



The Maryland-National Capital Park and Planning Commission

PRINCE GEORGE'S COUNTY
Planning Department

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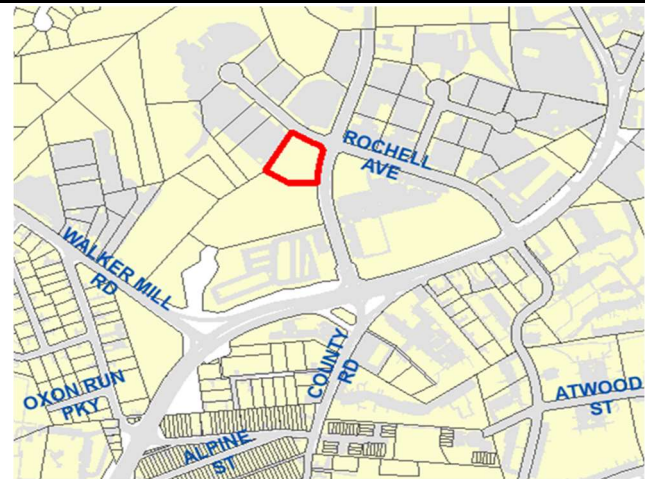
Detailed Site Plan

DSP-25007

Walker Mill Business Park Lot 15 Block B

REQUEST	STAFF RECOMMENDATION
Development of approximately 17,725 square feet of industrial uses for a contractor's office with outdoor storage and contractor's storage yard.	With the conditions recommended herein: <ul style="list-style-type: none">• APPROVAL of Detailed Site Plan DSP-25007• APPROVAL of Type 2 Tree Conservation Plan TCP2-014-2025

Location: In the southwest quadrant of the intersection of Rochell Avenue and Hazelwood Drive.	
Gross Acreage:	1.73
Zone:	IE
Prior Zone:	I-1
Reviewed per prior Zoning Ordinance:	Section 27-1704(b)
Gross Floor Area:	17,725 sq. ft.
Planning Area:	75B
Council District:	07
Municipality:	Capitol Heights
Applicant/Address: A & A Rochell, LLC 10610 Rhode Island Avenue Beltsville, MD 20705	
Staff Reviewer: David Myerholtz Phone Number: 301-780-3411 Email: David.Myerholtz@ppd.mnccppc.org	



Planning Board Date:	06/12/2025
Planning Board Action Limit:	07/24/2025
Staff Report Date:	05/28/2025
Date Accepted:	03/31/2025
Informational Mailing:	03/25/2025
Acceptance Mailing:	03/25/2025
Sign Posting Deadline:	05/13/2025

The Planning Board encourages all interested persons to request to become a person of record for this application. Requests to become a person of record may be made online at http://www.mnccppcapps.org/planning/Person_of_Record/. Please call 301-952-3530 for additional information.

Table of Contents

EVALUATION CRITERIA	3
FINDINGS	4
1. Request	4
2. Development Data Summary	4
3. Location	5
4. Surrounding Uses	5
5. Previous Approvals.....	5
6. Design Features:.....	6
COMPLIANCE WITH EVALUATION CRITERIA	8
7. Prince George's County Zoning Ordinance.....	8
8. Preliminary Plan of Subdivision 4-01056	13
9. 2010 Prince George's County Landscape Manual	15
10. 2010 Prince George's County Woodland and Wildlife Habitat Conservation Ordinance.....	15
11. Prince George's County Tree Canopy Coverage Ordinance	15
12. Referral comments.....	16
13. Community feedback:	17
RECOMMENDATION	18

THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

PRINCE GEORGE'S COUNTY PLANNING BOARD

STAFF REPORT

SUBJECT: Detailed Site Plan DSP-25007
 Type 2 Tree Conservation Plan TCP2-014-2025
 Walker Mill Business Park Lot 15 Block B

The Urban Design staff have reviewed the detailed site plan for the subject property and present the following evaluation and findings leading to a recommendation of APPROVAL, with conditions, as described in the Recommendation section of this technical staff report.

EVALUATION CRITERIA

The subject property is located within the Industrial, Employment (IE) Zone. However, this application is being evaluated in accordance with the Prince George's County Zoning Ordinance effective prior to April 1, 2022 (prior Zoning Ordinance). Pursuant to Section 27-1704(b) of the current Zoning Ordinance, a development project approved and remaining valid pursuant to the prior Zoning Ordinance and prior Subdivision Regulations may proceed to the next steps in the approval process and continue to be reviewed and decided under the prior Zoning Ordinance. The site has a Preliminary Plan of Subdivision, 4-01056, approved by the Prince George's County Planning Board on September 27, 2001 (PGCPB Resolution No. 01-198), which remains valid, and therefore, this application may proceed to the next steps in the approval, and continue to be reviewed and decided under the prior Zoning Ordinance. This detailed site plan (DSP) represents the next step in the approval process for this site. Under the prior Zoning Ordinance, the property is subject to the standards of the Light Industrial (I-1) Zone, which applied to this property prior to April 1, 2022. Therefore, staff considered the following in reviewing this DSP application:

- a. The requirements of the prior Prince George's County Zoning Ordinance in the Light Industrial (I-1) Zone, and the site design guidelines;
- b. The requirements of Preliminary Plan of Subdivision 4-01056;
- c. The requirements of the 2010 *Prince George's County Landscape Manual*;
- d. The requirements of the Prince George's County Woodland and Wildlife Habitat Conservation Ordinance;
- e. The requirements of the Prince George's County Tree Canopy Coverage Ordinance;
- f. Referral comments; and
- g. Community Feedback.

FINDINGS

Based upon the analysis of the subject application, the Urban Design staff recommend the following findings:

1. **Request:** The subject detailed site plan (DSP) proposes to construct approximately 17,725 square feet of industrial uses for a contractor's office with outdoor storage and contractor's storage yard.

More specifically, the applicant requests two phases of development. Phase 1 will include construction of a contractor's storage yard, including a landscape buffer along Hazelwood Drive and Rochell Avenue. Phase 2 will include three contractor office buildings with outdoor storage.

2. **Development Data Summary:**

	EXISTING	EVALUATED Phase 1	EVALUATED Phase 2
Zone	IE	I-1	I-1
Use	Vacant	Contractor's Storage Yard	Contractor's Office with Outdoor Storage
Total Acreage	1.73	1.73	1.73
Total Gross Floor Area (square feet)	0	0	17,725

Parking and Loading – Phase 1		
Use	Number of Spaces Required (1 space per 1,000 sq. ft. for first 10,000 sq. ft. +1 space per additional 10,000 sq. ft.)	Number of Spaces Provided*
Contractor's Storage Yard		
Standard (9.5 x 19 feet)	14	0
Handicap-Accessible (16 x 19 feet)	1	0
Total	14	0

Note: *No parking spaces are shown in Phase 1 of the submitted plans, although there is room within the storage area for the required spaces. A condition has been included herein requiring the applicant to show the required parking for Phase 1 prior to certification of the DSP. There is no loading space requirement for contractor storage yards.

Parking and Loading - Phase 2		
Use	Number of Spaces Required (17,725/500=36)*	Number of Spaces Provided
Contractor's Office with Outdoor Storage (1 space per 500 sq. ft.)		
Standard (9.5 x 19 feet)*	36	35
Handicap-Accessible (16 x 19 feet)	1	0
Handicap Van-Accessible (8 x 19 feet with 8-foot access)	1	2
Total	36	37
Loading Spaces	Industrial, wholesale, and storage uses (45x12 feet), All other uses (33x12 feet)	
1 space for 2,000 - 10,000 sq. ft.		
Building A (7,875 sq. ft.) (45x12 feet)	1	1
Building B (1,975 sq. ft.)	0	0
Building C (7,875 sq. ft.) (33x12 feet)	1	1
Total	2	2

Note: *Of which, one must be handicap-accessible and at least one must be handicap van-accessible.

3. **Location:** The subject property is in Planning Area 75B and Council District 7, and is described as Lot 15, Block B, as shown on Tax Map 81 in Grid C-1. More specifically, the site is located in the southwest quadrant of the intersection of Rochell Avenue and Hazelwood Drive.
4. **Surrounding Uses:** All adjacent properties are located in the Industrial, Employment (IE) Zone (previously Light Industrial (I-1) Zone). More specifically, the subject property is flanked to the west by a contractor's storage yard, and to the south by existing woodlands on a vacant parcel. Across Hazelwood Drive to the east is a place of worship. To the north, across Rochell Avenue, is a contractor's storage yard. Industrial warehouses are located diagonally from the subject site, across the intersection of Hazelwood Drive and Rochell Avenue.
5. **Previous Approvals:** The subject property is part of a larger development known as the Walker Mill Business Park, which was retained in the I-1 Zone, with the approval of the 2010 *Approved Subregion 4 Master Plan and Sectional Map Amendment*, which recommended employment and light industrial uses on the property. The 2019 *Countywide Map Amendment* reclassified the site from the prior I-1 Zone to the IE Zone.

On September 27, 2001, the Prince George's County Planning Board approved Preliminary Plan of Subdivision (PPS) 4-01056 (PGCPB Resolution No. 01-198) for the property, subject to 10 conditions.

On September 30, 2004, the Planning Board approved DSP-03085 for a contractor's storage yard with three buildings in the I-1 Zone, subject to one condition. The Prince George's

County District Council elected to review the DSP and issued a decision of approval, with conditions, on June 13, 2005. The approval of this DSP expired on June 13, 2008, pursuant to Section 27-287 of the prior Prince George's County Zoning Ordinance.

On January 13, 2011, the Planning Board approved DSP-03085-01 for a contractor's storage yard with three buildings in the I-1 Zone, subject to five conditions. Subsequently, the validity period for this DSP was legislatively extended to December 31, 2021. The approval of this DSP expired on December 31, 2021, as no construction ever occurred.

The site is also the subject of Stormwater Management (SWM) Concept Plan 5930-2004-03, which was approved by the Prince George's County Department of Permitting, Inspections and Enforcement (DPIE) on October 7, 2024, and is valid until September 26, 2027.

6. **Design Features:** The design for the site includes three buildings with two vehicular access points from public rights-of-way (ROWs), one from Rochell Avenue and one from Hazelwood Drive. Phase 1 of the development will include using the majority of the site as a contractor's storage yard. A 25-foot-wide landscape strip is provided along both the Rochell Avenue and Hazelwood Drive frontages of the subject property. A proposed 6-foot-high vinyl fence surrounds the property. A 5-foot-wide sidewalk is provided along both the Rochell Avenue and Hazelwood Drive frontages.

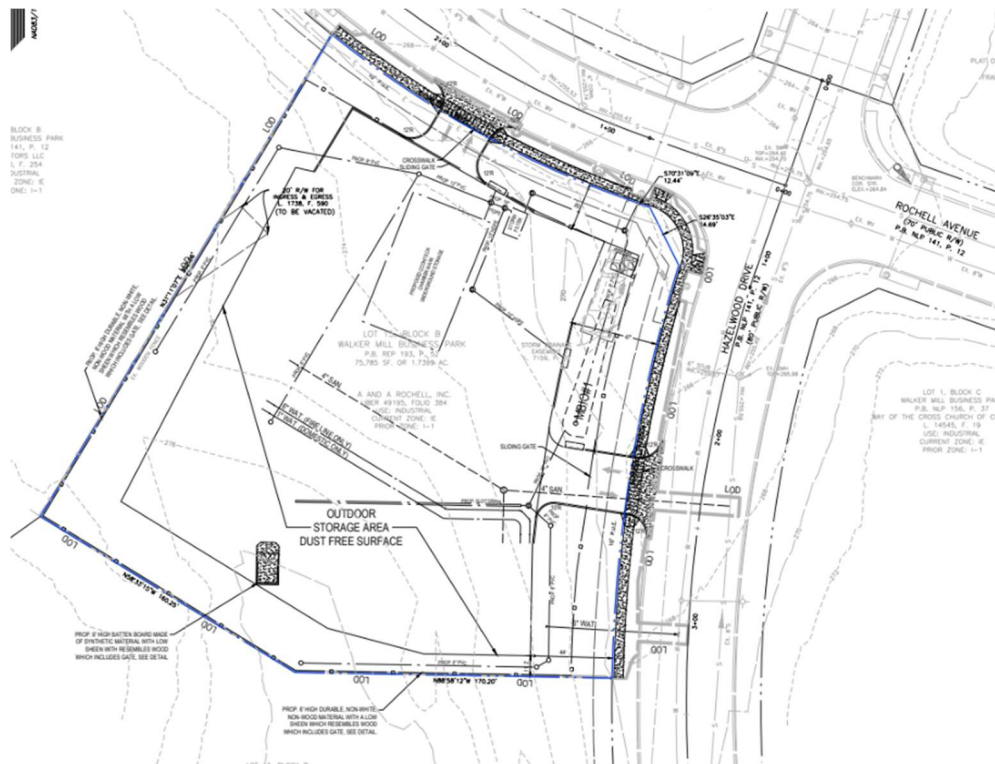


Figure 1: Detailed Site Plan - Phase 1

Phase 2 of the development will include the construction of three contractor's office buildings. Proposed Building A, a 20-foot-tall, 7,875-square-foot building, is located along the southernmost boundary of the site. Proposed Building B, which measures 1,975 square feet and 20 feet high, sits near the northeast corner of the subject property. Proposed Building C, a 7,875-square-foot building also 20 feet tall, is located along the site's western

boundary. A 25-foot-wide landscape strip is provided along both the Rochell Avenue and Hazelwood Drive frontages of the subject property. A proposed 6-foot-high vinyl fence surrounds the property. A 5-foot-wide sidewalk is provided along both the Rochell Avenue and Hazelwood Drive frontages. The center of the property is the proposed contractor's storage yard. Parking is provided primarily adjacent to the individual buildings.

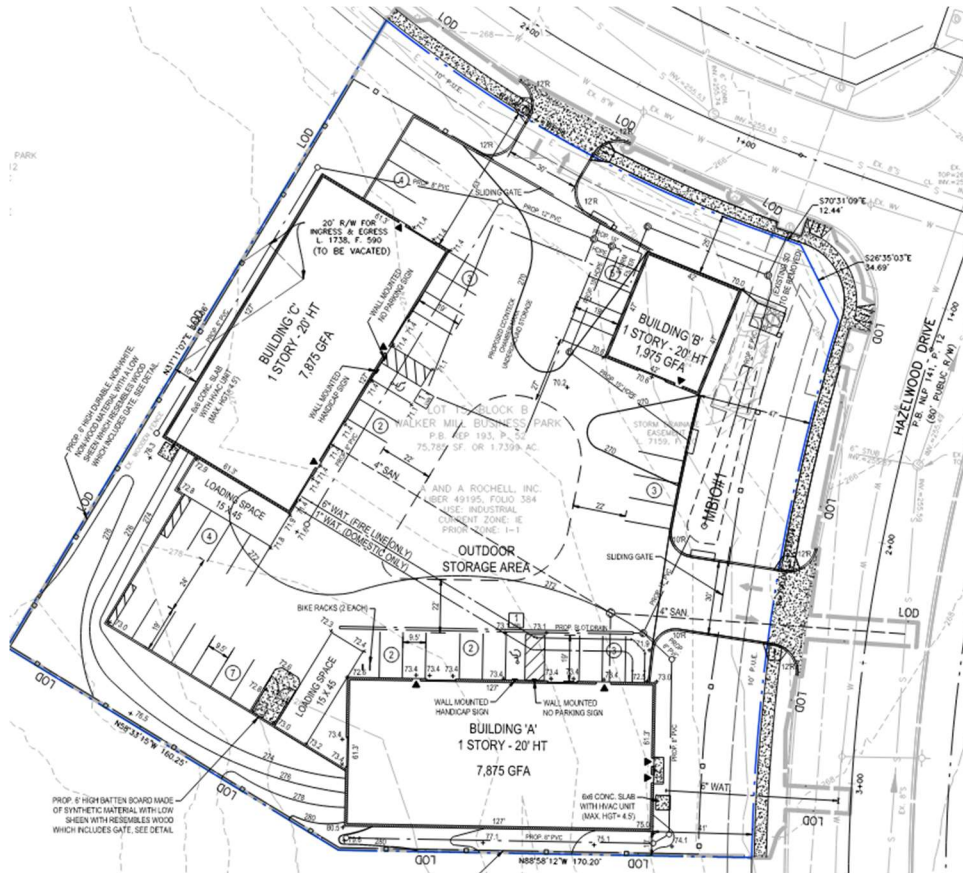


Figure 2: Detailed Site Plan - Phase 2

Architecture

The applicant has proposed three 1-story buildings with similar architecture to be constructed during Phase 2. All three buildings will be 20 feet in height and feature durable quality materials, including split-face concrete, steel siding, and glass. Each building features windows on at least three elevations, and green woven fabric awnings are proposed above each window and door, adding additional architectural interest.

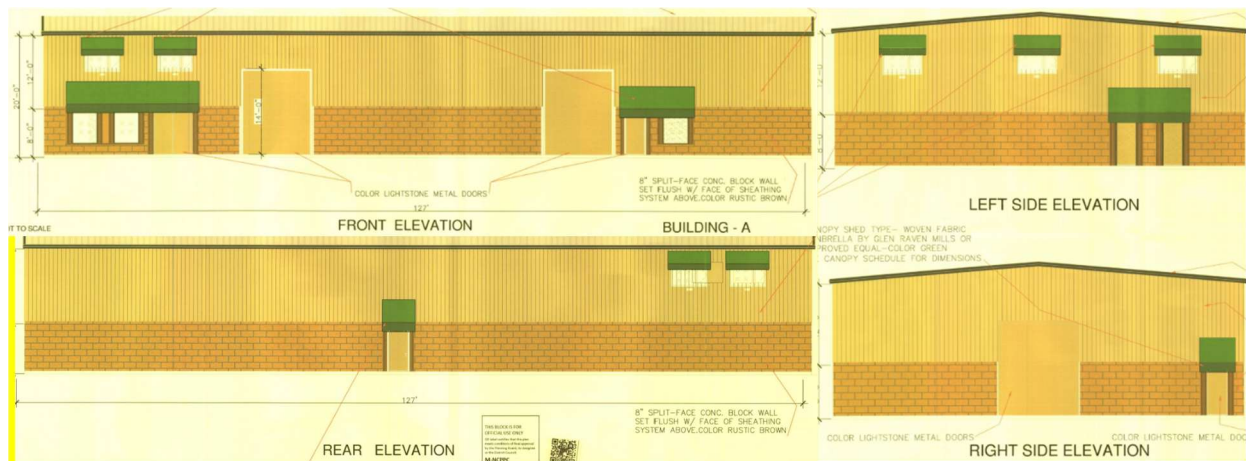


Figure 3: Proposed Architectural Elevations for Building A. Similar architecture is proposed for Buildings B and C.

Signage

No signage is proposed with this application.

Loading and Trash Facilities

In Phase 1, the subject DSP includes one concrete dumpster pad in the central/southern portion of the site, which will be screened by an enclosure to be constructed of a synthetic material resembling wood.

Phase 2 of the subject DSP includes two loading spaces located internally to the property, near the southwest corner of the site. The proposed landscaping of trees and bushes along the eastern and northern property lines provides screening of the loading spaces from Hazelwood Road and Rochell Avenue. A proposed concrete dumpster pad, in the central/southern portion of the site, is screened by an enclosure to be constructed of a synthetic material resembling wood.

COMPLIANCE WITH EVALUATION CRITERIA

7. **Prince George's County Zoning Ordinance:** The subject application has been reviewed for compliance with the requirements of the I-1 Zone and the site plan design guidelines of the prior Zoning Ordinance.
 - a. This application is subject to the requirements of Section 27-469, I-1 Zone (Light Industrial), of the prior Zoning Ordinance as follows:
 - (b) **Landscaping, screening, and buffering of development in the I-1 Zone shall be provided in accordance with the provisions of the Landscape Manual, in addition, the following applies:**
 - (1) **At least ten percent of the net lot area shall be maintained as green area.**

- (2) Any landscaped strip adjacent to a public right-of-way required pursuant to the provisions of the Landscape Manual shall not be considered part of the required green area.**

The site has a green area requirement of 7,597 square feet. The total green area provided, excluding the required landscape strip adjacent to the public ROWs, is 22,950 square feet. The requirements of this section are met.

- (3) A vehicle towing station permitted in the I-1 Zone shall be screened by a wall or fence at least six (6) feet high, or by an evergreen screen, unless the adjoining property is used for a vehicle towing station or a vehicle salvage yard.**

The proposed use is not a vehicle towing station. Therefore, this regulation does not apply.

(c) Outdoor Storage

- (1) Outdoor storage shall not be visible from a street.**

The applicant included an outdoor storage cross section exhibit which demonstrates conformance with this regulation. A 6-foot-high fence and 25-foot-wide landscape buffer provide screening of the outdoor storage area, from Rochell Avenue and Hazelwood Drive, in Phase 2. However, the cross sections provided do not show the full scope of the storage area included in Phase 1. A condition is included herein which requires that a cross section exhibit demonstrating conformance with this regulation for Phase 1 be submitted, prior to certification, subject to review by the Urban Design Section of the Development Review Division, as a designee of the Planning Board.

(d) Uses

- (1) The uses allowed in the I-1 Zone are as provided for in Table of Uses I (Division 3 of this Part).**

The subject DSP proposes to develop a contractor's storage yard in Phase 1, and a contractor's office with outdoor storage in Phase 2. Per Section 27-473(b) of the prior Zoning Ordinance, the uses proposed for both phases are permitted in the I-1 Zone.

(e) Regulations.

- (1) Additional regulations concerning the location, size, and other provisions for all buildings and structures in the I-1 Zone are as provided for in Divisions 1 and 5 of this Part, the Regulations Table (Division 4 of this Part), General (Part 2), Off-Street Parking and Loading (Part 11), Signs (Part 12), and the Landscape Manual.**

The subject DSP is in conformance with these regulations. Specific details have been discussed in Findings 2 and 6 above, and Finding 9 below.

- b. Section 27-474 of the prior Zoning Ordinance provides additional regulations for development in industrial zones, including requirements for setbacks, net lot area, lot frontage, building coverage, and green area. The subject DSP meets all of these requirements, as shown on the submitted plans.
- c. **Site Design Guidelines:** Section 27-274(a) of the prior Zoning Ordinance provides site design guidelines for a DSP. The applicable design guidelines are described as follows:

(2) Parking, loading, and circulation

- (A) Surface parking lots should be located and designed to provide safe and efficient vehicular and pedestrian circulation within the site, while minimizing the visual impact of cars. Parking spaces should be located to provide convenient access to major destination points on the site.**

Access to the subject site will be provided by two driveways, one along Rochell Avenue, and another along Hazelwood Drive. Phase 1 includes an approximately 46,982-square-foot contractor's storage yard, which requires 14 parking spaces, including one Americans with Disabilities Act (ADA) accessible space. A condition is included herein requiring the applicant to show these required spaces on the site plan prior to certification. The development in Phase 2 requires 36 parking spaces, of which 37 are provided to include 35 standard and two ADA-accessible parking spaces. The proposed parking meets the requirements and allows for adequate circulation through the site.

- (B) Loading areas should be visually unobtrusive and located to minimize conflicts with vehicles or pedestrians.**

No loading areas are included in Phase 1. The proposed development includes two loading spaces in Phase 2 and does not feature any loading docks. The loading area is clearly marked and located to minimize conflict with vehicles and pedestrians. The loading circulation exhibit demonstrates that the movements will be accommodated through the site. One loading space is adjacent to 90-degree parking. A condition is included herein requiring that any parking adjacent to a loading space include a wheel stop, to ensure adequate separation.

- (C) Vehicular and pedestrian circulation on a site should be safe, efficient, and convenient for both pedestrians and drivers.**

The site has a 5-foot-wide, ADA-compliant sidewalk along the frontage of the site, and crosswalks across vehicle access points. The site plan also includes directional arrows for efficient vehicular circulation. Access to the site will be controlled by swing gates. Staff find circulation to be sufficient.

(3) Lighting.

- (A) For uses permitting nighttime activities, adequate illumination should be provided. Light fixtures should enhance the design character.**

There are no nighttime activities or light fixtures proposed with this application. Any future lighting for the site will require a DSP amendment.

(4) Views.

- (A) Site design techniques should be used to preserve, create, or emphasize scenic views from public areas.**

The DSP is designed to preserve, create, or emphasize views from public roads and adjoining properties. The proposed 6-foot-high vinyl fence has been designed to provide a modern and clean presence and is set back 25 feet from the roadways to not block views. A 25-foot-wide landscape strip is provided along the road frontages.

(5) Green Area.

- (A) On-site green area should be designed to complement other site activity areas and should be appropriate in size, shape, location, and design to fulfill its intended use.**

This DSP complies with the design guidelines outlined above. The required green area for this project is 10 percent, and the application proposes approximately 32 percent. The green area is provided primarily on the perimeter of the overall site, enhancing the view from adjacent ROWs and nearby properties.

(6) Site and streetscape amenities.

- (A) Site and streetscape amenities should contribute to an attractive, coordinated development and should enhance the use and enjoyment of the site.**

The applicant is not proposing site or streetscape amenities as part of this DSP. However, as previously discussed, the DSP proposes a landscape strip and sidewalk along the road frontages, contributes to

an attractive development pattern, and enhances the streetscape in the area.

(7) Grading.

- (A) Grading should be performed to minimize disruption to existing topography and other natural and cultural resources on the site and on adjacent sites. To the extent practicable, grading should minimize environmental impacts.**

Minimal grading is required for the current proposed development, as the property was previously cleared and graded pursuant to prior approvals. There are no regulated environmental features (REF) located on-site.

(8) Service Areas.

- (A) Service areas should be accessible, but unobtrusive.**

Phase 1 of the DSP includes one concrete dumpster pad in the central/southern portion of the site, which will be screened by an enclosure to be constructed of a synthetic material resembling wood. This area is accessible and unobtrusive. Phase 2 of the DSP proposes two dedicated loading spaces which are accessible and unobtrusive to the use of the site. A condition is included herein to ensure that wheel stops are installed wherever parking spaces abut loading spaces. The storage areas proposed are accessible, unobtrusive, and appropriately screened from public ROWs.

(9) Public Spaces.

- (A) A public space system should be provided to enhance a large-scale commercial, mixed-use, or multifamily development. To fulfill this goal, the following guidelines should be observed:**

This DSP is not a large-scale commercial, mixed-use, or multifamily development, and therefore, public space is not included for this site.

(10) Architecture.

- (A) When architectural considerations are references for review, the Conceptual Site Plan should include a statement as to how the architecture of the buildings will provide a variety of building forms, with unified, harmonious use of materials and styles.**
- (B) The guidelines shall only be used in keeping with the character and purpose of the proposed type of development and the specific zone in which it is to be located.**

(C) These guidelines may be modified in accordance with Section 27-277.

A detailed discussion regarding architecture has been provided in Finding 6 above.

- 8. Preliminary Plan of Subdivision 4-01056:** PPS 4-01056 for Walker Mill Business Park, which includes the subject site, was approved by the Planning Board on September 27, 2001 (PGCPB Resolution No. 01-198), subject to 10 conditions. The following conditions apply to the review of this DSP:

- 1. Total development within proposed Lots 15, 16, 17, and 18 of Walker Mill Business Park shall be limited to permitted uses which generate no more than 183 AM and 183 PM peak-hour vehicle trips. Any development generating impact greater than that identified herein shall require a new Preliminary Plan of Subdivision with a new determination of the adequacy of transportation facilities**

This condition defines a trip cap for Lots 15, 16, 17, and 18 of Block B, for development which would generate no more than 183 AM and 183 PM peak-hour vehicle trips. In reviewing DSP-02002 for Lot 17, it was determined that the approved development would generate 13 AM and 23 PM peak-hour vehicle trips. In reviewing DSP-18049 for Lot 18, which included a 160-square-foot contractor's office with outdoor storage, it was determined that the approved development was within the trip cap established by this condition.

In an analysis completed with DSP-03085-01 for Lot 15, which included development that was similar to this application, it was estimated that the subject proposal would generate 35 AM and 33 PM peak hour trips. That approval has since expired. No further development has been proposed within the limits of PPS 4-01056.

The development proposed with the subject DSP is consistent with the approved PPS, and does not exceed the established trip cap.

- 3. Detailed site plan review shall be required prior to the issuance of building permits pursuant to CR-147-1985. The following shall be included in the review or the specified information shall be supplied:**

- a. The Planning Board shall review the development to assure its compliance with the following design guidelines:**

- (1) An effective visual buffer created by substantial berms and landscaping shall be provided along Walker Mill Road, Rollins Avenue, and Addison Road and along abutting areas which are planned or developed for residential purposes in order to maintain the residential character of surrounding properties.**

The subject project is not located on Walker Mill Road, Rollins Avenue, or Addison Road, nor is it located along abutting areas that are planned or developed for residential purposes. Therefore, the above design guideline does not apply.

(2) The internal organization of the site shall address the following:

- A. Provide a continuous six-foot high sight-tight wood fence with swinging or sliding gates along property lines which have frontage on any vehicular right-of-way within the subdivision. Metal security fencing, including chain link, may be located behind and adjacent to the required wood fence if it is not visible from the street.**

A 6-foot-high, non-white, vinyl fence is proposed along the perimeter of the subject property. The proposed fence has a low sheen which resembles wood. Staff find that the proposed fence material will achieve the appearance intended by this condition, while being constructed of a more durable material that will maintain its appearance with less need for maintenance than natural wood.

- B. Provide 12 feet of commercial/industrial landscaped strip along property lines which have frontage on any vehicular right-of-way. Plant materials provided within the landscaped strip shall be evergreen trees planted 10 feet on center, or other acceptable planting arrangement utilizing the same quantity of trees which is approved by the Planning Board or the Urban Design staff as designee of the Planning Board. White pine trees shall contribute no more than 20 percent of the trees in this landscaped strip.**

A 25-foot-wide landscape strip is proposed along the frontages of both Hazelwood Drive and Rochell Avenue, with a mix of shade, ornamental, and evergreen trees in accordance with this condition, including less than 20 percent white pines trees.

- C. Provide cross-sections through the subject site to demonstrate that any area of outdoor storage visible from any adjacent right-of-way shall have the solid wood fence specified in condition 1. a.**

The cross-section exhibit submitted with the DSP demonstrates that the outdoor storage area will be sufficiently screened from the public ROW for Phase 2. A condition is included herein requiring a similar exhibit be submitted prior to certification for Phase 1, in accordance with this condition.

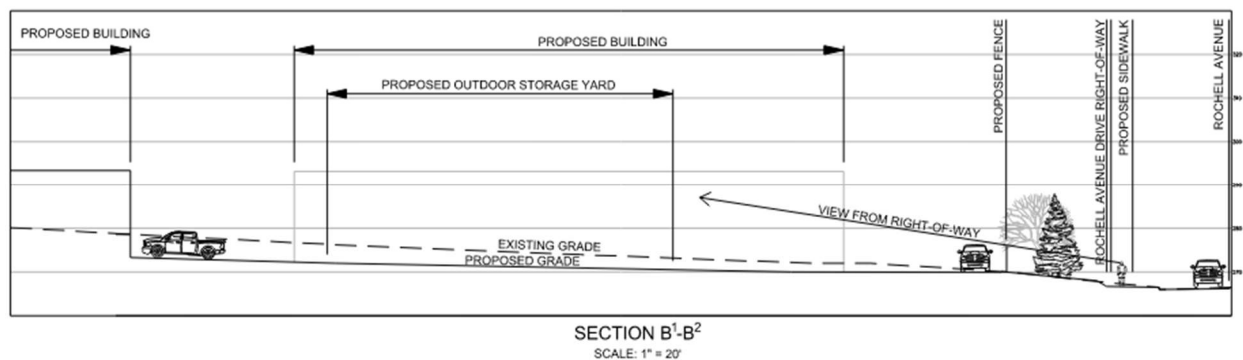


Figure 4: Cross Section of Proposed Storage Yard

9. **2010 Prince George's County Landscape Manual:** The application is subject to the requirements of the 2010 *Prince George's County Landscape Manual* (Landscape Manual), for Section 4.2, Requirements for Landscape Strips along Streets; Section 4.3, Parking Lot Requirements; Section 4.4, Screening Requirements; and Section 4.9, Sustainable Landscaping Requirements. Staff note that the required plantings and schedules are provided in conformance with the Landscape Manual.
10. **2010 Prince George's County Woodland and Wildlife Habitat Conservation Ordinance:** This property is subject to the grandfathering provisions of the 2024 Prince George's County Woodland and Wildlife Habitat Conservation Ordinance (WCO) because the property had a tree conservation plan that was implemented before June 30, 2024, and shall conform to the environmental regulations of the 1990 WCO. A Type 2 Tree Conservation Plan (TCP2-014-2025) was submitted with the current application.

This site is subject to Type I Tree Conservation Plan TCPI-020-01, which was for a greater assemblage of lots. The TCPI shows that no clearing is required on proposed Lot 15, and thus, no mitigation is required. This TCPI is considered valid as both Lots 17 and 18 have proceeded through development applications. Based on the submitted TCP2, the overall site contains no net tract woodlands and no wooded floodplain. The plan proposes no clearing of woodlands. Technical revisions are required on the TCP2 and are included in the conditions herein.

11. **Prince George's County Tree Canopy Coverage Ordinance:** Section 25-128 of the Prince George's County Code requires a minimum percentage of tree canopy coverage (TCC) on projects that propose more than 2,500 square feet of disturbance. The Tree Canopy Coverage Ordinance is not subject to the current Zoning Ordinance grandfathering provisions and does not contain any grandfathering provision for prior zoning, except for specified legacy zones, or developments that had a previously approved and valid landscape plan demonstrating conformance to TCC. Therefore, this application was reviewed for conformance with the TCC requirement for the current property zone, which is IE.

The TCC requirement in the IE Zone is 15 percent of the net tract area, or 0.26 acre. The subject DSP includes the required schedule demonstrating conformance by providing 0.26 acre of TCC through new plantings on the subject property.

12. Referral comments: The subject application was referred to the concerned agencies and divisions and their referral comments are summarized, as follows:

- a. **Historic Preservation and Archeological Review**—In a memorandum dated April 10, 2025 (Stabler, Smith, and Chisholm to Myerholtz), incorporated herein by reference, the Historic Preservation Section stated that a search of current and historic photographs, topographic and historic maps, and locations of currently known archeological sites indicates that the probability of archeological sites within the subject property is low. This proposal will not impact any historic sites, historic resources, or known archeological sites.
- b. **Community Planning**—In a memorandum dated April 14, 2025 (Skibinski to Myerholtz), incorporated herein by reference, the Community Planning Division noted that the 2010 *Approved Subregion 4 Master Plan* recommends industrial land use on the subject property. Although master plan conformance is not required in accordance with Part 3, Division 9, Subdivision 3 of the prior Zoning Ordinance, the proposed use of the site, as a contractor's office and outdoor storage yard, does conform with the recommended land use.
- c. **Transportation Planning**—In a memorandum dated May 2, 2025 (Udeh to Myerholtz), incorporated herein by reference, the Transportation Planning Section offered an analysis of the site design and a discussion of the application which have been incorporated into findings above. It is determined that the vehicular, pedestrian, and bicycle access and circulation for this plan are acceptable, consistent with the site design guidelines pursuant to Section 27-274, and meet the findings for pedestrian and bicycle transportation purposes.
- d. **Permits**—In a memorandum dated May 1, 2025 (Greenwell to Myerholtz), the Permit Review Section offered no comments on the subject application.
- e. **Environmental Planning**—In a memorandum dated May 2, 2025 (Kirchhof to Myerholtz), incorporated herein by reference, the Environmental Planning Section provided the following summarized discussion:

Natural Resources Inventory/Environmental Features

The application has an approved Natural Resources Inventory Equivalency Letter (NRI-092-2024). The TCP2 and DSP show all the required information correctly, in conformance with the NRI. No specimen trees or REF are located on-site. No unsafe soils containing Marlboro or Christiana clays are located on-site.

Stormwater Management

The applicant has submitted an approved SWM Concept Plan (5930-2004-02), which was approved by DPIE on September 26, 2018, and an approved SWM Concept Letter (5930-2004-03), which was approved on October 7, 2004, and is valid until September 26, 2027. This plan proposes one type of best management practice, a micro-bioretenion pond, which (in association with underground storage) will treat stormwater before connecting to a public stormdrain.

Soils

The predominant soils found to occur on-site, according to the United States Department of Agriculture, Natural Resource Conservation Service, Web Soil Survey, include the Udorthents-Urban land complex. No unsafe soils containing Marlboro or Christiana clays are located on-site. This information is provided for the applicant's benefit, and no further information is needed regarding soils at this time.

