP-22022 Hillside at Fort Washington

FINDINGS

Pursuant to Part 3, Division 9, Subdivision 3 of the Prior Zoning Ordinance, Master Plan conformance is not required for this application.

BACKGROUND

Application Type: Detailed Site Plan for property located outside of an overlay zone.

Location: East of Fort Foote & Oxon Hill Roads intersection

Size: 14.11 acres

Existing Use: Wooded

Proposal: Construction of 64 single-family attached townhouse lots | 16 parcels

GENERAL PLAN, MASTER PLAN, AND SMA

General Plan: Per the 2014 *Plan Prince George's 2035 Approved General Plan (Plan 2035)*, this application is in the Established Communities Growth Policy Area. Established communities are most appropriate for context-sensitive infill and low- to medium-density development. (p. 20) Per *Plan 2035*, the vision for the subject property is Residential Low.

Master Plan: The 2006 *Approved Master Plan and Sectional Map Amendment for the Henson Creek-South Potomac Planning Area* recommends Residential, Low-Density land uses on the subject property.

In addition, the 2006 *Approved Master Plan and Sectional Map Amendment for the Henson Creek-South Potomac Planning Area* also recommends the following strategies for the subject property:

- Create gateways for the Rural Tier and the historic district at the intersections of Oxon Hill Road and Livingston Road, Livingston Road and Fort Washington Road, Oxon Hill Road and Henson Creek Stream Valley Park, and at trail access points into the Rural Tier. (p. 20)
- Maintain and improve collectors by current and future development. The following facilities are recommended to be maintained at their current width – either two lanes or four lanes – with frontage and safety improvements as deemed necessary. C-708, Oxon Hill Road between National Harbor South Access and Livingston Road (pp. 67-68. See also Table 1: Recommended Road Facilities, (p. 69)
- Provide continuous sidewalks along major roads such as Livingston Road, Tucker Road, Bock Road, Brinkley Road, Temple Hill Road, Fort Foote Road, and Oxon Hill Road. This will improve pedestrian access to schools, the Tucker Road Community Center, the Tucker Road Ice Rink, Fort Foote National Park, the Henson Creek Trail, and between residential areas. (p. 76)

Planning Area: 80

Community: South Potomac

Aviation/MIOZ: This application is not located within the Aviation Policy Area or the Military Installation Overlay Zone.

SMA/Zoning: The 2006 *Approved Master Plan and Sectional Map Amendment for the Henson Creek-South Potomac Planning Area* retained the subject property under the R-R (Rural Residential) Zone.

On September 4, 2018, the District Council approved CB-28-2018, for the purpose of amending the residential table of uses in the Prior Zoning Ordinance to permit certain residential townhouse dwelling unit uses within the R-R (Rural Residential) Zones of Prince George's County, subject to specified circumstances. The applicant has chosen to develop the subject property under the Prior Zoning Ordinance.

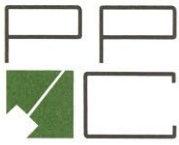
On November 29, 2021, the District Council approved CR-136-2021, the Countywide Sectional Map Amendment (“CMA”), which reclassified the subject property from R-R (Rural Residential) to RR (Residential, Rural), effective April 1, 2022.

ADDITIONAL INFORMATION

None

cc: Long-Range Agenda Notebook
Kierre McCune, Planning Supervisor, Master Plans and Studies Section
Community Planning Division

MN
THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION



Countywide Planning Division
Transportation Planning Section


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Upper Marlboro, Maryland 20772
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301-952-3680

March 3, 2023

MEMORANDUM

TO: Thomas Burke, Urban Design Review Section, Development Review Division

FROM:  Benjamin Ryan, Transportation Planning Section, Countywide Planning Division

VIA:  William Capers III, PTP, Transportation Planning Section, Countywide Planning Division

SUBJECT: DSP-22022: Hillside at Fort Washington

Proposal:

The subject Detailed Site Plan (DSP) application proposes the construction of 64 single-family attached dwelling units. The subject site is located at the northeast quadrant of the intersection of Oxon Hill Road and Fort Foote Road. The Transportation Planning review of this DSP application was evaluated using the standards of Section 27 of the prior Zoning Ordinance.

Prior Conditions of Approval:

The site is subject to Preliminary Plan of Subdivision (PPS) 4-21017. The relevant transportation conditions of approval related to the subject application are listed below:

4. Total development within the subject property shall be limited to uses that generate no more than 45 AM peak-hour trips and 51 PM peak-hour vehicle trips. Any development generating an impact greater than that identified herein above shall require a new preliminary plan of subdivision with a new determination of the adequacy of transportation facilities.

Comment: The DSP submission includes a Trip Generation Memorandum as part of the DSP application which demonstrates conformance to the approved trip cap. The subject application considers 64 single-family attached dwelling units, which results in 45 AM peak-hour trips and 51 PM peak-hour trips. Staff finds that the subject DSP is within the trip cap established with 4-21017.

