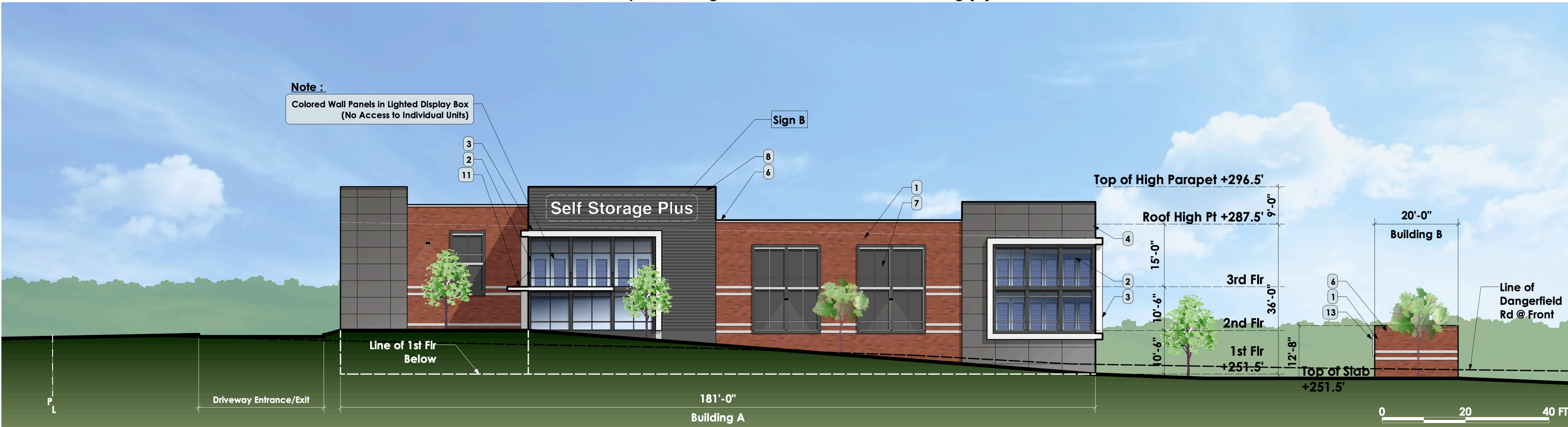
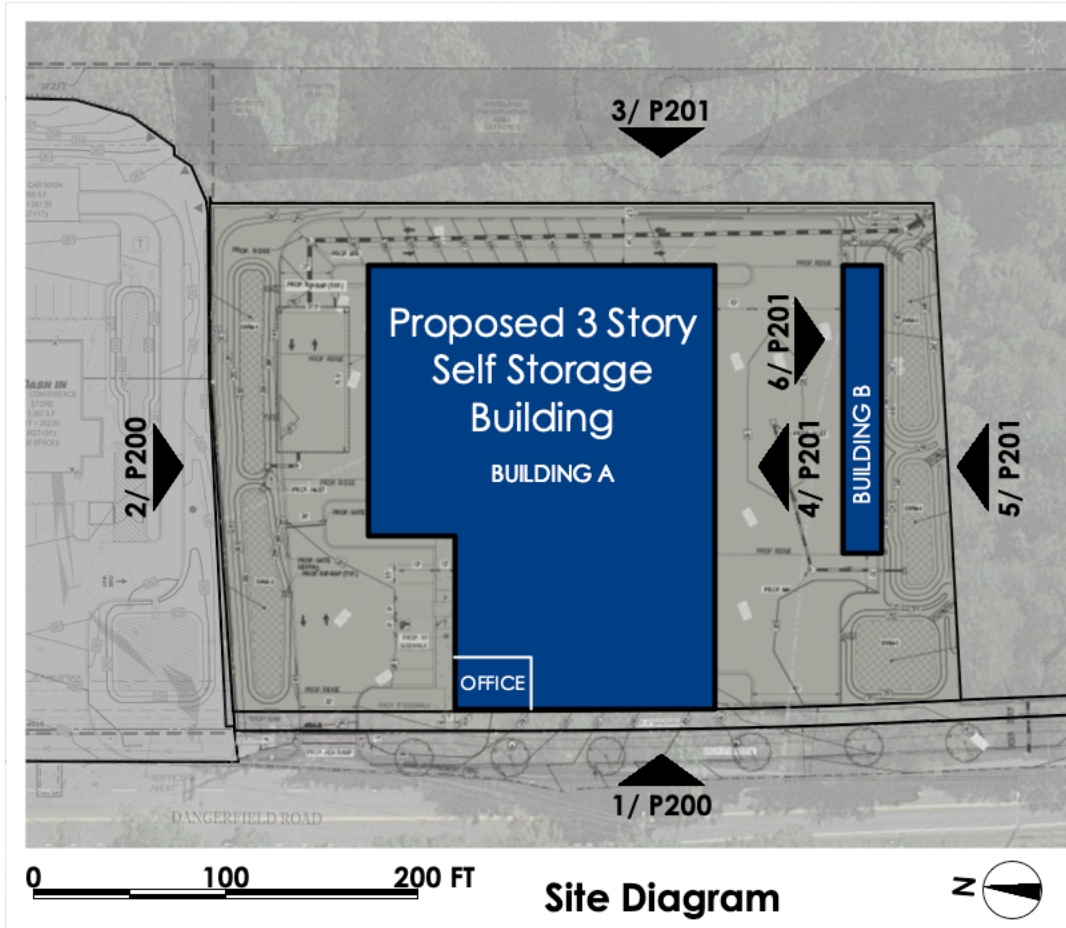
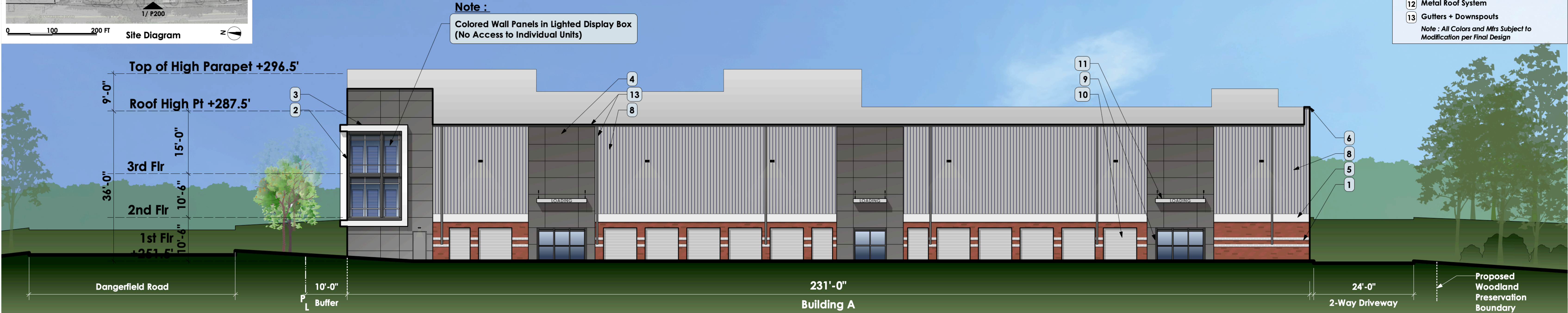


Material Key	
1	Masonry System
2	Storefront Window Glazing
3	Light Metallic Surround Feature
4	Dark Metallic Surround Feature
5	Horizontal Banding
6	Parapet Trim
7	Faux Window System
8	Decorative Metal Paneling
9	Automatic Man Door at Loading
10	Storage Unit Door at Loading
11	Decorative Canopy
12	Metal Roof System
13	Gutters + Downspouts
Note : All Colors and Mtrs Subject to Modification per Final Design	

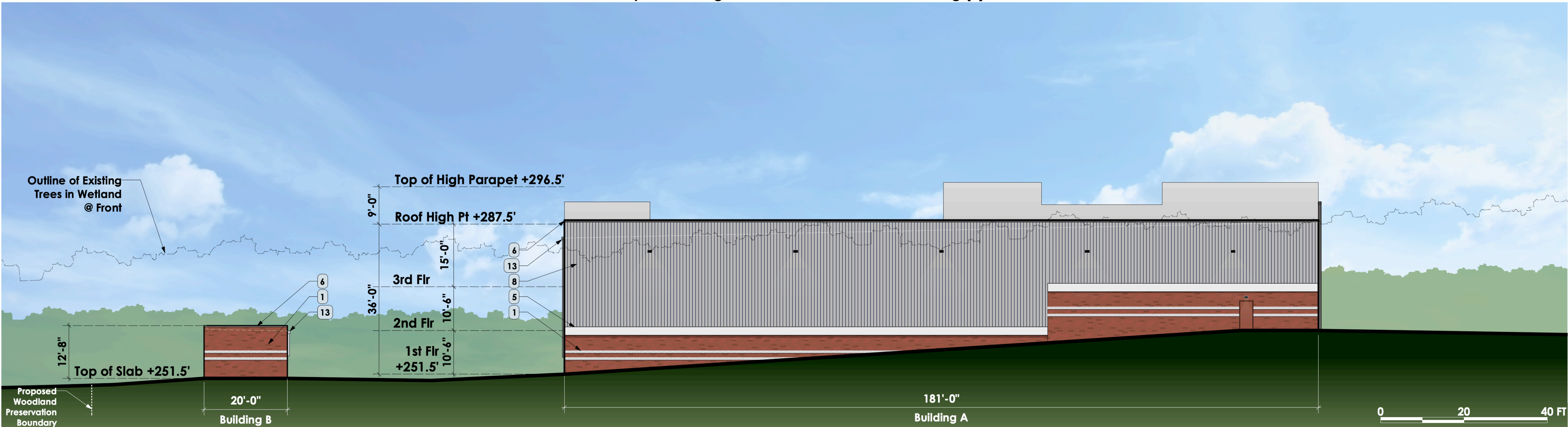




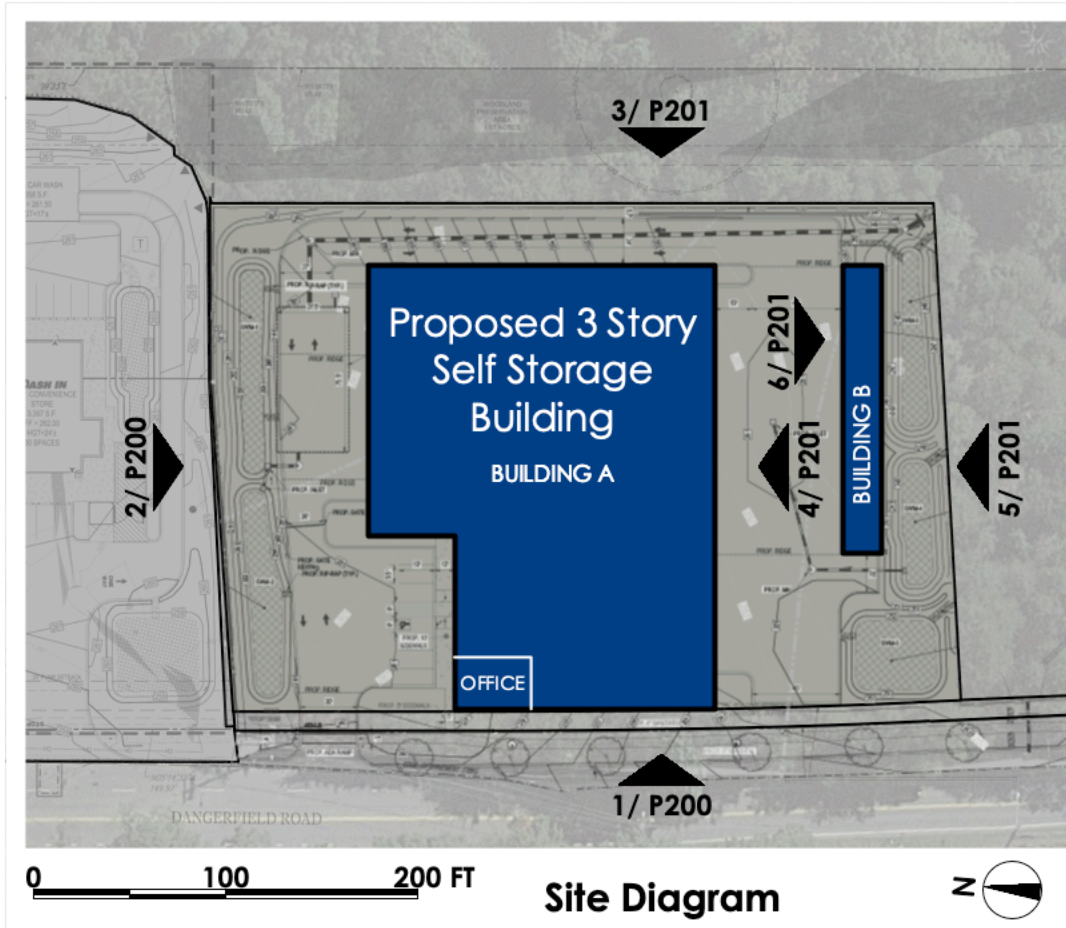
Material Key	
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Note : All Colors and Mtrs Subject to Modification per Final Design	



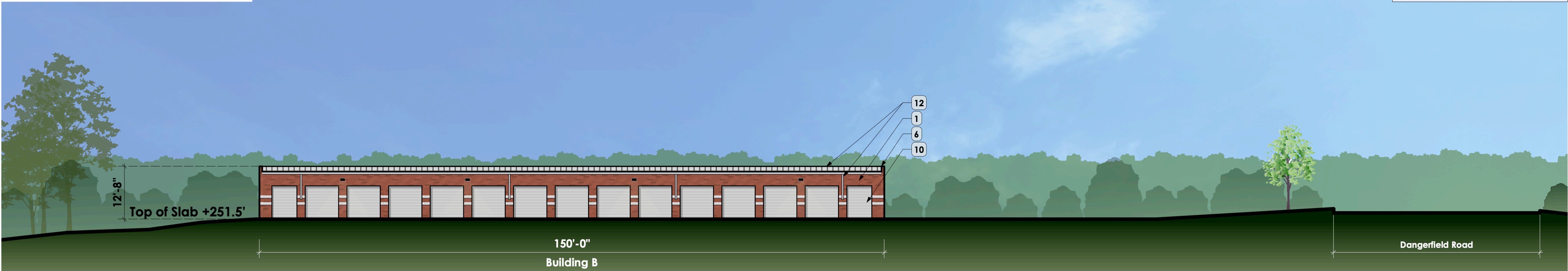
4 - Proposed Design-Side Elevation at 1st Flr Loading (S)



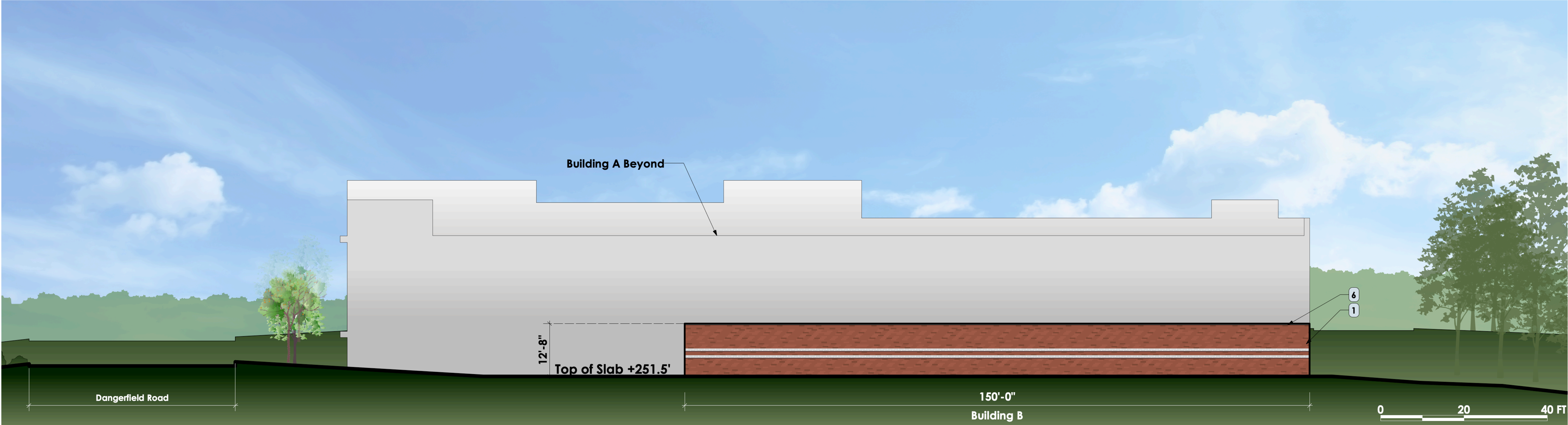
3 - Proposed Design-Rear Elevation Along Preservation Area (E)



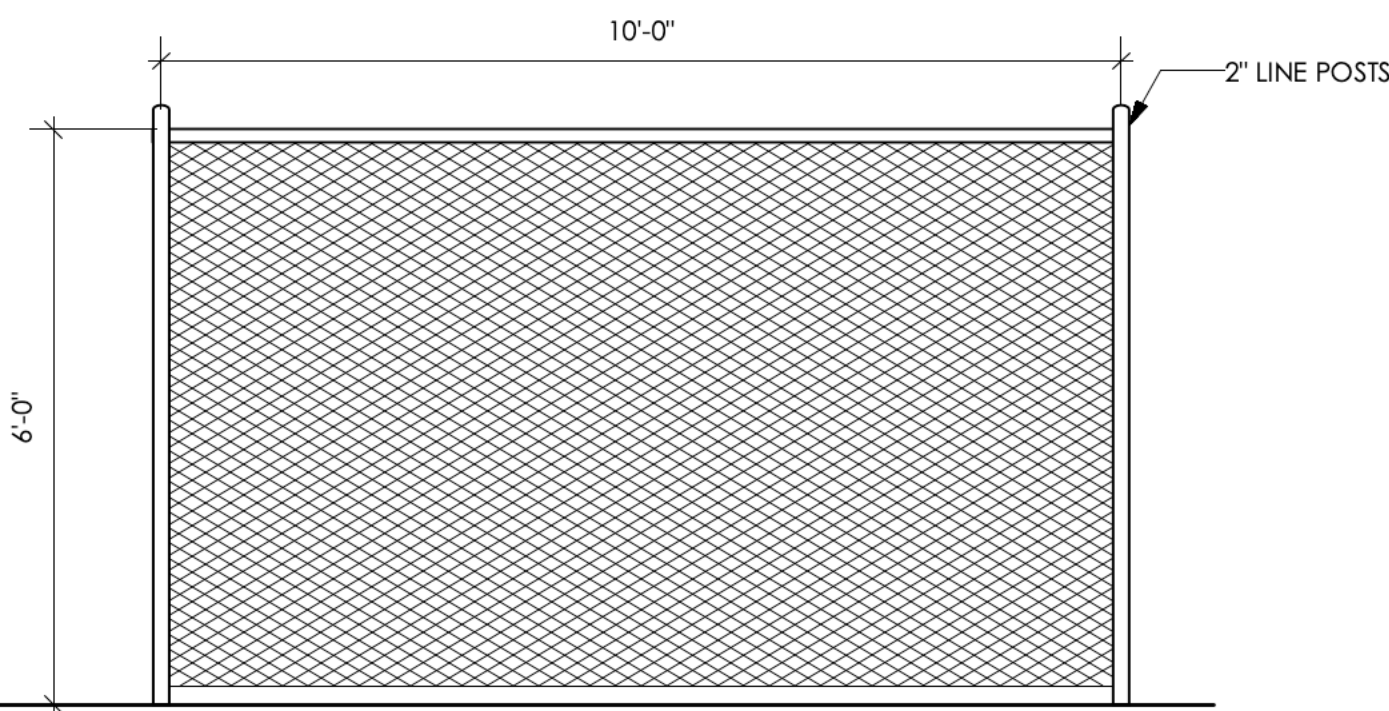
Material Key	
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12	Metal Roof System
13	Gutters + Downspouts
Note : All Colors and Mfrs Subject to Modification per Final Design	



6 - Proposed Design-Side Elevation at 1st Flr Loading (S)

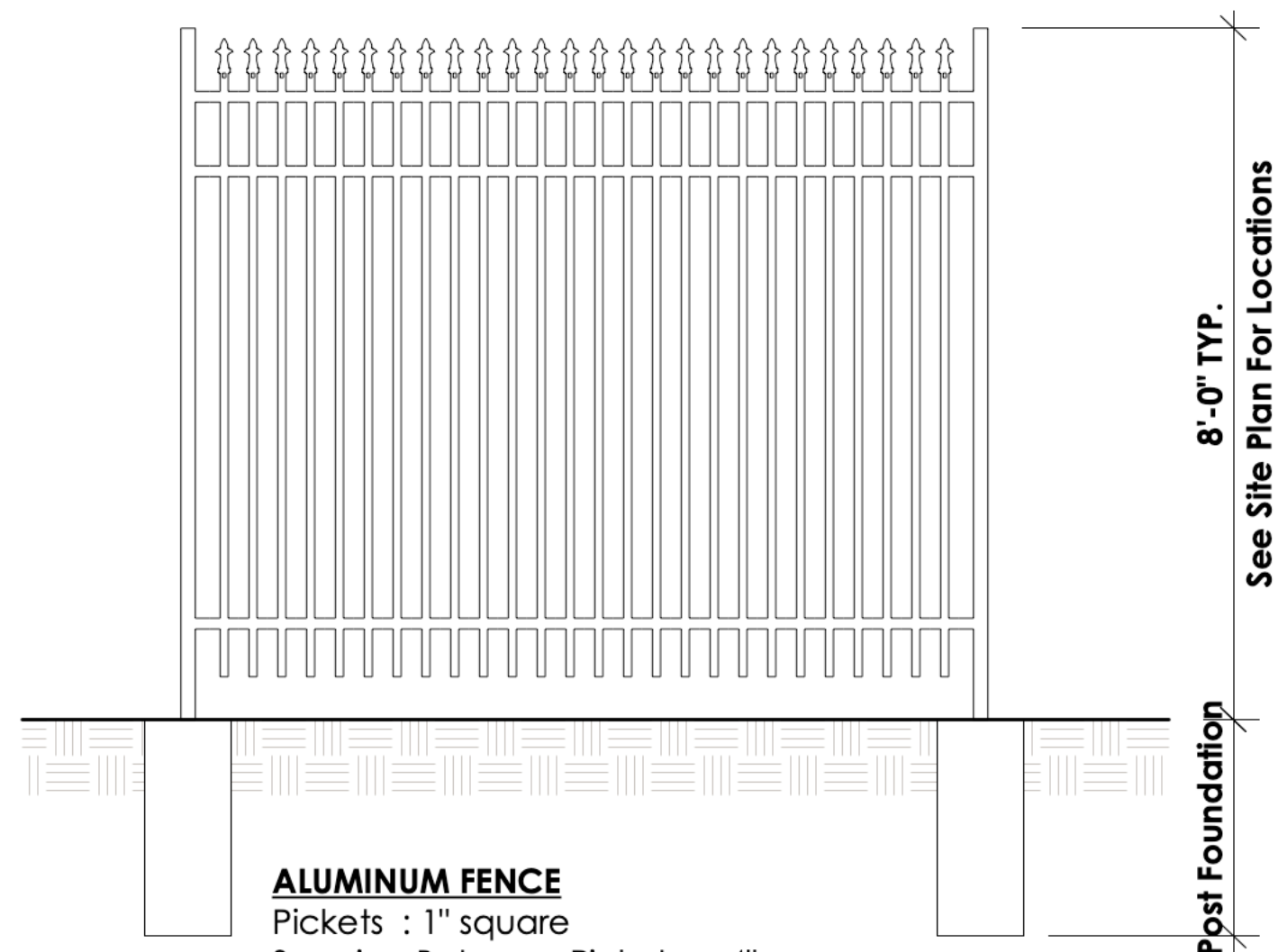


5 - Proposed Design-Rear Elevation Along Preservation Area (E)



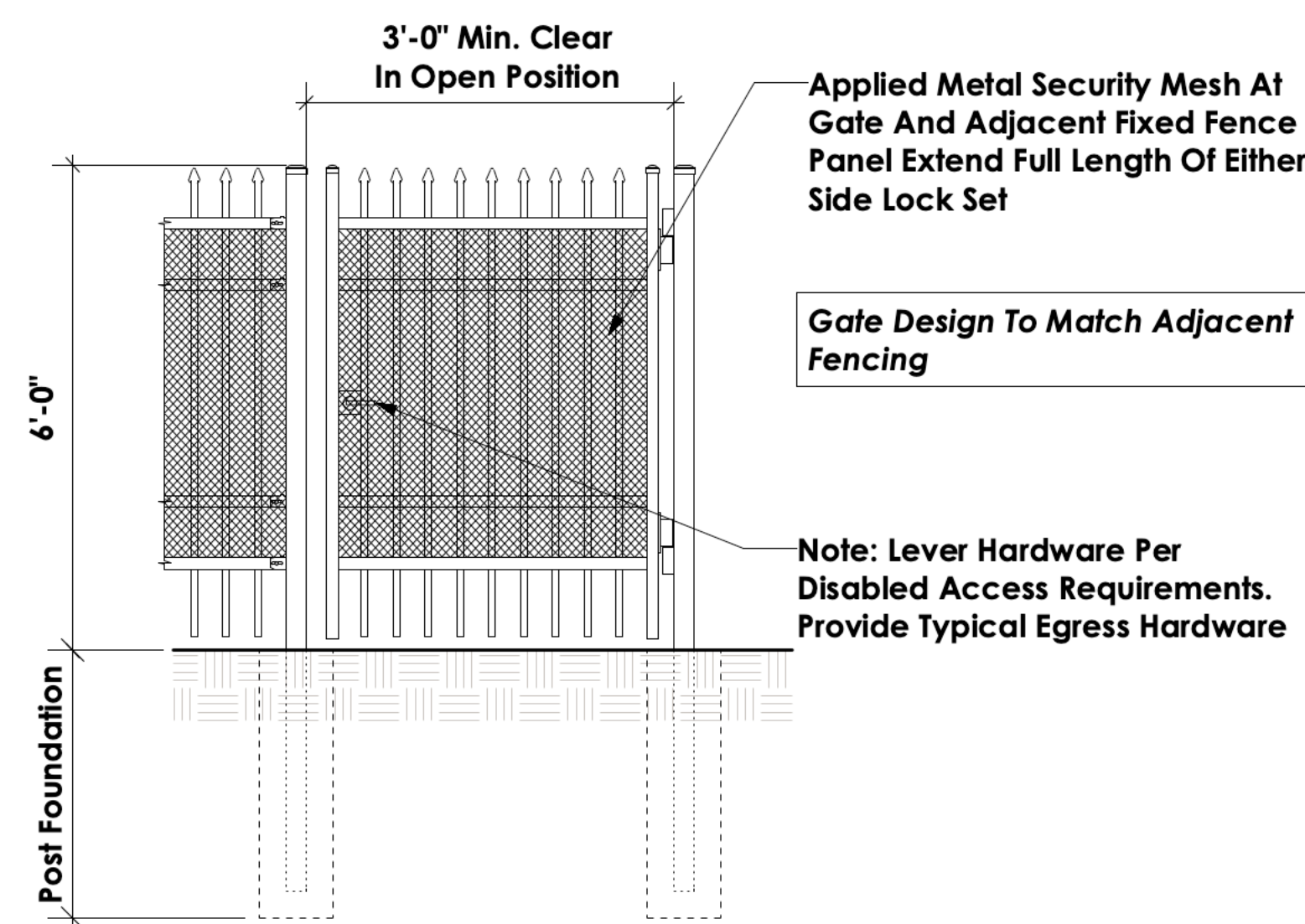
VINYL DIPPED CHAIN LINK FENCE
Line Posts: 2" vinyl coated structural pipe 2.20lbs. per foot, black, with cap
Terminal Posts: 2-1/2" vinyl coated structural pipe, 2.78 lbs. per foot
Bracing: Terminal posts shall be braced to the nearest line post with 1-5/8" O.D. vinyl coated structural pipe.
Tension Wire: 9GA Smooth wire vinyl coated tension wire attached to the bottom of the fence fabric with 9GA aluminum hog ring spaced 18" on center.
Fittings: Vinyl coated in all areas
Post Spacing 10' on center
Height - 6'0"
Color - Black
Opacity - Min. 95% opacity required

6 Site Chain Link Fencing Detail



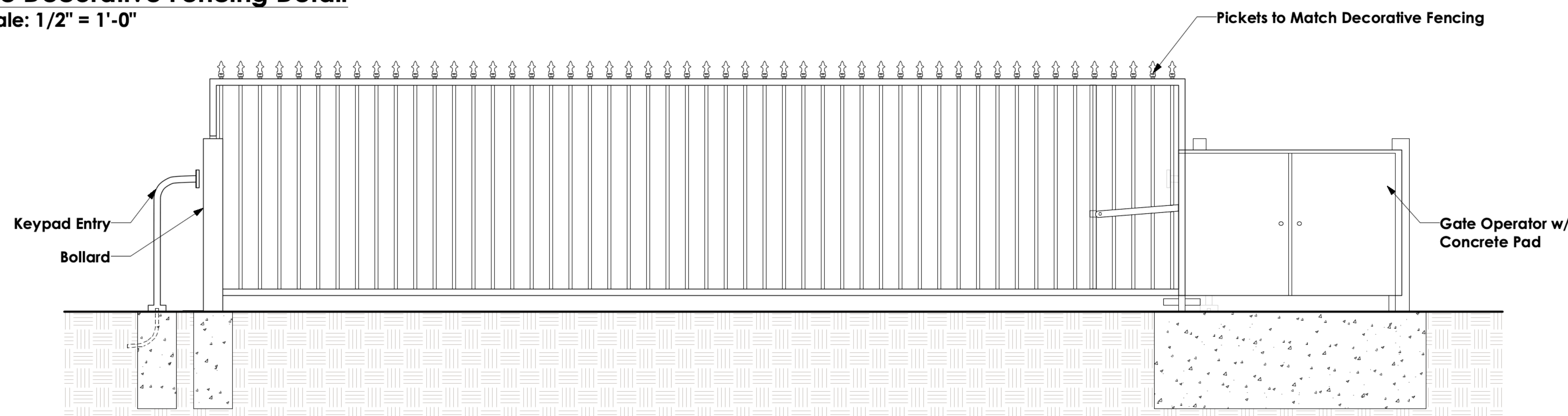
ALUMINUM FENCE
Pickets : 1" square
Spacing between Pickets : 4"
Horizontal Rails : 1 5/8" square
Posts : 4" sq.
Post Spacing : 71 1/2" on center
Height - 96"
Color - Black, Mfr. prefinished.
Weight Supported : 1,000+ lbs. per section

5 Site Decorative Fencing Detail



4 Site Man Gate Detail

P500 Scale: 1/2" = 1'-0"



3 Site Vertical Pivot Gate Detail



2 Wall-Mounted Sign B - 136 SF
P500 Scale: 1/4" = 1'-0"



1 Wall-Mounted Signs A.1, A.2 - 92.16 SF Each
P500 Scale: 1/4" = 1'-0"

PROPOSED WALL-MTD SIGNAGE ANALYSIS						
SIGN	QUANTITY	TYPE	WIDTH	HEIGHT	AREA	ILLUMINATION
A.1	1	Wall-Mounted	28' - 0"	3' - 3 1/2"	92.16 SF	Internally
A.2	1	Wall-Mounted	28' - 0"	3' - 3 1/2"	92.16 SF	Internally
B	1	Wall-Mounted	34' - 0"	4' - 0"	135.86 SF	Internally
TOTAL PROPOSED WALL-MOUNTED SIGN AREA :					320.18 SF	
Per 27-613[3](B)(ii) TOTAL ALLOWED WALL-MOUNTED SIGN AREA (231 LF x 2 = 462, Max 400 SF) :					400.0 SF	SIGNAGE COMPLIES
Per 27-591(a) 50% Area Reduction : TOTAL CALCULATED WALL-MOUNTED SIGN AREA (479.2/2 = 239.6) :					160.09 SF	

STATEMENT OF JUSTIFICATION
DSP-21019

APPLICANT: Arcland
PO Box 25523
Washington, DC 20027

CORRESPONDENT: Daniel F. Lynch, Esq.
McNamee Hosea
6411 Ivy lane, Suite 200
Greenbelt, Maryland 20770
301-441-2420 (P)
301-982-9460 (F)
dlynch@mhlawyers.com

REQUEST: Detailed Site Plan, Sections 27-285 and 27-475.04 of the
Zoning Ordinance – Consolidated Storage Facility

I. DESCRIPTION OF PROPERTY

1. Address – 8310 Dangerfield Road, Clinton, Maryland 20735
2. Location – Located on the west side of Dangerfield Road approximately 300 feet north of its intersection with Woodyard Road.
3. Proposed Use – Consolidated Storage Facility
4. Election District – 9
5. Councilmanic District - 9
6. Parcel –Lot 34, Townsend Subdivision
7. Total Area – 5.65
8. Tax Map – 52/F1
9. Zoned – C-S-C and M-I-O Zones
10. Owner – Dash-In Food Stores, Inc.
11. Zoning Map – 206NE09

II. NATURE OF REQUEST

The Applicant is requesting the approval of a Detailed Site Plan for the purpose of constructing a 198,606 square foot, 3-story consolidated storage facility with 24 associated parking spaces for property located in the C-S-C and MIO Zones. The property is currently undeveloped. The property is accessed from Dangerfield Road.

Access to the site will be via a 30 foot wide access driveway that will be secured by a gate. There will be an unsecure public parking area located outside the gate that will contain 7 parking spaces. The facility will be secured by a 6-foot fence located along north, south and east sides of the property.

The applicant is proposing to construct a 3-story, 45-foot high facility. The front of the building will face to the east and the exterior doors to units will be located on the north and south sides of the buildings and not visible from the street. The office will be located in the northeast corner of the building to allow visitors and customers access from both the secured and unsecured areas of the property. The applicant is not proposing a resident manager.

The applicant's proposed consolidated storage facility complies with the specific requirements for consolidated storage set forth in Section 27-475.04, the Tree Canopy Coverage Requirements, the parking and loading requirements as well as the other bulk regulations for development in the C-S-C Zone. .

III. SURROUNDING USES

The subject property is located on the west side of Dangerfield Road. It is bounded to the north by a single-family home in the C-S-C Zone, to the east by single-family dwellings in the R-R Zone, to the west Dangerfield Road and across Dangerfield Road, single-family homes in the R-R and C-S-C Zones and to the south by a gas station in the C-S-C Zone. The neighborhood is predominately developed with a mix of service commercial, light industrial and residential uses.

The subject property is in an area covered by the approved *2013 Approved Subregion 5 Master Plan and Sectional Map Amendment* (the "Master Plan"). This application for development of a consolidated storage facility conforms to the recommendations of the Master Plan as the property was retained in the C-S-C Zone and the use is permitted in the C-S-C Zone.

The subject property is also located in the Military Installation Overlay (M-I-O) Zone, including Noise Intensity Zone 60-74db, Accident Potential Zone 1 and 2 and Height Clearance Zone (50:1) South End, B, which restricts height to approximately 100 feet.

IV. CRITERIA FOR APPROVAL

The criteria for approval of a Detailed Site Plan are set forth in Sections 27-285(b), 27-274 & 27-475.04.

Section 27-285. Planning Board Procedures.

(b) Required findings.

(A) The plan represents a reasonable alternative for satisfying the site design guidelines, without requiring unreasonable costs and without detracting substantially from the utility of the proposed development for its intended use;

COMMENT: The plan represents a reasonable alternative for satisfying the site design guidelines. The site design guidelines are found in Section 27-274 of the Zoning Ordinance.

Section 27-274. Design Guidelines.

(1) General.

(A) The Plan should promote the purposes of the [Detailed] Site Plan.

COMMENT: The purposes of the Detailed Site Plan are found in Section 27-281(b) & (c).

Section 27-281. Purpose of Detailed Site Plans.

(b) General purposes.

(1) The general purposes of Detailed Site Plans are:

(A) To provide for development in accordance with the principles for the orderly, planned, efficient and economical development contained in the General Plan, Master Plan, or other approved plan;

(B) To help fulfill the purposes of the zone in which the land is located;

(C) To provide for development in accordance with the site design guidelines established in this division; and

(D) To provide approval procedures that is easy to understand and consistent for all types of Detailed Site Plans.

(c) Specific purposes.

(1) The specific purposes of Detailed Site Plans are:

(A) To show the specific location and delimitation of buildings and structures, parking facilities, streets, green areas, and other physical features and land uses proposed for the site;

(B) To show specific grading, planting, sediment control, tree preservation, and storm water management features proposed for the site;

- (C) To locate and describe the specific recreation facilities proposed, architectural form of buildings, and street furniture (such as lamps, signs, and benches) proposed for the site; and
- (D) To describe any maintenance agreements, covenants, or construction contract documents that are necessary to assure that the Plan is implemented in accordance with the requirements of this Subtitle.

Comment: This Detailed Site Plan promotes the purposes of Detailed Site Plans. Specifically, this plan helps to fulfill the purposes of the C-S-C Zone in which the subject land is located. A consolidated storage facility is a permitted use in the C-S-C Zone. The plan gives an illustration as to the approximate location and delineation of the storage buildings, offices, parking for the storage facility, streets, green areas, and other similar physical features and land uses proposed for the site.

In addition to the purposes set forth in Section 27-281, Section 27-274 further requires the Applicant to demonstrate the following:

(2) Parking, loading, and circulation

(A) Surface parking lots should be located and designed to provide safe and efficient vehicular and pedestrian circulation within the site, while minimizing the visual impact of cars. Parking spaces should be located to provide convenient access to major destination points on the site.

(B) Loading areas should be visually unobtrusive and located to minimize conflicts with vehicles or pedestrians.

(C) Vehicular and pedestrian circulation on a site should be safe, efficient, and convenient for both pedestrians and drivers.

COMMENT: This Detailed Site Plan complies with the design guidelines provided in (2). The plan illustrates that all parking and loading areas are located and designed to provide safe and efficient vehicular and pedestrian circulation within the site. Specifically, the plan shows that the interior two-way travel lanes are at least 24 feet in width. The travel lanes are large enough to provide safe parking as well as through traffic that can travel in both directions. There will be 24 total parking spaces provided for the consolidated storage facility. As noted above, the parking spaces have been located at convenient location to allow customers access to the office and the storage units.

(3) Lighting.

(A) For uses permitting nighttime activities, adequate illumination should be provided. Light fixtures should enhance the design character.

COMMENT: This Detailed Site Plan complies with the design guidelines set forth in (3). Adequate lighting will be provided to illuminate entrances, parking, and loading areas throughout the site. There will be pole mounted lighting in the parking area directly in front of the manager's office and for the balance of the property, site lighting will be wall mounted units affixed to the sides of the new and existing buildings. The proposed

lighting will provide patrons with a bright, safe atmosphere while not causing a glare onto adjoining properties.

(4) Views.

(A) Site design techniques should be used to preserve, create, or emphasize scenic views from public areas.

COMMENT: This Detailed Site Plan complies with the design guidelines outlined in sub-part (4). This plan is designed to preserve, create, or emphasized views from the public roads that surround the property. The property has frontage Dangerfield Road and the applicant is proposing to install a landscape strip along that frontage. In addition, the applicant has located all units with exterior doors on the west side of the building and not visible from Dangerfield Road.

(5) Green Area.

(A) On site green area should be designed to compliment other site activity areas and should be appropriate in size, shape, location, and design to fulfill its intended use.

COMMENT: There is not minimum Green Area requirement for the C-S-C Zone.

(6) Site and streetscape amenities.

(A) Site and streetscape amenities should contribute to an attractive, coordinated development and should enhance the use and enjoyment of the site.

COMMENT: The applicant is not proposing and site or streetscape amenities as part of this consolidated storage facility.

(7) Grading.

(A) Grading should be performed to minimize disruption to existing topography and other natural and cultural resources on the sit and on adjacent sites. To the extent practicable, grading should minimize environmental impacts.

COMMENT: The Detailed Site Plan shows the proposed topography for the property. The applicant designed this facility so as to minimize grading on the site and preserve the natural contours as much as feasible.

(8) Service Areas.

(A) Service areas should be accessible, but unobtrusive.

COMMENT: This Detailed Site Plan complies with the design guidelines outlined in sub-part (8).

(9) Public Spaces.

(A) A public space system should be provided to enhance a large-scale commercial, mixed use, or multifamily development.

COMMENT: The applicant is not proposing to provide public space in this development as it is not a commercial, mixed use or multi-family development.

(10) Architecture.

(A) When architectural considerations are references for review, the Conceptual Site Plan should include a statement as to how the architecture of the buildings will provide a variety of building forms, with unified, harmonious use of materials and styles.

(B) The guidelines shall only be used in keeping with the character and purpose of the proposed type of development and the specific zone in which it is to be located.

(C) These guidelines may be modified in accordance with section 27-277.

COMMENT: The applicant is proposing to incorporate a number of building materials into the design of the building to help create visual interest. In addition, the applicant has created additional visual interest by varying the depth of the building, especially along the front elevation facing Dangerfield Road.

In addition to the requirements outlined in Section 27-274, Section 27-285 further requires that the Applicant demonstrate the following:

- (2) The Planning Board shall also find that the Detailed Site Plan is in general conformance with the approved Conceptual Site Plan (if one was required);

COMMENT: No conceptual site plan is required.

- (3) The Planning Board may approve a Detailed Site Plan for Infrastructure if it finds that the plan satisfies the site design guidelines as contained in Section 27-274, prevents offsite property damage, and prevents environmental degradation to safeguard the public's health, safety, welfare, and economic well-being for grading, reforestation, woodland conservation, drainage, erosion, and pollution discharge.

COMMENT: Not applicable.

As noted above, the subject property is located in the M-I-O Zone. Specially, the property is located Noise Intensity Zone 60-74db, Accident Potential Zone 1 and 2 and Height Clearance Zone (50:1) South End, B, which restricts height to approximately 100 feet. The use is permitted in M-I-O Zone and as shown on the elevations submitted as part of the DSP package, the building is approximately 46 feet in height which is below the 100 foot height limit set forth in Section 27-548.54.

Finally, a consolidated storage facility must comply with Section 27-475.04, which states:

Section 27-475.04. Consolidated Storage.

(1) Requirements.

- (A) No entrances to individual consolidated storage units shall be visible from a street or from adjoining land in any Residential or Commercial Zone (or land proposed to be used for residential or commercial purposes on an approved Basic Plan for a Comprehensive Design Zone, or any approved Conceptual or Detailed Site Plan).

COMMENT: The architectural elevations indicate that no entrances to individual units are visible from any street or from adjoining land in any residential or commercial zone. The exterior entrances to the units are located on the west side of the building. Although the west side of the building faces residential zoned property, the applicant has preserved a 235 foot wide stand of existing mature trees along this property line as part of its approved Tree Conservation Plan. The applicant has also preserved a 100 foot wide stand of exiting trees along its northern property line which will screen the loading area from the C-S-C zoned property to the north and is providing a ___ to screen the loading area from the gas station located in the C-S-C Zone to the south.

- (B) Entrances to individual consolidated storage units shall be either oriented toward the interior of the development or completely screened from view by a solid wall, with landscaping along the outside thereof.

COMMENT: This Detailed Site Plan complies with the requirements outlined in sub-part (B). The buildings will have entrances to the individual storage units oriented toward the interior of the property.

- (C) The maximum height shall be thirty-six (36) feet. Structures exceeding this height and approved before January 1, 2000, shall not be considered non-conforming.

COMMENT: This Detailed Site Plan complies with the requirements outlined in sub-part (C). As shown on the elevations, the proposed building will be 46-feet in height.

V. CONCLUSION

The Applicant, Arcland is seeking a Detailed Site Plan to construct a 198,606 square foot consolidated storage facility. The Applicant believes that this request meets the requirements set forth in Sections 27-285, 27-274 and 27- 475.04 and would therefore respectfully request approval of this application.

Respectfully submitted,

MCNAMEE HOSEA

By:



Daniel F. Lynch



Development Review Division

Subdivision & Development Review

Committee Coversheet

Chairman: Mridula Gupta

SDRC Meeting Date: 3/18/22

***Disclaimer:** Additional information may be required as the plan review progresses, or revised information is provided.

1. General Project Information				
Case Number:	DSP-21019			
Project Name:	Arcland Self Storage			
Project Location:	Intersection of Dangerfield and Woodyard Road			
Project Description:	Approval for a 3 story 198,606 sqft consolidated storage facility			
2. Development Review Division Contact Information				
	Name	Section	Telephone	E-mail
Planner	Tierre Butler	Urban Design	301-952-2548	Tierre.butler@ppd.mncppc.org
Planning Supervisor	Jill Kosack	Urban Design	301-952-4689	Jill.kosack@ppd.mncppc.org
Sign Posting Contact(s)	Lillian Fairley	Development Review	301-952-3296	lillian.fairley@ppd.mncppc.org
Planning Division Chief	James Hunt	Development Review	301-952-3530	james.hunt@ppd.mncppc.org
3. Sign Posting Information				
Posting Required?	YES <input checked="" type="checkbox"/> NO <input type="checkbox"/>	Tentative Date of Posting:	12/07/21	
4. Important Project Dates				
Acceptance Date:	2/22/22	Tentative Staff Report Publishing Date:	4/14/22	
Deadline for Revised Information:	3/24/22	Tentative Planning Board Date:	4/28/22	
Review Period Ends:	3/28/22	Tentative Resolution Date:	05/19/22	
5. Referral Agencies providing Major Issues Memos or comments (Attached)				
Community Planning <input type="checkbox"/>	Trails <input type="checkbox"/>	Transportation Planning <input checked="" type="checkbox"/>		
Environmental Planning <input checked="" type="checkbox"/>	Urban Design <input checked="" type="checkbox"/>	Department of Permitting, Inspections & Enforcement (DPIE) <input type="checkbox"/>		
Subdivision & Zoning <input checked="" type="checkbox"/>	Prince George's Fire & EMS Department <input type="checkbox"/>	Department of Public Works & Transportation (DPW&T) <input type="checkbox"/>		
Maryland State Highway Administration <input type="checkbox"/>	Washington Suburban Sanitation Authority (WSSC) <input type="checkbox"/>	Historic Preservation <input checked="" type="checkbox"/>		
Health Department <input type="checkbox"/>	WMATA <input type="checkbox"/>	Special Projects <input type="checkbox"/>		
Parks and Recreation <input type="checkbox"/>	Municipality- <input type="checkbox"/>	Verizon <input type="checkbox"/>		
PEPCO/ BGE/ SMECO <input type="checkbox"/>	Police <input type="checkbox"/>	Other: SHA <input type="checkbox"/>		
6. Sign-off				
Planner Signature		Date: (MM/DD/YYYY)		
		3/21/2022		
Applicant Signature - Please sign this form to acknowledge that you have been informed of the above and attached requests. Your signature does not signify an agreement to any conditions, only that you are aware of staff's request for additional items.		Date: (MM/DD/YYYY)		
Applicant Phone #:		Applicant E-mail:		



Development Review Division

Subdivision & Development Review

Committee Coversheet

Chairman: Mridula Gupta

SDRC Meeting Date: 3/21/22

***Disclaimer:** Additional information may be required as the plan review progresses, or revised information is provided.

Additional Referral Comments	
Agency:	Community Planning
No Major Issues	
Agency:	Historic Preservation
No Major Issues	
Agency:	Environmental Planning Section
Comments	
Agency:	Subdivision
Comments	
Agency:	Transportation
comments	
Agency:	Trails
Agency:	DPIE
Agency:	Fire Department
No Major Issues	

NOTE: Please electronically submit ALL revised referral plans to drdapplications@ppd.mncppc.org at least 35 days prior to the Planning Board date. Any project requiring a Planning Board Hearing must be posted for 30 days. The Development Review Chief must authorize the release of signs. It is your responsibility to call the Applications Section at 301-952-3296 to arrange pick up of the signs for timely posting.



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

14741 Governor Oden Bowie Drive
Upper Marlboro, Maryland 20772
TTY: (301) 952-4366
www.mncppc.org/pgco

Countywide Planning Division
Historic Preservation Section

301-952-3680

March 4, 2022

MEMORANDUM

TO: Andrew Bishop, Urban Design Section, Development Review Division

VIA: Howard Berger, Historic Preservation Section, Countywide Planning Division **HSB**

FROM: Jennifer Stabler, Historic Preservation Section, Countywide Planning Division **JAS**
Tyler Smith, Historic Preservation Section, Countywide Planning Division **TAS**

SUBJECT: DSP-21019 Arcland Self Storage

The subject property comprises 5.65-acres and is located in the southeast quadrant of the intersection of Dangerfield Road and Woodyard Road. The subject application proposes the construction of a three-story, 198,606 square-foot, consolidated storage facility. The subject property is Zoned C-S-C and M-I-O.

A search of current and historic photographs, topographic and historic maps, and locations of currently known archeological sites indicates the probability of archeological sites within the subject property is low. A majority of the property has already been disturbed. The subject property does not contain and is not adjacent to any Prince George's County Historic Sites or Resources. This proposal will not impact any historic sites, historic resources or known archeological sites. A Phase I archeology survey is not recommended. Historic Preservation Section staff recommend approval of DSP-21019 Arcland Self Storage without conditions.

EPS SDRC REVIEW

CASE NUMBERS: DSP-21019 / TCP2-007-18-01

Reviewer: Tierre Butler/Chuck Schneider

PROJECT NAME: Arcland Self Storage

SDRC Date: March 18, 2022

APPLICABLE MASTER PLANS: 2013 Master Plan Subregion 5

GREEN INFRASTRUCTURE

AREAS: ☒ REG ☒ EVAL ☐ NONE

ALL ZONES: C-S-C 5.65 ACRES

NRI: ☐ EL ☒ Full ☐ FSD ☐ Intermed ☐ Limited ☐ CBCA ☐ N/A

WCO-EX: ☐ Standard ☐ Numbered ☒ N/A

EPS PLANS: ☐ TCP1 ☒ TCP2 ☐ CP ☐ N/A

Specimen Trees: ☒ Yes ☐ No ☐ Unknown

Variance Required: ☐ WCO ☐ CBCA ☒ N/A

REASON FOR VARIANCE: N/A

PMA: ☐ Yes ☒ No

PMA LOJ REQUIRED: ☐ Yes ☒ No

ROADS ARTERIAL OR
HIGHER: ☒ Yes ☐ No

Woodyard Road – Arterial.

SPECIAL ROADWAYS: ☐ Scenic ☒ Historic ☐ Byway ☐ None

Woodyard Road

MARLBORO CLAY: ☐ Yes ☒ No

CHRISTIANA CLAY: ☐ Yes ☒ No

STORMWATER CONCEPT: ☒ Approved Plan ☒ Approved Letter ☐ Both ☐ N/A

MAJOR ISSUES/REVISIONS:

The TCP2 shall be revised as follows:

- a. Add the property owner awareness certification block on every sheet and fully complete and have the owner sign.
- b. Have the revised plan signed and dated by the qualified professional preparing the plan.



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

**Prince George's County Planning Department
Countywide Planning Division, Transportation Planning Section**

**(301) 952-3680
www.mncppc.org**

03/18/2022

MEMORANDUM

TO: Tierre Butler, Development Review Division

FROM: Benjamin Ryan, Transportation Planning Section, Countywide Planning Division

SUBJECT: SDRC Major Issues
DSP-21019: Arcland Self Storage

The Transportation Planning Section has reviewed the referenced application and offers the following comments:

1. Staff request the applicant update plans to display all loading areas behind the entry gate to prevent any possible stacking onto Dangerfield Road.
2. Staff request the applicant clarify the statement of justification, which indicates a public parking area located outside the entry gate will contain 7 spaces. The site plan displays 4 spaces at this location.



Division of Environmental Health/Disease Control

Date: March 1, 2022

To: Andrew Bishop, Urban Design, M-NCPPC

From: Adebola Adepoju, Environmental Health Specialist, Environmental Engineering/ Policy Program

Re: DSP-21019, ARCLAND SELF STORAGE (PB)

The Environmental Engineering / Policy Program of the Prince George's County Health Department has completed a desktop health impact assessment review of the comprehensive design plan submission for the Arcland Self Storage facility and has the following comments / recommendations:

1. During the construction phases of this project, noise should not be allowed to adversely impact activities on the adjacent properties. Indicate intent to conform to construction activity noise control requirements as specified in Subtitle 19 of the Prince George's County Code.
2. During the construction phases of this project, no dust should be allowed to cross over property lines and impact adjacent properties. Indicate intent to conform to construction activity dust control requirements as specified in the 2011 Maryland Standards and Specifications for Soil Erosion and Sediment Control.

If you have any questions or need additional information, please contact me at 301-883-7677 or aoadepoju@co.pg.md.us.



Angela Alsobrooks
County Executive

Environmental Engineering/Policy Program
Largo Government Center
9201 Basil Court, Suite 318, Largo, MD 20774
Office 301-883-7681, Fax 301-883-7266, TTY/STS Dial 711
www.princegeorgescountymd.gov/health



Angela D. Alsobrooks
County Executive

THE PRINCE GEORGE'S COUNTY GOVERNMENT
Department of Permitting, Inspections and Enforcement
Site/Road Plan Review Division



MEMORANDUM

March 14, 2022

TO: Andrew Bishop, Urban Design Section
Development Review Division, M-NCPPC

FROM: Mary C. Giles, P.E., Associate Director *Mary Giles*
Site/Road Plan Review Division, DPIE

Re: Arcland Self Storage
Detailed Site Plan, DSP-21019

CR: Woodyard Road (Maryland Route 223)
CR: Dangerfield Road

This is in response to the Detailed Site Plan, DSP-21019, referral for the development of self-storage facility and associated infrastructure, the Department of Permitting, Inspections and Enforcement (DPIE) offers the following:

- The property is in Clinton, MD, located on the southeast quadrant of the Woodyard Road (Maryland Route 223) and Dangerfield Road intersection.
- **Woodyard Road**, also known as Maryland Route 223 (MD-223), is an existing State-maintained roadway to the north of the subject property with variable right-of-way width, requiring a right-of-width of 120-ft as per its Master Plan Road Classification A-53. The applicant shall coordinate right-of-way dedications and construct roadway/frontage improvements as required in accordance with the Maryland State Highway Administration (MSHA) as determined necessary.
- **Dangerfield Road** is an existing County-maintained roadway to the west of the subject property with variable right-of-way width, requiring a right-of-width of 80-ft as per its Master Plan Road Classification C-510. The applicant shall coordinate right-of-way dedications and construct roadway/frontage improvements as required in accordance with the Department of Public Works and Transportation (DPW&T) Urban 4-Lane Collector Road standard (Std. 100.03). This work shall be permitted prior to or concurrent with issuance of a fine grading permit.
- The applicant will be subject to frontage improvements along Dangerfield Road as designated in the master plan and outlined in DPW&T Standard No. 100.03.

- Sheet DSP-4 in Detailed Site Plan set shows the driveway entrance with a 10' radius. County standard for a commercial driveway entrance is a minimum radius of 12' per DPW&T Specifications and Standards. The applicant will provide driveway entrance that meets County standards.
- In grading permit stage applicant will provide detectable warning surface on pedestrian ramps on the driveway.
- In grading permit stage applicant will provide dimension confirming a minimum spacing of 4' between stop bar and crosswalk
- Per MDOT SHA Bicycle Policy & Design Guidelines and Prince George's County Bicycle Signing and Marking Guidelines, sharrows may be used where the rightmost motor vehicle lane width is between 13 and 15 feet wide. The applicant will ensure rightmost lane meets this requirement.
- Full-width, 2-inch mill-and-overlay for all existing County, roadway frontages are required.
- Existing utilities may require relocation and/or adjustments. Coordination with the various utility companies is required.
- Compliance with DPW&T's utility policy is required. Based upon the plans submitted, proper temporary and final patching and the related mill and overlay in accordance with "DPW&T Policy and Specifications for Utility Installation and Maintenance Permits" is required.
- Sidewalks are required along all roadways within the property limits in accordance with Sections 23-105 and 23-135 of the County Road Ordinance. Any new sidewalk installation is to match existing sidewalks in the area. In addition, sidewalks must always be kept open for pedestrians.
- Maintenance of private streets is not the responsibility of Prince George's County.
- Conformance with DPIE street lighting specifications and standards are required. Adjustments to street lighting, to accommodate the proposed plan improvements, are required in accordance with Section 23-140 of the Prince George's Road Ordinance.
- Roadside trees will be required along County-maintained roadways within the limits of the permit area.

- All improvements within the public right-of-way as dedicated to the County are to be in accordance with the County Road Ordinance, DPW&T's Specifications and Standards and the Americans with Disabilities Act (ADA).
- The Site Plan filed under M-NCPPC Case No. DSP-21019 is consistent with the Site Development Concept Plan filed under Case No. 16017-2021-00 approved by DPIE on August 16, 2021.
- All stormwater management facilities and drainage systems, including their recreational features and visual amenities (if applicable), are to be designed and constructed in accordance with the standards and specifications set forth by DPIE and DPW&T. Approval of all facilities are required prior to permit issuance.
- All easements are to be approved by DPIE and recorded prior to technical approval.
- A maintenance agreement is to be approved by DPIE and recorded prior to technical approval.
- The proposed development will require a site development permit approved by DPIE.
- A soils investigation report which includes subsurface exploration and geotechnical engineering evaluation for all proposed roadways and Marlboro clay is required.
- This memorandum incorporates the Site Development Plan Review pertaining to Stormwater Management (County Code 32-182(b)). The following comments are provided pertaining to this approval phase:
 - a) Final site layout, exact impervious area locations are shown on plans.
 - b) Exact acreage of impervious areas has not been provided.
 - c) Proposed grading is shown on plans.
 - d) Stormwater volume computations have not been provided.
 - e) Erosion/sediment control plans that contain the construction sequence, and any phasing necessary to limit earth.
 - f) Disturbances and impacts to natural resources, and an overlay plan showing the types and locations of ESD devices and erosion, and sediment control practices are not included in the submittal.

Andrew Bishop
March 14, 2022
Page 4

- g) A narrative in accordance with the code has not been provided.
- h) Applicant shall provide items (a-g) at the time of filing final site permits.

If you have any questions or require additional information, please contact Mr. Mariwan Abdullah, District Engineer for the area, at 301.883.5710.

cc: Rene' Lord-Attivor, Chief, Traffic Engineering, S/RPRD, DPIE
Mariwan Abdullah, P.E., District Engineer, S/RPRD, DPIE
Salman Babar, CFM, Engineer, S/RPRD, DPIE
MJ Labban, Engineer, S/RPRD, DPIE
Yonas Tesfai, P.E., Engineer, S/RPRD, DPIE
Ted Jeong, P.E., Engineer, S/RPRD, DPIE
Arcland Property Company, 1054 31st Street NW, Suite 340, Washington DC 20007
McNamee Hosea, c/o Daniel Lynch, 6411 Ivy Lane, Suite 200, Greenbelt, MD 20770

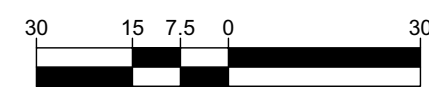


1. BULK REQUIREMENTS:	ALLOWED/REQUIRED	PROVIDED
A. MIN. LOT AREA	N/A	2.60 AC
B. MIN. BUILDING SETBACK		
<u>SELF STORAGE</u>		
FRONT SETBACK (DANGERFIELD)	10'	10.1'
REAR SETBACK	50'	100.8'
SIDE SETBACK (NORTH)	0'	75.0'
SIDE SETBACK (SOUTH)	50'	236.4'
C. MIN. PARKING SETBACK		
FRONT SETBACK	NONE	"10.7"
REAR SETBACK	NONE	"75.2"
SIDE SETBACK (NORTH)	NONE	"32.4"
SIDE SETBACK (SOUTH)	NONE	"248.4"
D. PARKING REQUIREMENTS		
<u>CONSOLIDATED STORAGE</u>		
1 SPACE PER 50 UNITS HAVING DIRECT ACCESS ONLY FROM WITHIN A BUILDING = (600 UNITS / 50 UNITS) * 1 SPACE = 18		
+4 SPACES PER 1,000 SQ. FT. OF GFA OF OFFICE SPACE= (1,000 SF / 1,000 SF) * 4 SPACES = 4	24	24
+2.0 PER RESIDENT MANAGER = 2		
E. <u>LOADING SPACE REQUIREMENTS:</u>		
<u>CONSOLIDATED STORAGE, PER BUILDING</u>		
2 SPACES UP TO 10,000 SQ. FT. OF GFA = 2		
+1 SPACE FOR EACH ADDITIONAL 40,000 SF OF GFA = 3	5	5
F. MIN. PARKING DIMENSIONS		

<u>ALLOWED/REQUIRED</u>	<u>PROVIDED</u>
NORTH = 115.6 SF EAST = 160.6 SF (TOTAL MAXIMUM AREA OF SOUTH	SEE SHEET P-500

CONCRETE SIDEWALK

MICRO-BIORETENTION FACILITY



SHEET TITLE:

SHEET NUMBER

DSP-4

REVISION 1 - 02/09/2021

1 - 1 - WSSC Plan Review Comments

Created by: Mary Mapes
On: 03/15/2022 04:21 PM

WSSC Plan Review Comments
DSP-21019 - ArcLand Self Storage

----- 0 Replies -----

2 - 2 - WSSC Standard Comments for All Plans

Created by: Mary Mapes
On: 03/15/2022 04:25 PM

1. WSSC comments are made exclusively for this plan review based on existing system conditions at this time. We will reevaluate the design and system conditions at the time of application for water/sewer service.
2. Coordination with other buried utilities:
 - a. Refer to WSSC Pipeline Design Manual pages G-1 and G-2 for utility coordination requirements.
 - b. No structures or utilities (manholes, vaults, pipelines, poles, conduits, etc.) are permitted in the WSSC right-of-way unless specifically approved by WSSC.
 - c. Longitudinal occupancy of WSSC rights-of-way (by other utilities) is not permitted.
 - d. Proposed utility crossings of WSSC pipelines or rights-of-way that do not adhere to WSSC's pipeline crossing and clearance standards will be rejected at design plan review. Refer to WSSC Pipeline Design Manual Part Three, Section 3.
 - e. Failure to adhere to WSSC crossing and clearance standards may result in significant impacts to the development plan including, impacts to proposed street, building and utility layouts.
 - f. The applicant must provide a separate Utility Plan to ensure that all existing and proposed site utilities have been properly coordinated with existing and proposed WSSC facilities and rights-of-way.
 - g. Upon completion of the site construction, utilities that are found to be located within WSSC's rights-of-way (or in conflict with WSSC pipelines) must be removed and relocated at the applicants expense.
3. Forest Conservation Easements are not permitted to overlap WSSC existing or proposed easements. Potential impacts to existing Forest Conservation Easements (due to proposed water and/or sewer systems) must be reviewed and approved by County staff.
4. Unless otherwise noted: ALL extensions of WSSC's system require a request for Hydraulic Planning Analysis and need to follow the System Extension Permit (SEP) process. Contact WSSC's Permit Services Section at (301-206-8650) or visit our website at <https://www.wsscwater.com/business--construction/developmentconstruction-services.html> for requirements. For information regarding connections or Site Utility (on-site) reviews, you may visit or contact WSSC's Permit Services Section at (301) 206-4003.

----- 0 Replies -----

3 - General comments

Created by: Jonathan Madagu
On: 03/17/2022 04:06 PM

1. Existing water and sewer mains shown on plan should be labeled with correct pipe size, material and WSSC contract number.
2. Show and label easement limits on plan for all existing and proposed water mains.
3. A proposed site development project was previously submitted to WSSC DA7222Z21 and is a conceptually project. Contact Jonathan Madagu at (301) 206-8642 or Jonathan.Madagu@wsscwater.com for information.

----- 0 Replies -----



COMMISSIONERS
Howard A. Denis, Chair
Keith E. Bell, Vice Chair
Fausto R. Bayonet
T. Eloise Foster
Chris Lawson
Sandra L. Thompson

GENERAL MANAGER
Carla A. Reid

7/27/2021

ARLAND
C/o Anthony Piscitelli
P.O. Box 25523
Washington D.C. 20027

Re: Letter of Findings WSSC Project No. DA7222Z21, Arcland Self-Storage

Dear Mr. Piscitelli:

A hydraulic planning analysis has been completed on the Arcland Self Storage project. The project has been conceptually approved. Please refer to the enclosed 200'-scale sketch along with the summary table and list of conditions included in this letter, which provide the results of our analysis.

HYDRAULIC SUMMARY TABLE	
Proposed Development: 116,283 Square foot Self- Storage	
200-ft Sheet: 211 SE 07	
SEWER	WATER
WWTP Service Area: Piscataway	Hydraulic Zone Group: Prince George's High
Mini-Basin Number: 04-033	Pressure Zone: 385B
	High Grade: 390 feet
	Low Grade: 350 feet

The following is a list of conditions that apply to this project and must be met before a Service Connection Permit will be issued under the Applicant Built process

PROPERTY WILL BE ASSESSED

If a connection to an existing WSSC-built main line extension is made, a front-foot-benefit assessment and any deferred connection costs will be levied against the property served. A yearly charge will appear on your County property tax bill for a set period of time -- currently 23 years. For details contact the Property Assessment Unit on 301-206-8032.

MANDATORY REFERRAL PROCESS

This project may be subject to the Maryland-National Capital Park and Planning Commission's Mandatory Referral Program, depending on its planned water / sewer infrastructures and associated appurtenances. It is the Applicant's responsibility to contact the appropriate County's Department of Park and Planning for specific guidance and their standards for Mandatory Referral Review. During Phase 2 Design Review, WSSC must be notified, if the project is subject to the Mandatory Referral Process.

REQUIRED SANITARY SEWER MAIN SIZES

All sewer shall be 8-inch diameter gravity sewer.

LARGE DIAMETER WATER MAINS IN THE VICINITY

There is a 16-inch diameter water main located in the vicinity of this project. WSSC records indicate that the pipe material is Cast Iron (CI)

Prior to submittal of Phase 2 System Integrity review, it is the applicant's responsibility to test pit the line and determine its exact horizontal and vertical location as well as to verify the type of pipe material. **The applicant's engineer is responsible for coordinating with WSSC for monitoring and inspecting test pits for this project.** Results of the test pit findings must be accurately depicted on ALL Phase 2 plan submittals and support documents.

Please refer to the latest WSSC Pipeline Design Manual, Part 3, Section 11, Loading Analysis, for additional general information and guidance.

WATER AVAILABLE

An existing water main is available to provide service to this project. Water service may be obtained by constructing service connections without a public extension. Each property connecting to the existing lines will be assessed at the rate prevailing at the time of the main's construction (see "PROPERTY WILL BE ASSESSED" above).

INSUFFICIENT WATER PRESSURE

Booster pumps may be required. Water main pressures fluctuate. The pressure may be lower than 40 psi at elevations greater than 258 feet.

OUTSIDE METERS

For commercial water service connections, built to serve a standard or minor site utility (on-site) system over 80 feet in length, WSSC would prefer an outside meter in a vault, however an indoor meter may be allowed under certain conditions.

USE OF MASTER METERS FOR RESIDENTIAL UNITS IN PRINCE GEORGE'S COUNTY

Pursuant to HB218, which was enacted June 1, 2018, condominium or cooperative ownership property projects located in Prince George's County may not be served by a master meter for billing purposes. Each unit shall be provided with a separate billing meter. Any SU, MSU, SEP or Plumbing Plan that has not been submitted prior to this date is required to follow the new law, unless it is associated with a grandfathered HPA or SEP project. See the 2019 WSSC PLUMBING & FUEL GAS CODE for more information.

EASEMENT CONDITIONS

GENERAL

WSSC easements must be free and clear of other utilities, including storm drain systems, ESD devices, gas, electric, telephone, CATV, etc., with the exception of allowed crossings designed in accordance with the WSSC Pipeline Design Manual. Landscaping and Hardscaping are also not allowed without approval. Under certain conditions (and by special request) the items listed above may be permitted within the WSSC easement. However, this will be evaluated on a case by case basis and if allowed, will require execution of a special agreement and/or Hold Harmless Agreement between WSSC and the developer.

COORDINATION WITH OTHER BURIED UTILITIES

Refer to the latest WSSC Pipeline Design Manual Pages G-1 and G-2 for utility coordination requirements. No structures or utilities (manholes, vaults, pipelines, poles, conduits, etc.) are permitted in the WSSC easement unless specifically approved by WSSC. Longitudinal occupancy of WSSC easements (by other utilities) is not permitted. Proposed utility crossings of WSSC pipelines or easements that do not adhere to WSSC's pipeline crossing and clearance standards will be rejected at the design plan review phase. Refer to the latest WSSC Pipeline Design Manual Part Three, Section 3. Failure to adhere to WSSC crossing and clearance standards may result in significant impacts to the development plan including impacts to proposed street and building layouts.

The applicant must provide a separate "Utility Plan" to ensure that all existing and proposed site utilities have been properly coordinated with existing and proposed WSSC facilities and easements. Upon completion of the site construction, any utilities that are found to be located within WSSC's easements (or in conflict with WSSC pipelines) must be removed and relocated at the applicant's expense.

IMPACTS DUE TO GRADING / PIPE LOADING CHANGES

Any grading, change in pipe loading (including but not limited to proposed fill or excavation), adjustment to manhole rims, fire hydrant relocations, placement of access roads or temporary haul roads, temporary sediment control devices, paving construction or construction related activity of any kind over an existing WSSC water or sewer main or within an existing WSSC easement requires **advance approval** by WSSC. Any proposed public street grade establishment plan (GEP) with an existing WSSC water or sewer main of any size located within the existing or proposed public street easement requires WSSC approval directly on the original GEP **prior to** approval of the GEP by the County Department of Public Works and Transportation. Any work (design, inspection, repair, adjustment, relocation, or abandonment) of existing WSSC facilities is done at the sole expense of the applicant / builder / developer. For Relocations work associated with a Systems Extension Project or a Site Utility Project, contact the Development Services Division. Please arrange for this review before plan submittal. See WSSC Design Manual C-11.

PROVIDE FREE EASEMENT TO WSSC

Easements across your property for water and sewer line placement must be provided at no cost to the WSSC. The Applicant shall execute and deliver on-property easements prior to plan approval in accordance with the Development Services Code, which shall constitute an irrevocable offer by the Applicant to convey all on-property easements to WSSC.

CONNECTION AND SITE UTILITY CONDITIONS

SITE UTILITY PROCESS REQUIRED

The Site Utility process is usually required for water lines greater than 2 inches in diameter or sewer lines greater than 4 inches. Contact Permit Services at 301-206-8650 or at www.wsscwater.com for more information on electronic submittal of Site Utility plans

SHARED SERVICE CONNECTIONS SERVING MULTIPLE PROPERTY OWNERS.