- f. **Prince George's County Fire/EMS Department**—In a memorandum dated March 31, 2025 (Reilly to Myerholtz), the Fire/EMS department requested a condition regarding marking of the outdoor storage area, which has been incorporated herein.
 - g. **Prince George's County Department of Permitting, Inspections and Enforcement (DPIE)**—At the time of the writing of this technical staff report, staff did not receive comments regarding the subject project from DPIE.
 - h. **Prince George's County Police Department**—At the time of the writing of this technical staff report, staff did not receive comments regarding the subject project from the Police Department.
 - i. **Prince George's County Health Department**—At the time of the writing of this technical staff report, staff did not receive comments regarding the subject project from the Health Department.
 - j. **Maryland State Highway Administration (SHA)**—At the time of the writing of this technical staff report, staff did not receive comments regarding the subject project from SHA.
 - k. **Washington Suburban Sanitary Commission (WSSC)**—At the time of the writing of this technical staff report, staff did not receive comments regarding the subject project from WSSC.
 - l. **Town of Capitol Heights**—At the time of the writing of this technical staff report, staff did not receive comments regarding the subject project from the Town of Capitol Heights.
 - m. **Town of District Heights**—At the time of the writing of this technical staff report, staff did not receive comments regarding the subject project from the Town of District Heights.
13. **Community feedback:** As of the writing of this technical staff report, staff did not receive any inquiries from the community regarding the subject DSP.
14. As required by Section 27-285(b)(1) of the prior Zoning Ordinance, the DSP, if revised as conditioned, represents a reasonable alternative for satisfying the site design guidelines of prior Subtitle 27, Part 3, Division 9, of the County Code without requiring unreasonable costs and without detracting substantially from the utility of the proposed development for its intended use.

15. Section 27-285(b)(2) of the prior Zoning Ordinance is not applicable because there is no conceptual site plan.
16. Section 27-285(b)(3) of the prior Zoning Ordinance does not apply to this DSP because it is not a DSP for infrastructure.
17. As required by Section 27-285(b)(4) of the prior Zoning Ordinance, the Planning Board may approve a DSP if it finds that the REF have been preserved and/or restored in a natural state, to the fullest extent possible, in accordance with the requirement of Section 24-130(b)(5) of the prior Prince George's County Subdivision Regulations. This requirement is not applicable as there are no REF on the subject property.

RECOMMENDATION

Based upon the foregoing evaluation and analysis, the Urban Design staff recommend that the Planning Board adopt the findings of this report and APPROVE Detailed Site Plan DSP-25007, and Type 2 Tree Conservation Plan TCP2-014-2025, for Walker Mill Business Park Lot 15, Block B, subject to the following conditions:

1. Prior to certification of the detailed site plan, the following revisions shall be made to the plans:
 - a. Add a general note to demonstrate what type of materials or equipment will be stored in the outdoor storage area.
 - b. Add a general note to state that outdoor storage shall not be visible from the street, in accordance with Section 27-469(c)(1) of the prior Prince George's County Zoning Ordinance, and provide an exhibit demonstrating conformance to this Section for Phase 1.
 - c. Identify plan sheet A72058 as Phase 2 of development.
 - d. Add wheel stops to any parking spaces abutting loading spaces.
 - e. Show the required parking spaces, including any Americans with Disabilities Act accessible spaces, on the Phase 1 site plan.
 - f. Correct General Note 7 to identify the use as a contractor's office and state a total of 34 standard parking spaces and 2 handicap van-accessible spaces, as shown on the plans for Phase 2.
 - g. Clearly mark the limits of the outdoor storage area on-site in Phase 2, to prevent storage from encroaching into the required 22-foot-wide drive aisles.
 - h. Submit the revised approved stormwater management concept plan.
2. Prior to certification of the detailed site plan, the Type 2 tree conservation plan shall be revised as follows, in accordance with the 2018 Environmental Technical Manual (ETM):

- a. The general note for the utilization of off-site woodland conservation credit shall be revised to be reflective of standards as shown in the ETM.
- b. The property owner's awareness block shall be signed and dated.
- c. Revise General Note 10 to read as follows:

"In conformance with the grandfathering provisions of the 2024 Prince George's County Woodland and Wildlife Habitat Conservation Ordinance (Section 25-199(g) of the Prince George's County Code), and Preliminary Plan of Subdivision 4-01056, with companion Type I Tree Conservation Plan TCPI-020-01, the geographic area of Lot 15, Block B requires no mitigation as the requirement is designated on other parts of the subdivision, specifically on Lots 15, 16, and 17, Block B."

WALKER MILL BUSINESS PARK

Detailed Site Plan

TCP2-014-2025

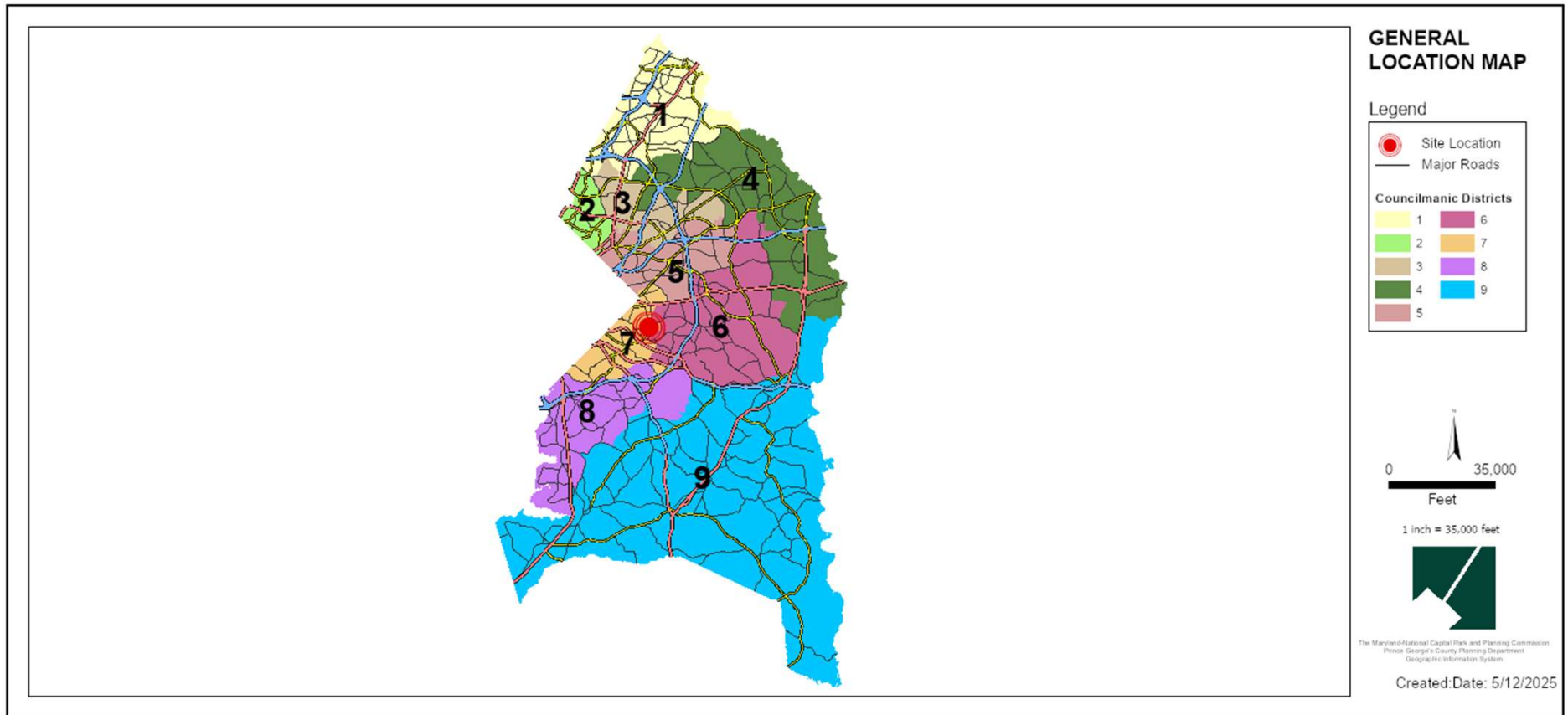
Staff Recommendation: APPROVAL with conditions



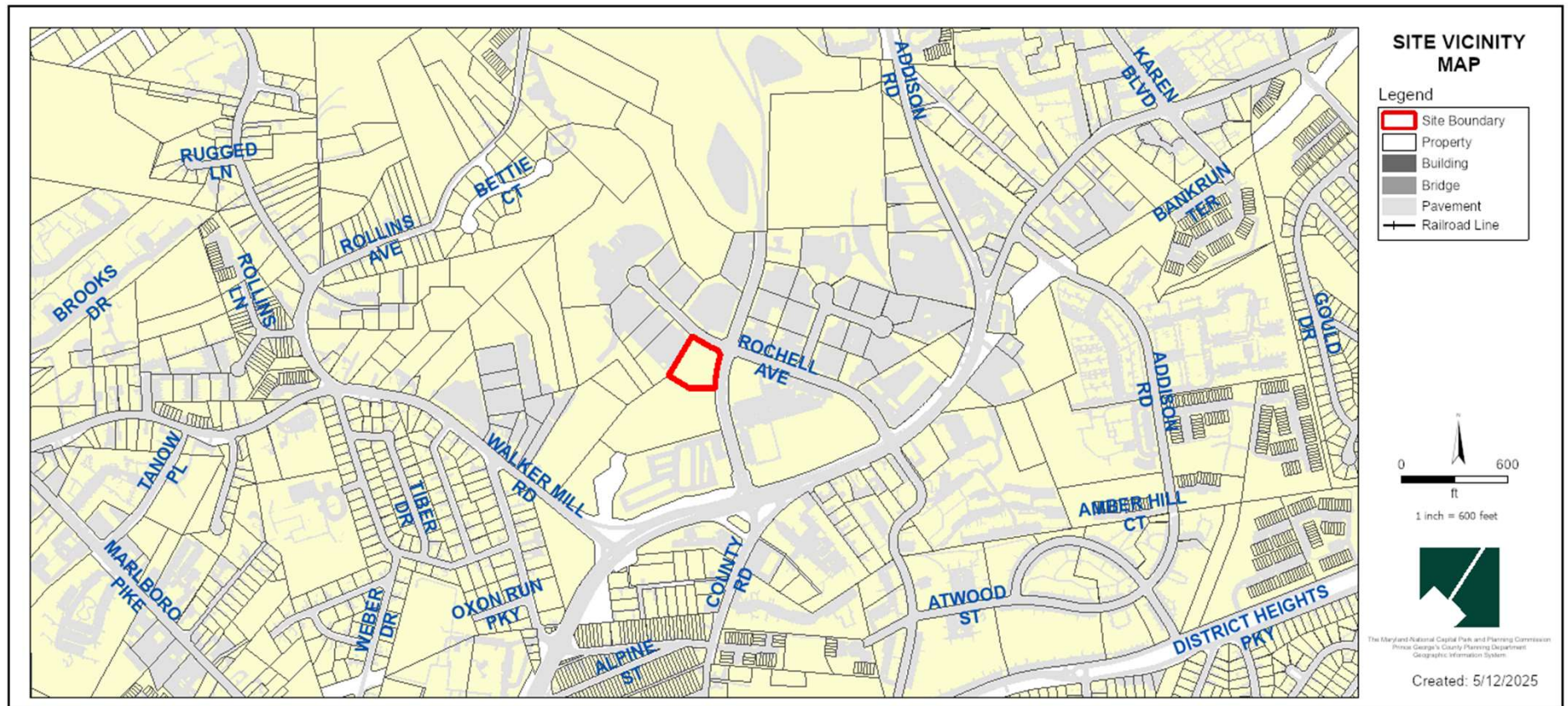
GENERAL LOCATION MAP

Council District: 07

Planning Area: 75B



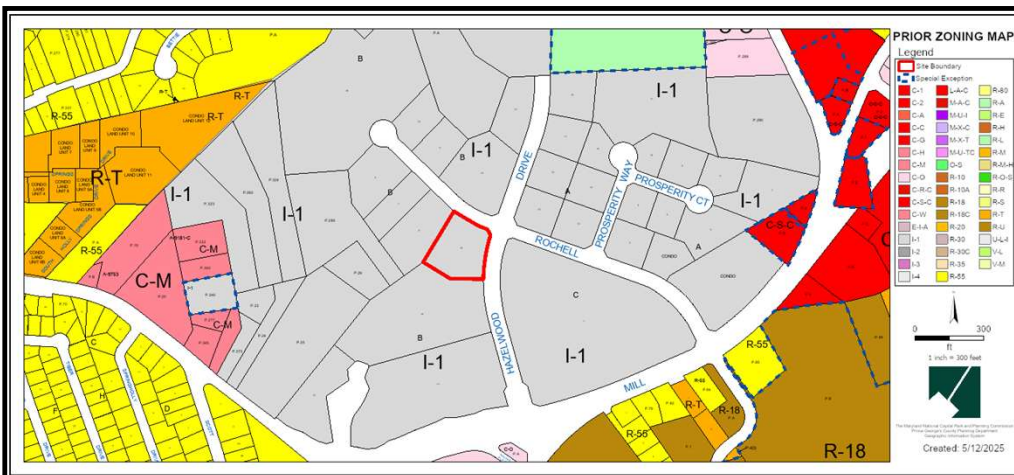
SITE VICINITY MAP



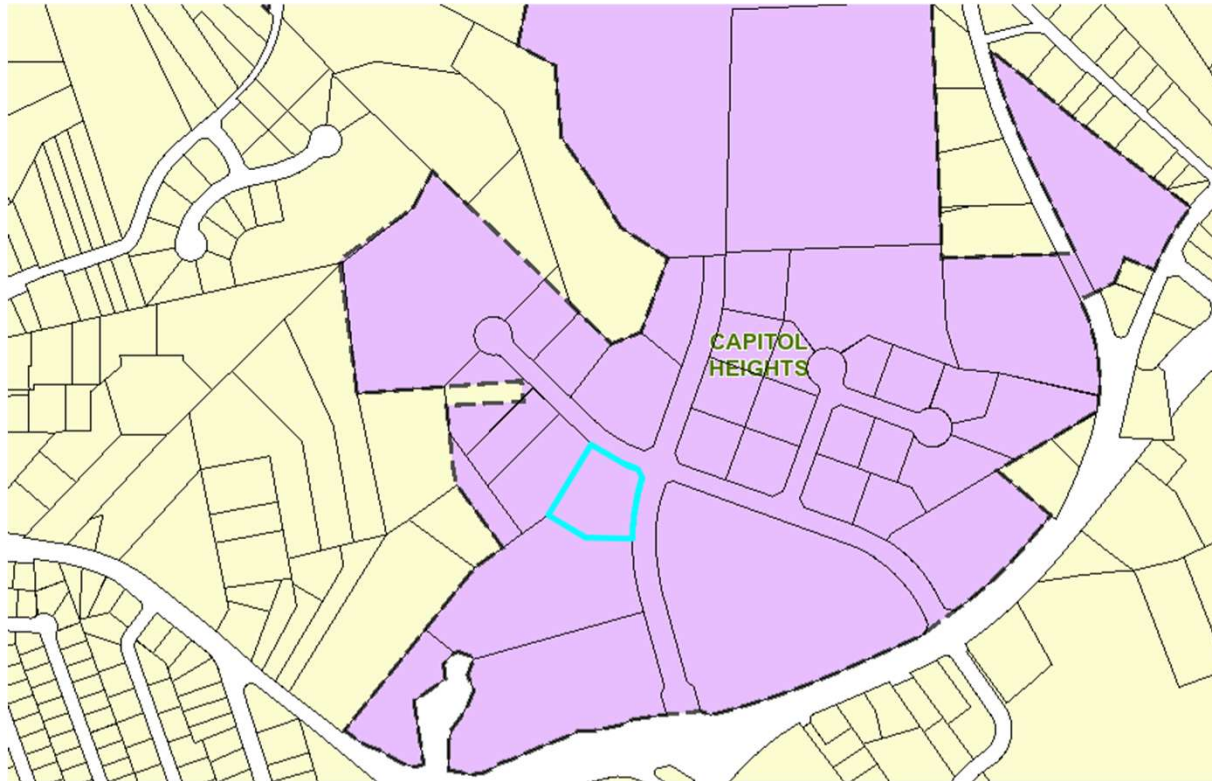
ZONING MAP (PRIOR AND CURRENT)

Property Zone: IE & I-1

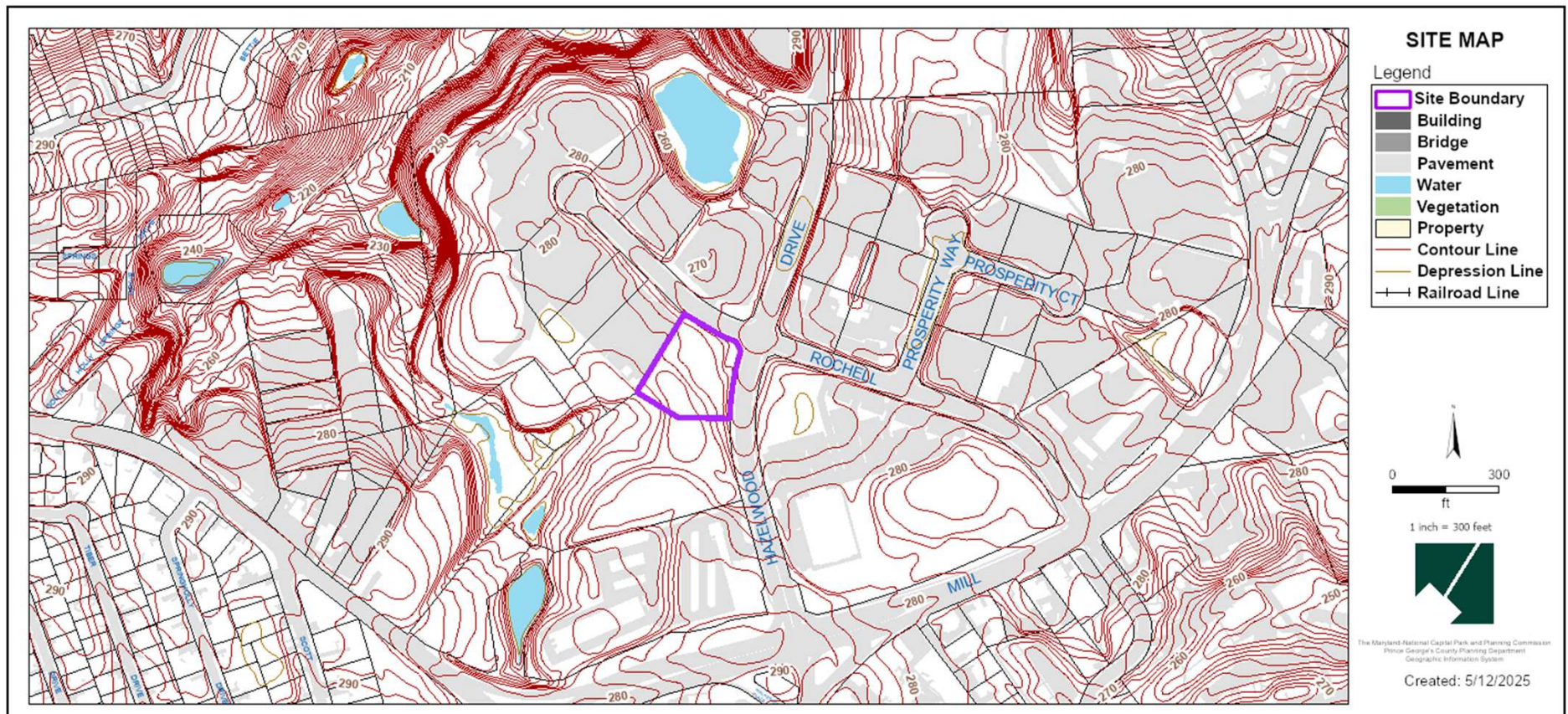
PRIOR ZONING MAP



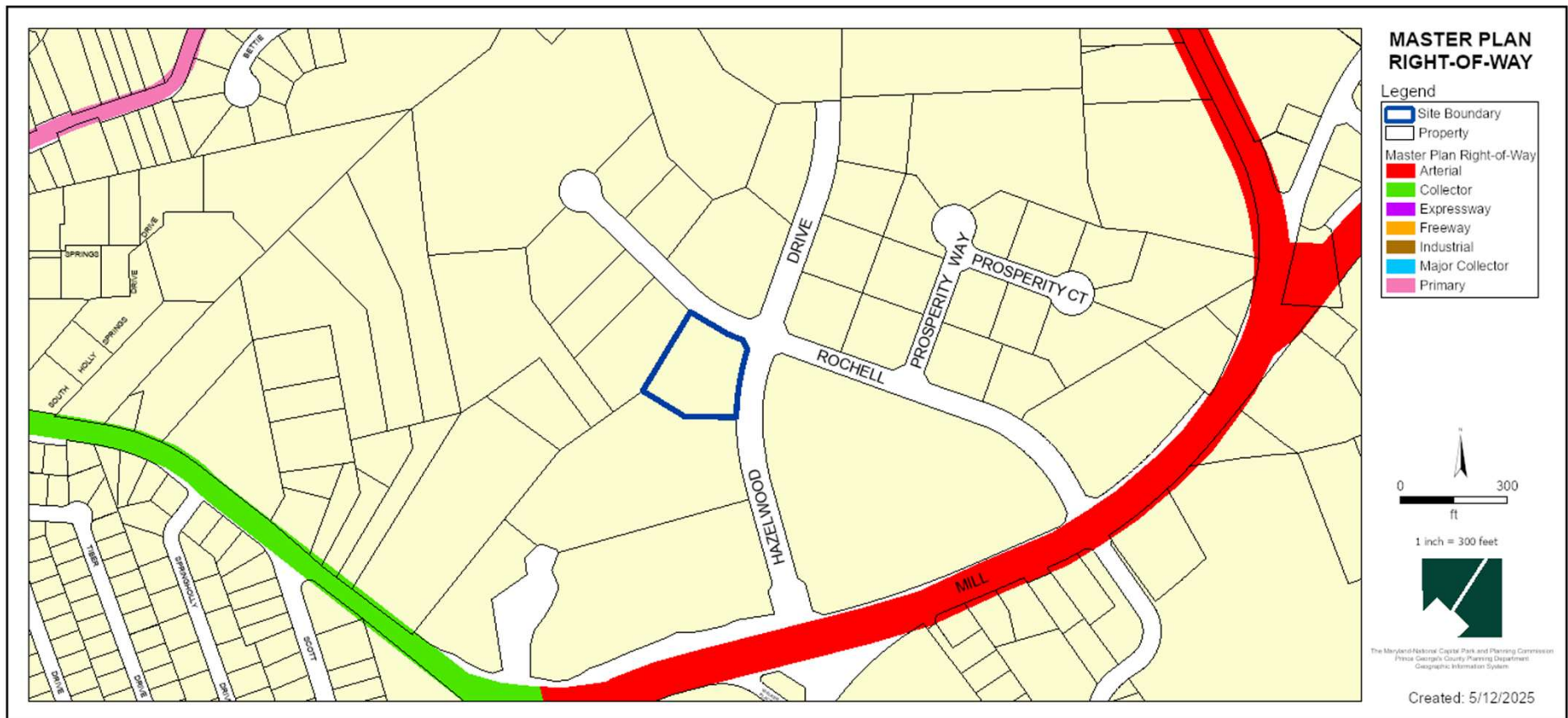
MUNICIPALITY MAP)



SITE MAP



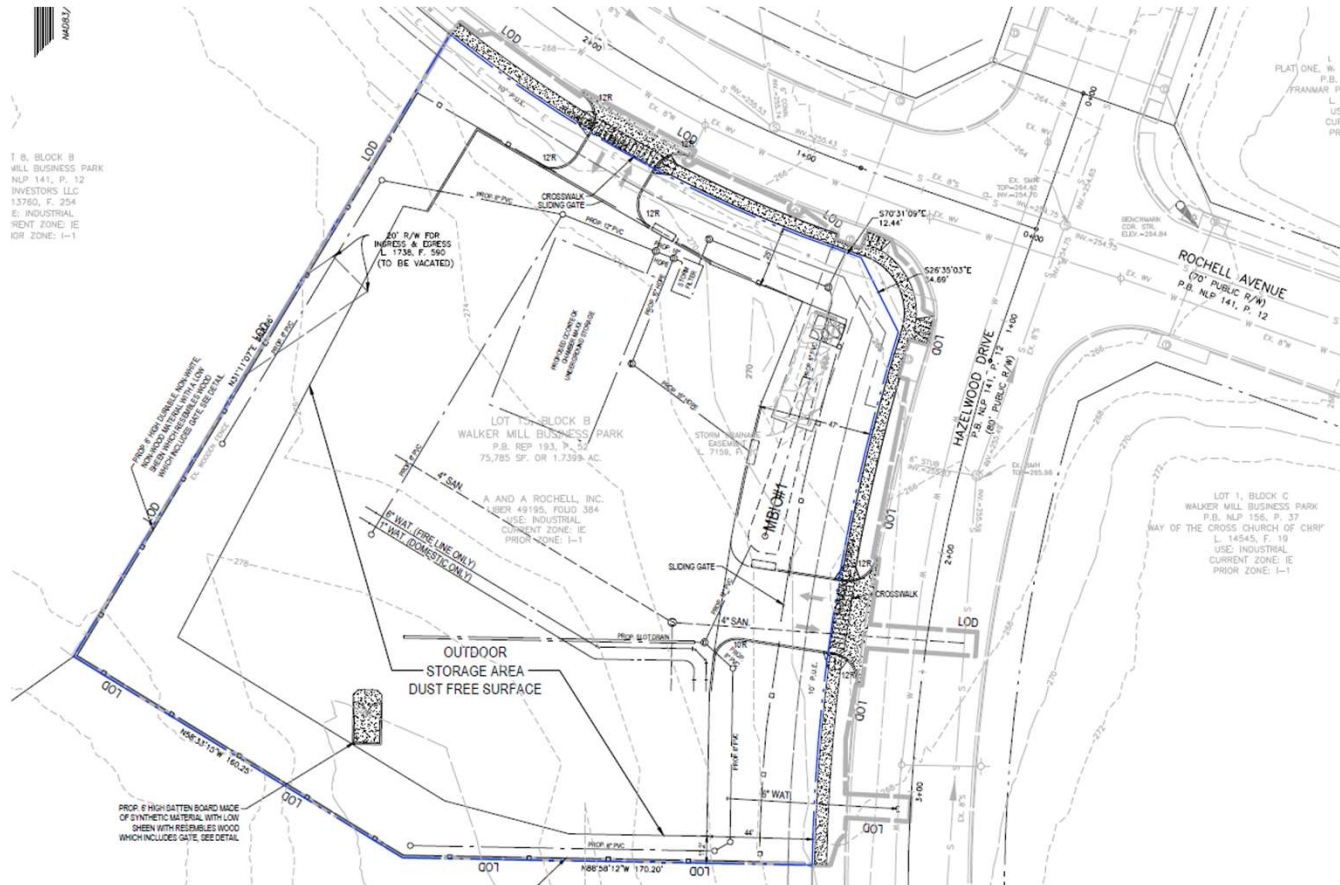
MASTER PLAN RIGHT-OF-WAY MAP



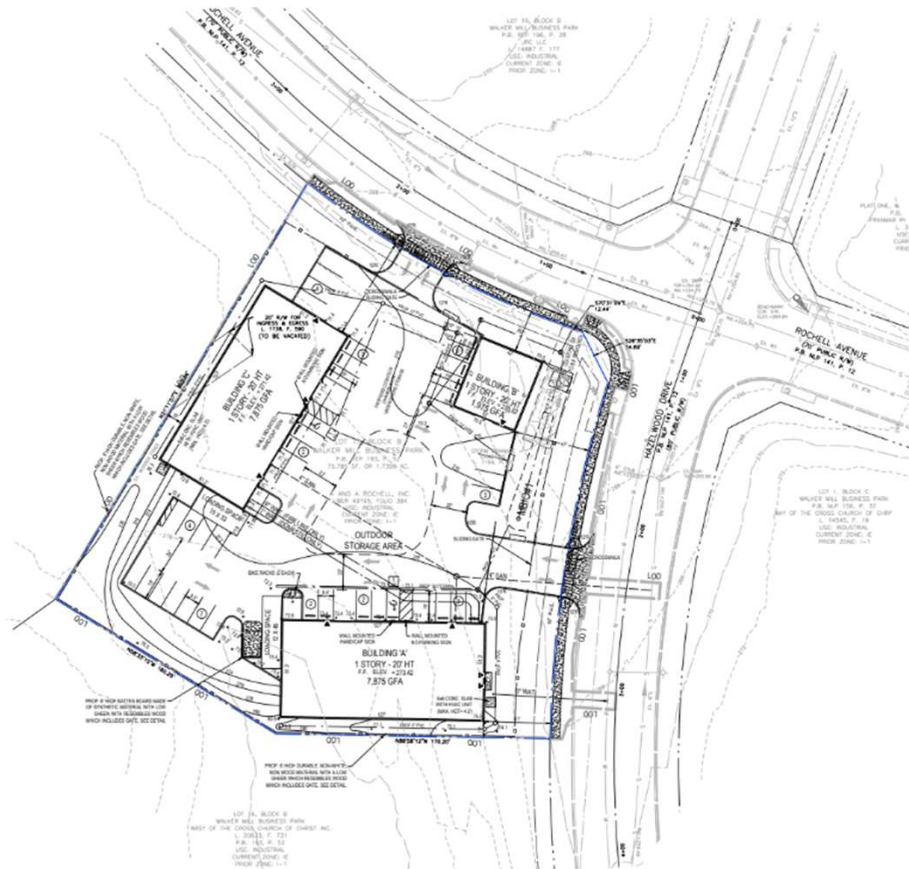
BIRD'S-EYE VIEW WITH APPROXIMATE SITE BOUNDARY OUTLINED

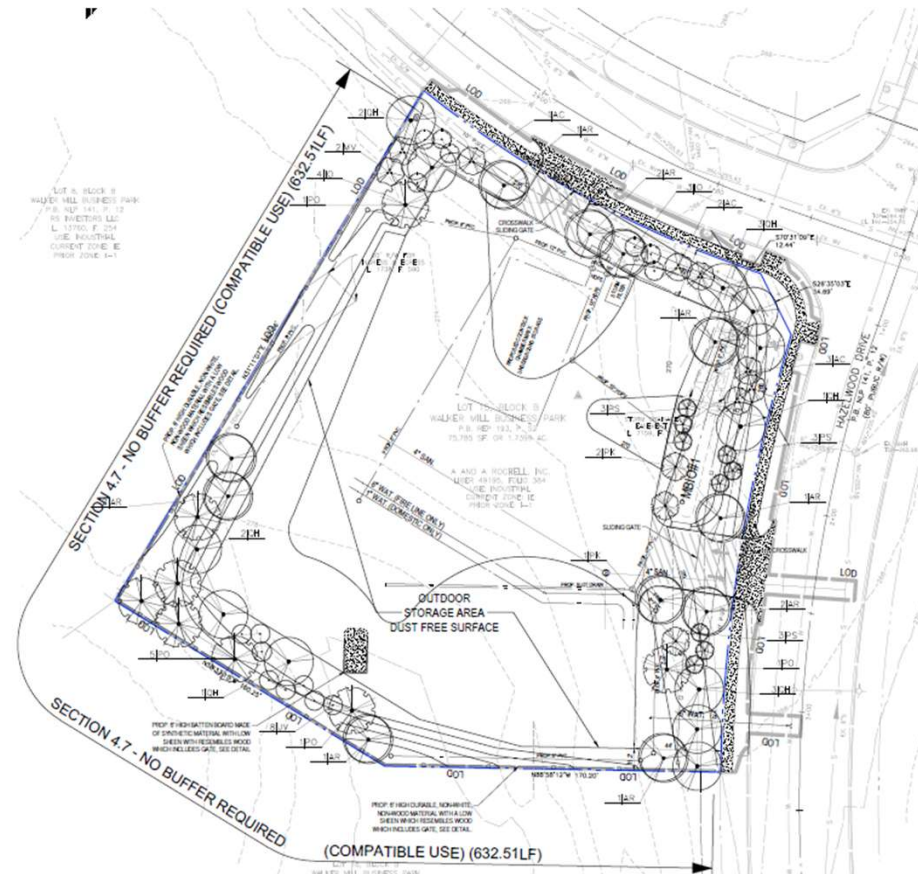


DETAILED SITE PLAN - PHASE 1

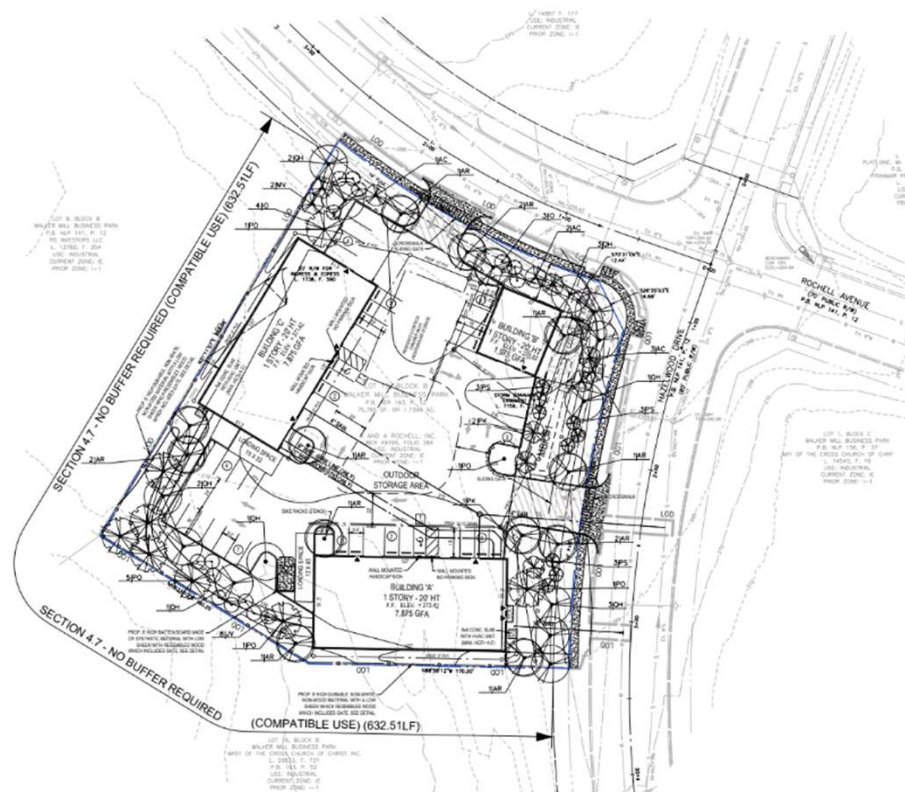


DETAILED SITE PLAN - PHASE 2





LANDSCAPE PLAN – PHASE 2



SHADE TREES					
AR	2	Acer rubrum 'Red Sunset' / Red Sunset Maple	2 1/2 - 3' Cal.	As Shown	\$625
PO	2	Platanus occidentalis / American Sycamore	2 1/2 - 3' Cal.	As Shown	\$625
QH	1	Quercus phellos / Willow Oak	2 1/2 - 3' Cal.	As Shown	\$625

CODE	QTY	BOTANICAL / COMMON NAME	SIZE	SPACING	ROOT
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SHADE TREES					
AR	11	Acer rubrum 'Red Sunset' / Red Sunset Maple	2 1/2 - 3' Cal.	As Shown	\$68
PO	8	Platanus occidentalis / American Sycamore	2 1/2 - 3' Cal.	As Shown	\$68
OH	12	Quercus phellos / Willow Oak	2 1/2 - 3' Cal.	As Shown	\$68

EVERGREEN TREES				
IO	7	Box opac / American Holly	6 - 8' H.	As Shown S&S
JV	8	Juniperus virginiana / Eastern Red Cedar	6 - 8' H.	As Shown S&S
DS	9	Pinus strobus / White Pine	6 - 8' H.	As Shown S&S

Code	Quantity	Plant Name	Size	Price	Notes
ORNAMENTAL TREES					
AC	6	<i>Aucubus canadensis</i> / Shadblow Serviceberry	1 1/2 - 2" Cal.	As Shown	\$45/Cor
MV	2	<i>Magnolia virginiana</i> / Sweet Bay	1 1/2 - 2" Cal.	As Shown	\$45/Cor
PK	3	<i>Prunus virginiana</i> / Flowering Cherry	1 1/2 - 2" Cal.	As Shown	\$45/Cor