5. Prior to approval of any building permit within the subject property, the following road improvements shall (a) have full financial assurances, (b) have been permitted for construction through the operating agency's access permit process, and (c) have an agreed-upon timetable for construction with the appropriate operating agency:

- b. Provide a third left-turn lane along the eastbound leg (Livingston Road) of the MD 210 (Indian Head Highway)/Livingston Road/Palmer Road intersection, unless modified by the Maryland State Highway Administration, with written correspondence.

- b. Mill and overlay to the centerline of northbound Oxon Hill Road, fronting the subject property beginning at Fort Foote Road, and stripe the existing travel lane adjacent to the existing curb as a shoulder, along with installing “share the road with bike” signs, unless modified by the Prince George’s County Department of Permitting, Inspections, and Enforcement, with written correspondence.

Comment: The above- referenced condition of approval remains and will be addressed at the time of building the permit.

Master Plan Compliance

This application is subject to 2009 *Approved Countywide Master Plan of Transportation* (MPOT) and the 2006 *Henson Creek – South Potomac Planning Area Master Plan and Sectional Map Amendment*.

Master Plan Roads

The subject property has frontage on Oxon Hill Road (C-708) along the western bounds of the site. Per the *MPOT* and the 2006 *Henson Creek – South Potomac Planning Area Master Plan and Sectional Map Amendment*, the portion of Oxon Hill Road that fronts the subject property is designated as a collector roadway with an ultimate right-of-way width of 80 feet. The latest DSP submission accurately displays this information which is consistent with Master Plan recommendations. Additionally, the plans depict 40feet of right-of-way from the Oxon Hill Road center line to the property boundary, which contains the entirety of the sidewalk and bicycle lane which front the subject property.

Master Plan Pedestrian and Bike Facilities

The 2009 *Approved Countywide Master Plan of Transportation* (MPOT) recommends the following facilities:

Planned Bicycle Lane: Oxon Hill Road
Existing Hard Surface Trail: Henson Creek Trail

The MPOT also provides policy guidance regarding multimodal transportation and the Complete Streets element of the MPOT recommends how to accommodate infrastructure for people walking and bicycling.

Policy 1: Provide standard sidewalks along both sides of all new road construction within the Developed and Developing Tiers.

Policy 2: All road frontage improvements and road capital improvement projects within the Developed and Developing Tiers shall be designed to accommodate all modes of transportation. Continuous sidewalks and on-road bicycle facilities should be included to the extent feasible and practical.

Policy 4: Develop bicycle-friendly roadways in conformance with the latest standards and guidelines, including the 1999 AASHTO *Guide for the Development of Bicycle Facilities*.

Policy 5: Evaluate new development proposals in the Developed and Developing Tiers for conformance with the complete streets principles.

Additionally, the 2006 *Henson Creek – South Potomac Planning Area Master Plan and Sectional Map Amendment* has established a set of policies to further bicycle and pedestrian facilities.

Policy 1: Incorporate appropriate pedestrian, bicycle, and transit-oriented design and transit-supporting design features in all new development within centers and corridor nodes.

Policy 3: Provide adequate pedestrian and bicycle linkages to schools, parks, and recreation areas, commercial areas, and employment centers.

Policy 6: Provide trail connections within residential communities and the trail network.

Comment: The master plan recommended bicycle lane along the site's frontage of Oxon Hill Road is accurately displayed on the DSP submission. A continuous sidewalk facility is also shown along the site's frontage of Oxon Hill Road. Additionally, the sidewalk network along Oxon Hill Road connects to the existing Henson Creek Trail located directly south of the subject site. Staff finds these facilities adequately serve the goals and policies as stated in the MPOT and Sector Plan and further bicycle and pedestrian movement within the site and its immediate surroundings.

Transportation Planning Review

Zoning Ordinance Compliance

Section 27-283 of the Prince George's County Zoning Ordinance (Ordinance) provides guidance for detailed site plans. The section references the following design guidelines described in Section 27-274(a):

(2) Parking, loading, and circulation

(C) Vehicular and pedestrian circulation on a site should be safe, efficient, and convenient for both pedestrians and drivers. To fulfill this goal, the following guidelines should be observed:

(ix) Pedestrian and vehicular routes should generally be separate and clearly marked.

(x) Crosswalks for pedestrians that span vehicular lanes should be identified by the use of signs, stripes on the pavement, change of paving material, or similar techniques

(xi) Barrier-free pathways to accommodate the handicapped should be provided

Comment: The applicant proposes a single point of vehicle access along Oxon Hill Road which will allow for full turning movements to/from the site. Upon initial receipt of the subject application, staff requested that the applicant display that the stacking from Lot 1 to Oxon Hill Road was sufficient and would not result in any congestion at the site entrance or other safety issues. The applicant's plan submission shows that 90-foot length from Oxon Hill Road to the proposed driveway for Lot 1. Additionally, the applicant submitted a queuing analysis that considered the intersection of the site access point and Oxon Hill Road using the 95th percentile queuing as a metric to measure the vehicular calculated queue length at this location. The applicant's queuing analysis

demonstrates an AM 95th percentile queue of 8 feet and a PM 95th percentile queue of 7 feet, both of which equate to less than one standard vehicle. Staff finds this explanation to be suitable and agrees with the methodology used for this determination.