A shared service connection may be allowed when multiple properties or buildings are under separate ownership but located on a common tract of land. The arrangement must be recorded in a Shared Site Utility System Agreement and approved by a WSSC Code Official. The following conditions are required for approval by WSSC:

- Recordation of the necessary covenants and easements for maintenance of the shared site utility system.
- An accessible outside water meter for each water service connection. All WSSC water meters serving the shared site utility system shall be billed to a single account.
- Design to facilitate the sharing of water service connection(s) **and** sewer service connection(s); where only the minimum number of services needed shall be allowed.
- Further division of water and sewer billing obligations shall be a private matter between the property owners, lessees, and tenants and may be accomplished through "private" metering.

COVENANT REQUIRED

In general, where multiple properties or buildings under single ownership are served by water and sewer services connections as allowed or required, a covenant shall be submitted for the Commission's approval. The covenant shall require the property owner to notify the Commission prior to any

subdivision or sale of any or all of the properties covered by the covenant. Such action may require the property owner to obtain separate water and sewer connections or a Shared Site Utility System Agreement.

ENVIRONMENTAL CONDITIONS

The applicant must resolve all environmental issues directly with the Environmental reviewer. All outstanding environmental issues must be resolved prior to the Design Phase.

The next step in the process is Phase 2, Review for System Integrity. Contact Permit Services at 301-206-8650 or at www.wsscwater.com for more information on electronic submittal of System Integrity Review Packages. Should you wish to schedule a pre-design meeting, please contact Jonathan Madagu at (301) 206-8642 or Jonathan.madagu@wsscwater.com.

This Letter of Findings will expire if no “actions” are taken by the applicant over the 3-year period following the date of this letter. For definition of “actions”, see the latest Development Services Code, Section 405.1.1.

If you have any questions or concerns, please feel free to contact me at 301-206-8642 or Jonathan.Madagu@wsscwater.com.

Sincerely,



Jonathan Madagu

Project Manager

Development Services Division

Enclosure: 200'-scale sketch

cc: Nicholas Speech- BOHLER Engineering
Mr. Fred Mejias (Fred.Mejias@wsscwater.com) - Development Section Manager
Ms. Shirley Branch (sabbranch@co.pg.md.us) - Department of Permitting, Inspections & Enforcement (DPIE)

bcc: #DSGIntake
Accounting Division
Planning Division
DSD GIS Technician
Development Service

TEMPLATE LAYOUT CURRENT as of: 05/14/2020

SERVICE CATEGORIES	
W - 3	S - 3
HYDRAULIC GRADES	
HHG	390
LHG	350
PRESSURE ZONE	
385B	

DEVELOPMENT BY PARTS	
PART	Self-storage Building GSF
1	116,283
TOTAL =	116,283

WASHINGTON SUBURBAN SANITARY COMMISSION

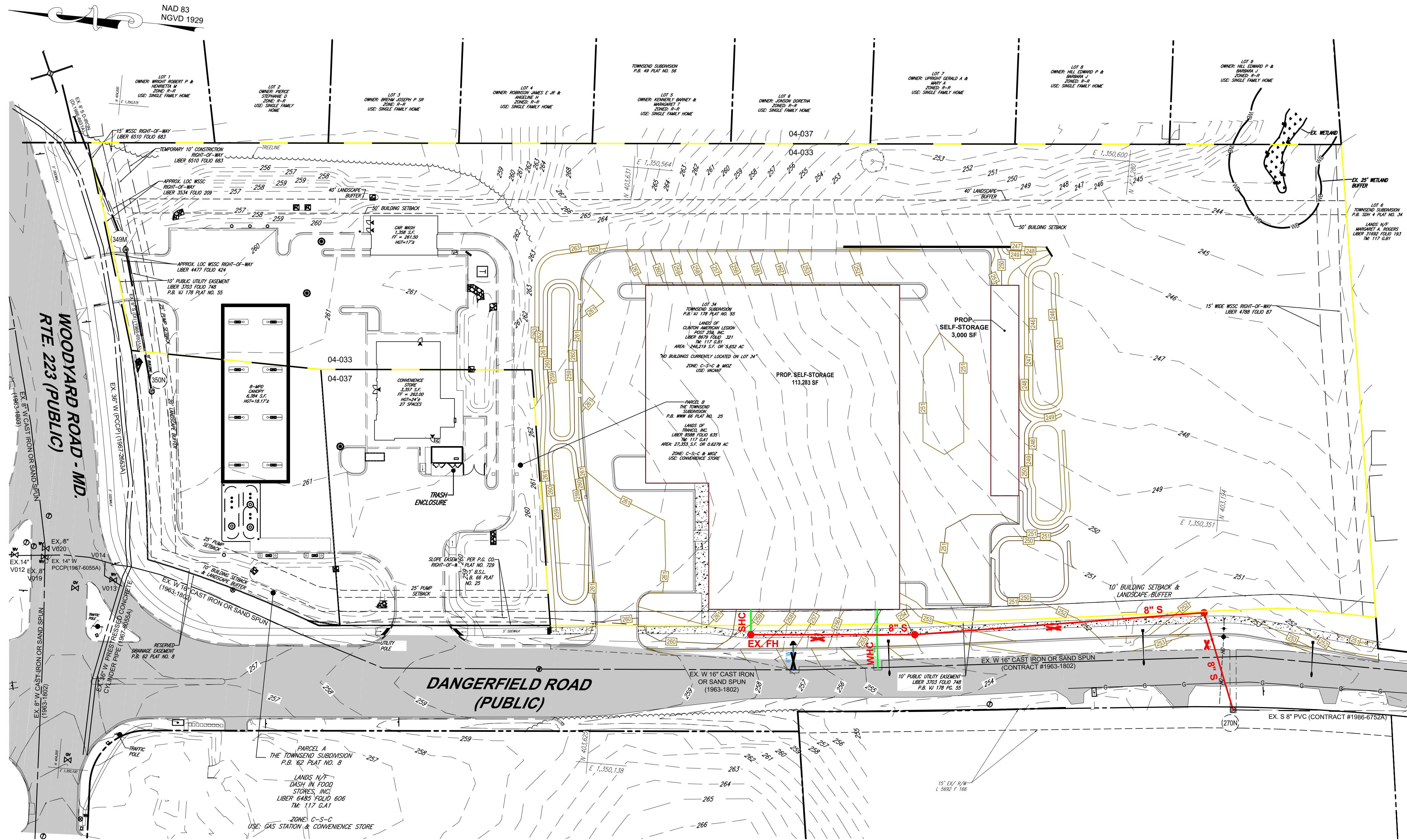


ENGINEER:
NAME: BOHLER ENGINEERING
REGISTRATION #: 40263
CONTACT: NICHOLAS SPEACH, P.E.
ADDRESS: 16701 MELFORD BLVD, BOWIE, MD
PHONE: 301-809-4500
EMAIL: NSPEACH@BOHLERENG.COM

APPLICANT:
NAME: ARCLAND
CONTACT: ANTHONY PISCITELLI
ADDRESS: P.O. BOX 25523 WASHINGTON D.C. 20027
PHONE: 202-243-7523
EMAIL: ANTHONY@ARCLAND

PISCATAWAY CREEK 04-033
HYDRAULIC PLANNING ANALYSIS
ARCLAND SELF-STORAGE

CONTRACT DA7222Z21
200'S 211SE07 04/30/2021



NAD 83
NGVD 1929



VICINITY MAP
SCALE 1"=200'
PRINCE GEORGE'S Co. PAGE 5767 GRID B7

- LEGEND**
- APPLICANT'S PROPERTY
 - MNCPPC, MARYLAND PARK SERVICE, NATIONAL PARK SERVICE, AND BOARD OF EDUCATION PROPERTY
 - ADJACENT PROPERTIES
 - EXISTING WATER MAINS (CONTRACT # & SIZE)
 - EXISTING SEWER MAINS (CONTRACT # & SIZE)
 - PROPOSED WATER MAINS
 - PROPOSED SEWER MAINS
 - PROPOSED LOW PRESSURE SEWER/ FORCE MAIN
 - PROPOSED ON-SITE WATER & SITE UTILITY CONNECTIONS
 - PROPOSED ON-SITE SEWER & SITE UTILITY CONNECTIONS
 - EXISTING BUILDINGS
 - PROPOSED BUILDINGS
 - STREET NAME ROAD NAMES
 - EXISTING PAVING
 - ESMT EXISTING / PROPOSED EASEMENTS
 - PROPOSED 10' CONTOURS
 - PROPOSED 2' CONTOURS
 - EXISTING 10' CONTOURS
 - EXISTING 2' CONTOURS
 - PROPOSED HIGH/LOW POINT ELEVATIONS

APPROVED
J. Madaya
7/27/2021

GRAPHIC SCALE
40' 20' 0' 40'
1" = 40'



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

14741 Governor Oden Bowie Drive
Upper Marlboro, Maryland 20772
TTY: (301) 952-3796

Prince George's County Planning Department
Development Review Division

URBAN DESIGN SECTION - SDRC MAJOR ISSUES

APPLICATION NUMBER & NAME: **DSP-21019 Arcland Self Storage**

SDRC DATE: 3/18/2022

URBAN DESIGN REVIEWER: Tierre Butler

ZONING: C-S-C

PREVIOUS APPROVALS: YES

DSP REQUIRED: ☒ YES ☐ NO

REASON FOR DSP: New development

ZONING ORDINANCE CONFORMANCE:

Sections 27-454 requirements for the C-S-C zone as applicable.

-Part 11 Off-Street Parking and Loading, and

-Part 12 Signs.

PREVIOUS APPROVALS CONFORMANCE:

PPS-4-21011

LANDSCAPE MANUAL CONFORMANCE:

The proposed development is subject to the provisions of the 2010 Prince George's County Landscape Manual (Landscape Manual). Conformance with the following requirements of the Landscape Manual:

Section 4.2, Requirements for Landscape Strips Along Streets; Section 4.3, Parking Lot Requirements; Section 4.4, Screening Requirements; Section 4.6, Buffering Development from Streets; Section 4.7, Buffering Incompatible Uses; Section 4.9, Sustainable Landscaping Requirements.

TREE CANOPY COVERAGE CONFORMANCE:

Subtitle 25, Division 3, the Tree Canopy Coverage Ordinance, requires a minimum percentage of tree canopy coverage (TCC) on projects that require a grading permit. Properties that are zoned C-S-C are required to provide a minimum of 10 percent of the gross tract area in TCC.

MAJOR ISSUES:

1. Revise the SOJ to ensure that it is consistent with the plans.
2. Add a note under general notes referencing that the site is located in the M-I-O zone.
3. Add a note on the plan to reference the building height.
4. Add dimensions to the proposed vertical pivot gate on the detail sheet.
5. The landscape sheet is missing landscape schedule for 4.4 (screening requirements) Additionally provide additional landscaping to screen the loading spaces from danferfield road and the residential zone across the street.
6. There is a monument sign shown on the elevation but there is no reference to it on the site plan or detail sheet. Show the location of the monument sign on the site plan. Update the signage information under the general notes to reflect the sign.
7. Provide details for the proposed bike racks.

NOTE: *Major revisions to the reviewed plans may result in additional comments.*

DEMOLITION/REMOVAL LEGEND	
DEMOLITION/REMOVAL NOTE	TYPICAL NOTE TEXT
-----E-----	EASEMENT
-----C-----	CONCRETE CURB & GUTTER
-----P-----	UTILITY POLE WITH LIGHT
-----L-----	POLE LIGHT
-----T-----	TRAFFIC LIGHT
-----U-----	UTILITY POLE
-----S-----	TYPICAL LIGHT
-----A-----	ACORN LIGHT
-----T-----	TYPICAL SIGN
-----P-----	PARKING COUNTS
-----S-----	SPOT ELEVATIONS
-----L-----	SANITARY LABEL
-----S-----	GAS VALVE
-----L-----	STORM LABEL
-----S-----	SANITARY SEWER LATERAL

DEMOLITION/REMOVAL LEGEND	
DEMOLITION/REMOVAL NOTE	TYPICAL NOTE TEXT
-----E-----	UNDERGROUND WATER LINE
-----C-----	UNDERGROUND ELECTRIC LINE
-----OH-----	OVERHEAD WIRE
-----T-----	UNDERGROUND TELEPHONE LINE
-----C-----	UNDERGROUND CABLE LINE
-----S-----	STORM SEWER
-----S-----	SANITARY SEWER MAIN
-----H-----	HYDRANT
-----S-----	SANITARY MANHOLE
-----D-----	STORM MANHOLE
-----WM-----	WATER METER
-----W-----	WATER VALVE
-----G-----	GAS VALVE
-----G-----	GAS METER

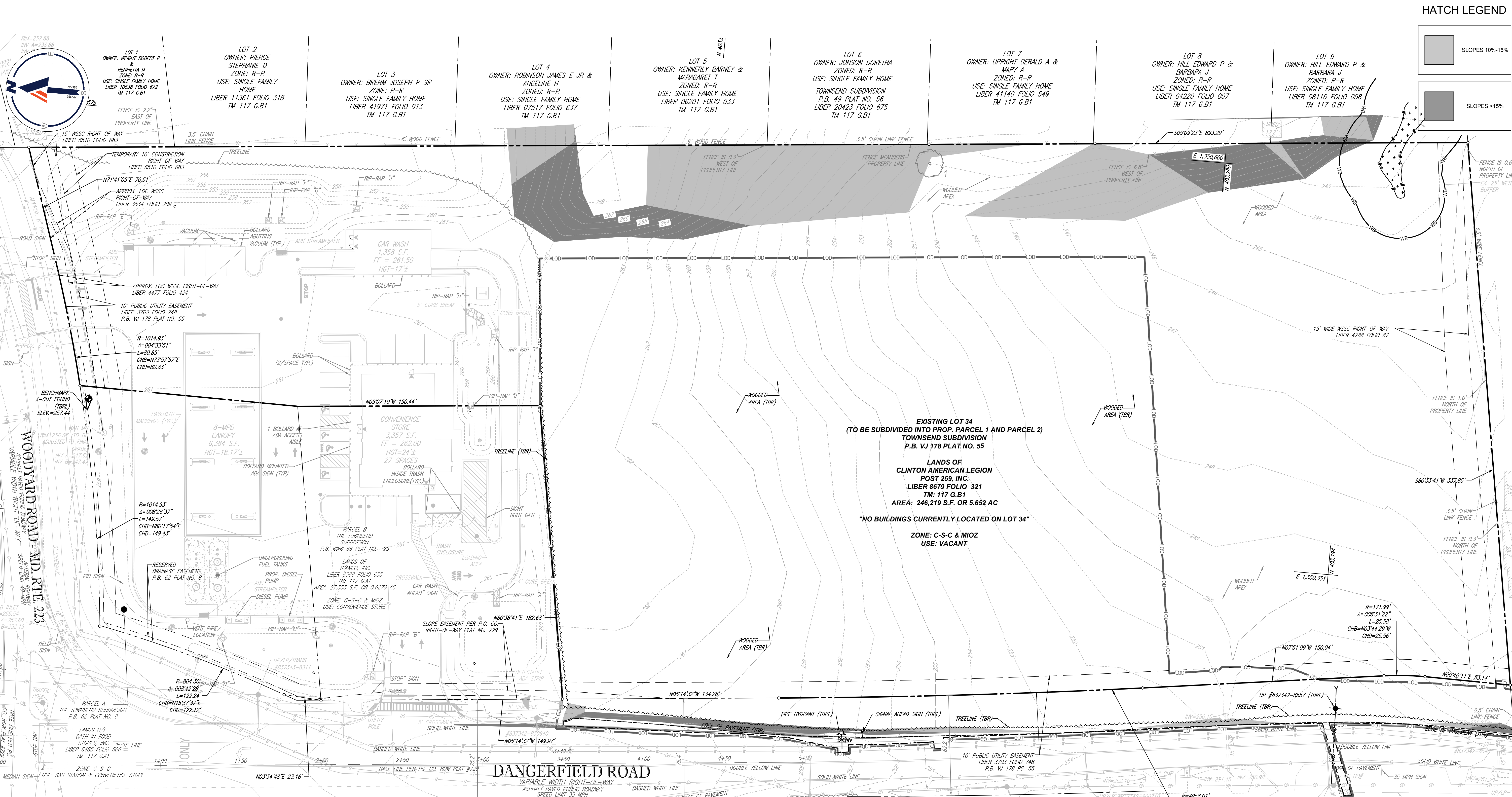
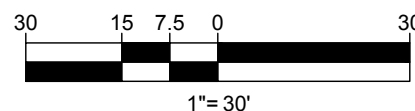
NOTES:

- PROPERTY IS LOT 34, TOWNSEND SUBDIVISION AS RECORDED IN PLAT BOOK VJ 178 PLAT 55 AND BEING THE LANDS OF CLINTON AMERICAN LEGION POST 259, INC. AS RECORDED IN LIBER VJ NO. 8679 FOLIO 321. ALL AMONG THE LAND RECORDS OF PRINCE GEORGE'S COUNTY, MARYLAND AND HAVING A TAX MAP NUMBER OF 117-81-00-8665 AND 117-A1-00-8610 PER THE DEPARTMENT OF ASSESSMENTS.
- AREA = 245,938 SQUARE FEET OR 5.646 ACRES (MEASURED)
246,219 SQUARE FEET OR 5.652 ACRES (RECORDED)
- LOCATION OF ALL UNDERGROUND UTILITIES ARE APPROXIMATE. SOURCE INFORMATION FROM PLANS AND MARKINGS HAS BEEN COMBINED WITH OBSERVED EVIDENCE OF UTILITIES TO DEVELOP A VIEW OF THOSE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION MAY BE NECESSARY.
- THIS FIELD SURVEY WAS PERFORMED UTILIZING THE REFERENCE MATERIAL AS LISTED HEREON AND DEPICTS BUILDINGS, STRUCTURES AND OTHER IMPROVEMENTS THEREON, ON AUGUST 17, 2016, BY BOHLER ENGINEERING.
- THIS SURVEY IS PREPARED WITH REFERENCE TO A COMMITMENT FOR TITLE INSURANCE PREPARED BY STEWART TITLE GUARANTY COMPANY, COMMITMENT NO. 16000360148, WITH AN EFFECTIVE DATE OF JULY 5, 2016. OUR OFFICE HAS REVIEWED THE FOLLOWING SURVEY RELATED EXCEPTIONS IN SCHEDULE B, SECTION II FOR LOT 34:
4. SUBJECT TO THE TERMS AND CONDITIONS SET FORTH IN A DEED DATED OCTOBER 13, 1938 BY WILLIAM R. THOMPSON AND ETTA E. THOMPSON, RECORDED AMONG THE LAND RECORDS OF PRINCE GEORGE'S COUNTY, MARYLAND IN LIBER 518, FOLIO 119: **MAY AFFECT LOT 34, VAGUE AND INSUFFICIENT INFORMATION IN RECORD DOCUMENT.**
- SUBJECT TO THE TERMS AND CONDITIONS SET FORTH IN A RIGHT OF WAY DATED APRIL 8, 1964 BY AND BETWEEN WILLIAM R. THOMPSON AND ETTA E. SHERRY THOMPSON, AND THE WASHINGTON SUBURBAN SANITARY COMMISSION, A PUBLIC CORPORATION OF THE STATE OF MARYLAND RECORDED

- AMONG THE LAND RECORDS OF PRINCE GEORGE'S COUNTY, MARYLAND IN LIBER WWW NO. 2968, FOLIO 379: **DOES NOT AFFECT LOT 34, EASEMENT IS WITHIN THE EXISTING RIGHT-OF-WAY.**
- SUBJECT TO THE TERMS AND CONDITIONS SET FORTH IN A DEED DATED MAY 27, 1966 BY AND BETWEEN ELI BUSADA, SR., NELLIE BUSADA, HIS WIFE, AND JOSEPH D. SCHIATTAREGGIA RECORDED AMONG THE LAND RECORDS OF PRINCE GEORGE'S COUNTY, MARYLAND IN LIBER WWW NO. 3380, FOLIO 124: **MAY AFFECT LOT 34, REFERENCE PLAT WAS NOT PROVIDED.**
- SUBJECT TO THE TERMS AND CONDITIONS SET FORTH IN A DATED MAY 27, 1966 BY AND BETWEEN ELI BUSADA, SR., NELLIE BUSADA, HIS WIFE, AND JOSEPH D. SCHIATTAREGGIA RECORDED AMONG THE LAND RECORDS OF PRINCE GEORGE'S COUNTY, MARYLAND IN LIBER WWW NO. 3380, FOLIO 130: **DOES NOT AFFECT LOT 34, EASEMENT IS WITHIN THE EXISTING RIGHT-OF-WAY.**
- SUBJECT TO THE TERMS AND CONDITIONS SET FORTH IN A RIGHT OF WAY DATED NOVEMBER 13, 1967 BY AND BETWEEN ELI BUSADA, SR., NELLIE BUSADA, HIS WIFE, AND JOSEPH D. SCHIATTAREGGIA, AS TRUSTEE RECORDED AMONG THE LAND RECORDS OF PRINCE GEORGE'S COUNTY, MARYLAND IN LIBER WWW NO. 3534, FOLIO 209: **AFFECTS LOT 34, APPROXIMATE LOCATION SHOWN.**
- SUBJECT TO THE TERMS AND CONDITIONS SET FORTH IN A DECLARATION OF TERMS AND PROVISIONS OF PUBLIC UTILITY EASEMENTS DATED MARCH 11, 1969 BY THE POTOMAC ELECTRIC POWER COMPANY, THE CHESAPEAKE AND POTOMAC TELEPHONE COMPANY OF MARYLAND, WASHINGTON GAS LIGHT COMPANY, SOUTHERN MARYLAND ELECTRIC COOPERATIVE, INC., AND BALTIMORE GAS AND ELECTRIC COMPANY, RECORDED AMONG THE LAND RECORDS OF PRINCE GEORGE'S COUNTY, MARYLAND IN LIBER WWW NO. 3703, FOLIO 748: **AFFECT LOT 34, PUBLIC UTILITY EASEMENT IS SHOWN.**
- SUBJECT TO THE TERMS AND CONDITIONS SET FORTH IN A RIGHT OF WAY DATED APRIL 4, 1975 BY AND BETWEEN ELI BUSADA, SR., NELLIE BUSADA, HIS WIFE, AND JOSEPH D. SCHIATTAREGGIA, AS TRUSTEE RECORDED AMONG THE LAND RECORDS OF PRINCE GEORGE'S COUNTY, MARYLAND IN LIBER CEC NO. 4477, FOLIO 424: **AFFECT LOT 34, REMAINDER OF EASEMENT IS SHOWN.**
- SUBJECT TO THE TERMS AND CONDITIONS SET FORTH IN A DEED DATED MAY 10, 1977 BY AND BETWEEN ELI BUSADA, SR., NELLIE BUSADA, HIS WIFE, AND JOSEPH D. SCHIATTAREGGIA, AS TRUSTEE RECORDED AMONG THE LAND RECORDS OF PRINCE GEORGE'S COUNTY, MARYLAND IN LIBER NLP NO. 6510, FOLIO 683: **AFFECT LOT 34, SHOWN.**
- SUBJECT TO THE TERMS AND CONDITIONS SET FORTH IN A RIGHT OF WAY DATED DECEMBER 11, 1986 BY AND BETWEEN JOSEPH D. SCHIATTAREGGIA, ET AL., RECORDED AMONG THE LAND RECORDS OF PRINCE GEORGE'S COUNTY, MARYLAND IN LIBER NLP NO. 6510, FOLIO 683: **AFFECT LOT 34, SHOWN.**
- SUBJECT TO ALL MATTERS CONTAINED IN THE FOLLOWING PLATS, RECORDED AMONG THE LAND RECORDS OF PRINCE GEORGE'S COUNTY, MARYLAND:
A. PLAT ENTITLED, "THE TOWNSEND SUBDIVISION SURREATTS DISTRICT PRINCE GEORGE'S COUNTY, MARYLAND" RECORDED AT PLAT BOOK 4, FOLIO 34; **NO MATTERS SHOWN.**
B. PLAT ENTITLED, "PARCEL A BUSADA ADDITION TO THE TOWNSEND SUBDIVISION BEING A RESUBDIVISION OF PART OF LOT 4 SDH 4/34" RECORDED AT PLAT BOOK 66, FOLIO 8; **DOES NOT AFFECT LOT 34, AFFECTS PARCEL A.**
C. PLAT ENTITLED, "PARCEL B BUSADA ADDITION TO THE TOWNSEND SUBDIVISION BEING A RESUBDIVISION OF PART OF LOT 4 SDH 4/34" RECORDED AT PLAT BOOK 66, FOLIO 25; **DOES NOT AFFECT LOT 34, AFFECTS PARCEL B.**
D. PLAT ENTITLED "LOT 34 A RESUBDIVISION OF PART OF LOT 4, TOWNSEND SUBDIVISION" RECORDED AT PLAT BOOK VJ NO. 178, FOLIO 55; **AFFECTS LOT 34, PLOTTABLE ITEMS ARE SHOWN.**
E. THERE ARE UNDERGROUND GAS TANKS WITHIN PARCEL A APPROXIMATELY SHOWN HEREON.
F. ELEVATIONS ARE BASED ON NGVD 29 DATUM, PER GPS OBSERVATION AND TIED INTO WSSC BENCHMARK STATION 18312, WITH A PUBLISHED ELEVATION OF 244.4 FEET.
G. THE PROPERTY IS LOCATED IN ZONE C (AREAS OF MINIMAL FLOODING) PER MAP ENTITLED "FIRM, FLOOD INSURANCE RATE MAP, PRINCE GEORGE'S COUNTY, MARYLAND, UNINCORPORATED AREAS, PANEL 80 OF 120", COMMUNITY-PANEL NUMBER 245208 0080 D, WITH A MAP REVISED DATE OF SEPTEMBER 6, 1996.
H. ZONING: C-S-C (COMMERCIAL SHOPPING CENTER)

- 4788, FOLIO 87, AFFECT LOT 34, SHOWN.
- SUBJECT TO THE TERMS AND CONDITIONS SET FORTH IN A RIGHT OF WAY DATED DECEMBER 11, 1986 BY AND BETWEEN JOSEPH D. SCHIATTAREGGIA, ET AL., RECORDED AMONG THE LAND RECORDS OF PRINCE GEORGE'S COUNTY, MARYLAND IN LIBER NLP NO. 6510, FOLIO 683: **AFFECT LOT 34, SHOWN.**
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H. ZONING: C-S-C (COMMERCIAL SHOPPING CENTER)

- BUILDING SETBACKS
FRONT: 10 FEET PLUS AN ADDITIONAL SETBACK EQUAL TO ONE THIRD (1/3) OF THE TOTAL BUILDING HEIGHT IF THE BUILDING IS THIRTY (30) OR MORE FEET HIGH.
SIDE: 0 FEET (ADJACENT TO COMMERCIAL ZONE) PLUS AN ADDITIONAL SETBACK EQUAL TO ONE THIRD (1/3) OF THE TOTAL BUILDING HEIGHT IF THE BUILDING IS THIRTY (30) OR MORE FEET HIGH OR THE BUFFER REQUIRED IN THE LANDSCAPE MANUAL IF GREATER.
REAR: 0 FEET (ADJACENT TO COMMERCIAL ZONE) PLUS AN ADDITIONAL SETBACK EQUAL TO ONE THIRD (1/3) OF THE TOTAL BUILDING HEIGHT IF THE BUILDING IS THIRTY (30) OR MORE FEET HIGH OR THE BUFFER REQUIRED IN THE LANDSCAPE MANUAL IF GREATER.
- ALL ZONING INFORMATION WAS PROVIDED IN A ZONING MEMORANDUM PREPARED BY BOHLER ENGINEERING, DATED AUGUST 23, 2016 AND MUST BE VERIFIED PRIOR TO USE OR RELIANCE UPON SAME, TO CONFIRM THE ZONING INFORMATION REPRESENTS AND DEPICTS THE CURRENT SITE SPECIFIC INFORMATION. SHOULD THERE BE ANY CHANGE IN USE, SETBACK(S) OR SET BACK REQUIREMENTS, ZONING CLASSIFICATION, OR ANY OTHER CHANGE OR VARIATION FROM THE CONDITIONS RECORDED HEREIN, THE CLIENT MUST VERIFY COMPLIANCE WITH THE USE, SET BACK, ZONING CLASSIFICATION OR ORDINANCE, REGULATION OR LEGAL REQUIREMENT, PRIOR TO USING OR RELYING UPON THE FINDINGS RECORDED HEREIN, OR REFERRING SAME AS RELATED TO THE PROPERTY, PROJECT OR DEVELOPMENT.



BOHLER
SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS				
REV	DATE	COMMENT	PER MNCPPC COMMENTS	DRAWN BY
1	1/11/22			LMT
				MGNS

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PROJECT No.: MB202090
DRAWN BY: LMT
CHECKED BY: NBS
DATE: 07/15/2021
CAD ID: DEMO

DETAILED SITE PLAN
FOR
ARCLAND SELF STORAGE
PROPOSED DEVELOPMENT
8310 DANGERFIELD RD.
PRINCE GEORGE'S COUNTY
CLINTON, MD 20735
TM: 117 GRID; B1 LOT: 34

BOHLER
16701 Melford Blvd., Suite 310
Bowie, Maryland 20715
Phone: (301) 809-4500
Fax: (301) 809-4501
MD@BohlerEng.com

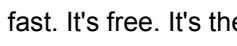
N. B. SPEACH
PROFESSIONAL ENGINEER
MARYLAND LICENSE NO. 334 / 2022
I, N. B. SPEACH, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A QUALIFIED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 33455 EXPIRATION DATE: 01/01/2023

SHEET TITLE:
EXISTING CONDITIONS/DEMOLITION PLAN
SHEET NUMBER:
DSP-3
REVISION 1 - 02/09/2021



THE INFORMATION, DESIGN AND CONTENT OF THIS PLAN ARE PROPRIETARY AND SHALL NOT BE COPIED OR USED FOR ANY PURPOSE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM ICHLOR. ONLY APPROVED, SIGNED AND SEALED PLANS SHALL BE UTILIZED FOR CONSTRUCTION PURPOSES.

DRAWN BY _____
CHECKED BY _____
LM
MG/



ENCY
UCTI

020
LI
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5/20
SI

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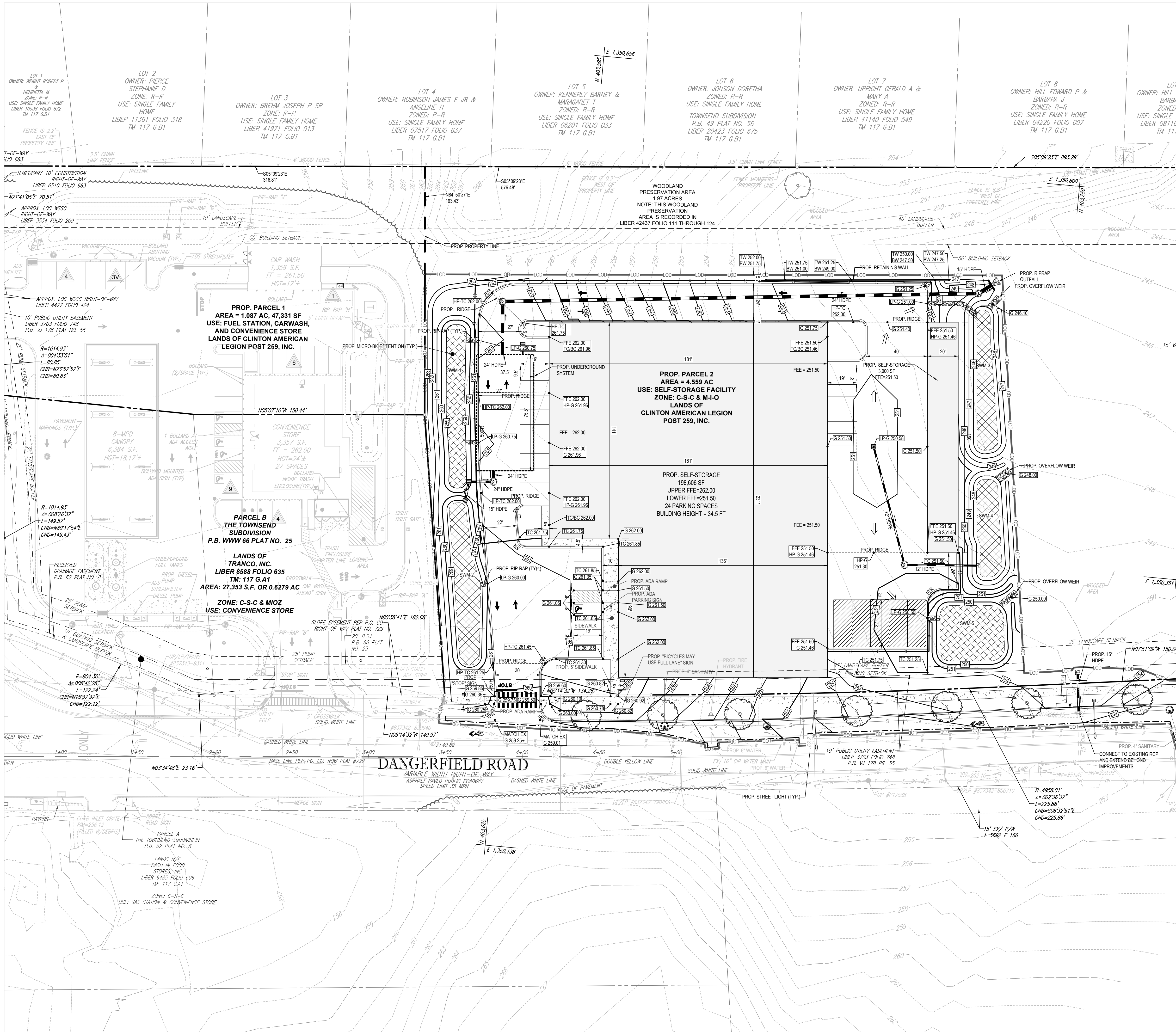
11

20:

USE
E, AM
NEEP
D,
2023

100

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LEGEND

CONCRETE SIDEWALK	
CONCRETE PAVEMENT	
MICRO-BIORETENTION FACILITY	

DISTURBANCE ANALYSIS:

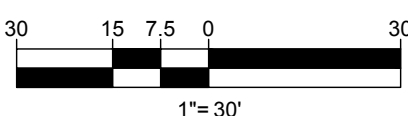
TOTAL DISTURBED AREA: 96,960 SF OR 2.23 AC.
PROPOSED IMPERVIOUS AREA: 84.3 %

VOLUME OF SPOIL MATERIAL: 3030 CY
VOLUME OF BORROW MATERIAL: 898 CY
NET CUT/FILL: CUT 2132 CY

NOTE: VOLUMES ARE APPROXIMATE AND SHOULD NOT BE USED FOR BIDDING.

NOTE: OFFSITE BORROW OR SPOIL AREAS MUST HAVE AN APPROVED AND ACTIVE EROSION AND SEDIMENT CONTROL PLAN.

CONTRACTOR TO ENSURE TWO BENCHMARKS IN PLACE AFTER CONSTRUCTION. IF TWO BENCHMARKS ARE NOT PRESENT CONTRACTOR TO ESTABLISH AS NECESSARY.



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PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
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REVISIONS

REV	DATE	COMMENT	DRAWN BY
1	1/11/22	PER MNCPPC COMMENTS	LMT



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PROJECT No.: MB202090
DRAWN BY: LMT
CHECKED BY: NBS
DATE: 07/15/2021
CAD ID: GRAD

DETAILED SITE PLAN

FOR

ARCLAND SELF STORAGE

PROPOSED DEVELOPMENT

8310 DANGERFIELD RD.
PRINCE GEORGE'S COUNTY
CLINTON, MD 20735
TM: 117 GRID: B1 LOT: 34

BOHLER

16701 MELFORD BLVD., SUITE 310
BOWIE, MARYLAND 20715
Phone: (301) 809-4500
Fax: (301) 809-4501
MD@BohlerEng.com

N. B. SPEACH

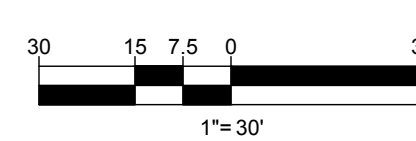
PROFESSIONAL ENGINEER
PROFESSIONAL CERTIFICATION
I, NICHOLAS B. SPEACH, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A QUALIFIED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 48853 EXPIRATION DATE: 09/14/2023

GRADING/ STORMDRAIN AND PAVING PLAN

SHEET NUMBER:

DSP-5

REVISION 1 - 02/09/2021



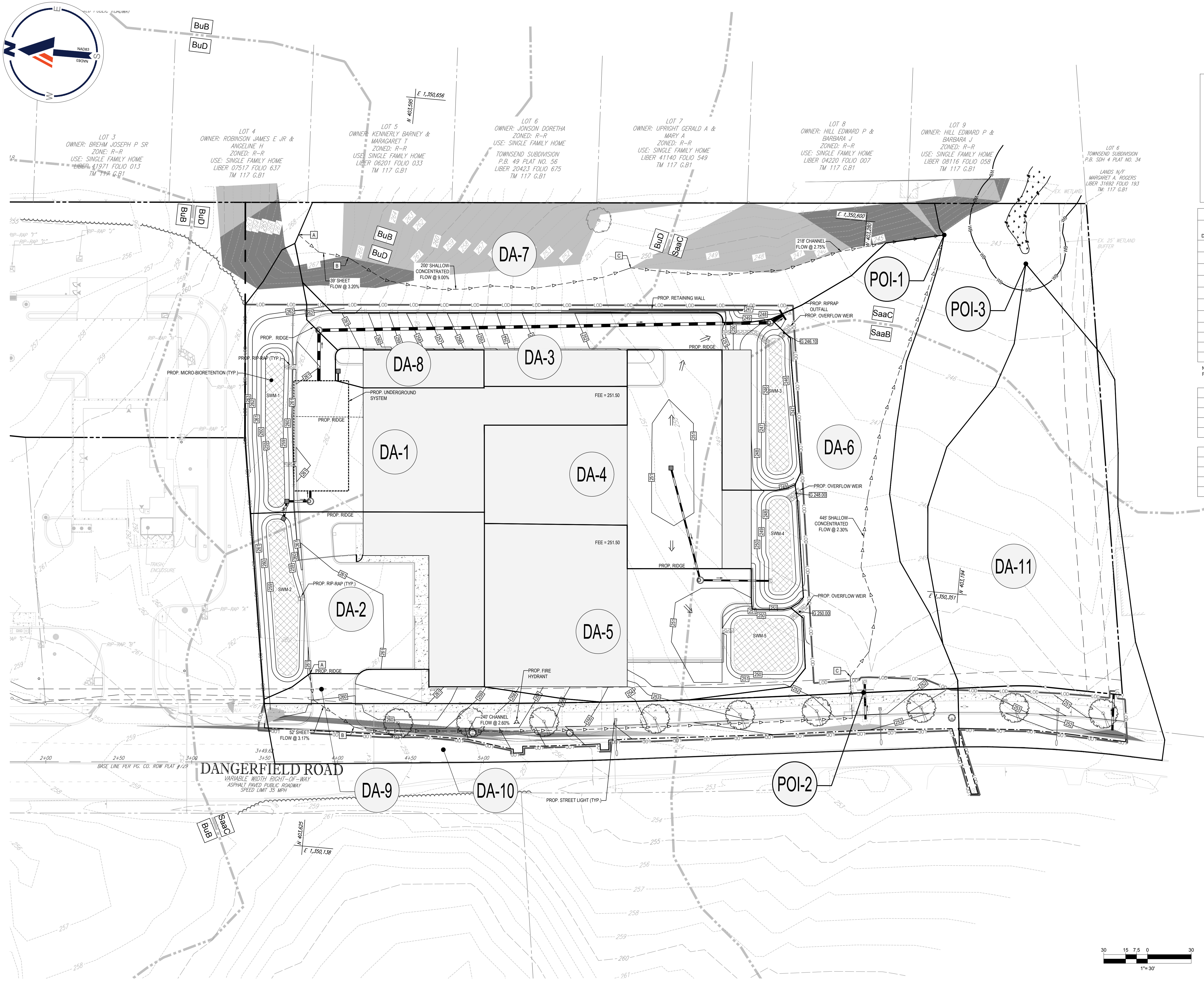
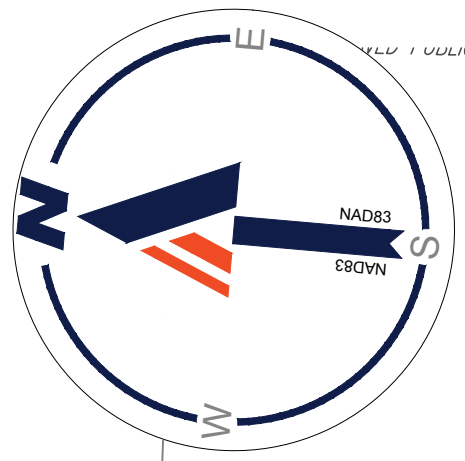
SHEET TITLE:

**PRE-
DEVELOPMENT
DRAINAGE
AREAS**

SHEET NUMBER:

DSP-6

REVISION 1 - 02/09/2021



LEGEND:

PROPOSED DRAINAGE DIVIDES

DRAINAGE LABELS

TC PATH

100-YR OVERLAND RELIEF PATH

POST-DEVELOPMENT DRAINAGE AREA TABLE			
DRAINAGE AREA	AREA (AC.)	IMPERVIOUS AREA (AC.)	C VALUE
DA-1	0.47	0.34	0.73
DA-2	0.41	0.32	0.77
DA-3	0.35	0.26	0.74
DA-4	0.46	0.40	0.81
DA-5	0.49	0.37	0.76
DA-6	0.55	0.21	0.53
DA-7	0.68	0.00	0.30
DA-8	0.06	0.06	0.86
DA-9	0.10	0.07	0.71
DA-10	0.44	0.33	0.75
DA-11	0.81	0.07	0.35

NOTE: SURFACE AREAS OF MICRO-BIORETENTION FACILITIES HAVE BEEN REMOVED FROM DRAINAGE AREAS FOR ESDV CALCULATIONS

10-YR POST-DEVELOPMENT POI ANALYSIS	
POINT OF INTEREST	POST-DEVELOPMENT FLOW (CFS)
POI-1	2.70
POI-2	2.72
POI-3	2.16

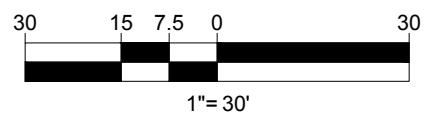
100-YR POST-DEVELOPMENT POI ANALYSIS	
POINT OF INTEREST	POST-DEVELOPMENT FLOW (CFS)
POI-1	12.95
POI-2	5.05
POI-3	6.02

NOTE: OFFSITE IMPROVEMENTS HAVE NO WAY OF CONTROLLING THE POST 10-YR AND 100-YR STORMS. ALL ONSITE IMPROVEMENTS ARE MANAGED FOR BOTH 10-YR AND 100-YR EVENTS.

HATCH LEGEND

SLOPES 10%-15%

SLOPES >15%



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PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
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REVISIONS				
REV	DATE	COMMENT	CHECKED BY	DRAWN BY
1	1/11/22	PER MNCPPC COMMENTS	LMT	MGINS

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PROJECT No.: MB202090
DRAWN BY: LMT
CHECKED BY: NBS
DATE: 07/15/2021
CAD ID: DRIN

PROJECT:

DETAILED SITE PLAN

FOR

ARCLAND SELF STORAGE

PROPOSED DEVELOPMENT

8310 DANGERFIELD RD.
PRINCE GEORGE'S COUNTY
CLINTON, MD 20735
TM: 117 GRID: B1 LOT: 34

BOHLER

16701 Melford Blvd., Suite 310
Bowie, Maryland 20715
Phone: (301) 809-4500
Fax: (301) 809-4501
MD@BohlerEng.com

N. B. SPEACH

PROFESSIONAL ENGINEER
MARYLAND LICENSE #24 / 2022
PROFESSIONAL CERTIFICATION
I, NICHOLAS B. SPEACH, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A QUALIFIED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 24083. EXPIRATION DATE: 01/14/2023

SHEET TITLE:

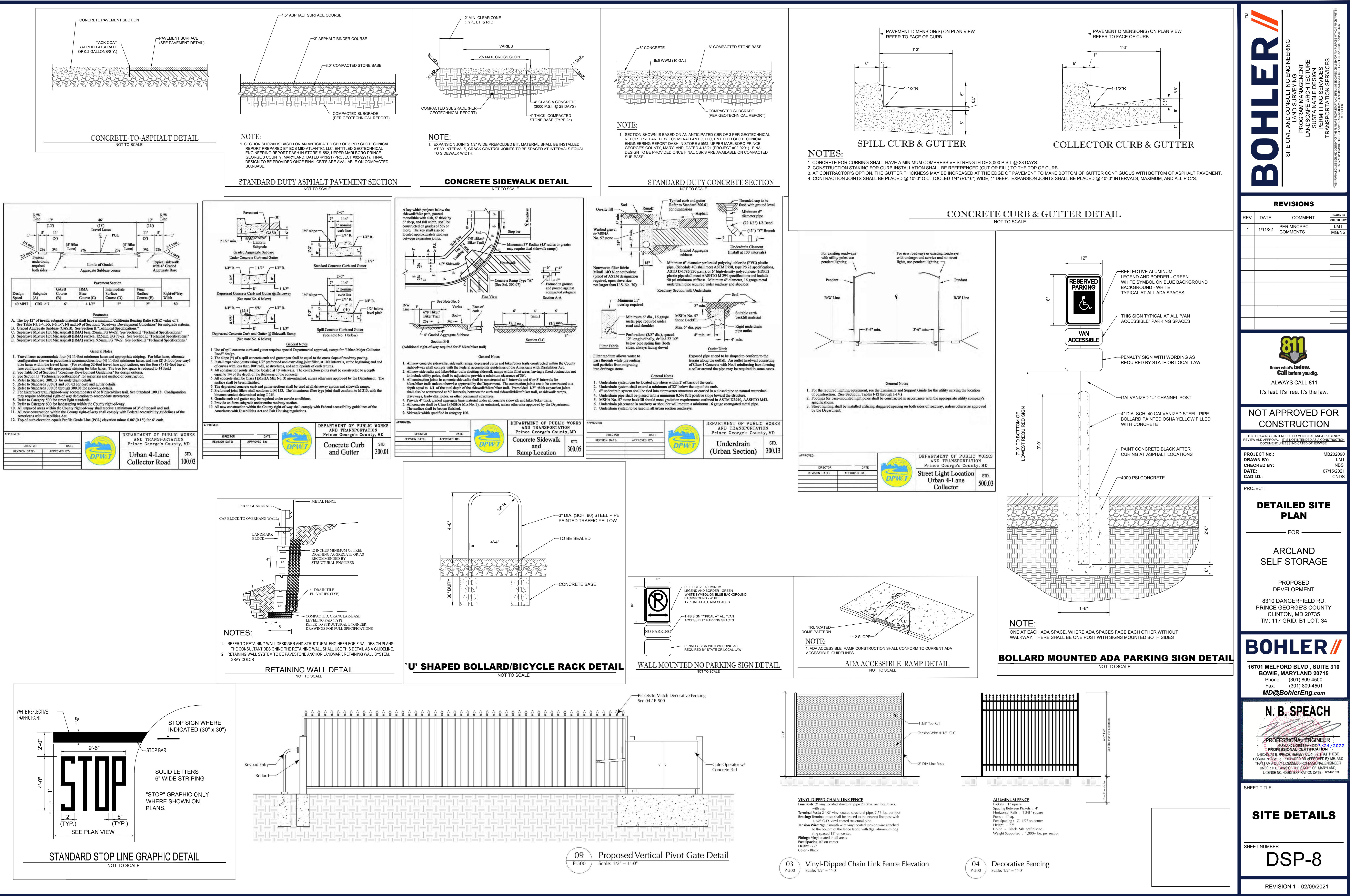
POST-DEVELOPMENT DRAINAGE AREAS

SHEET NUMBER:

DSP-7

REVISION 1 - 02/09/2021

MB202090-PROJECT 30201201202090-DRAWING PLAN SET (DSP) MB202090 - DRIN - 0 - LAYOUT - DSP-7



REVISION 1 - 02/09/2021



March 25, 2022

Via Electronic Delivery
Development Review Division
M-NCPPC
County Administration Building
Upper Marlboro, MD 20772

Re: DSP-21019, Arcland Self Storage (Dangerfield Road)
SDRC Comments Point-By-Point Response Letter
SDRC Meeting Date: March 18, 2022

Dear Sir/Madam:

On behalf of the applicant, please find below point-by-point responses to the SDRC Comments transmitted to the applicant on March 21, 2022.

Environmental Planning Section:

The TCP2 shall be revised as follows:

a. Add the property owner awareness certification block on every sheet and fully complete and have the owner sign.

Response: Please refer to the updated TCP2 where the owners awareness certification block has been provided on every sheet.

b. Have the revised plan signed and dated by the qualified professional preparing the plan.

Response: Please refer to the updated TCP2 where the plan has been signed and dated by a qualified professional.

Transportation Planning Section:

1. Staff request the applicant update plans to display all loading areas behind the entry gate to prevent any possible stacking onto Dangerfield Road.

Response: Please refer to the revised plan where all loading areas have been relocated behind the entry gate.

2. Staff request the applicant clarify the statement of justification, which indicates a public

parking area located outside the entry gate will contain 7 spaces. The site plan displays 4 spaces at this location.

Response: The statement of justification has been revised to match the plan. The parking area outside of the entry gate will contain 7 spaces. The loading area has been relocated to be behind the entry gate.

Urban Design Section:

1. Revise the SOJ to ensure that it is consistent with the plans.

Response: The statement of justification has been revised to match the plan.

2. Add a note under general notes referencing that the site is located in the M-I-O zone.

Response: Please refer to the general notes on the cover sheet where an additional note has been provided that references that the site is located in the M-I-O zone.

3. Add a note on the plan to reference the building height.

Response: Please refer to the site plan where the building height has been provided within the building block within the plan-view.

4. Add dimensions to the proposed vertical pivot gate on the detail sheet.

Response: Please refer to the site plan where the dimensions for the vertical pivot gate has been provided on the detail sheet.

5. The landscape sheet is missing landscape schedule for 4.4 (screening requirements) Additionally provide additional landscaping to screen the loading spaces from Dangerfield road and the residential zone across the street.

Response: Please refer to the updated landscape sheet that provides schedule 4.4. Additional screening has been provided to screen the loading spaces from Dangerfield road.

6. There is a monument sign shown on the elevation but there is no reference to it on the site plan or detail sheet. Show the location of the monument sign on the site plan. Update the signage information under the general notes to reflect the sign.

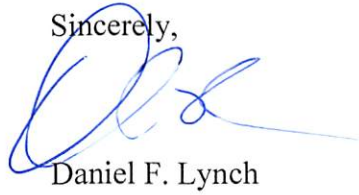
Response: The monument sign has been removed from the architectural elevations. Please refer to the provided revised architectural elevations.

7. Provide details for the proposed bike racks.

Response: Please refer to the updated detail sheet that provides a bike rack detail.

If you have any questions, please do not hesitate to contact me at 301-441-2420.

Sincerely,

A handwritten signature in blue ink, appearing to read 'D. Lynch', with a large loop at the start and a trailing flourish.

Daniel F. Lynch

Enclosures

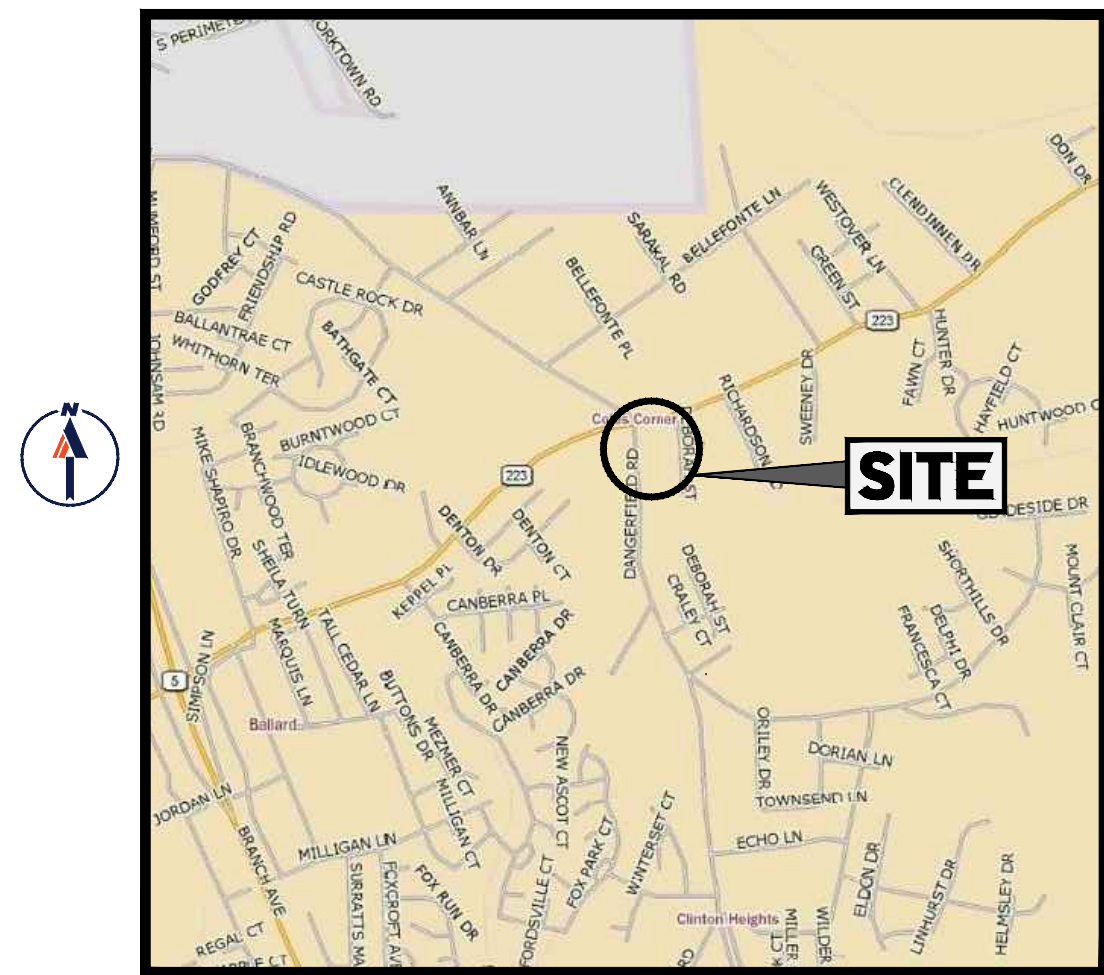
TREE CONSERVATION PLAN TYPE 2

TCP2-007-2018-01

FOR

ARCLAND SELF-STORAGE

LOCATION OF SITE
8310 DANGERFIELD RD.
CLINTON, MD 20735
PRINCE GEORGE'S COUNTY, MD
TM: 117, GRID: B1, LOT 34



LOCATION MAP

SCALE: 1" = 2000'

PLAN REFERENCE:

DELOME STREET ATLAS 2009 PLUS USA

APPLICANT

ARCLAND
P.O. BOX 25023
WASHINGTON, D.C. 20007
CONTACT: ANTHONY RIZZI
PHONE: 202-243-7523

OWNER

DASH-IN FOOD STORES INC
102 CENTENNIAL STREET
LA PLATA, MD 20646
CONTACT: JASON BELT
PHONE: 240-320-6448

STANDARD TYPE 2 TREE CONSERVATION PLAN NOTES

- THIS PLAN IS SUBMITTED TO FULFILL THE WOODLAND CONSERVATION REQUIREMENTS FOR PRELIMINARY PLAN #PPS 4-2-011. IF THE PRELIMINARY PLAN #PPS 4-2-011 EXPIRES, THEN THIS TCP2 ALSO EXPIRES AND IS NO LONGER VALID.
- CUTTING OR CLEARING OF WOODLAND NOT IN CONFORMANCE WITH THIS PLAN OR WITHOUT THE EXPRESSED WRITTEN CONSENT OF THE PLANNING DIRECTOR OR DESIGNEE SHALL BE SUBJECT TO A \$9.00 PER SQUARE FOOT MITIGATION FEE.
- A PRE-CONSTRUCTION MEETING IS REQUIRED PRIOR TO THE ISSUANCE OF GRADING PERMITS. THE DEPARTMENT OF PUBLIC WORKS AND TRANSPORTATION OR THE DEPARTMENT OF ENVIRONMENTAL RESOURCES, AS APPROPRIATE, SHALL BE CONTACTED PRIOR TO THE START OF ANY WORK ON THE SITE TO CONDUCT A PRE-CONSTRUCTION MEETING WHERE IMPLEMENTATION OF WOODLAND CONSERVATION MEASURES SHOWN ON THIS PLAN WILL BE DISCUSSED IN DETAIL.
- THE DEVELOPER OR BUILDER OF THE LOTS OR PARCELS SHOWN ON THIS PLAN SHALL NOTIFY FUTURE BUYERS OF ANY WOODLAND CONSERVATION AREAS THROUGH THE PROVISION OF A COPY OF THIS PLAN AT TIME OF CONTRACT SIGNING. FUTURE PROPERTY OWNERS ARE ALSO SUBJECT TO THIS REQUIREMENT.
- THE OWNERS OF THE PROPERTY SUBJECT TO THIS TREE CONSERVATION PLAN ARE SOLELY RESPONSIBLE FOR CONFORMANCE TO THE REQUIREMENTS CONTAINED HEREIN.
- THE PROPERTY IS WITHIN THE ENVIRONMENTAL STRATEGY AREA ONE (FORMERLY THE DEVELOPED TIER) OF THE REGULATED ENVIRONMENTAL PROTECTION AREAS MAP AS DESIGNATED BY PLAN PRINCE GEORGE'S 2035 APPROVED GENERAL PLAN AND IS ZONED M-1 (MIXED USE INT'L).
- THE SITE IS NOT ADJACENT TO A ROADWAY DESIGNATED AS SCENIC, HISTORIC, A PARKWAY OR A SCENIC BYWAY.
- THIS PLAN IS NOT GRANDFATHERED UNDER CB-27-2010, SECTION 25-117 (G).

PREPARED BY

BOHLER

CONTACT: NICHOLAS B. SPEACH

PLAN REFERENCES AND CONTACTS

REFERENCES

ALTA SURVEY:
BOHLER ENGINEERING
"SMD, INCORPORATED 8304 & 8310 DANGERFIELD RD., ELECTION DISTRICT 9, PRINCE GEORGE'S COUNTY, MARYLAND"
PROJECT NO.: SB162059
DATED: 08/01/16

DETAILED SITE PLAN:

BOHLER ENGINEERING
"DETAILED SITE PLAN DSP-21019 FOR ARCLAND SELF STORAGE"
PROJECT NO.: MB20209
FILE NO.: CSB-21019
APPROVAL DATE: PENDING

NATURAL RESOURCE INVENTORY:

BOHLER ENGINEERING
"SMD 098 - NATURAL RESOURCE INVENTORY"
NRI NO.: NRI-023-2018
DATED: 03/02/18
APPROVAL DATE: 03/06/18
REVISION: 01 APPROVAL DATE: 8/22/18

SITE DEVELOPMENT CONCEPT PLAN:

BOHLER ENGINEERING
"SITE DEVELOPMENT CONCEPT PLAN"
SDCP NO.: 16017-2021-G
DATED: 04/19/21
APPROVAL DATE: TBD

CONCEPT EROSION AND SEDIMENT CONTROL PLAN:

BOHLER ENGINEERING
"CONCEPT GRADING, EROSION, AND SEDIMENT CONTROL PLAN"
CSC NO.: TBD
DATED: 05/02/21
APPROVAL DATE: TBD

WSSC HPA:

BOHLER ENGINEERING
"HYDROLOGIC PLANNING ANALYSIS - ARCLAND SELF STORAGE"
CONTRACT NO.: D4722221
DATED: 04/02/21
APPROVAL DATE: TBD

THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS. HOWEVER, BOHLER DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, BY OTHERS.

GENERAL NOTES:

- EXISTING PARCEL/LOT: LOT 34
DEED DESCRIPTION: LIBER FOLIO: 8679 / 321
PLAN NUMBER: 09178555
- TAX MAP: 117
GRID: B1
- 200-FOOT MAP REFERENCE (WSSC): 2115E07
- PURPOSE OF SUBDIVISION: N/A
- PRIOR APPROVALS:
NATURAL RESOURCE INVENTORY - NRI-023-2018
NATURAL RESOURCE INVENTORY - NRI-023-2018-01
TREE CONSERVATION PLAN 2 - TCP2-007-2018
- TOTAL GROSS ACREAGE: 6.79 AC. (C-S-C)
TOTAL NET ACREAGE: 6.79 AC. (C-S-C)
- NET DEVELOPABLE AREA OUTSIDE OF PMA: 6.79 AC
- ACREAGE OF ENVIRONMENTAL REGULATED FEATURES:
0.07 AC (WETLAND AND BUFFER)
- ACREAGE OF 100-YEAR FLOODPLAIN: 0.00 AC
- ACREAGE OF ROAD DEDICATION: 0.00 AC
- EXISTING ZONING/USE:
ZONING: C-S-C (COMMERCIAL SHOPPING CENTER)
USE: VACANT
- PROPOSED USE OF PROPERTY: SELF STORAGE FACILITY AND ASSOCIATED SITE IMPROVEMENTS.
- BREAKDOWN OF PROPOSED DWELLING UNIT BY TYPE: N/A
- DENSITY CALCULATION: N/A
- MINIMUM LOT SIZE REQUIRED BY ZONING ORDINANCE AND SUBDIVISION REGULATIONS (24-130): N/A
- MINIMUM LOT WIDTH AT FRONT BUILDING LINE AND FRONT STREET LINE: N/A
- SUSTAINABLE GROWTH TIER: NO
- MILITARY INSTALLATION OVERLAY ZONE: YES
- CENTER OR CORRIDOR LOCATION: NO
- EXISTING AND PROPOSED GROSS FLOOR AREA (NON-RESIDENTIAL)
EXISTING: 0 SF
PROPOSED: 116,283 SF
APPROVAL DATE: TBD
- STORMWATER MANAGEMENT CONCEPT NO.: 16017-2021-G
APPROVAL DATE: TBD
- WATER/SEWER CATEGORY DESIGNATION
EXISTING WATER/SEWER: W-3/S-3
PROPOSED WATER/SEWER: W-3/S-3
- AVIATION POLICY AREA: NO
- MANDATORY PARK DEDICATION REQUIREMENT: N/A
- CEMETERIES ON OR CONTIGUOUS TO THE PROPERTY: NO
- HISTORIC SITES ON OR IN THE VICINITY OF THE PROPERTY: NO
- TYPE ONE CONSERVATION PLAN: TCP1-021-93
- WITHIN CHESAPEAKE BAY CRITICAL AREA: NO
- WETLANDS: YES
- STREAMS: NO
- SOILS BY SOIL TYPE AND SOURCE OF SOIL INFORMATION:
SOILS: BuB (HYDROLOGIC SOIL GROUP C)
BuD (HYDROLOGIC SOIL GROUP C)
GkB (HYDROLOGIC SOIL GROUP A)
SsaB (HYDROLOGIC SOIL GROUP B)
SsaC (HYDROLOGIC SOIL GROUP B)
SOIL INFORMATION SOURCE: NRCS WEB SOIL SURVEY
- IN OR ADJACENT TO AN EASEMENT HELD BY THE MARYLAND ENVIRONMENTAL TRUST, THE MARYLAND AGRICULTURAL LAND PRESERVATION FOUNDATION, OR ANY LAND TRUST OR ORGANIZATION: NO

SHEET INDEX

SHEET TITLE	SHEET NUMBER
COVER SHEET	C-101
TREE CONSERVATION PLAN	C-201

SOIL TYPES

SOIL TYPE	DESCRIPTION	HYDROLOGIC SOIL GROUP	DRAINAGE CLASS
BuB	BELTSVILLE-URBAN LAND COMPLEX, 0 TO 5 PERCENT SLOPES	C	MODERATELY WELL-DRAINED
BuD	BELTSVILLE-URBAN LAND COMPLEX, 5 TO 15 PERCENT SLOPES	C	MODERATELY WELL-DRAINED
GkB	GROSSTOWN-HIGHOLE-URBAN LAND COMPLEX, 0 TO 5 PERCENT SLOPES	A	WELL-DRAINED
SsaB	SASSAFRAS SANDY LOAM, 2 TO 5 PERCENT SLOPES, NORTHERN COASTAL PLAIN	B	WELL-DRAINED
SsaC	SASSAFRAS SANDY LOAM, 5 TO 10 PERCENT SLOPES, NORTHERN COASTAL PLAIN	B	WELL-DRAINED

OBTAINED FROM: USDA, NRCS, WEB SOIL SURVEY (WSS) AVAILABLE ONLINE AT [HTTP://WEBSOILSURVEY.NRCS.USDA.GOV](http://websoilsurvey.nrcs.usda.gov)

Prince George's County Planning Department, M-NCPPC
Environmental Planning Section
TYPE 2 TREE CONSERVATION PLAN APPROVAL
TCP2-007-2018-01

	Approved by	Date	DRD #	Reason for Revision
00	C. SCHNEIDER	9/13/19	SE-4812	N/A
01			DSP-21019	PROPOSED SELF STORAGE FACILITY
02				
03				

TM

BOHLER

SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
TRANSPORTATION SERVICES
PERMITTING SERVICES

REVISIONS

REV	DATE	COMMENT	DRAWN BY	CHECKED BY
1	11/11/2021	PER COUNTY COMMENTS	LMT	NS

11/11/2021

11/11/2021

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ARCLAND SELF STORAGE

Detailed Site Plan

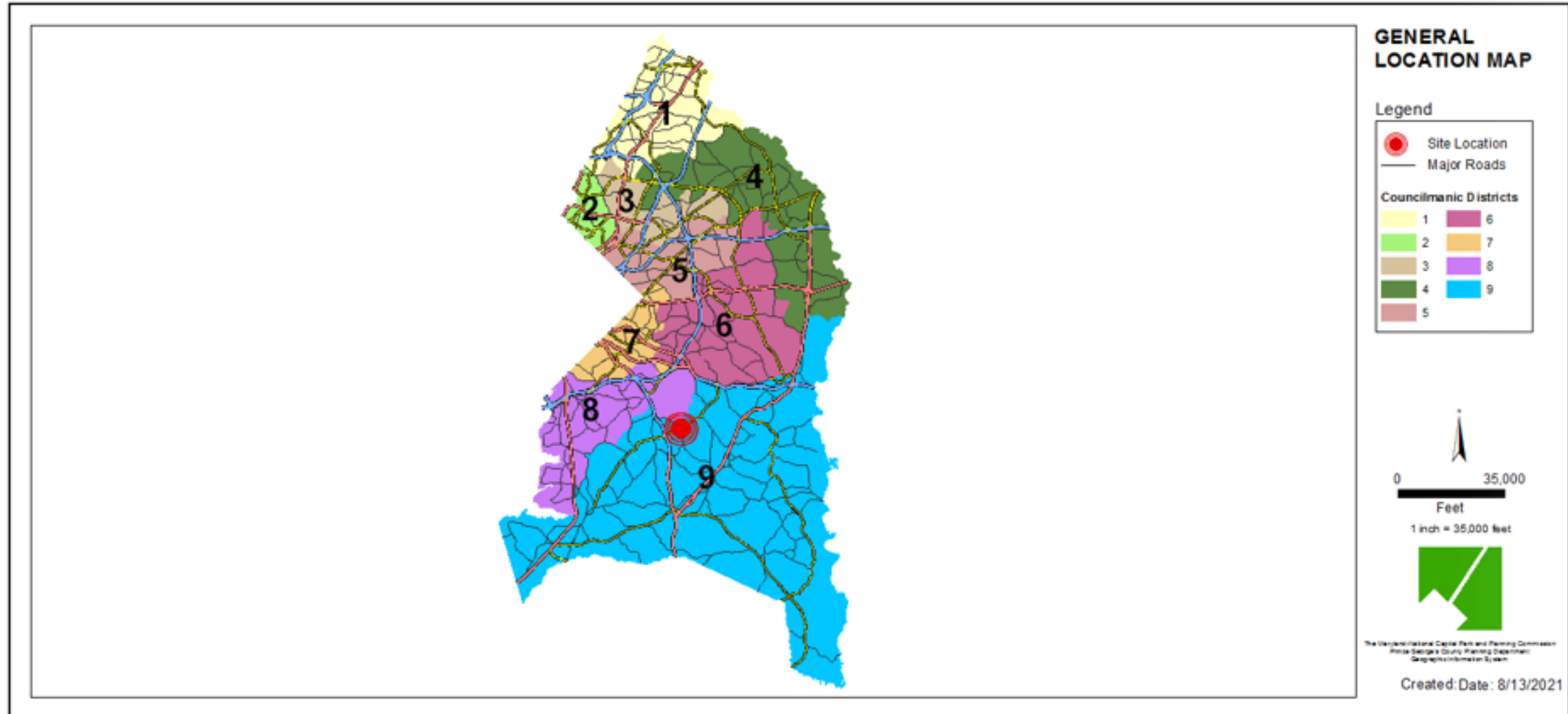
Staff Recommendation: APPROVAL with conditions