Tree Canopy Coverage Schedule for Sec. 25-120	
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Project Name:	SCPD	EMD Code:	Area:
Tractor M.D. - 10/1/15		ESP-15007	
Site Calculations:	Zone 1:	1-1	
	Zone 2:		
	Zone 3:		
	Zone 4:		
	Total Acres		

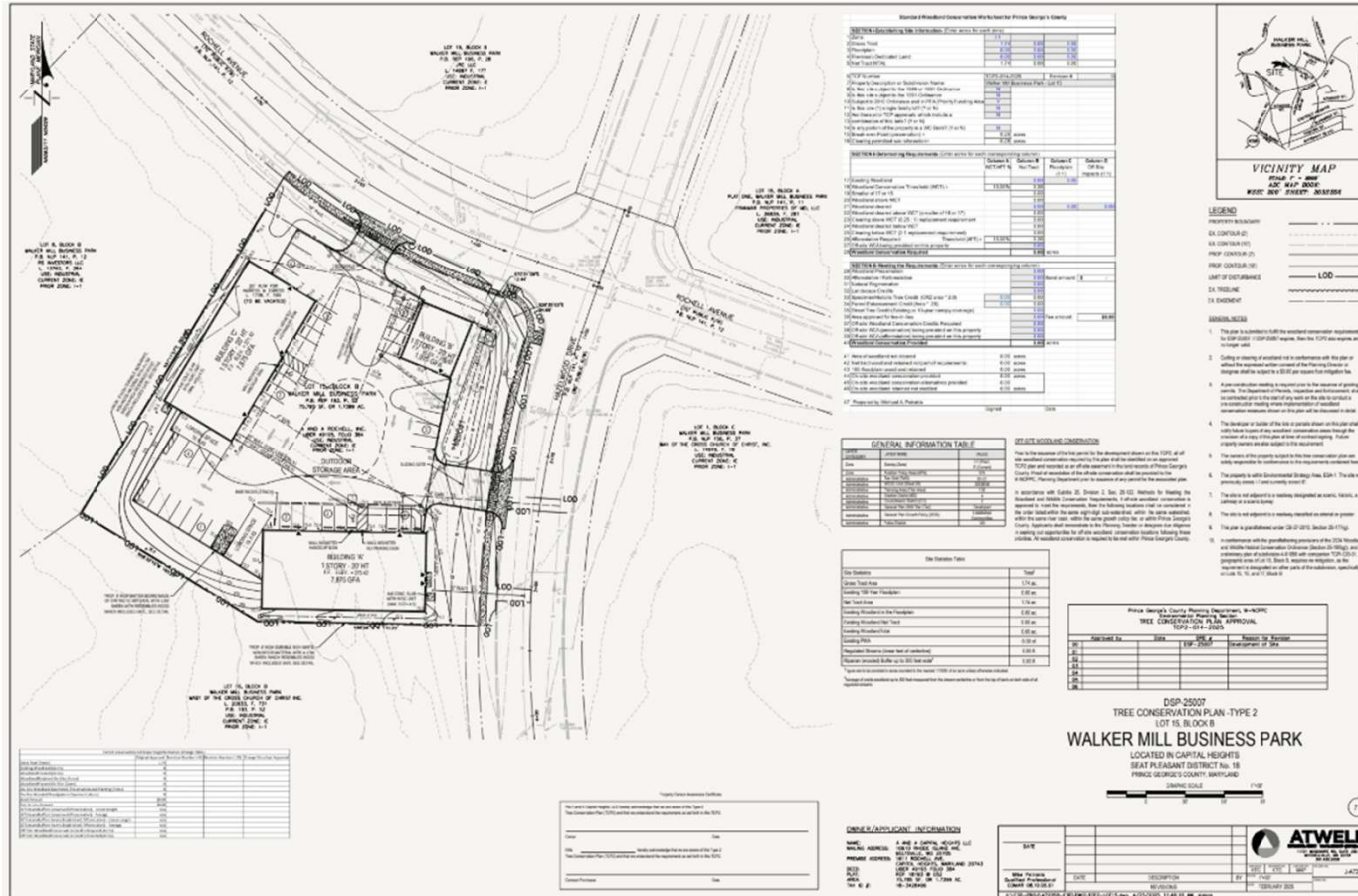
Total Acres (gross area)	% of TCC required	TCC	
		Required (Acres)	TCC Required (Acres)
3.74	35.9%	0.251	3.74
A. TOTAL ON SITE W/C PROVIDED (Acres) =	0.00	Acres	
B. TOTAL AREA EXISTING TREES (non-W/C area) =	0.00	Acres	
C. TOTAL SQUARE FOOTAGE IN LANDSCAPE TREES =			3.74
D. TOTAL TREE CANOPY COVERAGE PROVIDED =			3.74
E. TOTAL SQUARE FOOTAGE REQUIRED =			3.74

Credit Categories for Landscape Trees		MSD Cost per Tree (Based on 100% of Planting Cost)	Number of Trees	MSD Cost (\$)
Deciduous	columnar (shrub 10' to 15' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 16' to 20' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 21' to 25' in height)	1.527, <i>N</i> = 46	11	
Deciduous	columnar (tree 26' to 30' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 31' to 35' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 36' to 40' in height)	1.527, <i>N</i> = 46	10	
Deciduous	columnar (tree 41' to 45' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 46' to 50' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 51' to 55' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 56' to 60' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 61' to 65' in height)	1.527, <i>N</i> = 46	10	
Deciduous	columnar (tree 66' to 70' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 71' to 75' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 76' to 80' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 81' to 85' in height)	1.527, <i>N</i> = 46	10	
Deciduous	columnar (tree 86' to 90' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 91' to 95' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 96' to 100' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 101' to 105' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 106' to 110' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 111' to 115' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 116' to 120' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 121' to 125' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 126' to 130' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 131' to 135' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 136' to 140' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 141' to 145' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 146' to 150' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 151' to 155' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 156' to 160' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 161' to 165' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 166' to 170' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 171' to 175' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 176' to 180' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 181' to 185' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 186' to 190' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 191' to 195' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 196' to 200' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 201' to 205' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 206' to 210' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 211' to 215' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 216' to 220' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 221' to 225' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 226' to 230' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 231' to 235' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 236' to 240' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 241' to 245' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 246' to 250' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 251' to 255' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 256' to 260' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 261' to 265' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 266' to 270' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 271' to 275' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 276' to 280' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 281' to 285' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 286' to 290' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 291' to 295' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 296' to 300' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 301' to 305' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 306' to 310' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 311' to 315' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 316' to 320' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 321' to 325' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 326' to 330' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 331' to 335' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 336' to 340' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 341' to 345' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 346' to 350' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 351' to 355' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 356' to 360' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 361' to 365' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 366' to 370' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 371' to 375' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 376' to 380' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 381' to 385' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 386' to 390' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 391' to 395' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 396' to 400' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 401' to 405' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 406' to 410' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 411' to 415' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 416' to 420' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 421' to 425' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 426' to 430' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 431' to 435' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 436' to 440' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 441' to 445' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 446' to 450' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 451' to 455' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 456' to 460' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 461' to 465' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 466' to 470' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 471' to 475' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 476' to 480' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 481' to 485' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 486' to 490' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 491' to 495' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 496' to 500' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 501' to 505' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 506' to 510' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 511' to 515' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 516' to 520' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 521' to 525' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 526' to 530' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 531' to 535' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 536' to 540' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 541' to 545' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 546' to 550' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 551' to 555' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 556' to 560' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 561' to 565' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 566' to 570' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 571' to 575' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 576' to 580' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 581' to 585' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 586' to 590' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 591' to 595' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 596' to 600' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 601' to 605' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 606' to 610' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 611' to 615' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 616' to 620' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 621' to 625' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 626' to 630' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 631' to 635' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 636' to 640' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 641' to 645' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 646' to 650' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 651' to 655' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 656' to 660' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 661' to 665' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 666' to 670' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 671' to 675' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 676' to 680' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 681' to 685' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 686' to 690' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 691' to 695' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 696' to 700' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 701' to 705' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 706' to 710' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 711' to 715' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 716' to 720' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 721' to 725' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 726' to 730' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 731' to 735' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 736' to 740' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 741' to 745' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 746' to 750' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 751' to 755' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 756' to 760' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 761' to 765' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 766' to 770' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 771' to 775' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 776' to 780' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 781' to 785' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 786' to 790' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 791' to 795' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 796' to 800' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 801' to 805' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 806' to 810' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 811' to 815' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 816' to 820' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 821' to 825' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 826' to 830' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 831' to 835' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 836' to 840' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 841' to 845' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 846' to 850' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 851' to 855' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 856' to 860' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 861' to 865' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 866' to 870' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 871' to 875' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 876' to 880' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 881' to 885' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 886' to 890' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 891' to 895' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 896' to 900' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 901' to 905' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 906' to 910' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 911' to 915' in height)	1.527, <i>N</i> = 46		
Deciduous	columnar (tree 916' to 920'			

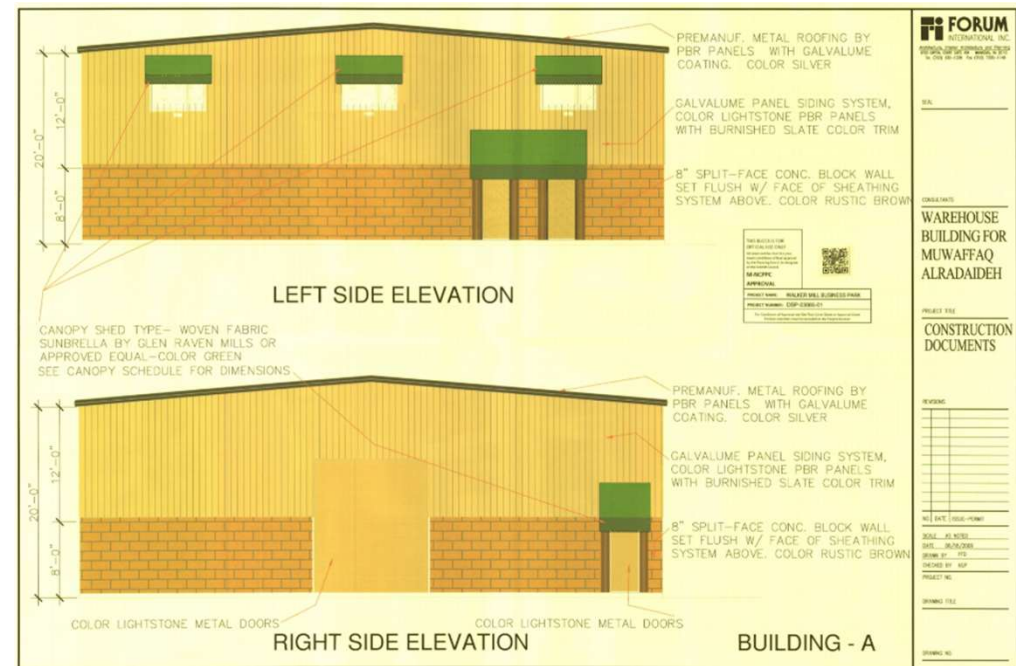
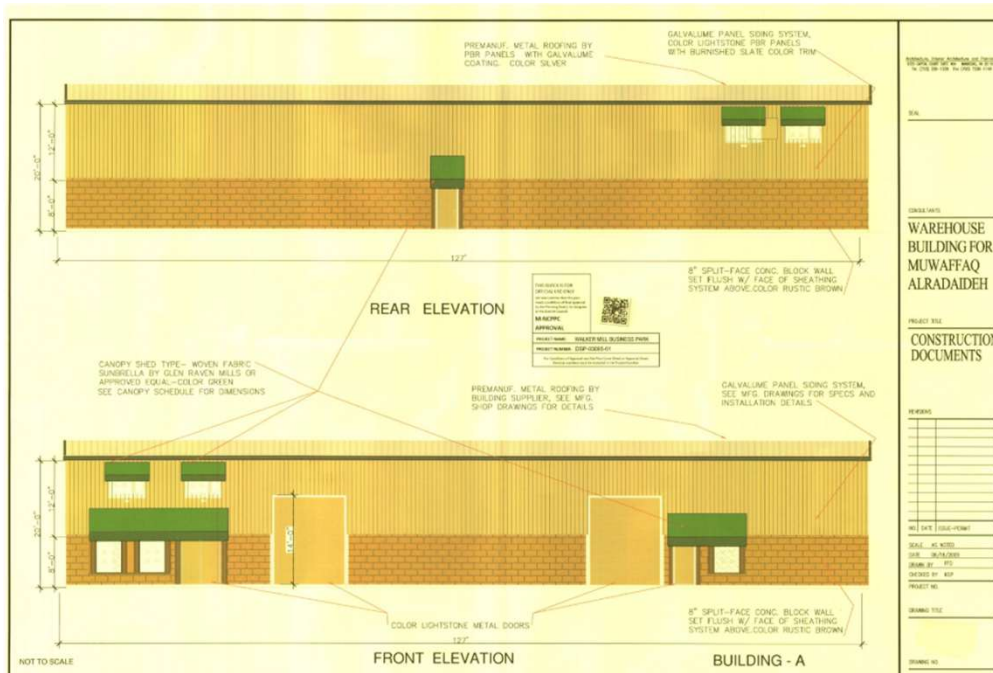
(Max only; enter information/figures into shaded areas)

Enviado por: Enviado por: R.A. Data: 4/27/2025

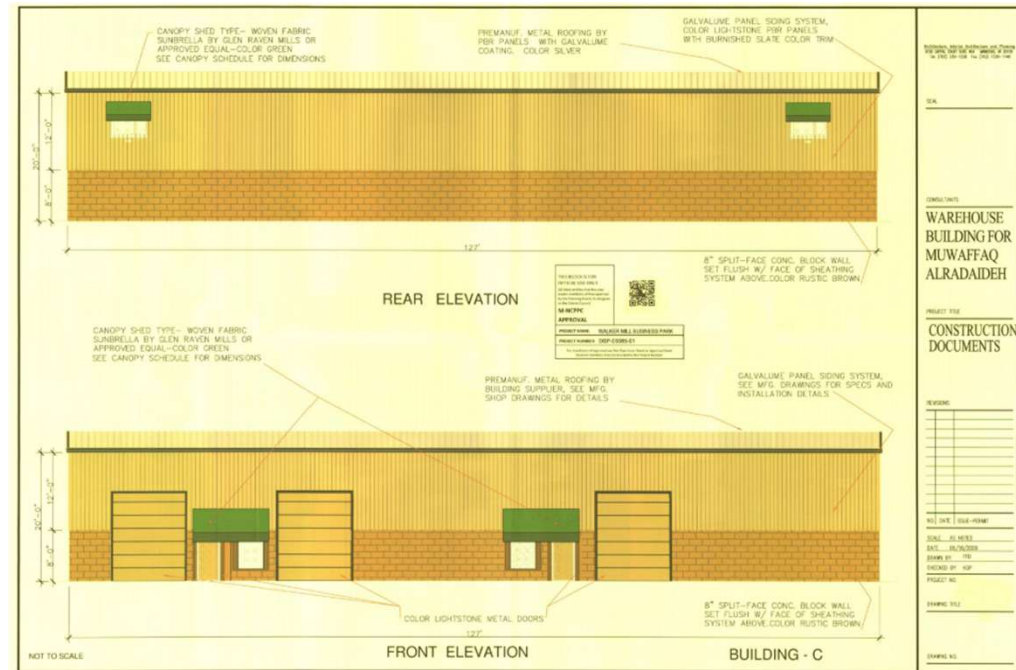
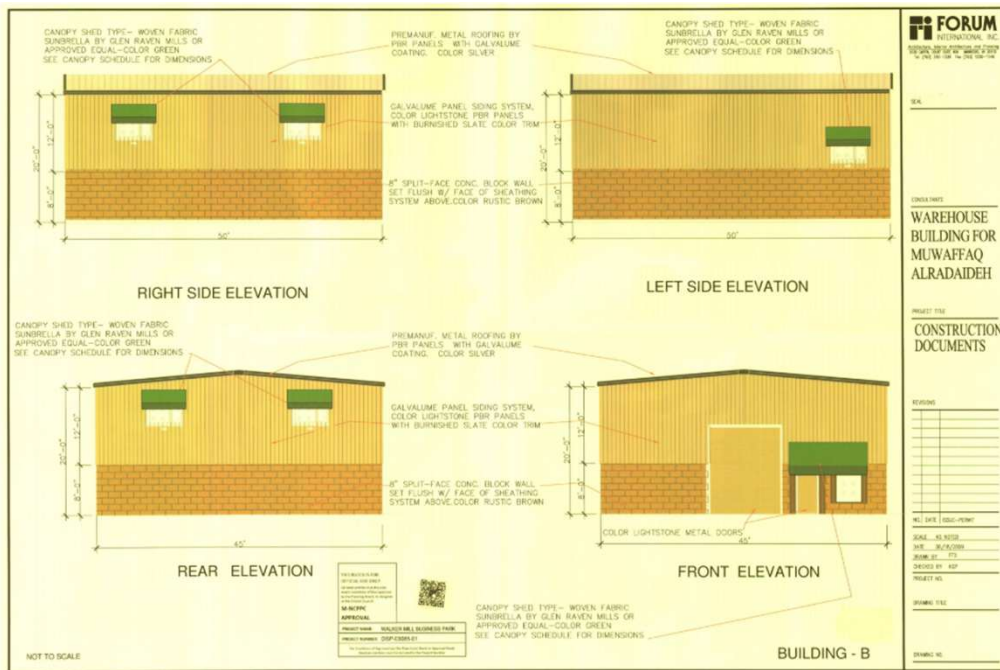
TYPE II TREE CONSERVATION PLAN



EXTERIOR ELEVATIONS



EXTERIOR ELEVATIONS – BUILDING B AND C



STAFF RECOMMENDATION

APPROVAL with conditions

- DSP-25007
- TCP2-014-2025

Issues:

- None

Applicant Required Mailings:

- Informational Mailing: 3-25-25
- Acceptance Mailing: 3-25-2025
-



CONSULTING. ENGINEERING. CONSTRUCTION.

November 22, 2024
J-A720589618
WO-005

Jeremy Hurbutt
Maryland National Capital Park
and Planning Commission
1616 McCormick Drive
Largo, Maryland 20774

Re: Statement of Justification
DSP-25007
Walker Mill Business Park
Lot 15, Block B
Reapproval of Expired Detailed Site Plan

Dear Mr. Hurbutt:

The purpose of this application is to reapprove DSP-03085-01 Walker Mill Business Park, Lot 15, Block B for a Contractor's Services and Outdoor Storage/Operator Yard. This revised DSP proposes no increase in building gross floor area and reflects required engineering necessary for grading, utilities and stormwater management practices, and parking and loading, and landscape plan redesign.

Lot 15, Block B of Walker Mill Business Park is a 1.74 acre +/- site in an existing industrial subdivision. The subject property is located at 1611 Rochell Avenue in Capital Heights, Maryland with a tax account number of 18-3428406. The property is currently zoned IE with a prior zoning of I-1 and is undeveloped. The development of this property will disturb 75,785 square feet and will require a Fine Grading permit. No Historic Sites or Resources have been identified on or adjacent to this property. This site is subject to the Approved Subregion 4 Masterplan and Sectional Map Amendment.

Per section 24-1900 and 27-1903(d) the applicant elects to have this application reviewed under the I-1 zone of the Subdivision Regulations and Zoning Ordinance prior to April 1, 2022. Additionally, due to the minor nature of changes, no increase in land area covered by a structure and no increase in gross floor the applicant requests an administrative review for a Limited Minor Change to the Detailed Site Plan per Section 27-289(c).

Approved Preliminary Plat of Subdivision 4-01056, Walker Mill Business Park for Lots 15-18, Block B with the following conditions:

1. Total development proposed Lots 15, 16, 17, and 18 of Walker Mill Business Park shall be limited to permitted uses which generate no more than 183 AM and 183PM peak-hour vehicle trips. Any development generating impact greater than that identified herein shall require a new Preliminary Plan of Subdivision with a new determination of the adequacy of transportation facilities.



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Response: The scale and land use of this renewed Detailed Site Plan is the same that was approved under DSP-03085-01 and will not change the peak-hour vehicle trips.

2. In accordance with PGCPB Resolution No. 89-345, Condition 1, File 4-89052, the road improvements identified in Condition 1a, 1b, 1c, and 1d shall be provided prior to the issuance of any building permits.

Response: The road improvements in Condition 1a, 1b, 1c, and 1d have been met under a prior building permit.

3. Detailed site plan review shall be required prior to the issuance of building permits pursuant to CR-147-1985. The following shall be included in the review, or the specified information shall be supplied:
 - a. The Planning Board shall review the development to assure its compliance with the following design guidelines:
 - (1) An effective visual buffer created by substantial berms and landscaping shall be provided along Walker Mill Road, Rollins Avenue, and Addition Road and along abutting areas which are planned or developed for residential purposes in order to maintain the residential character of surrounding properties.

Response: N/A, Lot 15 Bock B is not adjacent to Walker Mill Road, Rollins Avenue or Addition Road.

- (2) The internal organization of the site shall address the following:
 - A. Provided a continuous six-foot high sight-tight wood fence with swinging or sliding gates along property lines which have frontage on any vehicular right-of-way within the subdivision. Metal security fencing, including chain link, may be located behind and adjacent to the required wood fence if it is not visible from the street.

Response: A 6' high durable, non-white, non-wood material with low sheen which resembles wood fence is specified to screen the property and dumpster.

- B. Provide 12 feet of commercial/industrial landscaped strip along property lines which have frontage on any vehicular right-of-way. Plant materials provided within the landscaped strip shall be evergreen trees planted 10 feet on center, or other acceptable planning arrangement utilizing the same quantity of trees which is approved by the Planning Board or the Urban Design staff as designee of the Planning Board. White pine trees shall constitute no more than 20 percent of the trees in this landscaped strip.



CONSULTING. ENGINEERING. CONSTRUCTION.

Response: A minimum 12-foot landscape strip has been provided along the properties vehicular right-of-way. Plant material and fencing are provided to screen the property. A mix of predominately native shade trees, evergreen trees and ornamental trees are proposed to provide an aesthetically pleasing screen that is sustainable and promotes diversity. The number of trees proposed are the same as approved by the Planning Board and less than 20 percent of the trees are White Pine.

- C. Provide cross-sections through the subject site to demonstrate that any area of outdoor storage visible from any adjacent right-of-way shall have the solid wood fence specified in condition 1.a.

Response: A cross section of the adjacent right-of-way to the outdoor storage area is provided with this submittal.

4. Prior to the approval of the final plat of subdivision, the applicant, his assessors and/or assigns shall submit soil borings to the Environmental Planning Section and the County Health Department. If it is determined that Class III fill exists, on-site remedial activity will be required prior to the approval of the final plat of subdivision.

Response: N/A, The plat of subdivision is approved and recorded.

5. Prior to issuance of any permit a Type II TCP shall be submitted that is in conformance with the Type I TCP and designates the location of the 2.83 acres of off-site mitigation. Priority shall be given to the location of the off-site mitigation within the Anacostia watershed.

Response: Lot 15 is subject to the approved TCP2-20-6504.

6. Prior to signature approval of the preliminary plan, a copy of the approved Stormwater Management Concept Approval Letter shall be submitted.

Response: A Stormwater Management Concept Plan was approved and provided prior to signature approval of PPS-4-01056 and a copy of this plan and approval letter are included with this submittal.

7. Development of this subdivision shall be in accordance with the approved Stormwater Management Concept Plan, #13784-2001-00.

Response: Lot 15 is subject to updated Stormwater Management Plan 5930-2004-02.

8. Prior to signature approval the preliminary plat shall be revised:
a. To provide the stormwater management concept approval date.



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Response: N/A, PPS-4-01056 is approved.

- b. To note denied access to Walker Mill Road from Lot 17.

Response: This condition does not apply to Lot 15 because there is no access to Walker Mill Road.

- 9. The final plat of subdivision shall limit access along Walker Mill Road to Lot 18, to the access location demonstrated on the detailed site plan for that lot. Denial of access shall be solely controlled by the detailed site plan and should be located as close to the northwest property line as feasible.

Response: This condition does not apply to Lot 15 because there is no access to Walker Mill Road.

- 10. The final plat of subdivision shall deny access along Walker Mill Road to Lot 17.

Response: Not applicable to Lot 15

Approved Detailed Site Plan DSP-03085 for the above-described land, subject to the following conditions:

- 1. Prior to certification of the detailed site plan:
 - a. A copy of the revised stormwater management concept approval letter shall be submitted, or the plan shall be revised to show all elements on the current concept approval letter.

Response: The revised stormwater management concept approval letter is included with this application.

- b. A note should be added to the site plan stating that the site is not located within 300 feet of any residentially-zoned land and land owned by WMATA.

Response: General Note 3. states that the site is not located within 300 feet of any residentially zoned land and land owned by WMATA.

- c. The TCPII shall be revised to include the correct worksheet in conformance with the Type I TCP and Woodland Conservation Ordinance.

Response: Lot 15 is subject to the approved TCP2-20-6504-01.



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DSP-03085-01

The official decision of this case is embodied in Prince George's County Planning Board Resolution No. 10-123 which contains the conditions listed below:

1. Prior to signature approval of the plans, the applicant shall make the following revisions to the plans and/or submit the additional requested materials.
 - a. The applicant shall specify a durable, non-white, non-wood, low sheen material to be utilized for fencing and around the dumpster enclosure. The details and specifications shall be approved by the Urban Design Section.

Response: A 6' high durable, non-white, non-wood material with low sheen which resembles wood fence is specified to screen the property and dumpster.

- b. The District Council Order dated June 13, 2005 shall be removed from the plan set as the approval has expired and no longer applies.

Response: District Council Order dated June 13, 2005, is not included on this Detailed Site Plan

- c. Plans for the project shall be revised to indicate that all chain-link fences on the subject property shall be removed.

Response: General Note 25 states that all existing chain-link fence on the subject property shall be removed.

- d. The paving material for the parking, drive aisle, and outdoor storage area shall be specified as a dust-free surface other than gravel.

Response: Paving material for parking, drive aisle and outdoor storage is specified to be asphalt paving.

- e. The detailed site and landscaping plan for the project shall be amended to include the existing 20-foot-wide access easement reflected on the record plat for the property.

Response: The Detailed Site and Landscape Plan shows the existing 20-foot-wide access easement reflected on the record plat to be vacated.

- f. The plans shall be revised to remove trees, and a storm drain manhole and pipe from the public utility easement (PUE) on Rochell Avenue and a manhole for a four-inch sewer shall be removed from the PUE on Hazelwood Drive. Any trees removed shall be relocated elsewhere on the detailed site plan.



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Response: Trees have been relocated out of the PUE and the storm drain manhole and storm drain, parallel to the PUE, has been relocated. Additionally, the four-inch sewer manhole will be removed from the PUE.

- g. The applicant shall revise the elevation drawings for the project to create more visual interest in the facades, including varied fenestration on the first level and awnings over the windows and doors in a style as represented in the exhibit submitted by the applicant for the “MBM Metal Buildings.”

Response: Architectural elevations were approved with DSP-03085 and are not proposed to be revised. For reference, the prior approved architectural elevations are included with this application and given the revision number DSP-03085-02.

- h. The site plan shall be revised to include a swing gate at the Rochell Avenue entrance similar to that provided at the Hazelwood Drive entrance. A detail for the gate shall be provided on the plans indicating use of a durable, non-white, non-wood, low sheen material similar or the same as the adjacent fencing material.

Response: A durable, non-white, non-wood, low sheen material, to match the adjacent fence, sliding gate is proposed for the entrances on Rochell Avenue and Hazelwood Drive. A swing gate is not practical at these locations due to the upward slope in the drive. If the gates were to swing outward they would extend into the public right-of-way and would require the vehicle to partially block traffic to open the gate.

- 2. The employees driving company owned trucks and equipment entering and leaving this industrial site shall be instructed to utilize MD Route 4, Marlboro Pike and Silver Hill Road whenever possible, unless providing services locally.

Response: Noted

- 3. No company vehicles and/or equipment shall be parked and/or stored in the public right-of-way.

Response: Noted

- 4. No major equipment repair (e.g., engine/transmission overhaul) shall be conducted outside of the buildings within the site.

Response: Noted

- 5. No fuel tanks will be erected and maintained on the subject property. (This condition does not restrict the use of fuel tanks upon and/or within vehicles).



CONSULTING. ENGINEERING. CONSTRUCTION.

Response: Noted

Section 27-285 – (b) Required Findings

- (1) The Planning Board may approve a Detailed Site Plan if it finds that the plan represents a reasonable alternative for satisfying the site design guidelines, without requiring unreasonable costs and without detracting substantially from the utility of the proposed development for its intended use. If it cannot make these findings, the Planning Board may disapprove the Plan.

Response: This Detailed Site Plan is a renewal of an approved plan (DSP-03085-01) and is located within an industrial subdivision. This revision maintains the prior Contractor's Services and Outdoor Storage/Operator Yard land use and there is no increase in land area covered by a structure and no increase in gross floor.

- (2) The Planning Board shall also find that the Detailed Site Plan is in general conformance with the approved Conceptual Site Plan (if one was required).

Response: This Detailed Site Plan is a renewal of the approved plan (DSP-03085-01) and proposes minor changes in the parking and loading layout, landscape planting and reflects required engineering necessary for grading, utilities and stormwater management practices.

- (3) The Planning Board may approve a Detailed Site Plan for Infrastructure if it finds that the plan satisfies the site design guidelines as contained in [Section 27-274](#), prevents offsite property damage, and prevents environmental degradation to safeguard the public's health, safety, welfare, and economic well-being for grading, reforestation, woodland conservation, drainage, erosion, and pollution discharge.

Response: This Detailed Site Plan is a renewal of the approved (DSP-03085-01) with minor changes to the parking and loading layout, landscape reflects required engineering necessary for grading, utilities and stormwater management practices to protect and manage water quality and quantity. The placement of buildings, screening fence and landscape planting are provided to screen the land use from adjacent properties and the public right-of-way.

- (4) The Planning Board may approve a Detailed Site Plan if it finds that the regulated environmental features have been preserved and/or restored in a natural state to the fullest extent possible in accordance with the requirement of Subtitle [24-130\(b\)\(5\)](#).



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Response: The approved TCP2-065-04 shows that the proposed work will not result in a significant change to the limit of disturbance or impact regulated environmental features. Natural Equivalence Letter NRI-092-2024 has been issued for the development of this site.

This application is for the renewal of Detailed Site Plan (DSP-03085-01). The layout is substantially unchanged, no changes in land use are proposed and no increase in land area covered by a structure or increase in building gross floor area is proposed. Minor revisions are proposed to the parking and loading, and landscape plan design. Additional changes proposed are required due to engineering necessary for grading, utilities and stormwater management practices. This Detailed Site Plan complies with the conditions and required findings for approval.

Feel free to contact me should additional documentation be required.

Respectfully,
ATWELL, LLC
Mitchellville, MD

Kevin T. Garvey, R.L.A.
Planner/Designer

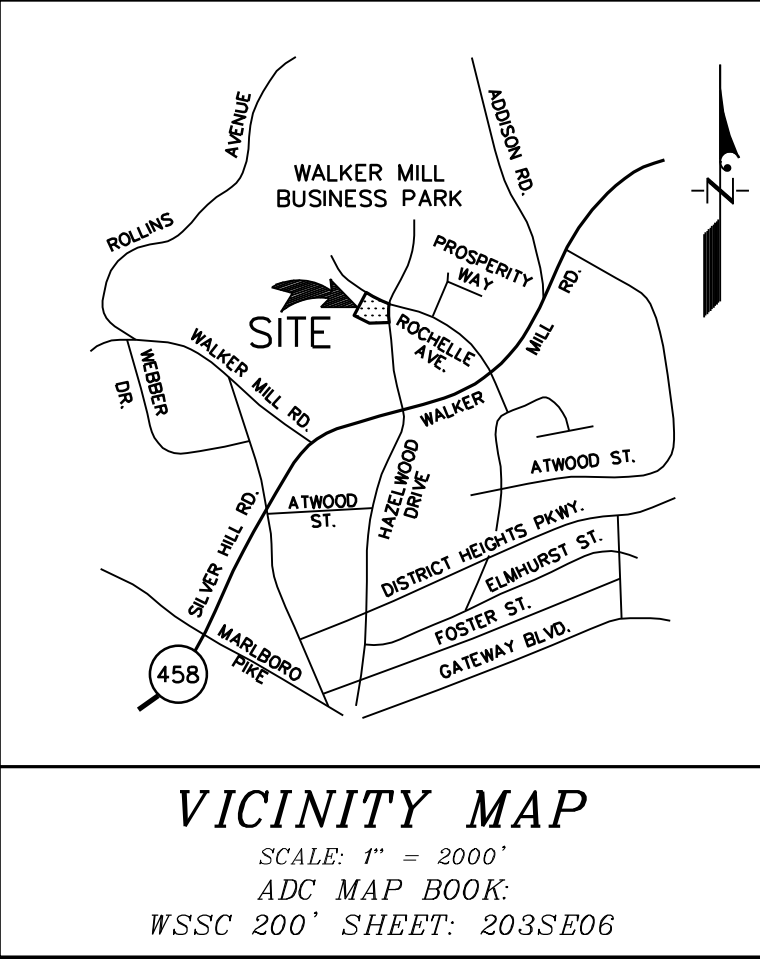
cc: Matt Fontenot

PM:PW
L/MNCPPC.SOJ.Cedarville.2092024.ca

DSP-25007
DETAILED SITE PLAN
FOR
LOT 15 BLOCK B

WALKER MILL
BUSINESS PARK

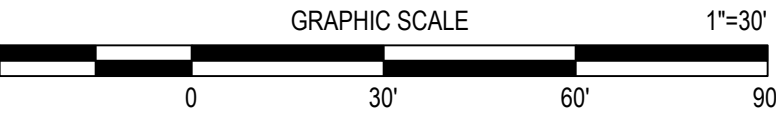
SEAT PLEASANT ELECTION DISTRICT NO. 18



INDEX OF DRAWINGS		
SHEET NO.	SHEET NAME	ATWELL, LLC DWG. NO.
C-CS	COVER SHEET	6.001-Y
C-APR	APPROVAL SHEET	6.002-Y
C-01	DETAILED SITE PLAN	6.003-Y
C-02	DETAILED SITE PLAN - PHASE I	6.004-Y
C-03	SITE DETAIL SHEET	6.005-Y
L-01	LANDSCAPE PLAN	50.001-Y
L-02	LANDSCAPE PLAN - PHASE I	50.002-Y
L-03	LANDSCAPE DETAILS	50.003-Y

DSP-25007
DETAILED SITE PLAN
COVER SHEET

LOT 15, BLOCK B
WALKER MILL BUSINESS PARK
LOCATED IN CAPITOL HEIGHTS
SEAT PLEASANT (18TH) ELECTION DISTRICT
PRINCE GEORGE'S COUNTY, MARYLAND





73

CALL MISS UTILITY
1-800-257-7777
48 hrs Before Excavation

OWNER INFORMATION
NAME: A AND A CAPITAL HEIGHTS LLC
MAILING ADDRESS: 10610 RHODE ISLAND AVE.
BELTSVILLE, MD 20705
PREMISE ADDRESS: 1611 ROCHELLE AVE.
CAPITOL HEIGHTS, MARYLAND 20743
DEED: LIBER 49195 FOLIO 384
PLAT: REP. 16193 @ 052
AREA: 75,785 SF. OR 1.7399 AC.
TAX ID #: 18-3428406

C-CS

					 ATWELL 666.850.4200 www.atwell-group.com 11721 WOODMORE RD., SUITE 200 MITCHELLVILLE, MD 20721 501.430.2000
	DATE	DESCRIPTION	BY	SCALE: 1"=30'	RECORD NO.: A72058
		REVISIONS		DATE: SEPTEMBER, 2023	DWG NO: 50.001-Y

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DSP-25007 Backun 9 of 67

CERTIFICATE OF APPROVAL

WALKER MILL BUSINESS PARK, LOT 15 BLOCK B
DSP-03085-01

The resolution for this revision to a Detailed Site Plan was approved on January 13, 2011 by the Prince George's County Planning Board in accordance with Subtitle 27, Part 3, Division 9 of the Prince George's County Code. The official decision of this case is embodied in Prince George's County Planning Board Resolution No.10-123 which contains the conditions listed below:

- Prior to signature approval of the plans, the applicant shall make the following revisions to the plans and/or submit the additional requested materials.
 - The applicant shall specify a durable, non-white, non-wood, low sheen material to be utilized for fencing and around the dumpster enclosure. The details and specifications shall be approved by the Urban Design Section.
 - The District Council Order dated June 13, 2005 shall be removed from the plan set as the approval has expired and no longer applies.
 - Plans for the project shall be revised to indicate that all chain-link fences on the subject property shall be removed.
 - The paving material for the parking, drive aisle, and outdoor storage area shall be specified as a dust-free surface other than gravel.
 - The detailed site and landscaping plan for the project shall be amended to include the existing 20-foot-wide access easement reflected on the record plat for the property.
 - The plans shall be revised to remove trees and a stormdrain manhole and pipe from the public utility easement (PUE) on Rochell Avenue and a manhole for a four-inch sewer shall be removed from the PUE on Hazelwood Drive. Any trees so removed shall be relocated elsewhere on the detailed site plan.
 - The applicant shall revise the elevation drawings for the project to create more visual interest in the facades, including varied fenestration on the first level and awnings over the windows and doors in a style as represented in the exhibit submitted by the applicant for the "MBM Metal Buildings."
 - The site plan shall be revised to include a swing gate at the Rochell Avenue entrance similar to that provided at the Hazelwood Drive entrance. A detail for the gate shall be provided on the plans indicating use of a durable, non-white, non-wood, low sheen material similar or the same as the adjacent fencing material.
- The employees driving company owned trucks and equipment entering and leaving this industrial site shall be instructed to utilize MD Route 4, Marlboro Pike and Silver Hill Road whenever possible, unless providing services locally.
- No company vehicles and/or equipment shall be parked and/or stored in the public right-of-way.
- No major equipment repair (e.g., engine/transmission overhaul) shall be conducted outside of the buildings within the site.
- No fuel tanks will be erected and maintained on the subject property. (This condition does not restrict the use of fuel tanks upon and/or within vehicles.)