In regard to site circulation, the internal layout provides a continuous road network that allows vehicles to easily enter and exit the site, and provide adequate circulation to the proposed dwellings. The latest DSP submission displays a sidewalk along the site's frontage along Oxon Hill Road as well as an internal sidewalk network providing pedestrian movement throughout the development. A series of crosswalks are also shown on the DSP, which provide pedestrian connections where sidewalk facilities are interrupted. Bicycle parking has been provided at the community/playground area. As a condition of approval prior to certification of the DSP, staff requests the applicant update plans to change the wave-style bicycle rack to an Inverted-U style rack or a similar model that provides two points of contact for a parked bicycle. Overall, the staff finds that the site access and circulation are sufficient and meet the required findings of the Ordinance for a detailed site plan.

Conclusion:

Overall, from the standpoint of The Transportation Planning Section it is determined that this plan is acceptable if the following conditions are met:

1. Prior to the certification of the detailed site plan, the applicant and the applicant's heirs, successors, and/or assigns shall:
 - a. Revise the DSP detail sheets to change the bicycle rack from a wave style to an Inverted-U style or similar model that provides two points of contact for a parked bicycle.

February 24, 2023

MEMORANDUM

TO: Thomas Burke, Acting Planner IV, Urban Design Section
VIA: Mridula Gupta, Planner III, Subdivision Section MG
FROM: Eddie Diaz-Campbell, Planner II, Subdivision Section EDC
SUBJECT: DSP-22022; Hillside at Fort Washington

The subject site considered in this Detailed Site Plan DSP-22022 is 14.11 acres. This DSP proposes development of 64 single-family attached dwellings on 64 lots and 16 parcels. The DSP was reviewed under the prior Zoning Ordinance and Subdivision Regulations. Under the prior zoning, the site was in the Rural Residential (R-R) Zone.

The site is subject to Preliminary Plan of Subdivision (PPS) 4-21017 (PGCPB Resolution No. 2022-51), approved on April 28, 2022. This PPS covers 14.11 acres and approved 64 lots and 16 parcels for the development of 64 single-family attached dwelling units. This PPS supersedes a prior PPS 4-05067 for the property.

The development proposed with this DSP is consistent with the number of units and site layout approved under 4-21017, therefore, a new PPS is not required at this time.

There are 15 conditions of approval for PPS 4-21017, of which the conditions relevant to the review of this proposed DSP are listed below in **bold** text. Staff analysis of the project's conformance to the conditions follows each one in plain text:

2. Development of the site shall be in conformance with the Stormwater Management Concept Plan, 3742-2021-00, and any subsequent revisions.

The applicant submitted an approved Stormwater Management (SWM) Concept Plan (37420-2021-0) and approval letter with the subject DSP. The approved SWM Concept Plan and the DSP should be further reviewed by the Environmental Planning Section for conformance to this condition.

3. Prior to approval, the final plat shall include dedication of a 10-foot-wide public utility easement along the public rights-of-way, and one side of private rights-of-way, as delineated on the approved preliminary plan of subdivision.

The DSP shows 10-foot-wide public utility easements (PUE) along Oxon Hill Road and along one side of Private Road A, consistent with the requirements of the Subdivision Regulations and this condition.

4. **Total development within the subject property shall be limited to uses which generate no more than 45 AM peak-hour trips and 51 PM peak-hour vehicle trips. Any development generating an impact greater than that identified herein above shall require a new preliminary plan of subdivision with a new determination of the adequacy of transportation facilities.**

The development shown with DSP-22022 is consistent with PPS 4-21017. The proposed development should be further reviewed by the Transportation Planning Section for conformance with this condition.

7. **At time of final plat, a conservation easement shall be described by bearings and distances. The conservation easement shall contain the delineated primary management area, except for any approved impacts, and shall be reviewed by the Environmental Planning Section, prior to approval of the final plat. The following note shall be placed on the plat:**

“Conservation easements described on this plat are areas where the installation of structures and roads and the removal of vegetation are prohibited without prior written consent from the M-NCPPC Planning Director or designee. The removal of hazardous trees, limbs, branches, or trunks is allowed.”

The DSP delineates the primary management area (PMA) on site. At the time of the PPS approval, no impacts to the PMA were proposed or approved. The DSP does not appear to propose any impacts. Conformance to this condition should be further evaluated by the Environmental Planning Section.