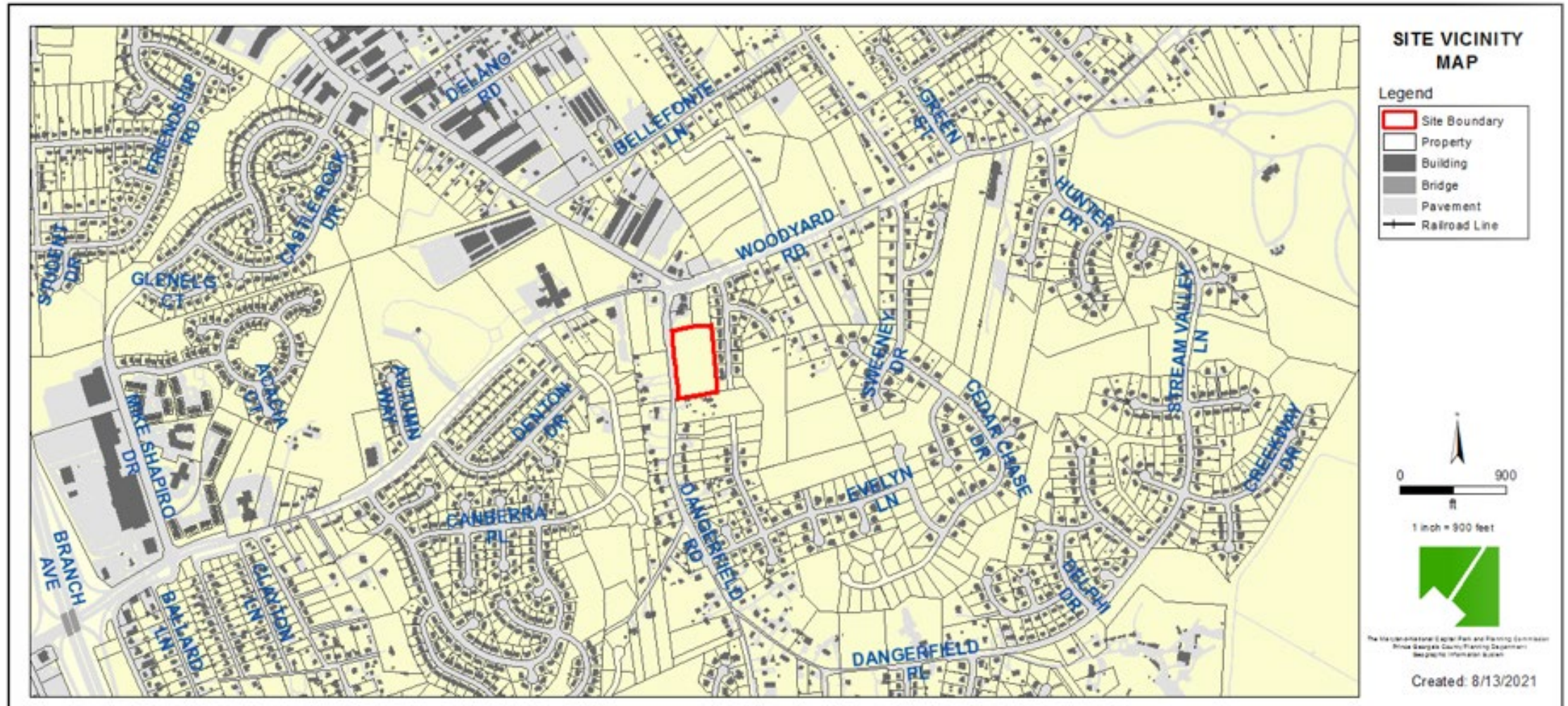
GENERAL LOCATION MAP

Council District: 09

Planning Area: 81A

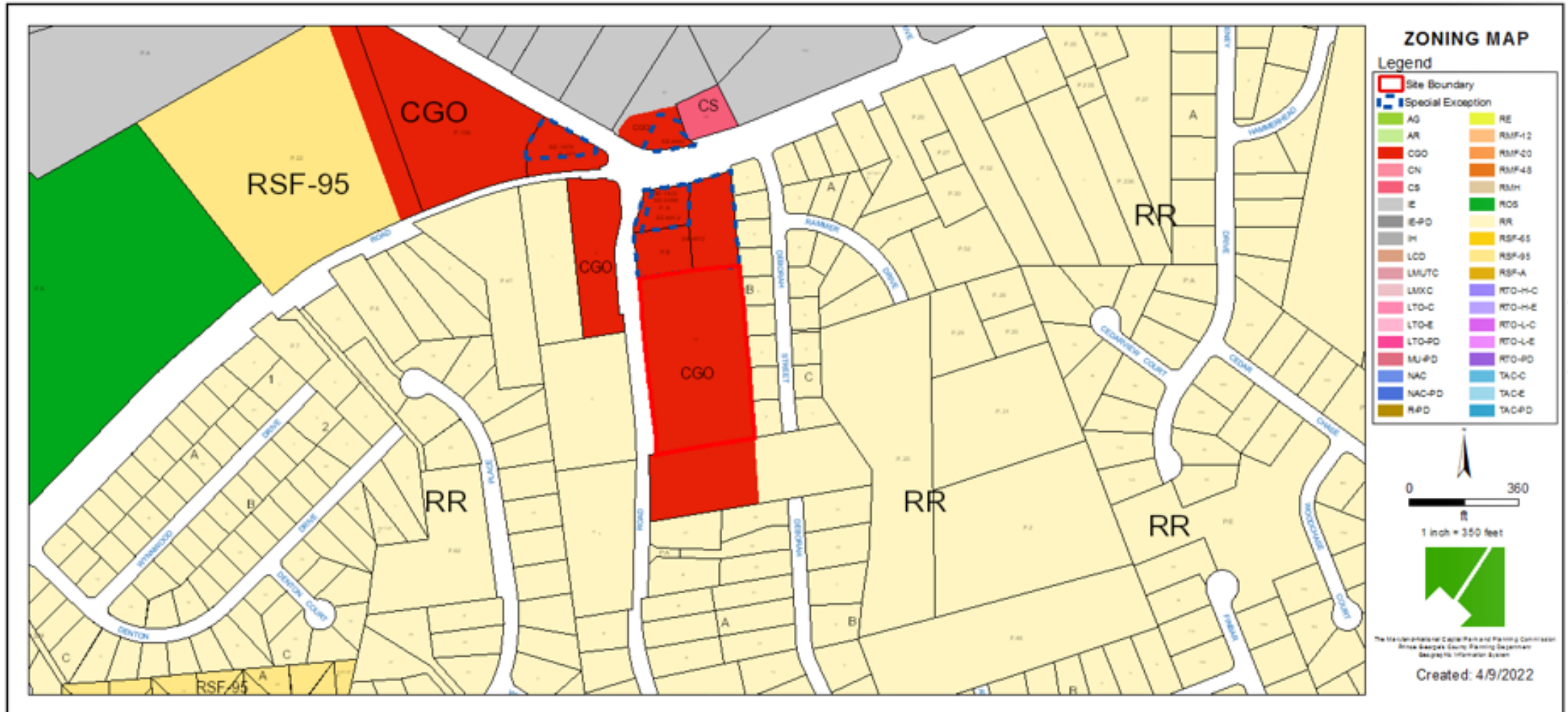


SITE VICINITY MAP



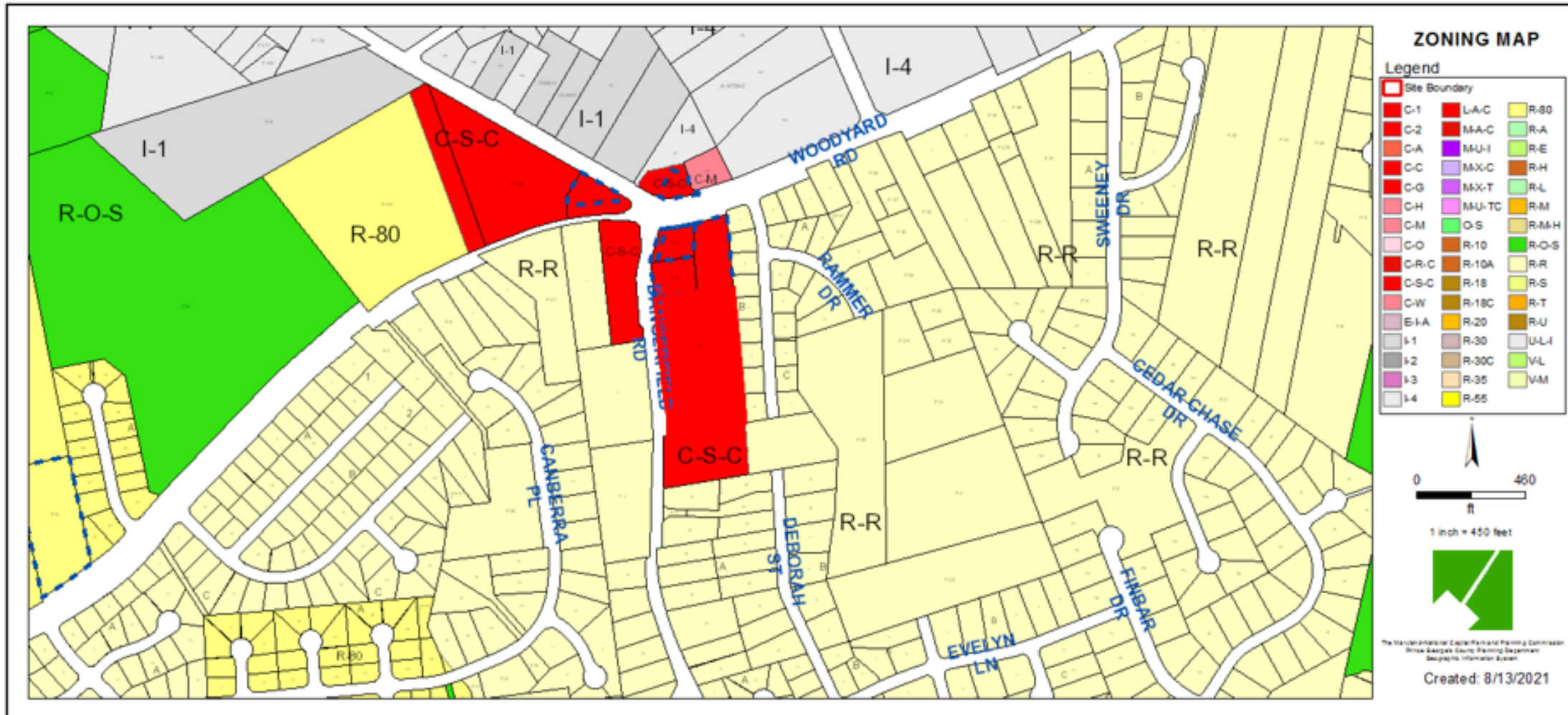
NEW ZONING MAP

Current Property Zone: C-G-O

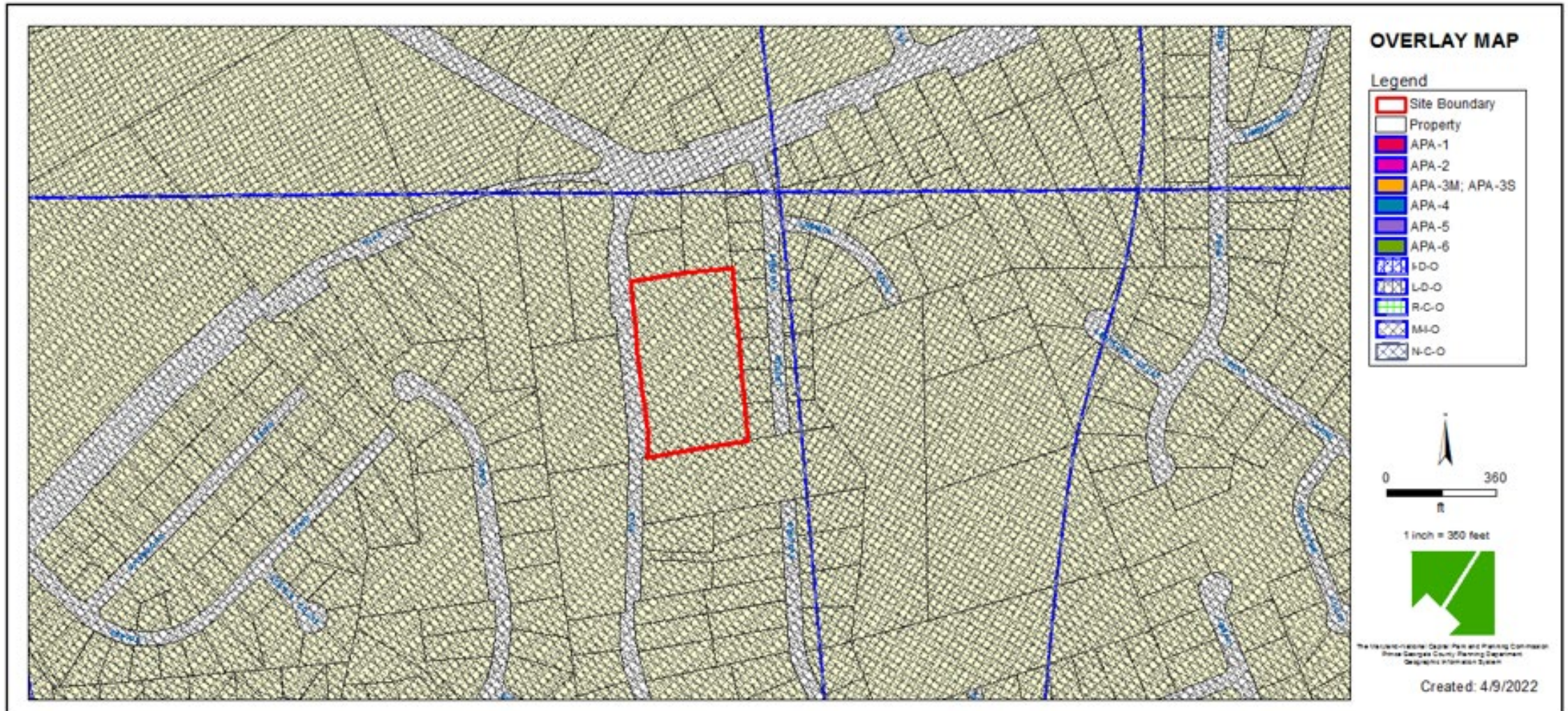


PRIOR ZONING MAP

Prior Property Zone: C-S-C



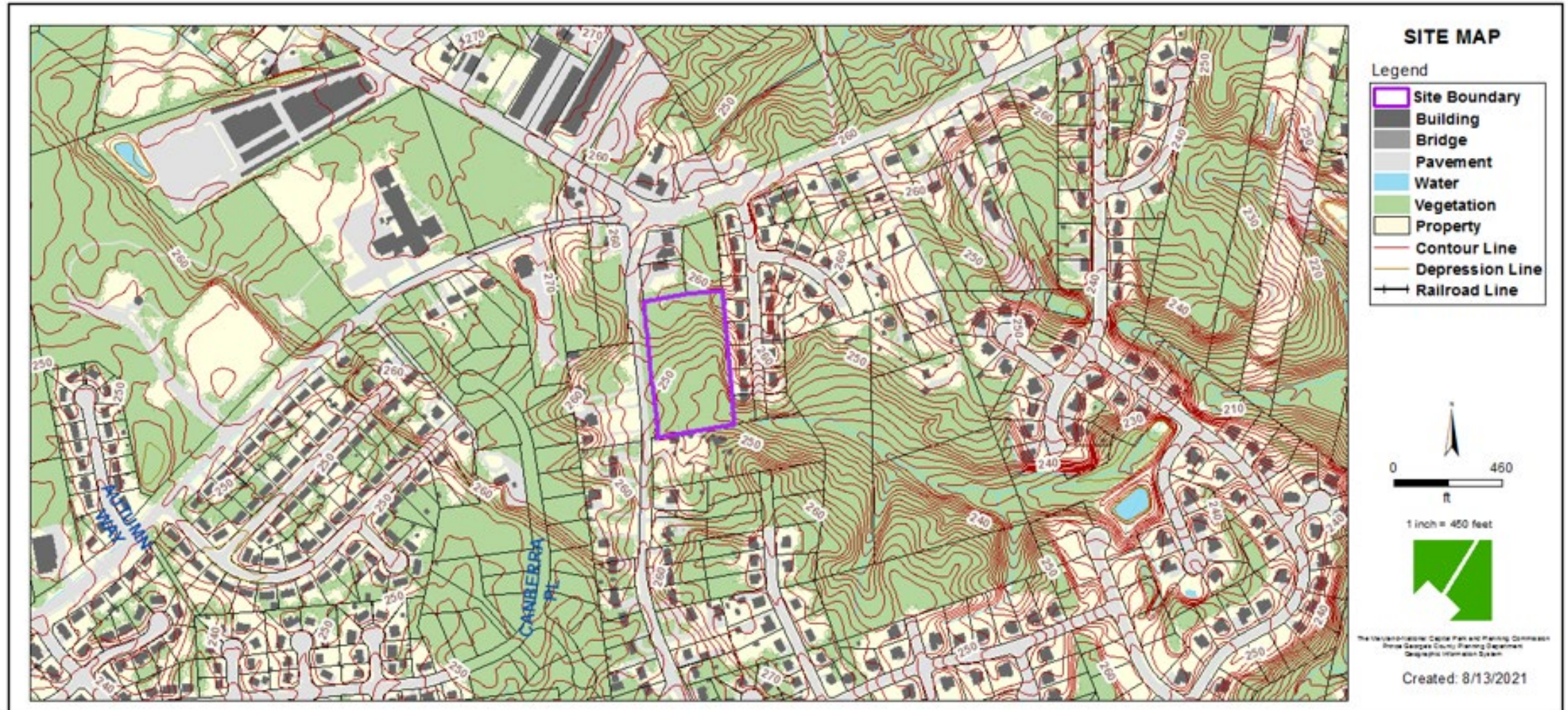
OVERLAY MAP



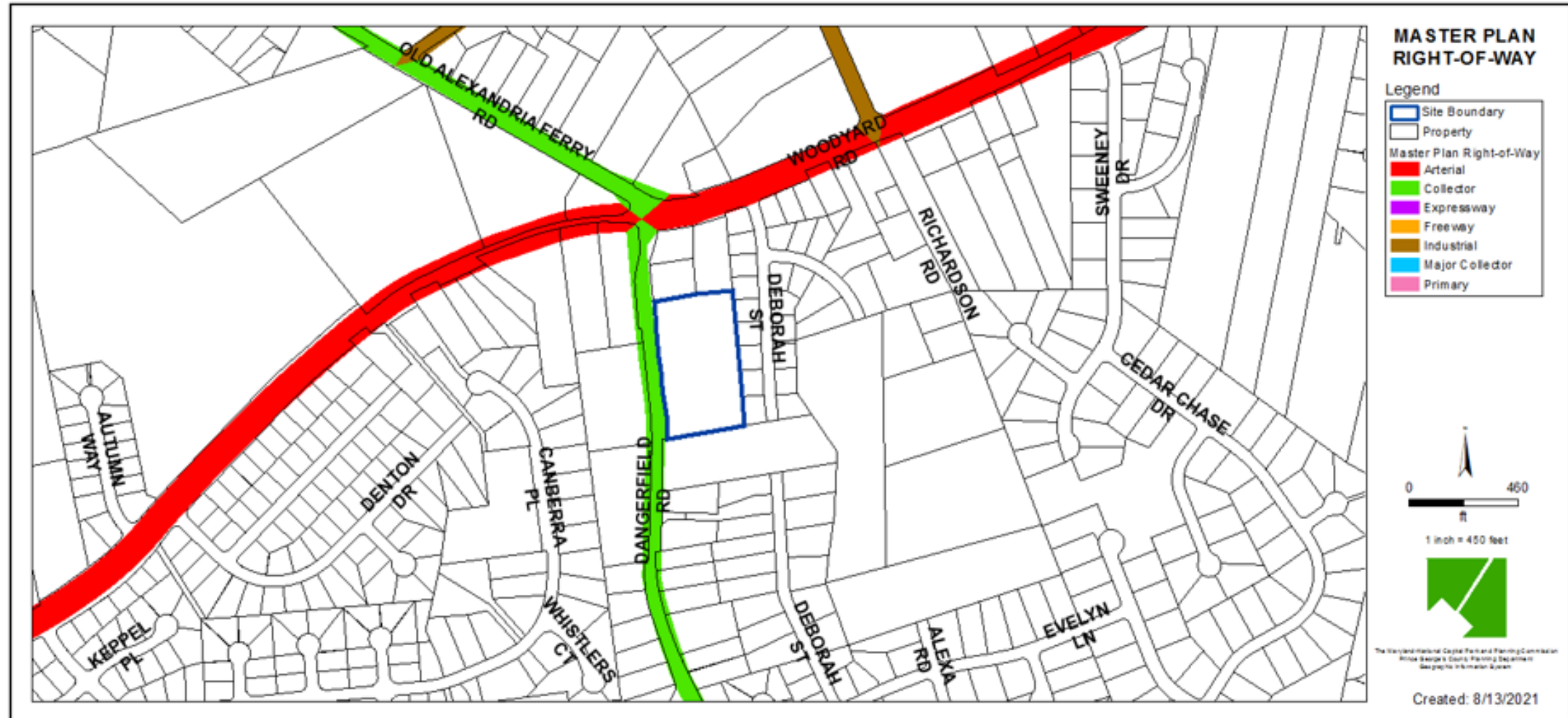
AERIAL MAP



SITE MAP



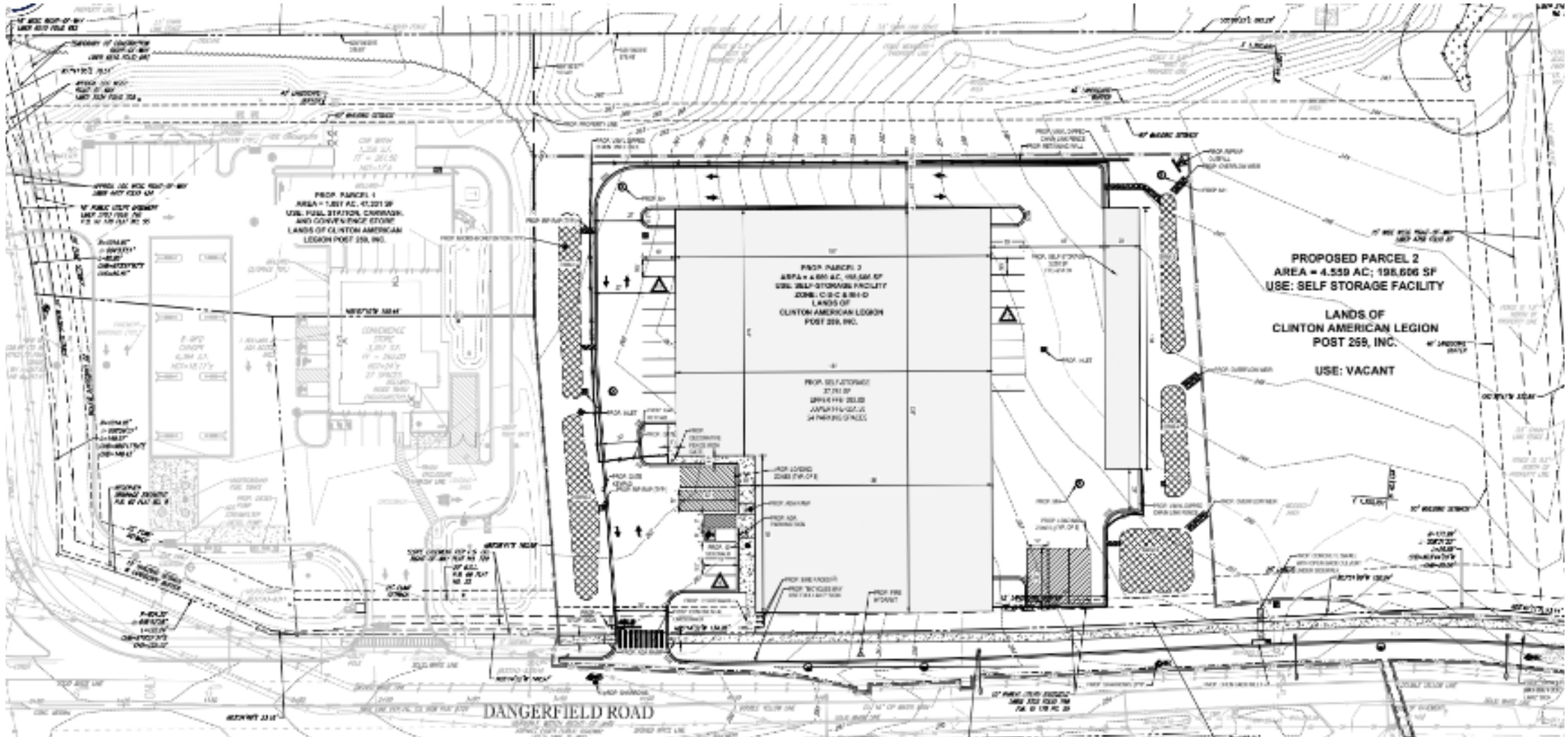
MASTER PLAN RIGHT-OF-WAY MAP



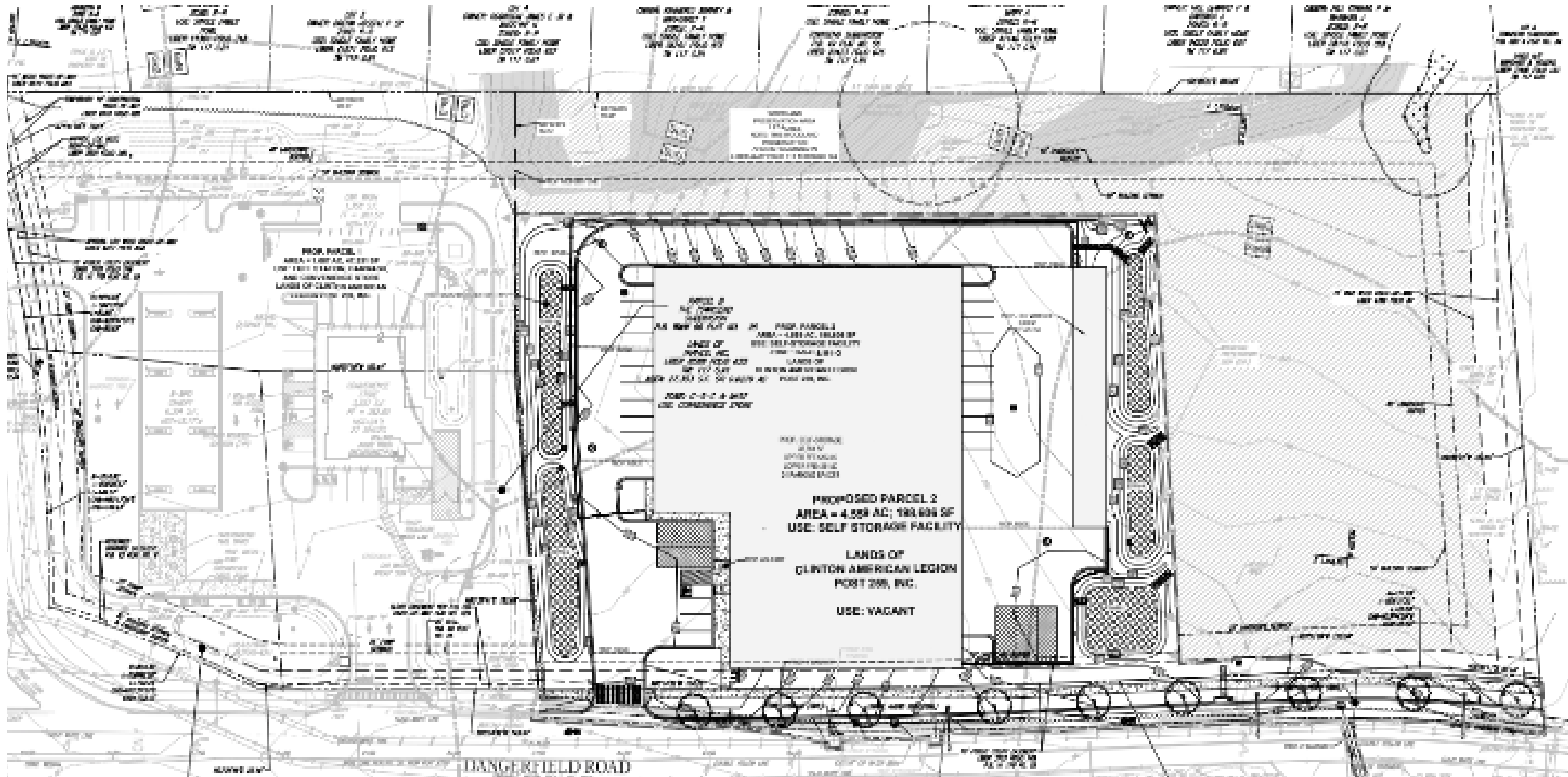
BIRD'S-EYE VIEW



DETAILED SITE PLAN



TYPE II TREE CONSERVATION PLAN



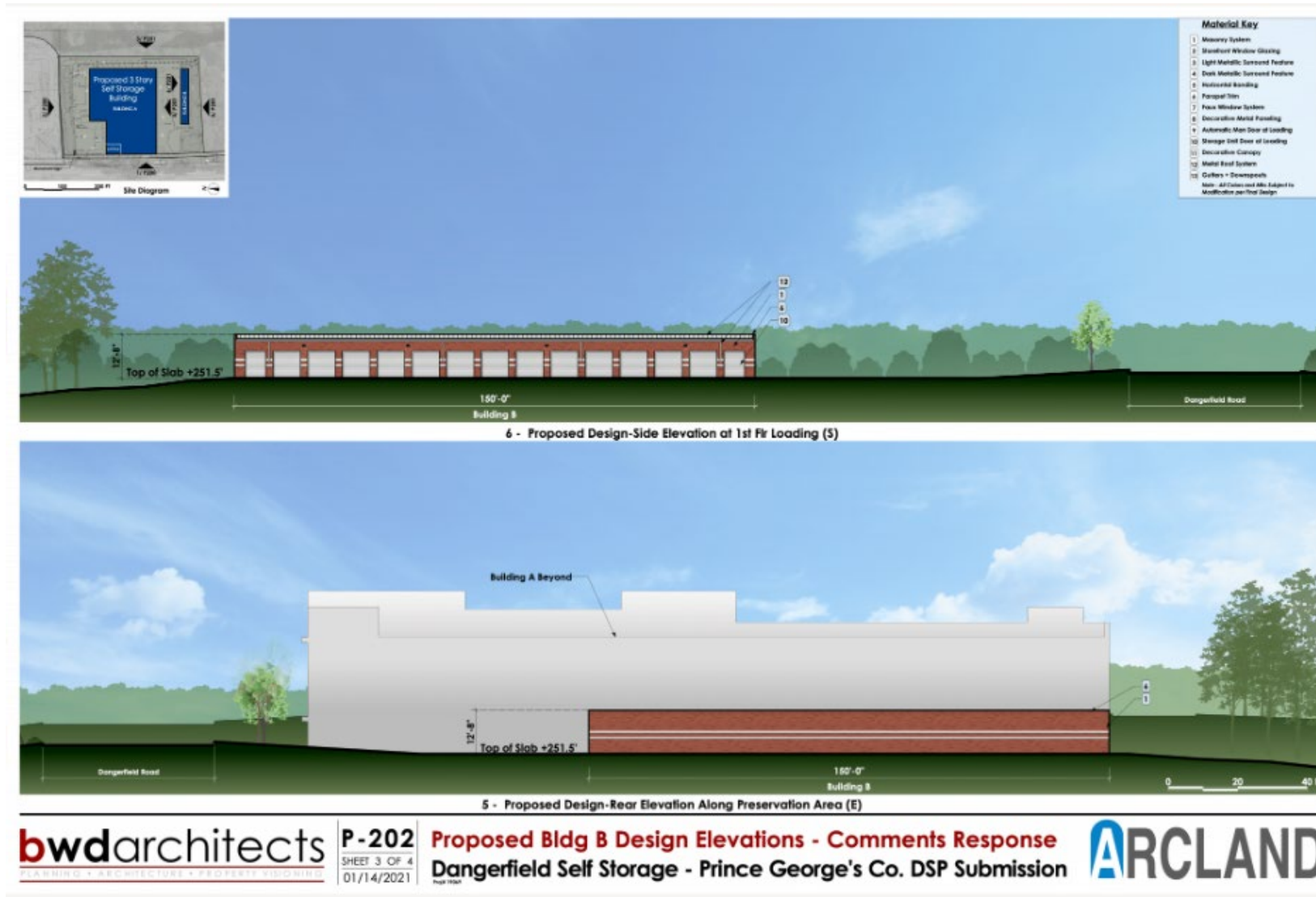
PROPOSED BUILDING A- NORTH AND WEST ELEVATIONS



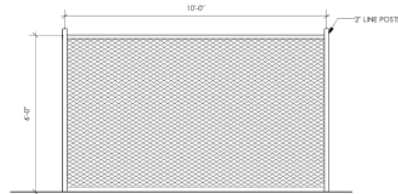
PROPOSED BUILDING A – EAST AND SOUTH ELEVATIONS



PROPOSED BUILDING B – NORTH AND SOUTH ELEVATIONS

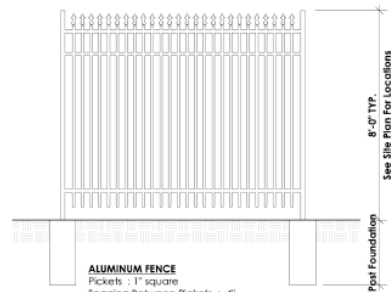


PROPOSED SIGNAGE/DETAILS



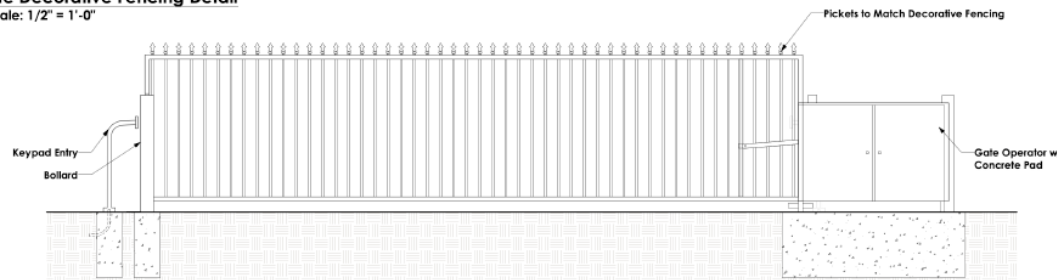
VINYL DIPPED CHAIN LINK FENCE
Line Posts: 2" vinyl coated structural pipe 2.20lbs. per foot, black, with cap
Terminal Posts: 2 1/2" vinyl coated structural pipe, 2.75lbs. per foot
Banding: Terminal posts that be braced to the nearest line post with 1.58" O.D. vinyl coated structural pipe.
Tension Wire: TGA, Smooth wire vinyl coated tension wire attached to the bottom of the fence fabric with TGA aluminum hog ring spaced 18" on center.
Fittings: Vinyl coated in all areas.
Post Spacing: 10' on center
Height: 6'0"
Color: Black
Opacity: Min. 95% opacity required

6 Site Chain Link Fencing Detail
P500 Scale: 1/2" = 1'-0"

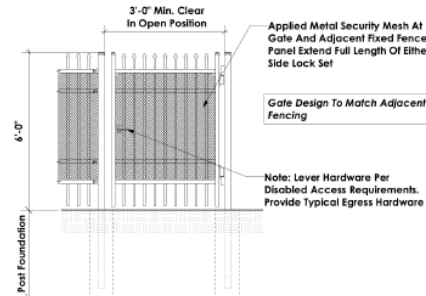


ALUMINUM FENCE
Pickets: 1" square
Spacing Between Pickets: 4"
Horizontal Rails: 1 5/8" square
Posts: 4" sq.
Post Spacing: 71 1/2" on center
Height: ~ 96"
Color: - Black, Mfr. prefinished.
Weight Supported: 1,000+ lbs. per section

5 Site Decorative Fencing Detail
P500 Scale: 1/2" = 1'-0"



3 Site Vertical Pivot Gate Detail
P500 Scale: 1/2" = 1'-0"



4 Site Man Gate Detail
P500 Scale: 1/2" = 1'-0"



2 Wall-Mounted Sign B - 136 SF
P500 Scale: 1/4" = 1'-0"



1 Wall-Mounted Signs A.1, A.2 - 92.16 SF Each
P500 Scale: 1/4" = 1'-0"

PROPOSED WALL-MTD SIGNAGE ANALYSIS						
SIGN	QUANTITY	TYPE	WIDTH	HEIGHT	AREA	ILLUMINATION
A.1	1	Wall-Mounted	28' - 0"	3' - 3 1/2"	92.16 SF	Internally
A.2	1	Wall-Mounted	28' - 0"	3' - 3 1/2"	92.16 SF	Internally
B	1	Wall-Mounted	34' - 0"	4' - 0"	136.84 SF	Internally
TOTAL PROPOSED WALL-MOUNTED SIGN AREA:					320.16 SF	
Per 27-4132(b)(6) TOTAL ALLOWED WALL-MOUNTED SIGN AREA (231.1' x 2' = 462.2 SF):					400.0 SF	
Per 27-591(a) 80% Area Reduction - TOTAL CALCULATED WALL-MOUNTED SIGN AREA (479.2/2 = 239.6):					160.09 SF	SIGNAGE COMPLIES

STAFF RECOMMENDATION

APPROVAL with conditions

Minor Issues:

- Technical corrections

Applicant Community Engagement:

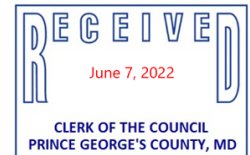
- N/A



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

14741 Governor Oden Bowie Drive
Upper Marlboro, Maryland 20772
www.pgplanning.org

June 7, 2022



Arcland Property Company
1054 31st Street, NW, Suite 340
Washington, DC 20007

Re: Notification of Planning Board Action on
Detailed Site Plan DSP-21019
Arcland Self Storage

Dear Applicant:

This is to advise you that, on **June 2, 2022**, the above-referenced Detailed Site Plan was acted upon by the Prince George's County Planning Board in accordance with the attached Resolution.


Pursuant to Section 27-290, the Planning Board's decision will become final 30 calendar days after the date of this final notice of the Planning Board's decision, unless:

1. Within the 30 days, a written appeal has been filed with the District Council by the applicant or by an aggrieved person that appeared at the hearing before the Planning Board in person, by an attorney, or in writing and the review is expressly authorized in accordance with Section 25-212 of the Land Use Article of the Annotated Code of Maryland; or
2. Within the 30 days (or other period specified by Section 27-291), the District Council decides, on its own motion, to review the action of the Planning Board.

(You should be aware that you will have to reactivate any permits pending the outcome of this case. If the approved plans differ from the ones originally submitted with your permit, you are required to amend the permit by submitting copies of the approved plans. For information regarding reactivating permits, you should call the County's Permit Office at 301-636-2050.)

Please direct any future communication or inquiries regarding this matter to Ms. Donna J. Brown, Clerk of the County Council, at 301-952-3600.

Sincerely,
James R. Hunt, Chief
Development Review Division

By: 
Reviewer

Attachment: PGCPB Resolution No. **2022-55**

cc: Donna J. Brown, Clerk of the County Council
Persons of Record



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

14741 Governor Oden Bowie Drive
Upper Marlboro, Maryland 20772
www.pgplanning.org

PGCPB No. 2022-55

File No. DSP-21019

R E S O L U T I O N

WHEREAS, the Prince George's County Planning Board is charged with the approval of Detailed Site Plans pursuant to Part 3, Division 9 of the Zoning Ordinance of the Prince George's County Code; and

WHEREAS, a new Zoning Ordinance, Subtitle 27, Prince George's County Code went into effect on April 1, 2022; and

WHEREAS, the subject property is within the Commercial, General and Office (CGO) Zone and Military Installation Overlay (MIO) Zone; and

WHEREAS, pursuant to Section 27-1703(a) of the Zoning Ordinance, development applications submitted and accepted as complete before April 1, 2022, but still pending final action as of that date, may be reviewed and decided in accordance with the Zoning Ordinance in existence at the time of submission and acceptance of the application; and

WHEREAS, therefore, the Prince George's County Planning Board of The Maryland-National Capital Park and Planning Commission reviewed this application under the Zoning Ordinance in existence prior to April 1, 2022; and

WHEREAS, in consideration of evidence presented at a public hearing on May 12, 2022, regarding Detailed Site Plan DSP-21019 for Arcland Self Storage, the Planning Board finds:

1. **Request:** This detailed site plan (DSP) requests the development of a 116,283-square-foot consolidated storage facility in two buildings within the Military Installation Overlay (M-I-O) Zone.
2. **Development Data Summary:**

	EXISTING	APPROVED
Zone(s)	CGO (prior C-S-C)/M-I-O	CGO (prior C-S-C)/M-I-O
Use(s)	Vacant	Consolidated Storage
Gross Acreage	4.56	4.56
Lots/Parcels	1	1
Square Footage/Gross Floor Area (GFA)	N/A	116,283 sq. ft.

Parking and Loading

USE	NUMBER OF SPACES REQUIRED	NUMBER OF SPACES PROVIDED
1 space per 50 units with direct access only within the building (900 units)	18	18
4 spaces per 1,000 sq. ft. of GFA of office space (1,000 sq. ft.)	4	4
2 per resident manager	2	2
Total	24	24
LOADING		
2 spaces up to 10,000 sq. ft. of GFA	2	2
1 space for each additional 40,000 sq. ft. of GFA	3	3
Total	5	5

3. **Location:** The subject site is located on the east side of Dangerfield Road, approximately 350 feet south of its intersection with MD 223 (Woodyard Road), in Planning Area 81A and Council District 9. The site is zoned Commercial, General and Office (CGO), previously the Commercial Shopping Center (C-S-C) Zone, is within the M-I-O Zone for height, noise, and safety, and is subject to the 2013 *Approved Subregion 5 Master Plan and Sectional Map Amendment*.
4. **Surrounding Uses:** The subject property is adjacent to a proposed gas station and food and beverage store in the CGO Zone to the north, single-family detached homes in the Residential, Rural (RR) and CGO Zones to the east and south, respectively, and single-family detached homes in the RR and CGO zones to the west, across Dangerfield Road.
5. **Previous Approvals:** The subject property consists of 4.56 acres of existing Lot 34, which is recorded among the Prince George's County Land Records in Plat Book VJ 178 page 55, entitled a resubdivision of part of Lot 4, Townsend Subdivision, dated February 19, 1997. The property is located on Tax Map 117 in Grids A-1 and B-1. The development has an approved Stormwater Management (SWM) Concept Plan, 16017-2021-00.

On November 4, 2021, Preliminary Plan of Subdivision (PPS) 4-21011 was approved by the Prince George's County Planning Board (PGCPB Resolution No. 2021-136). The PPS approved two parcels for 118,548 square feet of commercial development. Proposed Parcel 1 will contain part of a previously approved gas station; this gas station was approved under Special Exception SE-4812 in August 2018, with minor site modifications approved under Revision of Site Plan ROSP-4812-01 in July 2020. The gas station site consists of Parcel 1, as well as abutting off-site

Parcels A and B. Of the 4,715 square feet of gross floor area approved for the gas station, car wash, and food and beverage store, only 2,265 square feet are located on Parcel 1, and therefore, is subject to this PPS. This DSP proposes to develop 116,283 square feet of gross floor area on proposed Parcel 2. Final plats of subdivision will be required for Parcels 1 and 2 before permits may be issued and must be filed prior to end of the validity period of the PPS, which is December 2, 2023.

6. **Design Features:** The proposed two-building consolidated storage facility will be accessed from Dangerfield Road, in the northwest corner of the site via a 30-foot-wide access driveway. The main building, labeled as Building A, will be 113,283 square feet, rectangular, and three stories high with the short side facing Dangerfield Road. An additional 3,000-square-foot, one-story building, labeled as Building B, is located to the southeast of the main building. The site will provide a total of 24 parking spaces, with 7 spaces located outside the gate and fence, adjacent to the office in the northwest corner of Building A. The remaining 17 spaces will be located behind the entry gate, to the north and south of Building A. There are five 12-foot by 32-foot loading spaces located in the rear of the property. Two bike racks are located adjacent to the sidewalk connecting the building to the sidewalk within Dangerfield Road. A six-foot-high, vinyl-coated chain link fence will surround the development area. SWM micro-bioretenment facilities will be located along the northern and southern edges of the development.

Building A is 34.5 feet tall and will be finished with a combination of metal paneling, decorative concrete masonry units, and dark and light metallic features. The front elevation will face Dangerfield Road to the west and contain a white wall-mounted sign that reads “Self Storage Plus.” The side elevation that faces north will consist of the same materials, and two additional signs with the same language. The storefront windows will consist of glazing material with faux window systems. The architectural design will include decorative metal paneling, parapet trim, and decorative canopies on the eastern and southern elevations. Building B will be 3,000 square feet, approximately 13 feet tall, and will consist of similar building materials.

COMPLIANCE WITH EVALUATION CRITERIA

7. **Prince George’s County Zoning Ordinance:** The DSP application has been reviewed for compliance with the requirements of the C-S-C Zone of the prior Zoning Ordinance:
 - a. The subject application is in conformance with the requirements of Section 27-461 of the prior Zoning Ordinance, as the proposed consolidated storage use is permitted in the C-S-C Zone, subject to Footnote 69, which reads as follows:

Provided:

- (A) the use is located on property within the Accident Potential Zone 1 or Accident Potential Zone 2 of the M-I-O (Military Installation Overlay) Zone; and

The subject property is located within Accident Potential Zone 2 (APZ 2) of the M-I-O Zone.

(B) the use is subject to a Detailed Site Plan approval process in accordance with Part 3, Division 9 of this Subtitle.

The subject application is submitted in accordance with this requirement.

- b. The DSP conforms with Sections 27-454 and 27-462 of the Zoning Ordinance, Regulations for the Commercial Zones.
 - c. **Military Installation Overlay Zone:** The project is also located within the M-I-O Zone for height, noise, and safety. The site is located in the Noise Intensity Zone 60-74 db, APZ 2, and Height Clearance Zone (50:01) South End B, which restrict height to approximately 100 feet. The proposed building height is 34.5 feet and meets the height requirements. The project also falls in the Noise Intensity Zone, which has no restrictions on the proposed non-residential use. Section 27-548.56 of the prior Zoning Ordinance addresses prohibited and limited uses in APZ 2, which does not include the proposed consolidated storage use.
 - d. **Site design guidelines:** The DSP is in conformance with the applicable site design guidelines contained in Section 27-274 of the Zoning Ordinance. The parking and loading spaces are located and designed to provide safe vehicular and pedestrian circulation, and the lighting provides adequate illumination. The green area is well defined and appropriately scaled for the use, and the site and architecture are unified with harmonious use of materials and features.
8. **Preliminary Plan of Subdivision 4-21011:** The Planning Board approved PPS 4-21011 on November 4, 2021, for two parcels for 118, 548 square feet of commercial development (PGCPB Resolution No. 2021-136), subject to nine conditions. The relevant conditions are discussed, as follows:

- 2. **Any residential development on the subject property shall require approval of a new preliminary plan of subdivision, prior to approval of any permits.**

This DSP does not propose any residential development on the subject property.

- 3. **Development of Parcel 1 shall be in conformance with Stormwater Management (SWM) Concept Plan 8745-2018-0 and any subsequent revisions, and development of Parcel 2 shall be in conformance with approved SWM Concept Plan 16017-2021-0 and any subsequent revisions.**

The applicant submitted an approved SWM Concept Plan, 16017-2021-00, with the subject DSP. The DSP shows the layout of the proposed storage building in conformance with the approved SWM Concept Plan.

4. Prior to approval of a final plat, the final plat shall:

- a. Include the 10-foot-wide public utility easements along the public rights-of-way, in accordance with the approved preliminary plan of subdivision.**

All required public utility easements along the public rights-of-way are shown on the DSP, in accordance with the approved PPS. Conformance to this condition will be reviewed again at the time of final plat.

5. Development of this subdivision shall be in conformance with an approved Type 1 Tree Conservation Plan (TCP1-014-2021). The following note shall be placed on the final plat of subdivision:

“This development is subject to restrictions shown on the approved Type 1 Tree Conservation Plan (TCP1-01-2021), or as modified by the Type 2 Tree Conservation Plan and precludes any disturbance or installation of any structure within specific areas. Failure to comply will mean a violation of an approved Tree Conservation Plan and will make the owner subject to mitigation under the Woodland Conservation/Tree Conservation Policy.”

The DSP is in general conformance with the approved Type 1 Tree Conservation Plan, TCP1-014-2021. This condition will be addressed at the time of final plat.

6. Prior to the issuance of permits for this subdivision, a Type 2 tree conservation plan shall be approved. The following note shall be placed on the final plat of subdivision:

“This plat is subject to the recordation of a Woodland Conservation Easement pursuant to Section 25-122(d)(1)(B) with the Liber and folio reflected on the Type 2 Tree Conservation Plan, when approved.”

A Type 2 Tree Conservation Plan, TCP2-007-2018-01, has been submitted with this DSP and is approved herein.

7. Total development within Parcel 2 of this preliminary plan of subdivision (PPS) shall be limited to uses which generate no more than 12 AM peak-hour and 20 PM peak-hour vehicle trips. Total development within Parcel 1 of this PPS shall be limited to uses which generate no more than 28 AM peak-hour and 33 PM peak-hour vehicle trips. Any development generating an impact greater than that identified herein shall require a new determination of the adequacy of transportation facilities and a new PPS.

The DSP is subject to the approved trip cap for Parcel 2, which considers the development of 116,283 square feet of consolidated storage use. The subject DSP accurately reflects this square footage for a consolidated storage facility. The Planning Board finds that the proposal is consistent with the land use and development program approved in the PPS, and therefore, is within the conditioned peak-hour trip cap.

8. In conformance with the 2009 *Approved Countywide Master Plan of Transportation* and the 2013 *Approved Subregion 5 Master Plan*, the applicant and the applicant's heirs, successors, and/or assignees shall show the following additional improvements on the detailed site plan, prior to its acceptance:

a. A continental style crosswalk traversing the drive aisle at the entrance to the self-storage facility.

The subject application accurately displays a continental-style crosswalk crossing the drive aisle at the entrance to the self-storage facility.

9. **2010 Prince George's County Landscape Manual:** This DSP application is subject to the requirements of Section 4.2, Landscape Strips Along Streets; Section 4.3, Parking Lot Requirements; Section 4.7, Buffering Incompatible Uses; and Section 4.9, Sustainable Landscaping Requirements, of the 2010 *Prince George's County Landscape Manual*. The landscape and lighting plan provided with the subject DSP contains the required schedules demonstrating conformance to these requirements.

10. **Prince George's County Woodland and Wildlife Habitat Conservation Ordinance:** This property is subject to the provisions of the Prince George's County Woodland and Wildlife Habitat Conservation Ordinance (WCO) because the property is greater than 40,000 square feet and contains more than 10,000 square feet of existing woodland. TCP2-007-2018-01 was submitted with the DSP application.

The site's gross tract and net tract area is 6.79 acres and contains 4.25 acres of woodlands. The Woodland Conservation Worksheet proposes the removal of 2.28 acres of the net tract area, for a woodland conservation requirement of 1.59 acres. The woodland conservation requirement was placed in a recorded woodland conservation easement (Liber 42437, folio 111–124) as part of the SE-4812 application, providing 1.97 acres of on-site woodland preservation.

The TCP2 plan shows the proposed development of a storage building, surface parking, access lane, stormwater structures, and woodland preservation.

11. **Prince George's County Tree Canopy Coverage Ordinance:** The DSP is subject to the requirements of the Prince George's County Tree Canopy Coverage Ordinance. Section 25-128 of the Prince George's County Code requires a minimum percentage of tree canopy coverage on projects that propose more than 5,000 square feet of disturbance. The subject DSP provides the required schedule demonstrating conformance to this requirement through woodland conservation and the provision of new plantings on the subject property.

12. **Referral Comments:** The subject application was referred to the concerned agencies and divisions. The referral comments are summarized, as follows, and are incorporated herein by reference:
- a. **Subdivision**—The Planning Board has reviewed and adopts the memorandum dated April 11, 2022 (Vatandoost to Butler), which noted that the DSP labels must be revised relative to the proposed square footage of Building A, as conditioned herein. All bearings and distances must be clearly shown on the site plan and must be consistent with the record plat, or permits will be placed on hold until the plans are corrected.
 - b. **Transportation**—The Planning Board has reviewed and adopts the memorandum dated April 4, 2022 (Ryan to Butler), which noted that the plan is acceptable and meets the finding required for a DSP, as described in the prior Zoning Ordinance.
 - c. **Environmental Planning**—The Planning Board has reviewed and adopts the memorandum dated April 6, 2022 (Schneider to Butler), which reviewed conformance with the WCO, as discussed above, and noted that the site contains one specimen tree (Chestnut Oak) in fair condition, which is proposed to be retained within the on-site preservation area. Per SE-4812, variances to remove Specimen Trees 2 and 3 were approved.
 - d. **Historic**—The Planning Board has reviewed and adopts the memorandum dated March 4, 2022 (Smith to Butler), in which it was noted that the subject property does not contain and is not adjacent to any Prince George’s County historic sites or resources. This proposal will not impact any historic sites, historic resources, or known archeological sites. A Phase I archeology survey is not recommended.
 - e. **Community Planning**—The Planning Board has reviewed and adopts the memorandum dated March 21, 2022 (Sams to Butler), in which it was noted that, pursuant to Part 3, Division 9, Subdivision 3 of the prior Zoning Ordinance, master plan conformance is not required for this application.
 - f. **Washington Suburban Sanitary Commission (WSSC)**—The Planning Board has reviewed and adopts the memorandum dated March 15, 2022 (Madagu to Butler), in which WSSC provided standard comments on the subject DSP. WSSC’s comments will be addressed through their own separate permitting process.
 - g. **Prince George’s County Department of Permitting, Inspections and Enforcement (DPIE)**—The Planning Board has reviewed and adopts the memorandum dated March 14, 2022 (Giles to Butler), in which DPIE provided standard comments that will be addressed at the time of permitting and noted that the DSP is consistent with the approved SWM concept plan.

- h. **Maryland State Highway Administration (SHA)**—The Planning Board has reviewed and adopts the email dated March 30, 2022 (Woodroffe to Butler), in which it was noted that SHA had no comments on the subject application.
 - i. **Prince George’s County Health Department**—The Planning Board has reviewed and adopts the memorandum dated March 1, 2022 (Adebola to Butler), in which the Health Department provided standard comments regarding construction regulations, which have been noted on the DSP.
13. As required by Section 27-285(b) of the Zoning Ordinance, the DSP represents a reasonable alternative for satisfying the site design guidelines of Subtitle 27, Part 3, Division 9, of the Prince George’s County Code, without requiring unreasonable cost and without detracting substantially from the utility of the proposed development for its intended use.
14. Per Section 27-285(b)(4) of the Zoning Ordinance, which became effective on September 1, 2010, a required finding for approval of a DSP is as follows:
- (4) The Planning Board may approve a Detailed Site Plan if it finds that the regulated environmental features have been preserved and/or restored in a natural state to the fullest extent possible.**

The regulated environmental features on the subject property have been preserved and/or restored to the fullest extent possible, based on the limits of disturbance shown on the TCP2.

NOW, THEREFORE, BE IT RESOLVED, that pursuant to Subtitle 27 of the Prince George’s County Code, the Prince George’s County Planning Board of The Maryland-National Capital Park and Planning Commission adopted the findings contained herein and APPROVED Type 2 Tree Conservation Plan TCP2-007-2018-01, and further APPROVED Detailed Site Plan DSP-21019 for the above-described land, subject to the following condition:

- 1. Prior to certification, the detailed site plan (DSP) shall be revised as follows:
 - a. Revise the DSP to reflect the proposed building height consistently between the site plan and the architectural elevations.
 - b. Revise the labeling on the plan to correct the gross floor area of Building A.

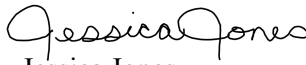
BE IT FURTHER RESOLVED, that an appeal of the Planning Board’s action must be filed with the District Council of Prince George’s County within thirty (30) days following the final notice of the Planning Board’s decision.

* * * * *

This is to certify that the foregoing is a true and correct copy of the action taken by the Prince George's County Planning Board of The Maryland-National Capital Park and Planning Commission on the motion of Commissioner Washington, seconded by Commissioner Bailey, with Commissioners Washington, Bailey, Doerner, Geraldo, and Shapiro voting in favor of the motion at its regular meeting held on Thursday, May 12, 2022, in Upper Marlboro, Maryland.

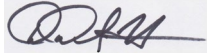
Adopted by the Prince George's County Planning Board this 2nd day of June 2022.

Peter A. Shapiro
Chairman

By 
Jessica Jones
Planning Board Administrator

PAS:JJ:TB:rpg

APPROVED AS TO LEGAL SUFFICIENCY



David S. Warner
M-NCPPC Legal Department
Date: May 30, 2022

1.36

CASE NO: DSP-21019
CASE NAME: DANGERFIELD ROAD
PROPERTY
PARTY OF RECORD: 8
PB DATE: 6-2-2022

MIRA GANTZERT
BOHLER ENGINEERING
16701 MELFORD BOULEVARD SUITE 310
BOWIE MD 20715
(CASE NUMBER: DSP-21019)

NICHOLAS SPEACH
BOHLER ENGINEERING
16701 MELFORD BOULEVARD SUITE 310
BOWIE MD 20715
(CASE NUMBER: DSP-21019)

DANIEL LYNCH
MCNAMEE HOSEA
6411 IVY LANE SUITE 200
GREENBELT MD 20770
(CASE NUMBER: DSP-21019)

MCNAMEE HOSEA
6411 IVY LANE SUITE 200
GREENBELT MD 20770
(CASE NUMBER: DSP-21019)

STEVE CRATIN
ARCLAND PROPERTY COMPANY
1055 NORTHWEST THOMAS JEFFERSON STREET
SUITE 250
WASHINGTON DC 20007
(CASE NUMBER: DSP-21019)

ARCHLAND
1054 31ST STREET
WASHINGTON DC 20007
(CASE NUMBER: DSP-21019)

EZEKIEL J DENNISONJR.
MARLTON HOME OWNERS ASSOCIATION
10213 LILY GREEN COURT, UPPER MARLBORO
MARYLAND 207 COURT/S
UPPET MARLBORO MD 20772
(CASE NUMBER: DSP-21019)

EZEKIEL DENNISONJR.
PARENTS
10213 LILY GREEN COURT, UPPER MARLBORO
MARYLAND 207 COURT/S
UPPET MARLBORO MD 20772
(CASE NUMBER: DSP-21019)



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The Maryland-National Capital Park and Planning Commission
Prince George's County Planning Department
Development Review Division
301-952-3530

Note: Staff reports can be accessed at <http://mncppc.iqm2.com/Citizens/Default.aspx>

Detailed Site Plan Arcland Self Storage

DSP-21019

REQUEST	STAFF RECOMMENDATION
Construction of a 116,283-square-foot consolidated storage facility in two buildings.	APPROVAL with conditions

Location: On the east side of Dangerfield Road, approximately 350 feet south of its intersection with MD 223 (Woodyard Road).		
Gross Acreage:	4.56	
Zone:	CGO/M-I-O	
Zoning Ordinance	<input type="checkbox"/> Current	<input checked="" type="checkbox"/> Prior
Dwelling Units:	N/A	
Gross Floor Area:	116,283 sq. ft.	
Planning Area:	81A	
Council District:	09	
Election District:	09	
Municipality:	N/A	
200-Scale Base Map:	211SE07	
Applicant/Address: Arcland Property Company 1054 31st Street, NW, Suite 340 Washington, DC 20007		
Staff Reviewer: Tierre Butler Phone Number: 301-780-2458 Email: Tierre.Butler@ppd.mncppc.org		



Planning Board Date:	05/12/2022
Planning Board Action Limit:	05/12/2022
Staff Report Date:	04/26/2022
Date Accepted:	02/22/2022
Informational Mailing:	10/05/2021
Acceptance Mailing:	02/09/2022
Sign Posting Deadline:	04/12/2022

The Planning Board encourages all interested persons to request to become a person of record for this application. Requests to become a person of record may be made online at http://www.mncppcapps.org/planning/Person_of_Record/. Please call 301-952-3530 for additional information.

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THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

PRINCE GEORGE'S COUNTY PLANNING BOARD

STAFF REPORT

SUBJECT: Detailed Site Plan DSP-21019
 Type 2 Tree Conservation Plan TCP2-007-2018-01
 Arcland Self Storage

The Urban Design staff has reviewed the detailed site plan for the subject property and presents the following evaluation and findings leading to a recommendation of APPROVAL with conditions, as described in the Recommendation section of this technical staff report.

EVALUATION CRITERIA

The property is within the Commercial, General and Office (CGO) Zone. This application, however, is being reviewed and evaluated in accordance with the prior Prince George's County Zoning Ordinance, pursuant to Section 27-1703(a) of the Zoning Ordinance. This detailed site plan was reviewed and evaluated for conformance with the following criteria:

- a. The requirements of the prior Prince George's County Zoning Ordinance for the Commercial Shopping Center (C-S-C) and Military Installation Overlay (M-I-O) Zones;
- b. The requirements of Preliminary Plan of Subdivision 4-21011;
- c. The requirements of the 2010 *Prince George's County Landscape Manual*;
- d. The requirements of the Prince George's County Woodland and Wildlife Habitat Conservation Ordinance;
- e. The requirements of the Prince George's County Tree Canopy Coverage Ordinance; and
- f. Referral comments.

FINDINGS

Based upon the analysis of the subject application, Urban Design staff recommends the following findings:

1. **Request:** This detailed site plan (DSP) requests the development of a 116,283-square-foot consolidated storage facility in two buildings within the Military Installation Overlay (M-I-O) Zone.

2. **Development Data Summary:**

	EXISTING	PROPOSED
Zone(s)	CGO (prior C-S-C) /M-I-O	CGO (prior C-S-C) /M-I-O
Use(s)	Vacant	Consolidated Storage
Gross Acreage	4.56	4.56
Lots/Parcels	1	1
Square Footage/Gross Floor Area (GFA)	N/A	116,283 sq. ft.

Parking and Loading

USE	NUMBER OF SPACES REQUIRED	NUMBER OF SPACES PROVIDED
1 space per 50 units with direct access only within the building (900 units)	18	18
4 spaces per 1,000 sq. ft. of GFA of office space (1,000 sq. ft.)	4	4
2 per resident manager	2	2
Total	24	24
LOADING		
2 spaces up to 10,000 sq. ft. of GFA	2	2
1 space for each additional 40,000 sq. ft. of GFA	3	3
Total	5	5

3. **Location:** The subject site is located on the east side of Dangerfield Road, approximately 350 feet south of its intersection with MD 223 (Woodyard Road), in Planning Area 81A and Council District 9. The site is zoned Commercial, General and Office (CGO), previously the Commercial Shopping Center (C-S-C) Zone, is within the M-I-O Zone for height, noise, and safety, and is subject to the 2013 *Approved Subregion 5 Master Plan and Sectional Map Amendment*.
4. **Surrounding Uses:** The subject property is adjacent to a proposed gas station and food and beverage store in the CGO Zone to the north, single-family detached homes in the Residential, Rural (RR) and CGO Zones to the east and south, respectively, and single-family detached homes in the RR and CGO zones to the west, across Dangerfield Road.
5. **Previous Approvals:** The subject property consists of 4.56 acres of existing Lot 34, which is recorded among the Prince George's County Land Records in Plat Book VJ 178 page 55, entitled a resubdivision of part of Lot 4, Townsend Subdivision, dated February 19, 1997. The property is located on Tax Map 117 in Grids A-1 and B-1. The development has an approved Stormwater Management (SWM) Concept Plan, 16017-2021-00.

On November 4, 2021, Preliminary Plan of Subdivision (PPS) 4-21011 was approved by the Prince George's County Planning Board (PGCPB Resolution No. 2021-136). The PPS approved two parcels for 118,548 square feet of commercial development. Proposed Parcel 1 will contain part of a previously approved gas station; this gas station was approved under Special Exception SE-4812 in August 2018, with minor site modifications approved under Revision of Site Plan ROSP-4812-01 in July 2020. The gas station site consists of Parcel 1, as well as abutting off-site Parcels A and B. Of the 4,715 square feet of gross floor area approved for the gas station, car wash, and food and beverage store, only 2,265 square feet are located on Parcel 1, and therefore, is subject to this PPS. This DSP proposes to develop 116,283 square feet of gross floor area on proposed Parcel 2. Final plats of subdivision will be required for Parcels 1 and 2 before permits may be issued and must be filed prior to end of the validity period of the PPS, which is December 2, 2023.

6. **Design Features:** The proposed two-building consolidated storage facility will be accessed from Dangerfield Road, in the northwest corner of the site via a 30-foot-wide access driveway. The main building, labeled as Building A, will be 113,283 square feet, rectangular, and three stories high with the short side facing Dangerfield Road. An additional 3,000-square-foot, one-story building, labeled as Building B, is located to the southeast of the main building. The site will provide a total of 24 parking spaces, with 7 spaces located outside the gate and fence, adjacent to the office in the northwest corner of Building A. The remaining 17 spaces will be located behind the entry gate, to the north and south of Building A. There are five 12-foot by 32-foot loading spaces located in the rear of the property. Two bike racks are located adjacent to the sidewalk connecting the building to the sidewalk within Dangerfield Road. A six-foot-high, vinyl-coated chain link fence will surround the development area. SWM micro-bioretention facilities will be located along the northern and southern edges of the development.

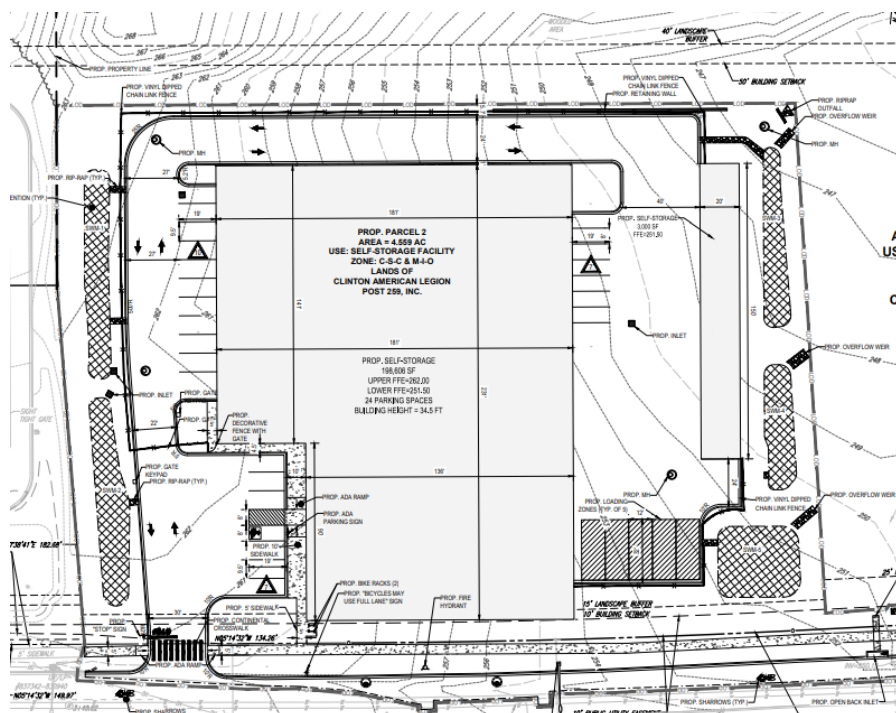


Figure 1: Site Plan

Building A is 34.5 feet tall and will be finished with a combination of metaling paneling, decorative concrete masonry units, and dark and light metallic features. The front elevation will face Dangerfield Road to the west and contain a white wall-mounted sign that reads “Self Storage Plus”. The side elevation that faces north will consist of the same materials, and two additional signs with the same language. The storefront windows will consist of glazing material with faux window systems. The architectural design will include decorative metal paneling, parapet trim, and decorative canopies on the eastern and southern elevations. Building B will be 3,000 square feet, approximately 13 feet tall, and will consist of similar building materials.

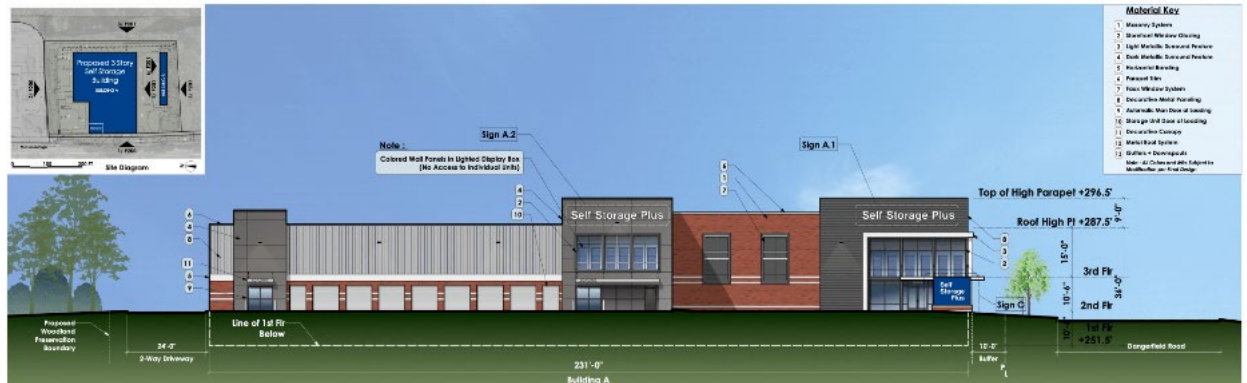




Figure 2: Architectural Elevations

COMPLIANCE WITH EVALUATION CRITERIA

7. **Prince George's County Zoning Ordinance:** The DSP application has been reviewed for compliance with the requirements of the C-S-C Zone of the prior Zoning Ordinance:
- The subject application is in conformance with the requirements of Section 27-461 of the prior Zoning Ordinance, as the proposed consolidated storage use is permitted in the C-S-C Zone, subject to Footnote 69, which reads as follows:

Provided:

- the use is located on property within the Accident Potential Zone 1 or Accident Potential Zone 2 of the M-I-O (Military Installation Overlay) Zone; and

The subject property is located within Accident Potential Zone 2 (APZ 2) of the M-I-O Zone.

(B) the use is subject to a Detailed Site Plan approval process in accordance with Part 3, Division 9 of this Subtitle.

The subject application is submitted in accordance with this requirement.

- b. The DSP conforms with Sections 27-454 and 27-462 of the Zoning Ordinance, Regulations for the Commercial Zones.
 - c. **Military Installation Overlay Zone:** The project is also located within the M-I-O Zone for height, noise, and safety. The site is located in the Noise Intensity Zone 60-74db, APZ 2, and Height Clearance Zone (50:01) South End B, which restrict height to approximately 100 feet. The proposed building height is 34.5 feet and meets the height requirements. The project also falls in the Noise Intensity Zone, which has no restrictions on the proposed non-residential use. Section 27-548.56 of the prior Zoning Ordinance addresses prohibited and limited uses in APZ 2, which does not include the proposed consolidated storage use.
 - d. **Site design guidelines:** The DSP is in conformance with the applicable site design guidelines contained in Section 27-274 of the Zoning Ordinance. The parking and loading spaces are located and designed to provide safe vehicular and pedestrian circulation, and the lighting provides adequate illumination. The green area is well defined and appropriately scaled for the use, and the site and architecture are unified with harmonious use of materials and features.
- 8. Preliminary Plan of Subdivision 4-21011:** The Planning Board approved PPS 4-21011 on November 4, 2021, for two parcels for 118, 548 square feet of commercial development (PGCPB Resolution No. 2021-136), subject to nine conditions. The relevant conditions are discussed, as follows:
- 2. Any residential development on the subject property shall require approval of a new preliminary plan of subdivision, prior to approval of any permits.**
- This DSP does not propose any residential development on the subject property.
- 3. Development of Parcel 1 shall be in conformance with Stormwater Management (SWM) Concept Plan 8745-2018-0 and any subsequent revisions, and development of Parcel 2 shall be in conformance with approved SWM Concept Plan 16017-2021-0 and any subsequent revisions.**

The applicant submitted an approved SWM Concept Plan, 16017-2021-00, with the subject DSP. The DSP shows the layout of the proposed storage building in conformance with the approved SWM Concept Plan.