BE IT FURTHER RESOLVED, that an appeal of the Planning Board's action must be filed with the District Council of Prince George's County within thirty (30) days following the final notice of the Planning Board's decision.

This approval includes:

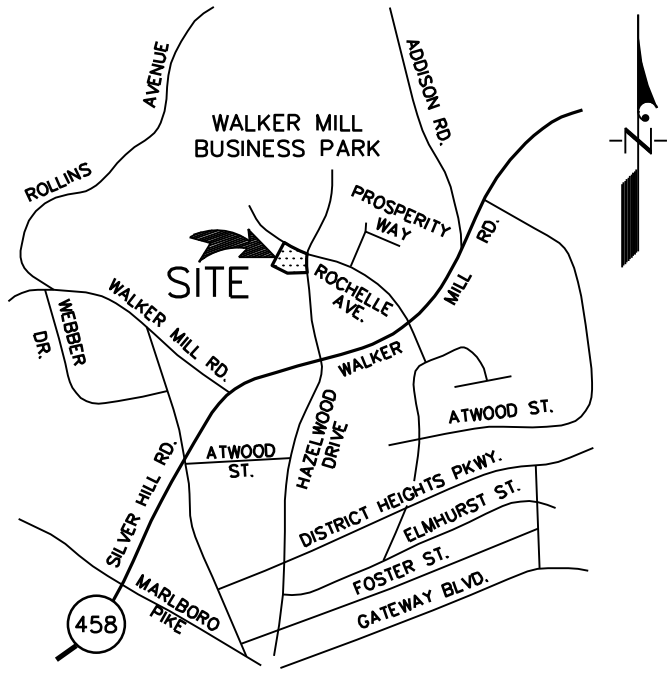
- Cover and Approval Sheet
- Detailed Site and Landscape Plan
- Notes and Details Sheet
- Architectural Elevations

Any departure from this plan shall be resubmitted to the Planning Board for approval.

This Detailed Site Plan is valid for 3 years, until January 13, 2014 or as provided for in Section 27-287, and was legislatively extended to December 31, 2017.

CERTIFIED ON: 01/09/2012 BY AUTHORITY OF:
The Prince George's County Planning Board

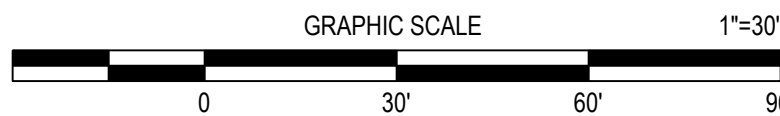
Signed: 
Henry H. Zhang
Urban Design Supervisor, Development Review Division



VICINITY MAP

SCALE: 1" = 2000'
ADC MAP BOOK:
WSSC 200' SHEET: 203SE06

DSP-25007
DETAILED SITE PLAN
APPROVAL SHEET
LOT 15, BLOCK B
WALKER MILL BUSINESS PARK
LOCATED IN CAPITOL HEIGHTS
SEAT PLEASANT (18TH) ELECTION DISTRICT
PRINCE GEORGE'S COUNTY, MARYLAND





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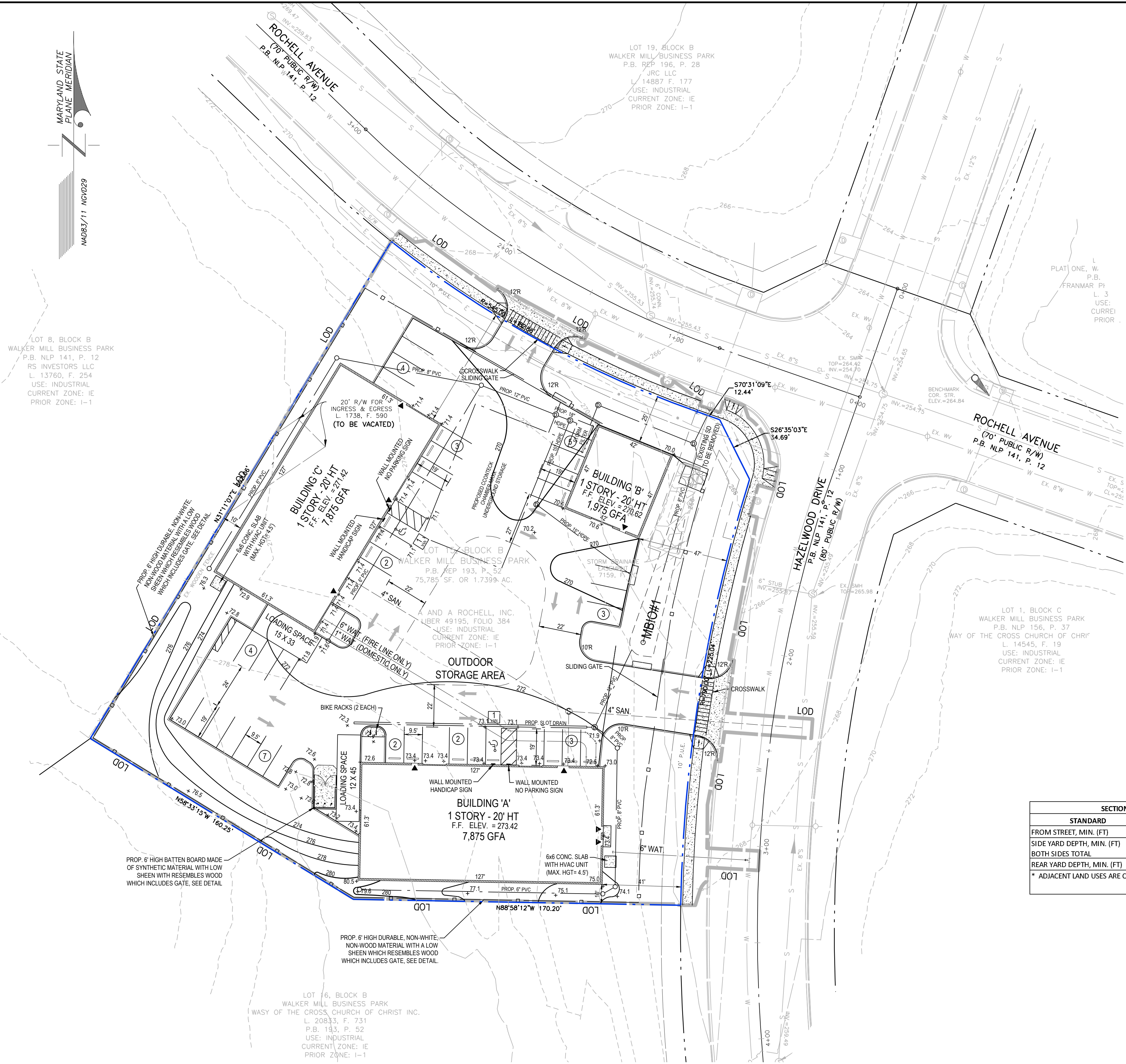
OWNER INFORMATION

NAME: A AND A CAPITAL HEIGHTS LLC
MAILING ADDRESS: 10610 RHODE ISLAND AVE.
BELTSVILLE, MD 20705
PREMISE ADDRESS: 1611 ROCHELL AVE.
CAPITOL HEIGHTS, MARYLAND 20743
DEED: LIBER 49195 FOLIO 384
PLAT: REP. 18193 & 052
AREA: 75,785 SF. OR 1.7399 AC.
TAX ID #: 18-3428406

C-APR

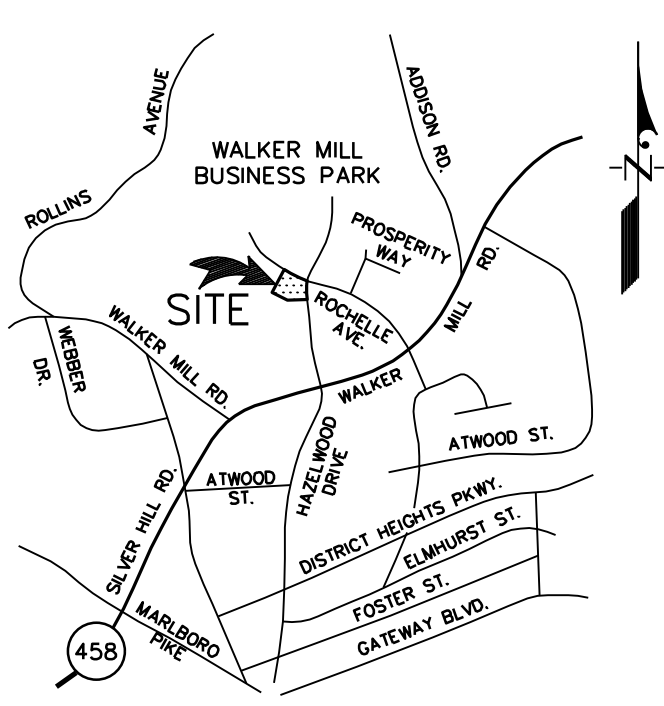
						 ATWELL 966.850.4200 www.atwell-group.com 11721 WOODMORE RD., SUITE 200 MITCHELLVILLE, MD 20721 501.430.2000
	DATE	DESCRIPTION	BY	SCALE	CHECKED BY	RECORDED NO.
				1"=30'	PBW	A72058
		REVISIONS		DATE		
				SEPTEMBER, 2023		50.002-Y

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GENERAL NOTES

- This Detailed Site Plan is for contractor's services with outdoor storage/operating yard.
- The subject property is currently zoned IE (Industrial Employment) and prior zoning was I-1 (Light Industrial).
- This site is not within 300' of any residentially zoned land and land owned by WMATA.
- Per section 27-1704(b) the applicant elects to have this Detailed Site Plan reviewed under the prior I-1 zoning ordinance.
- Total site area included in this Site Plan is 75,785 SF (1.7399 Ac.)
- Total Disturbed Area = 75,785 SF (1.7399 Ac.)
Area to be left undisturbed = 0 SF (0.0000 Ac.)
- Parking
 - A. Required: 36 parking spaces
 - Use: Office and Shop (17,725 GFA)
 - Rate: 1 SP/500 SF =
 - Requirement: 36 Spaces*
 - * Of which at least 24 (2/3 of requirement) must be non-compact.
 - B. Provided: 37 parking spaces* as follows:
 - 36 Standard Spaces @ 9.5' x 19' min.
 - 2 Van Accessible Handicap Spaces @ 8' x 19' with 8' access aisle.
 - * Of which at least 1 must be handicap accessible and at least 1 must be van-accessible.
- Loading
 - A. Required: 2 loading spaces
 - Use: Building A (7,875 SF), Building B (1,975 SF), Building C (7,875 SF)
 - Rate: 1 space for 1st 2,000-25,000 SF, None for first 2,000 SF, 1 space for 1st 2,000-25,000 SF
 - Requirement: 1 space, 0 space, 1 space
 - B. Provided: 2 space at 12' x 45'
- Gross Floor Area = 17,725 SF
- 9.1. Building A = 7,875 SF
- 9.2. Building B = 1,975 SF
- 9.3. Building C = 7,875 SF
- The subject property appears on Washington Suburban Sanitary Commission Sheet 203SE06.
- The subject property appears on Tax Map 81, Grid C1.
- The subject property is not located within an Aviation Policy Area.
- The subject property has an existing Water/Sewer Category of W-3 and S-3.
- For approved Stormwater Management Concept Plan 5930-2004-02 (Extension pending)
- For Tree Conservation Plan Type 2, see TCP2-065-04.
- A ten-foot Public Utility Easement is provided along all public vehicular rights-of-way.
- There is no evidence of a cemetery on or contiguous to the subject property.
- There are no historic structures on or near the subject property.
- There are no wetlands or Waters of the United States on the subject property.
- There is no 100 year floodplain on the subject property.
- The subject property is not located within the Chesapeake Bay Critical Area.
- Boundary and topography information shown hereon was prepared by Atwell LLC.
- Green Area: Required = 7,597 SF (10% of Net Lot Area), Provided = 24,650 SF (32% of Net Lot Area)
- All existing on site chain link fence on the subject property will be removed from site.
- All on-site concrete curb and gutter to be Prince George's County Std. No. 300.01 unless otherwise modified.
- All parking spaces and outdoor storage areas shall be defined by 4" wide white painted striping.
- Radii on islands and curb work to be 5 feet unless otherwise shown.
- Minimum grade on areas not paved: 2.5% unless otherwise noted; 2% in swales.
Maximum grade: 2%
Contour interval: 2 feet
Vertical datum is based on NGVD 1929 Datum.
Horizontal datum is based on MD NAD 83/91 Datum.
- Existing Utilities:
 - A. Notify "Miss Utility" at 1-800-257-7777 at least 48 hours prior to beginning any excavation or construction for them to mark the location of existing utilities.
 - B. Information concerning underground utilities was obtained from available records. The contractor must determine the exact locations and elevations of the mains by digging test pits by hand at utility crossings well in advance of trenching. If clearances of the lines are less than shown on this plan or less than twelve inches, contact the engineer and other involved utility companies before proceeding with construction.
 - C. Omissions and/or additions of utilities found during construction shall be the sole responsibility of any contractor engaged in excavation at this site. Atwell LLC shall be notified immediately of any and all utility information, omissions and additions found by any contractor.
 - D. Due to the proximity of live underground and overhead utilities, Atwell LLC is not responsible for any damage or injury sustained during construction by any persons, trucks, trailers, or equipment used on or adjacent to the site.
- All grading work shall be in accordance with Division 2 of the Prince George's County Building Code (Subtitle 32, latest edition).
- The site geotechnical analysis and report prepared by a Maryland licensed Geotechnical Engineer shall be consulted and used to provide details for pavement sections, fill thickness, compaction, drainage, and any other site specific recommendations and requirements. Those recommendations and requirements shall take precedence over any conflicting information between the plans and report.
- Upon completion of work, site grading, drainage, property corner and landscape observations and certifications must be performed by a licensed professional engineer, landscape architect and/or surveyor, confirming that all work has been completed in accordance with the permit, approved plans, and codes. These certifications are required to finalize the permit and release bonds.
- All grades, elevations, earth quantities, etc., are to be verified by the contractor. Any earth quantities shown or implied are measured to final grade and are approximate. No allowance has been made for unsuitable material encountered during construction. Suitability of soil for use in fill areas or stability of cut areas, compaction, etc., should be determined by a soils engineer.
- The contractor will be responsible for any damage to the existing structures and underground utilities.
- The contractor will have sole responsibility for the construction means, methods, and techniques of executing his work, including safety.
- No handicap parking space shall have a slope greater than 2.0% in any direction. No handicap ramp shall have a longitudinal slope greater than 8.3% or a cross slope greater than 2.0%.
- Unless otherwise shown, all sidewalks shall have a cross slope no greater than 2%.
- Dimensions shown in the parking and drive areas are to face of curb, where applicable.
- All exterior light poles are to be set back at least 2' from the face of curb when located on vehicular surfaces or head in parking spaces unless otherwise shown.
- Arrows shown in drive aisles indicate general direction of travel and are not intended to convey a requirement that arrows be painted on the pavement.



VICINITY MAP

SCALE: 1" = 2000'
ADC MAP BOOK:
WSSC 200' SHEET: 203SE06

LEGEND

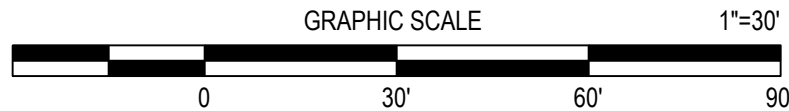
- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- LIMIT OF DISTURBANCE
- PROPOSED FLOW ARROW
- PROPOSED CONCRETE PAVING
- PROPOSED HEAVY DUTY CONCRETE PAVING
- PROPOSED HEAVY DUTY ASPHALT PAVING
- PROPOSED DOOR LOCATIONS
- EXISTING FIRE HYDRANT
- EXISTING SEWER
- PROPOSED SEWER
- EXISTING WATER
- PROPOSED WATER
- EXISTING STORM DRAIN
- PROPOSED STORM DRAIN
- EXISTING TREE LINE
- PROPOSED TREE LINE
- STANDARD PARKING SPACES
- HANDICAPPED PARKING SPACES
- EXISTING CURB & GUTTER
- PROPOSED CURB & GUTTER
- PROPOSED ORNAMENTAL FENCE

THE CONTRACTOR SHALL NOTIFY MISS UTILITY 1-800-257-7777, FORTY-EIGHT (48) HOURS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS.

SECTION 27-474 (b) BUILDING SETBACKS		
STANDARD	REQUIREMENT	PROVIDED
FROM STREET, MIN. (FT)	25'	25'
SIDE YARD DEPTH, MIN. (FT)	30' *	10/20 +/-
BOTH SIDES TOTAL		
REAR YARD DEPTH, MIN. (FT)	NONE *	10'
* ADJACENT LAND USES ARE COMPATIBLE		

DSP-25007
DETAILED SITE PLAN

LOT 15, BLOCK B
WALKER MILL BUSINESS PARK
LOCATED IN CAPITOL HEIGHTS
SEAT PLEASANT (18TH) ELECTION DISTRICT
PRINCE GEORGE'S COUNTY, MARYLAND



CALL MISS UTILITY
1-800-257-7777
48 hrs Before Excavation

SUBTITLE 32, DIVISION 2 CERTIFICATION
I HEREBY CERTIFY THAT THIS PLAN CONFORMS TO THE REQUIREMENTS OF SUBTITLE 32, DIVISION 2 OF THE PRINCE GEORGE'S COUNTY CODE AND THAT I HAVE INSPECTED THIS SITE AND THAT DRAINAGE ONTO THIS SITE FROM UPHILL PROPERTIES, AND FROM THIS SITE ONTO OTHER DOWNGRADE PROPERTIES, HAS BEEN ADDRESSED IN SUBSTANTIAL ACCORDANCE WITH APPLICABLE CODES.

OWNER INFORMATION

NAME: A AND A CAPITAL HEIGHTS LLC
MAILING ADDRESS: 10610 RHODE ISLAND AVE.
PREMISE ADDRESS: 16111 ROCHELL AVE.
DEED: LIBER 49195 FOLIO 384
PLAT: REP. 18193 @ 052
AREA: 75,785 SF. OR 1.7399 AC.
TAX ID #: 18-3428406

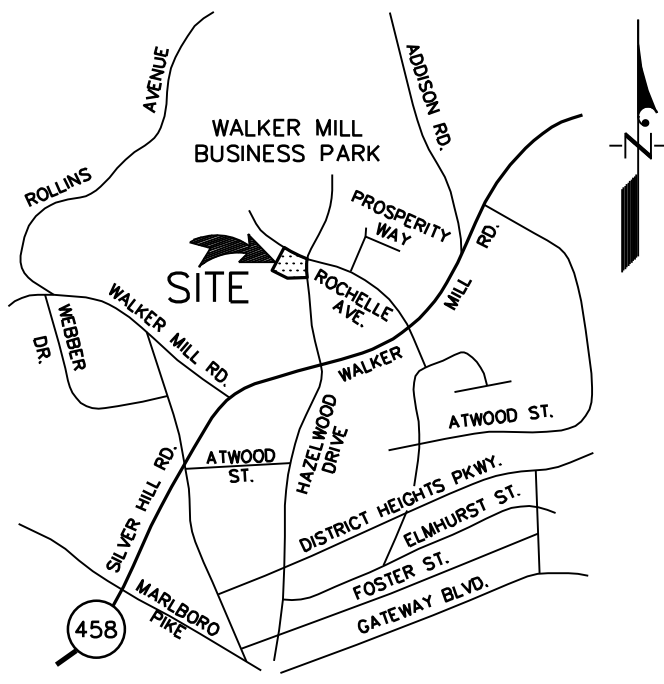
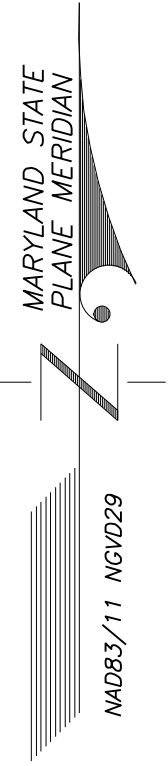
C-01

DATE: 5/5/2025

DATE	DESCRIPTION	BY	REVISIONS

666.850.4200 www.atwell-group.com
11721 WOODMORE RD., SUITE 200
MITCHELLVILLE, MD 20721
501.450.2000

DRAWN BY: JBG	ISSUED BY: PBW	CHECKED BY: PBW	RECORDED NO: A72058
SCALE: 1"=30'	DATE: SEPTEMBER, 2023	DRWG NO:	50.003-Y



VICINITY MAP

SCALE: 1" = 2000'
ADC MAP BOOK:
WSSC 200' SHEET: 203SE06

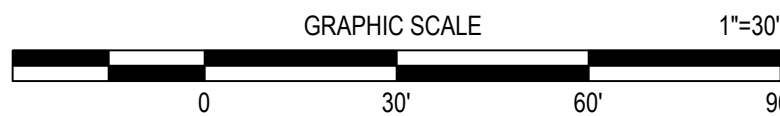
LEGEND

- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- LIMIT OF DISTURBANCE
- PROPOSED FLOW ARROW
- PROPOSED CONCRETE PAVING
- PROPOSED HEAVY DUTY CONCRETE PAVING
- PROPOSED HEAVY DUTY ASPHALT PAVING
- PROPOSED DOOR LOCATIONS
- EXISTING FIRE HYDRANT
- EXISTING SEWER
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- EXISTING WATER
- PROPOSED WATER
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- PROPOSED TREE LINE
- STANDARD PARKING SPACES
- HANDICAPPED PARKING SPACES
- EXISTING CURB & GUTTER
- PROPOSED CURB & GUTTER
- PROPOSED ORNAMENTAL FENCE

THE CONTRACTOR SHALL NOTIFY MISS UTILITY 1-800-257-7777, FORTY-EIGHT (48) HOURS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS.

DSP-25007
DETAILED SITE PLAN - PHASE 1

LOT 15, BLOCK B
WALKER MILL BUSINESS PARK
LOCATED IN CAPITOL HEIGHTS
SEAT PLEASANT (18TH) ELECTION DISTRICT
PRINCE GEORGE'S COUNTY, MARYLAND



73

CALL MISS UTILITY
1-800-257-7777
48 hrs Before Excavation

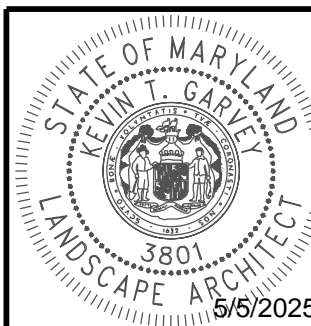
SUBTITLE 32, DIVISION 2 CERTIFICATION

I HEREBY CERTIFY THAT THIS PLAN CONFORMS TO THE REQUIREMENTS OF SUBTITLE 32, DIVISION 2 OF THE PRINCE GEORGE'S COUNTY CODE AND THAT I HAVE INSPECTED ONTO THIS SITE FROM UPHILL PROPERTIES, AND FROM THIS SITE ONTO OTHER DOWNGRADE PROPERTIES, HAS BEEN ADDRESSED IN SUBSTANTIAL ACCORDANCE WITH APPLICABLE CODES.

OWNER INFORMATION

NAME: A AND A CAPITAL HEIGHTS LLC
MAILING ADDRESS: 10610 RHODE ISLAND AVE.
BELTSVILLE, MD 20705
PREMISE ADDRESS: 1611 ROCHELL AVE.
CAPITOL HEIGHTS, MARYLAND 20743
DEED: LIBER 49195 FOLIO 384
PLAT: REP. 18193 @ 052
AREA: 75,785 SF. OR 1.7399 AC.
TAX ID #: 18-3428406

C-02



DATE	DESCRIPTION	BY	REVISIONS
SEPTEMBER, 2023			
DATE	DESCRIPTION	BY	REVISIONS
SEPTEMBER, 2023			

ATWELL

966.850.4200 www.atwell-group.com

11721 WOODMORE RD., SUITE 200
MITCHELLVILLE, MD 20721
501.430.2000

DRAWN BY: JBG

SIGNED BY: PBW

CHECKED BY:

RECORDED BY:

SCALE: 1"=30'

DATE: SEPTEMBER, 2023

A72058

50.004-Y

73

SEAL

CONSULTANTS

WAREHOUSE
BUILDING FOR
MUWAFFAQ
ALRADAIDEH

PROJECT TITLE

CONSTRUCTION DOCUMENTS

REVISIONS

[illegible]

NO.	DATE	ISSUE—PERMIT
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SCALE AS NOTED

DATE 06/18/2009

DRAWN BY FFD

CHECKED BY KGE

PROJECT NO.

DRAWING TITLE

DRAWING NO.

GALVALUME PANEL SIDING SYSTEM,
COLOR LIGHTSTONE PBR PANELS
WITH BURNISHED SLATE COLOR TRIM

REAR ELEVATION

THIS BLOCK IS FOR
OFFICIAL USE ONLY

QR label certifies that this plan
meets conditions of final approval
by the Planning Board, its designee
or the District Council.

M-NCPPC
APPROVAL



8" SPLIT-FACE CONC. BLOCK WALL
SET FLUSH W/ FACE OF SHEATHING
SYSTEM ABOVE. COLOR RUSTIC BROWN

CANOPY SHED TYPE- WOVEN FABRIC
SUNBRELLA BY GLEN RAVEN MILLS OR
APPROVED EQUAL-COLOR GREEN
SEE CANOPY SCHEDULE FOR DIMENSIONS

PREMANUF. METAL ROOFING BY
BUILDING SUPPLIER, SEE MFG.
SHOP DRAWINGS FOR DETAILS

GALVALUME PANEL SIDING SYSTEM,
SEE MFG. DRAWINGS FOR SPECS AND
INSTALLATION DETAILS

COLOR LIGHTSTONE METAL DOORS

8" SPLIT-FACE CONC. BLOCK WALL
SET FLUSH W/ FACE OF SHEATHING
SYSTEM ABOVE. COLOR RUSTIC BROWN

FRONT ELEVATION

BUILDING - A

NOT TO SCALE

SEAL _____

CONSULTANTS _____

**WAREHOUSE
BUILDING FOR
MUWAFFAQ
ALRADAIDEH**

PROJECT TITLE _____

**CONSTRUCTION
DOCUMENTS**

REVISIONS

NO.	DATE	ISSUE-PERMIT
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SCALE	AS NOTED
DATE	06/18/2009
DRAWN BY	FFD
CHECKED BY	KGP

PROJECT NO. _____

DRAWING TITLE _____

DRAWING NO. _____

Diagram of the left side elevation of a warehouse building. The building features a gabled roof with pre-manufactured metal roofing. The upper portion of the walls is clad in galvalume panel siding with a lightstone color and burnished slate trim. The lower portion is constructed of 8-inch split-face concrete block, set flush with the siding above. The block is a rustic brown color. There are three windows, each with a green canopy shed. The total height is 20 feet, with the siding section being 12 feet high and the block section being 8 feet high.

PREMANUF. METAL ROOFING BY PBR PANELS WITH GALVALUME COATING. COLOR SILVER

GALVALUME PANEL SIDING SYSTEM, COLOR LIGHTSTONE PBR PANELS WITH BURNISHED SLATE COLOR TRIM

8" SPLIT-FACE CONC. BLOCK WALL SET FLUSH W/ FACE OF SHEATHING SYSTEM ABOVE. COLOR RUSTIC BROWN

20'-0" 12'-0" 8'-0"

CANOPY SHED TYPE- WOVEN FABRIC SUNBRELLA BY GLEN RAVEN MILLS OR APPROVED EQUAL-COLOR GREEN SEE CANOPY SCHEDULE FOR DIMENSIONS

LEFT SIDE ELEVATION

THIS BLOCK IS FOR OFFICIAL USE ONLY

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**M-NCPPC
APPROVAL**

PROJECT NAME:	WALKER MILL BUSINESS PARK
PROJECT NUMBER:	DSP-03085-01

For Conditions of Approval see Site Plan Cover Sheet or Approval Sheet
Revision numbers must be included in the Project Number

Diagram of the right side elevation of the warehouse building. It features the same materials and colors as the left side. The wall consists of 8-inch split-face concrete block (rustic brown) at the base and galvalume panel siding (lightstone color with burnished slate trim) above. There is a large metal door and a smaller window, both with green canopy sheds. The total height is 20 feet, with the siding section being 12 feet high and the block section being 8 feet high.

PREMANUF. METAL ROOFING BY PBR PANELS WITH GALVALUME COATING. COLOR SILVER

GALVALUME PANEL SIDING SYSTEM, COLOR LIGHTSTONE PBR PANELS WITH BURNISHED SLATE COLOR TRIM

8" SPLIT-FACE CONC. BLOCK WALL SET FLUSH W/ FACE OF SHEATHING SYSTEM ABOVE. COLOR RUSTIC BROWN

20'-0" 12'-0" 8'-0"

COLOR LIGHTSTONE METAL DOORS

COLOR LIGHTSTONE METAL DOORS

RIGHT SIDE ELEVATION

BUILDING - A

SEAL

CONSULTANTS

**WAREHOUSE
BUILDING FOR
MUWAFFAQ
ALRADAIDEH**

PROJECT TITLE

**CONSTRUCTION
DOCUMENTS**

REVISIONS

NO. | DATE | ISSUE-PERMIT

SCALE AS NOTED

DATE 06/18/2009

DRAWN BY FFD

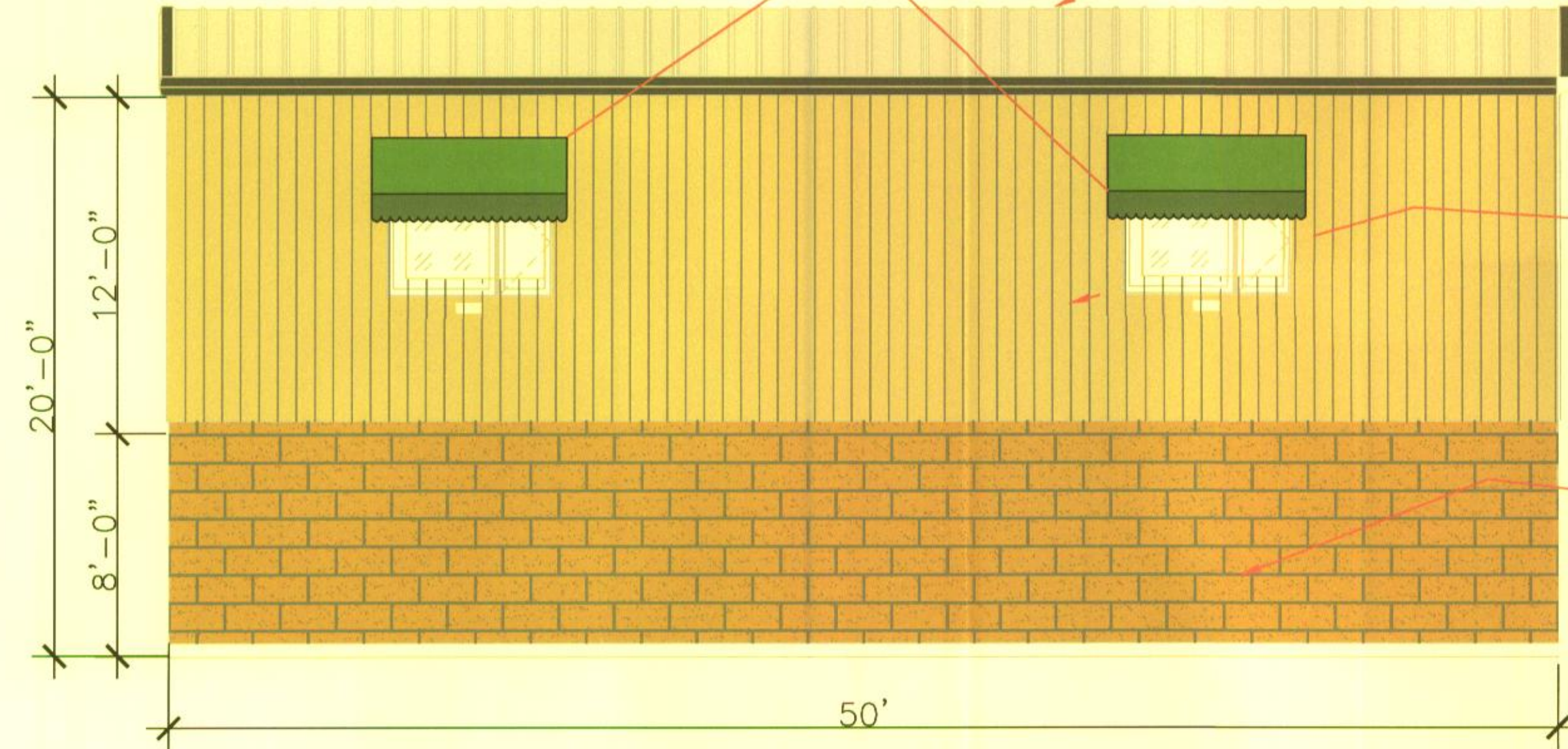
CHECKED BY KGP

PROJECT NO.

DRAWING TITLE

DRAWING NO.