8. **Development of this subdivision shall be in conformance with an approved Type 1 Tree Conservation Plan (TCP1-020-2021). The following note shall be placed on the final plat of subdivision:**

“Development is subject to restrictions shown on the approved Type 1 Tree Conservation Plan (TCP1-020-2021), or as modified by the Type 2 Tree Conservation Plan and precludes any disturbance or installation of any structure within specific areas. Failure to comply will mean a violation of an approved Tree Conservation Plan and will make the owner subject to mitigation under the Woodland and Wildlife Habitat Conservation Ordinance. This property is subject to the notification provisions of CB-60-2005. Copies of all approved Tree Conservation Plans for the subject property are available in the offices of the Maryland-National Capital Park and Planning Commission, Prince George’s County Planning Department.”

The Environmental Planning Section should review the DSP to ensure it conforms with TCP1-020-2021.

9. **Prior to issuance of permits for this subdivision, a Type 2 tree conservation plan shall be approved. The following note shall be placed on the final plat of subdivision:**

“This plat is subject to the recordation of a Woodland Conservation Easement pursuant to Section 25-122(d)(1)(B) with the Liber and folio reflected on the Type 2 Tree Conservation Plan, when approved.”

The applicant submitted TCPII-134-06-01 with the subject application. The Environmental Planning Section should review the TCPII for conformance to the relevant environmental regulations.

10. **In accordance with Section 24-135(b) of the Prince George’s County Subdivision Regulations, the applicant and the applicant’s heirs, successors, and/or assignees shall provide adequate on-site recreational facilities.**
11. **The on-site recreational facilities shall be reviewed by the Urban Design Section of the Development Review Division of the Prince George’s County Planning Department, for adequacy and proper siting, in accordance with the Prince George’s County Park and Recreation Facilities Guidelines, with the review of the detailed site plan (DSP). Triggers for construction shall also be determined at the time of DSP.**

The applicant proposes a multi-age playground to meet Section 24-135(b) requirements. The Urban Design Section should review the adequacy, proper siting, and triggers for construction proposed in this DSP.

Additional Plan Comments

1. The property currently consists of Lots 1-19, Parcel A, Parcel B, and two public streets (Trattoria Drive and Lerna Lane), as part of the subdivision of Fort Washington Ridge, recorded in Plat Book PM 218 pages 55-56. The property was platted pursuant to prior PPS 4-05067. A new final plat will be required following approval of this DSP in order to plat the property in accordance with 4-21017, before permits can be approved. Prior to approval of a final plat for the current PPS, a vacation petition to vacate the rights-of-way for public streets Trattoria Drive and Lerna Lane will be required.

Recommended Conditions

None.

The referral is provided for the purposes of determining conformance with any underlying subdivision approvals for the subject property and Subtitle 24. The DSP has been found to be in conformance with the preliminary plan of subdivision. All bearings and distances must be clearly shown on the DSP and must be consistent with the record plat, or permits will be placed on hold until the plans are corrected. There are no other subdivision issues at this time.

Good morning Tom, The following comments are provided about DSP-22022 Hillside at Fort Washington:

DPR staff has reviewed and evaluated DSP-22022 for conformance with the requirements considered in our recommendations of PPS-21017; as they pertain to public parks and recreation. This approximately 14.11-acre parcel, Residential, Rural (RR), is located on the east side of Oxon Hill Road, approximately 200 feet south of its intersection with Jocelyn Court in Planning Area 80. This application is for the development of 64 townhomes. Preliminary Plan of Subdivision (PPS) 4-21017 was approved by the Prince George's County Planning Board on May 19, 2022. Conditions 10-14 of PGCPB Resolution No. 2022-95 require onsite private recreational facilities to be reviewed by the Urban Design Section of the Development Review Division (DRD). DPR has no additional comments.

Ivy R. Thompson, AICP

Development Review Coordinator | Land Acquisition/Management & Development Review Section

Park Planning & Development Division

M-NCPPC, Prince George's County, Department of Parks and Recreation
6600 Kenilworth Avenue, Riverdale, MD 20737

Direct: 301-699-2540 | Mobile: 202-430-2106 | TEAMS: 240-573-2719

Ivy.Thompson@pgparks.org

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Countywide Planning Division
Environmental Planning Section

301-952-3650

March 2, 2023

MEMORANDUM

TO: Thomas Burke, Planner IV, Urban Design Section, DRD

VIA: Maria Martin, Acting Supervisor, Environmental Planning Section, CWPD *MM*

FROM: Chuck Schneider, Planner III, Environmental Planning Section, CWPD *CS*

SUBJECT: **Hillside at Fort Washington; DSP-22022 and TCP2-005-2023
Formerly Fort Washington Ridge**

The Environmental Planning Section (EPS) has reviewed the above referenced Detailed Site Plan (DSP-22022) and Type 2 Tree Conservation Plan (TCP2-005-2023) received by the EPS on January 10, 2023. Comments were provided in a Subdivision and Development Review Committee (SDRC) meeting on February 3, 2023. Revised information was submitted on February 23, 2023. The EPS recommends approval of DSP-22022 and TCP2-005-2023, subject to the findings and conditions listed at the end of this memorandum.