4. Prior to approval of a final plat, the final plat shall:

- a. Include the 10-foot-wide public utility easements along the public rights-of-way, in accordance with the approved preliminary plan of subdivision.**

All required public utility easements along the public rights-of-way are shown on the DSP, in accordance with the approved PPS. Conformance to this condition will be reviewed again at the time of final plat.

5. Development of this subdivision shall be in conformance with an approved Type 1 Tree Conservation Plan (TCP1-014-2021). The following note shall be placed on the final plat of subdivision:

“This development is subject to restrictions shown on the approved Type 1 Tree Conservation Plan (TCP1-01-2021), or as modified by the Type 2 Tree Conservation Plan and precludes any disturbance or installation of any structure within specific areas. Failure to comply will mean a violation of an approved Tree Conservation Plan and will make the owner subject to mitigation under the Woodland Conservation/Tree Conservation Policy.”

The DSP is in general conformance with the approved Type 1 Tree Conservation Plan, TCP1-014-2021. This condition will be addressed at the time of final plat.

6. Prior to the issuance of permits for this subdivision, a Type 2 tree conservation plan shall be approved. The following note shall be placed on the final plat of subdivision:

“This plat is subject to the recordation of a Woodland Conservation Easement pursuant to Section 25-122(d)(1)(B) with the Liber and folio reflected on the Type 2 Tree Conservation Plan, when approved.”

A Type 2 Tree Conservation Plan, TCP2-007-2018-01, has been submitted with this DSP and is recommended for approval herein.

7. Total development within Parcel 2 of this preliminary plan of subdivision (PPS) shall be limited to uses which generate no more than 12 AM peak-hour and 20 PM peak-hour vehicle trips. Total development within Parcel 1 of this PPS shall be limited to uses which generate no more than 28 AM peak-hour and 33 PM peak-hour vehicle trips. Any development generating an impact greater than that identified herein shall require a new determination of the adequacy of transportation facilities and a new PPS.

The DSP is subject to the approved trip cap for Parcel 2, which considers the development of 116,283 square feet of consolidated storage use. The subject DSP accurately reflects this square footage for a consolidated storage facility. Staff finds the proposal is consistent with the land use and development program approved in the PPS, and therefore, is within the conditioned peak-hour trip cap.

8. **In conformance with the 2009 *Approved Countywide Master Plan of Transportation* and the 2013 *Approved Subregion 5 Master Plan*, the applicant and the applicant's heirs, successors, and/or assignees shall show the following additional improvements on the detailed site plan, prior to its acceptance:**

a. **A continental style crosswalk traversing the drive aisle at the entrance to the self-storage facility.**

The subject application accurately displays a continental-style crosswalk crossing the drive aisle at the entrance to the self-storage facility.

9. **2010 Prince George's County Landscape Manual:** This DSP application is subject to the requirements of Section 4.2, Landscape Strips Along Streets; Section 4.3, Parking Lot Requirements; Section 4.7, Buffering Incompatible Uses; and Section 4.9, Sustainable Landscaping Requirements, of the 2010 *Prince George's County Landscape Manual*. The landscape and lighting plan provided with the subject DSP contains the required schedules demonstrating conformance to these requirements.

10. **Prince George's County Woodland and Wildlife Habitat Conservation Ordinance:** This property is subject to the provisions of the Prince George's County Woodland and Wildlife Habitat Conservation Ordinance (WCO) because the property is greater than 40,000 square feet and contains more than 10,000 square feet of existing woodland. TCP2-007-2018-01 was submitted with the DSP application.

The site's gross tract and net tract area is 6.79 acres and contains 4.25 acres of woodlands. The Woodland Conservation Worksheet proposes the removal of 2.28 acres of the net tract area, for a woodland conservation requirement of 1.59 acres. The woodland conservation requirement was placed in a recorded woodland conservation easement (Liber 42437, folio 111-124) as part of the SE-4812 application, providing 1.97 acres of on-site woodland preservation.

The TCP2 plan shows the proposed development of a storage building, surface parking, access lane, stormwater structures, and woodland preservation.

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12. **Referral Comments:** The subject application was referred to the concerned agencies and divisions. The referral comments are summarized, as follows, and are incorporated herein by reference:

- a. **Subdivision**—In a memorandum dated April 11, 2022 (Vatandoost to Butler), the Subdivision Section noted that the DSP labels must be revised relative to the proposed square footage of Building A, as conditioned herein. All bearings and distances must be clearly shown on the site plan and must be consistent with the record plat, or permits will be placed on hold until the plans are corrected.
 - b. **Transportation**—In a memorandum dated April 4, 2022 (Ryan to Butler), the Transportation Planning Section noted that the plan is acceptable and meets the finding required for a DSP, as described in the prior Zoning Ordinance.
 - c. **Environmental Planning**—In a memorandum dated April 6, 2022 (Schneider to Butler), the Environmental Planning Section reviewed conformance with the WCO, as discussed above, and noted that the site contains one specimen tree (Chestnut Oak) in fair condition, which is proposed to be retained within the on-site preservation area. Per SE-4812, variances to remove Specimen Trees 2 and 3 were approved.
 - d. **Historic**—In a memorandum dated March 4, 2022 (Smith to Butler), it was noted that the subject property does not contain and is not adjacent to any Prince George’s County historic sites or resources. This proposal will not impact any historic sites, historic resources, or known archeological sites. A Phase I archeology survey is not recommended.
 - e. **Community Planning**—In a memorandum dated March 21, 2022 (Sams to Butler), it was noted that pursuant to Part 3, Division 9, Subdivision 3 of the prior Zoning Ordinance, master plan conformance is not required for this application.
 - f. **Washington Suburban Sanitary Commission (WSSC)**—In a memorandum dated March 15, 2022 (Madagu to Butler), WSSC provided standard comments on the subject DSP. WSSC’s comments will be addressed through their own separate permitting process.
 - g. **Prince George’s County Department of Permitting, Inspections and Enforcement (DPIE)**—In a memorandum dated March 14, 2022 (Giles to Butler), DPIE provided standard comments that will be addressed at the time of permitting and noted that the DSP is consistent with the approved SWM concept plan.
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 - i. **Prince George’s County Health Department**—In a memorandum dated March 1, 2022 (Adebola to Butler), the Health Department provided standard comments regarding construction regulations, which have been noted on the DSP.
13. As required by Section 27-285(b) of the Zoning Ordinance, the DSP represents a reasonable alternative for satisfying the site design guidelines of Subtitle 27, Part 3, Division 9, of the Prince George’s County Code, without requiring unreasonable cost and without detracting substantially from the utility of the proposed development for its intended use.

14. Per Section 27-285(b)(4) of the Zoning Ordinance, which became effective on September 1, 2010, a required finding for approval of a DSP is as follows:

(4) The Planning Board may approve a Detailed Site Plan if it finds that the regulated environmental features have been preserved and/or restored in a natural state to the fullest extent possible.

The regulated environmental features on the subject property have been preserved and/or restored to the fullest extent possible, based on the limits of disturbance shown on the TCP2.

RECOMMENDATION

Based upon the foregoing evaluation and analysis, the Urban Design staff recommends that the Planning Board adopt the findings of this report and APPROVE Detailed Site Plan DSP-21019 and Type 2 Conservation Plan TCP2-007-2018-01, for Arcland Self Storage, subject to the following condition:

1. Prior to certification, the detailed site plan (DSP) shall be revised as follows:
 - a. Revise the DSP to reflect the proposed building height consistently between the site plan and the architectural elevations.
 - b. Revise the labeling on the plan to correct the gross floor area of Building A.

ARCLAND SELF STORAGE

Detailed Site Plan

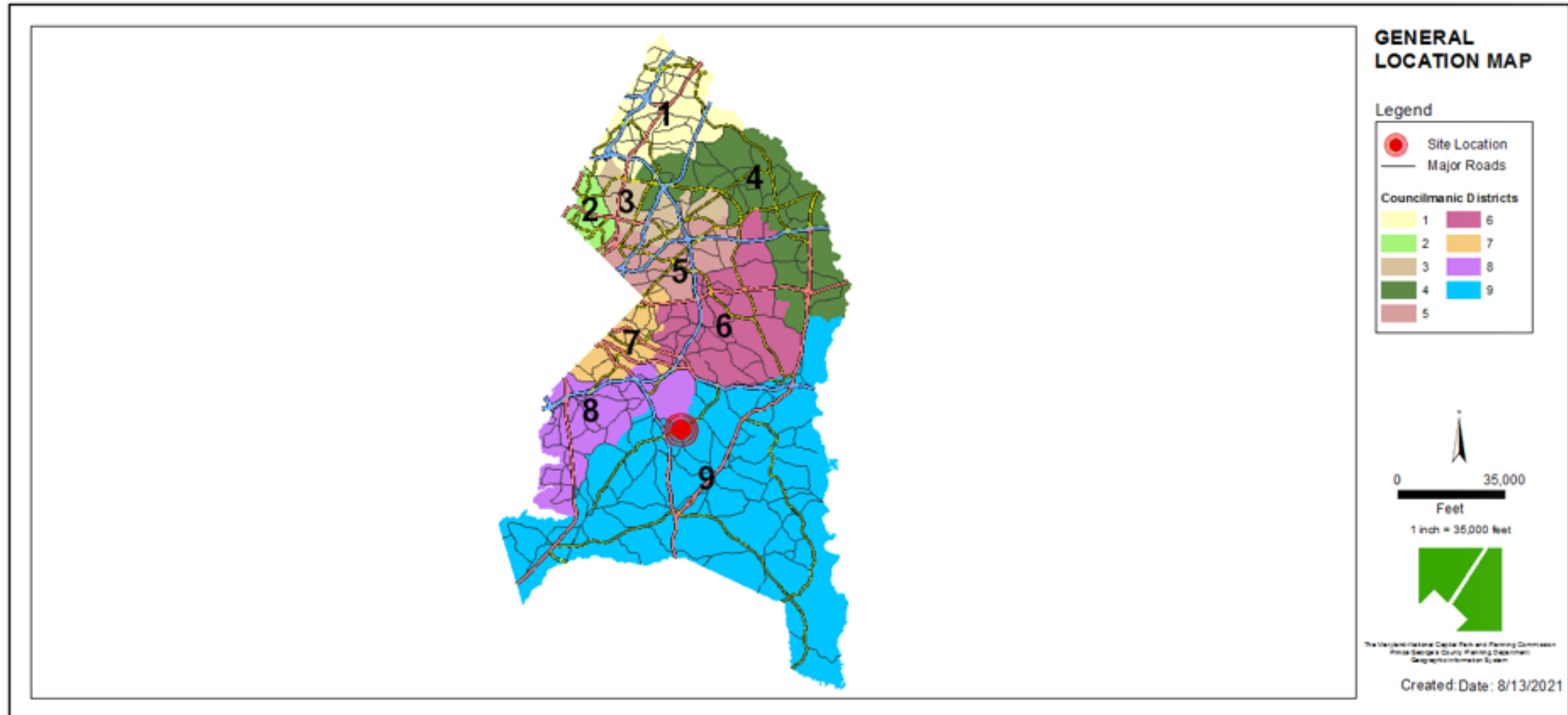
Staff Recommendation: APPROVAL with conditions



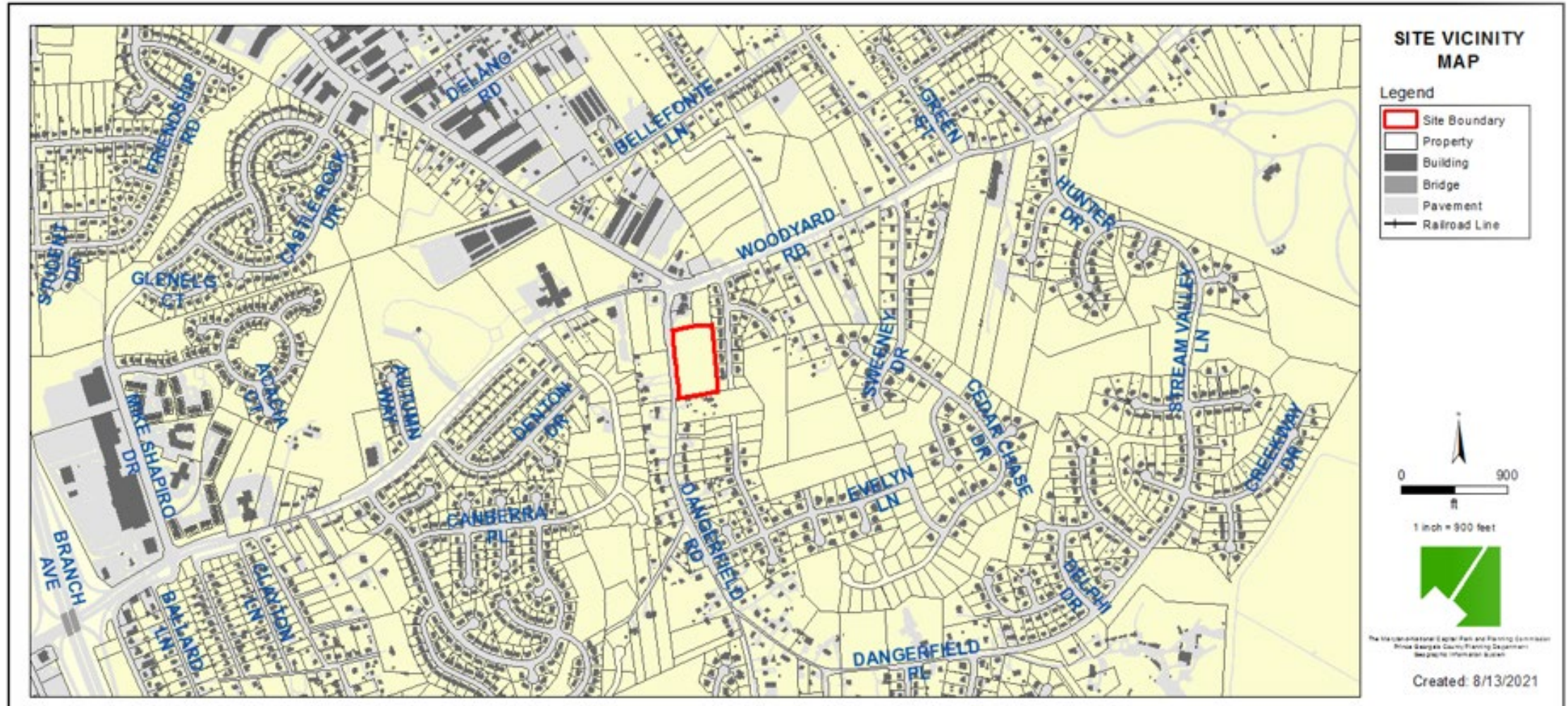
GENERAL LOCATION MAP

Council District: 09

Planning Area: 81A

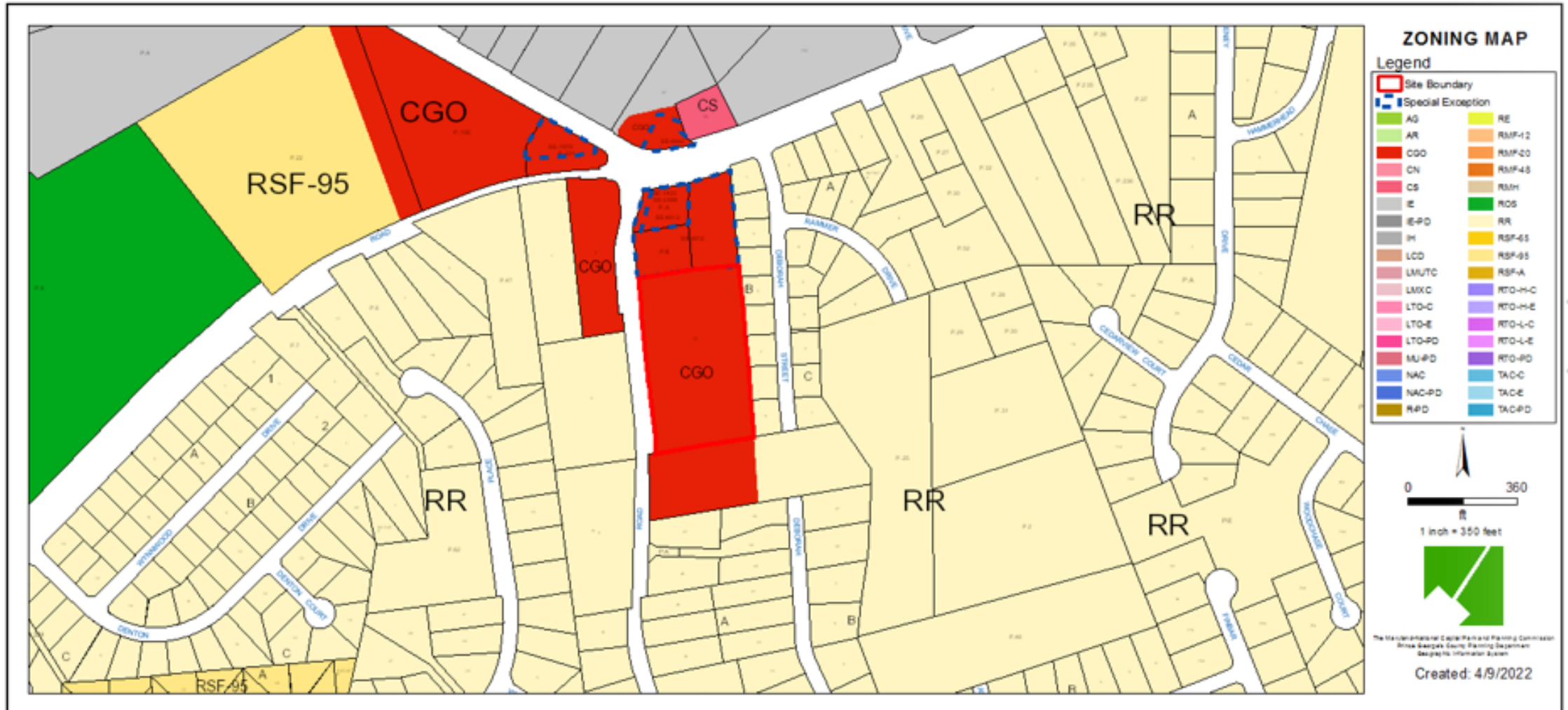


SITE VICINITY MAP



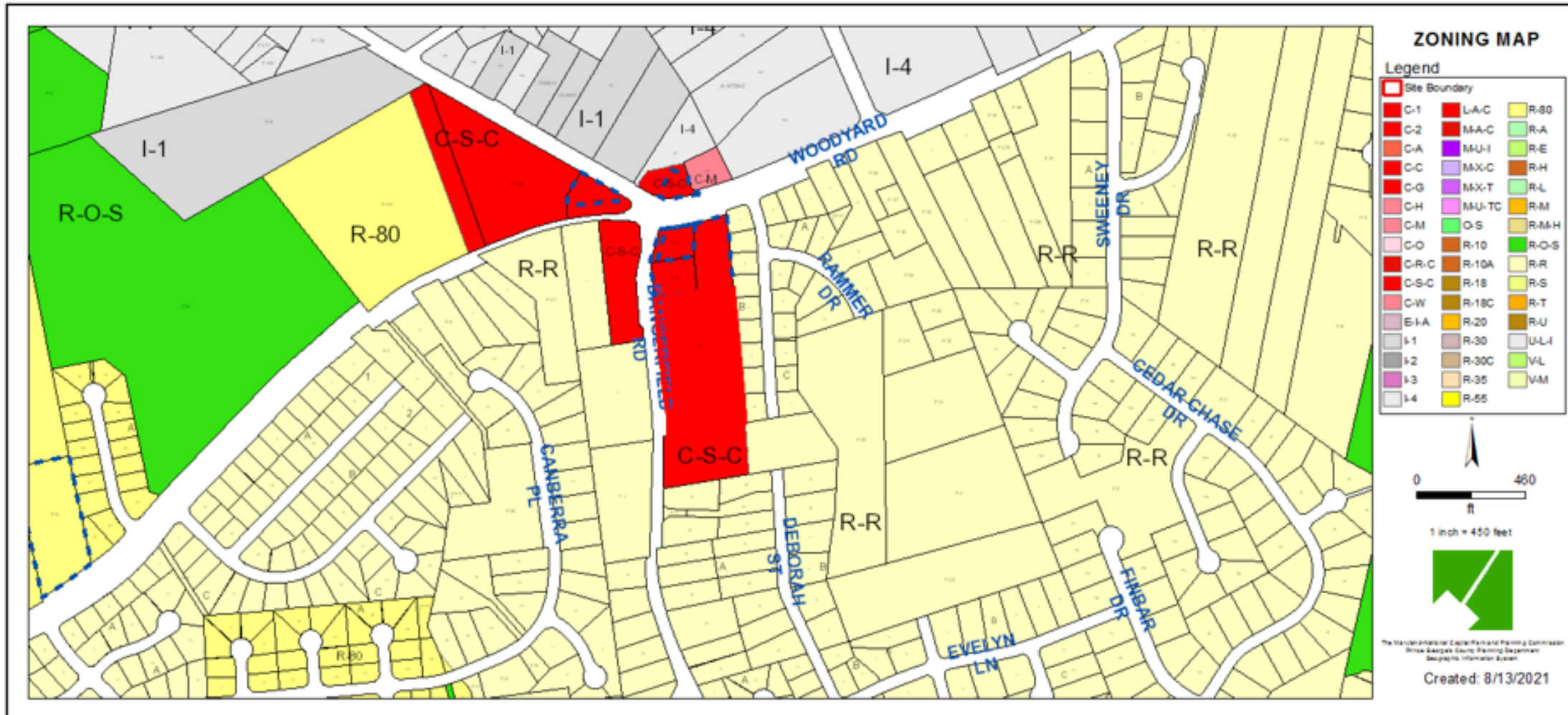
NEW ZONING MAP

Current Property Zone: C-G-O

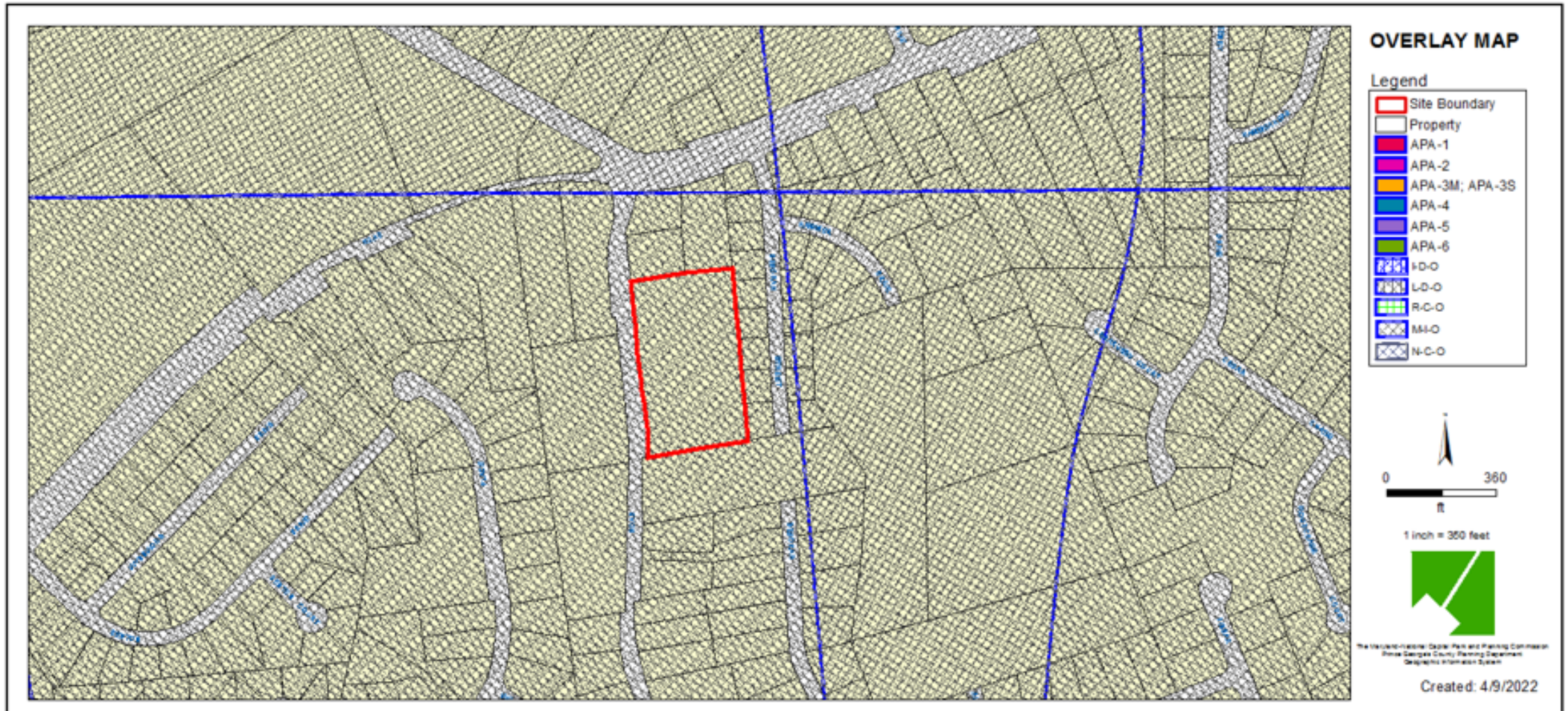


PRIOR ZONING MAP

Prior Property Zone: C-S-C



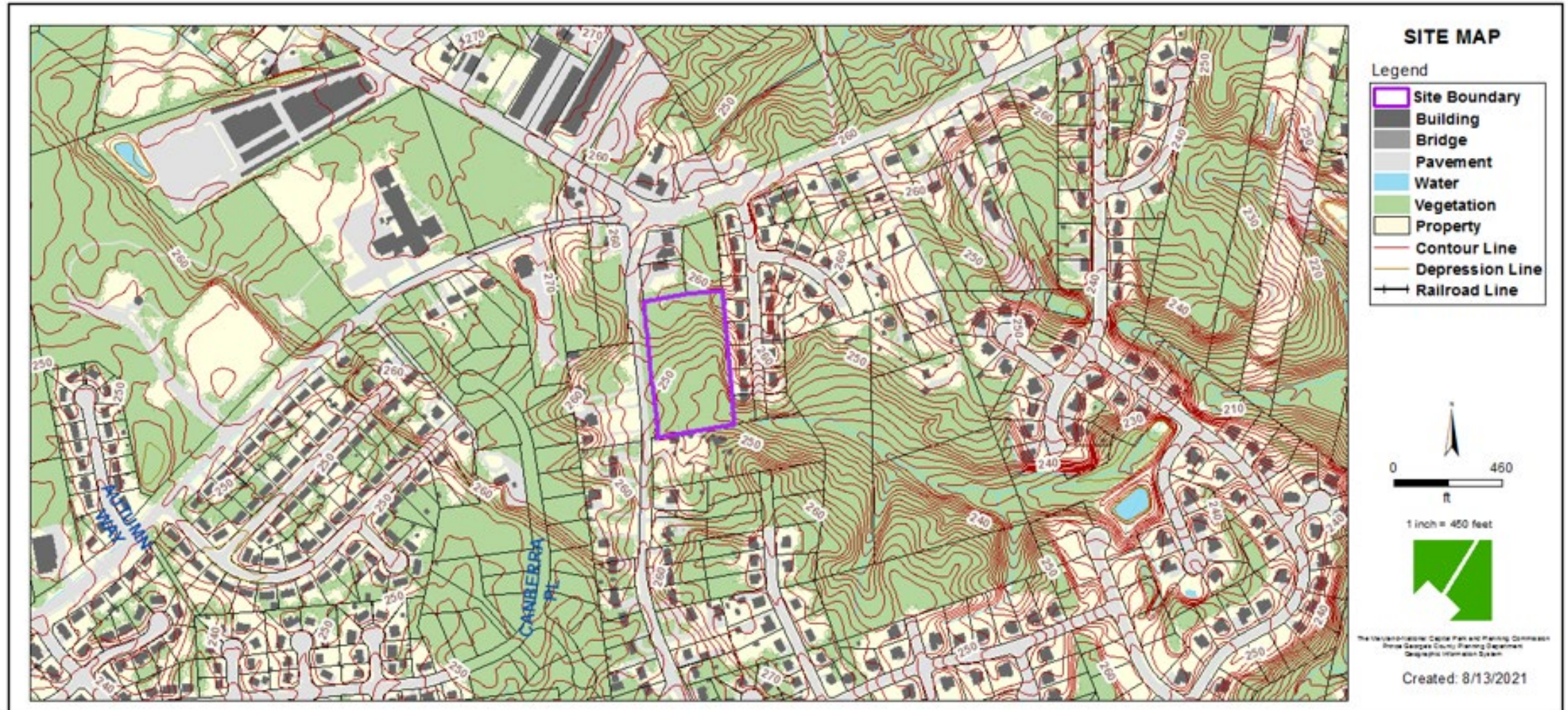
OVERLAY MAP



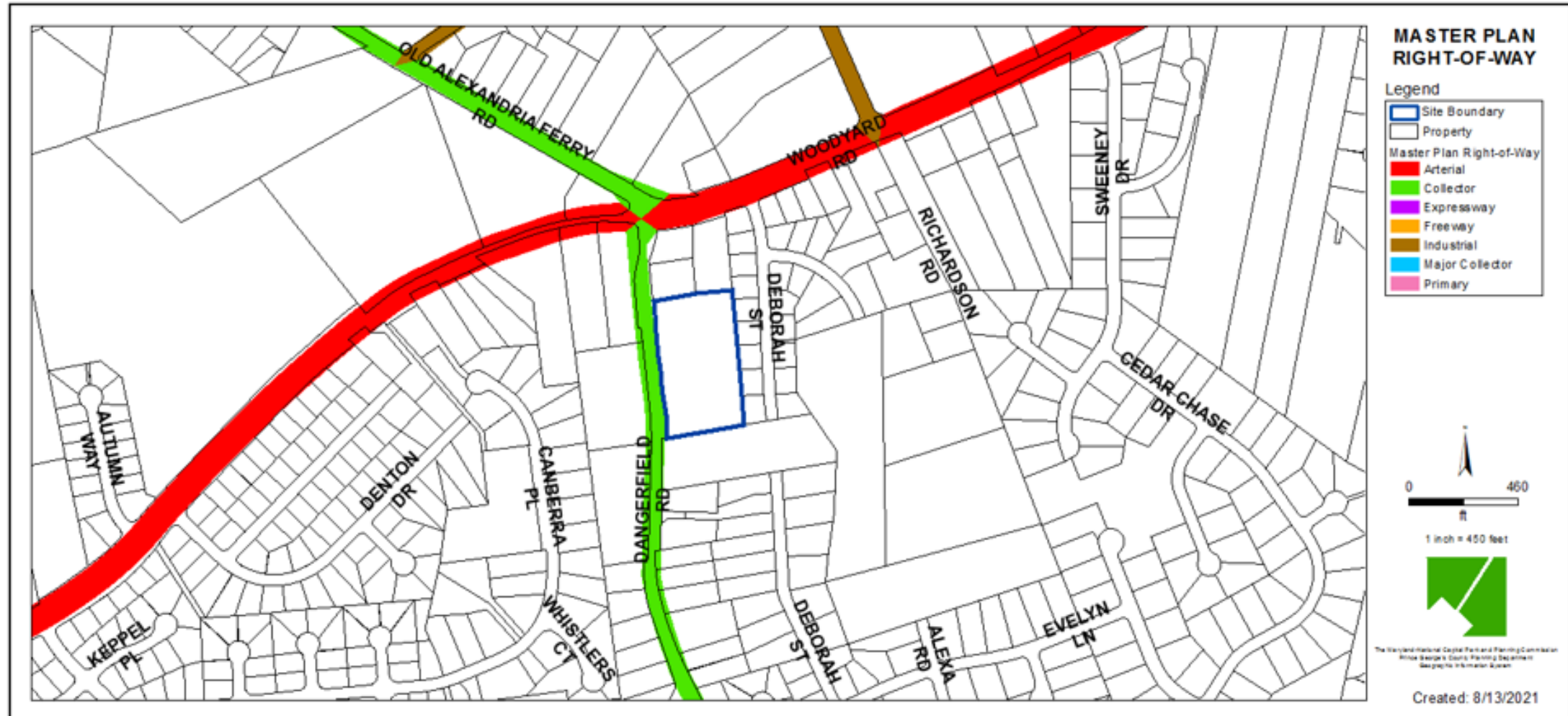
AERIAL MAP



SITE MAP



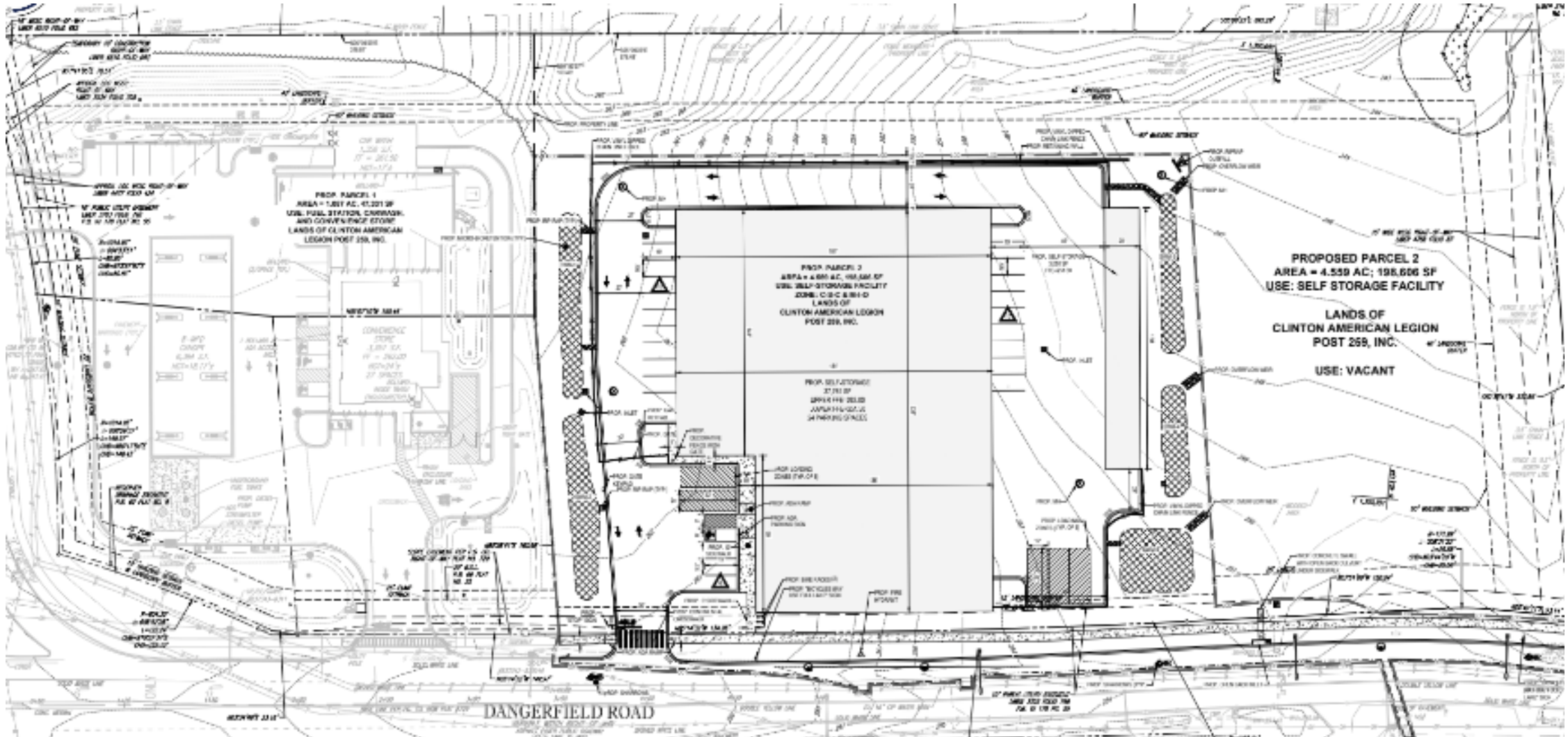
MASTER PLAN RIGHT-OF-WAY MAP



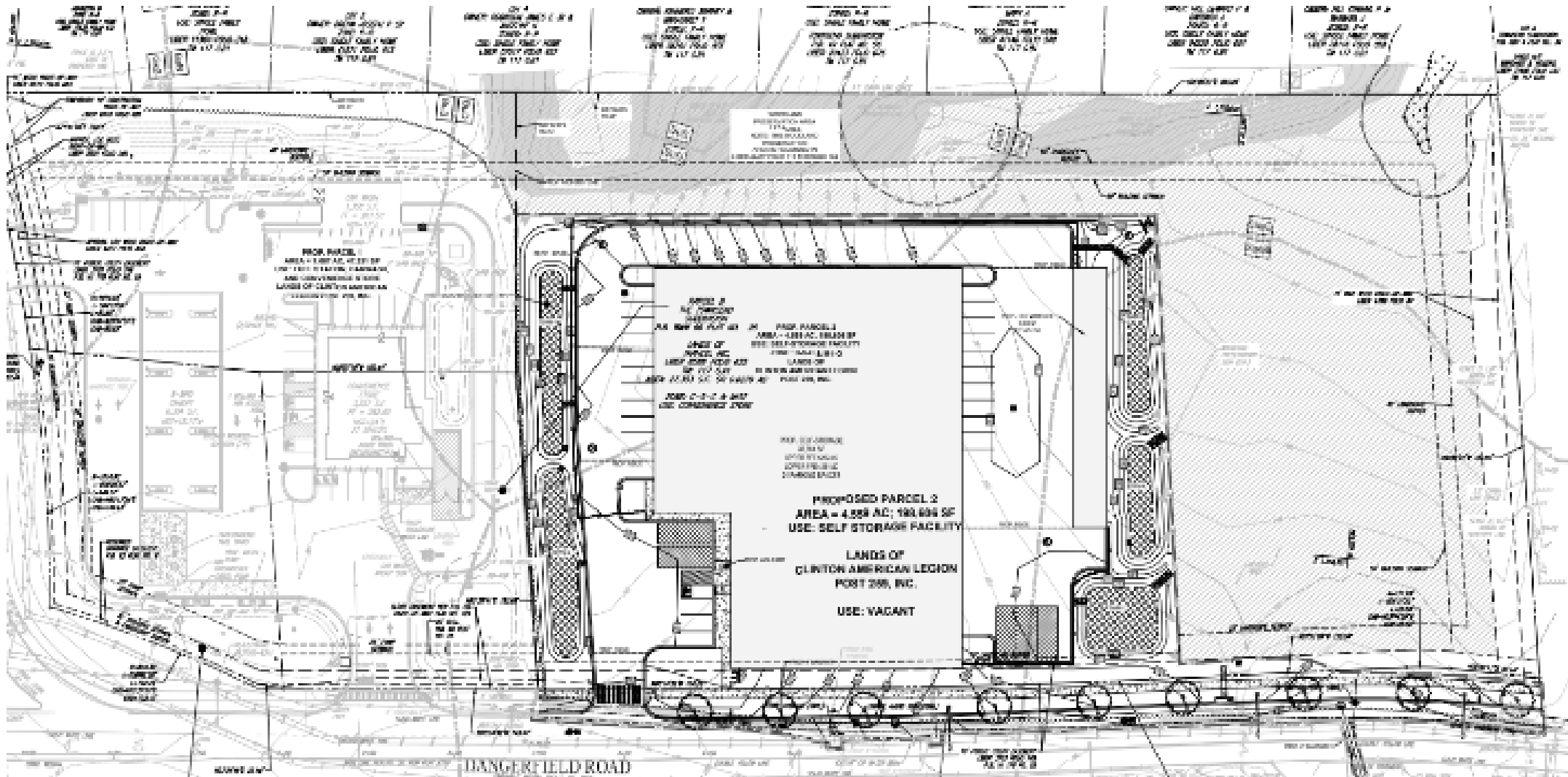
BIRD'S-EYE VIEW



DETAILED SITE PLAN



TYPE II TREE CONSERVATION PLAN



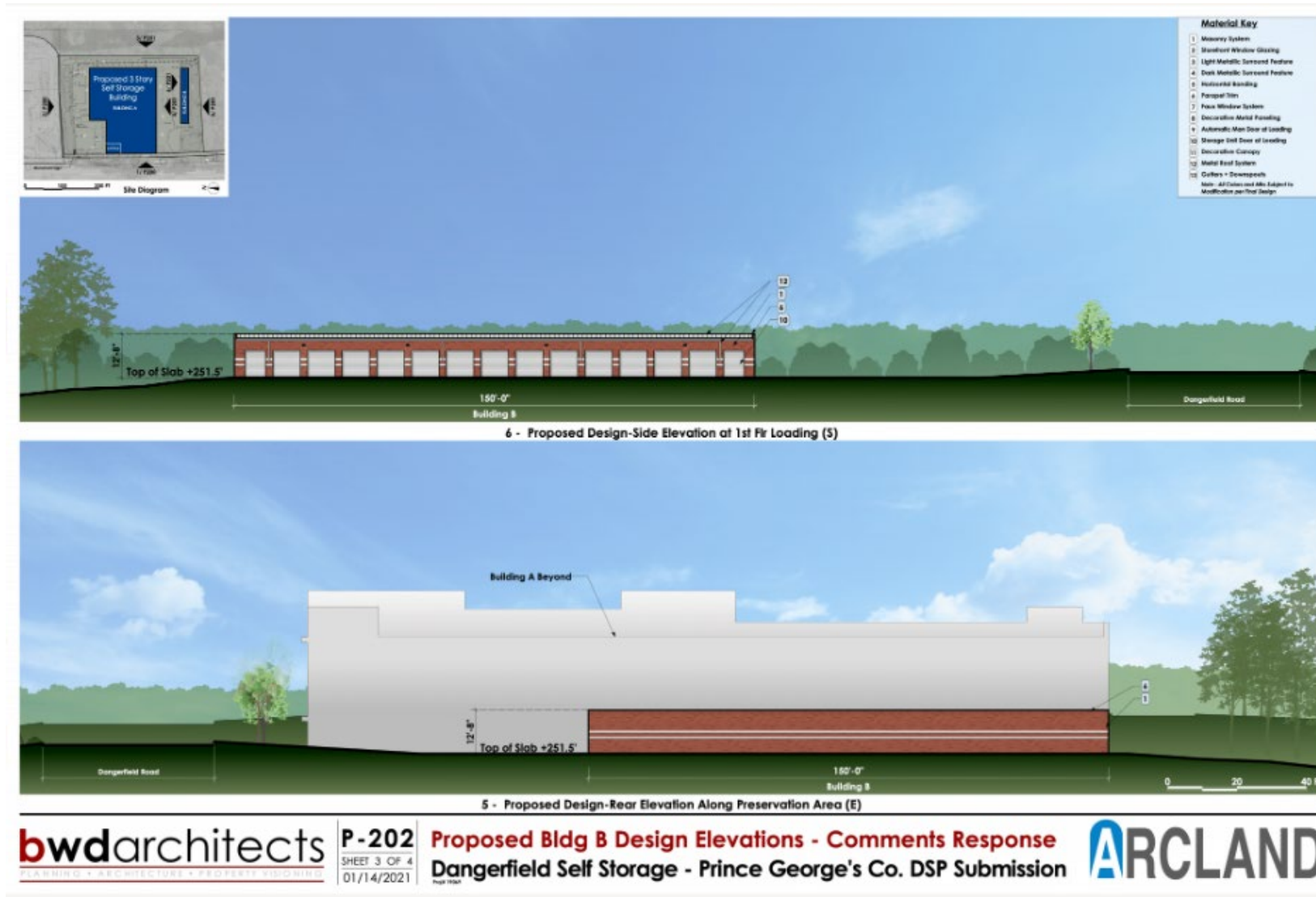
PROPOSED BUILDING A- NORTH AND WEST ELEVATIONS



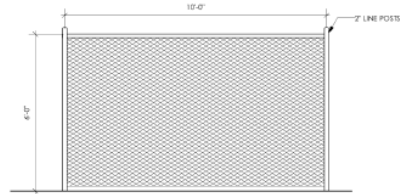
PROPOSED BUILDING A – EAST AND SOUTH ELEVATIONS



PROPOSED BUILDING B – NORTH AND SOUTH ELEVATIONS

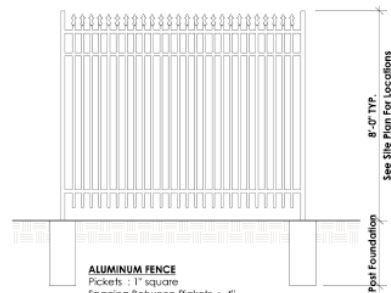


PROPOSED SIGNAGE/DETAILS



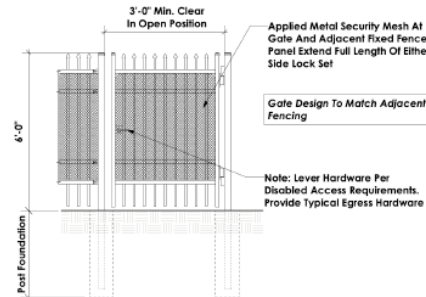
VINYL DIPPED CHAIN LINK FENCE
Line Posts: 2" vinyl coated structural pipe 2.20lb. per foot, black, with cap
Terminal Posts: 2 1/2" vinyl coated structural pipe, 2.78 lbs. per foot
Basing: Terminal posts that be braced to the nearest line post with 1.58" O.D. vinyl coated structural pipe.
Tension Wire: RGA, Smooth wire vinyl coated tension wire attached to the bottom of the fence fabric with RGA, aluminum hog ring spaced 18" on center.
Hinge: Vinyl coated in all areas.
Post Spacing: 10' on center
Height: 4'0"
Color: Black
Opacity: Min. 95% opacity required

6 Site Chain Link Fencing Detail
P500 Scale: 1/2" = 1'-0"

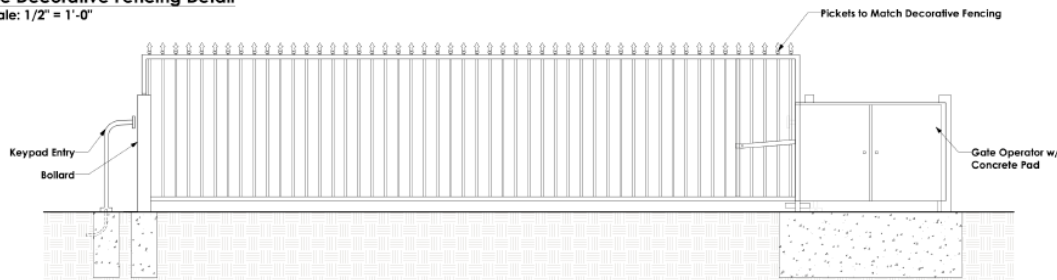


ALUMINUM FENCE
Pickets: 1" square
Spacing Between Pickets: 4"
Horizontal Rails: 1 5/8" square
Posts: 4" sq.
Post Spacing: 71 1/2" on center
Height: ~ 96"
Color: ~ Black, Mfr. prefinished.
Weight Supported: 1,000+ lbs. per section

5 Site Decorative Fencing Detail
P500 Scale: 1/2" = 1'-0"



4 Site Man Gate Detail
P500 Scale: 1/2" = 1'-0"



3 Site Vertical Pivot Gate Detail
P500 Scale: 1/2" = 1'-0"



2 Wall-Mounted Sign B - 136 SF
P500 Scale: 1/4" = 1'-0"



1 Wall-Mounted Signs A.1, A.2 - 92.16 SF Each
P500 Scale: 1/4" = 1'-0"

PROPOSED WALL-MTD SIGNAGE ANALYSIS					
SIGN	QUANTITY	TYPE	WIDTH	HEIGHT	AREA
A.1	1	Wall-Mounted	28' - 0"	3' - 3 1/2"	92.16 SF
A.2	1	Wall-Mounted	28' - 0"	3' - 3 1/2"	92.16 SF
B	1	Wall-Mounted	34' - 0"	4' - 0"	136.80 SF
TOTAL PROPOSED WALL-MOUNTED SIGN AREA:					320.16 SF
Per 27-41323(B)(6) TOTAL ALLOWED WALL-MOUNTED SIGN AREA (231.1' x 2' = 462, Max 400 SF):					400.0 SF
Per 27-591(a) 80% Area Reduction - TOTAL CALCULATED WALL-MOUNTED SIGN AREA (467.2/2 = 233.6):					160.09 SF
					SIGNAGE COMPLIES

STAFF RECOMMENDATION

APPROVAL with conditions

Minor Issues:

- Technical corrections

Applicant Community Engagement:

- N/A

STATEMENT OF JUSTIFICATION
DSP-21019

APPLICANT: Arcland
PO Box 25523
Washington, DC 20027

CORRESPONDENT: Daniel F. Lynch, Esq.
McNamee Hosea
6411 Ivy lane, Suite 200
Greenbelt, Maryland 20770
301-441-2420 (P)
301-982-9460 (F)
dlynch@mhlawyers.com

REQUEST: Detailed Site Plan, Sections 27-285 and 27-475.04 of the
Zoning Ordinance – Consolidated Storage Facility

I. DESCRIPTION OF PROPERTY

1. Address – 8310 Dangerfield Road, Clinton, Maryland 20735
2. Location – Located on the west side of Dangerfield Road approximately 300 feet north of its intersection with Woodyard Road.
3. Proposed Use – Consolidated Storage Facility
4. Election District – 9
5. Councilmanic District - 9
6. Parcel –Lot 34, Townsend Subdivision
7. Total Area – 5.65
8. Tax Map – 52/F1
9. Zoned – C-S-C and M-I-O Zones
10. Owner – Dash-In Food Stores, Inc.
11. Zoning Map – 206NE09

II. NATURE OF REQUEST

The Applicant is requesting the approval of a Detailed Site Plan for the purpose of constructing a 198,606 square foot, 3-story consolidated storage facility with 7 associated parking spaces for property located in the C-S-C and MIO Zones. The property is currently undeveloped. The property is accessed from Dangerfield Road.

Access to the site will be via a 30 foot wide access driveway that will be secured by a gate. There will be an unsecure public parking area located outside the gate that will contain 7 parking spaces. The facility will be secured by a 6-foot fence located along north, south and east sides of the property.

The applicant is proposing to construct a 3-story, 45-foot high facility. The front of the building will face to the east and the exterior doors to units will be located on the north and south sides of the buildings and not visible from the street. The office will be located in the northeast corner of the building to allow visitors and customers access from both the secured and unsecured areas of the property. The applicant is not proposing a resident manager.

The applicant's proposed consolidated storage facility complies with the specific requirements for consolidated storage set forth in Section 27-475.04, the Tree Canopy Coverage Requirements, the parking and loading requirements as well as the other bulk regulations for development in the C-S-C Zone. .

III. SURROUNDING USES

The subject property is located on the west side of Dangerfield Road. It is bounded to the north by a single-family home in the C-S-C Zone, to the east by single-family dwellings in the R-R Zone, to the west Dangerfield Road and across Dangerfield Road, single-family homes in the R-R and C-S-C Zones and to the south by a gas station in the C-S-C Zone. The neighborhood is predominately developed with a mix of service commercial, light industrial and residential uses.

The subject property is in an area covered by the approved *2013 Approved Subregion 5 Master Plan and Sectional Map Amendment* (the "Master Plan"). This application for development of a consolidated storage facility conforms to the recommendations of the Master Plan as the property was retained in the C-S-C Zone and the use is permitted in the C-S-C Zone.

The subject property is also located in the Military Installation Overlay (M-I-O) Zone, including Noise Intensity Zone 60-74db, Accident Potential Zone 1 and 2 and Height Clearance Zone (50:1) South End, B, which restricts height to approximately 100 feet.

IV. CRITERIA FOR APPROVAL

The criteria for approval of a Detailed Site Plan are set forth in Sections 27-285(b), 27-274 & 27-475.04.

Section 27-285. Planning Board Procedures.

(b) Required findings.

(A) The plan represents a reasonable alternative for satisfying the site design guidelines, without requiring unreasonable costs and without detracting substantially from the utility of the proposed development for its intended use;

COMMENT: The plan represents a reasonable alternative for satisfying the site design guidelines. The site design guidelines are found in Section 27-274 of the Zoning Ordinance.

Section 27-274. Design Guidelines.

(1) General.

(A) The Plan should promote the purposes of the [Detailed] Site Plan.

COMMENT: The purposes of the Detailed Site Plan are found in Section 27-281(b) & (c).

Section 27-281. Purpose of Detailed Site Plans.

(b) General purposes.

(1) The general purposes of Detailed Site Plans are:

- (A) To provide for development in accordance with the principles for the orderly, planned, efficient and economical development contained in the General Plan, Master Plan, or other approved plan;
- (B) To help fulfill the purposes of the zone in which the land is located;
- (C) To provide for development in accordance with the site design guidelines established in this division; and
- (D) To provide approval procedures that is easy to understand and consistent for all types of Detailed Site Plans.

(c) Specific purposes.

(1) The specific purposes of Detailed Site Plans are:

- (A) To show the specific location and delimitation of buildings and structures, parking facilities, streets, green areas, and other physical features and land uses proposed for the site;
- (B) To show specific grading, planting, sediment control, tree preservation, and storm water management features proposed for the site;

(C) To locate and describe the specific recreation facilities proposed, architectural form of buildings, and street furniture (such as lamps, signs, and benches) proposed for the site; and

(D) To describe any maintenance agreements, covenants, or construction contract documents that are necessary to assure that the Plan is implemented in accordance with the requirements of this Subtitle.

Comment: This Detailed Site Plan promotes the purposes of Detailed Site Plans. Specifically, this plan helps to fulfill the purposes of the C-S-C Zone in which the subject land is located. A consolidated storage facility is a permitted use in the C-S-C Zone. The plan gives an illustration as to the approximate location and delineation of the storage buildings, offices, parking for the storage facility, streets, green areas, and other similar physical features and land uses proposed for the site.

In addition to the purposes set forth in Section 27-281, Section 27-274 further requires the Applicant to demonstrate the following:

(2) Parking, loading, and circulation

(A) Surface parking lots should be located and designed to provide safe and efficient vehicular and pedestrian circulation within the site, while minimizing the visual impact of cars. Parking spaces should be located to provide convenient access to major destination points on the site.

(B) Loading areas should be visually unobtrusive and located to minimize conflicts with vehicles or pedestrians.

(C) Vehicular and pedestrian circulation on a site should be safe, efficient, and convenient for both pedestrians and drivers.

COMMENT: This Detailed Site Plan complies with the design guidelines provided in (2). The plan illustrates that all parking and loading areas are located and designed to provide safe and efficient vehicular and pedestrian circulation within the site. Specifically, the plan shows that the interior two-way travel lanes are at least 24 feet in width. The travel lanes are large enough to provide safe parking as well as through traffic that can travel in both directions. There will be 7 total parking spaces provided for the consolidated storage facility. As noted above, the parking spaces have been located at convenient location to allow customers access to the office and the storage units.

(3) Lighting.

(A) For uses permitting nighttime activities, adequate illumination should be provided. Light fixtures should enhance the design character.

COMMENT: This Detailed Site Plan complies with the design guidelines set forth in (3). Adequate lighting will be provided to illuminate entrances, parking, and loading areas throughout the site. There will be pole mounted lighting in the parking area directly in front of the manager's office and for the balance of the property, site lighting will be wall mounted units affixed to the sides of the new and existing buildings. The proposed

lighting will provide patrons with a bright, safe atmosphere while not causing a glare onto adjoining properties.

(4) Views.

(A) Site design techniques should be used to preserve, create, or emphasize scenic views from public areas.

COMMENT: This Detailed Site Plan complies with the design guidelines outlined in sub-part (4). This plan is designed to preserve, create, or emphasized views from the public roads that surround the property. The property has frontage Dangerfield Road and the applicant is proposing to install a landscape strip along that frontage. In addition, the applicant has located all units with exterior doors on the west side of the building and not visible from Dangerfield Road.

(5) Green Area.

(A) On site green area should be designed to compliment other site activity areas and should be appropriate in size, shape, location, and design to fulfill its intended use.

COMMENT: There is not minimum Green Area requirement for the C-S-C Zone.

(6) Site and streetscape amenities.

(A) Site and streetscape amenities should contribute to an attractive, coordinated development and should enhance the use and enjoyment of the site.

COMMENT: The applicant is not proposing and site or streetscape amenities as part of this consolidated storage facility.

(7) Grading.

(A) Grading should be performed to minimize disruption to existing topography and other natural and cultural resources on the sit and on adjacent sites. To the extent practicable, grading should minimize environmental impacts.

COMMENT: The Detailed Site Plan shows the proposed topography for the property. The applicant designed this facility so as to minimize grading on the site and preserve the natural contours as much as feasible.

(8) Service Areas.

(A) Service areas should be accessible, but unobtrusive.

COMMENT: This Detailed Site Plan complies with the design guidelines outlined in sub-part (8).

(9) Public Spaces.

(A) A public space system should be provided to enhance a large-scale commercial, mixed use, or multifamily development.

COMMENT: The applicant is not proposing to provide public space in this development as it is not a commercial, mixed use or multi-family development.

(10) Architecture.

(A) When architectural considerations are references for review, the Conceptual Site Plan should include a statement as to how the architecture of the buildings will provide a variety of building forms, with unified, harmonious use of materials and styles.

(B) The guidelines shall only be used in keeping with the character and purpose of the proposed type of development and the specific zone in which it is to be located.

(C) These guidelines may be modified in accordance with section 27-277.

COMMENT: The applicant is proposing to incorporate a number of building materials into the design of the building to help create visual interest. In addition, the applicant has created additional visual interest by varying the depth of the building, especially along the front elevation facing Dangerfield Road..

In addition to the requirements outlined in Section 27-274, Section 27-285 further requires that the Applicant demonstrate the following:

- (2) The Planning Board shall also find that the Detailed Site Plan is in general conformance with the approved Conceptual Site Plan (if one was required);

COMMENT: No conceptual site plan is required.

- (3) The Planning Board may approve a Detailed Site Plan for Infrastructure if it finds that the plan satisfies the site design guidelines as contained in Section 27-274, prevents offsite property damage, and prevents environmental degradation to safeguard the public's health, safety, welfare, and economic well-being for grading, reforestation, woodland conservation, drainage, erosion, and pollution discharge.

COMMENT: Not applicable.

As noted above, the subject property is located in the M-I-O Zone. Specially, the property is located Noise Intensity Zone 60-74db, Accident Potential Zone 1 and 2 and Height Clearance Zone (50:1) South End, B, which restricts height to approximately 100 feet. The use is permitted in M-I-O Zone and as shown on the elevations submitted as part of the DSP package, the building is approximately 46 feet in height which is below the 100 foot height limit set forth in Section 27-548.54.

Finally, a consolidated storage facility must comply with Section 27-475.04, which states:

Section 27-475.04. Consolidated Storage.

(1) Requirements.

- (A) No entrances to individual consolidated storage units shall be visible from a street or from adjoining land in any Residential or Commercial Zone (or land proposed to be used for residential or commercial purposes on an approved Basic Plan for a Comprehensive Design Zone, or any approved Conceptual or Detailed Site Plan).

COMMENT: The architectural elevations indicate that no entrances to individual units are visible from any street or from adjoining land in any residential or commercial zone. The exterior entrances to the units are located on the west side of the building. Although the west side of the building faces residential zoned property, the applicant has preserved a 235 foot wide stand of existing mature trees along this property line as part of its approved Tree Conservation Plan. The applicant has also preserved a 100 foot wide stand of exiting trees along its northern property line which will screen the loading area from the C-S-C zoned property to the north and is providing a ___ to screen the loading area from the gas station located in the C-S-C Zone to the south.

- (B) Entrances to individual consolidated storage units shall be either oriented toward the interior of the development or completely screened from view by a solid wall, with landscaping along the outside thereof.

COMMENT: This Detailed Site Plan complies with the requirements outlined in subpart (B). The buildings will have entrances to the individual storage units oriented toward the interior of the property.

- (C) The maximum height shall be thirty-six (36) feet. Structures exceeding this height and approved before January 1, 2000, shall not be considered non-conforming.

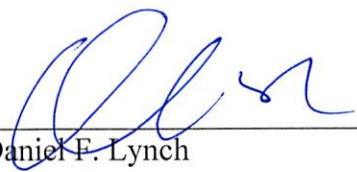
COMMENT: This Detailed Site Plan complies with the requirements outlined in subpart (C). As shown on the elevations, the proposed building will be 46-feet in height.

V. CONCLUSION

The Applicant, Arcland is seeking a Detailed Site Plan to construct a 198,606 square foot consolidated storage facility. The Applicant believes that this request meets the requirements set forth in Sections 27-285, 27-274 and 27- 475.04 and would therefore respectfully request approval of this application.

Respectfully submitted,

MCNAMEE HOSEA

By: 
Daniel F. Lynch



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

14741 Governor Oden Bowie Drive
Upper Marlboro, Maryland 20772
www.pgplanning.org

PGCPB No. 2021-136

File No. 4-21011

R E S O L U T I O N

WHEREAS, Dash In Food Stores, Inc. is the owner of a 5.65-acre parcel of land known as Lot 34, said property being in the 9th Election District of Prince George's County, Maryland, and being zoned Commercial Shopping Center (C-S-C) Zone and Military Installation Overlay (M-I-O); and

WHEREAS, on August 19, 2021, Arcland filed an application for approval of a Preliminary Plan of Subdivision for 2 parcels; and

WHEREAS, the application for approval of the aforesaid Preliminary Plan of Subdivision, also known as Preliminary Plan 4-21011 for Arcland-Dangerfield Road was presented to the Prince George's County Planning Board of The Maryland-National Capital Park and Planning Commission by the staff of the Commission on November 4, 2021, for its review and action in accordance with the Land Use Article of the Annotated Code of Maryland and the Regulations for the Subdivision of Land, Subtitle 24, Prince George's County Code; and

WHEREAS, the staff of The Maryland-National Capital Park and Planning Commission recommended approval of the application with conditions; and

WHEREAS, on November 4, 2021, the Prince George's County Planning Board heard testimony and received evidence submitted for the record on the aforesaid application.

NOW, THEREFORE, BE IT RESOLVED, that pursuant to the provisions of Subtitle 24, Prince George's County Code, the Prince George's County Planning Board APPROVED Type 1 Tree Conservation Plan TCP1-014-2021, and APPROVED Preliminary Plan of Subdivision 4-21011, including a Variation from Section 24-121(a)(3), for 2 parcels with the following conditions:

1. Prior to signature approval of the preliminary plan of subdivision, the plan shall be revised as follows:
 - a. Update General Note 18 to state that the property is in the Noise Intensity Zone, Accident Potential Zones 1 and 2, and Area B of the Military Installation Overlay Zone.
 - b. Update General Note 20 to specify that the existing gross floor area includes a 1,358-square-foot car wash and 907 square feet of convenience store. Specify that the proposed conditions include a 1,358-square-foot car wash, 907 square feet of convenience store, and 116,283 square feet of self-storage facility. The total area of the convenience store (3,357 square feet) may be included in a separate note which states that 2,450 square feet of the convenience store are located off-site.
 - c. Adjust the line weights of the lot lines shown on Sheets C-201 and C-301 so that Parcels 1 and 2 are fully outlined by the property boundary and the street frontage of Parcel A is not shown as part of the property boundary.

2. Any residential development on the subject property shall require approval of a new preliminary plan of subdivision, prior to approval of any permits.
3. Development of Parcel 1 shall be in conformance with Stormwater Management (SWM) Concept Plan 8745-2018-0 and any subsequent revisions, and development of Parcel 2 shall be in conformance with approved SWM Concept Plan 16017-2021-0 and any subsequent revisions.
4. Prior to approval of a final plat, the final plat shall:
 - a. Include the 10-foot-wide public utility easements along the public rights-of-way, in accordance with the approved preliminary plan of subdivision.
 - b. Note the Planning Board's approval of a variation to Section 24-121(a)(3) of the Prince George's County Subdivision Regulations, for one direct vehicular access driveway onto MD 223 from Parcel 1.
5. Development of this subdivision shall be in conformance with an approved Type 1 Tree Conservation Plan (TCP1-014-2021). The following note shall be placed on the final plat of subdivision:

“This development is subject to restrictions shown on the approved Type 1 Tree Conservation Plan (TCP1-01-2021), or as modified by the Type 2 Tree Conservation Plan and precludes any disturbance or installation of any structure within specific areas. Failure to comply will mean a violation of an approved Tree Conservation Plan and will make the owner subject to mitigation under the Woodland Conservation/Tree Conservation Policy.”
6. Prior to the issuance of permits for this subdivision, a Type 2 tree conservation plan shall be approved. The following note shall be placed on the final plat of subdivision:

“This plat is subject to the recordation of a Woodland Conservation Easement pursuant to Section 25-122(d)(1)(B) with the Liber and folio reflected on the Type 2 Tree Conservation Plan, when approved.”
7. Total development within Parcel 2 of this preliminary plan of subdivision (PPS) shall be limited to uses which generate no more than 12 AM peak-hour and 20 PM peak-hour vehicle trips. Total development within Parcel 1 of this PPS shall be limited to uses which generate no more than 28 AM peak-hour and 33 PM peak-hour vehicle trips. Any development generating an impact greater than that identified herein shall require a new determination of the adequacy of transportation facilities and a new PPS.

8. In conformance with the 2009 *Approved Countywide Master Plan of Transportation* and the 2013 *Approved Subregion 5 Master Plan*, the applicant and the applicant's heirs, successors, and/or assignees shall show the following additional improvements on the detailed site plan, prior to its acceptance:
 - a. A continental style crosswalk traversing the drive aisle at the entrance to the self-storage facility.
9. At the time of building permit, if a nonresidential use is required by Subtitle 4 (Building Code) of the Prince George's County Code, to provide noise-level reduction within the interior of a building, such noise reduction must be certified by an acoustical engineer or qualified professional of competent expertise.

BE IT FURTHER RESOLVED, that the findings and reasons for the decision of the Prince George's County Planning Board are as follows:

1. The subdivision, as modified with conditions, meets the legal requirements of Subtitles 24 and 27 of the Prince George's County Code and the Land Use Article of the Annotated Code of Maryland.
2. **Background**—The site is located at the southeast quadrant of the intersection of Dangerfield Road and MD 223 (Woodyard Road). The site consists of one lot known as Lot 34 of the Townsend Subdivision, which was recorded in Plat Book VJ 178 page 55, in February 1997. The property has an address of 8310 Dangerfield Road. The 5.65-acre property is in the Commercial Shopping Center (C-S-C) Zone, and it is subject to the Military Installation Overlay (M-I-O) Zone for height, noise, and safety. It is subject to the 2013 *Approved Subregion 5 Master Plan and Sectional Map Amendment* (Subregion 5 Master Plan and SMA). The northernmost 1.09 acres of the subject property are part of a previously approved gas station, convenience store, and car wash special exception site plan. The remaining 4.56 acres of the site are vacant and contain existing woodland.

This PPS is approved to subdivide the property into two parcels, Parcels 1 and 2, for 118,548 square feet of commercial development. Parcel 1 will contain part of the previously approved gas station; this gas station was approved under Special Exception application SE-4812 in August 2018, with minor site modifications approved under Revision of Site Plan ROSP-4812-01 in July 2020. The gas station site consists of Parcel 1, as well as abutting off-site Parcels A and B. Of the 4,715 square feet of gross floor area approved for the gas station, only 2,265 square feet are located on Parcel 1 and therefore subject to this preliminary plan of subdivision (PPS). Parcel 2 is to be developed with a 116,283 square-foot self-storage facility. A future detailed site plan (DSP) will be required for development on Parcel 2.

The property is the subject of one previously approved PPS, 4-93036 (PGCPB Resolution No. 93-305), approved in November 1993. The current PPS is required to further subdivide the property into two new parcels and to obtain additional capacity entitlement. The current PPS supersedes PPS 4-93036.

The applicant also requested a variation from Section 24-121(a)(3) of the Prince George’s County Subdivision Regulations, for the gas station’s entrance onto MD 223, an arterial roadway. Though this entrance was previously approved under SE-4812, it was not subject to this section of the Subdivision Regulations at that time since a PPS is not required to precede a special exception application. Section 24-121(a)(3) prohibits direct access from parcels to arterial roadways. The variation request is further discussed in the Transportation finding of this resolution.

3. **Setting**—The site is located on Tax Map 117 in Grids A-1 and B-1 and is within Planning Area 81A. North and northwest of the site across MD 223 are several commercial and industrial businesses in the Commercial Miscellaneous, Limited Intensity Industrial, and C-S-C Zones. To the east of the site is a neighborhood of single-family detached dwellings in the Rural Residential (R-R) Zone known as the Townsend Subdivision. South and west of the site are large lot single-family detached dwellings in the C-S-C and R-R Zones.

Between the subject property and the street corner of MD 223 and Dangerfield Road, there are two parcels known as Parcels A and B of Busada’s Addition to the Townsend Subdivision. These two parcels form the west half of the gas station site, with the east half of the gas station site being located on the subject property.

The site and its surroundings are within the M-I-O Zone. The boundary between Accident Potential Zone (APZ) 1 and APZ 2 passes through the subject property on Parcel 1. The boundary between the Noise Intensity Zone and the High Noise Intensity Zone is just east of the subject property within the Townsend Subdivision.

4. **Development Data Summary**—The following information relates to the subject PPS and the approved development.

	EXISTING	APPROVED
Zone	C-S-C/M-I-O	C-S-C/M-I-O
Use(s)	Gas Station Car Wash Food or Beverage (convenience) Store	Gas Station Car Wash Food or Beverage (convenience) Store Self-Storage Facility
Acreage	5.65	5.65
Gross Floor Area	2,265	118,548
Dwelling Units	0	0
Parcels	0	2
Lots	1	0
Outlots	0	0
Variance	Yes Section 25-122(b)(1)(G)	Yes Section 25-122(b)(1)(G)
Variation	No	Yes Section 24-121(a)(3)

Pursuant to Section 24-119(d)(2) of the Subdivision Regulations, this case was heard at the Subdivision and Development Review Committee (SDRC) meeting on September 3, 2021. The requested variation from Section 24-121(a)(3) was also heard on that date, as required by Section 24-113(b) of the Subdivision Regulations.

5. Previous Approvals—The site is subject to the following previous approvals:

PPS 4-93036

A previous PPS, 4-93036 (PGCPB Resolution No. 93-305), was approved by the Prince George's County Planning Board in November 1993. The PPS 4-93036 approved one lot, known as Lot 34, for development of a 30,000-square-foot fraternal lodge with a vestibule, a bar, a meeting/banquet room, and kitchen facilities, or other permitted uses generating no more than 0 AM and 8 PM trips. The current PPS 4-21011 supersedes PPS 4-93036.

PPS 4-93036 was approved subject to seven conditions, and the following conditions of approval are relevant to the review of the current PPS:

1. Development of this subdivision shall be in accordance with the approved Conceptual Stormwater Management Plan, CSD No. 938011070.