CANOPY SHED TYPE- WOVEN FABRIC
SUNBRELLA BY GLEN RAVEN MILLS OR
APPROVED EQUAL-COLOR GREEN
SEE CANOPY SCHEDULE FOR DIMENSIONS



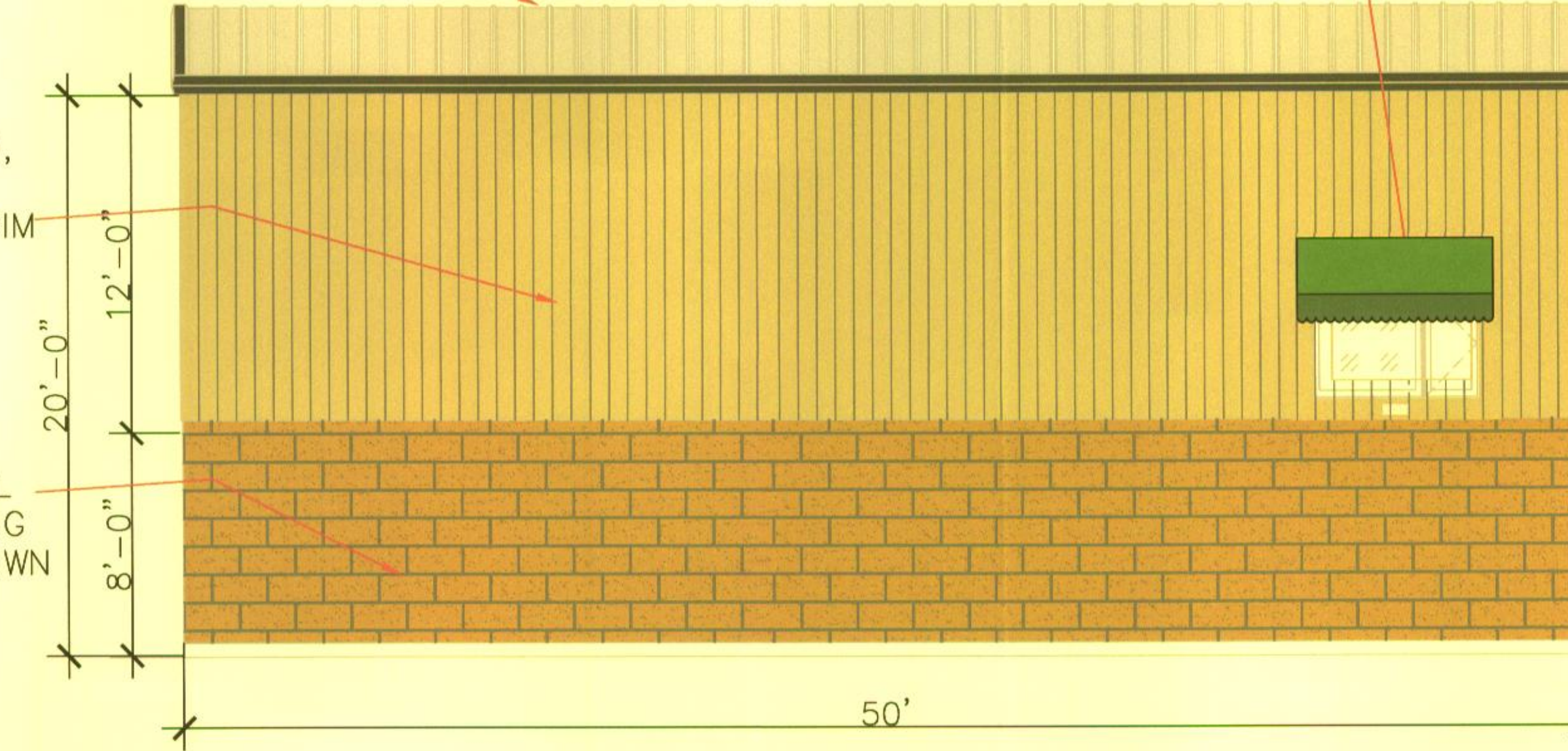
RIGHT SIDE ELEVATION

PREMANUF. METAL ROOFING BY
PBR PANELS WITH GALVALUME
COATING. COLOR SILVER

GALVALUME PANEL SIDING SYSTEM,
COLOR LIGHTSTONE PBR PANELS
WITH BURNISHED SLATE COLOR TRIM

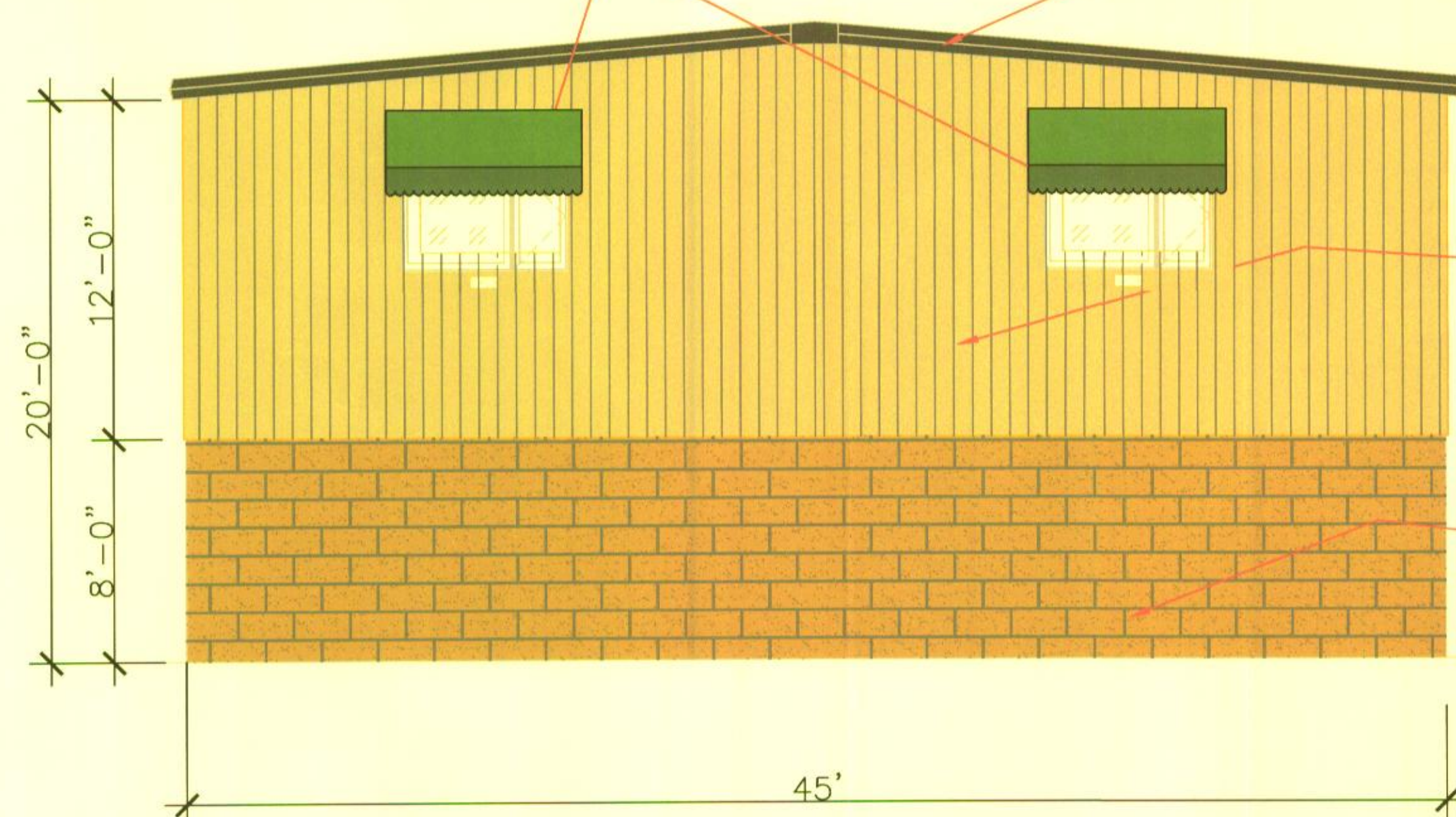
8" SPLIT-FACE CONC. BLOCK WALL
SET FLUSH W/ FACE OF SHEATHING
SYSTEM ABOVE. COLOR RUSTIC BROWN

CANOPY SHED TYPE- WOVEN FABRIC
SUNBRELLA BY GLEN RAVEN MILLS OR
APPROVED EQUAL-COLOR GREEN
SEE CANOPY SCHEDULE FOR DIMENSIONS



LEFT SIDE ELEVATION

CANOPY SHED TYPE- WOVEN FABRIC
SUNBRELLA BY GLEN RAVEN MILLS OR
APPROVED EQUAL-COLOR GREEN
SEE CANOPY SCHEDULE FOR DIMENSIONS

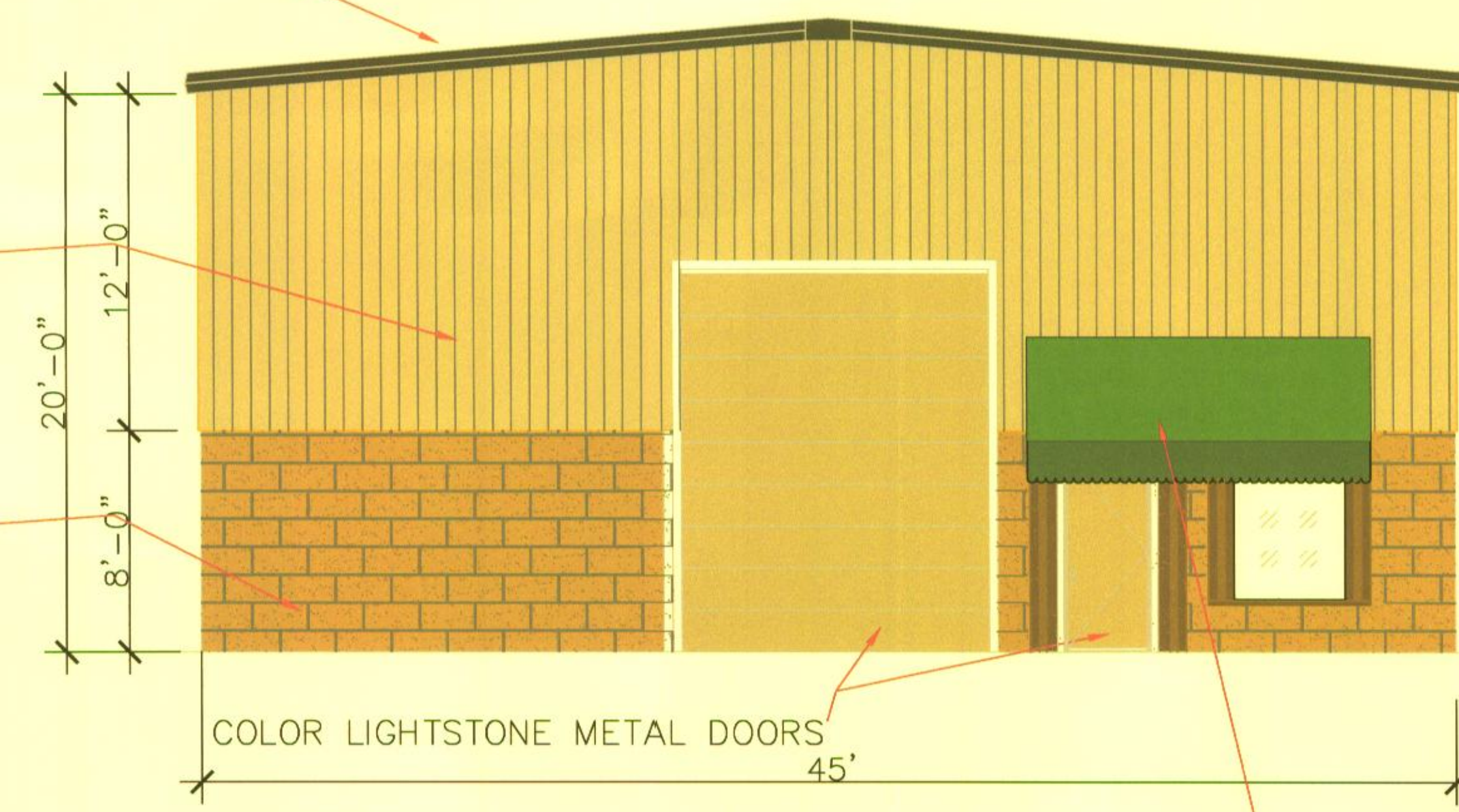


REAR ELEVATION

PREMANUF. METAL ROOFING BY
PBR PANELS WITH GALVALUME
COATING. COLOR SILVER

GALVALUME PANEL SIDING SYSTEM,
COLOR LIGHTSTONE PBR PANELS
WITH BURNISHED SLATE COLOR TRIM

8" SPLIT-FACE CONC. BLOCK WALL
SET FLUSH W/ FACE OF SHEATHING
SYSTEM ABOVE. COLOR RUSTIC BROWN



FRONT ELEVATION

COLOR LIGHTSTONE METAL DOORS

CANOPY SHED TYPE- WOVEN FABRIC
SUNBRELLA BY GLEN RAVEN MILLS OR
APPROVED EQUAL-COLOR GREEN
SEE CANOPY SCHEDULE FOR DIMENSIONS

THIS BLOCK IS FOR
OFFICIAL USE ONLY
OR label certifies that this plan
meets conditions of final approval
by the Planning Board, its designee
or the District Council.

**M-NCPPC
APPROVAL**

PROJECT NAME: WALKER MILL BUSINESS PARK

PROJECT NUMBER: DSP-03085-01

For Conditions of Approval see Site Plan Cover Sheet or Approval Sheet
Revision numbers must be included in the Project Number



NOT TO SCALE

BUILDING - B

SEAL

WAREHOUSE BUILDING FOR MUWAFFAQ ALRADAIDEH

CONSTRUCTION DOCUMENTS

NO.	DATE	ISSUE—PERMIT
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SCALE AS NOTED

DATE 06/18/2009

DRAWN BY FFD

CHECKED BY KGP

PROJECT NO.

DRAWING TITLE

DRAWING NO.

DSP-25007_Backup 17 of 67

GALVALUME PANEL SIDING SYSTEM,
COLOR LIGHTSTONE PBR PANELS
WITH BURNISHED SLATE COLOR TRIM

127'

REAR ELEVATION

**THIS BLOCK IS FOR
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or the District Council.

M-NCPPC
APPROVAL

PROJECT NAME: WALKER MILL BUSINESS PARK

PROJECT NUMBER: DSP-03085-01

For Conditions of Approval see Site Plan Cover Sheet or Approval Sheet
Revision numbers must be included in the Project Number

8" SPLIT-FACE CONC. BLOCK WALL
SET FLUSH W/ FACE OF SHEATHING
SYSTEM ABOVE. COLOR RUSTIC BROWN

CANOPY SHED TYPE- WOVEN FABRIC
SUNBRELLA BY GLEN RAVEN MILLS OR
APPROVED EQUAL-COLOR GREEN
SEE CANOPY SCHEDULE FOR DIMENSIONS

PREMANUF. METAL ROOFING BY
BUILDING SUPPLIER, SEE MFG.
SHOP DRAWINGS FOR DETAILS

GALVALUME PANEL SIDING SYSTEM,
SEE MFG. DRAWINGS FOR SPECS AND
INSTALLATION DETAILS

127'

FRONT ELEVATION

8" SPLIT-FACE CONC. BLOCK WALL
SET FLUSH W/ FACE OF SHEATHING
SYSTEM ABOVE. COLOR RUSTIC BROWN

BUILDING - C

NOT TO SCALE

SEAL _____

CONSULTANTS
**WAREHOUSE
BUILDING FOR
MUWAFFAQ
ALRADAIDEH**

PROJECT TITLE
**CONSTRUCTION
DOCUMENTS**

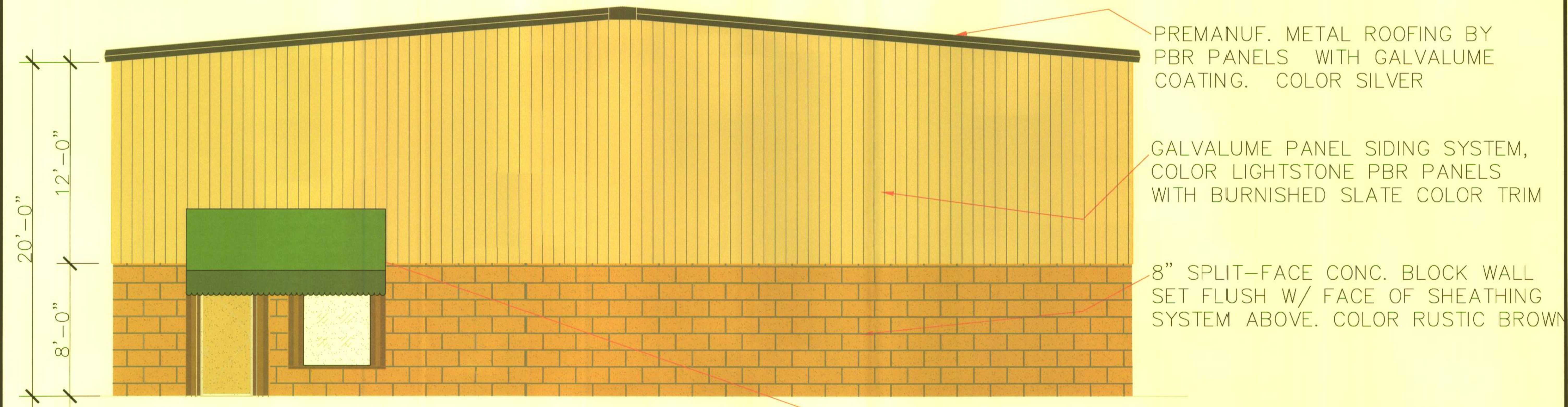
REVISIONS	

NO.	DATE	ISSUE--PERMIT
-----	------	---------------

SCALE	AS NOTED
DATE	06/18/2009
DRAWN BY	FFD
CHECKED BY	KGP
PROJECT NO.	

DRAWING TITLE _____

DRAWING NO. _____



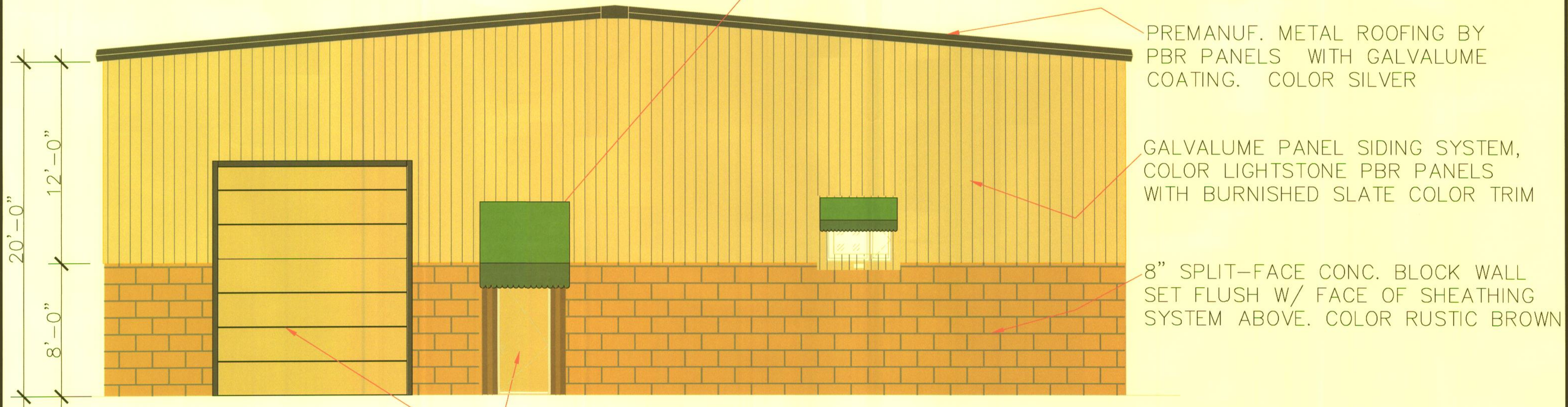
PREMANUF. METAL ROOFING BY
PBR PANELS WITH GALVALUME
COATING. COLOR SILVER

GALVALUME PANEL SIDING SYSTEM,
COLOR LIGHTSTONE PBR PANELS
WITH BURNISHED SLATE COLOR TRIM

8" SPLIT-FACE CONC. BLOCK WALL
SET FLUSH W/ FACE OF SHEATHING
SYSTEM ABOVE. COLOR RUSTIC BROWN

LEFT SIDE ELEVATION

CANOPY SHED TYPE— WOVEN FABRIC
SUNBRELLA BY GLEN RAVEN MILLS OR
APPROVED EQUAL—COLOR GREEN
SEE CANOPY SCHEDULE FOR DIMENSIONS



PREMANUF. METAL ROOFING BY
PBR PANELS WITH GALVALUME
COATING. COLOR SILVER

GALVALUME PANEL SIDING SYSTEM,
COLOR LIGHTSTONE PBR PANELS
WITH BURNISHED SLATE COLOR TRIM

8" SPLIT-FACE CONC. BLOCK WALL
SET FLUSH W/ FACE OF SHEATHING
SYSTEM ABOVE. COLOR RUSTIC BROWN


COLOR LIGHTSTONE METAL DOORS

RIGHT SIDE ELEVATION

BUILDING - C

NOT TO SCALE

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OFFICIAL USE ONLY
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or the District Council.



**M-NCPPC
APPROVAL**

PROJECT NAME:	WALKER MILL BUSINESS PARK
PROJECT NUMBER:	DSP-03085-01
<small>For Conditions of Approval see Site Plan Cover Sheet or Approval Sheet Revision numbers must be included in the Project Number</small>	

PLANT SCHEDULE - PHASE 2

CODE	QTY	BOTANICAL / COMMON NAME	SIZE	SPACING	ROOT
SHADE TREES					
AR	2	Acer rubrum 'Red Sunset' / Red Sunset Maple	2 1/2 - 3" Cal.	As Shown	B&B
PO	1	Platanus occidentalis / American Sycamore	2 1/2 - 3" Cal.	As Shown	B&B
QH	1	Quercus phellos / Willow Oak	2 1/2 - 3" Cal.	As Shown	B&B

PLANT SCHEDULE - PHASE 1

CODE	QTY	BOTANICAL / COMMON NAME	SIZE	SPACING	ROOT
SHADE TREES					
AR	11	Acer rubrum 'Red Sunset' / Red Sunset Maple	2 1/2 - 3" Cal.	As Shown	B&B
PO	8	Platanus occidentalis / American Sycamore	2 1/2 - 3" Cal.	As Shown	B&B
QH	12	Quercus phellos / Willow Oak	2 1/2 - 3" Cal.	As Shown	B&B
EVERGREEN TREES					
IO	7	Ilex opaca / American Holly	6 - 8' Ht.	As Shown	B&B
JV	8	Juniperus virginiana / Eastern Red Cedar	6 - 8' Ht.	As Shown	B&B
PS	9	Pinus strobus / White Pine	6 - 8' Ht.	As Shown	B&B
ORNAMENTAL TREES					
AC	6	Amelanchier canadensis / Shadblow Serviceberry	1 1/2 - 2" Cal.	As Shown	B&B/Cont.
MV	2	Magnolia virginiana / Sweet Bay	1 1/2 - 2" Cal.	As Shown	B&B/Cont.
PK	3	Prunus serrulata 'Kwanzan' / Flowering Cherry	1 1/2 - 2" Cal.	As Shown	B&B/Cont.

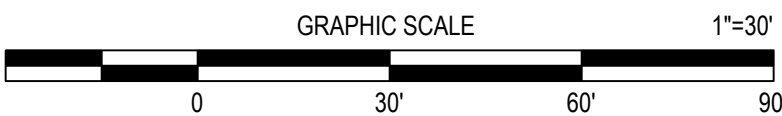
Tree Canopy Coverage Schedule for Sec. 25-128				
Project Name:	TCP2#:	DRD Case #:	Area (acres)	
Walker Mill - Lot 15		DSP-25007		
Site Calculations:	Zone 1:	I-1	1.74	
	Zone 2:			
	Zone 3:			
	Zone 4:			
	Total Acres:		1.74	
Total Acres (gross acres)	% of TCC required	TCC Required (Acres)	TCC Required in (SF)	
1.74	15.0%	0.261	11369	
A. TOTAL ON-SITE WC PROVIDED (acres) =				0
B. TOTAL AREA EXISTING TREES (non-WC acres) =				0
C. TOTAL SQUARE FOOTAGE IN LANDSCAPE TREES =				11700
D. TOTAL TREE CANOPY COVERAGE PROVIDED =				11700
E. TOTAL SQUARE FOOTAGE REQUIRED =				11369
				Requirement Satisfied

Credit Categories for Landscape Trees	TCC Credit per Tree Based on Size at Planting (SF)	Number of Trees	TCC Credit (SF)
Deciduous - columnar shade tree (50' or less height)	2 - 1/2" - 3" = 65 3 - 3 1/2" = 75		0
Deciduous - ornamental tree (20' or less height with equal spread). Minimum planting size 7' - 9' in height	1 - 1/2" - 1 - 3/4" = 75 2 - 2 1/2" = 100 2 - 1/2" - 3" = 110 2 - 1/2" - 3" = 160 3 - 3 1/2" = 175	11	825
Deciduous - minor shade tree (25-50' height with equal spread or greater). Minimum planting size 8-10' in height	2 - 1/2" - 3" = 175 2 - 1/2" - 3" = 225	34	7650
Deciduous - major shade tree (50' and greater ht. with spread equal to or greater than ht) Minimum planting size 12 to 14' in height	3 - 3 1/2" = 250		0
Evergreen - columnar tree (less than 30' height with spread less than 15')	6 - 8" = 40 8 - 10" = 50 10 - 12" = 75		0
Evergreen - small tree (30-40' height with spread of 15-20')	6 - 8" = 75 8 - 10" = 100 10 - 12" = 125		0
Evergreen - medium tree (40-50' height with spread of 20-30')	6 - 8" = 125 8 - 10" = 150 10 - 12" = 175	15	1875
Evergreen - large tree (50' height or greater with spread of over 30')	6 - 8" = 150 8 - 10" = 200 10 - 12" = 250	9	1350
TOTAL NUMBER OF TREES/TCC CREDIT (SF)		69	11700

Kevin Garvey, RLA
Prepared by
4/17/2025
Date

DSP-25007 LANDSCAPE PLAN

LOT 15, BLOCK B
WALKER MILL BUSINESS PARK
LOCATED IN CAPITOL HEIGHTS
SEAT PLEASANT (18TH) ELECTION DISTRICT
PRINCE GEORGE'S COUNTY, MARYLAND



OWNER INFORMATION

MAILING ADDRESS: A AND A CAPITAL HEIGHTS LLC
10610 RHODE ISLAND AVE.
BELTSVILLE, MD 20705
PREMISE ADDRESS: 1611 ROCHELL AVE.
CAPITOL HEIGHTS, MARYLAND 20743
DEED: LIBER 49195 FOLIO 384
PLAT: REP. 18193 & 052
AREA: 75,785 SF. OR 1.7399 AC.
TAX ID #: 18-3428406

L-01



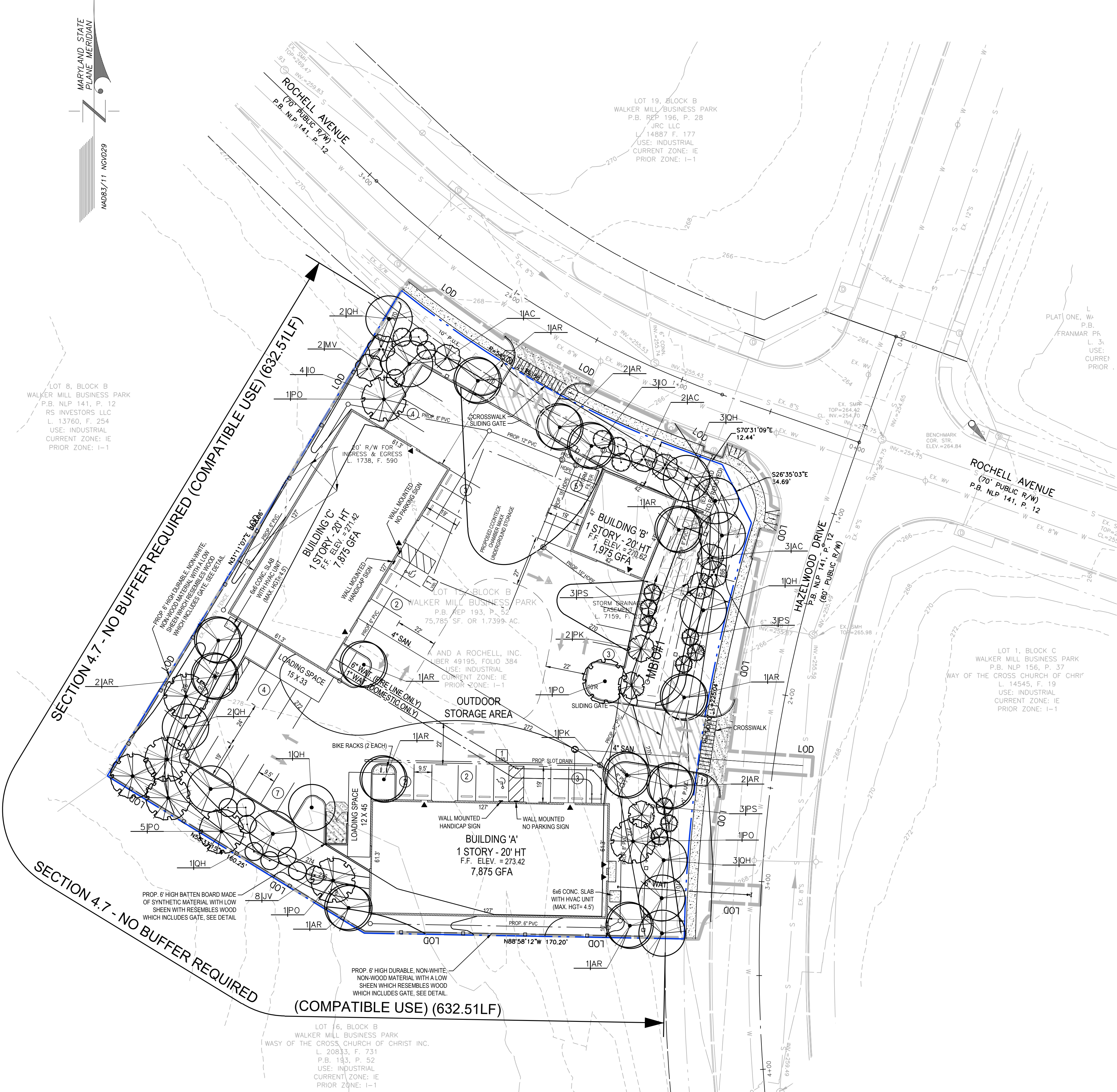
DATE	DESCRIPTION	BY	REVISIONS
SEPTEMBER, 2023			

ATWELL	966.850.4200	www.atwell-group.com
11721 WOODBINE RD., SUITE 200	MITCHELLVILLE, MD 20721	301.430.2000
DRAWN BY: JBG	CHECKED BY: PBW	RECORDED NO: A72058
SCALE: 1"=30'	DATE: SEPTEMBER, 2023	6.007-Y

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DSP-25007 Backup 19

CALL MISS UTILITY
1-800-257-7777
48 hrs Before Excavation



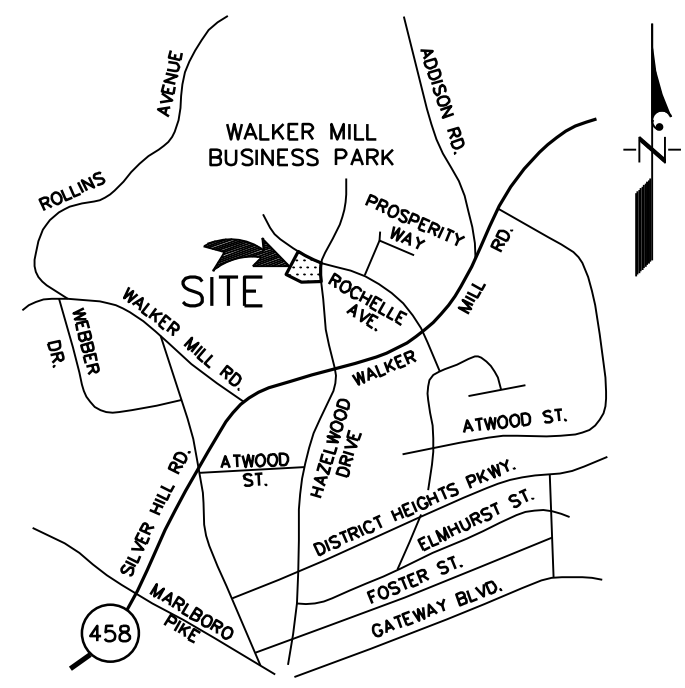
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---	EXISTING CONTOUR
---	PROPOSED CONTOUR
---	EXISTING SPOT ELEVATION
---	PROPOSED SPOT ELEVATION
---	LIMIT OF DISTURBANCE
---	PROPOSED FLOW ARROW
---	PROPOSED CONCRETE PAVING
---	PROPOSED HEAVY DUTY CONCRETE PAVING
---	PROPOSED HEAVY DUTY ASPHALT PAVING
---	PROPOSED DOOR LOCATIONS
---	EXISTING FIRE HYDRANT
---	EXISTING SEWER
---	PROPOSED SEWER
---	EXISTING WATER
---	PROPOSED WATER
---	EXISTING STORM DRAIN
---	PROPOSED STORM DRAIN
---	EXISTING TREE LINE
---	PROPOSED TREE LINE
---	STANDARD PARKING SPACES
---	HANDICAPPED PARKING SPACES
---	EXISTING CURB & GUTTER
---	PROPOSED CURB & GUTTER
---	PROPOSED ORNAMENTAL FENCE

THE CONTRACTOR SHALL NOTIFY MISS UTILITY 1-800-257-7777.
FORTY- EIGHT (48) HOURS BEFORE STARTING WORK SHOWN ON
THESE DRAWINGS.

PLANT SCHEDULE - PHASE 1

CODE	QTY	BOTANICAL / COMMON NAME	SIZE	SPACING	ROOT
SHADE TREES					
AR	11	Acer rubrum 'Red Sunset' / Red Sunset Maple	2 1/2 - 3" Cal.	As Shown	B&B
PO	8	Platanus occidentalis / American Sycamore	2 1/2 - 3" Cal.	As Shown	B&B
QH	12	Quercus phellos / Willow Oak	2 1/2 - 3" Cal.	As Shown	B&B
EVERGREEN TREES					
IO	7	Ilex opaca / American Holly	6 - 8' Ht.	As Shown	B&B
JV	8	Juniperus virginiana / Eastern Red Cedar	6 - 8' Ht.	As Shown	B&B
PS	9	Pinus strobus / White Pine	6 - 8' Ht.	As Shown	B&B
ORNAMENTAL TREES					
AC	6	Amelanchier canadensis / Shadblow Serviceberry	1 1/2 - 2" Cal.	As Shown	B&B/Cont.
MV	2	Magnolia virginiana / Sweet Bay	1 1/2 - 2" Cal.	As Shown	B&B/Cont.
PK	3	Prunus serrulata 'Kwanzan' / Flowering Cherry	1 1/2 - 2" Cal.	As Shown	B&B/Cont.



VICINITY MAP

SCALE: 1" = 2000'
ADC MAP BOOK:
WSSC 200' SHEET: 203SE06

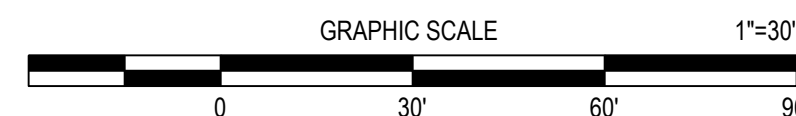
LEGEND

---	EXISTING CONTOUR
---	PROPOSED CONTOUR
×	EXISTING SPOT ELEVATION
+	PROPOSED SPOT ELEVATION
---	LIMIT OF DISTURBANCE
→	PROPOSED FLOW ARROW
▨	PROPOSED CONCRETE PAVING
▩	PROPOSED HEAVY DUTY CONCRETE PAVING
▧	PROPOSED HEAVY DUTY ASPHALT PAVING
▤	PROPOSED DOOR LOCATIONS
▲	EXISTING FIRE HYDRANT
—S—	EXISTING SEWER
—W—	PROPOSED SEWER
—W—	EXISTING WATER
—W—	PROPOSED WATER
—D—	EXISTING STORM DRAIN
—D—	PROPOSED STORM DRAIN
---	EXISTING TREE LINE
---	PROPOSED TREE LINE
⊕	STANDARD PARKING SPACES
⊕	HANDICAPPED PARKING SPACES
---	EXISTING CURB & GUTTER
---	PROPOSED CURB & GUTTER
---	PROPOSED ORNAMENTAL FENCE

THE CONTRACTOR SHALL NOTIFY MISS UTILITY 1-800-257-7777, FORTY-EIGHT (48) HOURS BEFORE STARTING WORK SHOWN ON THESE DRAWINGS.

DSP-25007 LANDSCAPE PLAN - PHASE I

LOT 15, BLOCK B
WALKER MILL BUSINESS PARK
LOCATED IN CAPITOL HEIGHTS
SEAT PLEASANT (18TH) ELECTION DISTRICT
PRINCE GEORGE'S COUNTY, MARYLAND



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L-02

	DATE		DESCRIPTION		BY	REVISIONS
	SEPTEMBER, 2023		A72058			
	6/5/2025		6.008-Y			
	K:\C3D-PROJ\A72058-C3D\DWG\LS-Lot 15.dwg, 5/5/2025 3:31:07 PM, kgorvey		DSE-25007 Backup 2025.06.05			

CALL MISS UTILITY
1-800-257-7777
48 hrs Before Excavation

PLANTING SPECIFICATIONS

I. GENERAL

- A. Scope: The Landscape Contractor shall provide all labor, materials, and equipment necessary to complete the work shown on the drawings and described in the specifications. The Landscape Contractor shall verify all quantities of plant material shown on the plan and in the plant list. In the event of a discrepancy between the quantities shown on the plan and in the plant list, the plan shall govern. Immediately inform the Landscape Architect of any such discrepancy before delivering or installing any plant material.
- B. Utilities: The Landscape Contractor shall notify Miss Utility (1-800-257-7777) to verify the location of all main utilities and shall ask the General Contractor to locate lighting and other on-site utilities in the field before proceeding with the installation of any planting. If conditions arise in the field which necessitate the shifting of a plant location more than 15', the Landscape Architect is to be consulted.
- C. Substitutions: Any change in the type, size and quality of plant material must be approved by the Landscape Architect prior to installation.
- D. Quality Standards: All plant material must be nursery grown and meet all of the qualitative criteria established by the current issue of the American Standard for Nursery Stock specifications published by the American Nursery & Landscape Association.