BACKGROUND

The EPS previously reviewed the following applications and associated plans for the subject site:

Development Review Case #	Associated Tree Conservation Plan #	Authority	Status	Action Date	Resolution Number
NRI-072-05	N/A	Staff	Approved	11/1/2005	N/A
4-05067	TCP1-053-05	Planning Board	Approved	3/9/2006	06-66
DSP-06035	TCP2-134-06	Planning Director	Approved	10/5/2006	N/A
NRI-072-05-01	N/A	Staff	Approved	2/20/2020	N/A
4-21017	TCP1-020-2021	Planning Board	Approved	4/28/2022	2022-51
DSP-22022	TCP2-005-2023	Planning Board	Pending	Pending	Pending

PROPOSED ACTIVITY

This DSP proposes the development of 64 single-family attached dwellings. The current zoning for this site is Residential, Rural (RR); however, the applicant has opted to apply the zoning standards to this application that were in effect prior to April 1, 2022, for the Rural Residential (R-R) Zone.

GRANDFATHERING

This project is subject to the current regulations of Subtitle 25 and prior Subtitles 24 and 27 because the application was subject to Preliminary Plan 4-21017.

SITE DESCRIPTION

This 14.11-acre site is located on the east side of Oxon Hill Road in Fort Washington. A review of the available information indicates that the site contains regulated environmental features (REF), such as streams and stream buffers. No non-tidal wetlands or 100-year floodplain are located on-site. According to the Sensitive Species Project Review Area (SSPRA) map received from the Maryland Department of Natural Resources Natural Heritage Program (DNR NHP), there are no rare, threatened, or endangered (RTE) species found to occur on or near this property. The site has a high spot near Oxon Hill Road and then drains to the north, east, and south from the high point. This site is located within two watersheds (Henson Creek and Broad Creek), both of which flow into the Potomac River. The site has frontage on Oxon Hill Road, which is identified as a Master Plan Collector Roadway. The site is located within the Environmental Strategy Area 2 of the Regulated Environmental Protection Areas Map, as designated by *Plan Prince George's 2035 Approved General Plan*.

REVIEW OF PREVIOUSLY APPROVED CONDITIONS

The Planning Board approved the PPS 4-05067 on March 9, 2006. The conditions are invalid because 4-05067 has expired, and 4-21017 application supersedes this previously approved PPS.

The Planning Board approved PPS 4-21017 on April 28, 2022. The conditions of approval can be found in PGCPB No. 2022-51.

- 6. Prior to signature approval of the preliminary plan of subdivision, the Type 1 tree conservation plan (TCP1) shall be revised, as follows:**
 - a. Revise the woodland conservation worksheet to correct the TCP1 number.**
 - b. Revise the specimen tree table to add a protection measure column and whether special preservation treatment is recommended.**
 - c. Have the revised plan signed and dated by the qualified professional who prepared it.**

This condition was met prior to the signature approval of the TCP1.

- 7. At time of final plat, a conservation easement shall be described by bearings and distances. The conservation easement shall contain the delineated primary management area, except for any approved impacts, and shall be reviewed by the Environmental Planning Section, prior to approval of the final plat. The following note shall be placed on the plat:**

“Conservation easements described on this plat are areas where the installation of structures and roads and the removal of vegetation are prohibited without prior written consent from the M-NCPPC Planning Director or designee. The removal of hazardous trees, limbs, branches, or trunks is allowed.”

8. **Development of this subdivision shall be in conformance with an approved Type 1 Tree Conservation Plan (TCP1-020-2021). The following note shall be placed on the final plat of subdivision:**

“Development is subject to restrictions shown on the approved Type 1 Tree Conservation Plan (TCP1-020-2021), or as modified by the Type 2 Tree Conservation Plan and precludes any disturbance or installation of any structure within specific areas. Failure to comply will mean a violation of an approved Tree Conservation Plan and will make the owner subject to mitigation under the Woodland and Wildlife Habitat Conservation Ordinance. This property is subject to the notification provisions of CB-60-2005. Copies of all approved Tree Conservation Plans for the subject property are available in the offices of the Maryland-National Capital Park and Planning Commission, Prince George’s County Planning Department.”

9. **Prior to issuance of permits for this subdivision, a Type 2 tree conservation plan shall be approved. The following note shall be placed on the final plat of subdivision:**

“This plat is subject to the recordation of a Woodland Conservation Easement pursuant to Section 25-122(d)(1)(B) with the Liber and folio reflected on the Type 2 Tree Conservation Plan, when approved.”

These conditions will be met at the time of final plat.