The site is currently subject to two Stormwater Management (SWM) Concept Plans, 7745-2018-0 for the gas station site and 16017-2021-0 for the self-storage site, which supersede the above-named plan. These two plans are discussed further in the Stormwater Management finding of this resolution.

2. Development of this subdivision shall be in compliance with the approved Type I Tree Conservation Plan (TCP1/21/93). The following note shall be placed on the Final Plat:

“Development is subject to restrictions shown on the approved Type I Tree Conservation Plan (TCP1/21/93), or as modified by the Type II Tree Conservation Plan, and precludes any disturbance or installation of any structure within specific areas. Failure to comply will mean a violation of an approved Tree Conservation Plan and will make the owner subject to mitigation under the Woodland Conservation/Tree Preservation Policy and Subtitle 25.”

With the subject PPS, the applicant submitted a new Type 1 tree conservation plan (TCP1) for approval, TCP1-014-2021. This TCP1 supersedes the above-named plan. The TCP1 submitted for approval is discussed further in the Environmental finding of this resolution.

4. Total development of this site shall be limited to a 30,000 square foot fraternal lodge containing a vestibule, a bar, a meeting/banquet room, and kitchen facilities or permitted uses generating no more than the number of peak hour trips (8 PM peak

hour trips) generated by the above development. Any development other than that identified herein above which generates more than this identified number of trips shall require an additional Preliminary Plat of Subdivision with a new traffic analysis in order to determine the adequacy of transportation facilities.

The development will generate trips exceeding the trip cap of the previous PPS; therefore, a new PPS is required. New trip caps are contained in the Transportation finding of this resolution.

- 6. At the time of approval for the Final Plat of Subdivision, the applicant, his heirs, successors, and/or assignees, shall dedicate right-of-way along MD 223 and Dangerfield Road as shown on the submitted Preliminary Plat.**

This right-of-way dedication was previously accomplished and is shown on the plat recorded in Plat Book VJ 178 page 55. No additional right-of-way dedication is required with the subject PPS.

SE-4812

The site is subject to SE-4812, which was approved by the Zoning Hearing Examiner in August 2018. The decision of the ZHE became final when no appeals were filed, and the District Council did not elect to review the application. SE-4812 was approved for development of a gas station with a 3,357 square-foot food or beverage (convenience) store and a 1,358 square foot car wash. The special exception was filed on an approximately 1.09-acre portion of Lot 34 as well as abutting off-site Parcels A and B. A Type 2 Tree Conservation Plan, TCP2-007-2018, was approved alongside SE-4812 with a variance from Section 25-122(b)(1)(G) of the Prince George's County Woodland and Wildlife Habitat Conservation Ordinance (WCO), in order to allow removal of two specimen trees on the east side of the gas station site.

At the time of the special exception application, Parcels A and B were found to be exempt from resubdivision in accordance with Section 24-111(c)(2) of the Subdivision Regulations, as the proposed development was less than 5,000 square feet. The portion of the development on Lot 34 was found to exceed the development entitlement of PPS 4-93036 and therefore, the subject PPS is required to address the necessary increase of capacity to allow a gas station with associated uses and the consolidated storage development. It is noted that a PPS is not required to precede a special exception application. The portion of the gas station on Parcel 1 is subject to the requirements of 4-21011, but the portions on Parcels A and B are not subject and the uses thereon will continue based on the current subdivision exemption.

SE-4812 was approved subject to seven conditions, and the following conditions of are relevant to the review of the current PPS:

- 1. Prior to certification of the Special Exception, the Special Exception Site Plan shall be revised, as follows:**

a. Dimension of the sidewalks along Dangerfield Road and MD 223 (Woodyard Road), which shall be a minimum of five feet wide.

The sidewalks required with the current PPS are consistent with those previously approved at the time of the special exception. The applicant submitted an exhibit showing the sidewalks, which will be provided, which are consistent with the prior approval and the current requirement. Five-foot-wide sidewalks will be provided both in front of the gas station site and in front of the self-storage site, along the public rights-of-way.

h. Add a note specifying that the subject property is in a high-intensity noise area.

This note shall be carried forward and be placed on the current PPS.

6. Provide an approved Stormwater Concept Plan and letter prior to signature approval of the Special Exception, address any changes resulting from that review.

The SWM concept plan for the gas station (7745-2018-0) was previously approved and re-submitted with the subject PPS.

7. At the time of building permit, if a nonresidential use is required by Subtitle 4 (Building Code) of the Prince George's County Code to provide noise-level reduction within the interior of a building, such noise reduction must be certified by an acoustical engineer or qualified professional of competent expertise.

This condition is a requirement of Section 27-548.55(c)(1)(A) of the Prince George's County Zoning Ordinance and shall be carried forward and applied to the nonresidential development Parcels 1 and 2, as both parcels are within the High-Intensity Noise Zone of the M-I-O Zone.

ROSP-4812-01

A revision to the special exception was approved by the Planning Director in July 2020 for the purpose of making minor revisions to the gas station's approved site layout. The minor revisions included widening the trash enclosure, widening drive aisles, adding a parallel parking space, reducing the total on-site parking to 27 spaces, and reducing the width of the sidewalk apron abutting the food and beverage store. ROSP-4812-01 was approved without conditions.

Permits for the gas station were approved in late 2020 through early 2021. The applicant stated at the Planning Board hearing on November 4, 2021 that construction of the gas station was complete, and the business was operational.

6. Community Planning—The 2014 *Plan Prince George's 2035 Approved General Plan* (Plan 2035) and conformance with the Subregion 5 Master Plan and SMA are evaluated, as follows:

Plan 2035

This PPS is in the Established Communities area of Plan 2035. The vision for the Established Communities is that they are most appropriate for context-sensitive infill and low- to medium-density development (page 20).

Master Plan

The master plan recommends Commercial future land use for the subject property. The SMA retained the subject property in the C-S-C Zone (Prince George's County Council Resolution CR-81-2013, July 24, 2013). Pursuant to Section 24-121(a)(5) of the Subdivision Regulations, this PPS conforms to the master plan.

Aviation/M-I-O Zone

This PPS is located within the M-I-O Zone. Pursuant to Section 27-548.54(e)(2)(D), Requirements for Height, of the Zoning Ordinance, the development must conform to the height requirement corresponding to the 50:1 South End approach/departure height clearance. A small area of the subject property along MD 223 is within APZ 1, while most of the subject property is within APZ 2. Pursuant to Section 27-548.56(c) of the Zoning Ordinance, a lighting plan is required for development applications within the Safety Zones, which shall be provided at the time of DSP for the self-storage facility. The site is also within the 60 db to 74 db noise contour, and if noise-level reduction is required by Subtitle 4 of the Prince George's County Code for the non-residential uses, it shall be provided at the time of building permit and certified by an acoustical engineer or qualified professional of competent expertise in accordance with Section 27-548.55(c)(1)(a).

7. **Stormwater Management**—The site has two associated SWM concept plans which have been approved by the Prince George's County Department of Permitting, Inspections and Enforcement (DPiE); one for the gas station and one for the self-storage facility. SWM Concept Plan 8745-2018-0 was approved in August 2018 for Parcel 1, and SWM Concept Plan 16017-2021-0 was approved in August 2021 for Parcel 2. Between the two plans, a total of eleven micro-bioretenement facilities are included, six on the gas station site and five on the self-storage site. No further action regarding SWM is required with this PPS.

In accordance with Section 24-130 of the Subdivision Regulations, development of the site shall conform with the approved SWM concept plans and any subsequent revisions to ensure no on-site or downstream flooding occurs.

8. **Parks and Recreation**—In accordance with Section 24-134(a) of the Subdivision Regulations, the subject PPS is exempt from Mandatory Dedication of Parkland requirements because it consists of non-residential development.
9. **Bicycle/Pedestrian**—This PPS was reviewed for conformance with the 2009 *Approved Countywide Master Plan of Transportation* (MPOT), the master plan, and Subtitle 24 of the Prince George's County Code to provide the appropriate bicycle and pedestrian transportation facilities.

Proposed Pedestrian and Bicycle Infrastructure

The subject site is bound by MD 223 to the north and Dangerfield Road to the west. The applicant's submission includes sidewalks along the property's entire frontages of MD 223 and Dangerfield Road. Crosswalks were previously provided at both entrances to the gas station, on Parcel 1 and Parcel B. Shared-lane markings (sharrows) and a "bicycles may use full lane" signage assembly have been displayed along the frontage of Dangerfield Road. In addition, the applicant's submission includes bicycle parking at the self-storage building. All of these improvements are shown on an exhibit submitted by the applicant, incorporated by reference herein. It is noted that the exhibit is entitled "BPIS Exhibit," however, the depicted improvements are not provided, pursuant to BPIS requirements. The subject site is not within a 2002 General Plan Corridor or a 2035 General Plan Center and is therefore, not subject to Section 24-124.01 of the Subdivision Regulations and the "Transportation Review Guidelines, Part 2."

Review of Master Plan Compliance

This PPS is subject to the MPOT and the master plan, which recommend the following facilities:

- Planned Side Path: MD 223 (Woodyard Road)
- Planned Shared Roadway: Dangerfield Road

As mentioned above, the applicant has included shared-lane markings and bicycle signage for a shared roadway as recommended along the site's frontage of Dangerfield Road.

Regarding the MD 223 sidepath, SE-4812 previously approved a five-foot-wide sidewalk along the frontage of MD 223 for both Parcel A and the part of Lot 34 where Parcel 1 is now located. Parcel A is not subject to the current PPS, and further improvements cannot be required for it at this time. Requiring a sidepath for Parcel 1 only would be inconsistent with the five-foot-wide sidewalk previously required for Parcel A. Therefore, for the subject PPS, a five-foot-wide sidewalk is required along the frontage of MD 223 for Parcel 1. This requirement will ensure the sidewalk width stays consistent along the gas station's entire MD 223 frontage.

The MPOT provides policy guidance regarding multimodal transportation, and the Complete Streets element of the MPOT recommends how to accommodate infrastructure for people walking and bicycling.

Policy 1: Provide standard sidewalks along both sides of all new road construction within the Developed and Developing Tiers.

Policy 2: All road frontage improvements and road capital improvement projects within the Developed and Developing Tiers shall be designed to accommodate all modes of transportation. Continuous sidewalks and on-road bicycle facilities should be included to the extent feasible and practical.

Policy 4: Develop bicycle-friendly roadways in conformance with the latest standards and guidelines, including the 1999 AASHTO *Guide for the Development of Bicycle Facilities*.

Policy 5: Evaluate new development proposals in the Developed and Developing Tiers for conformance with the complete streets principles.

The Transportation Systems Section of the master plan makes the following recommendations:

- **Encourage developers at employment destinations to provide new sidewalks, bicycle trails, lockers, bike friendly intersection improvements, and trail connections as part of their development proposals (page 121).**
- **Install bicycle signage and safety improvements along designated shared-use roadways when development occurs, or roadways are upgraded. Bikeway improvements may include paved shoulders, painted bike lanes, and bike signage (page 121).**

The subject PPS does not feature any new road construction. Sidewalks have been included along the subject property's frontage of Dangerfield Road and MD 223. The crosswalk the applicant is providing across the entrance to the self-storage facility shall be continental style for improved visibility.

Based on the findings presented above, adequate pedestrian and bicycle transportation facilities will exist to serve the subdivision, as required under Subtitle 24, and will conform to the MPOT and the master plan.

- 10. Transportation**—Transportation-related findings related to adequacy are made with this PPS, along with any determinations related to dedication, access, and general subdivision layout.

Analysis of Traffic Impacts

The table below summarizes trip generation in weekday peak hours used in reviewing traffic and developing a trip cap for Parcel 2 of this site:

Weekday Trip Generation Summary: 4-21011: Arcland - Dangerfield Road								
Land Use	Use Quantity	Metric	Weekday AM Peak Hour			Weekday PM Peak Hour		
			In	Out	Total	In	Out	Total
Mini-Warehouse (ITE 151)	116,283	square feet	7	5	12	9	11	20
Recommended Weekday Trip Cap			7	5	12	9	11	20

The critical intersections include:

- MD 223 at Dangerfield Road/Old Alexandria Ferry Road (signalized)
- Dangerfield Road at Site Access (Site Access is stop-controlled) under build condition

The subject property is located within Transportation Service Area 2, as defined in Plan 2035. As such, the subject property is evaluated according to the following standards:

Signalized intersections: The critical lane volume method should be used to measure the Level-of-service (LOS). LOS D, with signalized intersections operating at a critical lane volume of 1,450 or better will be acceptable.

Unsignalized intersections: The procedure for unsignalized intersections is not a true test of adequacy, but rather an indicator that further operational studies need to be conducted, and the standards are explained below:

For two-way stop-controlled intersections a three-part process is employed:

- (a) vehicle delay is computed in all movements using the *Highway Capacity Manual* (Transportation Research Board) procedure; (b) the maximum approach volume on the minor streets is computed if delay exceeds 50 seconds, (c) if delay exceeds 50 seconds and at least one approach volume exceeds 100, the critical lane volume is computed, (d) a critical lane volume no more than 1,150 will be acceptable.

For all-way stop-controlled intersections a two-part process is employed:

- (a) vehicle delay is computed in all movements using the *Highway Capacity Manual* (Transportation Research Board) procedure; (b) if delay exceeds 50 seconds, the critical lane volume is computed, (c) a critical lane volume no more than 1,150 will be acceptable.

The critical intersections identified above, when analyzed with existing traffic and existing lane configurations, operate as follows:

EXISTING TRAFFIC CONDITIONS				
Intersection	Critical Lane Volume (AM and PM)		Level of Service (LOS, AM, and PM)	
MD 223 at Dangerfield Road/Old Alexandria Ferry Road (signalized)	646	1267	A	C

The critical intersections are not programmed for any lane configuration changes within the next six years in the current Maryland Department of Transportation “Consolidated Transportation Program” or Prince George's County “Capital Improvement Program.” Approved, but unbuilt developments have been identified within the study area, and background traffic has been developed. A 1.5 percent annual growth rate for a period of six years has been assumed.

BACKGROUND TRAFFIC CONDITIONS				
Intersection	Critical Lane Volume (AM and PM)		Level of Service (LOS, AM, and PM)	
MD 223 at Dangerfield Road/Old Alexandria Ferry Road (signalized)	739	1388	A	D

The critical intersections identified above, when analyzed with total future traffic as developed using the “Transportation Review Guidelines, Part 1” (Guidelines) including the site trip generation as described above, operate as follows:

TOTAL TRAFFIC CONDITIONS				
Intersection	Critical Lane Volume (AM and PM)		Level of Service (LOS, AM, and PM)	
MD 223 at Dangerfield Road/Old Alexandria Ferry Road (signalized)	741	1398	A	D
Dangerfield Road at Site Access (stop-controlled)	9.6*	10.2*	N/A	N/A
*In analyzing unsignalized intersections, average vehicle delay for various movements through the intersection is measured in seconds of vehicle delay. The numbers shown indicate the greatest average delay for any movement within the intersection. According to the Guidelines, delay exceeding 50.0 seconds indicates inadequate traffic operations. Values shown as “+999” suggest that the parameters are beyond the normal range of the procedure and should be interpreted as a severe inadequacy.				

Based on the analysis results, all the signalized critical intersections will operate at LOS E or better during the peak hours. At the unsignalized intersections, the maximum movement delay will be less than 50.0 seconds, or the maximum critical lane volume computed as a part of the three-step analysis is within the standards of the Guidelines. A trip cap for Parcel 2 consistent with its assumed trip generation is required.

The site is adjacent to the MD 223 (an arterial) and Dangerfield Road (a collector) rights of way identified in the MPOT. Adequate right-of-way for each roadway has been previously dedicated, and no additional dedication is required from this plan. The access to Parcel 2 is from Dangerfield Road. The accesses to the gas station/food and beverage store/car wash area (Parcel 1) are from MD 223 and Dangerfield Road.

The site includes a portion of a gas station/food and beverage store/car wash approved as part of SE-4812. These uses were analyzed with SE-4812 and are expected to generate 28 AM peak-hour trips and 33 PM peak-hour trips. These trips form the required trip cap for Parcel 1.

Variation

The PPS includes a driveway directly from MD 223 for access to Parcel 1. A variation request for access from MD 223 has been supplied by the applicant and reviewed. Section 24-121(a)(3) requires that lots proposed on land adjacent to an existing or proposed planned roadway of

arterial or higher classification shall be designed to front on either an interior street or service roadway. There are four criteria that must be met for this variation to be approved (a fifth criterion does not apply). The applicant provided a statement of justification dated August 31, 2021, incorporated by reference herein, in support of the required criteria for approval of the variation. The criteria, with discussion, are noted below:

(1) The granting of the variation will not be detrimental to the public safety, health, or welfare, or injurious to other property;

The development for Parcel 1 is for redevelopment of a former gas station site, for which access has existed from MD 223 since the late 1960s. The traffic generation from the proposed consolidated storage facility will not utilize this access and will be provided separate access from Dangerfield Road. The gas station site previously had two access driveways onto MD 223 from abutting Parcel A, and under the current design approved with SE-4812 those two access driveways will be removed in lieu of one access driveway from Parcel 1. The consolidation and relocation of the access driveways further from the intersection of MD 223 and Dangerfield Road will provide for improved safety of vehicles while not affecting utility of the site. MD 223 is under the authority of the Maryland State Highway Administration (SHA). Access permits will be required by SHA to ensure the safety of the citizens using the site access and MD 223.

(2) The conditions on which the variation is based are unique to the property for which the variation is sought and are not applicable generally to other properties;

Unlike other nearby commercial and industrial properties, the property is not large enough to provide an interior street or a service road, and the long, peculiar shape of the property, which has a short width and differs from the shape of surrounding properties, could not accommodate the proposed development and an interior street or a service road. Furthermore, MD 223 is an arterial facility with no plans for the construction of a service road. The subject site is located next to two small parcels redeveloped with part of the gas station (Parcels A and B), but those parcels, which are located at the intersection of Dangerfield and MD 223, are not included in this PPS. The off-site properties and Parcel 1 of this PPS are part of an overall site design approved under SE-4812. The access from MD 223 to the gas station site has existed since the late 1960s, and the existing two driveways will be changed to one with redevelopment of the site, thereby improving and reducing site access from MD 223. These conditions are unique to the subject site and not generally applicable to other properties.

(3) The variation does not constitute a violation of any other applicable law, ordinance, or regulation; and

A variation to the Subdivision Regulations is unique to and under the sole authority of the Planning Board. The applicant will further be required to obtain access permits from SHA and SHA will ensure conformance with other applicable access regulations.

Therefore, this variation does not constitute a violation of any other applicable law, ordinance, or regulation.

- (4) **Because of the particular physical surroundings, shape, or topographical conditions of the specific property involved, a particular hardship to the owner would result, as distinguished from a mere inconvenience, if the strict letter of these regulations is carried out;**

The closure of this access would greatly impact the redevelopment of the gas station/ food and beverage store/car wash site which has relied upon direct access to MD 223 since the 1960s. The subject site is located next to two small parcels redeveloped with part of the gas station (Parcels A and B), but which are not included in this PPS, at the intersection of MD 223 and Dangerfield Road. The properties are configured such that subject site has a narrow frontage onto MD 223 which does not allow sufficient area for dedication of a public roadway through the site while supporting meaningful development of the site. Adding a public roadway at this location for access to the site would cause the same or greater vehicular impact given that the same vehicles using the gas station on Parcels A and B, in addition to those using Dangerfield Road, could utilize such a roadway at that location. The site has been designed to reduce the access driveways onto MD 223 and to locate the driveway further from the intersection of MD 223 and Dangerfield Road for strict use of the gas station only.

By virtue of positive findings for each of the criteria for variation approval, a variation is granted from Section 24-121(a)(3) for one vehicular access driveway onto MD 223.

Based on the preceding findings, adequate transportation facilities will exist to serve the subdivision, as required in accordance with Section 24-124 of the Subdivision Regulations.

11. **Schools**—Pursuant to Section 24-122.02 of the Subdivision Regulations, this PPS is exempt from review for impact on school facilities because the proposal consists of nonresidential development.
12. **Public Facilities**—In accordance with Section 24-122.01 of the Subdivision Regulations, water and sewerage, police, and fire and rescue facilities are found to be adequate to serve the subject site, as outlined in a memorandum from the Special Projects Section dated September 1, 2021, (Perry to Diaz-Campbell) and incorporated herein by reference.
13. **Use Conversion**—As set forth in the PPS, the total development included in this PPS is 118,548 square feet of commercial development in the C-S-C Zone. If a substantial revision to the mix of uses on the subject property is proposed that affects Subtitle 24 adequacy findings, as set forth in the resolution of approval and reflected on the PPS, that revision of the mix of uses shall require approval of a new PPS prior to approval of any building permits. If any residential development is proposed that proposal shall require approval of a new PPS prior to approval of any building permits.

- 14. Public Utility Easement (PUE)**—In accordance with Section 24-122(a) of the Subdivision Regulations, when utility easements are required by a public company, the subdivider shall include the following statement in the dedication documents recorded on the final plat:

“Utility easements are granted pursuant to the declaration recorded among the County Land Records in Liber 3703 at folio 748.”

The standard requirement for PUEs is 10 feet wide along both sides of all public rights-of-way. The property abuts MD 223 to the north and Dangerfield Road to the west. Ten-foot-wide PUEs were provided along both these roads with the prior PPS. The PUEs are shown on the subject PPS and will be re-recorded with the subsequent final plat of subdivision.

- 15. Historic**—A search of current and historic photographs, topographic and historic maps, and locations of currently known archeological sites indicates the probability of archeological sites within the subject property is low. The majority of the property has been previously disturbed. The subject property does not contain and is not adjacent to any Prince George’s County historic sites or resources. This proposal will not impact any historic sites, historic resources or known archeological sites. A Phase I archeology survey is not required.
- 16. Environmental**—The subject PPS 4-21011 and TCP1-014-2021 were received on August 19, 2021. Verbal and written comments were provided in a SDRC meeting on September 3, 2021. Revised plans and information were received on September 23, 2021.

The following applications and associated plans were previously reviewed for the subject site applicable to this case:

Review Case Number	Associated Tree Conservation Plan Number	Authority	Status	Action Date	Resolution Number
ROSP-SE-3698	N/A	Planning Board	Approved	10/19/1994	94-314
NRI-023-2018	N/A	Staff	Approved	3/09/2018	N/A
NRI-023-2018-01	N/A	Staff	Approved	8/22/2018	N/A
SE-4812	TCP2-007-2018	Zoning Hearing Examiner	Approved	1/16/2019	ZHE Decision
ROSP-4812-01	N/A	Planning Director	Approved	7/27/2020	N/A
4-21011	TCP1-014-2021	Planning Board	Approved	12/2/2021	2021-136

Grandfathering

The project is subject to the environmental regulations of Subtitles 24, 25, and 27 that came into effect on September 1, 2010 and February 1, 2012 because it is a new PPS.

Site Description

The subject property is located at 8310 Dangerfield Road, at the southeast corner of its intersection with MD 223, in Clinton. MD 223 is identified as a historic road and classified as an arterial road. The approved Natural Resources Inventory, NRI-023-2018-01, does not identify any streams or floodplain on-site; however, wetlands and the associated buffer are identified in the southeast corner of the property. The soils found to occur on this site, according to the US Department of Agriculture Natural Resource Conservation Service Web Soil Survey, are Grosstown-Hoghole-Urban land complex (zero to five percent slopes), Beltsville-Urban land complexes, and Sassafras sandy loams. Marlboro clays or Christiana complexes are not identified on or in the vicinity of this property. This site has also been mapped by The Department of Natural Resources as a Tier II Catchment area; however, no streams or buffers are located on this property. The property is in the Piscataway Creek watershed of the Potomac River basin. This property is not within the Sensitive Species Project Review Area, according to PGAtlas.com.

Master Plan Conformance

2014 Plan Prince George's 2035 Approved General Plan

The site is located within Environmental Strategy Area 2 (formerly the Developing Tier) of the Regulated Environmental Protection Areas Map, as designated by Plan 2035. According to Plan 2035, it is also in the Established Communities of the General Plan Growth Policy Map and recommended for Residential Low use according to the General Plan Generalized Future Land Use Map.

Subregion 5 Master Plan, Section V: Environment

In the approved master plan, the section on Environment contains eight sections (A-H), each of which contain policies and strategies. The text in **bold** is the policy text from the master plan and the plain text provides comments on plan conformance.

A. Green Infrastructure

- **Implement the master plan's desired development pattern while protecting sensitive environmental features and meeting the full intent of environmental policies and regulations.**
- **Ensure the new development incorporates open space, environmental sensitive design, and mitigation activities.**
- **Protect, preserve, and enhance the identified green infrastructure network.**

The 2017 *Countywide Green Infrastructure Plan* of the *Approved Prince George's County Resource Conservation Plan: A Countywide Functional Master Plan* (Green Infrastructure Plan) has identified the entire site within the Evaluation Area. Most of the property is wooded. The recent SE-4812 application area on-site has an approved TCP2 (TCP2-007-2018) and has been cleared and graded. According to the

approved NRI, a small wetland system and associated buffer is in the southeast corner of the site. This area is shown as woodland preservation with no impacts.

The WCO requires priority be placed on the preservation and planting of regulated environmental features, and it emphasizes the preservation of large contiguous woodland within the green infrastructure network. This project meets the entire woodland conservation requirement of 1.59 acres on-site with 1.97 acres of woodland preservation.

B. Water Quality, Stormwater Management, and Groundwater

- **Encourage the restoration and enhancement of water quality in degraded areas and the preservation of water quality in areas not degraded.**
- **Protect and restore groundwater recharge areas such as wetlands and the headwater areas of streams.**

The SWM design is required to be reviewed and approved by DPIE to address surface water runoff issues, in accordance with Subtitle 32 Water Quality Resources and Grading Code. This requires that environmental site design be implemented to the maximum extent practicable. The development has two associated SWM concept plans, one for the gas station (8745-2018-0) and one for the self-storage facility (16017-2021-0). Between the two plans, a total of eleven micro-bioretenment facilities are included, six on the gas station site and five on the self-storage site.

C. Watersheds

- **Ensure that, to the fullest extent possible, land use policies support the protection of the Mattawoman Creek and Piscataway Creek watersheds.**
- **Conserve as much land as possible, in the Rural Tier portion of the watershed, as natural resource land (forest, mineral, and agriculture).**
- **Minimize impervious surfaces in the Developing Tier portion of the watershed through use of conservation subdivisions and environmentally sensitive design and, especially in the higher density Brandywine Community Center, incorporate best stormwater design practices to increase infiltration and reduce run-off volumes.**

This PPS is for the construction of a 118,548-square-foot commercial development within an existing partially wooded lot. The site is located within the Piscataway Creek watershed. A small wetland system and associated buffer are in the southeast corner of the site, which drains to the east off-site onto an adjacent wooded lot. The PPS meets the entire woodland conservation requirement of 1.59 acres on-site with 1.97 acres of woodland preservation. This preservation area includes the wetland system and associated wetland buffer and one specimen tree.

The subject property is located within Environmental Strategy Area 2, which was formerly the Developing Tier. All the proposed development is outside the environmentally sensitive areas. The applicant meets their woodland requirement on-site with preservation. The use of environmentally sensitive design is shown on the SWM concept plan.

D. Chesapeake Bay Critical Area

- **Enhance the County’s Critical Area protection program in response to local, regional, and statewide initiatives and legislative changes.**

The subject property is not located in the Chesapeake Bay Critical Area.

E. Air Quality and Greenhouse Gas Emissions

- **Reduce air pollution through transportation demand management (TDM) projects and programs.**
- **Promote “climate-friendly” development patterns through planning processes and land use decisions.**
- **Increase awareness of the sources of air pollution and greenhouse gas emissions.**

Air quality is a regional issue that is currently being addressed by the Council of Governments.

Conformance with the Countywide Green Infrastructure Plan

According to the Green Infrastructure Plan, the site is in the Evaluation Area within the designated network of the plan. The conceptual design, as reflected on the PPS and the TCP1, is in keeping with the goals of the Green Infrastructure Plan and focuses development outside of the most sensitive areas of the site. A detailed evaluation of major Green Infrastructure Plan components has been provided in the Master Plan Conformance section of this finding, above.

Environmental Review

Natural Resources Inventory/Existing Conditions

NRI-023-2018-01, approved on August 22, 2018, was provided with this PPS. The NRI shows non-tidal wetlands and the associated buffer located in the southeast corner of the property. The TCP1 and PPS show all the required information correctly, in conformance with the NRI. No revisions are required for conformance to the NRI.

Woodland Conservation

This property is subject to the provisions of the WCO because the property is greater than 40,000 square feet in size and it contains more than 10,000 square feet of existing woodland. TCP1-014-2021 was submitted with the PPS.

The TCP1 submitted with this PPS covers a gross tract and net tract area of 6.79 acres because it includes abutting Parcels A and B in addition to the subject property. The site contains 4.25 acres of woodlands. The woodland conservation worksheet shows the clearing of 2.28 acres of the net tract area for a woodland conservation requirement of 1.59 acres.

This woodland conservation requirement was placed in a recorded woodland conservation easement (Liber 42437, Folio 111 through 124) as part of the special exception application, providing 1.97 acres of on-site woodland preservation.

Currently, the TCP1 shows infrastructure such as a proposed storage building, surface parking, access lane, stormwater structures, and woodland preservation.

Specimen Trees

Section 25-122(b)(1)(G) requires that “Specimen trees, champion trees, and trees that are part of a historic site or are associated with a historic structure shall be preserved and the design shall either preserve the critical root zone of each tree in its entirety or preserve an appropriate percentage of the critical root zone in keeping with the tree’s condition and the species’ ability to survive construction as provided in the Technical Manual.”

The site contains one specimen tree (chestnut oak) in fair condition, which is to be retained within the on-site preservation area. At the time of the special exception application, a variance to remove specimen trees 2 and 3 was approved with the TCP2 and the trees have since been removed.

SPECIMEN TREE SCHEDULE SUMMARY

SPECIMEN TREE	COMMON NAME	Diameter (in inches)	CONDITION	DISPOSITION
1	Chestnut oak	35	Fair	To be saved
2	Black oak	36	Dead	Has been removed
3	Scarlet oak	31	Poor	Has been removed

The regulated environmental features on the subject property have been preserved and/or restored to the fullest extent possible, based on the limits of disturbance shown on the TCP1.

17. **Urban Design**—The proposed development of the 116,283-square-foot self-storage facility is subject to DSP approval. The gas station is already subject to an approved special exception.

Conformance with the Requirements of the Prince George’s County Zoning Ordinance

The PPS is approved to subdivide Lot 34 into two parcels and retains the gas station in

combination with a food and beverage store and carwash on Parcel 1. This use was previously approved under SE-4812. Parcel 2 is proposed for future construction of a 116,283-square-foot consolidated storage facility. This use is permitted on the property in accordance with Section 27-461(b) of the Zoning Ordinance, subject to Footnote 69, which requires specific criteria be met through the approval of a DSP. Conformance with these criteria and other regulations regarding the use included in the Zoning Ordinance will be reviewed with the future DSP application, including but not limited to the following:

- Section 27-454, C-S-C Zone
- Section 27-461, Uses (C-S-C Zone)
- Section 27-462, Regulations
- Part 10C, Military Installation Overlay Zone
- Part 11, Off-street Parking and Loading
- Part 12, Signs, respectively.

Conformance with the 2010 Prince George's County Landscape Manual

The proposed development is subject to the 2010 *Prince George's County Landscape Manual*. Specifically, Section 4.2, Requirements for Landscape Strips Along Streets; Section 4.3, Parking Lot Requirements; Section 4.4, Screening Requirements; Section 4.6, Buffering Development from Streets; Section 4.7, Buffering Incompatible Uses; and Section 4.9, Sustainable Landscape Requirements, apply to this site. Conformance with the landscaping requirements will be determined at the time of DSP review.

Conformance with the Tree Canopy Coverage Ordinance

Subtitle 25, Division 3, the Tree Canopy Coverage Ordinance, requires a minimum percentage of the site to be covered by tree canopy for any development projects that propose more than 5,000 square feet of gross floor area or disturbance and requires a grading permit. Properties in the C-S-C Zone are required to provide a minimum of 10 percent of the gross tract area in tree canopy coverage. Compliance with this requirement will be evaluated at the time of DSP review.

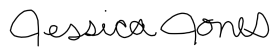
BE IT FURTHER RESOLVED, that an appeal of the Planning Board's action must be filed with Circuit Court for Prince George's County, Maryland within thirty (30) days following the date of notice of the adoption of this Resolution.

* * * * *

This is to certify that the foregoing is a true and correct copy of the action taken by the Prince George's County Planning Board of The Maryland-National Capital Park and Planning Commission on the motion of Commissioner Washington, seconded by Commissioner Bailey, with Commissioners Washington, Bailey, Doerner, Geraldo and Hewlett voting in favor of the motion at its regular meeting held on Thursday, November 4, 2021, in Upper Marlboro, Maryland.

Adopted by the Prince George's County Planning Board this 2nd day of December 2021.

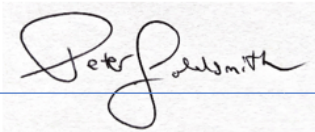
Elizabeth M. Hewlett
Chairman



By Jessica Jones
Planning Board Administrator

EMH:JJ:EDC:nz

APPROVED AS TO LEGAL SUFFICIENCY



M-NCPPC Legal Department
Date: November 12, 2021



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

14741 Governor Oden Bowie Drive
Upper Marlboro, Maryland 20772
www.pgplanning.org

April 11, 2022

MEMORANDUM

TO: Tierre Butler, Planner II, Urban Design Section

VIA: Mridula Gupta, Planner III, Subdivision Section

FROM: Mahsa Vatandoost, Planner II, Subdivision Section

SUBJECT: DSP-21019; Arcland Self Storage

The property considered in this Detailed Site Plan (DSP-21019) is located on Tax Map 117 in Grids A-1 and B-1. The property consists of 4.56 acres of existing Lot 34 which is recorded among the Prince George's County Land Records in Plat Book VJ 178 at page 55 entitled "a resubdivision of part of Lot 4 Townsend Subdivision" dated February 19, 1997. The property is located within the Commercial Shopping Center (C-S-C) and Military Installation Overlay (M-I-O) Zones for height, noise and safety. It is subject to *the 2013 Approved Subregion 5 Master Plan and Sectional Map Amendment* (Subregion 5 Master Plan and SMA).

The applicant has submitted this DSP-21019 for development of 116,283 square feet, three-story, consolidated storage building with 24 associated parking spaces. Staff notes that while the gross floor area (GFA) of the proposed building listed in General Note 6 on the cover sheet of the DSP sums up to 116,283 square feet, the site plan and landscape plan provide the GFA of the proposed building as 198,606 square feet. This discrepancy should be corrected prior to signature approval of the DSP.

The property is subject to Preliminary Plan of Subdivision (PPS) 4-21011 which was approved by the Planning Board on November 4, 2021 (PGCPB Resolution No. 2021-136). PPS 4-21011 approved two parcels for 118,548 square feet of commercial development. Proposed Parcel 1 is currently improved with a 1,358-square-foot carwash and 907-square-foot convenience store (previously approved under Special Exception SE-4812). Per General Note 6 on the cover sheet of the DSP, proposed Parcel 2 is to be developed with a 116,283-square-foot self-storage facility. The total development on Parcels 1 and 2 will thus be 118,548 square feet of gross floor area and in conformance with the PPS. However, the DSP proposes 198,606 square feet of GFA, and the total development on Parcels 1 and 2 will be 200,871 square feet, which is more than the development approved with the PPS. Final plats of subdivision will be required for Parcels 1 and 2 before permits may be issued and must be filed prior to the validity period of the PPS which is December 2, 2023.

PPS 4-21011 was approved subject to nine conditions. The conditions relevant to the subject application are shown below in **bold** text. Staff analysis of the project's conformance to the relevant conditions follows each one in plain text.

2. **Any residential development on the subject property shall require approval of a new preliminary plan of subdivision, prior to approval of any permits.**

This DSP does not propose any residential development on the subject property.

3. **Development of Parcel 1 shall be in conformance with Stormwater Management (SWM) Concept Plan 8745-2018-0 and any subsequent revisions, and development of Parcel 2 shall be in conformance with approved SWM Concept Plan 16017-2021-0 and any subsequent revisions.**

The applicant submitted an approved Stormwater Management (SWM) Concept Plan 16017-2021-00 with the subject DSP. The DSP shows the layout of the proposed storage building in conformance with the approved SWM Concept Plan. The Environmental Planning Section should further review the SWM Concept Plan for conformance to this condition.

4. **Prior to approval of a final plat, the final plat shall:**

- a. **Include the 10-foot-wide public utility easements along the public rights-of-way, in accordance with the approved preliminary plan of subdivision.**

All required public utility easements along the public rights-of-way are shown on the DSP in accordance with the approved PPS. Conformance to this condition will be reviewed again at the time of final plat.

- b. **Note the Planning Board's approval of a variation to Section 24-121(a)(3) of the Prince George's County Subdivision Regulations, for one direct vehicular access driveway onto MD 223 from Parcel 1.**

Conformance to this condition will be reviewed further at the time of final plat for Parcel 1.

5. **Development of this subdivision shall be in conformance with an approved Type 1 Tree Conservation Plan (TCP1-014-2021). The following note shall be placed on the final plat of subdivision:**

"This development is subject to restrictions shown on the approved Type 1 Tree Conservation Plan (TCP1-01-2021), or as modified by the Type 2 Tree Conservation Plan and precludes any disturbance or installation of any structure within specific areas. Failure to comply will mean a violation of an approved Tree Conservation Plan and will make the owner subject to mitigation under the Woodland Conservation/Tree Conservation Policy."

The DSP is in general conformance with the approved TCP1-014-2021. Conformance with this condition should be further reviewed by the Environmental Planning Section.

6. **Prior to the issuance of permits for this subdivision, a Type 2 tree conservation plan shall be approved. The following note shall be placed on the final plat of subdivision:**

“This plat is subject to the recordation of a Woodland Conservation Easement pursuant to Section 25-122(d)(1)(B) with the Liber and folio reflected on the Type 2 Tree Conservation Plan, when approved.”

A Type 2 Tree Conservation Plan (TCP2-2018-01) has been submitted with this DSP. The Environmental Planning Section should review the plan and determine whether it may be approved.

7. **Total development within Parcel 2 of this preliminary plan of subdivision (PPS) shall be limited to uses which generate no more than 12 AM peak-hour and 20 PM peak-hour vehicle trips. Total development within Parcel 1 of this PPS shall be limited to uses which generate no more than 28 AM peak-hour and 33 PM peak-hour vehicle trips. Any development generating an impact greater than that identified herein shall require a new determination of the adequacy of transportation facilities and a new PPS.**

Per this condition, the total development of proposed Parcel 2 shall be limited to uses which would generate no more than 12 AM, peak-hour, and 20 PM peak-hour vehicle trips. The site plan depicts the proposed GFA for the building on Parcel 2 to be 198,606 square feet. The total development on Parcels 1 and 2 therefore will be 200,871 square feet, which is more than the 118,548 square feet development approved with the PPS. The proposed development should be further reviewed by the Transportation Planning Section for conformance to this condition.

8. **In conformance with the 2009 *Approved Countywide Master Plan of Transportation* and the 2013 *Approved Subregion 5 Master Plan*, the applicant and the applicant's heirs, successors, and/or assignees shall show the following additional improvements on the detailed site plan, prior to its acceptance:**

- a. **A continental style crosswalk traversing the drive aisle at the entrance to the self-storage facility.**

A continental style crosswalk at the entrance to the self-storage facility from the Dangerfield Road has been proposed in this DSP. Conformance with this condition should be further reviewed by the Transportation Planning Section.

Additional Comments:

None.

Recommended Conditions:

1. **Prior to certification, the detailed site plan shall be revised as follows:**
 - a. **Revise the gross floor area (GFA) of the proposed building so that the total**

development on Parcel 2 does not generate more than 12 AM peak-hour and 20 PM peak-hour vehicle trips.

This referral is provided for the purposes of determining conformance with any underlying subdivision approvals for the subject property and Subtitle 24. This DSP must be revised to be in substantial conformance with the approved preliminary plan of subdivision. All bearings and distances must be clearly shown on the site plan and must be consistent with the record plat, or permits will be placed on hold until the plans are corrected.



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

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Countywide Planning Division
Transportation Planning Section


301-952-3680

April 4, 2022

MEMORANDUM

TO: Tierre Butler, Urban Design Review Section, Development Review Division

FROM: Benjamin Ryan, Transportation Planning Section, Countywide Planning Division


VIA:  William Capers III, PTP, Transportation Planning Section, Countywide Planning Division

SUBJECT: **DSP-21019: Arcland Self Storage**

Proposal:

The subject application proposes to construct a 116,283 square-foot consolidated storage facility. Access to the site is provided along the east side of Dangerfield Road.

Prior Conditions of Approval:

The site is subject to Preliminary Plan of Subdivision 4-21011. Condition 7 from 4-21011 discusses peak-hour vehicle trips and is copied below:

7. Total development within Parcel 2 of this preliminary plan of subdivision (PPS) shall be limited to uses which generate no more than 12 AM peak-hour and 20 PM peak-hour vehicle trips. Total development within Parcel 1 of this PPS shall be limited to uses which generate no more than 28 AM peak-hour and 33 PM peak-hour vehicle trips. Any development generating an impact greater than that identified herein shall require a new determination of the adequacy of transportation facilities and a new PPS.

Comment: The DSP is subject to the approved trip cap for Parcel 2 as provided in the approved PPS application, which considers the development of 116,283 Square-foot of consolidated storage use. The subject DSP accurately reflects this square-footage for a consolidated storage self-storage facility. Staff finds the proposal is consistent with the land use and development program approved in the PPS and therefore is within the peak-hour trip cap approved in PPS 4-21011.

Condition 8 from 4-21011 discusses crosswalks at the point of vehicle entry for the self-storage facility and is copied below:

8. In conformance with the 2009 *Approved Countywide Master Plan of Transportation* and the 2013 *Approved Subregion 5 Master Plan*, the applicant and the applicant's heirs, successors, and/or assignees shall show the following additional improvements on the detailed site plan, prior to its acceptance:

- a. A continental style crosswalk traversing the drive aisle at the entrance to the self-storage facility.

Comment: The subject application accurately displays a continental style crosswalk crossing the drive aisle at the entrance to the self-store facility.

Master Plan Compliance

This application is subject to 2009 *Approved Countywide Master Plan of Transportation* (MPOT).

Master Plan Roads

The subject property fronts Dangerfield Road (C-510) along its eastern border. The 2009 *Countywide Master Plan of Transportation* (MPOT) recommends this portion of Dangerfield Road as a 2-lane collector roadway (4 lanes only at approaches to the intersection with Woodyard Road) constructed within 80 feet of right-of-way. The subject property is located approximately 350 feet south of the intersection of Dangerfield Road and Woodyard Road and does display 4 lanes of traffic at this location. This portion of Dangerfield Road also falls within the bounds of the 2013 *Approved Subregion 5 Master Plan and Sectional Map Amendment* which recommends 80-feet of minimum right-of-way. The applicant's submission accurately displays this portion of Dangerfield Road fronting the subject site within 80-feet of right-of-way. No additional dedication is required on the subject property's side of the road.

Master Plan Pedestrian and Bike Facilities

The 2009 Approved Countywide Master Plan of Transportation (MPOT) recommends the following facilities:

Planned Shared Roadway: Dangerfield Road

The MPOT provides policy guidance regarding multimodal transportation and the Complete Streets element of the MPOT recommends how to accommodate infrastructure for people walking and bicycling.

Policy 5: Evaluate new development proposals in the Developed and Developing Tiers for conformance with the complete streets principles.

Comment: The applicant's submission displays shared-lane markings (sharrows) and a "bicycles may use full lane" signage assembly along the frontage of Dangerfield Road, in accordance with MPOT planned shared roadway recommendations.

The subject property falls within the developing tier. The applicant's submission displays a 5-foot-wide sidewalk along the subject property's entire frontage of Dangerfield Road. An additional sidewalk facility originating along Dangerfield Road leading to the building entrance is also provided along with two bicycle racks. Staff finds the applicant's submission to be acceptable in evaluating bicycle and pedestrian access to the site.

Transportation Planning Review

Zoning Ordinance Compliance

Section 27-283 of the Prince George's County Zoning Ordinance (Ordinance) provides guidance for detailed site plans. The section references the following design guidelines described in Section 27-274(a):

(2) Parking, loading, and circulation

I Vehicular and pedestrian circulation on a site should be safe, efficient, and convenient for both pedestrians and drivers. To fulfill this goal, the following guidelines should be observed:

(ix) Pedestrian and vehicular routes should generally be separate and clearly marked.

(x) Crosswalks for pedestrians that span vehicular lanes should be identified by the use of signs, stripes on the pavement, change of paving material, or similar techniques

(xi) Barrier-free pathways to accommodate the handicapped should be provided

(6) Site and streetscape amenities

(A) Site and streetscape amenities should contribute to an attractive, coordinated development and should enhance the use and enjoyment of the site. To fulfill this goal, the following guidelines should be observed:

(i) The design of light fixtures, benches, trash receptacles, bicycle racks, and other street furniture should be coordinated in order to enhance the visual unity of site.

Comment: The site is served by a single by a directional drive aisle that is accessed from Dangerfield Road and provides vehicular circulation within the site. The drive aisle varies between 22 and 27 feet wide and provides access to the primary self-storage facility and to the smaller self-storage facility on the eastern edge of the subject property.

As discussed above, the development proposal proposes a new 5-foot-wide sidewalk along the property's frontage along Dangerfield Road as well as a sidewalk connection directly to the self-storage facility, which provides adequate pedestrian access and facilities to the site and within the development. Bicycle parking is also provided directly adjacent to the area where vehicles enter the site.

The proposed 116,283 Square-foot of consolidated storage use with less than 1,000 square-foot of office use results in a requirement of 24 onsite parking spaces and 5 loading spaces, both of which are accurately displayed on the applicant's submission. The site provides 7 parking spaces outside the entry gate, directly adjacent to Dangerfield Road, and an additional 17 spaces behind the entry gate. All loading spaces are provided in the rear of the property where there is sufficient space for larger vehicles to maneuver and access the loading area. Staff finds the parking, loading and circulation for the DSP acceptable and in conformance with the zoning ordinance.

Conclusion

Overall, from the standpoint of The Transportation Planning Section it is determined that this plan is acceptable.



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

Countywide Planning Division
Environmental Planning Section

14741 Governor Oden Bowie Drive
Upper Marlboro, Maryland 20772
www.pgplanning.org

April 6, 2022

MEMORANDUM

TO: Tierre Butler, Planner II, Urban Design Section

VIA: Thomas Burke, Supervisor, Environmental Planning Section *TB*

FROM: Chuck Schneider, Planner III, Environmental Planning Section CS

SUBJECT: **ARCLAND – Dangerfield Road; DSP-21019 and TCP2-007-2018-01**

The Environmental Planning Section (EPS) has reviewed the above referenced detailed site plan (DSP-21019) and Type 2 Tree Conservation Plan (TCP2-007-2018-01), received on February 11, 2022. Comments were provided in a Subdivision and Development Review Committee (SDRC) meeting on March 18, 2022.

The EPS recommend approval of DSP-21019 and TCP2-007-2018-01, subject to recommended conditions listed at the end of this memorandum.

Background

Review Case #	Associated Tree Conservation Plan #	Authority	Status	Action Date	Resolution Number
ROSP-SE-3698	N/A	Planning Board	Approved	10/19/1994	94-314
NRI-023-2018	N/A	Staff	Approved	3/09/2018	N/A
NRI-023-2018-01	N/A	Staff	Approved	8/22/2018	N/A
SE-4812	TCP2-007-2018	Zoning Hearing Examiner	Approved	1/16/2019	ZHE Decision
ROSP-4812-01	N/A	Planning Director	Approved	7/27/2020	N/A
4-21011	TCP1-014-2021	Planning Board	Approved	11/4/2021	2021-136
DSP-21019	TCP2-007-2018-01	Planning Board	Pending	Pending	Pending

Proposed Activity

This DSP proposes development on two parcels totaling 5.65 acres in the C-S-C Zone for 118,548 square-feet of commercial development.

Grandfathering

The project is subject to the environmental regulations of Subtitle 24, 25, and 27 that came into effect on September 1, 2010, and February 1, 2012, because the application has a recently approved preliminary plan of subdivision (PPS).

Site Description

The subject property is located at 8310 Dangerfield Road, at the southeast corner of its intersection with Woodyard Road, in Clinton. Woodyard Road is identified as a historic road and is classified as an arterial road. The approved natural resources inventory (NRI-023-2018-01) does not identify any streams or floodplain on-site; however, wetlands and the associated buffer are identified in the southeast corner of the property. This site has also been mapped by the Department of Natural Resources (DNR) as a Tier II catchment area; however, no streams or buffers are located on this property. The property is in the Piscataway Creek watershed of the Potomac River basin. This property is not within the Sensitive Species Project Review Area (SSPRA), according to PGAtlas.com.

Review of Previously Approved Conditions

The following text addresses previously approved environmental conditions to be considered with this application.

Special exception plan (SE-4812) was approved for transmittal of the technical staff report to the Zoning Hearing Examiner by the Planning Board on June 21, 2018. On January 16, 2019, the decision by Zoning Hearing Examiner affirmed the recommended conditions proposed by the Planning Board. The approved conditions for SE-4812 are listed below in bold text.

- 2. Prior to certification of the Special Exception, the TCP2 shall be revised as follows:**
 - a. Add “TCP2-007-2018” to the worksheet.**
 - b. Remove the PMA line from the plan and the legend. According to the NRI, this site does not contain PMA.**
 - c. Provide a complete CRZ ring around specimen trees 2 and 3.**
 - d. Remove the specimen/historic tree credit from the worksheet. This credit only applies to existing, individual trees outside of a forested area, in an approved historic setting. Note that this will impact the “meeting the requirements” calculations, which then must be adjusted to match the “woodland conservation required”.**
 - e. Provide an Owners Awareness Certification on the plan.**
 - f. Have the revised plan signed and dated by the qualified professional preparing the plan.**

This condition was addressed at the time of the certification of TCP2-007-2018.

4. **Prior to the signature of the TCP2 for this site, documents for the required woodland conservation easements shall be prepared and submitted to the Environmental Planning Section (EPS) for review by the Office of law, and submission to the Office of Land Records for recordation. The following note shall be added to the standard Type 2 Tree Conservation Plan notes on the plan as follows:**

“Woodlands preserved, planted, or regenerated in fulfillment of woodland conservation requirements on-site have been placed in a woodland and wildlife habitat conservation easement recorded in the Prince George’s County Land Records at liber ____ folio _____. Revisions to this TCP2 may require a revision to the recorded easement.”

This condition was addressed, and the woodland conservation easement (WCE) recorded at Liber 42437, Folio 111 through 124.

5. **Prior to the issuance of the first grading permit, copies of the recorded easement documents with the approved liber and folio shall be provided to the Environmental Planning Section. The liber and folio of the recorded woodland conservation easement shall be added to the TCP2.**

This condition will be addressed at the time of first permit.

Preliminary Plan of Subdivision 4-21011, approved by the Planning Board on November 4, 2021: The environmental conditions of approval found in PGCPB No. 2021-136.

5. **Development of this subdivision shall be in conformance with an approved Type 1 Tree Conservation Plan (TCP1-014-2021). The following note shall be placed on the final plat of subdivision:**

“This development is subject to restrictions shown on the approved Type 1 Tree Conservation Plan (TCP1-01-2021), or as modified by the Type 2 Tree Conservation Plan and precludes any disturbance or installation of any structure within specific areas. Failure to comply will mean a violation of an approved Tree Conservation Plan and will make the owner subject to mitigation under the Woodland Conservation/Tree Conservation Policy.”

6. **Prior to the issuance of permits for this subdivision, a Type 2 tree conservation plan shall be approved. The following note shall be placed on the final plat of subdivision:**

“This plat is subject to the recordation of a Woodland Conservation Easement pursuant to Section 25-122(d)(1)(B) with the Liber and folio reflected on the Type 2 Tree Conservation Plan, when approved.”

These conditions will be met at the time of final plat.

Environmental Review

Natural Resources Inventory/Existing Conditions

A NRI plan (NRI-023-2018-01), approved on August 22, 2018, was provided with this application. The NRI shows non-tidal wetlands and the associated buffer, located in the southeast corner of the property. The TCP2 and DSP show all the required information correctly in conformance with the NRI. No revisions are required for conformance to the NRI.

Woodland Conservation

This property is subject to the provisions of the Prince George’s County Woodland and Wildlife Habitat Conservation Ordinance (WCO) because the property is greater than 40,000 square-feet in size, and it contains more than 10,000 square-feet of existing woodland. A Type 2 Tree Conservation Plan (TCP2-007-2018-01) was submitted with the DSP application.

Based on the TCP2 submitted with this application, the site’s gross tract and net tract area is 6.79 acres, and contains 4.25 acres of woodlands. The Woodland Conservation Worksheet proposes the removal of 2.28 acres of the net tract area, for a woodland conservation requirement of 1.59 acres.

This woodland conservation requirement was placed in a recorded Woodland Conservation Easement (Liber 42437, Folio 111 through 124) as part of the SE application, providing 1.97 acres of on-site woodland preservation.

Currently, the TCP2 shows the proposed development of a storage building, surface parking, access lane, stormwater structures, and woodland preservation.

Specimen Trees

Section 25-122(b)(1)(G) requires that “Specimen trees, champion trees, and trees that are part of a historic site or are associated with a historic structure shall be preserved and the design shall either preserve the critical root zone of each tree in its entirety or preserve an appropriate percentage of the critical root zone in keeping with the tree’s condition and the species’ ability to survive construction as provided in the Technical Manual.”

The site contains one specimen tree (chestnut oak) in fair condition, which is proposed to be retained within the on-site preservation area. With the special exception (SE) application, variances to remove specimen trees 2 and 3 were approved.

SPECIMEN TREE SCHEDULE SUMMARY

SPECIMEN TREE	COMMON NAME	Diameter (In inches)	CONDITION	DISPOSITION
1	Chestnut oak	35	Fair	To be saved
2	Black oak	36	Dead	Has been removed
3	Scarlet oak	31	Poor	Has been removed

Stormwater Management (SWM)

The site has an approved SWM Concept Plan (#16017-2021-00) that was submitted with the subject application. The SWM design is required to be reviewed and approved by the Department of Permitting, Inspections, and Enforcement (DPIE) to address surface water runoff issues in accordance with Subtitle 32 Water Quality Resources and Grading Code. This application proposes five micro-bioretenement facilities. A SWM fee-in-lieu of on-site attenuation/quality control measures is not required. No further action regarding SWM is required with this DSP review.

Soils

The soils found to occur on this site, according to the U.S. Department of Agriculture (USDA) Natural Resource Conservation Service (NRCS) Web Soil Survey (WSS), are Grosstown-Hoghole-Urban land complex (0 to 5 percent slopes), Beltsville-Urban land complexes, and Sassafras sandy loams. Marlboro clays or Christiana complexes are not identified on or in the vicinity of this property.

Summary of Recommended Findings and Conditions

The EPS recommend approval of DSP-21019 and TCP2-007-2018-01, subject to the following findings:

Recommended Findings:

1. No specimen trees are proposed for removal with this application. As part of the SE-4812, a variance to remove two specimen trees was approved.
2. The regulated environmental features on the subject property have been preserved and/or restored to the fullest extent possible, based on the limits of disturbance shown on the Type 2 Tree Conservation Plan.

If you have any questions concerning these comments, please contact me at 301-883-3240, or by e-mail at Alwin.schneider@ppd.mncppc.org.

Countywide Planning Division
Historic Preservation Section

301-952-3680

March 4, 2022

MEMORANDUM

TO: Tierre Butler, Urban Design Section, Development Review Division

VIA: Howard Berger, Historic Preservation Section, Countywide Planning Division **HSB**

FROM: Jennifer Stabler, Historic Preservation Section, Countywide Planning Division **JAS**
Tyler Smith, Historic Preservation Section, Countywide Planning Division **TAS**

SUBJECT: DSP-21019 Arcland Self Storage

The subject property comprises 5.65-acres and is located in the southeast quadrant of the intersection of Dangerfield Road and Woodyard Road. The subject application proposes the construction of a three-story, 198,606 square-foot, consolidated storage facility. The subject property is Zoned C-S-C and M-I-O.

A search of current and historic photographs, topographic and historic maps, and locations of currently known archeological sites indicates the probability of archeological sites within the subject property is low. A majority of the property has already been disturbed. The subject property does not contain and is not adjacent to any Prince George's County Historic Sites or Resources. This proposal will not impact any historic sites, historic resources or known archeological sites. A Phase I archeology survey is not recommended. Historic Preservation Section staff recommend approval of DSP-21019 Arcland Self Storage without conditions.



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

Prince George's County Planning Department
Community Planning Division

14741 Governor Oden Bowie Drive
Upper Marlboro, Maryland 20772
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301-952-3972

March 21, 2022

MEMORANDUM

TO: Andrew Bishop, Planner II, Urban Design Review Section Development Review Division

VIA: David A. Green, MBA, Planner IV, Long Range Planning Section Community Planning Division

FROM: Daniel Sams, Planner III, Neighborhood Revitalization Section Community Planning Division

SUBJECT: **DSP-21019 Arcland Self Storage**

FINDINGS

Pursuant to Part 3, Division 9, Subdivision 3 of the Zoning Ordinance, Master Plan conformance is not required for this application.

BACKGROUND

Application Type: Detailed Site Plan

Location: 8310 Dangerfield Road, Clinton, MD 20735

Size: 5.65 acres

Existing Uses: vacant

Proposal: Construct consolidated storage facility

GENERAL PLAN, MASTER PLAN, AND SMA

General Plan: The subject property is in the Established Communities. Plan 2035 classifies existing residential neighborhoods and commercial areas served by public water and sewer outside of the Regional Transit Districts and Local Centers, as Established Communities. Established communities are most appropriate for context-sensitive infill and low- to medium-density development. Plan 2035 recommends maintaining and enhancing existing public services (police and fire/EMS),

facilities (such as libraries, schools, parks, and open space), and infrastructure in these areas (such as sidewalks) to ensure that the needs of existing residents are met (p. 20).

Master Plan: The 2013 *Approved Subregion 5 Master Plan* recommends Commercial land uses on the subject property (p. 32).

Planning Area: 81A

Community: Clinton & Vicinity

Aviation/MIOZ: This application is located in the Military Installation Overlay (M-I-O) Zone, including Noise Intensity Zone 60-74db, Accident Potential Zone 1 and 2 and Height Clearance Zone (50:1) South End, B, which restricts height to approximately 100 feet.

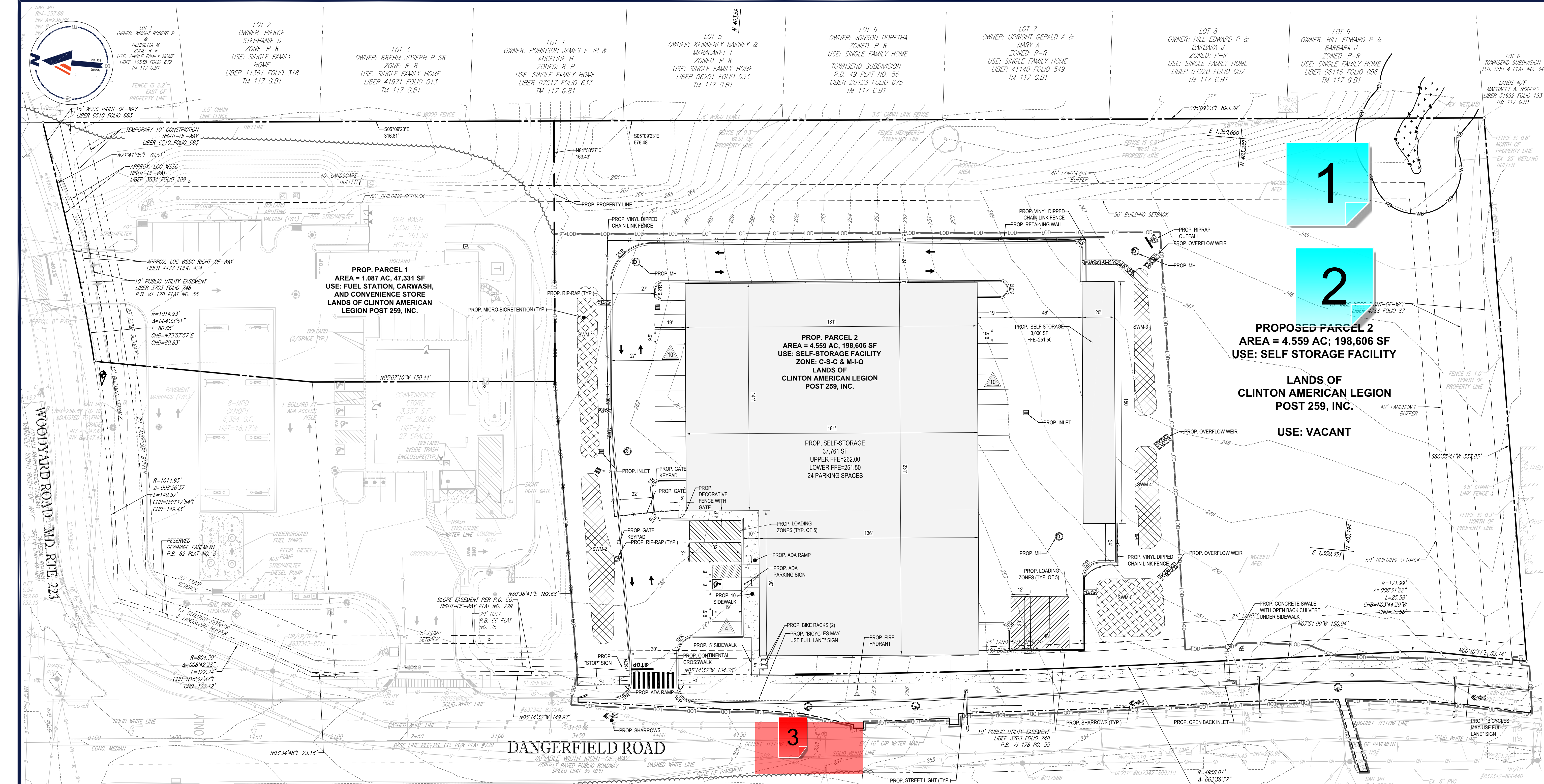
SMA/Zoning: The 2013 *Approved Subregion 5 Sectional Map Amendment* retained the subject property in the C-S-C (Commercial Shopping Center) Zone.

MASTER PLAN CONFORMANCE ISSUES

None.

cc: Long-range Agenda Notebook

Frederick Stachura, J.D., Supervisor, Neighborhood Revitalization Section, Community Planning Division



STANDARD NOTES:

	ALLOWED/REQUIRED	PROVIDED
1. BULK REQUIREMENTS:		
A. MIN. LOT AREA	N/A	2.60 AC
B. MIN. BUILDING SETBACK		
SELF STORAGE		
FRONT SETBACK (DANGERFIELD)	10'	10.1'
REAR SETBACK	50'	100.8'
SIDE SETBACK (NORTH)	0'	75.0'
SIDE SETBACK (SOUTH)	50'	236.4'
C. MIN. PARKING SETBACK		
FRONT SETBACK	NONE	10.7'
REAR SETBACK	NONE	75.2'
SIDE SETBACK (NORTH)	NONE	32.4'
SIDE SETBACK (SOUTH)	NONE	248.4'
D. PARKING REQUIREMENTS		
CONSOLIDATED STORAGE		
1 SPACE PER 50 UNITS HAVING DIRECT ACCESS ONLY FROM WITHIN A BUILDING = (900 UNITS / 50 UNITS) * 1 SPACE = 18		
+4 SPACES PER 1,000 SQ. FT. OF GFA OF OFFICE SPACE=	24	24
(1,000 SF / 1,000 SF) * 4 SPACES = 4		
+2.0 PER RESIDENT MANAGER = 2		
E. LOADING SPACE REQUIREMENTS:		
CONSOLIDATED STORAGE, PER BUILDING		
2 SPACES UP TO 10,000 SQ. FT. OF GFA = 2	5	5
+1 SPACE FOR EACH ADDITIONAL 40,000 SF OF GFA = 3		
F. MIN. PARKING SPACE DIMENSIONS		

STANDARD PARKING SPACE	9.5'X19'	9.5'X19'
ADA ACCESSIBLE PARKING SPACE	6'X19'	6'X19'
G. MAX. BUILDING HEIGHT	N/A	TBD
H. GREEN AREA CALCULATIONS		
SELF STORAGE		
SITE AREA = 4.559 AC		
GREEN AREA = 3.90 AC (85.5%)		
I. NEAREST INTERSECTING STREET: DANGERFIELD ROAD AND WOODYARD ROAD.		
3. PAVEMENT STRIPING TO BE 4" WHITE MSHA STANDARD.		
4. PUBLIC WATER AND SEWER, STORMDRAIN, GAS, ELECTRIC AND TELEPHONE UTILITIES ARE AVAILABLE TO THE SITE.		
5. COMPANION APPLICATIONS:		
-NRI EQUIVALENCY	APPROVAL DATE: 08/22/2018	APPROVAL NO.: NRI-023-2018
-SDCP	APPROVAL DATE: TBD	APPROVAL NO.: SDCP-16017-2021-0
-PRELIMINARY PLAN	APPROVAL DATE: TBD	APPROVAL NO.: PPS 4-21011
6. THERE IS NO MANDATORY PARK DEDICATION REQUIRED FOR THIS SITE.		
7. HOURS OF OPERATIONS: 24 HRS/DAY		
8. SIGN REQUIREMENTS		
A. BUILDING SIGN AREAS		
SELF STORAGE		
2 SF OF BUILDING SIGNAGE ALLOWED PER 1 LINEAR FOOT OF WIDTH ALONG FRONT OF BUILDING (NORTH, EAST FACADES)		
NORTH FACADE = 57.8'		
EAST FACADE = 80.3'		
B. FREESTANDING SIGN		
SELF STORAGE		
SIGNS SHALL ONLY BE LOCATED ON PROPERTY WHERE THE MAIN BUILDING ASSOCIATED WITH THE SIGN IS LOCATED AT LEAST FORTY (40) FEET BEHIND THE FRONT STREET LINE		
NONE		
NONE		

LEGEND

CONCRETE SIDEWALK	
MICRO-BIORETENTION FACILITY	



BOHLER

SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	DRAWN BY
1	1/11/22	PER MNCPPC COMMENTS	LMT
			MGNS



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It's fast. It's free. It's the law.

NOT APPROVED FOR CONSTRUCTION

THIS DRAWING IS INTENDED FOR MUNICIPAL AND AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.:	MB202090
DRAWN BY:	LMT
CHECKED BY:	NBS
DATE:	07/15/2021
CAD ID:	SITE

DETAILED SITE PLAN

FOR

ARCLAND SELF STORAGE

PROPOSED DEVELOPMENT

8310 DANGERFIELD RD.
PRINCE GEORGE'S COUNTY
CLINTON, MD 20735
TM: 117 GRID: B1 LOT: 34

BOHLER

16701 Melford Blvd., Suite 310
Bowie, Maryland 20715
Phone: (301) 809-4500
Fax: (301) 809-4501
MD@BohlerEng.com

N. B. SPEACH

PROFESSIONAL ENGINEER
MONTGOMERY LICENSE NO. 11717/2022
PROFESSIONAL CERTIFICATION
I, N. B. SPEACH, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A QUALIFIED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 42053, EXPIRATION DATE: 6/14/2023

SHEET TITLE:

SITE PLAN

SHEET NUMBER:

DSP-4

REVISION 1 - 02/09/2021

1 - 1 - WSSC Plan Review Comments

Created by: Mary Mapes
On: 03/15/2022 04:21 PM

WSSC Plan Review Comments
DSP-21019 - ArcLand Self Storage

----- 0 Replies -----

2 - 2 - WSSC Standard Comments for All Plans

Created by: Mary Mapes
On: 03/15/2022 04:25 PM

1. WSSC comments are made exclusively for this plan review based on existing system conditions at this time. We will reevaluate the design and system conditions at the time of application for water/sewer service.
2. Coordination with other buried utilities:
 - a. Refer to WSSC Pipeline Design Manual pages G-1 and G-2 for utility coordination requirements.
 - b. No structures or utilities (manholes, vaults, pipelines, poles, conduits, etc.) are permitted in the WSSC right-of-way unless specifically approved by WSSC.
 - c. Longitudinal occupancy of WSSC rights-of-way (by other utilities) is not permitted.
 - d. Proposed utility crossings of WSSC pipelines or rights-of-way that do not adhere to WSSC's pipeline crossing and clearance standards will be rejected at design plan review. Refer to WSSC Pipeline Design Manual Part Three, Section 3.
 - e. Failure to adhere to WSSC crossing and clearance standards may result in significant impacts to the development plan including, impacts to proposed street, building and utility layouts.
 - f. The applicant must provide a separate Utility Plan to ensure that all existing and proposed site utilities have been properly coordinated with existing and proposed WSSC facilities and rights-of-way.
 - g. Upon completion of the site construction, utilities that are found to be located within WSSC's rights-of-way (or in conflict with WSSC pipelines) must be removed and relocated at the applicants expense.
3. Forest Conservation Easements are not permitted to overlap WSSC existing or proposed easements. Potential impacts to existing Forest Conservation Easements (due to proposed water and/or sewer systems) must be reviewed and approved by County staff.
4. Unless otherwise noted: ALL extensions of WSSC's system require a request for Hydraulic Planning Analysis and need to follow the System Extension Permit (SEP) process. Contact WSSC's Permit Services Section at (301-206-8650) or visit our website at <https://www.wsscwater.com/business--construction/developmentconstruction-services.html> for requirements. For information regarding connections or Site Utility (on-site) reviews, you may visit or contact WSSC's Permit Services Section at (301) 206-4003.

----- 0 Replies -----

3 - General comments

Created by: Jonathan Madagu
On: 03/17/2022 04:06 PM

1. Existing water and sewer mains shown on plan should be labeled with correct pipe size, material and WSSC contract number.
2. Show and label easement limits on plan for all existing and proposed water mains.
3. A proposed site development project was previously submitted to WSSC DA7222Z21 and is a conceptually project. Contact Jonathan Madagu at (301) 206-8642 or Jonathan.Madagu@wsscwater.com for information.

----- 0 Replies -----



COMMISSIONERS
Howard A. Denis, Chair
Keith E. Bell, Vice Chair
Fausto R. Bayonet
T. Eloise Foster
Chris Lawson
Sandra L. Thompson

GENERAL MANAGER
Carla A. Reid

7/27/2021

ARLAND
C/o Anthony Piscitelli
P.O. Box 25523
Washington D.C. 20027

Re: Letter of Findings WSSC Project No. DA7222Z21, Arcland Self-Storage

Dear Mr. Piscitelli:

A hydraulic planning analysis has been completed on the Arcland Self Storage project. The project has been conceptually approved. Please refer to the enclosed 200'-scale sketch along with the summary table and list of conditions included in this letter, which provide the results of our analysis.