Furthermore, all plant material must exhibit a full, symmetrical habit of growth that is characteristic of quality grown nursery stock. Any plant material exhibiting a spindly or top-sided habit or any other feature that detracts from its health or appearance, will be rejected.

- E. Dug Material: All dug plant material shall have been dug before bud break or after leaf maturation. Any plant material exhibiting drooping new growth within two (2) weeks of being planted will be rejected and must be removed from the job.

Balled and burlapped plants shall be dug with firm natural balls of earth.

Anti-desiccants shall be applied on all material dug while in foliage.

- F. Poor Drainage: No plants shall be planted in situations that show obvious poor drainage. Such situations shall immediately be brought to the attention of the Landscape Architect and Owner, and if they deem necessary, the plants shall be relocated or the contract shall be adjusted to allow for drainage correction at a negotiated cost.

- G. Site Preparation: It shall be the General Contractor's responsibility to present "clean" soil conditions to the Landscape Contractor prior to any landscape installation. "Clean" soil may include on-site soil but must be free of pavement materials, muck, root systems, petroleum or other chemical substances, blue stone, construction debris and other materials larger than 4" in diameter. The "clean" soil shall extend to the following minimum depths: 18" where trees are proposed, 12" where shrubs are proposed and 6" where lawn is proposed. If the Landscape Contractor encounters any areas to be deficient regarding these "clean" soil specifications, he shall report this condition to the Landscape Architect and Owner prior to planting in those areas.

- H. Workmanship: During planting, all areas shall be kept neat and clean, and all reasonable precautions shall be taken to avoid damage to existing plants, turf and structures. Upon completion, all debris and waste material resulting from planting operations shall be removed from the project and the area cleaned up. Any damaged areas shall be restored to their original condition.

- I. Water: If available on-site, the Owner shall supply water at no cost. It will be the Landscape Contractor's responsibility to supply water if there is none on the site.

- J. Guarantee: All plant material shall be guaranteed for a period of one (1) year. It is the Landscape Contractor's responsibility to assure that all plant material be maintained in a healthy condition during this period.

The Landscape Contractor shall replace within 30 days of notice any and all plant material that declines to less than 75% of its original planted condition due to cultural reasons. The Landscape Contractor shall not be responsible for replacing plants for cultural reasons after the first instance of decline. If decline for cultural reasons occurs a second time, the Landscape Architect shall be notified and an alternative planting remedy will be negotiated at an extra cost to the owner.

The Landscape Contractor shall not be held responsible for any plant losses due to mechanical injury, theft or vandalism after the job is accepted by the owner.

II. PLANTING PROCEDURES

- A. Planting Beds: With the exception of those trees shown on the plan as individuals, all plants are to be planted into prepared planting beds which are designated on the plan with dashed outlines. The outline of each bed shall be spade dug to be a smooth, continuous sharp-cut edge. The entire area within the outline of the bed shall be thoroughly loosened to a depth of 6-8" by picking or other means and all materials unsuitable for plant growth and all rocks and debris greater than 4" diameter are to be removed. Topsoil (that meets the qualitative description of the Maryland State Highway Administration's Materials Specification 920.02 Natural Topsoil) shall be applied over the loosened subsoil to a minimum depth of 6", creating a slightly raised planting bed in relation to the surrounding area.

B. Tree Planting:

1. Preparing tree pit: The walls of the tree pit shall be dug so that they are vertical and scarified. The diameter of the pit shall be a total of 24" wider than the ball diameter. Care should be taken not to excavate the tree pit below a depth that allows 2" of the ball to be above finished grade. If the pit is dug too deep, then the bottom of the pit must be firmly tamped (to prevent settlement).

2. Placing Tree in Pit: Place the tree in the pit either by lifting and carrying the tree by its ball (never lift by branches or trunk) and then lowering it into the pit.

Set the tree straight and in the center of the pit with the most desirable side of the tree facing toward the prominent view (sidewalk, building, street, etc.).

3. Backfilling Tree Pit: Backfill the tree pit with a mixture of 2/3 original excavated material amended with 1/3 topsoil (as specified in II.A. above)(This step will have been partially completed if the tree is planted into a prepared bed as described above.)

Backfill sides of tree pit halfway with soil mixture and tamp before adding more backfill. Cut rope or wire on ball of tree and pull burlap back to the edge of the tree ball. Remove all plastic wraps and twine.

Finish backfilling sides of tree pit and tamp firmly. Never cover top of root ball with soil. Form a saucer above existing grade and around the outer rim of the tree pit. Mulch top of root ball and saucer within 48 hours to a depth of 2" to 3".

Water thoroughly on the interior of the tree saucer until it is filled, even if it is raining. A second watering may be necessary to insure saturation of the root ball. Prune out any dead or broken branches.

4. Tree bracing: All trees less than 2" cal. are to be braced with two (2) 6" hardwood stakes 180 degrees apart. All trees 2" cal. or larger are to be braced with three (3) guy wires and ground stakes spaced evenly apart (120 degrees) in a circle. (See details on plan for additional information). Staking and guying shall be completed within 48 hours of planting the tree.

C. Shrub Planting:

1. Preparing Shrub Pit: The walls of the shrub pit shall be dug so that they are vertical and scarified. The diameter of the pit shall be a total of 12" wider than the ball diameter. The depth of the pit shall be at an elevation that allows 2" of the ball to be above finished grade, after the bottom of the pit has been firmly tamped (to prevent settlement).

2. Placing Shrub in Pit: Container grown material shall have the container removed and the outside of the root ball examined for the presence of encircling roots. If present, these roots should be severed with a sharp knife and loosened from the earth ball by means of pulling them out slightly by hand prior to planting. Place the shrub in the pit either by lifting or carrying the shrub by its root ball (never lift by branches) and then lowering it into the pit.

Set the shrub straight and in the center of the pit with the most desirable side of the shrub facing toward the prominent view (sidewalk, building, street, etc.).

3. Backfilling Shrub Pit: Backfill the shrub pit halfway with soil mixture and tamp before adding more backfill. Cut rope or wire on ball of shrub and pull burlap (if B&B) back to the edge of the root ball. Remove all plastic wraps and twine.

Finish backfilling sides of pit and tamp firmly. Never cover top of root ball with soil. Form a saucer above existing grade and around the outer rim of the shrub pit. Mulch top of root ball, saucer, and the entire planting bed within 48 hours to a depth of 2" to 3".

Water thoroughly on the interior of the shrub saucer until it is filled, even if it is raining. A second watering may be necessary to insure saturation of root ball. Prune out any dead branches.

D. Seeding & Sodding

All disturbed areas not covered by buildings, pavements and planting areas are to be established in a lawn of turf-type Tall Fescue either by seed or sod, or combination, depending on the time of year, availability of materials and Owner's preference.

LANDSCAPE STRIP ALONG STREET #1 (SECTION 4.2)

Linear feet of street frontage, excluding driveway entrances:	425 LF
1) General Plan Designation:	Developing Tier
	<input checked="" type="checkbox"/> Developed Tier
	Corridor Node or Center
2) Option Selected:	1,2,3, or 4: <u>2</u>
3) Is there a public utility easement along the frontage of the property?	<input checked="" type="checkbox"/> yes <input type="checkbox"/> no
3) Number of plants required:	13 shade trees
	61 shrubs
	25' strip of ex. trees
	shade trees
	shrubs
	25' strip of ex. trees

4) Total number of trees provided:	13 shade trees	shade trees
	6 ornamental trees	ornamental trees
	shrubs	shrubs
	25' strip of ex. trees	25' strip of ex. trees

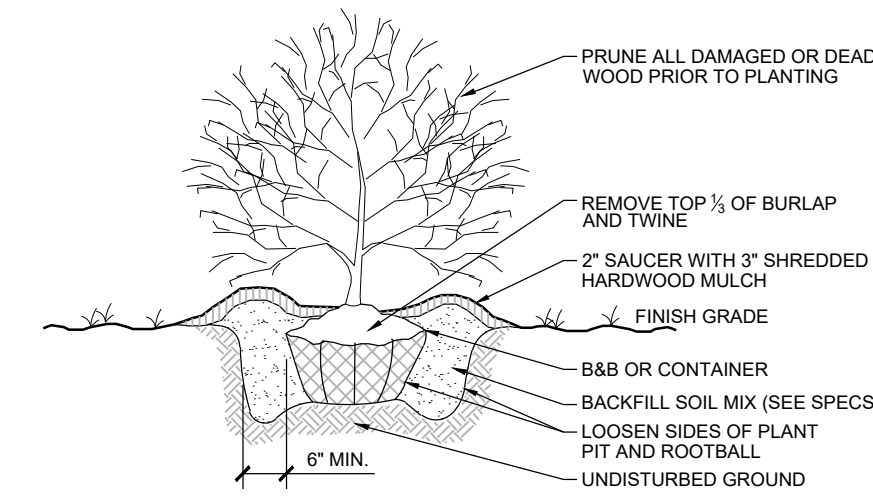
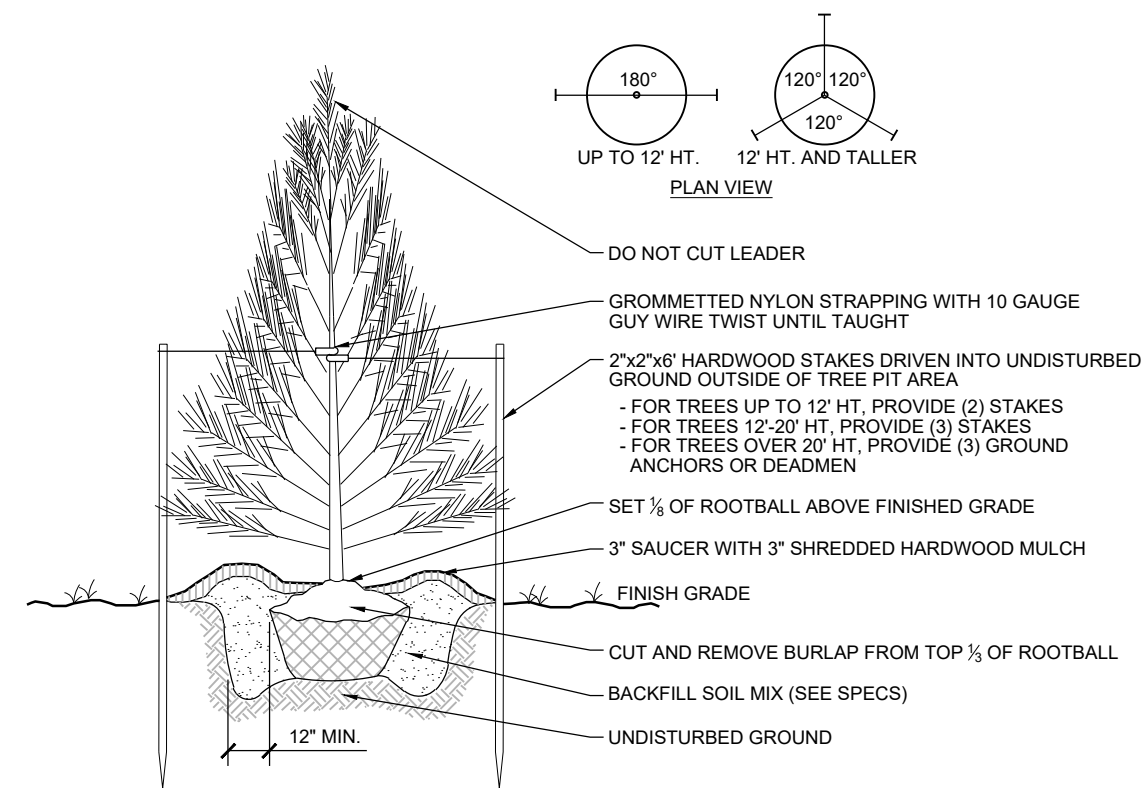
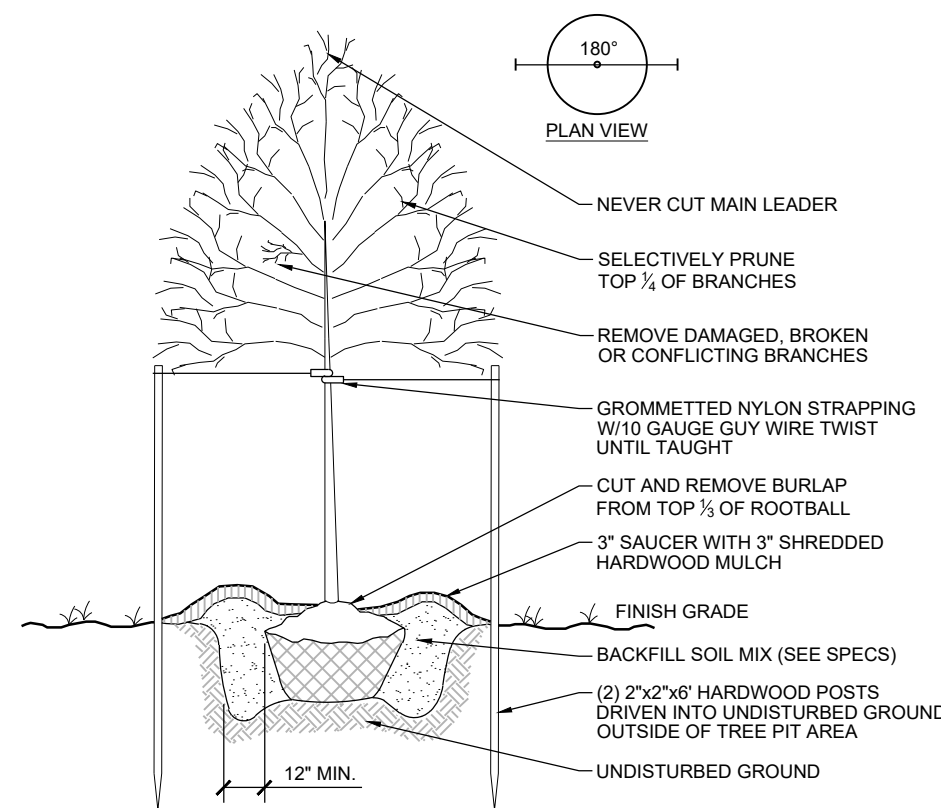
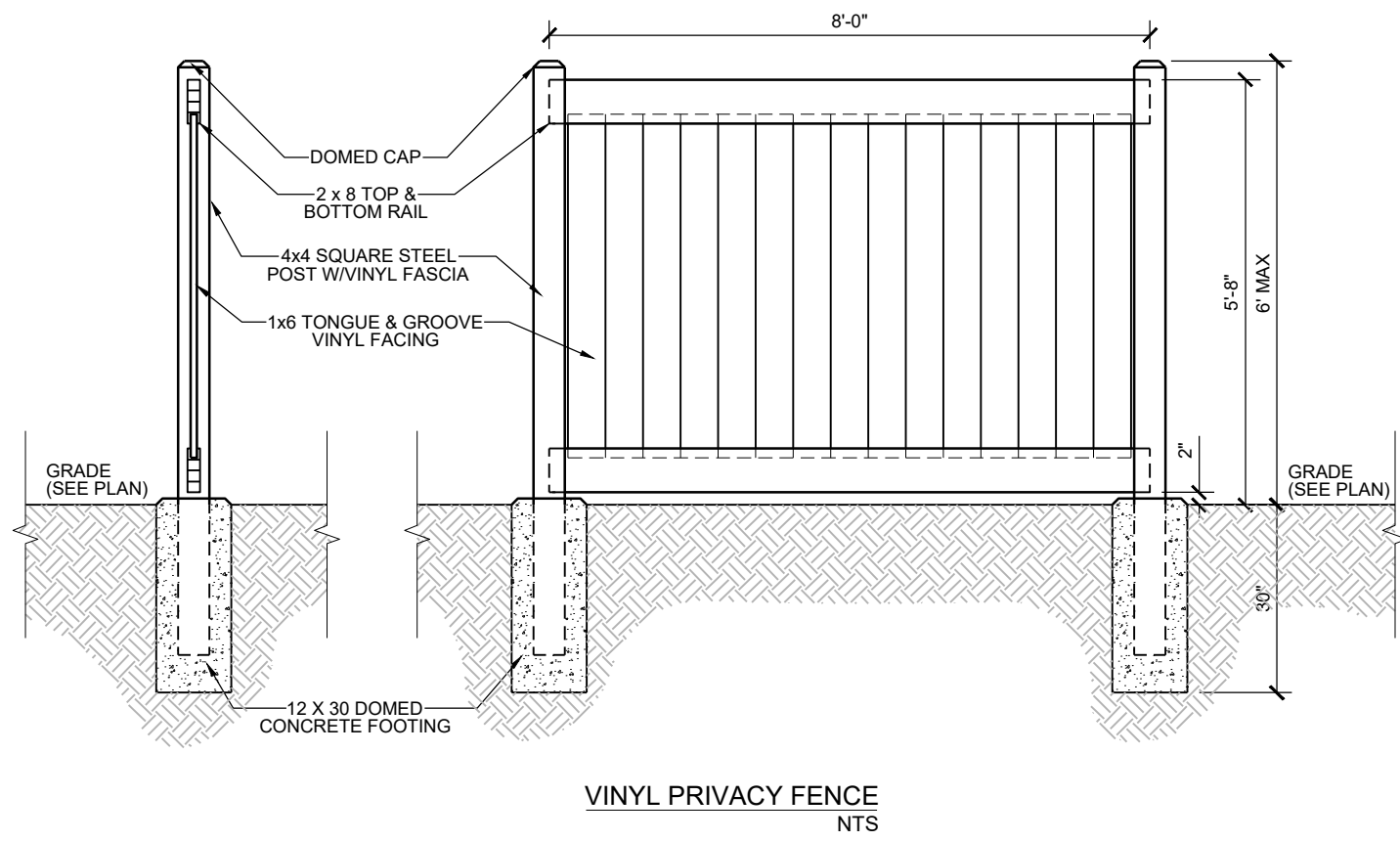
INTERIOR PLANTING FOR PARKING COMPOUND #1 (Section 4.3-2)

1) Parking Lot Area (see Figure 4.3-7):	26,083 square feet
2) Interior landscaped area required:	8% 2,087 square feet
3) Interior landscaped area provided:	8.00% 2,087 square feet
4) Minimum number of shade trees required:	
(1 per 300 square feet of interior planting area provided)	7 shade trees
or	
(1 per 200 square feet of interior planting area provided)	N/A shade trees
5) Number of shade trees provided:	7 shade trees
6) Is a minimum of 160 square feet of contiguous pervious land are provided per shade tree?	<input checked="" type="checkbox"/> yes <input type="checkbox"/> no
7) Is there a planting island on average every 10 spaces?	<input checked="" type="checkbox"/> yes <input type="checkbox"/> no
8) Is a curb or wheel stop provided for all parking spaces abutting a planting or pedestrian area?	<input checked="" type="checkbox"/> yes <input type="checkbox"/> no
9) Are planting islands that are either parallel or perpendicular to parking spaces on both sides a minimum of 9 feet wide?	<input checked="" type="checkbox"/> <input type="checkbox"/>
10) Is a planting island that is perpendicular to parking spaces on one side a minimum of 6 feet wide?	<input checked="" type="checkbox"/> yes <input type="checkbox"/> no
11) For parking lots 50,000 square feet or larger:	
a) Is there a 9-foot-wide planting island perpendicular to parking for every 2 bays?	<input checked="" type="checkbox"/> yes <input type="checkbox"/> no
or	
b) Is the number of shade trees required increased?	<input type="checkbox"/> yes <input checked="" type="checkbox"/> no
(1 per 200 square feet of interior planting area provided)	

SUSTAINABLE LANDSCAPING REQUIREMENTS (SECTION 4.9-1)

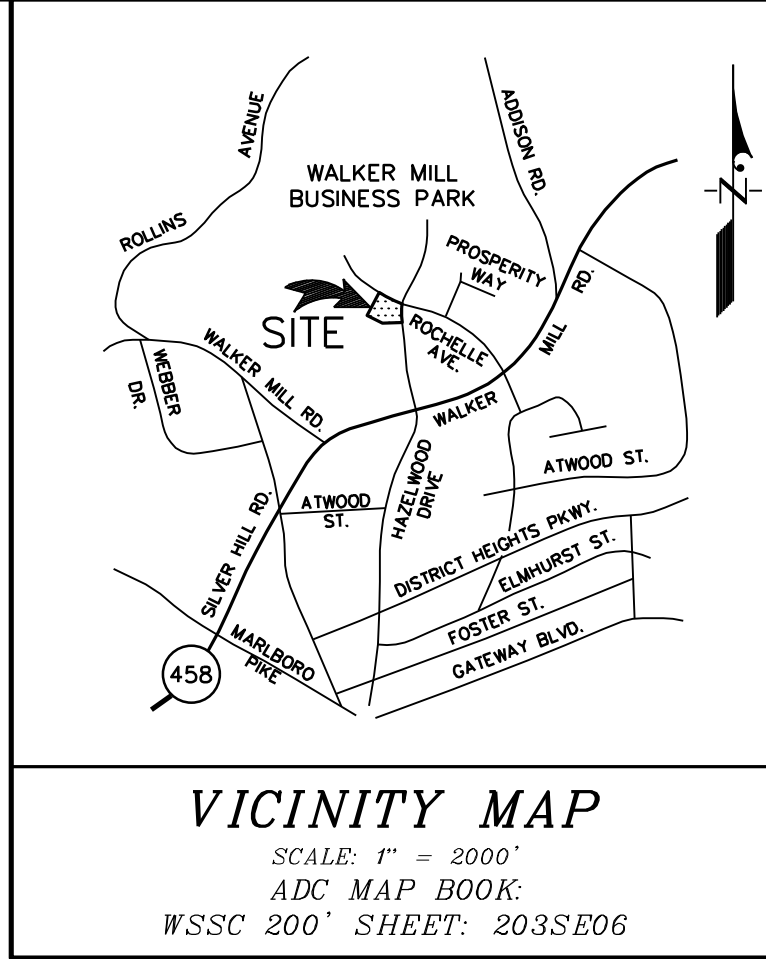
1) Percentage of native plant material required in each category:	
Shade Trees:	total 21 x 50% 11 total number required
	total number provided 19 = 90.5 % native
Ornamental Trees:	total 11 x 50% 6 total number required
	total number provided 8 = 72.7 % native
Evergreen Trees:	total 16 x 30% 5 total number required
	total number provided 16 = 100.0 % native
Shrubs:	total x 30% 0 total number required
	total number provided = % native

2) Are invasive species proposed?	<input type="checkbox"/> yes <input checked="" type="checkbox"/> no
3) Are existing invasive species on-site in areas that are to remain undisturbed used in the fulfillment of landscape manual requirements?	<input type="checkbox"/> yes <input checked="" type="checkbox"/> no
4) If "yes" is checked in numbers 2 or 3, is a note included on the plan requiring removal of invasive species prior to certification in accordance with section 1.5, Certification of Installation of Plant Materials?	N/A yes <input type="checkbox"/> no
5) Are trees proposed to be planted on slopes greater than 3:1?	<input type="checkbox"/> yes <input checked="" type="checkbox"/> no

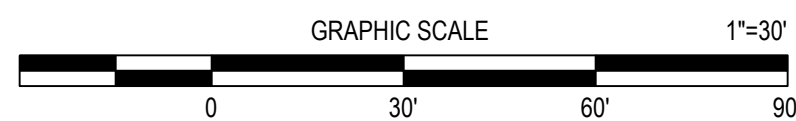


NOTE: FOR DECIDUOUS OR EVERGREEN SHRUBS

SHRUB PLANTING DETAIL
NTS



DSP-25007
LANDSCAPE PLAN
LANDSCAPE DETAILS
LOT 15, BLOCK B
WALKER MILL BUSINESS PARK
LOCATED IN CAPITOL HEIGHTS
SEAT PLEASANT (18TH) ELECTION DISTRICT
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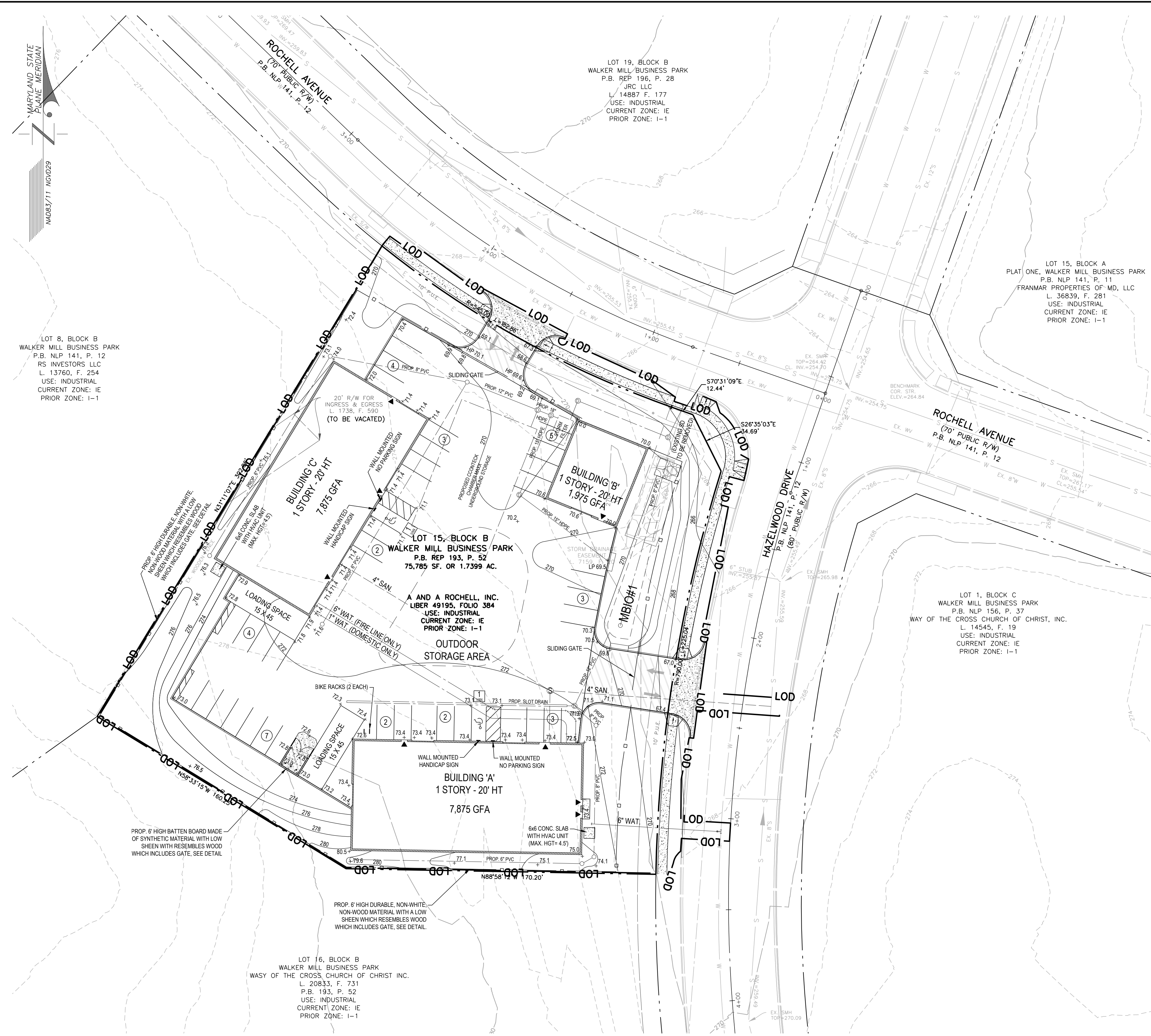
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AREA: 75,785 SF. OR 1.7399 AC.
TAX ID #: 18-3428406



DATE	DESCRIPTION	BY	SCALE	RECORD NO.
6/5/2025	REVISIONS		1"=30'	A72058
DATE	DESCRIPTION	BY	SCALE	RECORD NO.
SEPTEMBER, 2023			1"=30'	6.009-Y

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Standard Woodland Conservation Worksheet for Prince George's County				
SECTION I-Establishing Site Information- (Enter acres for each zone)				
1 Zone:	IE	1.74	0.00	
2 Gross Tract:		0.00	0.00	
3 Floodplain:		0.00	0.00	
4 Previously Dedicated Land:		0.00	0.00	
5 Net Tract (NTA):		1.74	0.00	
SECTION II-Determining Requirements (Enter acres for each corresponding column)				
	Column A WCT/AFT %	Column B Net Tract	Column C Floodplain (1:1)	Column D Off-Site Impacts (1:1)
17 Existing Woodland		0.00		
18 Woodland Conservation Threshold (WCT) =	15.00%	0.26		
19 Smaller of 17 or 18		0.00		
20 Woodland above WCT		0.00		
21 Woodland cleared		0.00	0.00	0.00
22 Woodland cleared above WCT (smaller of 16 or 17)		0.00		
23 Clearing above WCT (0.25 - 1) replacement requirement		0.00		
24 Woodland cleared below WCT		0.00		
25 Clearing below WCT (2:1 replacement requirement)		0.00		
26 Afforestation Required Threshold (AFT) =	15.00%	0.26		
27 Off-site WCA being provided on this property		0.00		
28 Woodland Conservation Required		0.00		
SECTION III-Meeting the Requirements (Enter acres for each corresponding column)				
29 Woodland Preservation		0.00		
30 Afforestation / Reforestation		0.00		
31 Natural Regeneration		0.00		
32 Landscape Credits		0.00		
33 Specimen/Historic Tree Credit (CRZ area * 2.0)	0.00	0.00		
34 Forest Enhancement Credit (Area * .25)	0.00	0.00		
35 Street Tree Credit (Existing or 10-year canopy coverage)		0.00		
36 Area approved for fee-in-lieu		0.00		
37 Off-site Woodland Conservation Credits Required		0.00		
38 Off-site WCA (preservation) being provided on this property		0.00		
39 Off-site WCA (afforestation) being provided on this property		0.00		
40 Woodland Conservation Provided		0.00		
41 Area of woodland not cleared		0.00		
42 Net tract woodland retained not part of requirements:		0.00		
43 100-floodplain woodland retained		0.00		
44 On-site woodland conservation provided		0.00		
45 On-site woodland conservation alternatives provided		0.00		
46 On-site woodland retained not credited		0.00		
47 Prepared by: Michael A. Petrakis	Signed	Date	March 25, 2025	

NOTE:
1. Per TCP1-020-01 "no clearing required, no mitigation" for proposed Lot 15.

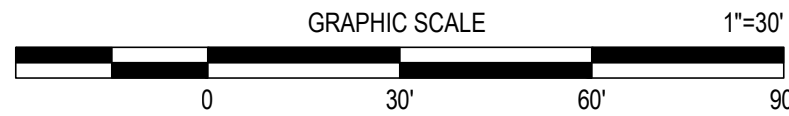
GENERAL INFORMATION TABLE		
LAYER CATEGORY	LAYER NAME	VALUE
Zone	Zoning (Zone)	I-1 (Prior)
Zone	Aviation Policy Area (APA)	IE (Current)
Administrative	Tax Grid (TWG)	81-C1
Administrative	WSSC Grid (Sheet 20)	203SE06
Administrative	Planning Area (Plan Area)	75B
Administrative	Election District (ED)	4
Administrative	Councilmanic District (CD)	7
Administrative	General Plan 2002 Tier (Tier)	Developed
Administrative	General Plan Growth Policy (2035)	Established
Administrative	Police District	VIII

Site Statistics Table	
Site Statistics	Total ¹
Gross Tract Area	1.74 ac.
Existing 100-Year Floodplain	0.00 ac.
Net Tract Area	1.74 ac.
Existing Woodland in the Floodplain	0.00 ac.
Existing Woodland Net Tract	0.00 ac.
Existing Woodland Total	0.00 ac.
Existing PMA	0.00 sf.
Regulated Streams (linear feet of centerline)	0.00 lf.
Riparian (wooded) Buffer up to 300 feet wide ²	0.00 lf.

¹Figure are to be provided in acres rounded to the nearest 1/100th of an acre unless otherwise indicated.
²Acres of onsite woodland up to 300 feet measured from the stream centerline or from the top of bank on both side of all regulated streams

Prince George's County Planning Department, M-NCPPC Environmental Planning Section TREE CONSERVATION PLAN APPROVAL TCP2-065-04-(01)			
Approved by	Date	DRD #	Reason for Revision
00 K. Shovors	2-6-08	DSP-03085	Original Approval
01		DSP-25007	Development of Site
02			
03			
04			
05			
06			

DSP-25007
TREE CONSERVATION PLAN -TYPE 2
LOT 15, BLOCK B
WALKER MILL BUSINESS PARK
LOCATED IN CAPITAL HEIGHTS
SEAT PLEASANT DISTRICT No. 18
PRINCE GEORGE'S COUNTY, MARYLAND

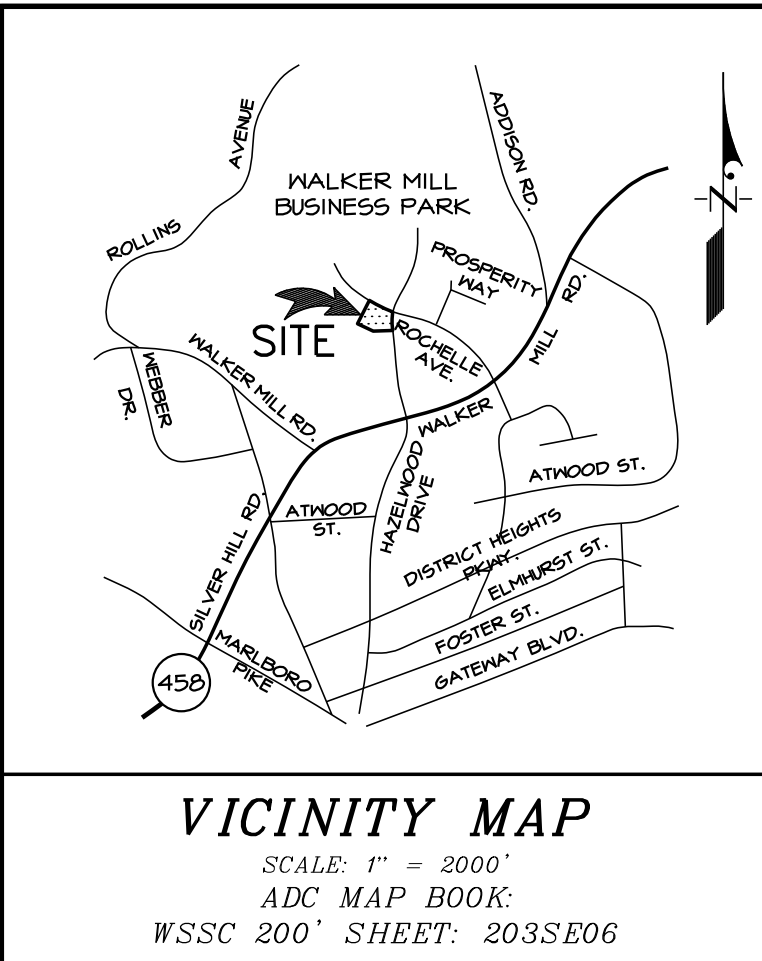


Property Owners Awareness Certificate	
I/We _____ hereby acknowledge that we are aware of this Type 2 Tree Conservation Plan (TCP2) and that we understand the requirements as set forth in this TCP2.	
Owner _____	Date _____
I/We _____ hereby acknowledge that we are aware of this Type 2 Tree Conservation Plan (TCP2) and that we understand the requirements as set forth in this TCP2.	
Contract Purchaser _____	Date _____

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DEED: LIBER 49195 FOLIO 384
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AREA: 75,785 SF. OR 1.7399 AC.
TAX ID #: 18-3428406

March 25, 2025 DATE cMAP					
Mike Petrakis Qualified Professional COMAR 08.19.06.01					
DATE	DESCRIPTION	BY	SCALE	RECORD NO.	J-A72058
	REVISIONS		1"=30'		
DATE	FEBRUARY 2025				

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VICINITY MAP
SCALE: 1" = 2000'
ADC MAP BOOK:
WSSC 200' SHEET: 203SE06

LEGEND

PROPERTY BOUNDARY _____

EX. CONTOUR (2') _____

EX. CONTOUR (10') _____

PROP. CONTOUR (2') _____

PROP. CONTOUR (10') _____

LIMIT OF DISTURBANCE **LOD** _____

EX. TREELINE _____

EX. EASEMENT _____

- GENERAL NOTES**
- This plan is submitted to fulfill the woodland conservation requirements for DSP-25007. If DSP-25007 expires, then this TCP2 also expires and is no longer valid.
 - Cutting or clearing of woodland not in conformance with this plan or without the expressed written consent of the Planning Director or designee shall be subject to a \$9.00 per square foot mitigation fee.
 - A pre-construction meeting is required prior to the issuance of grading permits. The Department of Permits, Inspection and Enforcement, shall be contracted prior to the start of any work on the site to conduct a pre-construction meeting where implementation of woodland conservation measures shown on this plan will be discussed in detail.
 - The developer or builder of the lots or parcels shown on this plan shall notify future buyers of any woodland conservation areas through the provision of a copy of this plan at time of contract signing. Future property owners are also subject to this requirement.
 - The owners of the property subject to this tree conservation plan are solely responsible for conformance to the requirements contained herein.
 - The property is within Environmental Strategy Area, ESA-1 and is zoned IE.
 - The site is not adjacent to a roadway designated as scenic, historic, a parkway or a scenic byway.
 - The site is not adjacent to a roadway classified as arterial or greater.
 - This plan is grandfathered under CB-27-2010, Section 25-177(g).