ENVIRONMENTAL REVIEW

Natural Resources Inventory

An approved Natural Resource Inventory Plan (NRI-072-05-01) was submitted with the review package, which was approved on February 20, 2020. The TCP2 and the DSP show the required information in conformance with the NRI. No revisions are required for conformance to the NRI.

Woodland Conservation

This property is subject to the 2010 Prince George’s County Woodland and Wildlife Habitat Conservation Ordinance (WCO) because the property is greater than 40,000 square feet in size and it contains more than 10,000 square feet of existing woodland. A TCP2 (TCP2-005-2023) was submitted with the DSP application.

Based on the revised TCP2, the overall site contains a total of 12.30 acres of net tract woodlands. The plan shows a proposal to clear 7.18 acres of on-site woodlands and 0.04 acres of off-site woodlands for a woodland conservation requirement of 4.66 acres. Currently, the plan view and woodland conservation worksheet show 4.66 acres of on-site preservation to meet the woodland requirement.

Specimen Trees

Section 25-122(b)(1)(G) requires that “Specimen trees, champion trees, and trees that are part of a historic site or are associated with a historic structure shall be preserved and the design shall either preserve the critical root zone of each tree in its entirety or preserve an appropriate percentage of

the critical root zone in keeping with the tree's condition and the species' ability to survive construction as provided in the Technical Manual.”

The site contains 49 specimen trees with the ratings of good (27 specimen trees), fair (17 specimen trees), and poor (5 specimen trees). With the recently approved PPS (4-21017), the Planning Board approved 15 on-site specimen trees identified as 9, 10, 17a, 18a, 23a, 50a, 59a, 64a, 75a, 77a, 78a, 88a, 100a, 101a, and 102a for removal. This DSP showed no new specimen tree impacts.

Preservation of Regulated Environmental Features/Primary Management Area (PMA)

The site contains REF/PMAs. According to the TCP2, no impacts are proposed to the on-site PMA/REF areas.

Soils

The predominant soils found to occur on-site, according to the United States Department of Agriculture, Natural Resources Conservation Service (USDA NRCS), Web Soil Survey, are Beltsville silt loam, Beltsville-Urban land complex, Sassafras-Croom soils, and Sassafras – Urban land complex soils. Marlboro clay and Christiana complexes are not found on or near this property.

Stormwater Management (SWM)

A Stormwater Management (SWM) Concept Approval Letter (# 3742-2021-00) and associated plan were submitted with the application for this site. The Prince George's County Department of Permitting, Inspections and Enforcement (DPIE) issued the approval on January 19, 2022. The plan proposes to use eight micro-bioretenion ponds. No SWM fee is required for providing on-site attenuation and quality control measures.

There is a larger pond proposed in the northeast corner of the site, and this pond will provide a proposed outfall structure on the adjacent M-NCPPC property. This proposed off-site outfall was approved in 2006 with DSP-06035, and with a DPW&T permit No. 3568-2007-00.

No further action regarding SWM is required with this DSP review.

SUMMARY OF RECOMMENDED FINDINGS AND CONDITIONS

The EPS recommend approval of DSP-22022 and TCP2-005-2023, subject to the following recommended findings and conditions:

Recommended Findings

1. As part of the recently approved PPS 4-21017, the required findings of Section 25-119(d) have been adequately addressed for the removal of 15 specimen trees identified as 9, 10, 17a, 18a, 23a, 50a, 59a, 64a, 75a, 77a, 78a, 88a, 100a, 101a, and 102a. No additional specimen trees were requested for removal with DSP-22022.
2. Based on the level of design information currently available, the limits of disturbance shown on the TCP2, the regulated environmental features (REF) on the subject property were preserved and/or restored to the fullest extent possible. No on-site REF are proposed to be impacted as part of this application.

Recommended Conditions:

1. Prior to the signature of the TCP2 for this site, documents for the required woodland conservation easements shall be prepared and submitted to the Environmental Planning Section (EPS) for review by the Office of Law, and submission to the Office of Land Records for recordation. The following note shall be added to the standard TCP2 notes on the plan as follows:

“Woodlands preserved, planted, or regenerated in fulfillment of woodland conservation requirements on-site have been placed in a woodland and wildlife habitat conservation easement recorded in the Prince George’s County Land Records at Liber ____ folio ____.
Revisions to this TCP2 may require a revision to the recorded easement.”



Angela D. Alsobrooks
County Executive

THE PRINCE GEORGE'S COUNTY GOVERNMENT
Department of Permitting, Inspections and Enforcement
Site/Road Plan Review Division



MEMORANDUM

March 7, 2023

TO: Thomas Burke Subdivision and Zoning Section
Development Review Division, M-NCPPC

FROM: Mary C. Giles, P.E., Associate Director *Mary Giles*
Site/Road Plan Review Division, DPIE

Re: DSP-22022 Hillside at Fort Washington
(64 Single-Family Attached Townhouse Lots & 16 Parcels).