HYDRAULIC SUMMARY TABLE	
Proposed Development: 116,283 Square foot Self- Storage	
200-ft Sheet: 211 SE 07	
SEWER	WATER
WWTP Service Area: Piscataway	Hydraulic Zone Group: Prince George's High
Mini-Basin Number: 04-033	Pressure Zone: 385B
	High Grade: 390 feet
	Low Grade: 350 feet

The following is a list of conditions that apply to this project and must be met before a Service Connection Permit will be issued under the Applicant Built process

PROPERTY WILL BE ASSESSED

If a connection to an existing WSSC-built main line extension is made, a front-foot-benefit assessment and any deferred connection costs will be levied against the property served. A yearly charge will appear on your County property tax bill for a set period of time -- currently 23 years. For details contact the Property Assessment Unit on 301-206-8032.

MANDATORY REFERRAL PROCESS

This project may be subject to the Maryland-National Capital Park and Planning Commission's Mandatory Referral Program, depending on its planned water / sewer infrastructures and associated appurtenances. It is the Applicant's responsibility to contact the appropriate County's Department of Park and Planning for specific guidance and their standards for Mandatory Referral Review. During Phase 2 Design Review, WSSC must be notified, if the project is subject to the Mandatory Referral Process.

REQUIRED SANITARY SEWER MAIN SIZES

All sewer shall be 8-inch diameter gravity sewer.

LARGE DIAMETER WATER MAINS IN THE VICINITY

There is a 16-inch diameter water main located in the vicinity of this project. WSSC records indicate that the pipe material is Cast Iron (CI)

Prior to submittal of Phase 2 System Integrity review, it is the applicant's responsibility to test pit the line and determine its exact horizontal and vertical location as well as to verify the type of pipe material. **The applicant's engineer is responsible for coordinating with WSSC for monitoring and inspecting test pits for this project.** Results of the test pit findings must be accurately depicted on ALL Phase 2 plan submittals and support documents.

Please refer to the latest WSSC Pipeline Design Manual, Part 3, Section 11, Loading Analysis, for additional general information and guidance.

WATER AVAILABLE

An existing water main is available to provide service to this project. Water service may be obtained by constructing service connections without a public extension. Each property connecting to the existing lines will be assessed at the rate prevailing at the time of the main's construction (see "PROPERTY WILL BE ASSESSED" above).

INSUFFICIENT WATER PRESSURE

Booster pumps may be required. Water main pressures fluctuate. The pressure may be lower than 40 psi at elevations greater than 258 feet.

OUTSIDE METERS

For commercial water service connections, built to serve a standard or minor site utility (on-site) system over 80 feet in length, WSSC would prefer an outside meter in a vault, however an indoor meter may be allowed under certain conditions.

USE OF MASTER METERS FOR RESIDENTIAL UNITS IN PRINCE GEORGE'S COUNTY

Pursuant to HB218, which was enacted June 1, 2018, condominium or cooperative ownership property projects located in Prince George's County may not be served by a master meter for billing purposes. Each unit shall be provided with a separate billing meter. Any SU, MSU, SEP or Plumbing Plan that has not been submitted prior to this date is required to follow the new law, unless it is associated with a grandfathered HPA or SEP project. See the 2019 WSSC PLUMBING & FUEL GAS CODE for more information.

EASEMENT CONDITIONS

GENERAL

WSSC easements must be free and clear of other utilities, including storm drain systems, ESD devices, gas, electric, telephone, CATV, etc., with the exception of allowed crossings designed in accordance with the WSSC Pipeline Design Manual. Landscaping and Hardscaping are also not allowed without approval. Under certain conditions (and by special request) the items listed above may be permitted within the WSSC easement. However, this will be evaluated on a case by case basis and if allowed, will require execution of a special agreement and/or Hold Harmless Agreement between WSSC and the developer.

COORDINATION WITH OTHER BURIED UTILITIES

Refer to the latest WSSC Pipeline Design Manual Pages G-1 and G-2 for utility coordination requirements. No structures or utilities (manholes, vaults, pipelines, poles, conduits, etc.) are permitted in the WSSC easement unless specifically approved by WSSC. Longitudinal occupancy of WSSC easements (by other utilities) is not permitted. Proposed utility crossings of WSSC pipelines or easements that do not adhere to WSSC's pipeline crossing and clearance standards will be rejected at the design plan review phase. Refer to the latest WSSC Pipeline Design Manual Part Three, Section 3. Failure to adhere to WSSC crossing and clearance standards may result in significant impacts to the development plan including impacts to proposed street and building layouts.

The applicant must provide a separate "Utility Plan" to ensure that all existing and proposed site utilities have been properly coordinated with existing and proposed WSSC facilities and easements. Upon completion of the site construction, any utilities that are found to be located within WSSC's easements (or in conflict with WSSC pipelines) must be removed and relocated at the applicant's expense.

IMPACTS DUE TO GRADING / PIPE LOADING CHANGES

Any grading, change in pipe loading (including but not limited to proposed fill or excavation), adjustment to manhole rims, fire hydrant relocations, placement of access roads or temporary haul roads, temporary sediment control devices, paving construction or construction related activity of any kind over an existing WSSC water or sewer main or within an existing WSSC easement requires **advance approval** by WSSC. Any proposed public street grade establishment plan (GEP) with an existing WSSC water or sewer main of any size located within the existing or proposed public street easement requires WSSC approval directly on the original GEP **prior to** approval of the GEP by the County Department of Public Works and Transportation. Any work (design, inspection, repair, adjustment, relocation, or abandonment) of existing WSSC facilities is done at the sole expense of the applicant / builder / developer. For Relocations work associated with a Systems Extension Project or a Site Utility Project, contact the Development Services Division. Please arrange for this review before plan submittal. See WSSC Design Manual C-11.

PROVIDE FREE EASEMENT TO WSSC

Easements across your property for water and sewer line placement must be provided at no cost to the WSSC. The Applicant shall execute and deliver on-property easements prior to plan approval in accordance with the Development Services Code, which shall constitute an irrevocable offer by the Applicant to convey all on-property easements to WSSC.

CONNECTION AND SITE UTILITY CONDITIONS

SITE UTILITY PROCESS REQUIRED

The Site Utility process is usually required for water lines greater than 2 inches in diameter or sewer lines greater than 4 inches. Contact Permit Services at 301-206-8650 or at www.wsscwater.com for more information on electronic submittal of Site Utility plans

SHARED SERVICE CONNECTIONS SERVING MULTIPLE PROPERTY OWNERS.

A shared service connection may be allowed when multiple properties or buildings are under separate ownership but located on a common tract of land. The arrangement must be recorded in a Shared Site Utility System Agreement and approved by a WSSC Code Official. The following conditions are required for approval by WSSC:

- Recordation of the necessary covenants and easements for maintenance of the shared site utility system.
- An accessible outside water meter for each water service connection. All WSSC water meters serving the shared site utility system shall be billed to a single account.
- Design to facilitate the sharing of water service connection(s) **and** sewer service connection(s); where only the minimum number of services needed shall be allowed.
- Further division of water and sewer billing obligations shall be a private matter between the property owners, lessees, and tenants and may be accomplished through "private" metering.

COVENANT REQUIRED

In general, where multiple properties or buildings under single ownership are served by water and sewer services connections as allowed or required, a covenant shall be submitted for the Commission's approval. The covenant shall require the property owner to notify the Commission prior to any

subdivision or sale of any or all of the properties covered by the covenant. Such action may require the property owner to obtain separate water and sewer connections or a Shared Site Utility System Agreement.

ENVIRONMENTAL CONDITIONS

The applicant must resolve all environmental issues directly with the Environmental reviewer. All outstanding environmental issues must be resolved prior to the Design Phase.

The next step in the process is Phase 2, Review for System Integrity. Contact Permit Services at 301-206-8650 or at www.wsscwater.com for more information on electronic submittal of System Integrity Review Packages. Should you wish to schedule a pre-design meeting, please contact Jonathan Madagu at (301) 206-8642 or Jonathan.madagu@wsscwater.com.

This Letter of Findings will expire if no “actions” are taken by the applicant over the 3-year period following the date of this letter. For definition of “actions”, see the latest Development Services Code, Section 405.1.1.

If you have any questions or concerns, please feel free to contact me at 301-206-8642 or Jonathan.Madagu@wsscwater.com.

Sincerely,



Jonathan Madagu

Project Manager

Development Services Division

Enclosure: 200'-scale sketch

cc: Nicholas Speech- BOHLER Engineering
Mr. Fred Mejias (Fred.Mejias@wsscwater.com) - Development Section Manager
Ms. Shirley Branch (sabbranch@co.pg.md.us) - Department of Permitting, Inspections & Enforcement (DPIE)

bcc: #DSGIntake
Accounting Division
Planning Division
DSD GIS Technician
Development Service

WASHINGTON SUBURBAN SANITARY COMMISSION



ENGINEER:
NAME: BOHLER ENGINEERING
REGISTRATION #: 40263
CONTACT: NICHOLAS SPEACH, P.E.
ADDRESS: 16701 MELFORD BLVD, BOWIE, MD
PHONE: 301-809-4500
EMAIL: NSPEACH@BOHLERENG.COM

APPLICANT:
NAME: ARCLAND
CONTACT: ANTHONY PISCITELLI
ADDRESS: P.O. BOX 25523 WASHINGTON D.C. 20027
PHONE: 202-243-7523
EMAIL: ANTHONY@ARCLAND

PISCATAWAY CREEK 04-033
HYDRAULIC PLANNING ANALYSIS
ARCLAND SELF-STORAGE

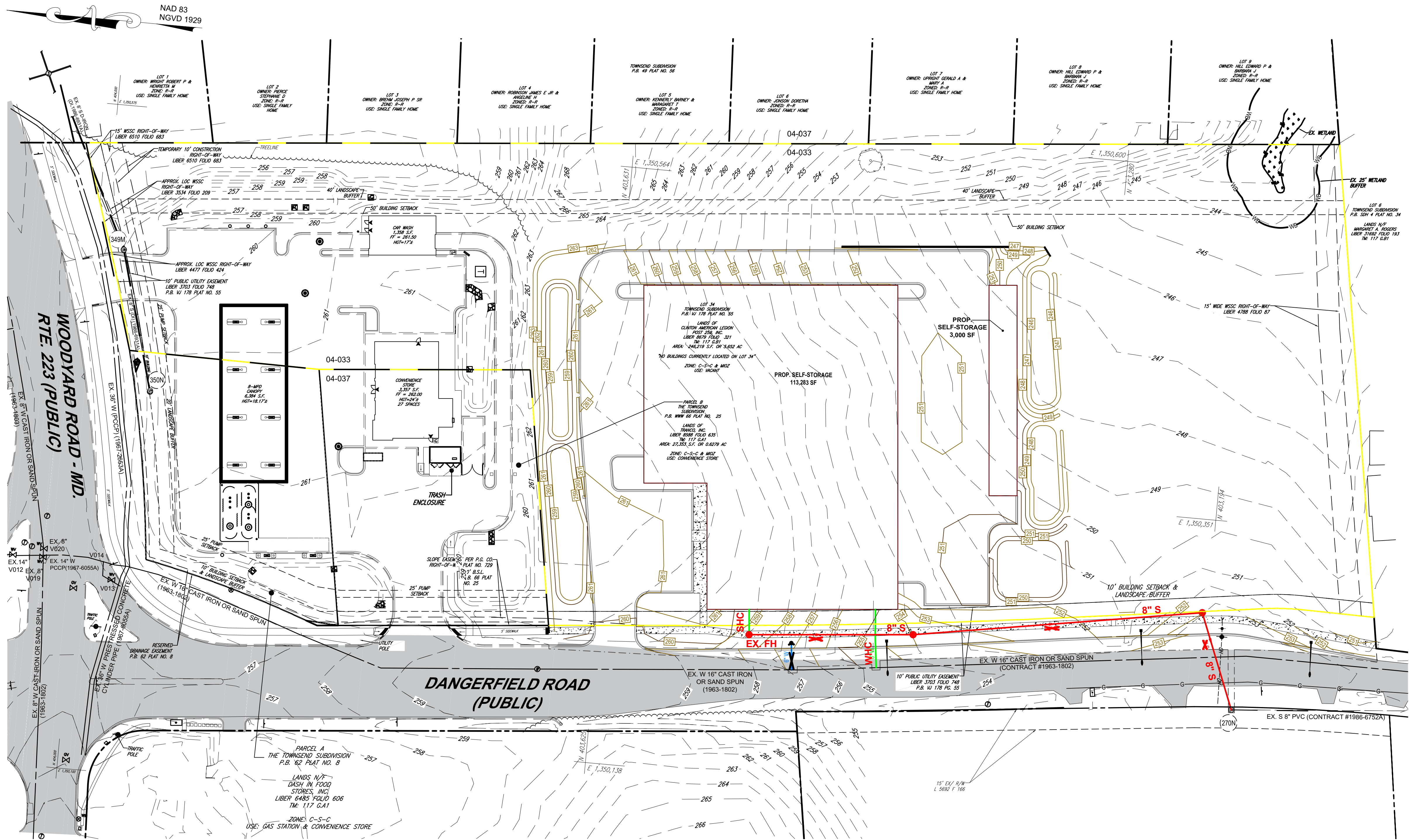
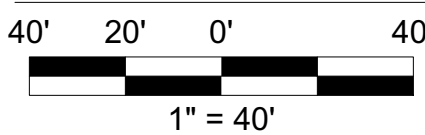
CONTRACT DA7222Z21

200'S 211SE07 04/30/2021

SERVICE CATEGORIES	
W - 3	S - 3
HYDRAULIC GRADES	
HHG	390
LHG	350
PRESSURE ZONE	
385B	

DEVELOPMENT BY PARTS	
PART	Self-storage Building GSF
1	116,283
TOTAL =	116,283

GRAPHIC SCALE



VICINITY MAP
SCALE 1"=200'
PRINCE GEORGE'S Co. PAGE 5767 GRID B7

LEGEND

- APPLICANT'S PROPERTY
- MNCPPC, MARYLAND PARK SERVICE, NATIONAL PARK SERVICE, AND BOARD OF EDUCATION PROPERTY
- ADJACENT PROPERTIES
- EXISTING WATER MAINS (CONTRACT # & SIZE)
- EXISTING SEWER MAINS (CONTRACT # & SIZE)
- PROPOSED WATER MAINS
- PROPOSED SEWER MAINS
- PROPOSED LOW PRESSURE SEWER/ FORCE MAIN
- PROPOSED ON-SITE WATER & SITE UTILITY CONNECTIONS
- PROPOSED ON-SITE SEWER & SITE UTILITY CONNECTIONS
- EXISTING BUILDINGS
- PROPOSED BUILDINGS
- STREET NAME ROAD NAMES
- EXISTING PAVING
- ESMT
- EXISTING / PROPOSED EASEMENTS
- PROPOSED 10' CONTOURS
- PROPOSED 2' CONTOURS
- EXISTING 10' CONTOURS
- EXISTING 2' CONTOURS
- PROPOSED HIGH/LOW POINT ELEVATIONS

APPROVED
J. Madaya
7/27/2021



Angela D. Alsobrooks
County Executive

THE PRINCE GEORGE'S COUNTY GOVERNMENT
Department of Permitting, Inspections and Enforcement
Site/Road Plan Review Division



MEMORANDUM

March 14, 2022

TO: Andrew Bishop, Urban Design Section
Development Review Division, M-NCPPC

FROM: Mary C. Giles, P.E., Associate Director *Mary Giles*
Site/Road Plan Review Division, DPIE

Re: Arcland Self Storage
Detailed Site Plan, DSP-21019

CR: Woodyard Road (Maryland Route 223)
CR: Dangerfield Road

This is in response to the Detailed Site Plan, DSP-21019, referral for the development of self-storage facility and associated infrastructure, the Department of Permitting, Inspections and Enforcement (DPIE) offers the following:

- The property is in Clinton, MD, located on the southeast quadrant of the Woodyard Road (Maryland Route 223) and Dangerfield Road intersection.
- **Woodyard Road**, also known as Maryland Route 223 (MD-223), is an existing State-maintained roadway to the north of the subject property with variable right-of-way width, requiring a right-of-width of 120-ft as per its Master Plan Road Classification A-53. The applicant shall coordinate right-of-way dedications and construct roadway/frontage improvements as required in accordance with the Maryland State Highway Administration (MSHA) as determined necessary.
- **Dangerfield Road** is an existing County-maintained roadway to the west of the subject property with variable right-of-way width, requiring a right-of-width of 80-ft as per its Master Plan Road Classification C-510. The applicant shall coordinate right-of-way dedications and construct roadway/frontage improvements as required in accordance with the Department of Public Works and Transportation (DPW&T) Urban 4-Lane Collector Road standard (Std. 100.03). This work shall be permitted prior to or concurrent with issuance of a fine grading permit.
- The applicant will be subject to frontage improvements along Dangerfield Road as designated in the master plan and outlined in DPW&T Standard No. 100.03.

- Sheet DSP-4 in Detailed Site Plan set shows the driveway entrance with a 10' radius. County standard for a commercial driveway entrance is a minimum radius of 12' per DPW&T Specifications and Standards. The applicant will provide driveway entrance that meets County standards.
- In grading permit stage applicant will provide detectable warning surface on pedestrian ramps on the driveway.
- In grading permit stage applicant will provide dimension confirming a minimum spacing of 4' between stop bar and crosswalk
- Per MDOT SHA Bicycle Policy & Design Guidelines and Prince George's County Bicycle Signing and Marking Guidelines, sharrows may be used where the rightmost motor vehicle lane width is between 13 and 15 feet wide. The applicant will ensure rightmost lane meets this requirement.
- Full-width, 2-inch mill-and-overlay for all existing County, roadway frontages are required.
- Existing utilities may require relocation and/or adjustments. Coordination with the various utility companies is required.
- Compliance with DPW&T's utility policy is required. Based upon the plans submitted, proper temporary and final patching and the related mill and overlay in accordance with "DPW&T Policy and Specifications for Utility Installation and Maintenance Permits" is required.
- Sidewalks are required along all roadways within the property limits in accordance with Sections 23-105 and 23-135 of the County Road Ordinance. Any new sidewalk installation is to match existing sidewalks in the area. In addition, sidewalks must always be kept open for pedestrians.
- Maintenance of private streets is not the responsibility of Prince George's County.
- Conformance with DPIE street lighting specifications and standards are required. Adjustments to street lighting, to accommodate the proposed plan improvements, are required in accordance with Section 23-140 of the Prince George's Road Ordinance.
- Roadside trees will be required along County-maintained roadways within the limits of the permit area.

- All improvements within the public right-of-way as dedicated to the County are to be in accordance with the County Road Ordinance, DPW&T's Specifications and Standards and the Americans with Disabilities Act (ADA).
- The Site Plan filed under M-NCPPC Case No. DSP-21019 is consistent with the Site Development Concept Plan filed under Case No. 16017-2021-00 approved by DPIE on August 16, 2021.
- All stormwater management facilities and drainage systems, including their recreational features and visual amenities (if applicable), are to be designed and constructed in accordance with the standards and specifications set forth by DPIE and DPW&T. Approval of all facilities are required prior to permit issuance.
- All easements are to be approved by DPIE and recorded prior to technical approval.
- A maintenance agreement is to be approved by DPIE and recorded prior to technical approval.
- The proposed development will require a site development permit approved by DPIE.
- A soils investigation report which includes subsurface exploration and geotechnical engineering evaluation for all proposed roadways and Marlboro clay is required.
- This memorandum incorporates the Site Development Plan Review pertaining to Stormwater Management (County Code 32-182(b)). The following comments are provided pertaining to this approval phase:
 - a) Final site layout, exact impervious area locations are shown on plans.
 - b) Exact acreage of impervious areas has not been provided.
 - c) Proposed grading is shown on plans.
 - d) Stormwater volume computations have not been provided.
 - e) Erosion/sediment control plans that contain the construction sequence, and any phasing necessary to limit earth.
 - f) Disturbances and impacts to natural resources, and an overlay plan showing the types and locations of ESD devices and erosion, and sediment control practices are not included in the submittal.

Andrew Bishop
March 14, 2022
Page 4

- g) A narrative in accordance with the code has not been provided.
- h) Applicant shall provide items (a-g) at the time of filing final site permits.

If you have any questions or require additional information, please contact Mr. Mariwan Abdullah, District Engineer for the area, at 301.883.5710.

cc: Rene' Lord-Attivor, Chief, Traffic Engineering, S/RPRD, DPIE
Mariwan Abdullah, P.E., District Engineer, S/RPRD, DPIE
Salman Babar, CFM, Engineer, S/RPRD, DPIE
MJ Labban, Engineer, S/RPRD, DPIE
Yonas Tesfai, P.E., Engineer, S/RPRD, DPIE
Ted Jeong, P.E., Engineer, S/RPRD, DPIE
Arcland Property Company, 1054 31st Street NW, Suite 340, Washington DC 20007
McNamee Hosea, c/o Daniel Lynch, 6411 Ivy Lane, Suite 200, Greenbelt, MD 20770

RE: DSP-21019 - Arcland Self Storage - SDRC Submission; SHA; KW

Kwesi Woodroffe <KWoodroffe@mdot.maryland.gov>

Wed 3/30/2022 7:43 AM

To: Butler, Tierre <Tierre.Butler@ppd.mncppc.org>

Cc: PPD-PGReferrals <PGReferrals@ppd.mncppc.org>

[EXTERNAL EMAIL] Exercise caution when opening attachments, clicking links, or responding.

Tierre,

I have no comments on the subject case.

Thanks, Kwesi

Kwesi Woodroffe
Regional Engineer
District 3 Access Management
MDOT State Highway Administration
KWoodroffe@mdot.maryland.gov

301-513-7347 (Direct)

1-888-228-5003 – toll free

Office Hours

M-Thurs.: 6:30a-3:30p

Fr: 6:30a-10:30a

9300 Kenilworth Avenue,

Greenbelt, MD 20770

<http://www.roads.maryland.gov>



From: Townsend, Donald <Donald.Townsend@ppd.mncppc.org>

Sent: Monday, March 28, 2022 7:10 AM

To: Smith, Tyler <Tyler.Smith@ppd.mncppc.org>; Stabler, Jennifer <Jennifer.Stabler@ppd.mncppc.org>; Hall, Ashley <Ashley.Hall@ppd.mncppc.org>; Henderson, Tamika <Tamika.Henderson@ppd.mncppc.org>; Franklin, Judith <Judith.Franklin@ppd.mncppc.org>; Green, David A <davida.green@ppd.mncppc.org>; Masog, Tom <Tom.Masog@ppd.mncppc.org>; Capers, William <William.Capers@ppd.mncppc.org>; Burton, Glen <Glen.Burton@ppd.mncppc.org>; Gupta, Mridula <Mridula.Gupta@ppd.mncppc.org>; Conner, Sherri <sherri.conner@ppd.mncppc.org>; Dixon, June <june.dixon@ppd.mncppc.org>; PPD-EnvDRDreferrals <ppd-envdrdreferrals@ppd.mncppc.org>; Fields, Ernest <Ernest.Fields@ppd.mncppc.org>; Nichols, Page <Page.Nichols@ppd.mncppc.org>; Rotondo, Chris <Chris.Rotondo@ppd.mncppc.org>; 'Reilly, James V' <JVReilly@co.pg.md.us>; 'SLToth@co.pg.md.us' <sltoth@co.pg.md.us>; 'AMGullickson@co.pg.md.us'



Division of Environmental Health/Disease Control

Date: March 1, 2022

To: Andrew Bishop, Urban Design, M-NCPPC

From: Adebola Adepoju, Environmental Health Specialist, Environmental Engineering/ Policy Program

Re: DSP-21019, ARCLAND SELF STORAGE (PB)

The Environmental Engineering / Policy Program of the Prince George's County Health Department has completed a desktop health impact assessment review of the comprehensive design plan submission for the Arcland Self Storage facility and has the following comments / recommendations:

1. During the construction phases of this project, noise should not be allowed to adversely impact activities on the adjacent properties. Indicate intent to conform to construction activity noise control requirements as specified in Subtitle 19 of the Prince George's County Code.
2. During the construction phases of this project, no dust should be allowed to cross over property lines and impact adjacent properties. Indicate intent to conform to construction activity dust control requirements as specified in the 2011 Maryland Standards and Specifications for Soil Erosion and Sediment Control.

If you have any questions or need additional information, please contact me at 301-883-7677 or aoadepoju@co.pg.md.us.



Angela Alsobrooks
County Executive

Environmental Engineering/Policy Program
Largo Government Center
9201 Basil Court, Suite 318, Largo, MD 20774
Office 301-883-7681, Fax 301-883-7266, TTY/STS Dial 711
www.princegeorgescountymd.gov/health

AFFIDAVIT

The purpose of this affidavit is to certify that pursuant to The Process Guidelines for Development Review Applications, **Informational Mailing** letters regarding the application for DSP-21019, Dangerfield Road, were mailed to all adjoining property owners, registered associations, municipalities within one mile, and previous parties of record (if applicable) on October 5, 2021.

I, Bryanna L. Goncalves, solemnly affirm under the penalties of perjury that the contents of the foregoing paper are true to the best of my knowledge, information and belief.

Bryanna L. Gonçalves


STATE OF MARYLAND *
COUNTY OF PRINCE GEORGE'S * To wit:

On this 5th day of October 2021, before me, the undersigned officer, personally appeared Bryanna L. Goncalves, known to me (or satisfactorily proven) to be the person whose name is subscribed to the within Instrument and acknowledged that she executed the same for the purposes therein contained.

In Witness Whereof, I hereunto set my hand and official seal.

My Commission Expires: 6/5/25




Notary Public

Piscataway Historic Preservation Group 11804 Mary Catherine Drive Clinton, MD 20735	Accokeek Development Review District Commission 2101 Debra Lynn Way Accokeek, MD 20607	Friends of Croom 8100 Croom Road Upper Marlboro, MD 20772
Summit Creek Community Association c/o Brenelle Mccoy 4518 Beech Road, Suite 100 Temple Hills, MD 20748	Citizens Encouraging Community Revitalization 4612 Cedell Place Temple Hills, MD 20748	Prince George's County Civic Federation, Inc. P.O. Box 212 Cheltenham, MD 20623
Brandywine/TB, Southern Region Neighborhood Coalition 8787 Branch Avenue, Suite 17 Clinton, MD 20735	Cambridge Estates Homeowners Association 5811 Plata Street Clinton, MD 20735	Greater Baden-Aquasco Citizens Association (GBACA) P.O. Box 1072 Brandywine, MD 20613
Brookwood-Hollaway Civic Association, Inc. Barry Schlossburg 10714 Brookwood Avenue Upper Marlboro, MD 20772	Alice Ferguson Foundation 2001 Bryan Point Road Accokeek, MD 20607	Croom Citizens Association 9905 Croom Road Upper Marlboro, MD 20772
Pennyton Estates Civic Association Cellestine Cheeks 5601 Pola Court Clinton, MD 20735	Clinton Hills Civic Association Josephine Thomas 12910 Glynis Road Clinton, MD 20735	Marwood Community Association, Inc. 8929 Stephens Road, Ste. 101 Laurel, MD 20723
The Moyaone Association Michael Leventhal P.O. Box 113 Accokeek, MD 20607	Rosaryville Citizens Association 8501 James Street Upper Marlboro, MD 20772	Lakeview at Brandywine HOA, Inc. 7405 Sudley Road Brandwine, MD 20613
Belmont Crest Homeowners Association 10416 Marlboro Pike Upper Marlboro, MD 20772	Accokeek, Mattawoman, Piscataway Creeks Community Council P.O. Box 477 Accokeek, MD 20607	Preserve at Piscataway 2800 St Mary's View Road Accokeek, MD 20607
South County Coalition Against Crime 12219 Riverview Road Fort Washington, MD 20744	Oak Orchard Community Association 9306 Pine View Lane Clinton, MD 20735	Indian Head Highway Area Action Council (IHHAAC) Sarah Cavitt P.O. Box 44013 Fort Washington, MD 20744
Community Associations of Marlton (CAM), Inc. 12000 Kingfield Court Upper Marlboro, MD 20772	Tantallon Square Area Civic Association Hazel Robinson 12025 Bion Drive Fort Washington, MD 20744	Greater Accokeek Civic Association Judith Allen-Leventhal P.O. Box 176 Accokeek, MD 20607
Greater South County Coalition for Absolute Progress 212 Aragona Drive Fort Washington, MD 20744	Birdlawn Homeowners Association c/o Chambers Management, Inc. 8806 Nancy Lane Fort Washington, MD 20744	Chaddsford Community Association, Inc. c/o MEINC HOA Mgmt 7700 Old Branch Avenue, #E203 Clinton, MD 20735

Blakeley Community Committee (BCC)
9001 Hardesty Drive
Clinton, MD 20735

Camp Springs Civic Association
Carolyn Fleming
P.O. Box 1071
Temple Hills, MD 20757

Brandywine Healthy Neighborhoods
Alliance
15621 Gilpin Mews Lane
Brandywine, MD 20613

Riverbend Estates Neighborhood
Association (RENA)
Michael Bell
P.O. Box 44163
Fort Washington, MD 20744

Conservancy of Broad Creek
Michael Leventhal
P.O. Box 217
Accokeek, MD 20607

Village of Melwood Homeowners
Association
Celein Gerald
7202 Twinflower Place
Upper Marlboro, MD 20772

Marlton Homeowners Association
Ezekiel Dennison, Jr.
10213 Lily Green Court
Upper Marlboro, MD 20772

Riverbend Citizens Homeowners
Association
Zeno W. St. Cyr, II
601 River Bend Road
Fort Washington, MD 20744

Tantallon Square HOA
Laureena Shah
12100 Fort Washington Road
Fort Washington, MD 20744

Westphalia Row HOA
Edna Kweti
3414 Morningwood Drive
Olney, MD 20832

Margaret A Rogers
8500 Dangerfield Rd
Clinton, MD 20735

Doretha Jonson
5840 Everhart Pl
Fort Washington, MD 20744

New Horizon Gospel Ministries
8324 Woodyard Rd
Clinton, MD 20735

SMO Incorporated
102 Centennial St.
La Plata, MD 20646

Victor Brooks etal
8411 Dangerfield Road
Clinton, MD 20735

Dale Cherie Mayhew Jefferson
3420 24th Ave
Temple Hills, MD 20748

Dash In Food Stores Inc.
102 Centennial St., Ste. 100
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Barbara J & Edward P Hill
8405 Deborah Street
Clinton, MD 20735

Angeline H & James E Robinson Jr.
8313 Deborah Street
Clinton, MD 20735

Margaret T & Barney Kennerly
8317 Deborah Street
Clinton, MD 20735

Greater Prince George's Business
Roundtable
M.H. Jim Estepp, President and CEO
10201 Martin Luther King, Jr. Highway,
Suite 220
Bowie, MD 20720

Prince George's Chamber of
Commerce
David Harrington, President and CEO
4640 Forbes Boulevard, Suite 130
Lanham, Maryland 20706

AFFIDAVIT

The purpose of this affidavit is to certify that pursuant to the Process Guidelines for Development Review Applications, Formal Acceptance Letters, regarding the application for DSP-21019, Arcland – Dangerfield Road, were mailed on February 9, 2022.

I, Bryanna L. Goncalves, hereby swear and affirm that the attached letter was sent regular mail to the adjoining property owners, parties of record, municipalities within a mile, registered associations, and previous parties of record (if applicable) on the attached list.

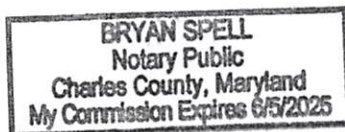
Bryanna L. Gonçalves

STATE OF MARYLAND *
COUNTY OF PRINCE GEORGE'S * To wit:

On this 9th day of February 2022, before me, the undersigned officer, personally appeared Bryanna L. Goncalves, known to me (or satisfactorily proven) to be the person whose name is subscribed to the within Instrument and acknowledged that she executed the same for the purposes therein contained.

In Witness Whereof, I hereunto set my hand and official seal.

My Commission Expires:



Notary Public

Piscataway Historic Preservation Group
11804 Mary Catherine Drive
Clinton, MD 20735

Accokeek Development Review District
Commission
2101 Debra Lynn Way
Accokeek, MD 20607

Friends of Croom
8100 Croom Road
Upper Marlboro, MD 20772

Summit Creek Community Association
c/o Brenelle Mccoy
4518 Beech Road, Suite 100
Temple Hills, MD 20748

Citizens Encouraging Community
Revitalization
4612 Cedell Place
Temple Hills, MD 20748

Prince George's County Civic
Federation, Inc.
P.O. Box 212
Cheltenham, MD 20623

Brandywine/TB, Southern Region
Neighborhood Coalition
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Clinton, MD 20735

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5811 Plata Street
Clinton, MD 20735

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P.O. Box 1072
Brandywine, MD 20613

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Barry Schlossburg
10714 Brookwood Avenue
Upper Marlboro, MD 20772

Alice Ferguson Foundation
2001 Bryan Point Road
Accokeek, MD 20607

Croom Citizens Association
9905 Croom Road
Upper Marlboro, MD 20772

Pennyton Estates Civic Association
Cellestine Cheeks
5601 Pola Court
Clinton, MD 20735

Clinton Hills Civic Association
Josephine Thomas
12910 Glynis Road
Clinton, MD 20735

Marwood Community Association, Inc.
8929 Stephens Road, Ste. 101
Laurel, MD 20723

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8501 James Street
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7405 Sudley Road
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Upper Marlboro, MD 20772

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Creeks Community Council
P.O. Box 477
Accokeek, MD 20607

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Fort Washington, MD 20744

Greater Accokeek Civic Association
Judith Allen-Leventhal
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Greater South County Coalition for
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Birdlawn Homeowners Association
c/o Chambers Management, Inc.
8806 Nancy Lane
Fort Washington, MD 20744

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7700 Old Branch Avenue, #E203
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Commerce
David Harrington, President and CEO
4640 Forbes Boulevard, Suite 130
Lanham, Maryland 20706

Nicholas Speech
Bohler Engineering
16701 Melford Boulevard, Ste. 310
Bowie, MD 20715

Arcland
1054 31st Street, Suite 318
Washington, DC 20007

Nana Baine
Arcland Property Company
1055 NW Thomas Jefferson St.
Suite 250
Washington, DC 20007



February 9, 2022

Via First Class Mail

TO: Adjoining Property Owners, Municipalities within One Mile, Persons of Record, and/or Registered Associations

FROM: Daniel F. Lynch, Esq.

RE: DSP-21019; Dangerfield Road

Dear Party of Record, Adjoining Property Owners, and Registered Associations & Municipalities:

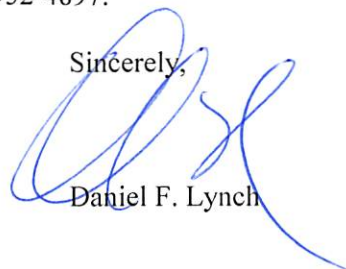
This letter is to inform you that the Maryland-National Capital Park and Planning Commission ("M-NCPPC") is ready to accept the subject application. The address of the subject property is 8310 Dangerfield Road, Clinton, Maryland 20735, which is located at the southeast quadrant of the intersection of Dangerfield Road and Woodyard Road. The nature of the review is for a detailed site plan for the development of consolidated storage in the C-S-C Zone. Once the application is formally accepted, it will be scheduled for a future Planning Board hearing. If you have not already registered to become a person of record, you are encouraged to do so at this time. As a person of record, you will receive a notice of the Planning Board hearing date, the technical staff report, and the Planning Board resolution. You may register online at <http://www.pgplanning.org/1586/Become-a-Person-of-Record> or you may submit your name, address and the above-referenced application number and name by mailing a written request to:

The Maryland-National Capital Park and Planning Commission
Development Review Division
14741 Governor Oden Bowie Drive
County Administration Building, 4th Floor
Upper Marlboro, MD 20772

If you have already registered to become a person of record from an earlier mailing for this application DSP-21019, you do not have to register again. Being a person of record on a separate application on the same property does not make you a person of record for the subject application. You must request to become a person of record for each separate application (separate applications have different application numbers).

If you have any questions about this application, you may contact me at 301-441-2420 or the M-NCPPC case reviewer, Andrew Bishop, at 301-952-4897.

Sincerely,



Daniel F. Lynch

APPLICATION FORM

DO NOT WRITE IN THIS SPACE

Application No.(s): _____ Planning Board Review ☐ Planning Director Review ☐
 Acceptance Date: _____ 70-day limit _____ Limit waived–New limit _____
 Posting Waived ☐ Posting Date: _____ No. of Signs Posted: _____ Agenda Date: _____
 Application Fee: _____ Posting Fee: _____ Case Reviewer: _____
 Subdivision Development Review Committee Date: _____
 Referral Mail-Out Date: _____ Referral Due Date: _____
 Date of Informational Mailing: _____ Date of Acceptance Mailing: _____

APPLICATION TYPE: DSP ☐ Revision of Case # _____ Companion Cases: 4-21011
 Payment option: ☐ Check (payable to M-NCPPC) ☐ Credit Card General Plan Growth Policy: Established Communities

PROJECT NAME: Arcland Self Storage

Complete address (if applicable) 8310 Dangerfield Road, Clinton, MD 20735

Tax Account #: PT of 3079514

Geographic Location (distance related to or near major intersection)

Police District #: V

Southeast quadrant of the intersection of Dangerfield Road and Woodyard Road, approximately 280 feet from the intersection.

Total Acreage: <u>5.65</u> acres	Aviation Policy Area: <u>N/A</u>	Election District: <u>9</u>
Tax Map/Grid: <u>117-A1</u>	Current Zone(s): <u>C-S-C / M-I-O</u>	Council District: <u>9</u>
WSSC Grid: <u>211SE07</u>	Existing Lots/Blocks/Parcels: <u>PT of Lot 34</u>	Dev. Review District: <u>N/A</u>
Planning Area: <u>81A</u>	In Municipal Boundary: <u>N/A</u>	Is development exempt from grading permit pursuant to 32-127(a)(6)(A): <input type="checkbox"/> Y <input checked="" type="checkbox"/> N

(2002) General Plan Tier: ☐ Developed ☒ Developing ☐ Rural

Area of proposed LOD:

Proposed Use of Property and Request of Proposal:
Consolidated Storage

Please list and provide copies of resolutions of previously approved applications affecting the subject property:

Applicant Name, Address & Phone:

ARCLAND PROPERTY COMPANY
 1054 31st Street, NW, Suite 340
 Washington, DC 20007

Owner Name, Address & Phone:

(if same as applicant indicate same/corporation see Disclosure)

Dash In Food Stores, Inc.
 102 Centennial Street, Suite 102
 La Plata, Maryland 20645

Consultant Name, Address & Phone:

McNamee Hosea
 6411 Ivy Lane, Suite 200
 Greenbelt, Maryland 20770

Contact Name, Phone & E-mail:

Daniel F. Lynch
 Tel. 301-441-2420
 DLynch@mhlawyers.com

SIGNATURE (Sign where appropriate; include Application Form Disclosure for additional owner's signatures)

Owner's Signature typed & signed

Julian B. Wills, President

9.22.2021
 Date

Applicant's Signature typed & signed

Noah Mehrkam, Authorized Member

9.29.21
 Date

Contract Purchaser's Signature typed & signed

Date

Applicant's Signature typed & signed

Date

SUBDIVISION CASES – PRELIMINARY PLAN/CONSERVATION SKETCH PLAN:**Type of Application (Check all that apply)**

Conventional <input type="checkbox"/>	Comprehensive Design <input type="checkbox"/>	Conservation Sketch Plan <input type="checkbox"/>	Pre-Preliminary Plan <input type="checkbox"/>
---------------------------------------	---	---	---

Variation, Variance or Alternative Compliance Request(s) Yes <input type="checkbox"/> No <input type="checkbox"/>
--

Applicable Zoning/Subdivision Regulation Section(s):
--

Total Number of Proposed:

Lots _____ Outlots _____ Parcels _____ Outparcels _____

Number of Dwelling Units:

Attached _____ Detached _____ Multifamily _____

Gross Floor Area (Nonresidential portion only):

SUBDIVISION CASES – FINAL PLAT:

Water/Sewer: DER <input type="checkbox"/> Health Dept. <input type="checkbox"/>

Number of Plats:

CSP/DSP/SDP No.:

WSSC Authorization No.:

Preliminary Plan No.:

Approval Date of Preliminary Plan:

URBAN DESIGN AND ZONING CASES:

Details of Request:

Detailed Site Plan for Consolidated Storage in C-S-C / M-I-O Zone

Zoning Ordinance Section(s):

27-282 27-454 27-548.54 27-548.55
--

Total Number of Proposed:

Lots _____ Outlots _____ Parcels _____ Outparcels _____

Number of Dwelling Units:

Attached _____ Detached _____ Multifamily _____

Gross Floor Area (Nonresidential portion only):

Variance Request

Yes <input type="checkbox"/> No <input type="checkbox"/>
--

Applicable Zoning/Subdivision Regulation Section(s):
--

Departure Request

Yes <input type="checkbox"/> No <input type="checkbox"/>
--

Application Filed

Yes <input type="checkbox"/> No <input type="checkbox"/>
--

Alternative Compliance Request

Yes <input type="checkbox"/> No <input type="checkbox"/>
--

Application Filed

Yes <input type="checkbox"/> No <input type="checkbox"/>
--

APPLICATION FORM DISCLOSURE

List all persons having at least five percent (5%) interest in the subject property **ONLY** required for **Special Exception and Zoning Map Amendment Applications**.

Owner(s) Name - printed	Signature and Date	Residence Address

If the property is owned by a corporation, please fill in below.

Officers	Date Assumed Duties	Residence Address	Business Address

Board of Directors	Date Assumed Duties	Date Term Expires	Residence Address	Business Address

**THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
14741 GOVERNOR ODEN BOWIE DRIVE
UPPER MARLBORO, MD 20772
DEVELOPMENT REVIEW DIVISION
301-952-3530**

October 4, 2021

Via First Class Mail

TO: Adjoining Property Owners, Municipalities within One Mile, Persons of Record, and Registered Associations

FROM: Daniel F. Lynch, Esq.

RE: DSP-21019, Dangerfield Road

Dear Parties of Record, Adjoining Property Owners, and Registered Associations & Municipalities:

A detailed site plan for the above-referenced project will be submitted for review to the Development Review Division of the Maryland-National Capital Park and Planning Commission ("M-NCPPC").

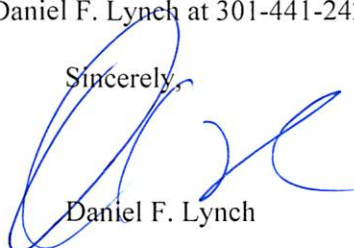
The address of the subject property is 8310 Dangerfield Road, Clinton, Maryland 20735, which is located at the southeast quadrant of the intersection of Dangerfield Road and Woodyard Road. The nature of the review is for a detailed site plan for the development of consolidated storage in the C-S-C Zone.

If you wish to become a Person of Record to this application, you may submit your request online at <http://www.pgplanning.org/1586/Become-a-Person-of-Record> or by written request to the Development Review Division of the M-NCPPC, 14741 Governor Oden Bowie Drive, Upper Marlboro, MD 20772. Please reference the Pre-Application Number and the Name of Project in your request. At this time no government agency has reviewed the application. **After** the application has been filed, you may contact the M-NCPPC at 301-952-3530.

IMPORTANT: This notice is your opportunity to interact with the applicant prior to the acceptance of the subject application. Once an application is accepted, it may be subject to mandatory action time frames that are established by law. Contacting the applicant as soon as possible after receiving this notice will help facilitate your ability to receive information and/or establish a time when the applicant may meet with you or your civic group to provide information and answer questions about the development proposed. Any concerns regarding an applicant's failure to provide information or engage in dialogue about the proposed development should be directed in writing to the same mailing address listed for becoming a party of record. Please be sure to include the application number with any such correspondence.

If you are interested in receiving more information about this application, reviewing a copy of a site plan, or meeting to discuss the project, you may contact Daniel F. Lynch at 301-441-2420.

Sincerely,



Daniel F. Lynch



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
Prince George's County Planning Department (301) 952-3530
Development Review Division
14741 Governor Oden Bowie Drive www.mncppc.org
Upper Marlboro, MD 20772

Date: 8/13/21

MAILING LIST - RECEIPT

- ☒ DRD application DSP-21019 (8228 Woodyard Rd)
☐ County application

This receipt is to acknowledge that Bryan Spell of (name
of company, if applicable) McNamee Hosea
received the following lists as described by the categories below:

<input checked="" type="checkbox"/> Registered community organization list	Total Record(s):	<u>40</u>
<input checked="" type="checkbox"/> Adjoining property owners list	Total Record(s):	<u>14</u>
<input checked="" type="checkbox"/> Municipalities within one mile list	Total Record(s):	<u>0</u>

This list is valid for 180 days from the date referenced above. Applicants shall obtain an updated mailing list if notifications are not sent within 180 days.

This property is located on WSSC Grid: 211SE07

Amber Krivitsky

Development Review Division Staff

NOTE: Copy of this form must be included with Application submittal package.

The Maryland-National Capital Park & Planning Commission Results

Prince George's County Planning Department

Date: 8/13/2021

Time: 10:28:28 AM

=====
Total Record(s): 14
=====

Layer_Name	ACCOUNT	LOT	BLOCK	PARCEL	PLAT
Property	2979987	<null>	<null>	<null>	A09-0330
Property	961755	<null>	<null>	<null>	A09-0330
Property	903450		6 B	<null>	A09-5004
Property	954271	<null>	<null>	<null>	A09-0330
Property	860494	<null>	<null>	<null>	A09-6623
Property	860486	<null>	<null>	<null>	A09-6623
Property	950048	<null>	<null>	<null>	A09-0330
Property	867309	<null>	<null>	<null>	A09-0330
Property	885277		7 B	<null>	A09-5004
Property	3079514		34 <null>	<null>	9178055
Property	889840		8 B	<null>	A09-5004
Property	959965		9 B	<null>	A09-5004
Property	878306		4 B	<null>	A09-5004
Property	940858		5 B	<null>	A09-5004

=====

=====

PROPERTY_DESC	HOUSE_NL	HOUSE_SU
PT LOT 6 EQ 106722	0	<null>
PT LOT 6 N-CONF USE-HOUSE	8500	<null>
<null>	8321	<null>
PT LT 2 NCONF USE-HOUSE	8301	<null>
12072 SQ FT AT S PT OF PARCEL B	0	<null>
PARCEL B EX 12072 SQ FT AT S PT	8304	<null>
PT LT 3 EQ 1.0053 AC	8411	<null>
PART LOT 3 EQ 1.6439 ACRES T-DT S /B 09/14/04 L20307 F382	8409	<null>
<null>	8401	<null>
<null>	8310	<null>
<null>	8405	<null>
<null>	8409	<null>
<null>	8313	<null>
<null>	8317	<null>

STREET_NAME	STREET_TY	STREET_DII	CONDO_UI	CITY	ZIP5	MAIL_IP
DANGERFIELD	RD	<null>	<null>	CLINTON	20735	0
DANGERFIELD	RD	<null>	<null>	CLINTON	20735	0
DEBORAH	ST	<null>	<null>	CLINTON	20735	0
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DEBORAH	ST	<null>	<null>	CLINTON	20735	0
DEBORAH	ST	<null>	<null>	CLINTON	20735	0

OWNER_NAME	ICO_NAME	MAIL_STREET
ROGERS MARGARET A	<null>	8500 DANGERFIELD RD
ROGERS MARGARET A	<null>	8500 DANGERFIELD RD
JONSON DORETHA	<null>	5840 EVERHART PL
NEW HORIZON GOSPEL MINISTRIES	<null>	8324 WOODYARD RD
SMO INCORPORATED	<null>	102 CENTENNIAL ST
SMO INCORPORATED	<null>	102 CENTENNIAL ST
BROOKS VICTOR ETAL	<null>	8411 DANGERFIELD RD
NEW HORIZON GOSPEL MINISTRIES	<null>	8324 WOODYARD RD
MAYHEW JEFFERSON DALE CHERIE	<null>	3420 24TH AVE
DASH IN FOOD STORES INC	SUITE 100	102 CENTENNIAL ST
HILL EDWARD P & BARBARA J	<null>	8405 DEBORAH ST
HILL EDWARD P & BARBARA J	<null>	8405 DEBORAH ST
ROBINSON JAMES E JR & ANGELINE H	<null>	8313 DEBORAH ST
KENNERLY BARNEY & MARGARET T	<null>	8317 DEBORAH ST

MAIL_CITY	MAIL_STAT	MAIL_ZIP5	MAIL_ZIP4
CLINTON	MD	20735	2829
CLINTON	MD	20735	2829
FORT WASHINGTON	MD	20744	3006
CLINTON	MD	20735	2041
LA PLATA	MD	20646	<null>
LA PLATA	MD	20646	<null>
CLINTON	MD	20735	<null>
CLINTON	MD	20735	2041
TEMPLE HILLS	MD	20748	<null>
LA PLATA	MD	20645	<null>
CLINTON	MD	20735	1915
CLINTON	MD	20735	1915
CLINTON	MD	20735	1912
CLINTON	MD	20735	1912

The Maryland-National Capital Park & Planning Commission Results

Prince George's County Planning Department

Date: 8/13/2021

Time: 10:27:18 AM

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Total Record(s): 40
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Layer_Name	ARCDBA.Rc	ARCDBA.Rc	ARCDBA.Rc	ARCDBA.Cf	ARCDBA.Cf
Registered Association	390	496 Polygon	47	496	
Registered Association	391	631 Polygon	72	631	
Registered Association	392	507 Polygon	51	507	
Registered Association	440	647 Polygon	73	647	
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Registered Association	2733	716 Polygon	99	716	
Registered Association	2739	793 Polygon	166	793	
Registered Association	2740	794 Polygon	167	794	
Registered Association	3048	341 Polygon	29	341	
Registered Association	3049	798 Polygon	171	798	

Registered Association	3050	799 Polygon	172	799
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ACCOKEEK DEVELOPMENT REVIEW DISTRICT COMMISSION	<null>
PISCATAWAY HISTORIC PRESERVATION GROUP	<null>
FRIENDS OF CROOM	<null>
SUMMIT CREEK COMMUNITY ASSOCIATION	<null>
CITIZENS ENCOURAGING COMMUNITY REVITALIZATION	<null>
PRINCE GEORGE'S COUNTY CIVIC FEDERATION, INC.	<null>
BRANDYWINE/TB, SOUTHERN REGION NEIGHBORHOOD COALITION	<null>
CAMBRIDGE ESTATES HOMEOWNERS ASSOCIATION	<null>
GREATER BADEN-AQUASCO CITIZENS ASSOCIATION (GBACA)	GBACA
BROOKWOOD-HOLLOWAY CIVIC ASSOCIATION, INC.	BARRY
ALICE FERGUSON FOUNDATION	<null>
CROOM CITIZENS ASSOCIATION	<null>
PENNYTON ESTATES CIVIC ASSOCIATION	CELESTINE
CLINTON HILLS CIVIC ASSOCIATION	JOSEPHINE
MARWOOD COMMUNITY ASSOCIATION, INC.	<null>
MOYAONE ASSOCIATION, THE	MICHAEL
ROSARYVILLE CITIZENS ASSOCIATION	<null>
LAKEVIEW AT BRANDYWINE HOA, INC.	<null>
BELMONT CREST HOMEOWNERS ASSOCIATION	<null>
ACCOKEEK, MATTAWOMAN, PISCATAWAY CREEKS COMMUNITY COUNCIL	<null>
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COMMUNITY ASSOCIATIONS OF MARLTON (CAM), INC.	<null>
TANTALLON SQUARE AREA CIVIC ASSOCIATION	HAZEL
GREATER ACCOKEEK CIVIC ASSOCIATION	JUDITH
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CHADDSFORD COMMUNITY ASSOCIATION, INC., C/O MEINC HOA MGMT	<null>
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BRANDYWINE HEALTHY NEIGHBORHOODS ALLIANCE	<null>
RIVERBEND ESTATES NEIGHBORHOOD ASSOCIATION (RENA)	MICHAEL
CONSERVANCY OF BROAD CREEK	MICHAEL
VILLAGE OF MELWOOD HOMEOWNERS ASSOCIATION	CELEIN
MARLTON HOME OWNERS ASSOCIATION	EZEKIEL
RIVERBEND CITIZENS HOMEOWNERS ASSOCIATION	ZENO W.
TANTALLON SQUARE HOA	LAUREENA

WESTPHALIA ROW HOA

EDNA

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<null>	<null>	<null> 8100 CROOM ROAD
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LEVENTHAL	PO BOX 113	<null> <null>
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CAVITT	PO BOX 44013	<null> <null>
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ROBINSON	<null>	12025 BION DRIVE
ALLEN-LEVENTHAL	PO BOX 176	<null> <null>
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<null>	<null>	7700 OLD BRANCH AVENUE
<null>	<null>	9001 HARDESTY DRIVE
FLEMING	PO BOX 1071	<null> <null>
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BELL	PO BOX 44163	<null> <null>
LEVENTHAL	PO BOX 217	<null> <null>
GERALD	<null>	7202 TWINFLOWER PLACE
DENNISON, JR.	<null>	10213 LILY GREEN COURT
ST. CYR, II	<null>	601 RIVER BEND RD
SHAH	<null>	12100 FORTH WASHING ROAD

KWETI

<null>

3414 MORNINGWOOD DRIVE

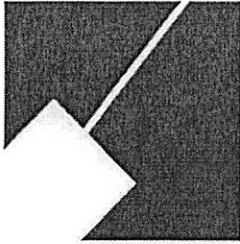
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C/O BRENELLE MCCOY, SUITE 100	TEMPLE HILLS	MD	20748
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<null>	ACCOKEEK	MD	20607
<null>	FORT WASHINGTON	MD	20744
C/O CHAMBERS MANAGEMENT, INC.	FORT WASHINGTON	MD	20744
#E203	CLINTON	MD	20735
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<null>	UPPER MARLBORO	MD	20772
<null>	FORT WASHINGTON	MD	20744
<null>	FORT WASHINGTON	MD	20744

<null>

OLNEY

MD

20832



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
Prince George's County Planning Department (301) 952-3530
Development Review Division
14741 Governor Oden Bowie Drive www.mncppc.org
Upper Marlboro, MD 20772

Date: 8/13/21

MAILING LIST - RECEIPT

- ☒ DRD application DSP-21019 (8228 Woodyard Rd)
☐ County application

This receipt is to acknowledge that Bryan Spell of (name
of company, if applicable) McNamee Hosea
received the following lists as described by the categories below:

<input checked="" type="checkbox"/> Registered community organization list	Total Record(s):	<u>40</u>
<input checked="" type="checkbox"/> Adjoining property owners list	Total Record(s):	<u>14</u>
<input checked="" type="checkbox"/> Municipalities within one mile list	Total Record(s):	<u>0</u>

This list is valid for 180 days from the date referenced above. Applicants shall obtain an updated mailing list if notifications are not sent within 180 days.

This property is located on WSSC Grid: 211SE07

Amber Krivitsky

Development Review Division Staff

NOTE: Copy of this form must be included with Application submittal package.

The Maryland-National Capital Park & Planning Commission Results

Prince George's County Planning Department

Date: 8/13/2021

Time: 10:28:28 AM

=====
Total Record(s): 14
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Property	3079514		34 <null>	<null>	9178055
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Property	959965		9 B	<null>	A09-5004
Property	878306		4 B	<null>	A09-5004
Property	940858		5 B	<null>	A09-5004

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PROPERTY_DESC

PT LOT 6 EQ 106722

PT LOT 6 N-CONF USE-HOUSE

<null>

PT LT 2 NCONF USE-HOUSE

12072 SQ FT AT S PT OF PARCEL B

PARCEL B EX 12072 SQ FT AT S PT

PT LT 3 EQ 1.0053 AC

PART LOT 3 EQ 1.6439 ACRES T-DT S /B 09/14/04 L20307 F382

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STREET_NAME	STREET_TY	STREET_DII	CONDO_UI	CITY	ZIP5	MAIL_IP
DANGERFIELD	RD	<null>	<null>	CLINTON	20735	0
DANGERFIELD	RD	<null>	<null>	CLINTON	20735	0
DEBORAH	ST	<null>	<null>	CLINTON	20735	0
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DEBORAH	ST	<null>	<null>	CLINTON	20735	0

OWNER_NAME	ICO_NAME	MAIL_STREET
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MAYHEW JEFFERSON DALE CHERIE	<null>	3420 24TH AVE
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LA PLATA	MD	20646	<null>
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CLINTON	MD	20735	2041
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Registered Association	3049	798 Polygon	171	798	

Registered Association

3050

799 Polygon

172

799

ARCDDBA.CMS_COMS_DB.ORGANIZATION_NAME	ARCDDBA.CMS_CON
ACCOKEEK DEVELOPMENT REVIEW DISTRICT COMMISSION	<null>
PISCATAWAY HISTORIC PRESERVATION GROUP	<null>
FRIENDS OF CROOM	<null>
SUMMIT CREEK COMMUNITY ASSOCIATION	<null>
CITIZENS ENCOURAGING COMMUNITY REVITALIZATION	<null>
PRINCE GEORGE'S COUNTY CIVIC FEDERATION, INC.	<null>
BRANDYWINE/TB, SOUTHERN REGION NEIGHBORHOOD COALITION	<null>
CAMBRIDGE ESTATES HOMEOWNERS ASSOCIATION	<null>
GREATER BADEN-AQUASCO CITIZENS ASSOCIATION (GBACA)	GBACA
BROOKWOOD-HOLLAWAY CIVIC ASSOCIATION, INC.	BARRY
ALICE FERGUSON FOUNDATION	<null>
CROOM CITIZENS ASSOCIATION	<null>
PENNYTON ESTATES CIVIC ASSOCIATION	CELLESTINE
CLINTON HILLS CIVIC ASSOCIATION	JOSEPHINE
MARWOOD COMMUNITY ASSOCIATION, INC.	<null>
MOYAONE ASSOCIATION, THE	MICHAEL
ROSARYVILLE CITIZENS ASSOCIATION	<null>
LAKEVIEW AT BRANDYWINE HOA, INC.	<null>
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BRANDYWINE HEALTHY NEIGHBORHOODS ALLIANCE	<null>
RIVERBEND ESTATES NEIGHBORHOOD ASSOCIATION (RENA)	MICHAEL
CONSERVANCY OF BROAD CREEK	MICHAEL
VILLAGE OF MELWOOD HOMEOWNERS ASSOCIATION	CELEIN
MARLTON HOME OWNERS ASSOCIATION	EZEKIEL
RIVERBEND CITIZENS HOMEOWNERS ASSOCIATION	ZENO W.
TANTALLON SQUARE HOA	LAUREENA

WESTPHALIA ROW HOA

EDNA

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FLEMING	PO BOX 1071	<null> <null>
<null>	<null>	15621 GILPIN MEWS LANE
BELL	PO BOX 44163	<null> <null>
LEVENTHAL	PO BOX 217	<null> <null>
GERALD	<null>	7202 TWINFLOWER PLACE
DENNISON, JR.	<null>	10213 LILY GREEN COURT
ST. CYR, II	<null>	601 RIVER BEND RD
SHAH	<null>	12100 FORTH WASHING ROAD

KWETI

<null>

3414 MORNINGWOOD DRIVE

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<null>	CLINTON	MD	20735
<null>	UPPER MARLBORO	MD	20772
C/O BRENELLE MCCOY, SUITE 100	TEMPLE HILLS	MD	20748
<null>	TEMPLE HILLS	MD	20748
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SUITE 17	CLINTON	MD	20735
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<null>	UPPER MARLBORO	MD	20772
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<null>	FORT WASHINGTON	MD	20744

<null>

OLNEY

MD

20832

CASE NO: DSP-21019

CASE NAME: DANGERFIELD ROAD PROPERTY

PARTY OF RECORD: 2

PB DATE:

EZEKIEL J DENNISONJR.
MARLTON HOME OWNERS ASSOCIATION
10213 LILY GREEN COURT, UPPER MARLBORO
MARYLAND 207 COURT/S
UPPET MARLBORO MD 20772
(CASE NUMBER: DSP-21019)

EZEKIEL DENNISONJR.
PARENTS
10213 LILY GREEN COURT, UPPER MARLBORO
MARYLAND 207 COURT/S
UPPET MARLBORO MD 20772
(CASE NUMBER: DSP-21019)

CASE NO: 4-21011
CASE NAME: DANGERFIELD ROAD
PARTY OF RECORD: 6
PB DATE: 11-04-2021

NICHOLAS SPEACH
BOHLER ENGINEERING
16701 MELFORD BOULEVARD SUITE 310
BOWIE MD 20715
(CASE NUMBER: 4-21011)

MCNAMEE HOSEA
6411 IVY LANE SUITE 200
GREENBELT MD 20770
(CASE NUMBER: 4-21011)

DAN LYNCH
MCNAMEE HOSEA
6411 IVY LANE SUITE 200
GREENBELT MD 20770
(CASE NUMBER: 4-21011)

ARCLAND
1054 31ST STREET SUITE 318
WASHINGTON DC 20007
(CASE NUMBER: 4-21011)

EZEKIEL J DENNISONJR.
MARLTON HOME OWNERS ASSOCIATION
10213 LILY GREEN COURT, UPPER MARLBORO
MARYLAND 207 COURT/S
UPPER MARLBORO MD 20772
(CASE NUMBER: 4-21011)

NANA BAINE
ARCLAND PROPERTY COMPANY
1055 NORTHWEST THOMAS JEFFERSON STREET
SUITE 250
WASHINGTON DC 20007
(CASE NUMBER: 4-21011)

STATE ETHICS COMMISSION
45 CALVERT STREET, 3RD FLOOR
ANNAPOLIS, MD 21401
410-260-7770
1-877-669-6085

This Form Is To Be Filed With:
CLERK OF THE COUNTY COUNCIL
COUNTY ADMINISTRATION BUILDING
ROOM 2198
UPPER MARLBORO, MD 20772
301-952-3600

Business Entity¹ Affidavit (Form PG 2)

General Information

The Prince George's County land use ethics law (General Provisions Article, §§ 5-833 to 5-839, Annotated Code of Maryland) ("Public Ethics Law") requires this affidavit to be filed where a business entity is deemed to be an applicant in an application filed with the District Council. This can occur, for example, when a business entity is a title owner or contract purchaser of land that is the subject of an application, a trustee having an interest in the land (except those described in a mortgage or deed of trust), or the holder of 5 percent or more interest in an entity having an interest in the land (provided that it has substantive involvement in the disposition of the land, or substantive activities pertaining specifically to land development in Prince George's County). Applicant can also include a business entity in which a 5 percent or greater interest is held by another applicant.

In completing this form, you should also review §§ 5-833 to 5-839 of the Public Ethics Law. These provisions include the affidavit requirement, define applicants and agents, set out District Council member disqualification requirements, and specify ex parte disclosure procedures. Please note that there may be situations where there is more than one applicant involved, requiring one or more submissions of this form (or Form PG 1 Individual Applicant Affidavit). You may direct questions about the affidavit or other requirements of the Law to the State Ethics Commission office by phone, at 410-260-7770, or in writing, at the above address. Copies of the Public Ethics Law may be obtained at the Commission's website <http://ethics.maryland.gov/public-ethics-law/>. Additionally, there is a Special Ethics Law Memo on the Prince George's County land use ethics law at <http://ethics.maryland.gov/download/local-gov/local-gov-forms/PG%20County%20Zoning%20Memo.pdf>, that contains additional filing information, including timing requirements.

If the applicant business entity is a corporation listed on a national stock exchange or regulated by the Securities Exchange Commission, then its officers, its directors, or its shareholders having a 5 percent or greater interest in the corporation are required to file an affidavit **only if** these persons have made a payment or have solicited a payment as outlined in the Public Ethics Law **and** if the corporation itself completes Part B of the affidavit. If required to file, these persons will file the Individual Applicant Affidavit, Form PG 1.

Filing Deadline

You must file a signed original of this affidavit with the Clerk of the County Council no later than 30 days prior to the District Council's consideration of the application. You must file a supplemental affidavit as expeditiously as possible whenever a payment/contribution is made after the original affidavit was filed and prior to Council's consideration. Please note that under § 5-835(a) of the Public Ethics Law, payments/contributions during the pendency of an application are generally prohibited.

PART A. Business Entity Applicant

Identifying Information

Name of Applicant ARCLAND Property Company Case No. (where applicable) DSP-21019

Address of Applicant 1054 31st Street, NW, Suite 340, Washington, DC 20007

Identity of the Property/ 8310 Dangerfield Road, Clinton, MD 20735

Subject of Application Tax Acct: 3079514

Type of Application DSP
(see § 5-833(d))

¹Section 5-833 of the Public Ethics Law defines a business entity as a corporation, a general partnership, a joint venture, a limited liability company, a limited partnership or a sole proprietorship.

Applicant Payment/Contribution to Member Information (check or complete applicable blanks)

1. Was a payment/contribution made by the applicant to a treasurer or a continuing committee, either directly or through a political action committee (PAC), during the 36 months before the application was filed or during the pendency of the application? ____ Yes ☒ No

If the answer to #1 above is yes, list below the name of the member or members and the date or dates of the payment/contribution:

<u>Name of Member</u>	<u>Date</u>
_____	_____
_____	_____
_____	_____

If the payment/contribution was through a PAC, identify the PAC and the date of the transfer to the treasurer or continuing committee:

_____	_____
_____	_____

Solicitation and other Payment/Contribution Information

2. Did the applicant solicit a person or business entity to make a payment/contribution to a member during the 36 months before the application filing or during the pendency of the application?
____ Yes ☒ No

If the answer to #2 above is yes, and a contribution was made, list below the name of the member or members, the date or dates of the payment/contribution, and the name of the contributor:

<u>Name of Member</u>	<u>Date</u>	<u>Name of Contributor</u>
_____	_____	_____
_____	_____	_____

PART B. Directors, Officers and Stockholders (see § 5-838(b)) (For Corporations Only)

***Note: For a corporation's application to be processed, this section must be completed in full (place a check at the beginning of each question to indicate the action has been completed).**

1. ____ All directors, officers, and stockholders with a 5 percent or greater interest have been notified of the disclosure requirement as provided in the Law and are identified as follows (list name and title – if the corporation has no directors, officers or stockholders with a 5 percent or greater interest, so state):

2. ____ Affidavits (Form PG 1 Individual Applicant Affidavit) from those individuals identified in question #1 above, who have made or solicited contributions and are therefore required to disclose, are either attached or on file with the Clerk of the County Council **OR** there are no individuals required to file affidavits.

I hereby make oath or affirmation that the contents of this affidavit are true and correct to the best of my knowledge, information and belief.

Signature (original to be filed with the Clerk)
Noah Mehrkam

Printed Name of Signer

Authorized Member

Title of Signer (Authorized to sign for the business entity)

9.29.21

Date

STATE ETHICS COMMISSION
45 CALVERT STREET, 3RD FLOOR
ANNAPOLIS, MD 21401
410-260-7770
1-877-669-6085

This Form Is To Be Filed With:
CLERK OF THE COUNTY COUNCIL
COUNTY ADMINISTRATION BUILDING
ROOM 2198
UPPER MARLBORO, MD 20772
301-952-3600

Business Entity¹ Affidavit
(Form PG 2)

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Filing Deadline

You must file a signed original of this affidavit with the Clerk of the County Council no later than 30 days prior to the District Council's consideration of the application. You must file a supplemental affidavit as expeditiously as possible whenever a payment/contribution is made after the original affidavit was filed and prior to Council's consideration. Please note that under § 5-835(a) of the Public Ethics Law, payments/contributions during the pendency of an application are generally prohibited.

PART A. Business Entity Applicant

Identifying Information

Name of Applicant Dash In Food Stores, Inc. Case No. (where applicable) DSP-21019

Address of Applicant 102 Centennial Street, Suite 102, La Plata, MD 20645

Identity of the Property/ 8310 Dangerfield Road, Clinton, MD 20735

Subject of Application Tax Acct: 3079514

Type of Application DSP
(see § 5-833(d))

¹Section 5-833 of the Public Ethics Law defines a business entity as a corporation, a general partnership, a joint venture, a limited liability company, a limited partnership or a sole proprietorship.

Applicant Payment/Contribution to Member Information (check or complete applicable blanks)

1. Was a payment/contribution made by the applicant to a treasurer or a continuing committee, either directly or through a political action committee (PAC), during the 36 months before the application was filed or during the pendency of the application? Yes ☒ No

If the answer to #1 above is yes, list below the name of the member or members and the date or dates of the payment/contribution:

<u>Name of Member</u>	<u>Date</u>
_____	_____
_____	_____
_____	_____

If the payment/contribution was through a PAC, identify the PAC and the date of the transfer to the treasurer or continuing committee:

_____	_____
_____	_____

Solicitation and other Payment/Contribution Information

2. Did the applicant solicit a person or business entity to make a payment/contribution to a member during the 36 months before the application filing or during the pendency of the application? Yes ☒ No

If the answer to #2 above is yes, and a contribution was made, list below the name of the member or members, the date or dates of the payment/contribution, and the name of the contributor:

<u>Name of Member</u>	<u>Date</u>	<u>Name of Contributor</u>
_____	_____	_____
_____	_____	_____
_____	_____	_____


PART B. Directors, Officers and Stockholders (see § 5-838(b)) (For Corporations Only)

***Note: For a corporation's application to be processed, this section must be completed in full (place a check at the beginning of each question to indicate the action has been completed).**

1. ☒ All directors, officers, and stockholders with a 5 percent or greater interest have been notified of the disclosure requirement as provided in the Law and are identified as follows (list name and title – if the corporation has no directors, officers or stockholders with a 5 percent or greater interest, so state):

2. ☒ Affidavits (Form PG 1 Individual Applicant Affidavit) from those individuals identified in question #1 above, who have made or solicited contributions and are therefore required to disclose, are either attached or on file with the Clerk of the County Council **OR** there are no individuals required to file affidavits.

I hereby make oath or affirmation that the contents of this affidavit are true and correct to the best of my knowledge, information and belief.