Countywide Planning Division
Historic Preservation Section

301-952-3680

April 10, 2025

MEMORANDUM

TO: David Myerholtz, Urban Design Section, Development Review Division

VIA: Thomas Gross, Planning Supervisor, Historic Preservation Section, Countywide Planning Division **twg**

FROM: Jennifer Stabler, Historic Preservation Section, Countywide Planning Division **JAS**
Tyler Smith, Historic Preservation Section, Countywide Planning Division **TAS**
Amelia Chisholm, Historic Preservation Section, Countywide Planning Division **Age**

SUBJECT: DSP-25007 Walker Mill Business Park Lot 15 Block B

The subject property comprises 1.74 acres and is located in the southwest quadrant of the intersection of Rochell Avenue and Hazelwood Drive in Capitol Heights. The subject property was zoned Light Industrial (I-1), per the prior Zoning Ordinance, and is in the 2010 *Approved Subregion 4 Master Plan* area. The subject application proposes the re-approval of an expired Detailed Site Plan for a contractor's service building with outdoor storage and an operator yard.

The 2010 *Approved Subregion 4 Master Plan* contains goals and policies related to historic preservation (pages 291-296); however, these are not specific to the subject site or relevant to this application. A search of current and historic photographs, topographic and historic maps, and locations of currently known archeological sites indicates the probability of archeological sites within the subject property is low. The subject property does not contain and is not adjacent to any designated Prince George's County Historic Sites or resources.

Historic Preservation staff recommends approval of DSP-25007, Walker Mill Business Park Lot 15 Block B, with no conditions.



April 14, 2025

MAJOR ISSUES MEMORANDUM

TO: David Myerholtz, Planner III, Urban Design Section, Development Review Division

VIA: N. Andrew Bishop, Planner IV, Long-Range Planning Section, Community Planning Division *SB for NAB*

VIA: Sarah Benton, AICP, Planning Supervisor, Long-Range Planning Section, Community Planning Division *SB*

FROM: Bill Skibinski, Planner III, Long-Range Planning Section, Community Planning Division *WRS*

SUBJECT: DSP-25007 Walker Mill Business Park Lot 15 Block B

Zoning Ordinance: Prior

Location: Located in the southwest quadrant of Rochell Avenue and Hazelwood Drive.

Size: 1.74 acres

Existing Use: Vacant

Future Land Use: Industrial

Proposal: Contractor services with outdoor storage/operation yard.

Zoning: Industrial, Employment (IE) Zone

Prior Zoning: Light Industrial (I-1) Zone

Major Issues

The Community Planning Division has identified **no major issues** with this application.

The 2010 *Approved Subregion 4 Master Plan* recommends **Industrial** land use on the subject property. The proposed use of the site as a contractor services and outdoor storage yard conforms with the recommended land use.

This property is within **Living Area D** (page 90). The 2010 Approved Subregion 4 Master Plan recommends the following policies and strategies to help advance the intent and purpose of the plan.

Chapter 4 - The Land Use Plan: Policies and Strategies

Policy 3

“Heighten the image and attraction of the industrialized areas of Subregion 4 to attract a higher quality of light industrial, research and development, and business park uses, offering expanded employment opportunities for residents of Prince George’s County and the region.” (page 60)

Analysis: *The proposed project will redevelop an underutilized (vacant) property within the Walker Mill Business Park and offer local employment opportunities.*

Chapter 5: Living Areas and Industrial Centers

Policy 1

Develop bicycle-friendly roadways to improve connectivity.

Strategies: Short-Term

- “Addison Road: Implement bike lanes from Walker Mill to Central Avenue.” (page 102)

Strategies: Long-Term

- “Rochelle Avenue: Install bike lanes from Walker Mill Road to dead-end past Hazelwood Drive.
- Hazelwood Avenue: Install bike lanes from Walker Mill Road back to Addison Road, including extension to connect to Addison Road.” (page 102)

Analysis: *The subject site is internal to the Walker Mill Business Park and is not directly along Walker Mill Road or Addison Road.*

Policy 2

Improve pedestrian connectivity by installing sidewalks.

Strategies: Short-Term

- “Walker Mill Road at Addison Road: Install pedestrian amenities including crosswalks, countdown signal, and ADA-compliant ramps at the intersection.” (page 103)

Strategies: Mid-Term

- “Install sidewalks on Walker Mill Road at intersection with Addison Road.” (page 103)

Analysis: *The sidewalk along Rochelle Avenue ends at the subject property’s northwest corner. The site plan indicates that a five-foot concrete sidewalk will be installed along the property fronting Rochelle Avenue and Hazelwood Drive.*

Proposed Industrial Use Development Pattern

Policy 5

“Reassign industrial parcels adjacent to residential areas if industrial is impactful, blighted, or underutilized. Sites where policy should be enacted:

- Walker Mill Business Park (Zone 2).” (page 124)

Analysis: *The application conforms with this recommendation and is located within the Walker Mill Business Park. The site does not abut any residential areas and is bordered by industrially*

zoned industrial and vacant land uses to the west, north, and south. A church is adjacent to the east, on the other side of Hazelwood Drive.

Policy 6

“Mitigate the impacts on residential areas of heavy truck traffic from offending industrial uses. Sites where policy should be enacted:

- Walker Mill Business Park and Forestville-Ritchie Road area (Zone 3).” (page 124)

Analysis: *The proposed contractor services facility will not alter the peak-hour vehicle trips approved under DSP-03085-01. The applicant has committed to installing a six-foot-high fence and additional landscaping along the property’s right-of-way to ensure aesthetically pleasing screening is provided.*

Chapter 8: Transportation Systems

Policy 4

- “Facilitate the safe and orderly movement of traffic.” (page 238)

Analysis: *The application proposes improving the property by including sidewalks along Hazelwood Drive and Rochell Avenue. Staff recommend that crosswalks be added to the site plan where the sidewalk crosses the drive aisles. This will allow safe and orderly movement of pedestrian traffic onsite and will be further evaluated by the Transportation Planning Section during the review of this DSP.*

Policy 5

- “Ensure transportation facilities meet requirements before approving new developments in established neighborhoods and designated centers, as per County Code procedures.” (page 239)

Analysis: *The site plan proposes a contractor’s office and outdoor storage yard that is accessed from Rochell Avenue and Hazelwood Drive. The drive aisles to the site propose two-way traffic with parking for the facility on the periphery of the site. The onsite circulation related to the safe and orderly movement of traffic will be further evaluated by the Transportation Planning Section during this Detailed Site Plan (DSP) review process.*



May 2, 2025

MEMORANDUM

TO: David Myerholtz, Development Review Division

FROM: *Chidera Udeh* Chidera Udeh, Transportation Planning Section, Countywide Planning Division

VIA: *NS* Noelle Smith, AICP, Transportation Planning Section, Countywide Planning Division
Crystal Hancock, Transportation Planning Section, Countywide Planning Division

SUBJECT: **DSP-25007 Walker Mill Business Park, Lot 15 Block B**

Prior Conditions of Approval

This site is subject to the previously approved Preliminary Plan of Subdivision (PPS) 4-01056 and Detailed Site Plan (DSP)-03085 and the revision, DSP-03085-01. The relevant conditions of approval have been provided below.

4-01056

1. Total development within proposed Lots 15, 16, 17, and 18 of Walker Mill Business Park shall be limited to permitted uses which generate no more than 183 AM and 183 PM peak-hour vehicle trips. Any development generating impact greater than that identified herein shall require a new Preliminary Plan of Subdivision with a new determination of the adequacy of transportation facilities.

Comment: The proposed development does not exceed the established trip cap.

Master Plan Compliance

The site is subject to the 2009 *Countywide Master Plan of Transportation* (MPOT) and the 2010 *Approved Subregion 4 Master Plan and Sectional Map Amendment*. The property fronts Rochelle Avenue and is not impacted by master planned roadways.

Master Plan Right of Way

There are no master planned roadways that impact the subject site.

Master Plan Pedestrian and Bike Facilities

The MPOT recommends the following facilities:

Rochelle Avenue: Planned bicycle lane

Comment: The implementation of bicycle lanes is beyond the scope of the DSP.

Recommendations, Policies, and Goals

MPOT Complete Streets Policies (p. 10):

Policy 2: All road frontage improvements and road capital improvement projects, within the Developed and Developing Tiers, shall be designed to accommodate all modes of transportation. Continuous sidewalks and on-road bicycle facilities should be included to the extent feasible and practical.

Comment: The site plan includes a five-foot-wide Americans with Disability Act (ADA) compliant sidewalk and crosswalks crossing the vehicle access points along the frontage to meet the intent of the policy.

2010 *Approved Subregion 4 Master Plan and Sectional Map Amendment* provides guidance for multi-modal circulation through the planning area (p.16):

Improve walkability and pedestrian facilities, including sidewalks, crosswalks, pedestrian lighting, and special pavement

Comment: The site plan includes a five-foot wide ADA compliant sidewalk and crosswalks at each vehicle access point to meet the intent of the policy.

Transportation Planning Review

Zoning Ordinance Compliance

Section 27-283 of the Prince George's County Zoning Ordinance (Ordinance) provides guidance for DSP review. The section references the following design guidelines described in Section 27-274(a):

(2) Parking, loading, and circulation

- A) Surface parking lots should be located and designed to provide safe and efficient vehicular and pedestrian circulation within the site, while minimizing the visual impact of cars. Parking spaces should be located to provide convenient access to major destination points on the site.**

Comment: Access to the subject site will be provided by two driveways, one along Rochelle Avenue and another along Hazelwood Drive. The development requires 36 parking spaces, of which 38 are provided to include 36 standard and 2 ADA accessible parking spaces. The proposed parking meets the requirements and allows for adequate circulation through the site.

- B) Loading areas should be visually unobtrusive and located to minimize conflicts with vehicles or pedestrians.**

Comment: The proposed development includes two loading spaces and does not feature any loading docks. The loading area is clearly marked and located to minimize conflict with vehicles and pedestrians. The loading circulation exhibit demonstrates that the movements will be accommodated through the site.

C) Vehicular and pedestrian circulation on a site should be safe, efficient, and convenient for both pedestrians and drivers.

Comment: The site has a five-foot-wide ADA-compliant sidewalk along the frontage of site and crosswalks along vehicle access points. The site plan also includes directional arrows for efficient vehicular circulation. Access to the site will be controlled by swing gates. Staff find circulation to be sufficient.

Conclusion

Based on the findings presented above, staff conclude that the vehicular, pedestrian, and bicycle access and circulation for this plan are acceptable, consistent with the site design guidelines pursuant to Section 27, and meet the findings for pedestrian and bicycle transportation purposes. There are no conditions of approval recommended at this time.



May 1, 2025

MEMORANDUM

TO: David Myerholtz, Planner III, Urban Design Section

FROM: Mara Greenwell, Planning Technician III, Permit Review Section *MEG*

SUBJECT: DSP-25007 Walker Mill Business Park Lot 15 Block B

1. The Permit Review Section offers no comments at this time for the contractor services with outdoor storage / operation yard.

May 2, 2025

MEMORANDUM

TO: David Myerholtz, Planner III, Urban Design Section, DRD

VIA: Tom Burke, Supervisor, Environmental Planning Section, CWPD *TB*

FROM: Alexander Kirchhof, Planner II, Environmental Planning Section, CWPD *ANK*

SUBJECT: Walker Mill Business Park Lot 15 Block B; **DSP-25007 and TCP2-014-2025**

The Environmental Planning Section has reviewed detailed site plan DSP-25007 and Type 2 Tree Conservation Plan TCP2-014-2025, accepted for review on March 31, 2025. Comments were delivered to the applicant in the Subdivision and Development Review Committee meeting on April 11, 2025. Revised material was received on April 24, 2025. The Environmental Planning Section recommends approval of DSP-25007 and TCP2-014-2025 subject to the conditions found at the end of this memorandum.

BACKGROUND

The Environmental Planning Section previously reviewed the following applications and associated plans for the subject site:

Development Review Case #	Associated Tree Conservation Plan	Authority	Status	Action Date	Resolution Number
4-01056	TCPI-020-01	Planning Board	Approved	9/27/2001	01-198
DSP-03085	TCPII-065-04	Planning Board	Approved	6/13/2005	04-200
DSP-03085-01	TCPII-065-04	Planning Board	Approved	12/2/2010	10-123
DSP-25007	TCP2-014-2025	Planning Board	Pending	Pending	Pending

PROPOSED ACTIVITY

The subject application is for a DSP for minor changes to the previously approved DSP-03085-01, including revisions to parking, loading areas, and landscape design.

APPLICABLE ENVIRONMENTAL REGULATIONS

This property is subject to the grandfathering provisions of the 2024 Woodland Conservation Ordinance because the property has a valid Type I tree conservation plan that was implemented prior to June 30, 2024. The property must conform to the environmental regulations of the 1990 Woodland Conservation Ordinance and the 2018 Environmental Technical Manual. The property is also subject to the environmental regulations in prior Subtitles 24 and 27 because there is a previously approved preliminary plan of subdivision (4-01056).

SITE DESCRIPTION

This 1.73-acre site is located west of the intersection of Rochelle Avenue and Hazelwood Drive. The current zoning for the site is Industrial, Employment (IE); however, the applicant has opted to apply the zoning standards to this application that were in effect prior to April 1, 2022, for the Light Industrial (I-1) Zone. A review of the available information indicates that no regulated environmental features (REF) are located on-site. According to the Sensitive Species Project Review Area map received from the Maryland Department of Natural Resources Natural Heritage Program there are no Rare, Threatened, or Endangered species found to occur on or near this property. There is no Potential Forest Interior Dwelling Species (FIDS) habitat mapped on-site. The site does not have frontage on any master planned roadways, which are designated as historic or scenic roadways, nor is the site adjacent to any master planned roadways classified as arterial or greater. The site is located within the *Approved Subregion 4 Master Plan and Sectional Map Amendment* (2010) and *Addison Road Metro Boundary* (2000). The site is located within the Environmental Strategy Area 1 (formerly the Developed Tier) of the Regulated Environmental Protection Areas Map, and in the Established Communities of the General Plan Growth Policy map as designated by *Plan Prince George's 2035 Approved General Plan* (Plan 2035). According to the 2017 *Countywide Green Infrastructure Plan* (GI Plan), of the *Approved Prince George's Resource Conservation Plan* the site does not contain Regulated or Evaluation Areas.

PRIOR APPROVALS

Preliminary Plan of Subdivision 4-01056 (PGCPB No. 01-198)

Prince George's County Planning Board Resolution No. 01-198 for preliminary plan of subdivision 4-01056 and Type I Tree Conservation Plan (TCPI-020-01) was adopted by the Planning Board on September 27, 2001. The conditions of approval that were environmental in nature were either addressed prior to certification of the TCP1 or were addressed prior to the final plat and permit review.

Detailed Site Plan DSP-03085 (PGCPB No. 04-200) and DSP-03085-01 (PGCPB No. 10-123)

Prince George's County Planning Board Resolution No. 04-200 for detailed site plan DSP-03085 and Type II Tree Conservation Plan TCPII-065-04 was adopted by the Planning Board on June 13, 2005, and Prince George's County Planning Board Resolution No. 10-123 for detailed site plan DSP-03085-01; and Type II Tree Conservation Plan TCPII-065-04 was adopted by the Planning Board on December 2, 2010. The conditions of approval that were environmental in nature were addressed prior to certification of the TCP2 and are not relevant to this application as this DSP has since expired.

ENVIRONMENTAL REVIEW

Natural Resource Inventory/ Environmental Features

The application has an approved Natural Resource Inventory Equivalency Letter (NRI-092-2024). The TCP2 and the DSP show all the required information correctly in conformance with the NRI. No specimen trees or regulated environmental features are located on-site. No unsafe soils containing Marlboro or Christiana clays are located on-site.

Woodland Conservation

This property is subject to the grandfathering provisions of the 2024 Woodland Conservation Ordinance because the property had a TCP that was implemented before June 30, 2024, and shall conform to the environmental regulations of the 1990 Prince George's County Woodland and Wildlife Habitat Conservation Ordinance (1990 WCO). A Type 2 Tree Conservation Plan (TCP2-032-2021) was submitted with the current application.

This site is subject to TCPI-020-01 which was for a greater assemblage of lots. The TCPI shows that no clearing is required on the proposed Lot 15 and thus no mitigation is required. This TCPI is considered valid as both Lots 17 and 18 have proceeded through development applications. As TCPI-020-01 is still valid, no mitigation is required on Lot 15. Based on the submitted TCP2, the overall site contains no net tract woodlands and no wooded floodplain. The plan proposes no clearing of woodlands. Technical revisions are required on the TCP2 and are included in the conditions listed at the end of the memorandum.

Stormwater Management

The applicant has submitted an approved Stormwater Management (SWM) Concept Plan (5930-2004-02) which was approved by the Prince George's County Department of Permitting, Inspections and Enforcement (DPIE) on September 26, 2018; and approved SWM Concept Letter (5930-2004-03) approved October 7, 2004, and valid until September 26, 2027. This plan proposes one type of best management practice, a micro-bioretenention ponds, which in association with underground storage will treat stormwater before connecting to public stormdrain.

Soils

The predominant soils found to occur on-site, according to the United States Department of Agriculture (USDA) Natural Resource Conservation Service (NRCS) Web Soil Survey (WSS), include the Udorthents-Urban land complex. No unsafe soils containing Marlboro or Christiana clays are located on-site. This information is provided for the applicant's benefit, and no further information is needed regarding soils at this time.

Summary of Recommended Findings and Conditions

The Environmental Planning Section recommends approval of DSP-25007 and TCP2-014-2025 subject to the following recommended findings and conditions.

Recommended Findings:

1. No Regulated Environmental Features (REF) are located on the subject property.
2. No specimen trees are located on the subject property.

Recommended Conditions:

The Environmental Planning Section recommends approval of Detailed Site Plan, DSP-25007 and TCP2-014-2025, subject to the following conditions:

1. Prior to certification of the detailed site plan, the Type 2 tree conservation plan shall be revised as follows, in accordance with the Environmental Technical Manual:

- a. The general note for the utilization of off-site woodland conservation credit shall be revised to be reflective of standard as shown in the Environmental Technical Manual (2018).
- b. The property owner's awareness block shall be signed and dated.
- c. Revise general note 10 to read as follows:

"In conformance with the grandfathering provisions of the 2024 Woodland and Wildlife Habitat Conservation Ordinance (section 25-199(g)), and preliminary plan of subdivision 4-01056 with companion TCPI-020-01, the geographic area of Lot 15, Block B, requires no mitigation as the requirement is designated on other parts of the subdivision, specifically on Lots 15, 16, and 17, Block B."

2. Prior to certification of the detailed site plan the applicant shall submit the approval for the revised stormwater management concept plan for the record.



THE PRINCE GEORGE'S COUNTY GOVERNMENT

Fire/EMS Department Headquarters

Office of the Fire Marshal

March 31, 2025

David Myerholtz, Planner III
Urban Design Section
The Maryland-National Capital Park and Planning Commission
Development Review Division
1616 McCormick Drive
Largo, Maryland 20774

Dear Mr. Myerholtz:

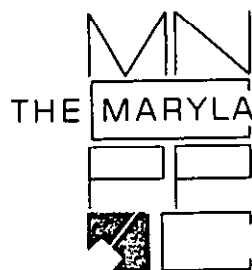
The Office of the Fire Marshal of the Prince George's County Fire/EMS Department has reviewed the referral for DSP-25007 Walker Mill Business Park Lot 15 Block B. We have no formal comments indicating non-compliances but we do have the following note or recommendation. These are our 1st comments:

- 1) We recommend that applicant mark or delineate the boundaries of the 'outdoor storage area' with paint or some other suitable method to prevent the storage from encroaching in the required 22' fire access aisles in front of each building.

Sincerely,

A handwritten signature in black ink, appearing to be "JMR", written over a horizontal line.

James V. Reilly
Project Coordinator III



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

14741 Governor Oden Bowie Drive
Upper Marlboro, Maryland 20772
TTY: (310) 952-3796

PGCPB No. 01-198

File No. 4-01056

RESOLUTION

WHEREAS, Woodward Industrial Park Joint Venture is the owner of a 15.99-acre parcel of land known as Walker Mill Business Park, Lot 14, Block B, NLP 156@36 said property being in the 18th Election District of Prince George's County, Maryland, and being zoned I-I; and

WHEREAS, on July 2, 2001, Woodward Independent Park Joint Venture filed an application for approval of a Preliminary Subdivision Plat (Staff Exhibit #1) for 4 lots; and

WHEREAS, the application for approval of the aforesaid Preliminary Subdivision Plat, also known as Preliminary Plat 4-01056 for Walker Mill Business was presented to the Prince George's County Planning Board of The Maryland-National Capital Park and Planning Commission by the staff of the Commission on September 27, 2001, for its review and action in accordance with Article 28, Section 7-116, Annotated Code of Maryland and the Regulations for the Subdivision of Land, Subtitle 24, Prince George's County Code; and

WHEREAS, the staff of The Maryland-National Capital Park and Planning Commission recommended APPROVAL of the application with conditions; and

WHEREAS, on September 27, 2001, the Prince George's County Planning Board heard testimony and received evidence submitted for the record on the aforesaid application.

NOW, THEREFORE, BE IT RESOLVED, that pursuant to the provisions of Subtitle 24, Prince George's County Code, the Prince George's County Planning Board APPROVED the Type I Tree Conservation Plan (TCPI/20/01), and further APPROVED Preliminary Plat of Subdivision 4-01056, Walker Mill Business Park for Lots 15-18, Block B with the following conditions:

1. Total development within proposed Lots 15, 16, 17, and 18 of Walker Mill Business Park shall be limited to permitted uses which generate no more than 183 AM and 183 PM peak-hour vehicle trips. Any development generating impact greater than that identified herein shall require a new Preliminary Plan of Subdivision with a new determination of the adequacy of transportation facilities.
2. In accordance with PGCPB Resolution No. 89-345, Condition 1, File 4-89052, the road improvements identified in Condition 1a, 1b, 1c, and 1d shall be provided prior to the issuance of any building permits.
3. Detailed site plan review shall be required prior to the issuance of building permits pursuant to CR-147-1985. The following shall be included in the review or the specified information shall be supplied:

PGCPB No. 01-198
File No. 4-01056
Page 2

- a. The Planning Board shall review the development to assure its compliance with the following design guidelines:
 - (1) An effective visual buffer created by substantial berms and landscaping shall be provided along Walker Mill Road, Rollins Avenue, and Addison Road and along abutting areas which are planned or developed for residential purposes in order to maintain the residential character of surrounding properties.
 - (2) The internal organization of the site shall address the following:
 - A. Provide a continuous six-foot high sight-tight wood fence with swinging or sliding gates along property lines which have frontage on any vehicular right-of-way within the subdivision. Metal security fencing, including chain link, may be located behind and adjacent to the required wood fence if it is not visible from the street.
 - B. Provide 12 feet of commercial/industrial landscaped strip along property lines which have frontage on any vehicular right-of-way. Plant materials provided within the landscaped strip shall be ever-green trees planted 10 feet on center, or other acceptable planting arrangement utilizing the same quantity of trees which is approved by the Planning Board or the Urban Design staff as designee of the Planning Board. White pine trees shall constitute no more than 20 percent of the trees in this landscaped strip.
 - C. Provide cross-sections through the subject site to demonstrate that any area of outdoor storage visible from any adjacent right-of-way shall have the solid wood fence specified in condition 1.a.
4. Prior to the approval of the final plat of subdivision, the applicant, his assessors and/or assigns shall submit soil borings to the Environmental Planning Section and the county Health Department. If it is determined that Class III fill exists, on-site remedial activity will be required prior to the approval of the final plat of subdivision.
5. Prior to issuance of any permit a Type II TCP shall be submitted that is in conformance with the Type I TCP and designates the location of the 2.83 acres of off-site mitigation. Priority shall be given to the location of the off-site mitigation within the Anacostia watershed.
6. Prior to signature approval of the preliminary plan, a copy of the approved Stormwater Management Concept Approval Letter shall be submitted.

PGCPB No. 01-198
File No. 4-01056
Page 3

7. Development of this subdivision shall be in accordance with the approved Stormwater Management Concept Plan, #13784-2001-00.
8. Prior to signature approval the preliminary plat shall be revised:
 - a. To provide the stormwater management concept approval date.
 - b. To note denied access to Walker Mill Road from Lot 17.
9. The final plat of subdivision shall limit access along Walker Mill Road to Lot 18, to the access location demonstrated on the detailed site plan for that lot. Denial of access shall be solely controlled by the detailed site plan and should be located as close to the northwest property line as feasible.
10. The final plat of subdivision shall deny access along Walker Mill Road to Lot 17.

BE IT FURTHER RESOLVED, that the findings and reasons for the decision of the Prince George's County Planning Board are as follows:

1. The subdivision, as modified, meets the legal requirements of Subtitles 24 and 27 of the Prince George's County Code and of Article 28, Annotated Code of Maryland.
2. The property is located on the west side of Hazelwood Drive within the northwest quadrant of Walker Mill Road and Hazelwood Drive.
4. Environmental—The Environmental Planning Section has reviewed the above-referenced Preliminary Plan of Subdivision for Walker Mill Business Park, 4-01056. The plan as submitted addresses all applicable environmental requirements subject to the recommended conditions.

The subject property was originally reviewed by the Environmental Planning Section in 1997 as a Zoning Map Amendment (A-9770). The Preliminary Plan as submitted proposes the subdivision of one existing lot, totaling 15.99 acres in the I-1 Zone, into four individual lots.

The subject property is located on the west side of Hazelwood Drive within the northwest quadrant of Walker Mill Road and Hazelwood Drive. This site is an abandoned sand and gravel mine. The site is relatively flat, partially wooded to the extreme southwest, characterized with terrain sloping toward the north and west, and drains into unnamed tributaries of the Beaverdam Creek watershed. The predominant soil types on the site are Beltsville, Sassafras, sandy loam, and a gravel and borrow pits, an unknown infill type. These soil series generally exhibit slight to moderate limitations to develop-

PGCPB No. 01-198
 File No. 4-01056
 Page 4

ment due to steep slopes, seasonally high water table, high erosion potential and impeded drainage.

According to the Sewer Service and Water Service maps produced by DER, the property is in categories S-3 and W-3. There are no floodplains, streams, Waters of the U.S., wetlands, or noise issues associated with the site. There are no Marlboro clays or scenic or historic roads located on or adjacent to the subject property.

This property is subject to the provisions of the Woodland Conservation Ordinance because it is more than 40,000 square feet in size and contains more than 10,000 feet of woodland. A Forest Stand Delineation was reviewed in conjunction with the site, and was found to be adequate and meet the minimum requirements for acceptance

The Type I Tree Conservation Plan, TCPI/19/01, was reviewed and found unacceptable. The woodland conservation threshold for the site is 2.40 acres of the net tract. Additionally, 1.69 acres are required due to the removal of woodlands, for a total minimum woodland requirement of 4.09 acres. The plan shows the requirement being met with 0.73 acre of on-site preservation, 0.53 acre of reforestation, and 2.83 acres of off-site mitigation. A revised Tree Conservation Plan will be required to satisfy off-site credits in compliance with the requirements of the Woodland Conservation Ordinance. A Type II Tree Conservation Plan will be required to satisfy off-site woodland credits in compliance with the requirements of the Woodland Conservation Ordinance.

There are no other apparent environmental impacts associated with the proposal.

5. Community Planning —The subject property is located within the limits of the 1986 *Suitland-District Heights Sectional Amendment*, Planning Area 75B in the Capitol Heights Community. The proposed development is in conformance with the recommended land use of the approved master plan for employment, light industrial. Development of this property will be subject to review by the Planning Board pursuant to CR-147-1985, which approved the Suitland-District Heights Master Plan.

The 1985 *Approved Master Plan for Suitland-District Heights and Vicinity* shows this tract of land as part of an extensive employment area extending from Rollins Avenue to Walker Mill Road, in the Town of Capitol Heights. In approving the master plan (CR-147-1985), the District Council included a number of recommendations that specifically relate to the Walker Mill Business Park property:

- a. All projects within this property shall be subject to site plan review by the Prince George's County Planning Board. The site plan shall contain a landscaping plan.
- b. The Planning Board shall review the development to assure its compliance with the following design guidelines:

PGCPB No. 01-198
File No. 4-01056
Page 5

- (1) An effective visual buffer created by substantial berms and landscaping shall be provided along Walker Mill Road, Rollins Avenue, and Addison Road, and along abutting areas which are planned or developed for residential purposes in order to maintain the residential character of surrounding properties.
- (2) The internal organization of the site shall address the following:
 - (a) Minimizing the views of parking, loading, storage and service areas.
 - (b) Providing architectural elevations consistent in materials and treatment on all sides, and with all mechanical equipment enclosed or screened. Screening and enclosures shall be treated as integral elements of building design.
 - (c) Signs shall not be placed above the roof or parapet line. No moving or flashing signs, or signs projecting significantly from a building, shall be permitted. Low ground-mounted and landscaped signs in keeping with the scale of the buildings and the site shall be encouraged in lieu of building-mounted signs.

The plan identifies Walker Mill Road as a proposed arterial highway northeast of its intersection with Silver Hill Road. In approving the master plan, the District Council determined that trucks with weight limits that would require three or more axles should be restricted from using Walker Mill Road for through trips from Ritchie Road to Addison Road. The plan states that Central Avenue and Pennsylvania Avenue provide an adequate alternative for through trips. This would apply to all traffic generated by the proposed industrial park using Walker Mill Road for ingress and egress. However, direct vehicular access from Lot 18 onto Walker Mill Road would not interfere with the intent of the master plan and would not be considered through traffic.

Through the review of several detailed site plans for development within the Walker Mill Business Park, the Planning Board determined a need for a comprehensive design approach at the business park given the concerns stated by the community. Additional standards were set forth by the Planning Board. These standards will require uniform treatment of all lot frontages and the provision of an upscale business park appearance for the entire business park. The additional requirements within the Walker Mill Business Park are as follows:

- a. "Provide a continuous six-foot high sight-tight wood fence with swinging or sliding gates along property lines which have frontage on any vehicular right-of-way within the subdivision. Metal security fencing, including chain link, may be

PGCPB No. 01-198
 File No. 4-01056
 Page 6

located behind and adjacent to the required wood fence if it is not visible from the street.”

- b. “Provide 12 feet of commercial/industrial landscaped strip along property lines which have frontage on any vehicular right-of-way. Plant materials provided within the landscaped strip shall be evergreen trees planted 10 feet on center, or other acceptable planting arrangement utilizing the same quantity of trees which is approved by the Planning Board or the Urban Design staff as designee of the Planning Board. White pine trees shall constitute no more than 20 percent of the trees in this landscaped strip.”
 - c. “Provide cross-sections through the subject site to demonstrate that any area of outdoor storage visible from any adjacent right-of-way shall have the solid wood fence specified in condition 1.a.”
6. Parks and Recreation—In accordance with Section 24-134(a) of the Subdivision Regulations, the proposed subdivision is exempt from the Mandatory Dedication requirements because the property is nonresidentially zoned.
 7. Trails—There are no master plan trail issues associated with this application.
 8. Transportation—The Transportation Planning Section has reviewed the subdivision application for the subdivision of existing Lot 14 Block B of Walker Mill Business Park, which is approximately 15.99 acres of land in the I-1 Zone. The property is located at the northwest corner of Walker Mill Road and Hazelwood Drive. The subdivision has been filed in order to split Lot 14 into four lots. The property was originally subdivided in 1989. No additional development beyond what was proposed in 1997 is proposed by the subject application.

Because no additional development is proposed, no new traffic study was requested of the applicant nor was one received. The findings and recommendations outlined below are based upon a review of relevant materials and analyses conducted by the staff of the Transportation Planning Section, consistent with the *Guidelines for the Analysis of the Traffic Impact of Development Proposals*.

Summary of Traffic Impacts

The application is a proposal to resubdivide an existing recorded lot of Walker Mill Business Park, which is zoned I-1, for the purpose of creating four separate lots. No additional development beyond what was proposed in 1989, under Preliminary Plan of Subdivision 4-89052, is proposed by the subject application.

Transportation staff notes that the development is subject to a cap of 580,873 square feet of light industrial uses, or other development which generates no more than 500 trips in

PGCPB No. 01-198

File No. 4-01056

Page 7

either the AM or the PM peak hours. It is important to note that the overall cap was applied to preliminary plan of subdivision 4-89052, which included the subject property (which was Parcels C and D on that preliminary plan) plus recorded lots 9 through 13 of Block B (total 15.60 acres) and Lot 1 of Block C (which was Parcel B on the preliminary plan, with 12.17 acres); Parcel A was conveyed to the county. Therefore the trip cap, which when converted to light industrial square footage translates to an estimated floor area ratio (FAR) of 0.30, represents the FAR which would be anticipated for this type of development. Because the subject site includes 15.99 acres of the 43.76 acres which has been platted, proportionally staff assigns the subject property (15.99/43.76) or 36.54 percent of the previously approved development cap. This would be 212,252 square feet of light industrial uses, or other development which generates no more than 183 AM or PM peak hour vehicle trips.

Because the existing parcel has been previously subdivided, the proposed subdivision would generate no net trips as a result of the resubdivision. There would be no resulting impact on traffic operations at the MD 4/MD 458, MD 458/Marlboro Pike, or the Walker Mill Road/Rochelle Avenue intersections, which were deemed to be the development's critical intersections in 1989 (and still are considered as such by staff today), as a result of the resubdivision.

The resolution approving Preliminary Plat of Subdivision 4-89052, PGCPB Resolution No. 89-345, contained several transportation-related conditions. It appears that most transportation improvements required have been constructed and are operational. However, staff must carry that condition forward, if only by reference, to ensure that all requirements set by the Planning Board are fully met. It appears that there is an operating vehicle storage yard on Lot 11, Block B; however, transportation staff could not locate an associated Detailed Site Plan for that lot, leading staff to speculate that the use may have existed prior to the 1989 subdivision and the related conditions have therefore never been fully checked under a permit submission.

The plan shows proposed Lot 18 being served by direct access to Walker Mill Road, which is a Master Plan arterial facility. The applicant has made a variation request for direct lot access to an arterial roadway, and due to the easement and the two stormwater facilities, it appears that access options to this proposed lot are indeed very limited. Provided that access occurs as near to the northern lot line as possible, the transportation staff supports the variation.

Adjacent Master Plan facilities have rights-of-way which were previously dedicated through prior plats. Therefore, no additional dedication is required by this plan.

The Transportation Planning Section concludes that adequate access roads will exist as required by Section 24-124 of the Subdivision Regulations if the application is approved with conditions as contained in the Recommendations section of this report.

PGCPB No. 01-198

File No. 4-01056

Page 8

9. Schools—The Growth Policy and Public Facilities Planning Section has reviewed the subdivision plans for adequacy of school facilities in accordance with Section 24-122.02 of the Subdivision Regulations and the *Regulations to Analyze the Development Impact on Public School Facilities* (revised January 2001) (CR-4-1998) and concludes that the subdivision is exempt from APF test for schools because it is a commercial use only.
10. Fire and Rescue—The Growth Policy and Public Facilities Planning Section has reviewed the subdivision plans for adequacy of fire and rescue facilities and concluded the following.
 - a. The existing fire engine service at District Heights Fire Station, Company 26, located at 6208 Marlboro Pike, has a service response time of 1.52 minutes, which is within the 3.25-minute response time guideline.
 - b. The existing ambulance service at District Heights Fire Station, Company 26, located at 6208 Marlboro Pike, has a service response time of 1.52 minutes, which is within the 4.25-minute response time guideline.
 - c. The existing paramedic service at Silver Hill Fire Station, Company 29, located at 3900 Silver Hill Road, has a service response time of 5.26 minutes, which is within the 7.25-minute response time guideline.
 - d. The existing ladder truck service at Hillside Fire Station, Company 6, located at 1234 Larchmont Avenue, has a service response time of 3.56 minutes, which is within the 4.25-minute response time guideline.