This is in response to the Detailed Site Plan 22022 referral. The Department of Permitting, Inspections and Enforcement (DPIE) offers the following:

- The site is located at the northeastern quadrant of Fort Foote Road and Oxon Hill Road intersection. The property is zoned R-R, is 14.15 acres in size and consists of nineteen (19) existing platted single-family detached lots.
- Detailed Site Plan (DSP)-22022 is to remove the existing lots and approve a detailed site Plan of subdivision for sixty-four (64) townhouse lots and associated stormwater management, landscaping, and open spaces areas.
- The site fronts Oxon Hill Road which is a County-maintained 80ft collector roadway. The existing road has 2 northbound travel lanes. The applicant shall mill and overlay to the centerline and install 5 feet wide sidewalk behind the curb. The applicant shall stripe the existing travel lane adjacent to the existing curb as a shoulder and install "share the road with bike" signs. The applicant shall upgrade/install crosswalks and pedestrian signals as required at the Oxon Hill Road/Fort Foote Road intersection.
- This DSP is consistent with the intent of the approved Site Development Concept plan 37420-2021-00 layout with an expiration date of January 19, 2025.
- DPIE has no objection to DSP-22022.

This memorandum incorporates the Site Development Plan Review pertaining to Stormwater Management (County Code 32-182(b)). The following comments are provided pertaining to this approval phase:

- a) Final site layout, exact impervious area locations are not shown on plans.
- b) Exact acreage of impervious areas has not been provided.
- c) Proposed grading is not shown on plans.
- d) Stormwater volume computations have been provided with the concept submittal. These computations shall be further updated with site development fine grading permit submission.
- e) Erosion/sediment control plans that contain the construction sequence, and any phasing necessary to limit earth disturbances and impacts to natural resources, and an overlay plan showing the types and locations of ESD devices and erosion, and sediment control practices are not included in the submittal.
- f) A narrative in accordance with the code has not been provided.
- g) Applicant shall provide items (a-g) at the time of filing final site permits.

If you have any questions or need additional information, please contact Mr. Nanji Formukong, District Engineer for the area, at 301.636.2060.

MG:AM/NF:ag

cc: De Guzman, Reynaldo P.E, Chief Engineer, S/RPRD, DPIE
Rene Lord-Attivor, Chief Traffic Engineering, DPIE
Nanji Formukong, District Engineer, S/RPRD, DPIE
Salman Babar, CFM, Engineer, S/RPRD, DPIE
Yonas Tesfai, P.E., Engineer, S/RPRD, DPIE
BGH Fort Washington 6110 Executive Avenue Suite 310 Rockville MD 20852
GLW P.A 309 National Drive Suite 250 Burtonsville MD 20866

Good Evening Tom,

The Office of the Fire Marshal has reviewed the referral for DSP-22022 Hillside at Fort Washington (PB). We have no comments. While we have no compliance comments, we would note that due to the 22' private roads and alleys, no on street parking will be allowed other than the spaces where width for on street parking has been provided in addition to the required 22' of fire access width. Fire lane markings will be required prior to occupancy. Regards. Jim

James V. Reilly

Contract Project Coordinator III



Office of the Fire Marshal
Division of Fire Prevention and Life Safety
Prince George's County Fire and EMS Department
6820 Webster Street, Landover Hills, MD 20784
Office: 301-583-1830
Direct: 301-583-1838
Cell: 240-508-4931
Fax: 301-583-1945
Email: jvreilly@co.pg.md.us



Division of Environmental Health/Disease Control

Date: January 24, 2023

To: Thomas Burke, Urban Design, M-NCPPC

From: Adebola Adepoju, Environmental Health Specialist, Environmental Engineering/ Policy Program

Re: DSP-22022 HILLSIDE AT FORT WASHINGTON (PB)

The Environmental Engineering / Policy Program of the Prince George's County Health Department has completed a desktop health impact assessment review of the detailed site plan submission for Hillside at Fort Washington located at 9304 Oxon Hill Road and has the following comments / recommendations:

1. Health Department permit records indicate there are approx. 5 existing carry-out/convenience store food facilities and one market/grocery stores within a ½ mile radius of this location. Research has found that people who live near an abundance of fast-food restaurants and convenience stores compared to grocery stores and fresh produce vendors, have a significantly higher prevalence of obesity and diabetes.
2. During the construction phases of this project, no dust should be allowed to cross over property lines and impact adjacent properties. Indicate intent to conform to construction activity dust control requirements as specified in the 2011 Maryland Standards and Specifications for Soil Erosion and Sediment Control.
3. During the construction phases of this project, noise should not be allowed to adversely impact activities on the adjacent properties. Indicate intent to conform to construction activity noise control requirements as specified in Subtitle 19 of the Prince George's County Code.