Signature (original to be filed with the Clerk)
Julian Blacklock Willis III
Printed Name of Signer
President & CEO
Title of Signer (Authorized to sign for the business entity)

9.27.2021
Date

STATEMENT OF JUSTIFICATION
DSP-21019

APPLICANT: Arcland
PO Box 25523
Washington, DC 20027

CORRESPONDENT: Daniel F. Lynch, Esq.
McNamee Hosea
6411 Ivy lane, Suite 200
Greenbelt, Maryland 20770
301-441-2420 (P)
301-982-9460 (F)
dlynch@mhlawyers.com

REQUEST: Detailed Site Plan, Sections 27-285 and 27-475.04 of the
Zoning Ordinance – Consolidated Storage Facility

I. DESCRIPTION OF PROPERTY

1. Address – 8310 Dangerfield Road, Clinton, Maryland 20735
2. Location – Located on the west side of Dangerfield Road approximately 300 feet north of its intersection with Woodyard Road.
3. Proposed Use – Consolidated Storage Facility
4. Election District – 9
5. Councilmanic District - 9
6. Parcel –Lot 34, Townsend Subdivision
7. Total Area – 5.65
8. Tax Map – 52/F1
9. Zoned – C-S-C and M-I-O Zones
10. Owner – Dash-In Food Stores, Inc.
11. Zoning Map – 206NE09

II. NATURE OF REQUEST

The Applicant is requesting the approval of a Detailed Site Plan for the purpose of constructing a 198,606 square foot, 3-story consolidated storage facility with 7 associated parking spaces for property located in the C-S-C and MIO Zones. The property is currently undeveloped. The property is accessed from Dangerfield Road.

Access to the site will be via a 30 foot wide access driveway that will be secured by a gate. There will be an unsecure public parking area located outside the gate that will contain 7 parking spaces. The facility will be secured by a 6-foot fence located along north, south and east sides of the property.

The applicant is proposing to construct a 3-story, 45-foot high facility. The front of the building will face to the east and the exterior doors to units will be located on the north and south sides of the buildings and not visible from the street. The office will be located in the northeast corner of the building to allow visitors and customers access from both the secured and unsecured areas of the property. The applicant is not proposing a resident manager.

The applicant's proposed consolidated storage facility complies with the specific requirements for consolidated storage set forth in Section 27-475.04, the Tree Canopy Coverage Requirements, the parking and loading requirements as well as the other bulk regulations for development in the C-S-C Zone. .

III. SURROUNDING USES

The subject property is located on the west side of Dangerfield Road. It is bounded to the north by a single-family home in the C-S-C Zone, to the east by single-family dwellings in the R-R Zone, to the west Dangerfield Road and across Dangerfield Road, single-family homes in the R-R and C-S-C Zones and to the south by a gas station in the C-S-C Zone. The neighborhood is predominately developed with a mix of service commercial, light industrial and residential uses.

The subject property is in an area covered by the approved *2013 Approved Subregion 5 Master Plan and Sectional Map Amendment* (the "Master Plan"). This application for development of a consolidated storage facility conforms to the recommendations of the Master Plan as the property was retained in the C-S-C Zone and the use is permitted in the C-S-C Zone.

The subject property is also located in the Military Installation Overlay (M-I-O) Zone, including Noise Intensity Zone 60-74db, Accident Potential Zone 1 and 2 and Height Clearance Zone (50:1) South End, B, which restricts height to approximately 100 feet.

IV. CRITERIA FOR APPROVAL

The criteria for approval of a Detailed Site Plan are set forth in Sections 27-285(b), 27-274 & 27-475.04.

Section 27-285. Planning Board Procedures.

(b) Required findings.

(A) The plan represents a reasonable alternative for satisfying the site design guidelines, without requiring unreasonable costs and without detracting substantially from the utility of the proposed development for its intended use;

COMMENT: The plan represents a reasonable alternative for satisfying the site design guidelines. The site design guidelines are found in Section 27-274 of the Zoning Ordinance.

Section 27-274. Design Guidelines.

(1) General.

(A) The Plan should promote the purposes of the [Detailed] Site Plan.

COMMENT: The purposes of the Detailed Site Plan are found in Section 27-281(b) & (c).

Section 27-281. Purpose of Detailed Site Plans.

(b) General purposes.

(1) The general purposes of Detailed Site Plans are:

(A) To provide for development in accordance with the principles for the orderly, planned, efficient and economical development contained in the General Plan, Master Plan, or other approved plan;

(B) To help fulfill the purposes of the zone in which the land is located;

(C) To provide for development in accordance with the site design guidelines established in this division; and

(D) To provide approval procedures that is easy to understand and consistent for all types of Detailed Site Plans.

(c) Specific purposes.

(1) The specific purposes of Detailed Site Plans are:

(A) To show the specific location and delimitation of buildings and structures, parking facilities, streets, green areas, and other physical features and land uses proposed for the site;

(B) To show specific grading, planting, sediment control, tree preservation, and storm water management features proposed for the site;

(C) To locate and describe the specific recreation facilities proposed, architectural form of buildings, and street furniture (such as lamps, signs, and benches) proposed for the site; and

(D) To describe any maintenance agreements, covenants, or construction contract documents that are necessary to assure that the Plan is implemented in accordance with the requirements of this Subtitle.

Comment: This Detailed Site Plan promotes the purposes of Detailed Site Plans. Specifically, this plan helps to fulfill the purposes of the C-S-C Zone in which the subject land is located. A consolidated storage facility is a permitted use in the C-S-C Zone. The plan gives an illustration as to the approximate location and delineation of the storage buildings, offices, parking for the storage facility, streets, green areas, and other similar physical features and land uses proposed for the site.

In addition to the purposes set forth in Section 27-281, Section 27-274 further requires the Applicant to demonstrate the following:

(2) Parking, loading, and circulation

(A) Surface parking lots should be located and designed to provide safe and efficient vehicular and pedestrian circulation within the site, while minimizing the visual impact of cars. Parking spaces should be located to provide convenient access to major destination points on the site.

(B) Loading areas should be visually unobtrusive and located to minimize conflicts with vehicles or pedestrians.

(C) Vehicular and pedestrian circulation on a site should be safe, efficient, and convenient for both pedestrians and drivers.

COMMENT: This Detailed Site Plan complies with the design guidelines provided in (2). The plan illustrates that all parking and loading areas are located and designed to provide safe and efficient vehicular and pedestrian circulation within the site. Specifically, the plan shows that the interior two-way travel lanes are at least 24 feet in width. The travel lanes are large enough to provide safe parking as well as through traffic that can travel in both directions. There will be 7 total parking spaces provided for the consolidated storage facility. As noted above, the parking spaces have been located at convenient location to allow customers access to the office and the storage units.

(3) Lighting.

(A) For uses permitting nighttime activities, adequate illumination should be provided. Light fixtures should enhance the design character.

COMMENT: This Detailed Site Plan complies with the design guidelines set forth in (3). Adequate lighting will be provided to illuminate entrances, parking, and loading areas throughout the site. There will be pole mounted lighting in the parking area directly in front of the manager's office and for the balance of the property, site lighting will be wall mounted units affixed to the sides of the new and existing buildings. The proposed

lighting will provide patrons with a bright, safe atmosphere while not causing a glare onto adjoining properties.

(4) Views.

(A) Site design techniques should be used to preserve, create, or emphasize scenic views from public areas.

COMMENT: This Detailed Site Plan complies with the design guidelines outlined in sub-part (4). This plan is designed to preserve, create, or emphasized views from the public roads that surround the property. The property has frontage Dangerfield Road and the applicant is proposing to install a landscape strip along that frontage. In addition, the applicant has located all units with exterior doors on the west side of the building and not visible from Dangerfield Road.

(5) Green Area.

(A) On site green area should be designed to compliment other site activity areas and should be appropriate in size, shape, location, and design to fulfill its intended use.

COMMENT: There is not minimum Green Area requirement for the C-S-C Zone.

(6) Site and streetscape amenities.

(A) Site and streetscape amenities should contribute to an attractive, coordinated development and should enhance the use and enjoyment of the site.

COMMENT: The applicant is not proposing and site or streetscape amenities as part of this consolidated storage facility.

(7) Grading.

(A) Grading should be performed to minimize disruption to existing topography and other natural and cultural resources on the sit and on adjacent sites. To the extent practicable, grading should minimize environmental impacts.

COMMENT: The Detailed Site Plan shows the proposed topography for the property. The applicant designed this facility so as to minimize grading on the site and preserve the natural contours as much as feasible.

(8) Service Areas.

(A) Service areas should be accessible, but unobtrusive.

COMMENT: This Detailed Site Plan complies with the design guidelines outlined in sub-part (8).

(9) Public Spaces.

(A) A public space system should be provided to enhance a large-scale commercial, mixed use, or multifamily development.

COMMENT: The applicant is not proposing to provide public space in this development as it is not a commercial, mixed use or multi-family development.

(10) Architecture.

(A) When architectural considerations are references for review, the Conceptual Site Plan should include a statement as to how the architecture of the buildings will provide a variety of building forms, with unified, harmonious use of materials and styles.

(B) The guidelines shall only be used in keeping with the character and purpose of the proposed type of development and the specific zone in which it is to be located.

(C) These guidelines may be modified in accordance with section 27-277.

COMMENT: The applicant is proposing to incorporate a number of building materials into the design of the building to help create visual interest. In addition, the applicant has created additional visual interest by varying the depth of the building, especially along the front elevation facing Dangerfield Road..

In addition to the requirements outlined in Section 27-274, Section 27-285 further requires that the Applicant demonstrate the following:

- (2) The Planning Board shall also find that the Detailed Site Plan is in general conformance with the approved Conceptual Site Plan (if one was required);

COMMENT: No conceptual site plan is required.

- (3) The Planning Board may approve a Detailed Site Plan for Infrastructure if it finds that the plan satisfies the site design guidelines as contained in Section 27-274, prevents offsite property damage, and prevents environmental degradation to safeguard the public's health, safety, welfare, and economic well-being for grading, reforestation, woodland conservation, drainage, erosion, and pollution discharge.

COMMENT: Not applicable.

As noted above, the subject property is located in the M-I-O Zone. Specially, the property is located Noise Intensity Zone 60-74db, Accident Potential Zone 1 and 2 and Height Clearance Zone (50:1) South End, B, which restricts height to approximately 100 feet. The use is permitted in M-I-O Zone and as shown on the elevations submitted as part of the DSP package, the building is approximately 46 feet in height which is below the 100 foot height limit set forth in Section 27-548.54.

Finally, a consolidated storage facility must comply with Section 27-475.04, which states:

Section 27-475.04. Consolidated Storage.

(1) Requirements.

- (A) No entrances to individual consolidated storage units shall be visible from a street or from adjoining land in any Residential or Commercial Zone (or land proposed to be used for residential or commercial purposes on an approved Basic Plan for a Comprehensive Design Zone, or any approved Conceptual or Detailed Site Plan).

COMMENT: The architectural elevations indicate that no entrances to individual units are visible from any street or from adjoining land in any residential or commercial zone. The exterior entrances to the units are located on the west side of the building. Although the west side of the building faces residential zoned property, the applicant has preserved a 235 foot wide stand of existing mature trees along this property line as part of its approved Tree Conservation Plan. The applicant has also preserved a 100 foot wide stand of exiting trees along its northern property line which will screen the loading area from the C-S-C zoned property to the north and is providing a ___ to screen the loading area from the gas station located in the C-S-C Zone to the south.

- (B) Entrances to individual consolidated storage units shall be either oriented toward the interior of the development or completely screened from view by a solid wall, with landscaping along the outside thereof.

COMMENT: This Detailed Site Plan complies with the requirements outlined in subpart (B). The buildings will have entrances to the individual storage units oriented toward the interior of the property.

- (C) The maximum height shall be thirty-six (36) feet. Structures exceeding this height and approved before January 1, 2000, shall not be considered non-conforming.

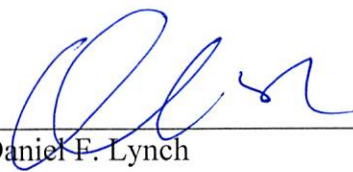
COMMENT: This Detailed Site Plan complies with the requirements outlined in subpart (C). As shown on the elevations, the proposed building will be 46-feet in height.

V. CONCLUSION

The Applicant, Arcland is seeking a Detailed Site Plan to construct a 198,606 square foot consolidated storage facility. The Applicant believes that this request meets the requirements set forth in Sections 27-285, 27-274 and 27- 475.04 and would therefore respectfully request approval of this application.

Respectfully submitted,

MCNAMEE HOSEA

By: 
Daniel F. Lynch



ZONING SKETCH MAP

APP NO: DSP-21019

EXISTING ZONE: _____

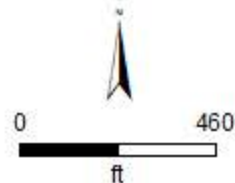
PLANNING AREA: 81A

WSSC GRID: 211SE07

TAX MAP: 117

TAX GRID: B1

COUNCIL DISTRICT: 9



The Maryland-National Capital Park and Planning Commission
Prince George's County Planning Department
Geographic Information System

Created: 8/13/2021

Daniel F Lynch, Esquire
Admitted in Maryland

E-mail: DLynch@mhlawyers.com
Direct Dial: Extension 205

January 18, 2022

Via Electronic Delivery
Development Review Division
M-NCPPC
County Administration Building
Upper Marlboro, MD 20772

***Re: DSP-21019, Arcland – 8310 Dangerfield Road
Pre-Review Point-By-Point Response Letter***

Dear Sir/Madam:

On behalf of the applicant, please find below point-by-point responses to the Pre-Review Submission #2 Comments transmitted to the applicant on December 30, 2021.

Reviewer Comments:

Additional architectural elements, colors, or accents recommended to break up the long expanses of dark gray façade that will be visible from the public right out way.

Response: Please find the updated Architectural Elevations which break up the long expanses of grey façade.

Provide additional landscape islands to break up long expanses of parking and minimize the heat island effect created by land expanses of parking.

Response: Please refer to DSP-4 where the parking layout has been revised on the North and South side of the proposed Self-Storage building. 10 parking spots have been provided on either side to break up the long expanses of parking. Additional landscape islands are not a possibility because they will block access to storage units.

Provide elevations for all sides of Building B, only the east and west elevations are included. It is unclear if this building is intended to be used for additional outside storage, and if so how these units will function.

Response: Please find the updated Architectural Elevations.

Include a dimension between the south side of Building A and Building B for clarification.

Response: Please refer to DSP-4 where a dimension has been provided between the south side of Building A and Building B for clarification.

Provide a complete set upon resubmission, the architectural and photometric sheets are no longer included.

Response: Please refer to the submission where the architectural and photometric sheets have been provided.

The existing Conditions/Demolition Plan Does not include the correct average, or show the boundaries as approved with 4-21011, a note is needed for clarification because this plan does not match the boundary or acreage shown on the DSP.

Response: Please refer to DSP-3 where the boundaries have been revised for the existing lot. The Existing Boundaries and lot acreage for Lot 34, prior to subdivision, are shown in a thick line type and match the PPS and ALTA survey in existing conditions. A note within the existing Lot 34 information has been provided that states Existing Lot 34 is to be subdivided into Proposed Parcel 1 and Proposed Parcel 2. On DSP-4, Labels have been provided that specify Proposed Parcel 1 and Proposed Parcel 2 with the new property line shown in a thick line type and their corresponding acreage for each. The Final Plat of Subdivision has not been approved/platted, thus the existing conditions for this site should not show two separate parcels.

How will the loading spaces be screened in conformance with section 4.4 of the landscape manual, these do not appear to be screened from Dangerfield Road.

Response: Please find the attached updated Landscape Plan which add shrubs to screen the loading zone.

Provide a point-by-point response to all comments upon resubmission.

Response: Noted.

Subdivision Section:

This project is subject to preliminary plan of subdivision (PPS) 4-21011, approved by the Planning Board on November 4, 2021. At the time of this writing, the resolution of the Board's approval has not yet been adopted, and the PPS has not yet been certified. Certification of the PPS must be complete before the DSP is approved. Prior to acceptance of the DSP, the DSP must reflect the correct property boundaries; the DSP currently says the subject property is the 5.65-acre Lot 34, however, the subject property is actually the 4.56-acre proposed Parcel 2. The submitted property boundary survey shows the correct boundaries and acreage.

Response: Please refer to DSP-3 where the boundaries have been revised for the existing lot. The Existing Boundaries and lot acreage for Lot 34, prior to subdivision, are shown in a thick line type and match the PPS and ALTA survey in existing conditions. A note within the existing Lot 34

information has been provided that states Existing Lot 34 is to be subdivided into Proposed Parcel 1 and Proposed Parcel 2. On DSP-4, Labels have been provided that specify Proposed Parcel 1 and Proposed Parcel 2 with the new property line shown in a thick line type and their corresponding acreage for each. The Final Plat of Subdivision has not been approved/platted, thus the existing conditions for this site should not show two separate parcels.

Environmental Planning:

Increase the size of the TCP approval block for a signature. Revise the approval block "00" approval line to read "C. Schneider", Remove the TCP1 number from the approval block, The TCP2 number for this application is TCP2-007-2018-01 and add this number to all the places on Sheet 1 (title, worksheet, approval block and notes) and Sheet 2, Add DSP-21019 to the DRD column on the "01" approval line. Add a note in the revision block about these changes, revise the on-site woodland conservation summary table, and a note on the plan view preservation area "This woodland preservation area is recorded in Liber 42437, Folio 111 through 124."

Add the following note to the plan under the specimen tree table:

"NOTE: This plan is in accordance with the following variance from the strict requirements of Subtitle 25 approved by the Zoning Hearing Examiner on September 16, 2019: The removal of two specimen tree (section 25-122(b)(1)(g), ST2, a 36-inch Black, and ST3, a 31 inch Scarlet Oak"

Add Note:

"Woodlands preserved, planted or regenerated in fulfillment of woodland conservation requirements on-site have been placed in a woodland and wildlife habitat conservation easement recorded in the Prince George's County Land Records at Liber 42437, Folio 111 through 124. Revisions to this TCP2 may require a revision to the recorded easement."

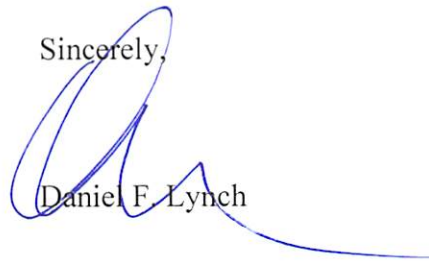
Response: Please refer to the cover sheet of TCP2 where the approval block has been resized, approval line 00 updated to read "C. Schneider", and TCP2 number updated. Please refer to sheet 2 where DSP-21019 has been added to the DRD column on the "01" approval line. A note in the revision block has been provided for the changes; The on-site woodland conservation summary table has been updated; and a note on the plan view preservation area has been provided that states "This woodland preservation area is recorded in Liber 42437, Folio 111 through 124".

Please refer to the cover sheet where the two requested notes have been placed under the specimen tree table.

If you have any questions, please do not hesitate to contact me at 301-441-2420.

Development Review Division
January 18, 2022
Page 4

Sincerely,

A handwritten signature in blue ink, appearing to read "Daniel F. Lynch". The signature is stylized with a large, looping initial "D" and a long, sweeping horizontal line extending to the right.

Enclosures



M-NCPPC — Development Review Division

Detailed Site Plan/Specific Design Plan Submittal Checklist

Submittal Date: 10/25/2021

Project Name and Number: Arcland Self Storage, DSP-21019 (on Dangerfiled Road)

Reviewer: Andrew Bishop

Technician/ Review Date: Don/10/25/2021 Date to Supervisor: JILL/10/25/2021

Date to Reviewer: 11/4/21 Date Returned to Technician: _____

Date Comments Transmitted to Applicant: 11/9/2021 /// 12-30-2021

Application and Posting Fee $\$2,000(\text{DSP}) + \$12(\text{ZSM}) + \$60(\text{Signs}) = \$2,072$ (do not submit, until requested)

Dates Revised Plans/Documents Received: 12/15/2021/to Andrew

DOCUMENTS REQUIRED

- ☐ Signed application form
- ☐ CD of all documents/plans required for acceptance
- ☒ Detailed site plan/specific design plan
- ☐ Landscape plan - scale is specified in plan requirements
- ☐ Architectural elevations-all sides exterior structure (color copy; print & digital) with acceptance submission for Planning Board.
- ☐ Property Survey with bearing distances outlined in red
- ☐ Proposed sign plans (details)
- ☐ Existing conditions plan (for redevelopment only)
- ☐ Zoning sketch map (no older than 6 months)
- ☐ Conditions of all previous approvals, including comments from M-NCPPC Permits Office (if applicable)
- ☐ State Ethics Commission Affidavit(s) Form
- ☐ Type 2 Tree Conservation plan, at same scale as site and landscape plan or Standard Letter of Exemption
- ☐ Approved Natural Resource Inventory or NRI Equivalency Letter
- ☐ Typed and signed Statement of Justification addressing all specific and general requirements
- ☐ Informational Mailing with Affidavit, Receipt and list of addressees
- ☐ Stormwater Management Concept Plan and Approval Letter
- ☐ WSSC Payment Receipt and all applicable pre-assessment checklists and scoping agreements
- ☐ Point-by-point response to initial review comments

SITE PLAN REQUIREMENTS

General Notes:

- ☐ Subdivision or project name
- ☐ Total acreage (broken down by all zones)
- ☐ Existing zoning
- ☐ Proposed use of property
- ☐ Number of lots, parcels, outlots & outparcels
- ☐ Breakdown of proposed dwelling units by type
- ☐ Gross floor area of existing and proposed (commercial/industrial only)
- ☐ 200-foot map reference number (WSSC)
- ☐ Tax map number and grid
- ☐ Aviation policy area number and airport name/MIOZ
- ☐ Existing water/sewer designation
- ☐ Proposed water/sewer designation
- ☐ Stormwater management concept plan number
- ☐ 10-foot Public Utility Easement along all rights-of-way
- ☐ Mandatory park dedication (if applicable, how to be provided)
- ☐ Cemeteries on or contiguous to the property (indicate yes no)
- ☐ Historic sites on or in the vicinity of the property (indicate yes or no)
- ☐ Streams and wetlands (indicate yes or no) for each
- ☐ 100-year floodplain (indicate yes or no) source of delineation
- ☐ Chesapeake Bay Critical Area overlay (indicate yes or no)
- ☐ Source of topography
- ☐ Applicant (indicate either owner or contract purchaser)

Plan Requirements:

- ☐ Table of required site data
- ☐ North arrow
- ☐ Vicinity map
- ☐ Title block/QR Code
- ☐ Revision box
- ☐ Approvals blocks
- ☐ Location map
- ☐ Scale (1-inch equals 20 feet)
- ☐ Graphic scale
- ☐ Plans equal or greater than 3 sheets require: cover sheet, composite plan and key plan
- ☐ Cover sheet of residential plans show all models footprints with gross floor area
- ☐ Approval sheet for certificates of approval
- ☐ Match lines for each sheet
- ☐ Names and addresses of record owner(s), subdivider, and surveyor
- ☐ Subdivision, lot and block of adjacent properties
- ☐ Existing uses of adjacent properties
- ☐ Existing and proposed ownership of parcels and easements
- ☐ Parcel, lot, outlot, or outparcel designation
- ☐ Area of each lot, parcel, outlot or outparcel
- ☐ Aviation policy area location/MIOZ
- ☐ Seal and signature of land surveyor, architect or engineer and property line surveyor
- ☐ Existing and proposed locations, names, and present rights-of-way widths of adjacent streets, alleys or public ways
- ☐ Legal description of all existing easements and rights-of-way on or adjacent to property (including liber - folio)
- ☐ Center line or base line of existing rights-of-way with name of right of way
- ☐ Street grading concept: percent slopes/flow arrows and right-of-way for proposed roads
- ☐ Interchanges within and adjacent to the site
- ☐ Subdivision name and proposed street names, (if any)
- ☐ Adjoining property: ownership, zoning, legal description (Liber- Folio or Plat Number), description of existing uses, and major improvements within 50 feet of the property line
- ☐ Lot and parcel line dimensions and bearings and distances
- ☐ Existing topography at two-foot contours with labels
- ☐ Drainage area map
- ☐ For private well and septic, show proposed well locations and septic fields
- ☐ Land dedication area
- ☐ Location of entrance feature or gateway sign, if proposed
- ☐ Historic resources within or adjacent to the proposed site
- ☐ Dimension lines from townhouse block to project boundaries
- ☐ Location and details for fences and retaining walls
- ☐ Location, size and height and number of stories of existing structures and fences to remain and coverage calculations (if applicable)
- ☐ Location of proposed storm drains, water and sewer lines (if outside the public right-of-way) and house connections

- ☐ Size and height of proposed buildings
- ☐ Existing and proposed uses of structures
- ☐ Proposed grading and spot elevations
- ☐ Water/Sewer lines (existing and proposed) and how the development is to be served

Parking Requirements:

- ☐ Parking and loading schedule
- ☐ Layout of parking facilities
- ☐ Size and location of loading areas
- ☐ Typical parking space size
- ☐ Proposed striping
- ☐ Location of handicap parking
- ☐ Width of drive aisles
- ☐ Location of access roads and drive aisles
- ☐ Location of waste collection areas and proposed screening
- ☐ Proposed system of internal streets and right-of-way widths
- ☐ Right-of-way improvements (sidewalks, ramps, etc.)
- ☐ Lighting information for multifamily and townhouse, and for all nonresidential with parking compounds that will be in use at night.
- ☐ Ensure that lighting information is added to landscape plans only.
- ☐ Lighting may be placed with landscape to be titled Landscape and Lighting Plans (if applicable)
- ☐ Photometric plan
- ☐ Location, height of pole, and luminaire (1.25 lumens minimum, per BOCA requirements)
- ☐ Detail and specifications of fixture type

Environmental Requirements:

- ☐ Existing tree line as shown on the submitted TCP2
- ☐ Areas of woodland conservation as shown on the submitted TCP2
- ☐ Limits of disturbance as shown on the submitted TCP2
- ☐ Steep slopes (greater or equal to 15% less than 25% on highly erodible soils) and severe slopes (greater or equal to 25%)
- ☐ One-hundred-year floodplain; streams and their associated buffers; wetlands and their associated buffers and the full extent of the regulated area (expanded stream buffer or primary management area)
- ☐ Location of existing and/or proposed stormwater management facilities.

Landscape and Recreation Requirements:

- ☐ Keyed location of landscape materials proposed
- ☐ Planting schedule
- ☐ Planting details and specifications
- ☐ Location and layout of proposed recreational facilities
- ☐ Listing of proposed recreational facilities
- ☐ Proposed construction schedule for recreation facilities
- ☐ Construction specifications and details for recreation facilities
- ☐ Manufacturer and model numbers for recreational facilities
- ☐ Tree Canopy Coverage table

DROPBOX: <https://www.dropbox.com/sh/fv9xmqllynekh69m/AABPjB8FOIv465DqnenKLPJia?dl=0>

DUE DATE: November 9, 2021

APPLICATION DEFICIENCIES:

Technician Comments: 10/25/2021

- ~~1. Provide WSSC Payment Receipt.~~
- ~~2. Project Name on Application says Dangerfield Road, change to Areland Self Storage to reflect Detailed Site Plan.~~
- ~~3. Total Acreage on Application says 4.559 acres. Site Plan and SOJ says 5.65 acres. Change to reflect correct acreage.~~

Supervisor Comments:

X SCHEDULE FOR SDRC

~~The DSP does not conform to the parking requirements. Revise or submit a DPLS.~~

~~The DSP does not demonstrate conformance to loading space requirements. Revise or submit a DPLS.~~

~~JSK 11/4/21~~

Reviewer Comments:

Additional architectural elements, colors, or accents recommended to break up the long expanses of dark gray façade that will be visible from the public right out way.

Construction detail of the retaining wall needed.

Clearly label the location of the decorative fence on the property.

Clearly label the location of the freestanding sign on the site plan and provide construction details as applicable.

The drive aisle to enter the facility is labeled with a width of 20 feet and is insufficient to accommodate two-way vehicular travel.

Provide additional landscape islands to break up long expanses of parking and minimize the heat island effect created by land expanses of parking.

Provide elevations for all sides of Building B, only the east and west elevations are included. It is unclear if this building is intended to be used for additional outside storage, and if so how these units will function.

Include a dimension between the south side of Building A and the Building B for clarification.

Provide a complete set upon resubmission, the architectural and photometric sheets are no longer included.

The existing Conditions/Demolition Plan Does not include the correct average, or show the boundaries as approved with 4-21011, a note is needed for clarification because this plan does not match the boundary or acreage shown on the DSP.

How will the loading spaces be screened in conformance with section 4.4 of the landscape manual, these do not appear to be screened from Dangerfield Road.

Provide a point-by-point response to all comments upon resubmission.

Not Ready to accept.

NAB 12/29/2021

Subdivision Section: ☐ This project is subject to preliminary plan of subdivision (PPS) 4-21011, approved by the Planning Board on November 4, 2021. At the time of this writing, the resolution of the Board's approval has not yet been adopted, and the PPS has not yet been certified. Certification of the PPS must be complete before the DSP is approved. Prior to acceptance of the DSP, the DSP must reflect the correct property boundaries; the DSP currently says the subject property is the

5.65-acre Lot 34, however, the subject property is actually the 4.56-acre proposed Parcel 2. The submitted property boundary survey shows the correct boundaries and acreage. ~~Please also correct General Note #5 on the coversheet to omit reference to the car wash and convenience store, as these uses are off site. In addition, per condition 8a of the PPS the crosswalk traversing the drive aisle at the entrance to the self-storage facility must be shown as a continental style crosswalk prior to acceptance of the DSP.~~ EDC 11/8/21

Environmental Planning Section: ☐ Increase the size of the TCP approval block for a signature. Revise the approval block "00" approval line to read "C. Schneider", Remove the TCP1 number from the approval block, The TCP2 number for this application is TCP2-007-2018-01 and add this number to all the places on Sheet 1 (title, worksheet, approval block and notes) and Sheet 2, Add DSP-21019 to the DRD column on the "01" approval line. Add a note in the revision block about these changes, revise the on-site woodland conservation summary table, and a note on the plan view preservation area "This woodland presevation area is recorded in Liber 42437, Folio 111 through 124."

Add the following note to the plan under the specimen tree table:

"NOTE: This plan is in accordance with the following variance from the strict requirements of Subtitle 25 approved by the Zoning Hearing Examiner on September 16, 23019: The removal of two specimen tree (Section 25-122(b)(1)(G), ST2, a 36-inch Black, and ST3, a 31-inch Scarlet Oak"

Add Note:

"Woodlands preserved, planted, or regenerated in fulfillment of woodland conservation requirements on-site have been placed in a woodland and wildlife habitat conservation easement recorded in the Prince George's County Land Records at Liber 42437, Folio 111 through 124. Revisions to this TCP2 may require a revision to the recorded easement."

11/1/2021 ACS

Geotechnical review: ☐ No geotechnical issues. Ok to accept. DS 11/2/2021.

Transportation Planning Section: ☐ No Comments at this time. Comments may be forth coming.

Historic-Archeology Section: ☐ No additional information needed. This proposal will not affect any historic or known archeological resources. OK to accept. JAS 10/27/2021

Community Planning Division: ☐ No additional information is needed. Ok to accept. WI 11/8/21.



McNamee Hosea
Attorneys & Advisors

McNamee Hosea
6411 Ivy Lane, Suite 200 ☎ 301.441.2420
Greenbelt, Maryland 20770 📠 301.982.9450

mhlawyers.com

Bryan Spell
Land Use Coordinator/Law Clerk

E-mail: BSpell@mhlawyers.com
Direct Dial: Extension 267

February 11, 2022

Via Electronic Delivery

Cheryl Summerlin
Supervisor, Applications
Development Review Division
M-NCPPC
County Administration Building
Upper Marlboro, MD 20772

**Re: *DSP-21019; Arcland 8310 Dangerfield Road;
Acceptance Submission***

Dear Cheryl:

On behalf of the applicant, please find enclosed herein the following items for acceptance:

- Application;
- Statement of Justification;
- Zoning Sketch Map;
- Informational Notification Letter, Affidavit and Receipt with List of Addresses;
- Acceptance Notification Letter, Affidavit and Receipt with List of Addresses;
- DSP Site Plan;
- Architectural Elevations;
- NRI;
- Redlined Property Boundary Survey;
- Site Development Concept Plan and Approval Letter;
- TCP2;
- State Ethics Affidavits;
- WSSC Receipt;
- Pre-Review Comments and Point-by-Point Response; and
- Copy of Check #10501 for payment of Application Fee.

If you have any questions, please do not hesitate to contact me at 301-441-2420.

Sincerely,



Bryan Spell

Enclosures

DATE:02/09/2022 CK#:10501 TOTAL:\$2,072.00*** BANK:Arcland Property Company(20110op1)
PAYEE:M-NCPPC(v0000403)

Job(Prop)	Categ(Acct)	Invoice - Date	Description	Amount
50018-cli(50018)	300060(1610-0000)	02/09/2022-02/09/2022	Filling Fee	2,072.00
				<hr/> 2,072.00

TO VERIFY AUTHENTICITY, SEE REVERSE SIDE FOR DESCRIPTION OF THE 11 SECURITY FEATURES

Arcland Property Company
PO Box 25523
Washington, DC 20027

United

10501

02/09/2022 \$2,072.00***

PAY TO THE **** TWO THOUSAND SEVENTY TWO AND 00/100 DOLLARS

ORDER OF M-NCPPC
Prince Georges Cty Planning Office
14741 Governor Oden Bowie Dr
Upper Marlboro, MD 20772

56004445

⑈000010501⑈ ⑆056004445⑆ 1010058871⑈

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DATE

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• Check verification number is part of the watermark

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verification number



M-NCPPC — Development Review Division

Detailed Site Plan/Specific Design Plan Submittal Checklist

Submittal Date: 10/25/2021

Project Name and Number: Arcland Self Storage, DSP-21019 (on Dangerfiled Road)

Reviewer: Andrew Bishop

Technician/ Review Date: Don/10/25/2021 Date to Supervisor: JILL/10/25/2021

Date to Reviewer: 11/4/21 Date Returned to Technician: _____

Date Comments Transmitted to Applicant: 11/9/2021

Application and Posting Fee $\$2,000(\text{DSP}) + \$12(\text{ZSM}) + \$60(\text{Signs}) = \$2,072$ (do not submit, until requested)

Dates Revised Plans/Documents Received: _____

DOCUMENTS REQUIRED

- ☐ Signed application form
- ☐ CD of all documents/plans required for acceptance
- ☒ Detailed site plan/specific design plan
- ☐ Landscape plan - scale is specified in plan requirements
- ☐ Architectural elevations-all sides exterior structure (color copy; print & digital) with acceptance submission for Planning Board.
- ☐ Property Survey with bearing distances outlined in red
- ☐ Proposed sign plans (details)
- ☐ Existing conditions plan (for redevelopment only)
- ☐ Zoning sketch map (no older than 6 months)
- ☐ Conditions of all previous approvals, including comments from M-NCPPC Permits Office (if applicable)
- ☐ State Ethics Commission Affidavit(s) Form
- ☐ Type 2 Tree Conservation plan, at same scale as site and landscape plan or Standard Letter of Exemption
- ☐ Approved Natural Resource Inventory or NRI Equivalency Letter
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- ☐ Informational Mailing with Affidavit, Receipt and list of addressees
- ☐ Stormwater Management Concept Plan and Approval Letter
- ☐ WSSC Payment Receipt and all applicable pre-assessment checklists and scoping agreements
- ☐ Point-by-point response to initial review comments

SITE PLAN REQUIREMENTS

General Notes:

- ☐ Subdivision or project name
- ☐ Total acreage (broken down by all zones)
- ☐ Existing zoning
- ☐ Proposed use of property
- ☐ Number of lots, parcels, outlots & outparcels
- ☐ Breakdown of proposed dwelling units by type
- ☐ Gross floor area of existing and proposed (commercial/industrial only)
- ☐ 200-foot map reference number (WSSC)
- ☐ Tax map number and grid
- ☐ Aviation policy area number and airport name/MIOZ
- ☐ Existing water/sewer designation
- ☐ Proposed water/sewer designation
- ☐ Stormwater management concept plan number
- ☐ 10-foot Public Utility Easement along all rights-of-way
- ☐ Mandatory park dedication (if applicable, how to be provided)
- ☐ Cemeteries on or contiguous to the property (indicate yes no)
- ☐ Historic sites on or in the vicinity of the property (indicate yes or no)
- ☐ Streams and wetlands (indicate yes or no) for each
- ☐ 100-year floodplain (indicate yes or no) source of delineation
- ☐ Chesapeake Bay Critical Area overlay (indicate yes or no)
- ☐ Source of topography
- ☐ Applicant (indicate either owner or contract purchaser)

Plan Requirements:

- ☐ Table of required site data
- ☐ North arrow
- ☐ Vicinity map
- ☐ Title block/QR Code
- ☐ Revision box
- ☐ Approvals blocks
- ☐ Location map
- ☐ Scale (1-inch equals 20 feet)
- ☐ Graphic scale
- ☐ Plans equal or greater than 3 sheets require: cover sheet, composite plan and key plan
- ☐ Cover sheet of residential plans show all models footprints with gross floor area
- ☐ Approval sheet for certificates of approval
- ☐ Match lines for each sheet
- ☐ Names and addresses of record owner(s), subdivider, and surveyor
- ☐ Subdivision, lot and block of adjacent properties
- ☐ Existing uses of adjacent properties
- ☐ Existing and proposed ownership of parcels and easements
- ☐ Parcel, lot, outlot, or outparcel designation
- ☐ Area of each lot, parcel, outlot or outparcel
- ☐ Aviation policy area location/MIOZ
- ☐ Seal and signature of land surveyor, architect or engineer and property line surveyor
- ☐ Existing and proposed locations, names, and present rights-of-way widths of adjacent streets, alleys or public ways
- ☐ Legal description of all existing easements and rights-of-way on or adjacent to property (including liber - folio)
- ☐ Center line or base line of existing rights-of-way with name of right of way
- ☐ Street grading concept: percent slopes/flow arrows and right-of-way for proposed roads
- ☐ Interchanges within and adjacent to the site
- ☐ Subdivision name and proposed street names, (if any)
- ☐ Adjoining property: ownership, zoning, legal description (Liber- Folio or Plat Number), description of existing uses, and major improvements within 50 feet of the property line
- ☐ Lot and parcel line dimensions and bearings and distances
- ☐ Existing topography at two-foot contours with labels
- ☐ Drainage area map
- ☐ For private well and septic, show proposed well locations and septic fields
- ☐ Land dedication area
- ☐ Location of entrance feature or gateway sign, if proposed
- ☐ Historic resources within or adjacent to the proposed site
- ☐ Dimension lines from townhouse block to project boundaries
- ☐ Location and details for fences and retaining walls
- ☐ Location, size and height and number of stories of existing structures and fences to remain and coverage calculations (if applicable)
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- ☐ Size and height of proposed buildings
- ☐ Existing and proposed uses of structures
- ☐ Proposed grading and spot elevations
- ☐ Water/Sewer lines (existing and proposed) and how the development is to be served

Parking Requirements:

- ☐ Parking and loading schedule
- ☐ Layout of parking facilities
- ☐ Size and location of loading areas
- ☐ Typical parking space size
- ☐ Proposed striping
- ☐ Location of handicap parking
- ☐ Width of drive aisles
- ☐ Location of access roads and drive aisles
- ☐ Location of waste collection areas and proposed screening
- ☐ Proposed system of internal streets and right-of-way widths
- ☐ Right-of-way improvements (sidewalks, ramps, etc.)
- ☐ Lighting information for multifamily and townhouse, and for all nonresidential with parking compounds that will be in use at night.
- ☐ Ensure that lighting information is added to landscape plans only.
- ☐ Lighting may be placed with landscape to be titled Landscape and Lighting Plans (if applicable)
- ☐ Photometric plan
- ☐ Location, height of pole, and luminaire (1.25 lumens minimum, per BOCA requirements)
- ☐ Detail and specifications of fixture type

Environmental Requirements:

- ☐ Existing tree line as shown on the submitted TCP2
- ☐ Areas of woodland conservation as shown on the submitted TCP2
- ☐ Limits of disturbance as shown on the submitted TCP2
- ☐ Steep slopes (greater or equal to 15% less than 25% on highly erodible soils) and severe slopes (greater or equal to 25%)
- ☐ One-hundred-year floodplain; streams and their associated buffers; wetlands and their associated buffers and the full extent of the regulated area (expanded stream buffer or primary management area)
- ☐ Location of existing and/or proposed stormwater management facilities.

Landscape and Recreation Requirements:

- ☐ Keyed location of landscape materials proposed
- ☐ Planting schedule
- ☐ Planting details and specifications
- ☐ Location and layout of proposed recreational facilities
- ☐ Listing of proposed recreational facilities
- ☐ Proposed construction schedule for recreation facilities
- ☐ Construction specifications and details for recreation facilities
- ☐ Manufacturer and model numbers for recreational facilities
- ☐ Tree Canopy Coverage table

DROPBOX: <https://www.dropbox.com/sh/fv9xmqlynekh69m/AABPjB8FOIv465DqnenKLPJia?dl=0>

DUE DATE: November 9, 2021

APPLICATION DEFICIENCIES:

Technician Comments: 10/25/2021

1. Provide, WSSC Payment Receipt.
2. Project Name on Application says Dangerfield Road, change to Arcland Self Storage to reflect Detailed Site Plan.
3. Total Acreage on Application says 4.559 acres. Site Plan and SOJ says 5.65 acres. Change to reflect correct acreage.

Supervisor Comments:

X SCHEDULE FOR SDRC

- The DSP does not conform to the parking requirements. Revise or submit a DPLS.
- The DSP does not demonstrate conformance to loading space requirements. Revise or submit a DPLS.

JSK 11/4/21

Reviewer Comments:

Additional architectural elements, colors, or accents recommended to break up the long expanses of dark gray façade that will be visible from the public right out way.

Construction detail of the retaining wall needed.

Clearly label the location of the decorative fence on the property.

Clearly label the location of the freestanding sign on the site plan and provide construction details as applicable.

The drive aisle to enter the facility is labeled with a width of 20 feet and is insufficient to accommodate two way vehicular travel

Subdivision Section: ☐ This project is subject to preliminary plan of subdivision (PPS) 4-21011, approved by the Planning Board on November 4, 2021. At the time of this writing, the resolution of the Board's approval has not yet been adopted, and the PPS has not yet been certified. Certification of the PPS must be complete before the DSP is approved. Prior to acceptance of the DSP, the DSP must reflect the correct property boundaries; the DSP currently says the subject property is the 5.65-acre Lot 34, however, the subject property is actually the 4.56-acre proposed Parcel 2. The submitted property boundary survey shows the correct boundaries and acreage. Please also correct General Note #5 on the coversheet to omit reference to the car wash and convenience store, as these uses are off-site. In addition, per condition 8a of the PPS the crosswalk traversing the drive aisle at the entrance to the self-storage facility must be shown as a continental-style crosswalk prior to acceptance of the DSP. EDC 11/8/21

Environmental Planning Section: ☐ Increase the size of the TCP approval block for a signature. Revise the approval block "00" approval line to read "C. Schneider", Remove the TCP1 number from the approval block, The TCP2 number for this application is TCP2-007-2018-01 and add this number to all the places on Sheet 1 (title, worksheet, approval block and notes) and Sheet 2, Add DSP-21019 to the DRD column on the "01" approval line. Add a note in the revision block about these changes, revise the on-site woodland conservation summary table, and a note on the plan view preservation area "This woodland preservation area is recorded in Liber 42437, Folio 111 through 124."

Add the following note to the plan under the specimen tree table:

"NOTE: This plan is in accordance with the following variance from the strict requirements of Subtitle 25 approved by the

Zoning Hearing Examiner on September 16, 23019: The removal of two specimen tree (Section 25-122(b)(1)(G), ST2, a 36-inch Black, and ST3, a 31-inch Scarlet Oak”

Add Note:

“Woodlands preserved, planted, or regenerated in fulfillment of woodland conservation requirements on-site have been placed in a woodland and wildlife habitat conservation easement recorded in the Prince George’s County Land Records at Liber 42437, Folio 111 through 124. Revisions to this TCP2 may require a revision to the recorded easement.”

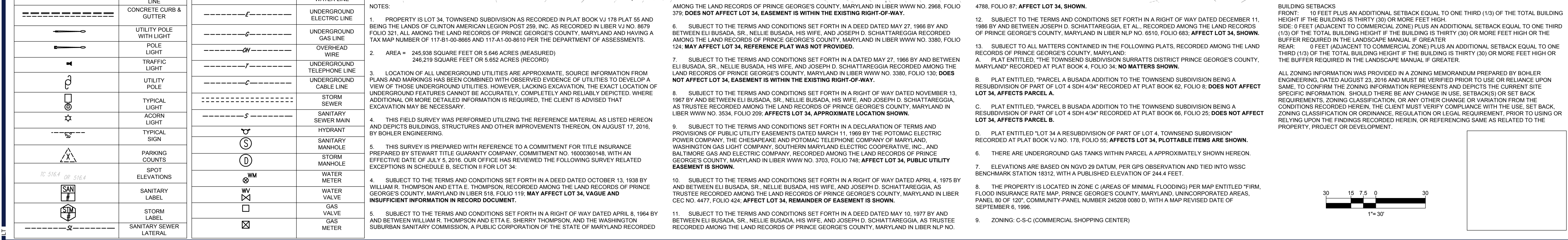
11/1/2021 ACS

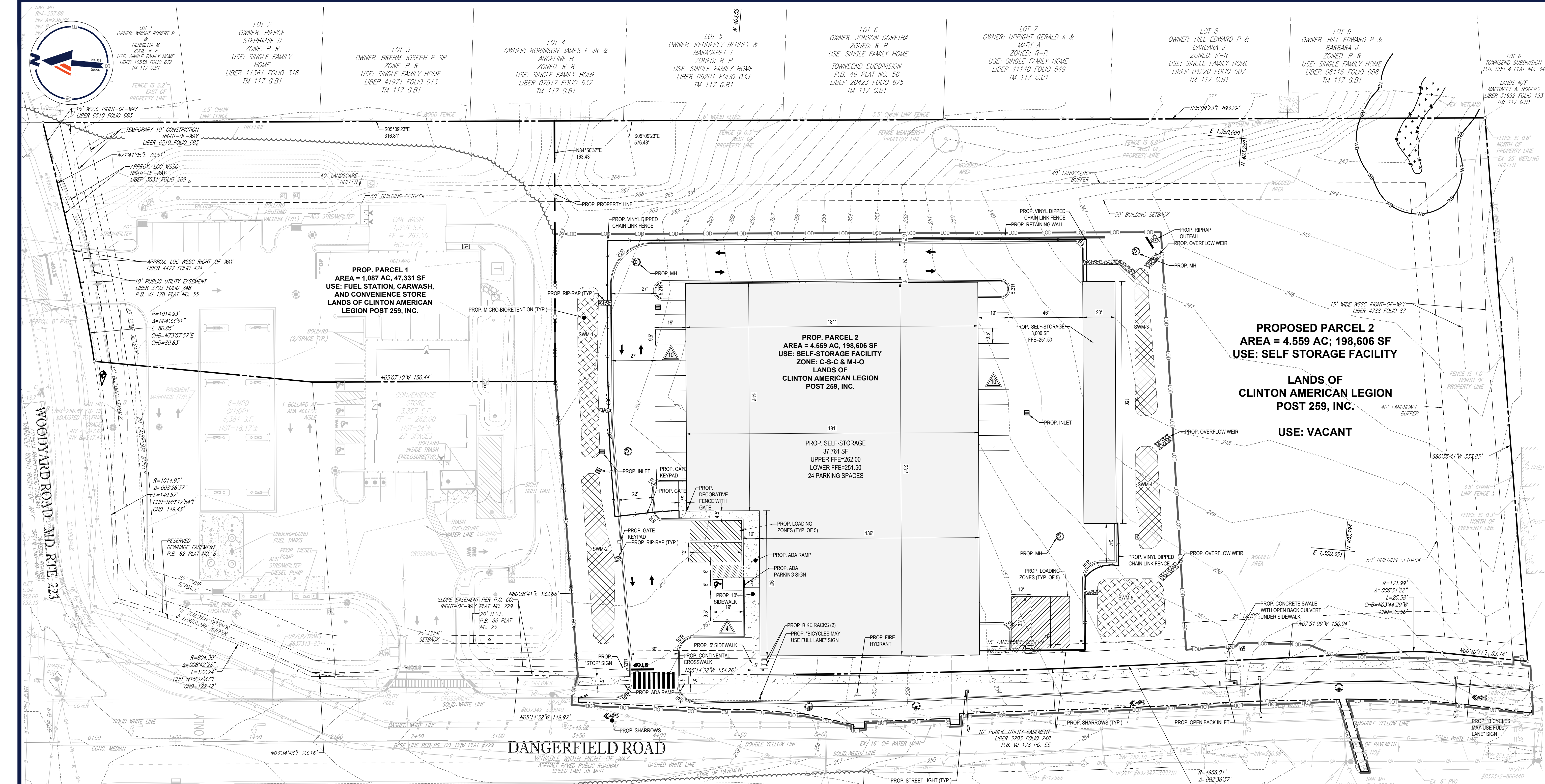
Geotechnical review: ☐ No geotechnical issues. Ok to accept. DS 11/2/2021.

Transportation Planning Section: ☐ No Comments at this time. Comments may be forth coming.

Historic-Archeology Section: ☐ No additional information needed. This proposal will not affect any historic or known archeological resources. OK to accept. JAS 10/27/2021

Community Planning Division: ☐ No additional information is needed. Ok to accept. WI 11/8/21.





DANGERFIELD ROAD

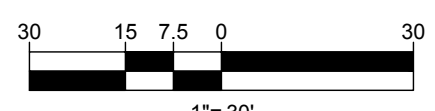
STANDARD NOTES:

	ALLOWED/REQUIRED	PROVIDED
1. BULK REQUIREMENTS:		
A. MIN. LOT AREA	N/A	2.60 AC
B. MIN. BUILDING SETBACK		
SELF STORAGE		
FRONT SETBACK (DANGERFIELD)	10'	10.1'
REAR SETBACK	50'	100.8'
SIDE SETBACK (NORTH)	0'	75.0'
SIDE SETBACK (SOUTH)	50'	236.4'
C. MIN. PARKING SETBACK		
FRONT SETBACK	NONE	10.7'
REAR SETBACK	NONE	75.2'
SIDE SETBACK (NORTH)	NONE	32.4'
SIDE SETBACK (SOUTH)	NONE	248.4'
D. PARKING REQUIREMENTS		
CONSOLIDATED STORAGE		
1 SPACE PER 50 UNITS HAVING DIRECT ACCESS ONLY FROM WITHIN A BUILDING = (900 UNITS / 50 UNITS) * 1 SPACE = 18		
+4 SPACES PER 1,000 SQ. FT. OF GFA OF OFFICE SPACE=	24	24
(1,000 SF / 1,000 SF) * 4 SPACES = 4		
+2.0 PER RESIDENT MANAGER = 2		
E. LOADING SPACE REQUIREMENTS		
CONSOLIDATED STORAGE, PER BUILDING		
2 SPACES UP TO 10,000 SQ. FT. OF GFA = 2	5	5
+1 SPACE FOR EACH ADDITIONAL 40,000 SQ. FT. OF GFA = 3		
F. MIN. PARKING SPACE DIMENSIONS		

STANDARD PARKING SPACE	9.5'X19'	9.5'X19'
ADA ACCESSIBLE PARKING SPACE	6'X19'	6'X19'
G. MAX. BUILDING HEIGHT	N/A	TBD
H. GREEN AREA CALCULATIONS		
GREEN AREA = 3.90 AC (85.5%)		
NEAREST INTERSECTING STREET: DANGERFIELD ROAD AND WOODYARD ROAD.		
PAVEMENT STRIPING TO BE 4" WHITE MSHA STANDARD.		
PUBLIC WATER AND SEWER, STORMDRAIN, GAS, ELECTRIC AND TELEPHONE UTILITIES ARE AVAILABLE TO THE SITE.		
COMPANION APPLICATIONS:		
-NRI EQUIVALENCY	APPROVAL DATE: 08/22/2018	APPROVAL NO.: NRI-023-2018
-SDCP	APPROVAL DATE: TBD	APPROVAL NO.: SDCP-16017-2021-0
-PRELIMINARY PLAN	APPROVAL DATE: TBD	APPROVAL NO.: PPS 4-21011
7. HOURS OF OPERATIONS: 24 HRS/DAY		
8. SIGN REQUIREMENTS		
A. BUILDING SIGN AREAS		
SELF STORAGE		
2 SF OF BUILDING SIGNAGE ALLOWED PER 1 LINEAR FOOT OF WIDTH ALONG FRONT OF BUILDING (NORTH, EAST FACADES)		
NORTH FACADE = 67.8'		
EAST FACADE = 80.3'		
B. FREESTANDING SIGN		
SELF STORAGE		
SIGNS SHALL ONLY BE LOCATED ON PROPERTY WHERE THE MAIN BUILDING ASSOCIATED WITH THE SIGN IS LOCATED AT LEAST 40' (40) FEET BEHIND THE FRONT STREET LINE		

LEGEND

CONCRETE SIDEWALK	
MICRO-BIORETENTION FACILITY	



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PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REV	DATE	COMMENT	DRAWN BY
1	1/11/22	PER MNCPPC COMMENTS	LMT

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PROJECT No.:	MB202090
DRAWN BY:	LMT
CHECKED BY:	NBS
DATE:	07/15/2021
CAD ID:	SITE

DETAILED SITE PLAN

FOR

ARCLAND SELF STORAGE

PROPOSED DEVELOPMENT

8310 DANGERFIELD RD.
PRINCE GEORGE'S COUNTY
CLINTON, MD 20735
TM: 117 GRID: B1 LOT: 34

BOHLER

16701 MELFORD BLVD., SUITE 310
BOWIE, MARYLAND 20715
Phone: (301) 809-4500
Fax: (301) 809-4501
MD@BohlerEng.com

N. B. SPEACH

PROFESSIONAL ENGINEER
MONTGOMERY COUNTY LICENSE 117172022
PROFESSIONAL CERTIFICATION
I, N. B. SPEACH, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A duly LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 42053, EXPIRATION DATE: 6/14/2023

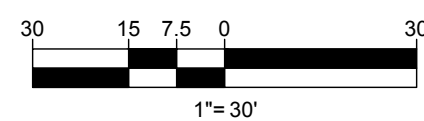
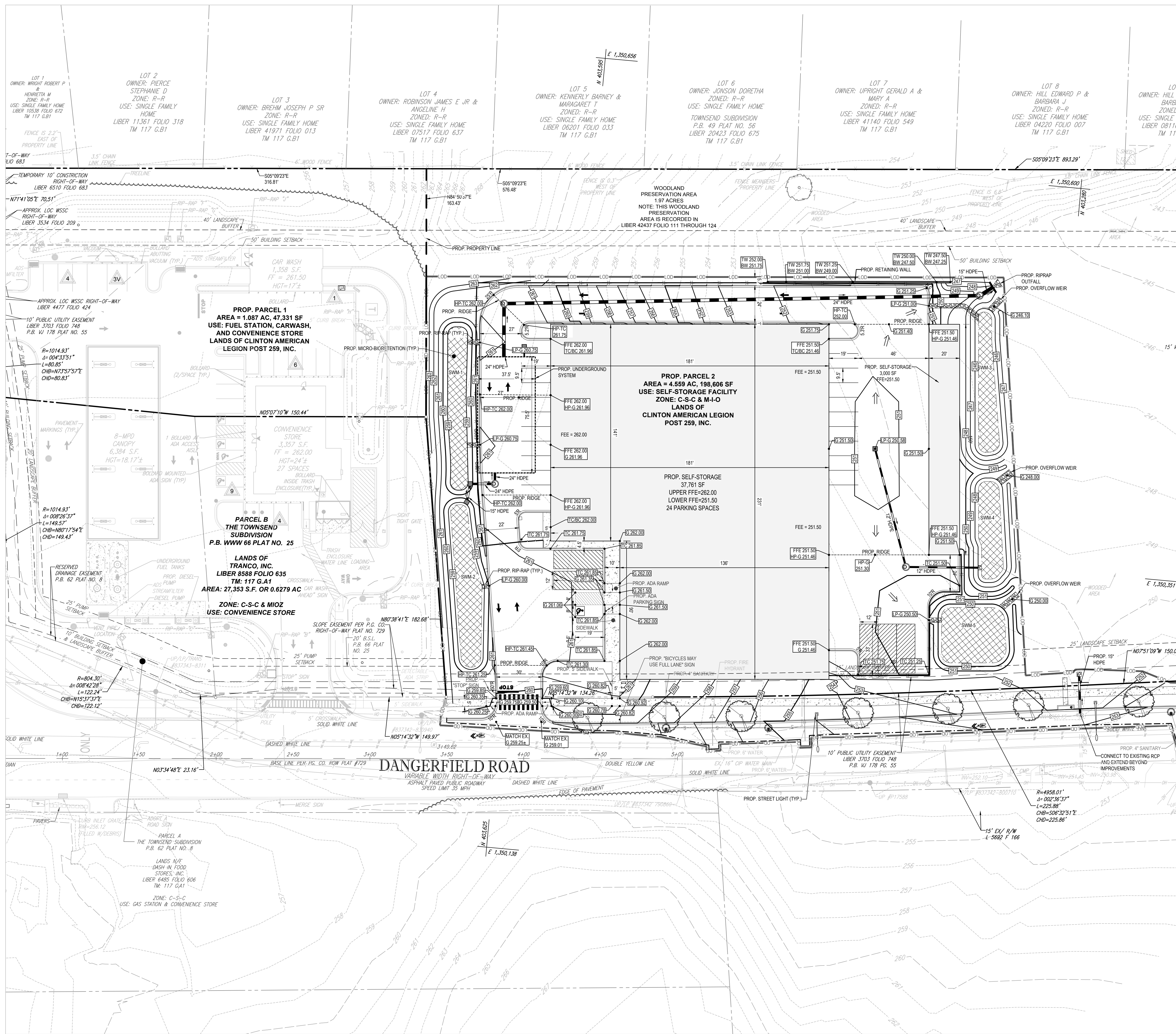
SHEET TITLE:

SITE PLAN

SHEET NUMBER:

DSP-4

REVISION 1 - 02/09/2021



LEGEND

CONCRETE SIDEWALK	
CONCRETE PAVEMENT	
MICRO-BIORETENTION FACILITY	

DISTURBANCE ANALYSIS:

TOTAL DISTURBED AREA: 96,960 SF OR 2.23 AC.
PROPOSED IMPERVIOUS AREA: 84.3 %

VOLUME OF SPOIL MATERIAL: 3030 CY
VOLUME OF BORROW MATERIAL: 898 CY
NET CUT/FILL: CUT 2132 CY

NOTE: VOLUMES ARE APPROXIMATE AND SHOULD NOT
BE USED FOR BIDDING.

NOTE: OFFSITE BORROW OR SPOIL AREAS MUST HAVE
AN APPROVED AND ACTIVE EROSION AND SEDIMENT
CONTROL PLAN.

CONTRACTOR TO ENSURE TWO BENCHMARKS IN
PLACE AFTER CONSTRUCTION. IF TWO
BENCHMARKS ARE NOT PRESENT CONTRACTOR TO
ESTABLISH AS NECESSARY.

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PROGRAM MANAGEMENT
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	DRAWN BY
1	1/11/22	PER MNCPPC COMMENTS	LMT



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PROJECT No.: MB202090
DRAWN BY: LMT
DATE: 07/15/2021
CAD ID: GRAD

PROJECT:

DETAILED SITE PLAN

FOR

ARCLAND SELF STORAGE

PROPOSED DEVELOPMENT

8310 DANGERFIELD RD.
PRINCE GEORGE'S COUNTY
CLINTON, MD 20735
TM: 117 GRID: B1 LOT: 34

BOHLER

16701 MOLFORD BLVD., SUITE 310
BOWIE, MARYLAND 20715
Phone: (301) 809-4500
Fax: (301) 809-4501
MD@BohlerEng.com

N. B. SPEACH

PROFESSIONAL ENGINEER
MARYLAND LICENSE NO. 11772022
PROFESSIONAL CERTIFICATION
I, N. B. SPEACH, HEREBY CERTIFY THAT THESE
DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND
THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER
UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NO. 42063 EXPIRATION DATE: 6/14/2023

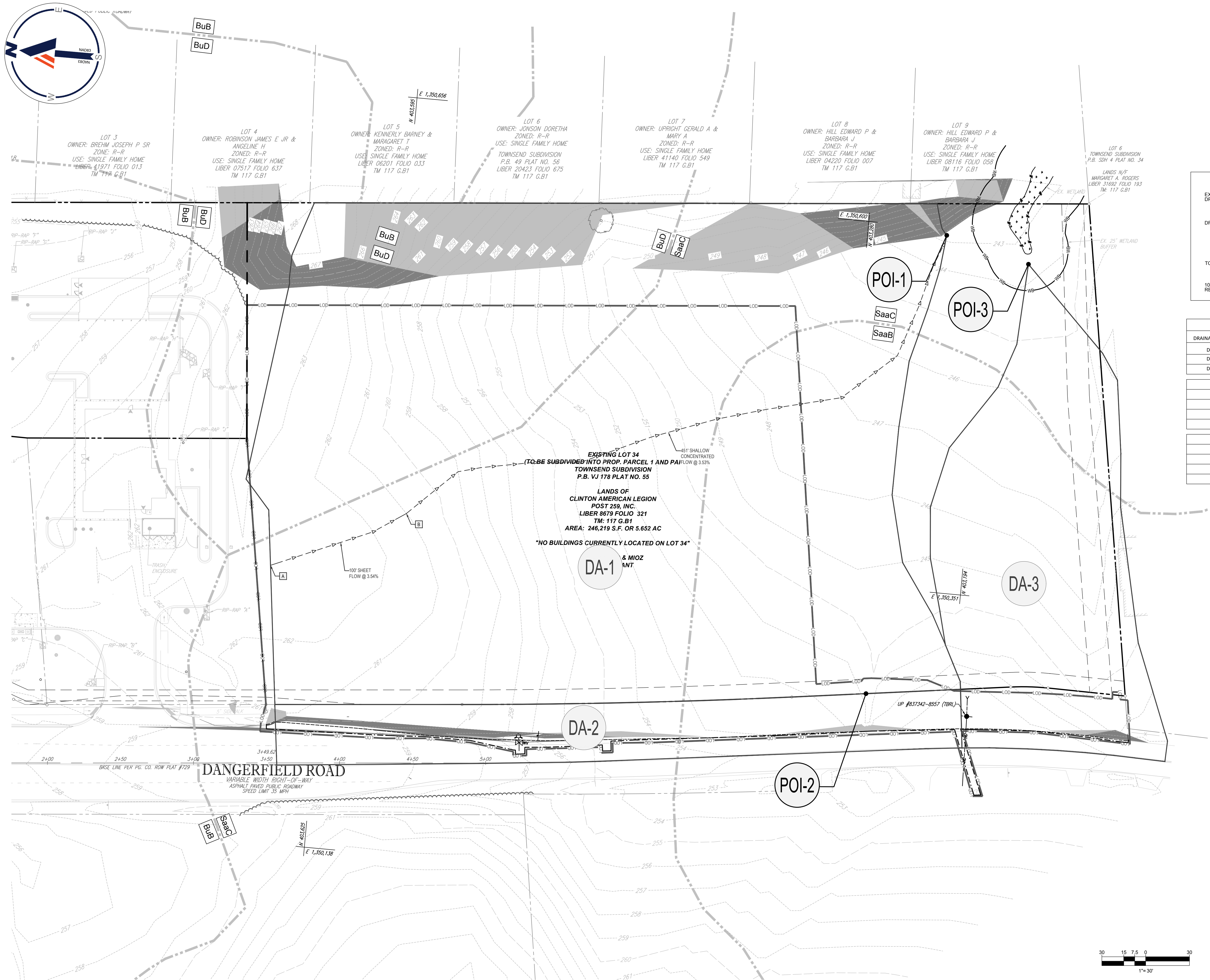
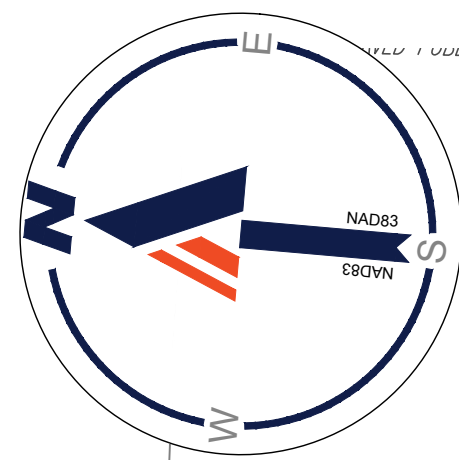
SHEET TITLE:

GRADING/ STORMDRAIN AND PAVING PLAN

SHEET NUMBER:

DSP-5

REVISION 1 - 02/09/2021



LEGEND:

EXISTING
DRAINAGE DIVIDES

DRAINAGE LABELS

TC PATH

100-YR OVERLAND
RELIEF PATH

PRE-DEVELOPMENT DRAINAGE AREA TABLE			
DRAINAGE AREA	AREA (AC.)	IMPERVIOUS AREA (AC.)	C VALUE
DA-1	3.46	0.00	0.30
DA-2	0.43	0.18	0.55
DA-3	0.81	0.04	0.33

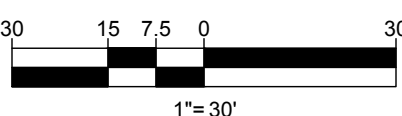
10-YR PRE-DEVELOPMENT POI ANALYSIS	
POINT OF INTEREST	PRE-DEVELOPMENT FLOW (CFS)
POI-1	4.71
POI-2	1.90
POI-3	1.75

100-YR PRE-DEVELOPMENT POI ANALYSIS	
POINT OF INTEREST	PRE-DEVELOPMENT FLOW (CFS)
POI-1	13.81
POI-2	2.75
POI-3	4.86

NOTE: OFFSITE IMPROVEMENTS HAVE NO WAY OF CONTROLLING THE POST 10-YR AND 100-YR STORMS. ALL ONSITE IMPROVEMENTS ARE MANAGED FOR BOTH 10-YR AND 100-YR EVENTS.

HATCH LEGEND

The diagram consists of two rectangular boxes, one above the other, separated by a horizontal line. The top box is light gray and labeled "SLOPES 10%-15%". The bottom box is dark gray and labeled "SLOPES >15%".



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REVISIONS

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PROJECT No.:	MB202090
DRAWN BY:	LMT
CHECKED BY:	NBS
DATE:	07/15/2021
CAD I.D.:	SSP-0

PROJECT:

DETAILED SITE PLAN

FOR -

ARCLAND SELF STORAGE

PROPOSED
DEVELOPMENT

8310 DANGERFIELD RD.
PRINCE GEORGE'S COUNTY
CLINTON, MD 20735
TM: 117 GRID: B1 LOT: 34

TM: 117 GRID: B1 LOT: 34

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BOWIE, MARYLAND 20715**
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Fax: (301) 809-4501
MD@BohlerEng.com

N. B. SPEACH

PROFESSIONAL ENGINEER

MARYLAND LICENSE No. 43263 1/17/2023
PROFESSIONAL CERTIFICATION

CHOLAS B. SPEACH, HEREBY CERTIFY THAT THESE
MENTS WERE PREPARED OR APPROVED BY ME, A
I AM A DULY LICENSED PROFESSIONAL ENGINEER
NDER THE LAWS OF THE STATE OF MARYLAND,
ICENSE NO. 40263, EXPIRATION DATE: 6/14/2023

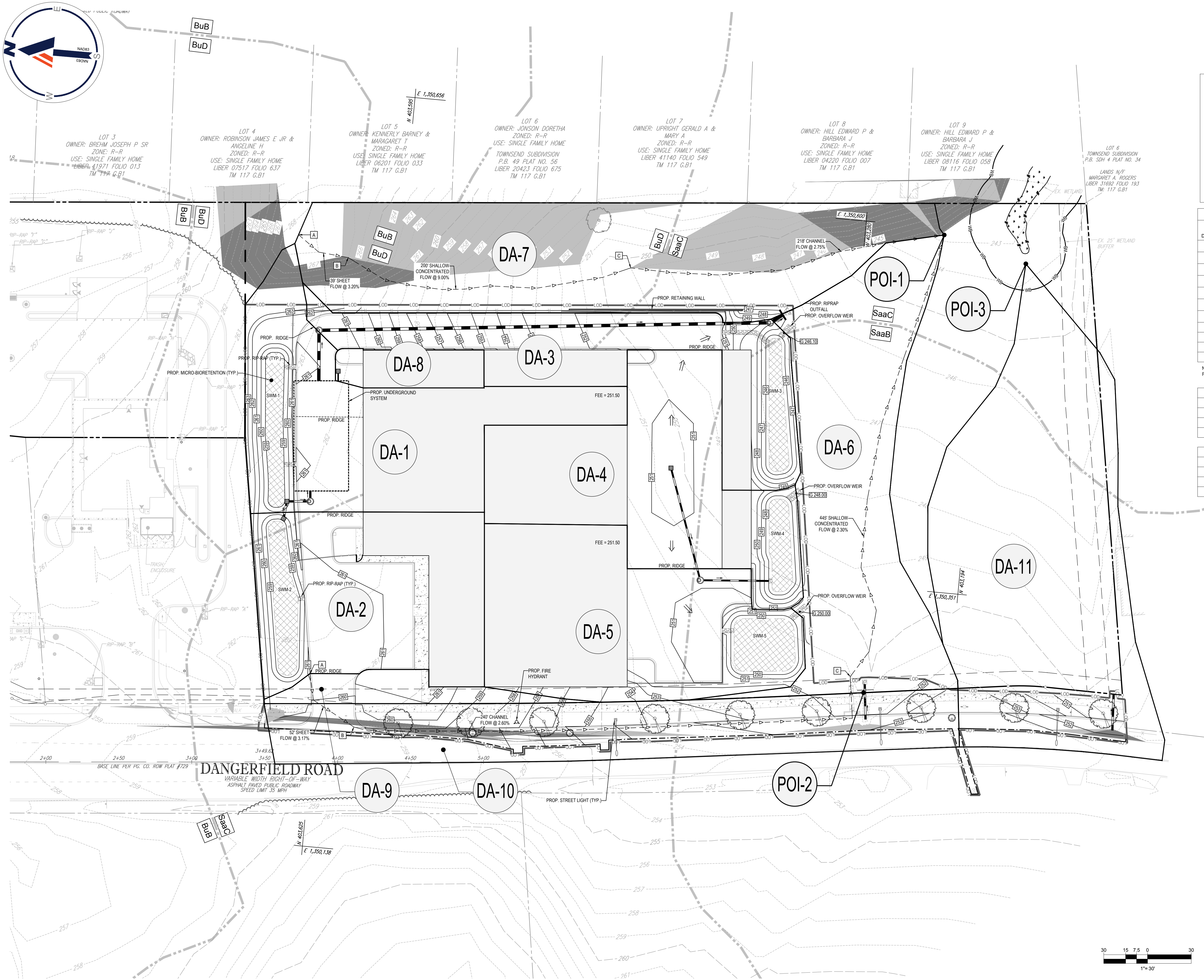
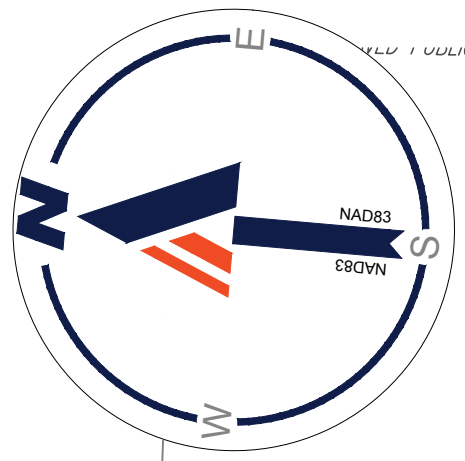
SHEET TITLE:

PRE-DEVELOPMENT DRAINAGE AREAS

SHEET NUMBER

DSP-6

REVISION 1 - 02/09/2021



LEGEND:

PROPOSED DRAINAGE DIVIDES

DRAINAGE LABELS

TC PATH

100-YR OVERLAND RELIEF PATH

POST-DEVELOPMENT DRAINAGE AREA TABLE			
DRAINAGE AREA	AREA (AC.)	IMPERVIOUS AREA (AC.)	C VALUE
DA-1	0.47	0.34	0.73
DA-2	0.41	0.32	0.77
DA-3	0.35	0.26	0.74
DA-4	0.46	0.40	0.81
DA-5	0.49	0.37	0.76
DA-6	0.55	0.21	0.53
DA-7	0.68	0.00	0.30
DA-8	0.06	0.06	0.86
DA-9	0.10	0.07	0.71
DA-10	0.44	0.33	0.75
DA-11	0.81	0.07	0.35

NOTE: SURFACE AREAS OF MICRO-BIORETENTION FACILITIES HAVE BEEN REMOVED FROM DRAINAGE AREAS FOR ESDV CALCULATIONS

10-YR POST-DEVELOPMENT POI ANALYSIS	
POINT OF INTEREST	POST-DEVELOPMENT FLOW (CFS)
POI-1	2.70
POI-2	2.72
POI-3	2.16

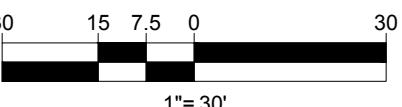
100-YR POST-DEVELOPMENT POI ANALYSIS	
POINT OF INTEREST	POST-DEVELOPMENT FLOW (CFS)
POI-1	12.95
POI-2	5.05
POI-3	6.02

NOTE: OFFSITE IMPROVEMENTS HAVE NO WAY OF CONTROLLING THE POST 10-YR AND 100-YR STORMS. ALL ONSITE IMPROVEMENTS ARE MANAGED FOR BOTH 10-YR AND 100-YR EVENTS.