The proposed subdivision will be within the adequate coverage area of the nearest existing fire/rescue facilities for fire engine, ambulance, ladder truck and paramedic service.

The above findings are in conformance with the *Adopted and Approved Public Safety Master Plan 1990* and the *Guidelines for the Analysis of Development Impact on Fire and Rescue Facilities*.

11. Police Facilities—The proposed development is within the service area for District III-Landover police station. In accordance with Section 24-122.01(c) of the Subdivision Regulations, the existing county's police facilities will be adequate to serve the proposed Walker Mill Business Park development. This police facility will adequately serve the population generated by the proposed subdivision.
12. Health Department—The Health Department has concerns that the apparent fill on the subject property is Class III. However, the type of fill cannot be determined until soil borings are completed. If it is determined that Class III fill does exist on site, remedial activity would be required prior to approval of the final plat.

PGCPB No. 01-198

File No. 4-01056

Page 9

13. Stormwater Management—The Department of Environmental Resources (DER), Development Services Division, has determined that on-site stormwater management is not required. A Stormwater Management Concept Plan, #13784-2001-00, has been approved with conditions to ensure that development of this site does not result in on-site or downstream flooding. Development must be in accordance with this approved plan.
14. Variation—Section 24-121(a)(3) of the Subdivision Regulations establishes design guidelines for lots that front on arterial roadways. This section requires that these lots be developed to provide direct vehicular access to either a service road or an interior driveway when feasible. This design guideline encourages an applicant to develop alternatives to direct access onto an arterial roadway. The subject property has frontage on Walker Mill Road, Hazelwood Drive and Rochelle Avenue. Lots 17 and 18 both have frontage on Walker Mill Road, an arterial roadway. Lot 18 also has frontage on Hazelwood Drive. Lot 18 is recommended to be denied access onto Walker Mill Road. Lot 17 has its only frontage along Walker Mill Drive and the applicant has requested the approval of direct vehicular access to the same.

Section 24-113 of the Subdivision Regulations sets forth the required findings for approval of variation requests. Staff supports the variation to allow access to a proposed arterial in this specific case and makes the following findings:

- a. **That the granting of the variation will not be detrimental to the public safety, health or welfare, or injurious to other property.** One of the purposes of limiting access to an arterial is to enhance public safety, health and welfare. The existing industrial development in the Walker Mill Business Park will not be dramatically altered by the proposal; nor will it create a detriment to the public safety health or welfare, or be injurious to other property.
- b. **The conditions of which the variation is based are unique to the property for which the variation is sought and are not applicable generally to other properties.** Lot 18 is unique in that it is adjacent to a State Highway Administration stormwater management pond to the east, has an existing dry pond on the north property line and is adjacent to wetlands to the west. The existing dry pond has been approved by the Department of Environmental Resources to be used to support development. In order to alter the access to Lot 18 the redesign of the dry pond would be necessary and encroachment into the wetlands probable. This situation is not shared by Lots 15, 16, or 18, nor is it shared by any property abutting or adjacent to Lot 17.
- c. **The variation does not constitute a violation of any other applicable law, ordinance, or regulation.** This will not result in a violation of other applicable laws, ordinances or regulations.

PGCPB No. 01-198
File No. 4-01056
Page 10

- d. **Because of the particular physical surroundings, shape, or topographical conditions of the specific property involved, a particular hardship to the owner would result, as distinguished from a mere inconvenience, if the strict letter of these regulations is carried out.** Proposed Lot 18 is somewhat isolated and cut off from the remainder of the property. Because there exists a natural division from the other lots proposed in the subdivision. Proposed Lot 18 is 137 feet wide along the north property line and 325.52 feet wide along its frontage with Walker Mill Road. The State Highway Administration owns property, which contains a stormwater management pond, along the entire east property line of Lot 18. The dry pond for the site is located on the north property line, restricting the ability to provide alternative access for Lot 18 to Hazelwood Drive. If access is denied for Lot 18 to Walker Mill Road, that portion of the property will further be isolated. Further the developer would be forced to redesign or relocate the stormwater management facility that has gained conceptual approval from the Department of Environmental Resources. Staff believe that this could constitute a particular hardship upon the owner.

BE IT FURTHER RESOLVED, that an appeal of the Planning Board's action must be filed with Circuit Court for Prince George's County, Maryland within thirty (30) days following the adoption of this Resolution.

PGCPB No. 01-198
File No. 4-01056
Page 11

* * * * *

This is to certify that the foregoing is a true and correct copy of the action taken by the Prince George's County Planning Board of The Maryland-National Capital Park and Planning Commission on the motion of Commissioner Brown, seconded by Commissioner Lowe, with Commissioners Brown, Lowe, Scott, Eley and Hewlett voting in favor of the motion, at its regular meeting held on Thursday, September 27, 2001, in Upper Marlboro, Maryland.

Adopted by the Prince George's County Planning Board this 18th day of October 2001.

Trudye Morgan Johnson
Executive Director

Frances J. Guertin
By Frances J. Guertin
Planning Board Administrator

TMJ:FJG:WC:rmk

APPROVED AS TO LEGAL SUFFICIENCY.

[Signature]
M-NCPPC Legal Department

Date 10/9/01

Ruth Groves



THE PRINCE GEORGE'S COUNTY GOVERNMENT

Office of the Clerk of the Council
(301) 952-3600

August 1, 2005

RE: SP 03085 Walker Mill Business Park

NOTICE OF FINAL DECISION OF THE DISTRICT COUNCIL

Pursuant to the provisions of Section 27-134 of the Zoning Ordinance of Prince George's County, Maryland requiring notice of decision of the District Council, you will find enclosed herewith a copy of the Council Order setting forth the action taken by the District Council in this case on June 13, 2005.

CERTIFICATE OF SERVICE

This is to certify that on August 1, 2005, this notice and attached Council Order were mailed, postage prepaid, to all persons of record.

Redis C. Floyd

Redis C. Floyd
Clerk of the Council

(10/97)

Case No. SP-03085

Applicant: Muwaffag Alradaideh

COUNTY COUNCIL OF PRINCE GEORGE'S COUNTY, MARYLAND,
SITTING AS THE DISTRICT COUNCIL

ORDER MODIFYING AND AFFIRMING PLANNING BOARD DECISION,

IT IS HEREBY ORDERED, after review of the administrative record, that the decision of the Planning Board in PGCPB No. 04-200, to approve a detailed site plan for a contractor's office, shop, and storage yard on property described as approximately 1.7399 acres of land in the I-1 Zone, located in the Walker Mill Business Park, in the southwest quadrant of the intersection of Rochell Avenue and Hazelwood Drive, Capitol Heights, is hereby:

AFFIRMED, for the reasons stated in the Planning Board's Resolution, whose findings and conclusions are hereby adopted as the findings of fact and conclusions of law of the District Council.

Affirmance of the Planning Board's decision is subject to the following conditions:

1. Prior to certification of the detailed site plan:
 - a. A copy of a revised stormwater management concept approval letter shall be submitted, or the plan shall be revised to show all elements on the current concept approval letter.
 - b. A note shall be added to the site plan stating that the site is not located within 300 feet of any residentially-zoned land and land owned by WMATA.
 - c. The TCPII shall be revised to include the correct worksheet in conformance with the Type I TCP and Woodland Conservation Ordinance.
2. The 6-foot-high sight-tight fence shall be constructed of a synthetic material that resembles wood.

Ordered this 13th day of June, 2005, by the following vote:

In Favor: Council Members Dean, Bland, Exum, Hendershot and Peters

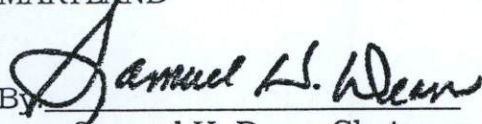
Opposed:

Abstained:

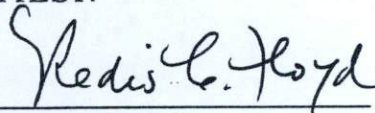
Absent: Council Members Campos, Dernoga, Harrington and Knotts

Vote: 5-0

COUNTY COUNCIL OF PRINCE GEORGE'S
COUNTY, MARYLAND, SITTING AS THE
DISTRICT COUNCIL FOR THAT PART OF
THE MARYLAND-WASHINGTON REGIONAL
DISTRICT IN PRINCE GEORGE'S COUNTY,
MARYLAND

By 
Samuel H. Dean, Chairman

ATTEST:



Redis C. Floyd
Clerk of the Council



Ruth Groves

THE PRINCE GEORGE'S COUNTY GOVERNMENT

Office of the Clerk of the Council
(301) 952-3600

August 1, 2005

RE: SP 03085 Walker Mill Business Park

***NOTICE OF FINAL DECISION
OF THE DISTRICT COUNCIL***

Pursuant to the provisions of Section 27-134 of the Zoning Ordinance of Prince George's County, Maryland requiring notice of decision of the District Council, you will find enclosed herewith a copy of the Council Order setting forth the action taken by the District Council in this case on June 13, 2005.

CERTIFICATE OF SERVICE

This is to certify that on August 1, 2005, this notice and attached Council Order were mailed, postage prepaid, to all persons of record.

Redis C. Floyd

Redis C. Floyd
Clerk of the Council

(10/97)

County Administration Building - Upper Marlboro, Maryland 20772

Case No. SP-03085

Applicant: Muwaffag Alradaideh.

COUNTY COUNCIL OF PRINCE GEORGE'S COUNTY, MARYLAND,
SITTING AS THE DISTRICT COUNCIL

ORDER MODIFYING AND AFFIRMING PLANNING BOARD DECISION,

IT IS HEREBY ORDERED, after review of the administrative record, that the decision of the Planning Board in PGCPB No. 04-200, to approve a detailed site plan for a contractor's office, shop, and storage yard on property described as approximately 1.7399 acres of land in the I-1 Zone, located in the Walker Mill Business Park, in the southwest quadrant of the intersection of Rochell Avenue and Hazelwood Drive, Capitol Heights, is hereby:

AFFIRMED, for the reasons stated in the Planning Board's Resolution, whose findings and conclusions are hereby adopted as the findings of fact and conclusions of law of the District Council.

Affirmance of the Planning Board's decision is subject to the following conditions:

1. Prior to certification of the detailed site plan:
 - a. A copy of a revised stormwater management concept approval letter shall be submitted, or the plan shall be revised to show all elements on the current concept approval letter.
 - b. A note shall be added to the site plan stating that the site is not located within 300 feet of any residentially-zoned land and land owned by WMATA.
 - c. The TCPII shall be revised to include the correct worksheet in conformance with the Type I TCP and Woodland Conservation Ordinance.
2. The 6-foot-high sight-tight fence shall be constructed of a synthetic material that resembles wood.

Ordered this 13th day of June, 2005, by the following vote:

In Favor: Council Members Dean, Bland, Exum, Hendershot and Peters

Opposed:

Abstained:

Absent: Council Members Campos, Dernoga, Harrington and Knotts

Vote: 5-0

COUNTY COUNCIL OF PRINCE GEORGE'S
COUNTY, MARYLAND, SITTING AS THE
DISTRICT COUNCIL FOR THAT PART OF
THE MARYLAND-WASHINGTON REGIONAL
DISTRICT IN PRINCE GEORGE'S COUNTY,
MARYLAND

By Samuel H. Dean
Samuel H. Dean, Chairman

ATTEST:

Redis C. Floyd

Redis C. Floyd
Clerk of the Council



THE PRINCE GEORGE'S COUNTY GOVERNMENT

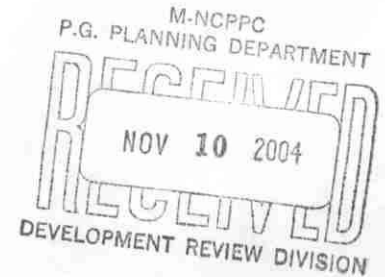
Office of the Clerk of the Council
(301) 952-3600

November 10, 2004

ACTION OF DISTRICT COUNCIL

TO: ALL PERSONS OF RECORD

RE: SP 03085 Walker Mill Business Park



On October 25, 2004 the County Council sitting as the District Council elected to review the above referenced case. A notice of hearing will be sent to all parties of record thirty days prior to the hearing date.

Should you have additional questions, please call our office.

A handwritten signature in cursive script that reads "Redis C. Floyd".

Redis C. Floyd
Clerk of the Council



THE PRINCE GEORGE'S COUNTY GOVERNMENT

Office of the Clerk of the Council
(301) 952-3600

May 13, 2005

DISTRICT COUNCIL
NOTICE OF ORAL ARGUMENT HEARING
COUNCIL ELECTED TO REVIEW



TO: ALL PERSONS OF RECORD

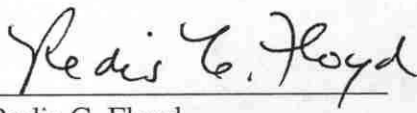
RE: SP 03085 Walker Mill Business Park

The District Council elected to review the above referenced case and the Oral Argument hearing is scheduled on:

MONDAY, JUNE 13, 2005, 10:00 A.M.
COUNTY ADMINISTRATION BUILDING – FIRST FLOOR
COUNTY ADMINISTRATION BUILDING
14741 GOVERNOR ODEN BOWIE DRIVE
UPPER MARLBORO, MARYLAND 20772

Testimony at the hearing will be limited to the facts and evidence contained within the record made at the hearing before the *Maryland-National Capital Park and Planning Board*. Argument will be limited to thirty (30) minutes for each side, unless extended by the Chairman of the Council. There will also be a five (5) minute rebuttal for each side.

If you have any questions, please call the Clerk's office at (301) 952-3600.


Redis C. Floyd
Clerk of the Council



THE PRINCE GEORGE'S COUNTY GOVERNMENT

Office of the Clerk of the Council
(301) 952-3600

May 18, 2005

Ms. Elizabeth M. Hewlett, Chairman
Prince George's County Planning Board
County Administration Building
Upper Marlboro, Maryland 20772



RE: SP 03085 Walker Mill Business Park

Dear Chairman Hewlett:

The County Council sitting as the District Council requested review of the above referenced zoning case on October 25, 2004, and the Oral Argument hearing is scheduled for June 13, 2005. In order to process this case, the District Council will require the files of the Planning Board, which should include, in addition to other documentation, the following items:

- (a) Names and addresses of all persons of record
- (b) Numerical, itemized list of all record exhibits
- (c) Original copy of verbatim transcript of the Planning Board's hearing.

Your cooperation in transmitting this material at your earliest convenience will be very much appreciated. Thank you for your assistance.

Sincerely,

Redis C. Floyd
Clerk of the Council

cc: Muwaffag Alradaideh, Applicant
Fern Piret, Planning Director, M-NCPPC
Faroll Hamer, Chief, Dev. Review, M-NCPPC
Arie Stouten, Supervisor, M-NCPPC
Jimi Jones, Acting Zoning Supervisor, M-NCPPC
Joyce Lightfoot, Tech. Hearing Writer, M-NCPPC
Charlene Krawczyk, Tech. Hearing Writer, M-NCPPC
✓ Steve Adams, Supervisor, M-NCPPC
Lauren Oliphant, Supervisor, M-NCPPC



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

PGCPB No. 10-123

14741 Governor Oden Bowie Drive
Upper Marlboro, Maryland 20772
TTY: (301) 952-4366
www.mncppc.org/pgco

File No. DSP-03085/01

RESOLUTION

WHEREAS, the Prince George's County Planning Board is charged with the approval of Detailed Site Plans pursuant to Part 3, Division 9 of the Zoning Ordinance of the Prince George's County Code; and

WHEREAS, in consideration of evidence presented at a public hearing on December 2, 2010 regarding Detailed Site Plan DSP-03085/01 for Walker Mill Business Park, Lot 14B, the Planning Board finds:

1. **Request:** The subject application requests approval for contractor offices and outdoor storage with three buildings in the I-1 Zone.
2. **Development Data Summary:**

	EXISTING	APPROVED
Zone	I-1	I-1
Use(s)	Vacant	Contractor Offices and Outdoor Storage
Acreage	1.7399	1.7399
Lots	1	1
Building Square Footage/GFA	0	17,725

	Required	Approved
Setbacks		
From Street	25	25
Side Yard	30	30+
Rear Yard	None	N/A
Green Area		
Square Feet	7,579	9,471
Percent	10	12.5

OTHER DEVELOPMENT DATA

	REQUIRED	APPROVED
Total parking spaces	33	33
Loading spaces	2	2

3. **Location:** The site is in Planning Area 75B, Council District 7. More specifically, it is located in the southwest quadrant of the intersection of Rochell Avenue and Hazelwood Drive.
4. **Surroundings and Use:** The subject property is flanked to the west by a contractor storage yard, also a part of Walker Mill Business Park; to the south by existing woodlands and a vacant parcel, also a part of Walker Mill Business Park. A second vacant parcel, also a part of Walker Mill Business Park, is located directly across Hazelwood Drive to the east of the subject site. A third vacant parcel, controlled by the Woodward Industrial Park, is located directly across Rochell Avenue to the northeast, and another contractor storage yard is located to its west on the northerly side of Rochell Avenue. Industrial warehouses are located diagonally across the street from the subject site across the intersection of Hazelwood Drive and Rochell Avenue.
5. **Previous Approvals:** A Preliminary Plan of Subdivision (4-01056) was approved for the subject property on September 27, 2001. The Planning Board adopted PGCPB Resolution No. 01-198 on October 18, 2001. A Stormwater Management Concept Plan (5930-2004) was approved by the Department of Environmental Resources (DER) on March 7, 2004. A detailed site plan was approved by the Planning Board for the project on September 9, 2004 and they adopted a resolution formalizing that approval on September 30, 2004, PGCPB Resolution No. 04-200. The District Council subsequently reapproved the detailed site plan on June 13, 2005. The detailed site plan approval expired after three years or on June 13, 2008, as per the Zoning Ordinance requirement. Since that time, on May 10, 2010, the applicant received technical stormwater management approval.
6. **Design Features:** The design for the site includes three buildings accessed from one access point from Rochell Avenue and one from Hazelwood Drive. Proposed Building A, a 20-foot-tall, 7,875-square-foot building, is located along the southernmost boundary of the site. Proposed Building B sits on the northeasterly frontage of the subject property along Rochell Avenue. Building B is proposed to measure 1,975 square feet and be 20 feet high. Proposed Building C, a 7,875-square-foot building also 20 feet tall, is located toward the Rochell Avenue frontage of the property, but along the site's northwesterly boundary. A 25-foot-wide landscape strip is provided along both the Rochell Avenue and Hazelwood Drive road frontages of the subject property. A proposed concrete dumpster pad, in the central/southern portion of the site, is screened by an enclosure to be constructed of a synthetic material resembling wood. A proposed six-foot-high fence, composed of a similar synthetic material, surrounds the property. A four-foot-wide sidewalk is provided along both the Rochell Avenue and Hazelwood Drive frontages. The center of the property provides a proposed contractor storage/operating area. Parking is provided primarily adjacent to the individual buildings, but also for a stretch along the inside of the buffer along Hazelwood Drive and also along the green area provided on the western side of the southern property line. The building elevations show uniform treatment in a painted galvalume pane siding system, in a color specified as "lightstone," with burnished slate color trim. The design of the buildings is utilitarian with minimal fenestration including few windows and standard and overhead doors punctuating the façades. Due to berming, fencing, landscaping of the peripheries, and the topography of the area, it is thought that the buildings will be minimally visible from eye

level on the streets immediately adjacent to the subject property. However, the level of the architecture should be brought up to minimally acceptable standards in any case. By Condition 1(g) below, the Planning Board requires that the applicant revise the elevation drawings for the project to create more visual interest in the façades, including varied fenestration on the first level and awnings over the windows and doors.

The applicant is providing a 25-foot landscape strip together with a 6-foot-high, sight-tight fence of a durable, low sheen, non-white, non-wood material, set back 25 feet from the property line along both the Hazelwood Drive and Rochell Avenue road frontages.

COMPLIANCE WITH EVALUATION CRITERIA

7. **Zoning Ordinance:** The subject application has been reviewed for compliance with the requirements in the I-1 Zone and the site plan design guidelines of the Zoning Ordinance.
 - a. The subject application is in conformance with the requirements of Section 27-473, which governs permitted uses in industrial zones. The proposed contractor offices and outdoor storage is a permitted use in the I-1 Zone.
 - b. The proposal is also in conformance with the requirements of Section 27-474, Regulations, regarding additional regulations for development in industrial zones.
8. **Preliminary Plan of Subdivision, 4-01056:** The Planning Board approved Preliminary Plan 4-01056 on September 27, 2001. The Prince George's County Planning Board Resolution 01-198 was adopted on October 18, 2001 formalizing the approval. The following conditions of approval apply to the review of the subject detailed site plan.
 1. **Total development within proposed Lots 15, 16, 17, and 18 of Walker Mill Business Park shall be limited to permitted uses which generate no more than 183 AM and 183 PM peak-hour vehicle trips. Any development generating impact greater than that identified herein shall require a new Preliminary Plan of Subdivision with a new determination of the adequacy of transportation facilities.**

The condition defines a trip cap for Lots 15, 16, 17, and 18 of Block B to development which would generate no more than 183 AM and 183 PM peak-hour vehicle trips. In reviewing DSP-02002 for Lot 17, it was determined that the approved development would generate 13 AM and 23 PM peak-hour vehicle trips. It does not appear that any other plans have been approved within the area of 4-01056. It is estimated that the subject proposal would generate 35 AM and 33 PM peak hour trips. Therefore, this plan plus the prior approved plan would generate 48 AM and 56 PM peak hour trips. This is well within the cap set for the entire subdivision and therefore, the site plan complies with Condition 1.

2. **In accordance with PGCPB Resolution No. 89-345, Condition 1, File 4-89052, the road improvements identified in Condition 1a, 1b, 1c, and 1d shall be provided prior to the issuance of any building permits.**

The condition references road improvements which are identified in the resolution approving Preliminary Plan of Subdivision 4-89052, and indicates that these improvements must be provided prior to issuance of any building permits. In this case, the improvements must be in place or must otherwise be bonded and permitted with a schedule for construction. The improvements are at MD 458/Rochell Avenue, MD 458/County Road, MD 458/Marlboro Pike, and MD 4/MD 458. These improvements have not been field checked during review of this site plan, although aerial photography suggests that the improvements are substantially complete. While this condition is not enforceable until building permit, the applicant should ensure that all improvements are appropriately constructed or guaranteed prior to that time.

3. **Requires that the DSP review shall be required prior to the issuance of building permits pursuant to CR-147-1985. The following shall be included in the review or the specified information shall be supplied:**

- a. **The Planning Board shall review the development to assure its compliance with the following design guidelines:**

- (1) **An effective visual buffer created by substantial berms and landscaping shall be provided along Walker Mill Road, Rollins Avenue, and Addison Road and along abutting areas which are planned or developed for residential purposes in order to maintain the residential character of surrounding properties.**

The subject project is not located on Walker Mill Road, Rollins Avenue, or Addison Road, nor is it located along abutting areas that are planned or developed for residential purposes. Therefore, the above design guideline does not apply.

- (2) **The internal organization of the site shall address the following:**

- A. **Provide a continuous six-foot high sight-tight wood fence with swinging or sliding gates along property lines, which have frontage on any vehicular right-of-way within the subdivision. Metal security fencing, including chain link, may be located behind and adjacent to the required wood fence if it is not visible from the street.**

The applicant has provided a six-foot-high, sight-tight fence constructed of a durable, low sheen, non-white, non-wood material set back 25 feet from the right-of-way along both Rochell Avenue and Hazelwood Drive. In addition, the applicant has indicated that the proposed gates for the

project are designed as swing gates in a material similar to the fence along Hazelwood Drive, further complying with the requirements of design guideline 3(a)(2)(A). A condition of this approval requires a similar swing gate at the Rochell Avenue entrance.

- B. Provide 12 feet of commercial/industrial-landscaped strip along property lines that have frontage on any vehicular right-of-way. Plant materials provided within the landscaped strip shall be evergreen trees planted 10 feet on center, or other acceptable planting arrangement utilizing the same quantity of trees which is approved by the Planning Board or the Urban Design staff as designee of the Planning Board. White pine trees shall constitute no more than 20 percent of the trees in this landscaped strip.**

The applicant has provided a 25-foot landscape strip along the property lines that have frontage on a vehicular right-of-way. Plant materials provided within this landscape strip include two staggered rows of Leyland Cypress, an evergreen tree planted approximately 15 feet on center, and four to five Winged Euonymus shrubs on either side of each gate accessing the subject property. No White Pine has been utilized in the landscaping scheme. The proposed is an acceptable planting arrangement that meets the requirements of the condition. The planting scheme provides more than enough plant units to fulfill the requirements of Section 4.2 of the *Prince George's County Landscape Manual*.

- C. Provide cross-sections through the subject site to demonstrate that any area of outdoor storage visible from any adjacent right-of-way shall have the solid wood fence specified in condition 1.a.**

The applicant has provided cross sections of the site indicating that lines of sight from the street, due to the setback and height of the fence and landscaping to be installed, make only the upper portions of the buildings at all visible from any adjacent right-of-way. The Planning Board has reviewed the subject project against the above design requirements and found it to be in general conformance.

- 5. Requires that prior to issuance of any permit, a Type II TCP shall be submitted that is in conformance with the Type I TCP and designates the location of the 2.83 acres of off-site mitigation. Priority shall be given to the location of the off-site mitigation within the Anacostia watershed.**

The Planning Board has reviewed the Type 2 tree conservation plan (TCP) application, found it in conformance with the above requirement, and is currently reviewing the plan for conformance to the Woodland and Wildlife Habitat Conservation Ordinance.

7. Development of this subdivision shall be in accordance with the approved Stormwater Management Concept Plan, #13784-2001-00.

In a memorandum dated July 29, 2010, a representative of the Department of Public Works and Transportation (DPW&T) stated that the subject project was designed in accordance with the approved Stormwater Management Concept Plan, 13784-2001-00. Further, the representative stated that the subject project was also designed in accordance with a technical plan subsequently approved for the project on May 10, 2010.

9. ***Prince George's County Landscape Manual:*** Section 4.2, Commercial and Industrial Landscaped Strip, of the Landscape Manual applies to the project. The Urban Design staff reviewed the proposed landscape plan and found it to be in general compliance with the applicable sections of the Landscape Manual.

10. **The Woodland and Wildlife Habitat Conservation Ordinance:** The property is subject to the provisions of the Woodland and Wildlife Habitat Conservation Ordinance because it is more than 40,000 square feet in size and contains more than 10,000 square feet of woodland. The subject detailed site plan is consistent with approved Type 2 Tree Conservation Plan TCP2-65-04. Therefore, it may be said that the project is in conformance with the relevant requirements of the Woodland and Wildlife Habitat Conservation Ordinance.

11. **Further Planning Board Findings and Comments from Other Entities:** The subject application was referred to the concerned agencies and divisions. The referral comments are summarized as follows:

- a. **Historic Preservation**—The proposed revision would have no effect on identified historic sites, resources, or districts.
- b. **Archeology**—A Phase I archeological survey would not be recommended for the subject site. The site had formerly been extensively disturbed as a gravel mine and that a search of current and historic photographs, topographic and historic maps, and locations of currently known archeological sites indicates that the probability of recovering archeological artifacts is low. There are no identified archeological sites within one mile of the subject property and there are no Prince George's County historic sites or resources located within one mile of the subject property. Section 106 of the National Historic Preservation Act (NHPA) may require review if state or federal monies, or federal permits are required for the project.
- c. **Community Planning South Division**—The subject application is consistent with the 2002 *Prince George's County Approved General Plan* Development Pattern policies for

the Developed Tier and that the application conforms to the industrial land use recommendations of the 2009 *Approved Subregion 4 Master Plan and Sectional Map Amendment (SMA)*. The design guidelines established in PGPB Resolution No. 09-163 for the Walker Business Park, however, were transgressed in the subject project in the following two ways:

1. The existing chain-link fence on the site is not indicated "to be removed."
2. The surface of the parking/outdoor storage area should be specified as a dust-free surface other than gravel.

These two deviations from the design guidelines are corrected by conditions of approval below.

- d. **Transportation**—The project meets the requirements of transportation-related Conditions 1, 2, 9, and 10 of Preliminary Plan of Subdivision 4-01056. Finding 8 of this approval has a more detailed description of that conformance.
- e. **Subdivision**—The site plan correctly indicates that the property is Lot 1, Block B, recorded in land records in plat book REP 193 @ 52. Preliminary Plan of Subdivision 4-01056 was approved by the Planning Board and PGCPB Resolution No. 01-198, containing ten conditions, was adopted on October 18, 2001. For a detailed description of the relevant requirements of that approval, see Finding 8 of this approval. The record plat reflects an existing 20-foot-wide access easement on Lot 15, Block B which by a condition of this approval is required to be reflected on the detailed site plan.
- f. **Trails**—The Planning Board has reviewed the detailed site plan application for conformance with the 2009 *Approved Countywide Master Plan of Transportation (MPOT)* and/or the appropriate area master/sector plan in order to implement planned trails, bikeways, and pedestrian improvements.

The Planning Board's findings in this review are as follow:

- None of the prior conditions of approval related specifically to bike, pedestrian, or trail facilities although sidewalks were being proposed along both road frontages. The subject application is covered by both the 2009 *Approved Countywide Master Plan of Transportation* and the 1985 and 1986 *Approved Master Plan and Adopted Sectional Map Amendment for Suitland-District Heights and Vicinity, Planning Areas 75A and 75B*. There are no master plan trails issues identified in either of these plans that impact the subject site.
- The MPOT includes a Complete Streets Section that directs that new road construction be designed to accommodate all modes of transportation, including

pedestrians. The Complete Streets Section includes the following policies regarding sidewalks and frontage improvements (MPOT, page 33).

POLICY 1: Provide standard sidewalks along both sides of all new road construction within the Developed and Developing Tiers.

POLICY 2: All road frontage improvements and road capital improvement projects within the developed and Developing Tiers shall be designed to accommodate all modes of transportation. Continuous sidewalks and on-road bicycle facilities should be included to the extent feasible and practical.

- The subject approval reflects standard sidewalks along its frontages of both Rochell Avenue and Hazelwood Drive. These sidewalks will accommodate pedestrians along these roads and fulfill the intent of the MPOT policies regarding complete streets and sidewalks. The sidewalk network is fragmented in the vicinity of the subject site. However, where frontage improvements have been made, sidewalks have been provided.
 - From the standpoint of non-motorized transportation, it is determined that this plan is acceptable, fulfills the intent of applicable master plans and functional plans, fulfills prior conditions of approval, and meets the finding required for a detailed site plan as described in Section 27-274(a)(2)(C) of the Zoning Ordinance.
- g. **Permit Review**—The Planning Board finds that the numerous permit-related comments have either been addressed by revisions to the plans or in the conditions of this approval.
- h. **Environmental**—The detailed site plan revision is consistent with approved TCP2-065-04 and has been reviewed and found to be in accordance with the new requirements of the Woodland and Wildlife Habitat Conservation Ordinance.
- i. **The Prince George's County Fire/EMS Department**—In comments dated September 23, 2010, the Prince George's County Fire/EMS Department offered information regarding required access for fire apparatuses, private road design, and location and performance of fire hydrants.
- j. **The Department of Public Works and Transportation (DPW&T)**—In a memorandum dated July 29, 2010, DPW&T offered information regarding design requirements for improvements within the public right-of-way including street tree, street lighting, sidewalks, and storm drainage systems. They also mentioned the need to comply with DPW&T's Utility Policy, coordination regarding master-planned roadways, and providing an access study and/or soils investigation report. In a separate e-mail dated September 15, 2010, a representative of DPW&T stated the subject plan is consistent with the approved technical plan dated April 2009 and approved by DPW&T on May 10, 2010

and the stormwater management concept plan for the project, approved on January 4, 2008.

- k. **Verizon**—In an e-mail dated July 23, 2010, a representative of Verizon stated that trees and a stormdrain manhole and pipe need to be removed from the public utility easement (PUE) on Rochell Avenue and that a manhole for a four-inch sewer needs to be removed from the PUE on Hazelwood Drive. A recommended condition below would require revisions to the plans to disencumber the PUEs as suggested above.
 - l. **Potomac Electric Power Company (PEPCO)**—In an e-mail dated September 21, 2010, a representative of PEPCO offered technical details regarding the agreement to provide service to the site. None of these details however, impact the approval of the subject detailed site plan. PEPCO's referral comments, however, have been provided to the applicant as a courtesy.
 - m. **The Washington Suburban Sanitary Commission (WSSC)**—WSSC offered no comment regarding the subject project.
 - n. **The City of Capitol Heights**—The City of Capitol Heights offered no comment.
 - o. **The City of District Heights**—The City of District Heights offered no comment on the subject project.
12. As required by Section 27-285(b)(1) of the Zoning Ordinance, the detailed site plan represents a reasonable alternative for satisfying the site design guidelines of Subtitle 27, Part 3, Division 9 of the Prince George's County Code without requiring unreasonable cost and without detracting substantially from the utility of the proposed development for its intended use.

NOW, THEREFORE, BE IT RESOLVED, that pursuant to Subtitle 27 of the Prince George's County Code, the Prince George's County Planning Board of The Maryland-National Capital Park and Planning Commission adopted the findings contained herein and APPROVED the Type 2 Tree Conservation Plan (TCP2-065-04) and further APPROVED Detailed Site Plan DSP-03085/01 for the above-described land, subject to the following conditions:

- 1. Prior to signature approval of the plans, the applicant shall make the following revisions to the plans and/or submit the additional requested materials.
 - a. The applicant shall specify a durable, non-white, non-wood, low sheen material to be utilized for fencing and around the dumpster enclosure. The details and specifications shall be approved by the Urban Design Section.
 - b. The District Council Order dated June 13, 2005 shall be removed from the plan set as the approval has expired and no longer applies.

- c. Plans for the project shall be revised to indicate that all chain-link fences on the subject property shall be removed.
 - d. The paving material for the parking, drive aisle, and outdoor storage area shall be specified as a dust-free surface other than gravel.
 - e. The detailed site and landscaping plan for the project shall be amended to include the existing 20-foot-wide access easement reflected on the record plat for the property.
 - f. The plans shall be revised to remove trees and a stormdrain manhole and pipe from the public utility easement (PUE) on Rochell Avenue and a manhole for a four-inch sewer shall be removed from the PUE on Hazelwood Drive. Any trees so removed shall be relocated elsewhere on the detailed site plan.
 - g. The applicant shall revise the elevation drawings for the project to create more visual interest in the façades, including varied fenestration on the first level and awnings over the windows and doors in a style as represented in the exhibit submitted by the applicant for the "MBM Metal Buildings."
 - h. The site plan shall be revised to include a swing gate at the Rochell Avenue entrance similar to that provided at the Hazelwood Drive entrance. A detail for the gate shall be provided on the plans indicating use of a durable, non-white, non-wood, low sheen material similar or the same as the adjacent fencing material.
- 2. The employees driving company owned trucks and equipment entering and leaving this industrial site shall be instructed to utilize MD Route 4, Marlboro Pike and Silver Hill Road whenever possible, unless providing services locally.
 - 3. No company vehicles and/or equipment shall be parked and/or stored in the public right-of-way.
 - 4. No major equipment repair (e.g., engine/transmission overhaul) shall be conducted outside of the buildings within the site.
 - 5. No fuel tanks will be erected and maintained on the subject property. (This condition does not restrict the use of fuel tanks upon and/or within vehicles.)

BE IT FURTHER RESOLVED, that an appeal of the Planning Board's action must be filed with the District Council of Prince George's County within thirty (30) days following the final notice of the Planning Board's decision.

* * * * *

This is to certify that the foregoing is a true and correct copy of the action taken by the Prince George's County Planning Board of The Maryland-National Capital Park and Planning Commission on the motion of Commissioner Clark, seconded by Commissioner Cavitt, with Commissioners Clark, Cavitt, Vaughns, Squire and Parker voting in favor of the motion at its regular meeting held on Thursday, December 2, 2010, in Upper Marlboro, Maryland.

Adopted by the Prince George's County Planning Board this 13th day of January 2011.

Patricia Colihan Barney
Executive Director

By 
Jessica Jones
Acting Planning Board Administrator

PCB:JJ:RG:arj

APPROVED AS TO LEGAL SUFFICIENCY.


M-NCPDC Legal Department

Date 12/21/10