If you have any questions or need additional information, please contact me at 301-883-7677 or aoadepoju@co.pg.md.us.



Angela Aboobrooks
County Executive

Environmental Engineering/Policy Program
Largo Government Center
9201 Basil Court, Suite 318, Largo, MD 20774
Office 301-883-7681, Fax 301-883-7266, TTY/STS Dial 711
www.princegeorgescountymd.gov/health

NOTICE OF PUBLIC HEARING

Application Number: **DSP-22022**

Application Name: **HILLSIDE AT FORT WASHINGTON**

Date and time of Planning Board hearing: **Thursday, MARCH 30, 2023 @ 10:00 a.m.**

Description of Request: **DEVELOPMENT OF 64 TOWNHOUSES**

Location: **LOCATED ON THE EAST SIDE OF OXON HILL ROAD APPROXIMATELY 200 FEET SOUTH OF ITS INTERSECTION WITH JOELLYN COURT**

This Notice of Public Hearing is sent to you, a registered **person of record (or a register civic association or municipality) for the subject application.**

This Notice also provides information about Planning Board procedures. A technical staff report (TSR), with a recommendation to the Planning Board (Board), will be prepared by the assigned reviewer and published to the Planning Department's website within one to two weeks prior to the scheduled hearing date (noted above). Technical staff reports may be viewed online and printed. Within three weeks of the Board's hearing and decision, a formal resolution will be adopted by the Board and published on the website for viewing and printing. If you have any questions about the process, please contact the Development Review Division at 301-952-3530.

All Planning Board hearings are scheduled to begin at 10:00 a.m. The hearings are held on the first floor in the Council Hearing Room at the County Administration Building located at 14741 Governor Oden Bowie Drive, Upper Marlboro, MD 20774.

The order of the agenda items is for the convenience of the Planning Board and is subject to change without notice. Items for which speakers are signed up will generally be heard first. The Planning Board encourages the participation of all individuals to include those with special needs; advanced notice is encouraged. For special needs assistance, please call 301-952-3560, TTY 301-952-3796. If you wish to receive the Planning Board Agenda and other published reports by e-mail, please sign up at http://www.pgplanning.org/Planning_Board/Agenda_Subscribe.htm and be sure to visit www.pgplanning.org for the latest information on all Department projects.

Attention: Due to COVID 19, Planning Board meetings are held virtually and may be viewed <http://mncppc.iqm2.com/Citizens/Default.aspx> . IF you wish to speak at the public hearing, registration must be received by 10:00 a.m. on Wednesday before the meeting; please register <http://pgplanningboard.org/883/Watch-Meetings> .



M-NCPPC – Development Review Division, Prince George’s County Planning Department
14741 Governor Oden Bowie Drive, Upper Marlboro, MD 20772 • 301-952-3530

SIGN POSTING INFORMATION

Application Number: **DSP-22022**

Application Name: **HILLSIDE AT FORT WASHINGTON**

Date sign(s) were transmitted to applicant or applicant’s agent: _____

Number of signs transmitted: **1 Double-sided sign**

Person to whom signs were transmitted: Rock Harvey (Print)

Understands the sign posting affidavit must be emailed to PGCReferrals@ppd.mncppc.org with subject: Case Number-Name “Posting Affidavit”

DocuSigned by:
Rock Harvey (Signature)
FE880C0EE774A4...

Capacity in which that person was acting: Owner’s Agent (Owner, applicant, agent)

Date & Time of scheduled PB HEARING: **Thursday, MARCH 30, 2023 @ 10:00 a.m.**

Last date sign(s) can be posted: **BY MIDNIGHT on, Tuesday February 28, 2023**

SIGN POSTING AFFIDAVIT

I, Rock Harvey, hereby certify that the subject property was posted with
(print or type name)

1 sign(s) on February 28, 2023.
(specify number) (date)

I further certify that the signs were inspected on March 9, 2023 (7 to 15 days after site was posted) and were maintained in a reasonable manner.

Signature: _____

DocuSigned by:
Rock Harvey
FE880C0EE774A4...

DO NOT SUBMIT THIS AFFIDAVIT UNTIL THE SITE HAS BEEN INSPECTED.

Application Number: DSP - 22022 Application Name: Hillside at Fort Washington

Contact Person & Telephone: Sevag Balian 301-440-1748

Company Name & Address: Haverford Homes 6110 Executive Blvd, Suite 310, Rockville, MD 20852

Capacity in which you are acting: Owner
(owner, applicant, agent)

Note: Attach legible, close up photograph(s) showing sign(s) in place and at least one additional photograph from a distance sufficient to show physical improvements or natural characteristics to identify the subject property.

Return this affidavit and photographs **saved as one PDF and emailed to PGCReferrals@ppd.mncppc.org Subject: CaseNo-CaseName and "Posting Affidavit"** not later than 14 days prior to the Planning Board hearing date.

* * * * *