HATCH LEGEND

SLOPES 10%-15%

SLOPES >15%



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1	1/11/22	PER MNCPPC COMMENTS	LMT	MGNS

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PROJECT No.: MB202090
DRAWN BY: LMT
CHECKED BY: NBS
DATE: 07/15/2021
CAD ID: DRIN

DETAILED SITE PLAN

FOR

ARCLAND SELF STORAGE

PROPOSED DEVELOPMENT

8310 DANGERFIELD RD.
PRINCE GEORGE'S COUNTY
CLINTON, MD 20735
TM: 117 GRID: B1 LOT: 34

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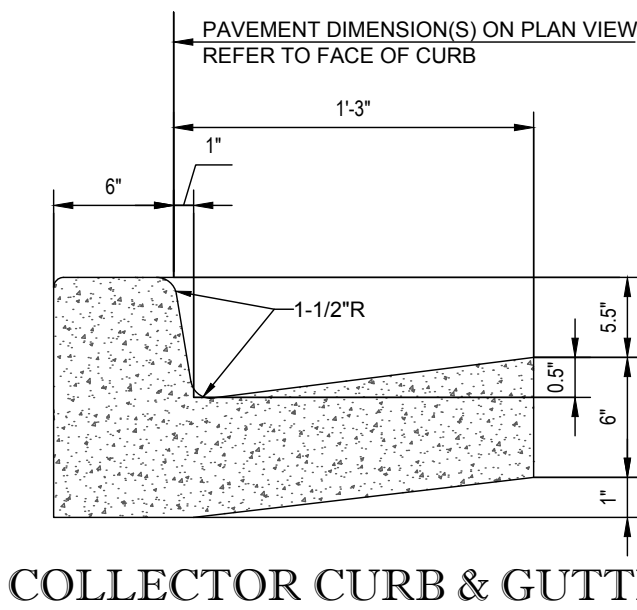
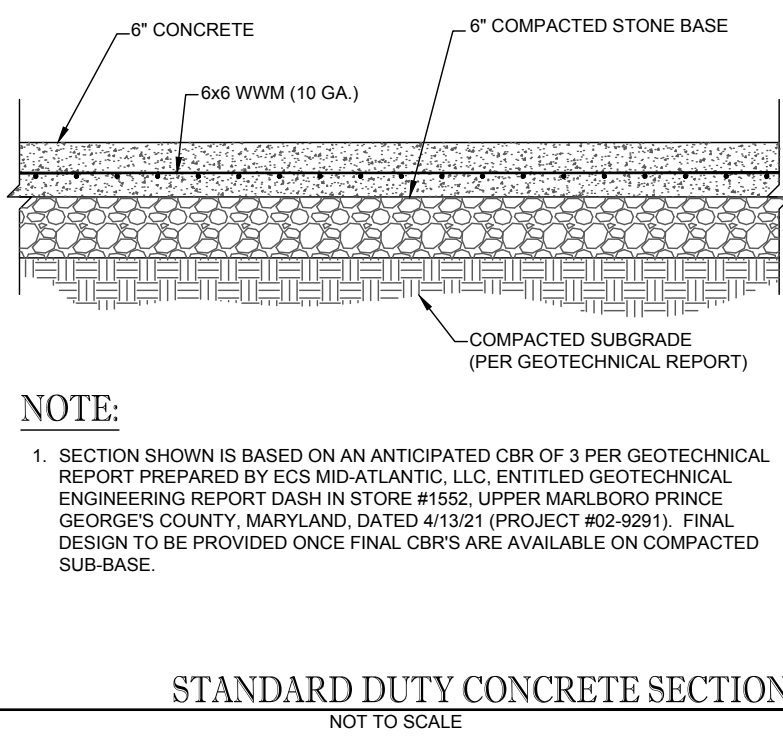
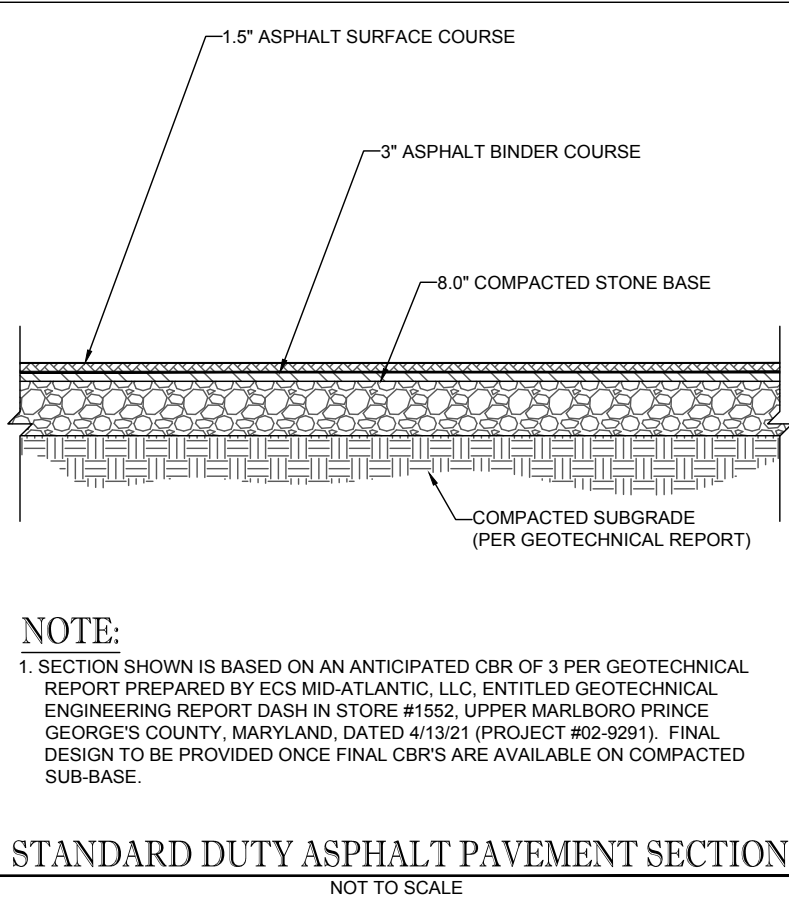
N. B. SPEACH

PROFESSIONAL ENGINEER
MARYLAND LICENSE NO. 11717/2022
PROFESSIONAL CERTIFICATION
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SHEET TITLE: **POST-DEVELOPMENT DRAINAGE AREAS**

SHEET NUMBER: **DSP-7**

REVISION 1 - 02/09/2021



NOTES:

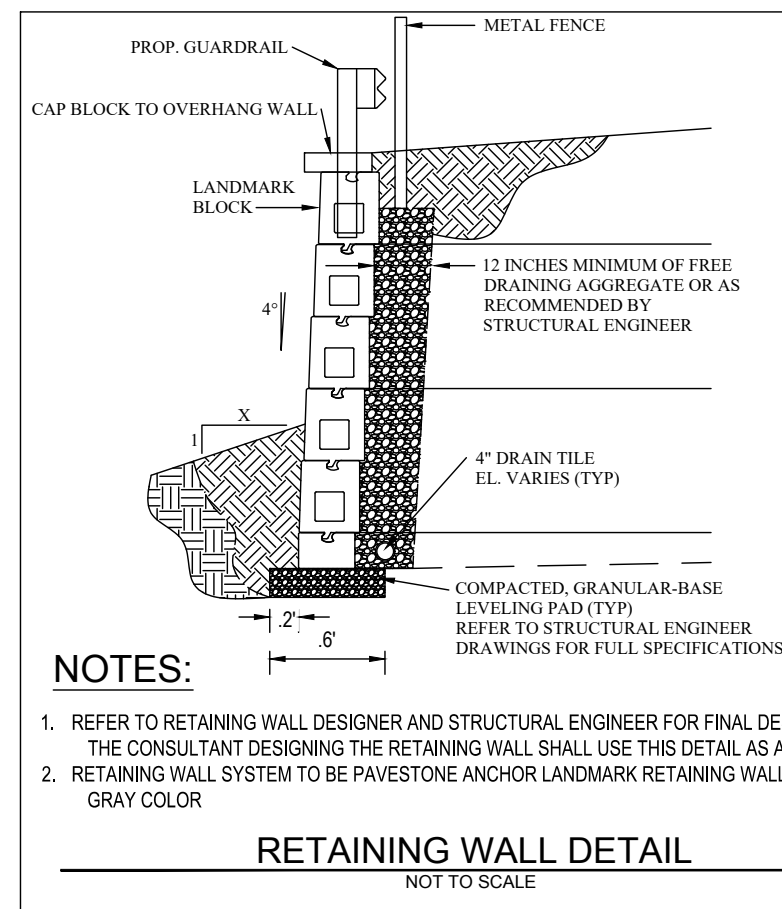
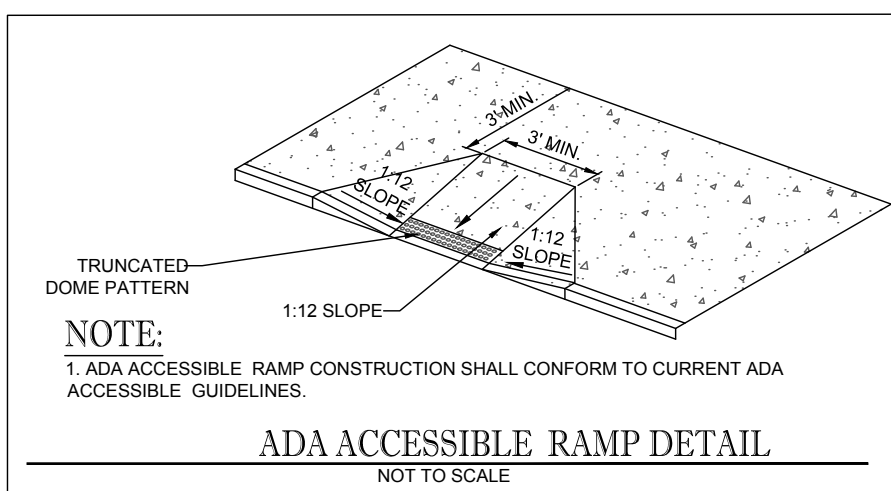
1. CONCRETE FOR CURBING SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,000 P.S.I. @ 28 DAYS.
2. CONSTRUCTION STAKING FOR CURB INSTALLATION SHALL BE REFERENCED (CUT OR FILL) TO THE TOP OF CURB.
3. AT CONTRACTOR'S OPTION, THE GUTTER THICKNESS MAY BE INCREASED AT THE EDGE OF PAVEMENT TO MAKE BOTH OF GUTTER CONTIGUOUS WITH BOTTOM OF ASPHALT PAVEMENT.
4. CONSTRUCTION JOINTS SHALL BE PLACED @ 10'-0" O.C. TOOLED 1/4" (1+1/8") WIDE. 1" DEEP. EXPANSION JOINTS SHALL BE PLACED @ 40'-0" INTERVALS, MAXIMUM, AND ALL P.C.'S.

Diagram illustrating the dimensions and components of a wall-mounted "NO PARKING" sign:

- Dimensions:**
 - Overall width: 12"
 - Overall height: 18"
- Sign Components:**
 - REFLECTIVE ALUMINUM LEGEND AND BORDER - GREEN
 - WHITE SYMBOL ON BLUE BACKGROUND
 - BACKGROUND - WHITE
 - TYPICAL AT ALL ADA SPACES
- Sign Text:**
 - THIS SIGN TYPICAL AT ALL "VAN ACCESSIBLE" PARKING SPACES
 - NO PARKING
- Penalty Sign:**
 - PENALTY SIGN WITH WORDING AS REQUIRED BY STATE OR LOCAL LAW

WALL MOUNTED NO PARKING SIGN DETAIL

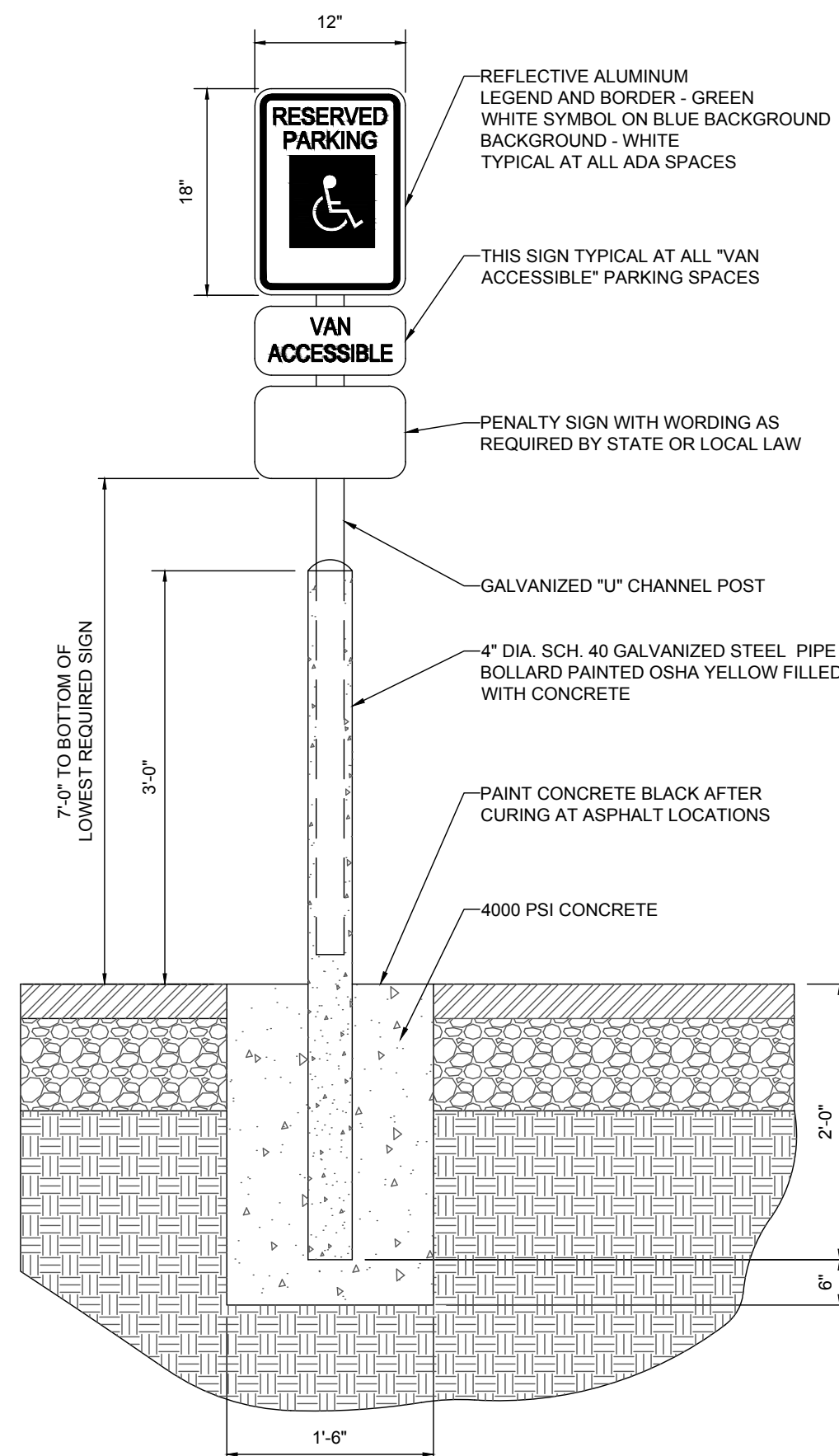
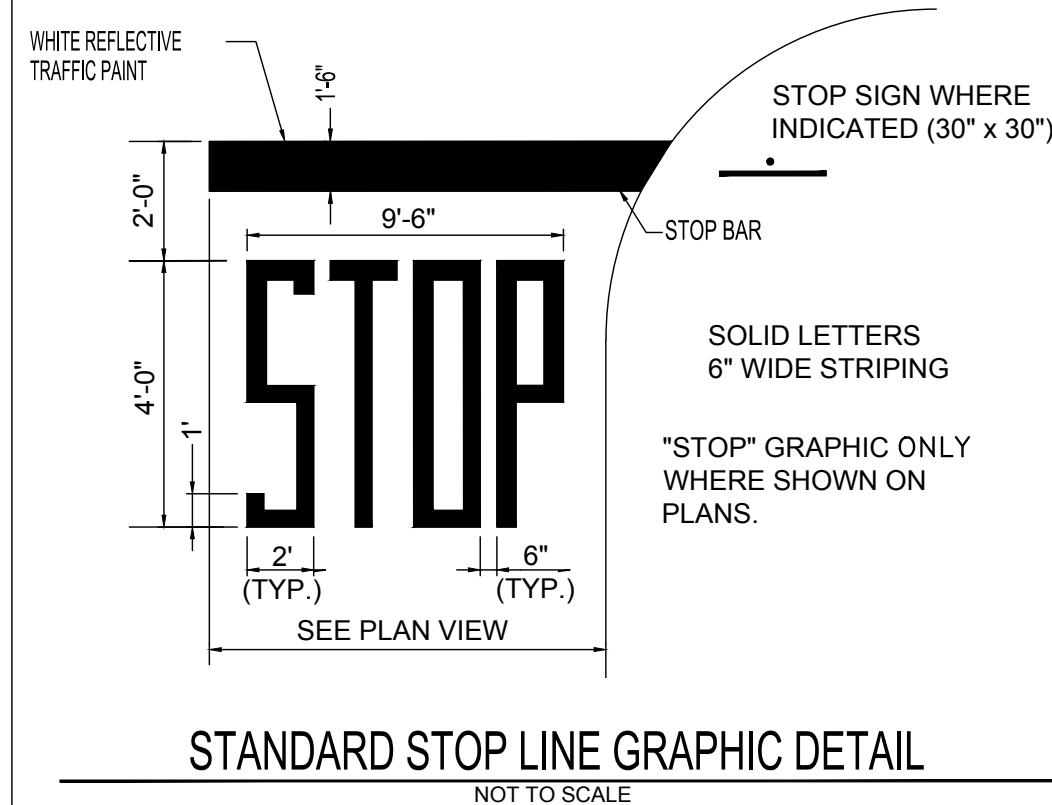
NOT TO SCALE



NOTES:

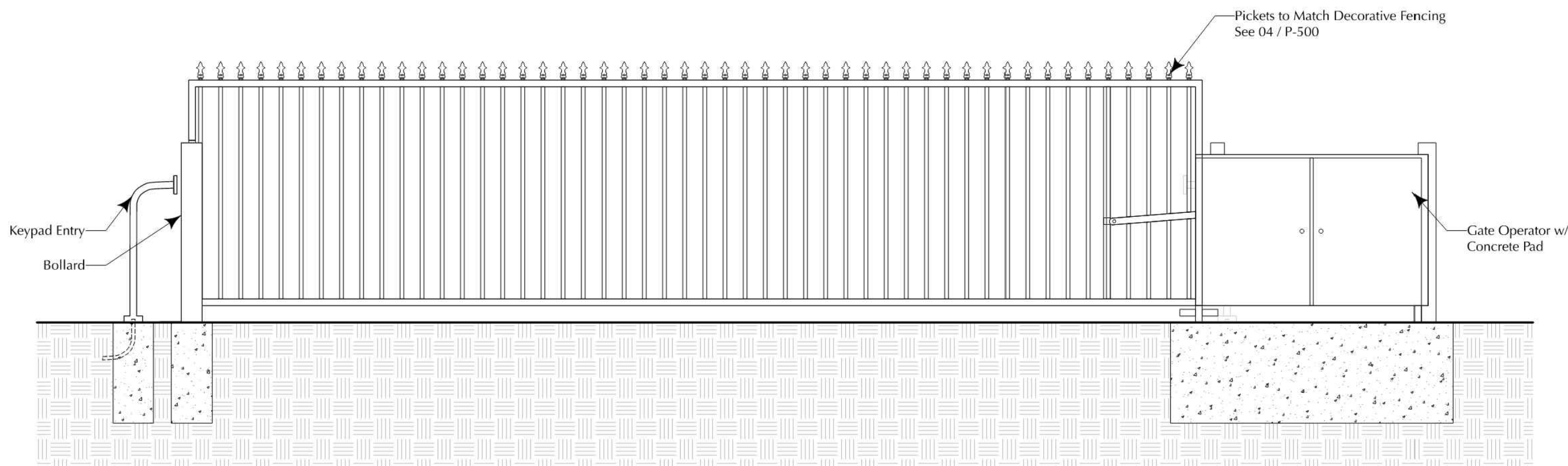
1. REFER TO RETAINING WALL DESIGNER AND STRUCTURAL ENGINEER FOR FINAL DESIGN PLANS
THE CONSULTANT DESIGNING THE RETAINING WALL SHALL USE THIS DETAIL AS A GUIDELINE

2. RETAINING WALL SYSTEM TO BE PAVESTONE ANCHOR LANDMARK RETAINING WALL SYSTEM,
GRAY COLOR

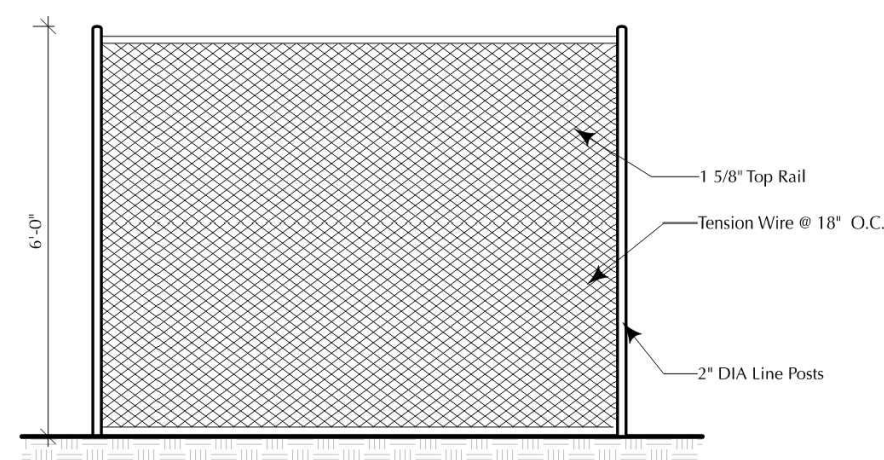


NOTE:
ONE AT EACH ADA SPACE. WHERE ADA SPACES FACE EACH OTHER WITHOUT WALKWAY, THERE SHALL BE ONE POST WITH SIGNS MOUNTED BOTH SIDES

BOLLARD MOUNTED ADA PARKING SIGN DETAIL

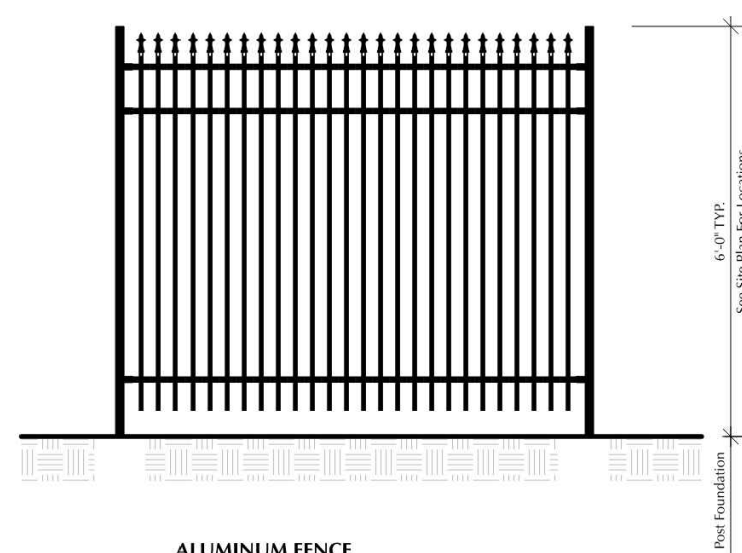


09 Proposed Vertical Pivot Gate Detail
P-500 Scale: 1/2" = 1'-0"



VINYL DIPPED CHAIN LINK FENCE
Line Posts: 2" vinyl coated structural pipe 2.0lbs. per foot, black, with cap.
Terminal Posts: 2-1/2" vinyl coated structural pipe, 2.78 lbs. per foot.
Bracing: Terminal posts shall be braced to the nearest line post with 1-5/8" O.D. vinyl coated structural pipe.
Tension Wire: 9ga. Smooth wire vinyl coated tension wire attaches to the bottom of the fence fabric with 9ga. aluminum hog ring spaced 18" on center.
Fittings: Vinyl coated in all areas
Post Spacing: 10' on center
Height: - 2'±
Color: - R-3

03 Vinyl-Dipped Chain Link Fence Elevation
P-500 Scale: 1/2" = 1'-0"



ALUMINUM FENCE
Pickets : 1" square
Spacing Between Pickets : 4"
Horizontal Rails : 1 5/8" square
Posts : 4" sq.
Post Spacing : 71 1/2" on center
Height - 72"
Color - Black, Mfr. prefinished.
Weight Supported : 1,000+ lbs. per section

04 Decorative Fencing

[illegible]

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DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.:	MB202090
DRAWN BY:	LMT
CHECKED BY:	NBS
DATE:	07/15/2021
CAD I.D.:	CNDS

PROJECT:

DETAILED SITE PLAN

- FOR -

ARCLAND
SELF STORAGEPROPOSED
DEVELOPMENT

8310 DANGERFIELD RD.
PRINCE GEORGE'S COUNTY
CLINTON, MD 20735
TM: 117 GRID: B1 LOT: 34

BOHLER //

**16701 MELFORD BLVD , SUITE 310
BOWIE, MARYLAND 20715**
Phone: (301) 809-4500
Fax: (301) 809-4501
MD@BohlerEng.com

N. B. SPEACH

PROFESSIONAL ENGINEER
MARYLAND LICENSE NO. 40263 1/17/2022
PROFESSIONAL CERTIFICATION
I, NICHOLAS R. SPEACH, HEREBY CERTIFY THAT THESE
DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND
THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER
UNDER THE LAWS OF THE STATE OF MARYLAND,
LICENSE NO. 40263, EXPIRATION DATE: 6/14/2023

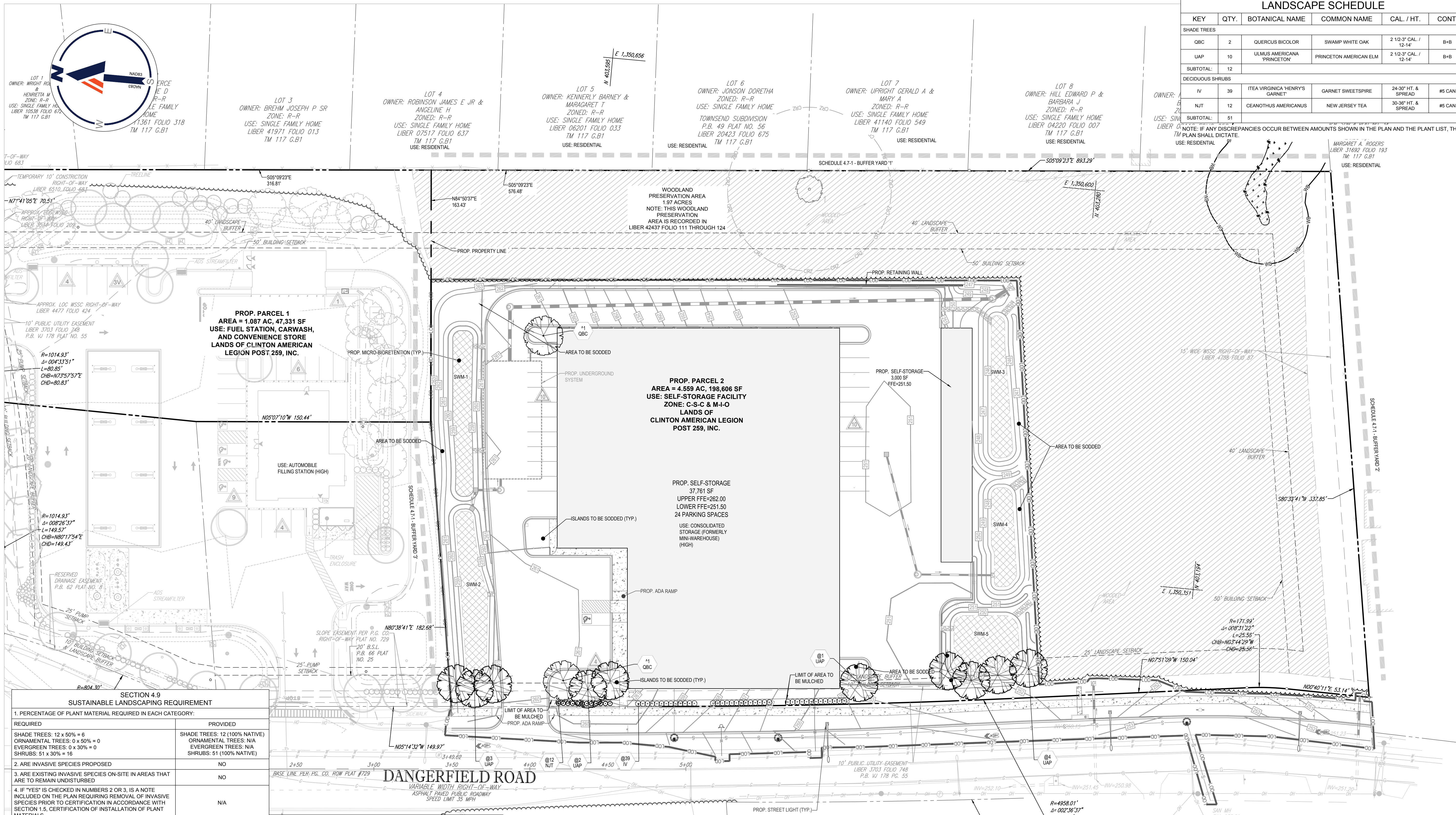
SHEET TITLE:

SITE DETAILS

SHEET NUMBER

DSP-8

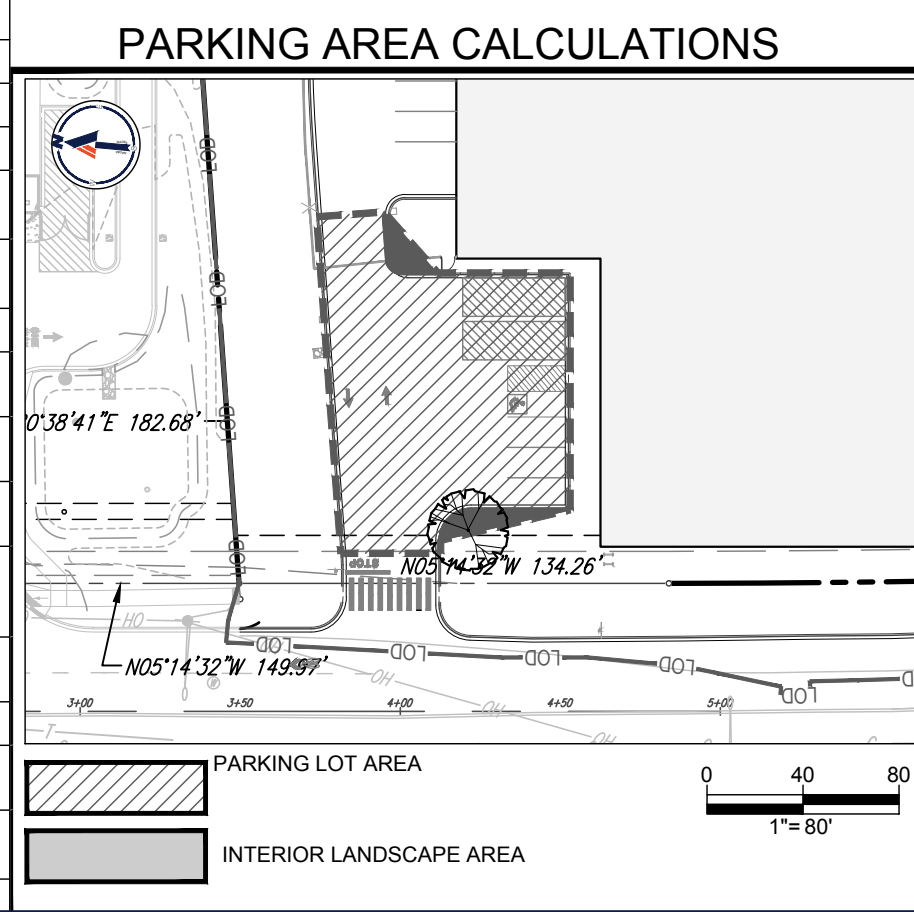
REVISION 1 - 02/09/2021



SECTION 4.9 SUSTAINABLE LANDSCAPING REQUIREMENT	
1. PERCENTAGE OF PLANT MATERIAL REQUIRED IN EACH CATEGORY:	
REQUIRED	PROVIDED
SHADE TREES: 12 x 50% = 6	SHADE TREES: 12 (100% NATIVE)
ORNAMENTAL TREES: 0 x 50% = 0	ORNAMENTAL TREES: N/A
EVERGREEN TREES: 0 x 30% = 0	EVERGREEN TREES: N/A
SHRUBS: 51 x 30% = 16	SHRUBS: 51 (100% NATIVE)
2. ARE INVASIVE SPECIES PROPOSED	NO
3. ARE EXISTING INVASIVE SPECIES ON-SITE IN AREAS THAT ARE TO REMAIN UNDISTURBED	NO
4. IF "YES" IS CHECKED IN NUMBERS 2 OR 3, IS A NOTE INCLUDED ON THE PLAN REQUIRING REMOVAL OF INVASIVE SPECIES PRIOR TO CERTIFICATION IN ACCORDANCE WITH SECTION 1.5. CERTIFICATION OF INSTALLATION OF PLANT MATERIALS	N/A
5. ARE TREES PROPOSED TO BE PLANTED ON SLOPES GREATER THAN 3:1	NO

SECTION 4.2-1 REQUIREMENTS FOR LANDSCAPE STRIPS ALONG STREETS	
LINEAR FEET OF STREET FRONTAGE, EXCLUDING DRIVEWAY ENTRANCES: DANGERFIELD ROAD	211 L.F.
1. GENERAL PLAN DESIGNATION	DEVELOPING TIER
2. OPTION SELECTED	3
3. IS THERE A PUBLIC UTILITY EASEMENT ALONG THE FRONTAGE OF THE PROPERTY?	YES
4. NUMBER OF PLANTS REQUIRED	MINIMUM 25' WIDE STRIP OF NONINVASIVE EXISTING TREES
5. TOTAL NUMBER OF TREES PROVIDED	MINIMUM 25' WIDE STRIP OF NONINVASIVE EXISTING TREES
SECTION 4.2-2 REQUIREMENTS FOR LANDSCAPE STRIPS ALONG STREETS	
LINEAR FEET OF STREET FRONTAGE, EXCLUDING DRIVEWAY ENTRANCES: DANGERFIELD ROAD	377 L.F. - 30 L.F. (ENTRANCE) = 347 L.F.
1. GENERAL PLAN DESIGNATION	DEVELOPING TIER
2. OPTION SELECTED	2
3. IS THERE A PUBLIC UTILITY EASEMENT ALONG THE FRONTAGE OF THE PROPERTY?	YES
4. NUMBER OF PLANTS REQUIRED	10 SHADE TREES 50 SHRUBS
5. TOTAL NUMBER OF TREES PROVIDED	10 SHADE TREES 51 SHRUBS
@ INDICATES PLANT MATERIAL UTILIZED TO FULFILL REQUIREMENT	

SECTION 4.3-2 INTERIOR PLANTING FOR PARKING LOTS 7,000 S.F. OR LARGER	
1. PARKING LOT AREA	6,720 S.F.
2. INTERIOR LANDSCAPE AREA REQUIRED	0%
3. INTERIOR LANDSCAPE AREA PROVIDED	5.3%
4. NUMBER OF SHADE TREES REQUIRED	353 S.F.
PARKING LOTS LESS THAN 50,000 S.F. (1 PER 300 S.F. OF INTERIOR PLANTING AREA PROVIDED)	
5. NUMBER OF SHADE TREES PROVIDED	2 SHADE TREES
PARKING LOTS GREATER THAN 50,000 S.F. (1 PER 200 S.F. OF INTERIOR PLANTING AREA PROVIDED)	
6. IS A MINIMUM OF 160 S.F. OF CONTIGUOUS PERVIOUS LAND AREA PROVIDED PER SHADE TREE?	N/A
7. IS THERE A PLANTING ISLAND ON AVERAGE EVERY 10 SPACES?	YES
8. IS A CURB OR WHEEL STOP PROVIDED FOR ALL PARKING SPACES ADJUTING A PLANTING OR PEDESTRIAN AREA?	YES
9. ARE PLANTING ISLANDS WHICH ARE EITHER PARALLEL OR PERPENDICULAR TO PARKING SPACES ON BOTH SIDES A MINIMUM OF 9 FEET WIDE?	YES
10. IS A PLANTING ISLAND THAT IS PERPENDICULAR TO PARKING SPACES ON ONE SIDE A MINIMUM OF 6 FEET WIDE?	YES
11. FOR PARKING LOTS 50,000 S.F. OR LARGER	
A) IS THERE A 9 FOOT WIDE PLANTING ISLAND PERPENDICULAR TO PARKING FOR EVERY 2 BAYS?	N/A
B) IS THE NUMBER OF SHADE TREES REQUIRED INCREASED (1 PER 200 S.F. OF INTERIOR PLANTING AREA PROVIDED)?	N/A
*** INDICATES PLANT MATERIAL UTILIZED TO FULFILL REQUIREMENT	



SCHEDULE 4.7-1 BUFFERING INCOMPATIBLE USES REQUIREMENTS: BUFFER YARD 1'		SCHEDULE 4.7-1 BUFFERING INCOMPATIBLE USES REQUIREMENTS: BUFFER YARD 2'		SCHEDULE 4.7-1 BUFFERING INCOMPATIBLE USES REQUIREMENTS: BUFFER YARD 3'	
1. GENERAL PLAN DESIGNATION	DEVELOPING TIER	1. GENERAL PLAN DESIGNATION	DEVELOPING TIER	1. GENERAL PLAN DESIGNATION	DEVELOPING TIER
2. USE OF PROPOSED DEVELOPMENT:	CONSOLIDATED STORAGE	2. USE OF PROPOSED DEVELOPMENT:	CONSOLIDATED STORAGE	2. USE OF PROPOSED DEVELOPMENT:	CONSOLIDATED STORAGE
3. IMPACT OF PROPOSED DEVELOPMENT	HIGH	3. IMPACT OF PROPOSED DEVELOPMENT	HIGH	3. IMPACT OF PROPOSED DEVELOPMENT	HIGH
4. USE OF ADJOINING DEVELOPMENT	SINGLE-FAMILY DETACHED	4. USE OF ADJOINING DEVELOPMENT	SINGLE-FAMILY DETACHED	4. USE OF ADJOINING DEVELOPMENT	AUTOMOBILE FILLING STATION
5. IMPACT OF ADJOINING DEVELOPMENT	ONE-FAMILY DETACHED	5. IMPACT OF ADJOINING DEVELOPMENT	ONE-FAMILY DETACHED	5. IMPACT OF ADJOINING DEVELOPMENT	HIGH
6. MINIMUM REQUIRED BUFFERYARD (A, B, C, D OR E)	D	6. MINIMUM REQUIRED BUFFERYARD (A, B, C, D OR E)	D	6. MINIMUM REQUIRED BUFFERYARD (A, B, C, D OR E)	NONE
7. MINIMUM REQUIRED BUILDING SETBACK	50 FEET	7. MINIMUM REQUIRED BUILDING SETBACK	50 FEET	7. MINIMUM REQUIRED BUILDING SETBACK	N/A
8. BUILDING SETBACK PROVIDED	±100 FEET	8. BUILDING SETBACK PROVIDED	±320 FEET	8. BUILDING SETBACK PROVIDED	±75 FEET
9. MINIMUM REQUIRED WIDTH OF LANDSCAPE YARD	40 FEET	9. MINIMUM REQUIRED WIDTH OF LANDSCAPE YARD	40 FEET	9. MINIMUM REQUIRED WIDTH OF LANDSCAPE YARD	N/A
10. WIDTH OF LANDSCAPE YARD PROVIDED	±75 FEET	10. WIDTH OF LANDSCAPE YARD PROVIDED	±235 FEET	10. WIDTH OF LANDSCAPE YARD PROVIDED	±31 FEET
11. LINEAR FEET OF BUFFER STRIP REQUIRED ALONG PROPERTY LINE AND RIGHT-OF-WAY	575 L.F.	11. LINEAR FEET OF BUFFER STRIP REQUIRED ALONG PROPERTY LINE AND RIGHT-OF-WAY	326 L.F.	11. LINEAR FEET OF BUFFER STRIP REQUIRED ALONG PROPERTY LINE AND RIGHT-OF-WAY	304 L.F.
12. PERCENTAGE OF REQUIRED BUFFERYARD OCCUPIED BY EXISTING TREES	100%	12. PERCENTAGE OF REQUIRED BUFFERYARD OCCUPIED BY EXISTING TREES	100%	12. PERCENTAGE OF REQUIRED BUFFERYARD OCCUPIED BY EXISTING TREES	N/A
13. IS A SIX FOOT HIGH FENCE OR WALL INCLUDED IN BUFFERYARD	NO	13. IS A SIX FOOT HIGH FENCE OR WALL INCLUDED IN BUFFERYARD	NO	13. IS A SIX FOOT HIGH FENCE OR WALL INCLUDED IN BUFFERYARD	NO
14. TOTAL NUMBER OF PLANT UNITS REQUIRED IN BUFFER STRIP	0 P.U.	14. TOTAL NUMBER OF PLANT UNITS REQUIRED IN BUFFER STRIP	0 P.U.	14. TOTAL NUMBER OF PLANT UNITS REQUIRED IN BUFFER STRIP	N/A
15. TOTAL NUMBER OF PLANT UNITS PROVIDED	TOTAL = 0 P.U.	15. TOTAL NUMBER OF PLANT UNITS PROVIDED	TOTAL = 0 P.U.	15. TOTAL NUMBER OF PLANT UNITS PROVIDED	N/A

LANDSCAPE SCHEDULE					
KEY	QTY.	BOTANICAL NAME	COMMON NAME	CAL. / HT.	CONT.
SHADE TREES					
QBC	2	QUERCUS BICOLOR	SWAMP WHITE OAK	2 1/2-3' CAL. / 12-14'	B+B
UAP	10	ULMUS AMERICANA 'PRINCETON'	PRINCETON AMERICAN ELM	2 1/2-3' CAL. / 12-14'	B+B
SUBTOTAL:					
DECIDUOUS SHRUBS					
IV	39	ITEA VIRGINICA 'HENRY'S GARNET'	GARNET SWEETSPICE	24-30' HT. & SPREAD	#5 CAN
NJT	12	CEANOTHUS AMERICANUS	NEW JERSEY TEA	30-36' HT. & SPREAD	#5 CAN
SUBTOTAL:					
NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN IN THE PLAN AND THE PLANT LIST, THE PLAN SHALL DICTATE.					

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SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS				
REV	DATE	COMMENT	PER MNCPPC COMMENTS	DRAWN BY
1	1/11/22			LMT

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PROJECT No.: MB202090
DRAWN BY: LMT
CHECKED BY: NBS
DATE: 07/15/2021
CAD ID: LSP-0

PROJECT:

DETAILED SITE PLAN

FOR

ARCLAND SELF STORAGE

PROPOSED DEVELOPMENT
8310 DANGERFIELD RD.
PRINCE GEORGE'S COUNTY
CLINTON, MD 20735
TM: 117 GRID; B1 LOT: 34

BOHLER

16701 MELFORD BLVD., SUITE 310
BOWIE, MARYLAND 20715
Phone: (301) 809-4500
Fax: (301) 809-4501
MD@BohlerEng.com

E.R. McWILLIAMS

REGISTERED LANDSCAPE ARCHITECT
PROFESSIONAL CERTIFICATION
I, E.R. McWILLIAMS, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 3897, EXPIRATION DATE: 9/2022

LANDSCAPE PLAN

SHEET NUMBER:
DSP-9

REVISION 1 - 02/09/2021

LANDSCAPE SPECIFICATIONS

1. SCOPE OF WORK:

THE LANDSCAPE CONTRACTOR SHALL BE REQUIRED TO PERFORM ALL CLEARING, FINISHED GRADING, SOIL PREPARATION, PERMANENT SEEDING OR SODDING, PLANTING AND MULCHING INCLUDING ALL LABOR, MATERIALS, TOOLS AND EQUIPMENT NECESSARY FOR THE COMPLETION OF THIS PROJECT, UNLESS OTHERWISE CONTRACTED BY THE GENERAL CONTRACTOR.

2. MATERIALS

- A. GENERAL - ALL HARDSCAPE MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS AS OUTLINED IN THE STATE DEPARTMENT OF TRANSPORTATION'S SPECIFICATIONS.
- B. TOPSOIL - NATURAL, FRIABLE, LOAMY SILT SOIL HAVING AN ORGANIC CONTENT NOT LESS THAN 5%, A PH RANGE BETWEEN 4.5-7.0. IT SHALL BE FREE OF DEBRIS, ROCKS LARGER THAN ONE INCH (1"), WOOD, ROOTS, VEGETABLE MATTER AND CLAY CLODS.
- C. LAWN - ALL DISTURBED AREAS ARE TO BE TREATED WITH A MINIMUM SIX INCH (6") THICK LAYER OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, AND SEEDED OR SODDED IN ACCORDANCE WITH THE PERMANENT STABILIZATION METHODS INDICATED WITHIN THE SOIL EROSION AND SEDIMENT CONTROL NOTES.
- 1.1. LAWN SEED MIXTURE SHALL BE FRESH, CLEAN NEW CROP SEED
- 1.2. SOD SHALL BE STRONGLY ROOTED, WEED AND DISEASE/PEST FREE WITH A UNIFORM THICKNESS.
- 1.3. SOD INSTALLED ON SLOPES GREATER THAN 4:1 SHALL BE PEGGED TO HOLD SOD IN PLACE.
- D. MULCH - THE MULCH AROUND THE PERIMETER OF THE BUILDING SHALL BE A 3" LAYER OF DOUBLE SHREDDED BLACK CEDAR MULCH ONLY. ALL OTHER AREAS SHALL BE MULCHED WITH A 3" LAYER OF DOUBLE SHREDDED DARK BROWN HARDWOOD BARK MULCH, UNLESS OTHERWISE STATED ON THE LANDSCAPE PLAN.
- E. FERTILIZER
- 1.1. FERTILIZER SHALL BE DELIVERED TO THE SITE MIXED AS SPECIFIED IN THE ORIGINAL UNOPENED STANDARD BAGS SHOWING WEIGHT, ANALYSIS AND NAME OF MANUFACTURER. FERTILIZER SHALL BE STORED IN A WEATHERPROOF PLACE SO THAT IT CAN BE KEPT DRY PRIOR TO USE.
- 1.2. FOR THE PURPOSE OF BIDDING, ASSUME THAT FERTILIZER SHALL BE 10% NITROGEN, 6% PHOSPHORUS AND 4% POTASSIUM BY WEIGHT. A FERTILIZER SHOULD NOT BE SELECTED WITHOUT A SOIL TEST PERFORMED BY A CERTIFIED SOIL LABORATORY.
- F. PLANT MATERIAL
- 1.1. ALL PLANTS SHALL IN ALL CASES CONFORM TO THE REQUIREMENTS OF THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1), LATEST EDITION, AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
- 1.2. IN ALL CASES, BOTANICAL NAMES SHALL TAKE PRECEDENCE OVER COMMON NAMES FOR ANY AND ALL PLANT MATERIAL.
- 1.3. PLANTS SHALL BE LEGIBLY TAGGED WITH THE PROPER NAME AND SIZE. TAGS ARE TO REMAIN ON AT LEAST ONE PLANT OF EACH SPECIES FOR VERIFICATION PURPOSES DURING THE FINAL INSPECTION.
- 1.4. TREES WITH ABRASION OF THE BARK, SUN SCALDS, DISFIGURATION OR FRESH CUTS OF LIMBS OVER 1/4", WHICH HAVE NOT BEEN COMPLETELY CALLED, SHALL BE REJECTED. PLANTS SHALL BE MONITORED ON A REGULAR BASIS FOR ADDITIONAL ROOT OR BRANCH DAMAGE AS A RESULT OF CONSTRUCTION. ROOTS SHALL NOT BE LEFT EXPOSED FOR MORE THAN ONE (1) DAY. CONTRACTOR SHALL WATER EXISTING TREES AS NEEDED TO PREVENT SHOCK OR DECLINE.
- 1.5. ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OF GROWTH, WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS AND BE FREE OF DISEASE, INSECTS, PESTS, EGGS OR LARVAE.
- 1.6. CALIPER MEASUREMENTS OF NURSERY GROWN TREES SHALL BE TAKEN AT A POINT ON THE TRUNK SIX INCHES (6") ABOVE THE NATURAL GRADE FOR TREES UP TO AND INCLUDING A FOUR INCH (4") CALIPER SIZE. IF THE CALIPER AT SIX INCHES (6") ABOVE THE GROUND EXCEEDS FOUR INCHES (4") IN CALIPER, THE CALIPER SHOULD BE MEASURED AT A POINT 12" ABOVE THE NATURAL GRADE.
- 1.7. SHRUBS SHALL BE MEASURED TO THE AVERAGE HEIGHT OR SPREAD OF THE SHRUB, AND NOT TO THE LONGEST BRANCH.
- 1.8. TREES AND SHRUBS SHALL BE HANDLED WITH CARE BY THE ROOT BALL.

3. GENERAL WORK PROCEDURES

- A. CONTRACTOR TO UTILIZE WORKMANLIKE INDUSTRY STANDARDS IN PERFORMING ALL LANDSCAPE CONSTRUCTION. THE SITE IS TO BE LEFT IN A CLEAN STATE AT THE END OF EACH WORKDAY. ALL DEBRIS, MATERIALS AND TOOLS SHALL BE PROPERLY STORED, STOCKPILED OR DISPOSED OF.
- B. WASTE MATERIALS AND DEBRIS SHALL BE COMPLETELY DISPOSED OF AT THE CONTRACTOR'S EXPENSE. DEBRIS SHALL NOT BE BURIED, INCLUDING ORGANIC MATERIALS, BUT SHALL BE REMOVED COMPLETELY FROM THE SITE.
- C. SITE PREPARATIONS
- A. BEFORE AND DURING PRELIMINARY GRADING AND FINISHED GRADING, ALL WEEDS AND GRASSES SHALL BE DUG OUT BY THE ROOTS AND DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES OUTLINED HEREIN.
- B. ALL EXISTING TREES TO REMAIN SHALL BE PRUNED TO REMOVE ANY DAMAGED BRANCHES. THE ENTIRE LIMB OF ANY DAMAGED BRANCH SHALL BE CUT OFF AT THE TRUNK. CONTRACTOR SHALL ENSURE THAT CUTS ARE SMOOTH AND STRAIGHT. ANY EXPOSED ROOTS SHALL BE CUT BACK WITH CLEAN, SHARP TOOLS AND TOPSOIL SHALL BE PLACED AROUND THE REMAINDER OF THE ROOTS. EXISTING TREES SHALL BE MONITORED ON A REGULAR BASIS FOR ADDITIONAL ROOT OR BRANCH DAMAGE AS A RESULT OF CONSTRUCTION. ROOTS SHALL NOT BE LEFT EXPOSED FOR MORE THAN ONE (1) DAY. CONTRACTOR SHALL WATER EXISTING TREES AS NEEDED TO PREVENT SHOCK OR DECLINE.
- C. CONTRACTOR SHALL ARRANGE TO HAVE A UTILITY STAKE-OUT TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY LANDSCAPE MATERIAL. UTILITY COMPANIES SHALL BE CONTACTED THREE (3) DAYS PRIOR TO THE BEGINNING OF WORK.

4. TREE PROTECTION

- A. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES TO REMAIN. A TREE PROTECTION ZONE SHALL BE ESTABLISHED AT THE DRIP LINE OR 15 FEET FROM THE TRUNK OR AT THE LIMIT OF CONSTRUCTION DISTURBANCE, WHICHEVER IS GREATER. LOCAL STANDARDS THAT MAY REQUIRE A MORE STRICT TREE PROTECTION ZONE SHALL BE HONORED.
- B. A FORTY-EIGHT INCH (48") HIGH WOODEN SNOW FENCE OR ORANGE COLORED HIGH-DENSITY VISI-FENCE, OR APPROVED EQUAL, MOUNTED ON STEEL POSTS SHALL BE PLACED ALONG THE BOUNDARY OF THE TREE PROTECTION ZONE. POSTS SHALL BE LOCATED AT A MAXIMUM OF EIGHT FEET (8') ON CENTER OR AS INDICATED WITHIN THE TREE PROTECTION DETAIL.
- C. WHEN THE TREE PROTECTION FENCING HAS BEEN INSTALLED, IT SHALL BE INSPECTED BY THE APPROVING AGENCY PRIOR TO DEMOLITION, GRADING, TREE CLEARING OR ANY OTHER CONSTRUCTION. THE FENCING WITHIN THE TREE PROTECTION ZONE SHALL BE REGULARLY INSPECTED BY THE LANDSCAPE CONTRACTOR AND MAINTAINED UNTIL ALL CONSTRUCTION ACTIVITY HAS BEEN COMPLETED.
- D. AT NO TIME SHALL MACHINERY, DEBRIS, FALLEN TREES OR OTHER MATERIALS BE PLACED, STOCKPILED OR LEFT STANDING IN THE TREE PROTECTION ZONE.

5. SOIL MODIFICATIONS

- A. CONTRACTOR SHALL ATTAIN A SOIL TEST FOR ALL AREAS OF THE SITE PRIOR TO CONDUCTING ANY PLANTING. SOIL TESTS SHALL BE PERFORMED BY A CERTIFIED SOIL LABORATORY.
- B. LANDSCAPE CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF PLANT MATERIAL. SOIL MODIFICATIONS, AS SPECIFIED HEREIN, MAY NEED TO BE CONDUCTED BY THE LANDSCAPE CONTRACTOR DEPENDING ON SITE CONDITIONS.
- C. THE FOLLOWING AMENDMENTS AND QUANTITIES ARE APPROXIMATE AND ARE FOR BIDDING PURPOSES ONLY. COMPOSITION OF AMENDMENTS SHOULD BE REVISED DEPENDING ON THE OUTCOME OF A TOPSOIL ANALYSIS PERFORMED BY A CERTIFIED SOIL LABORATORY.
- 1.1. TO INCREASE A SANDY SOIL'S ABILITY TO RETAIN WATER AND NUTRIENTS, THOROUGHLY TILL ORGANIC MATTER INTO THE TOP 6-12". USE COMPOSTED BARK, COMPOSTED LEAF MULCH OR PEAT MOSS. ALL PRODUCTS SHOULD BE COMPOSTED TO A DARK COLOR AND BE FREE OF PIECES WITH IDENTIFIABLE LEAF OR WOOD STRUCTURE. AVOID MATERIAL WITH A PH HIGHER THAN 7.5.
- 1.2. TO INCREASE DRAINAGE, MODIFY HEAVY CLAY OR SILT (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) AND/OR AGRICULTURAL GYPSUM. COARSE SAND MAY BE USED IF ENOUGH IS ADDED TO BRING THE SAND CONTENT TO MORE THAN 60% OF THE TOTAL MIX. SUBSURFACE DRAINAGE LINES MAY NEED TO BE ADDED TO INCREASE DRAINAGE.
- 1.3. MODIFY EXTREMELY SANDY SOILS (MORE THAN 85%) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.

6. FINISHED GRADING

- A. UNLESS OTHERWISE CONTRACTED, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF TOPSOIL AND THE ESTABLISHMENT OF FINE-GRADING WITHIN THE DISTURBANCE AREA OF THE SITE.
- B. LANDSCAPE CONTRACTOR SHALL VERIFY THAT SUBGRADE FOR INSTALLATION OF TOPSOIL HAS BEEN ESTABLISHED. THE SUBGRADE OF THE SITE MUST MEET THE FINISHED GRADE LESS THE REQUIRED TOPSOIL THICKNESS (1").
- C. ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE AS DEPICTED IN THIS SET OF CONSTRUCTION PLANS, UNLESS OTHERWISE DIRECTED BY THE PROJECT ENGINEER OR LANDSCAPE ARCHITECT.
- D. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER IN AND AROUND THE PLANTING BEDS. STANDING WATER SHALL NOT BE PERMITTED IN PLANTING BEDS.

7. TOPSOILING

- A. CONTRACTOR SHALL PROVIDE A SIX INCH (6") THICK MINIMUM LAYER OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, IN ALL PLANTING AREAS. TOPSOIL SHOULD BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO ACHIEVE THE DESIRED COMPACTED THICKNESS.
- B. ON-SITE TOPSOIL MAY BE USED TO SUPPLEMENT THE TOTAL AMOUNT REQUIRED. TOPSOIL FROM THE SITE MAY BE REJECTED IF IT HAS NOT BEEN PROPERLY REMOVED, STORED AND PROTECTED PRIOR TO CONSTRUCTION.
- C. CONTRACTOR SHALL FURNISH TO THE APPROVING AGENCY AN ANALYSIS OF BOTH IMPORTED AND ON-SITE TOPSOIL TO BE UTILIZED IN ALL PLANTING AREAS. THE PH AND NUTRIENT LEVELS MAY NEED TO BE ADJUSTED THROUGH SOIL MODIFICATIONS AS NEEDED TO ACHIEVE THE REQUIRED LEVELS AS SPECIFIED IN THE MATERIALS SECTION ABOVE.
- D. ALL PLANTING AND LAWN AREAS ARE TO BE CULTIVATED TO A DEPTH OF SIX INCHES (6"). ALL DEBRIS EXPOSED FROM EXCAVATION AND CULTIVATION SHALL BE DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES SECTION ABOVE. THE FOLLOWING SHALL BE TILLED INTO THE TOP FOUR INCHES (4") IN TWO DIRECTIONS (QUANTITIES BASED ON A 1,000 SQUARE FOOT AREA):
- 1.1. 20 POUNDS GROW POWER OR APPROVED EQUAL
- 1.2. 20 POUNDS NITRO-FORM (COURSE) 38-0-0 BLUE CHIP
- E. THE SPREADING OF TOPSOIL SHALL NOT BE CONDUCTED UNDER MUDDY OR FROZEN CONDITIONS.

8. PLANTING

- A. INsofar THAT IT IS FEASIBLE, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THAT THIS IS NOT POSSIBLE, LANDSCAPE CONTRACTOR SHALL PROTECT UNINSTALLED PLANT MATERIAL. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE DAY PERIOD AFTER DELIVERY. PLANTS THAT WILL NOT BE PLANTED FOR A PERIOD OF TIME GREATER THAN THREE DAYS SHALL BE HEALED IN WITH TOPSOIL OR MULCH TO HELP PRESERVE ROOT MOISTURE.
- B. PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOPSOIL THAT IS IN A MUDDY OR FROZEN CONDITION.
- C. ANY INJURED ROOTS OR BRANCHES SHALL BE PRUNED TO MAKE CLEAN-CUT ENDS PRIOR TO PLANTING UTILIZING CLEAN, SHARP TOOLS. ONLY INJURED OR DISEASED BRANCHING SHALL BE REMOVED.
- D. ALL PLANTING CONTAINERS AND NON-BIODEGRADABLE MATERIALS SHALL BE REMOVED FROM ROOT BALLS DURING PLANTING. NATURAL FIBER BURLAP MUST BE CUT FROM AROUND THE TRUNK OF THE TREE AND FOLDED DOWN AGAINST THE ROOT BALL PRIOR TO BACKFILLING.
- E. POSITION TREES AND SHRUBS AT THEIR INTENDED LOCATIONS AS PER THE PLANS AND SECURE THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO EXCAVATING PITS, MAKING NECESSARY ADJUSTMENTS AS DIRECTED.
- F. PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE PROPOSED LANDSCAPE, AS SHOWN ON THE APPROVED LANDSCAPE PLAN, MUST BE INSTALLED, INSPECTED AND APPROVED BY THE APPROVING AGENCY. THE APPROVING AGENCY SHALL TAKE INTO ACCOUNT SEASONAL CONSIDERATIONS IN THIS REGARD AS FOLLOWS. THE PLANTING OF TREES, SHRUBS, VINES OR GROUND COVER SHALL OCCUR ONLY DURING THE FOLLOWING PLANTING SEASONS:
- 1.1. PLANTS: MARCH 15 TO DECEMBER 15
- 1.2. LAWN: MARCH 15 TO JUNE 15 OR SEPT. 1 TO DECEMBER 1
- G. PLANTINGS REQUIRED FOR A CERTIFICATE OF OCCUPANCY SHALL BE PROVIDED DURING THE NEXT APPROPRIATE SEASON AT THE MUNICIPALITY'S DISCRETION. CONTRACTOR SHOULD CONTACT APPROVING AGENCY FOR POTENTIAL SUBSTITUTIONS.
- H. FURTHERMORE, THE FOLLOWING TREE VARIETIES ARE UNUSUALLY SUSCEPTIBLE TO WINTER DAMAGE. WITH TRANSPANT SHOCK AND THE SEASONAL LACK OF NITROGEN AVAILABILITY, THE RISK OF PLANT DEATH IS GREATLY INCREASED. IT IS NOT RECOMMENDED THAT THESE SPECIES BE PLANTED DURING THE FALL PLANTING SEASON:
- ACER RUBRUM PLATANUS X ACERIFOLIA
BETULA VARIETIES POPULUS VARIETIES
CARPINUS VARIETIES PRUNUS VARIETIES
CRATAEGUS VARIETIES PYRUS VARIETIES
KOELREUTERA QUERCUS VARIETIES
LIQUIDAMBER STYRACIFLUA TILIA TOMENTOSA
LIRIODENDRON TULIPIFERA ZELKOVA VARIETIES

- I. PLANTING PITS SHALL BE DUG WITH LEVEL BOTTOMS, WITH THE WIDTH TWICE THE DIAMETER OF ROOT BALL. THE ROOT BALL SHALL REST ON UNDISTURBED GRADE. EACH PLANT PIT SHALL BE BACKFILLED IN LAYERS WITH THE FOLLOWING PREPARED SOIL, MIXED THOROUGHLY:
- 1 PART PEAT MOSS
• 1 PART COMPOSTED COW MANURE BY VOLUME
• 3 PARTS TOPSOIL BY VOLUME
• 21 GRAMS 'AGRIFORM' PLANTING TABLETS (OR APPROVED EQUAL) AS FOLLOWS:
- A) 2 TABLETS PER 1 GALLON PLANT
B) 3 TABLETS PER 5 GALLON PLANT
C) 4 TABLETS PER 15 GALLON PLANT
D) LARGER PLANTS: 2 TABLETS PER 1/2" CALIPER OF TRUNK
- J. FILL PREPARED SOIL AROUND BALL OF PLANT HALF-WAY AND INSERT PLANT TABLETS. COMPLETE BACKFILL AND WATER THOROUGHLY.
- K. ALL PLANTS SHALL BE PLANTED SO THAT THE TOP OF THE ROOT BALL, THE POINT AT WHICH THE ROOT FLARE BEGINS, IS SET AT GROUND LEVEL AND IN THE CENTER OF THE PIT. NO SOIL IS TO BE PLACED DIRECTLY ON TOP OF THE ROOT BALL.
- L. ALL PROPOSED TREES DIRECTLY ADJACENT TO WALKWAYS OR DRIVEWAYS SHALL BE PRUNED AND MAINTAINED TO A MINIMUM BRANCHING HEIGHT OF 7' FROM GRADE.
- M. GROUND COVER AREAS SHALL RECEIVE A 1/2" LAYER OF HUMUS RAKED INTO THE TOP 1" OF PREPARED SOIL PRIOR TO PLANTING. ALL GROUND COVER AREAS SHALL BE WEEDED AND TREATED WITH A PRE-EMERGENT CHEMICAL AS PER MANUFACTURER'S RECOMMENDATION.
- N. NO PLANT, EXCEPT GROUND COVERS, GRASSES OR VINES, SHALL BE PLANTED LESS THAN TWO FEET (2') FROM EXISTING STRUCTURES AND SIDEWALKS.
- O. ALL PLANTING AREAS AND PLANTING PITS SHALL BE MULCHED AS SPECIFIED HEREIN TO FILL THE ENTIRE BED AREA OR SAUCER. NO MULCH IS TO TOUCH THE TRUNK OF THE TREE OR SHRUB.
- P. ALL PLANTING AREAS SHALL BE WATERED IMMEDIATELY UPON INSTALLATION IN ACCORDANCE WITH THE WATERING SPECIFICATIONS AS LISTED HEREIN.

9. TRANSPLANTING (WHEN REQUIRED)

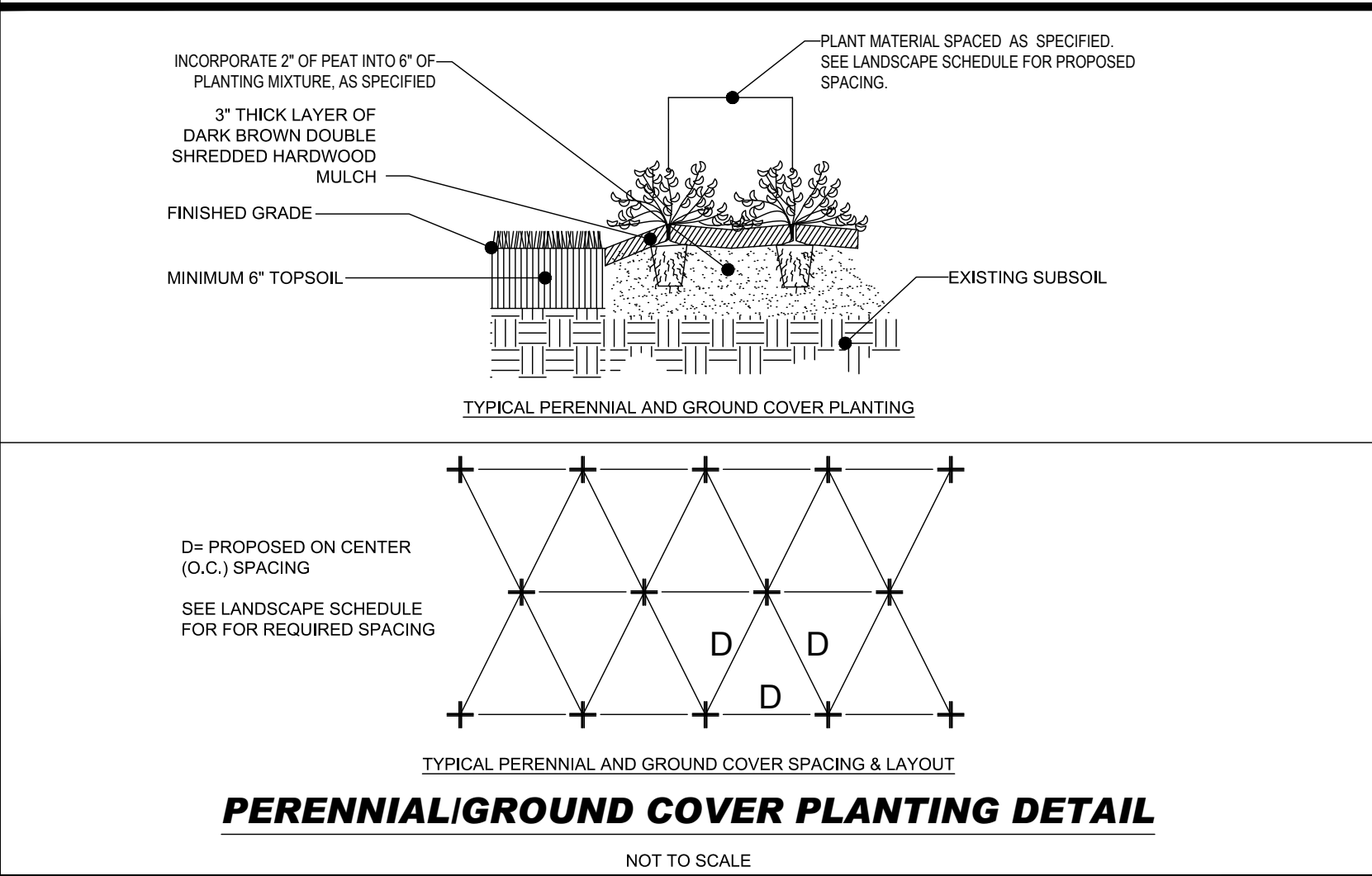
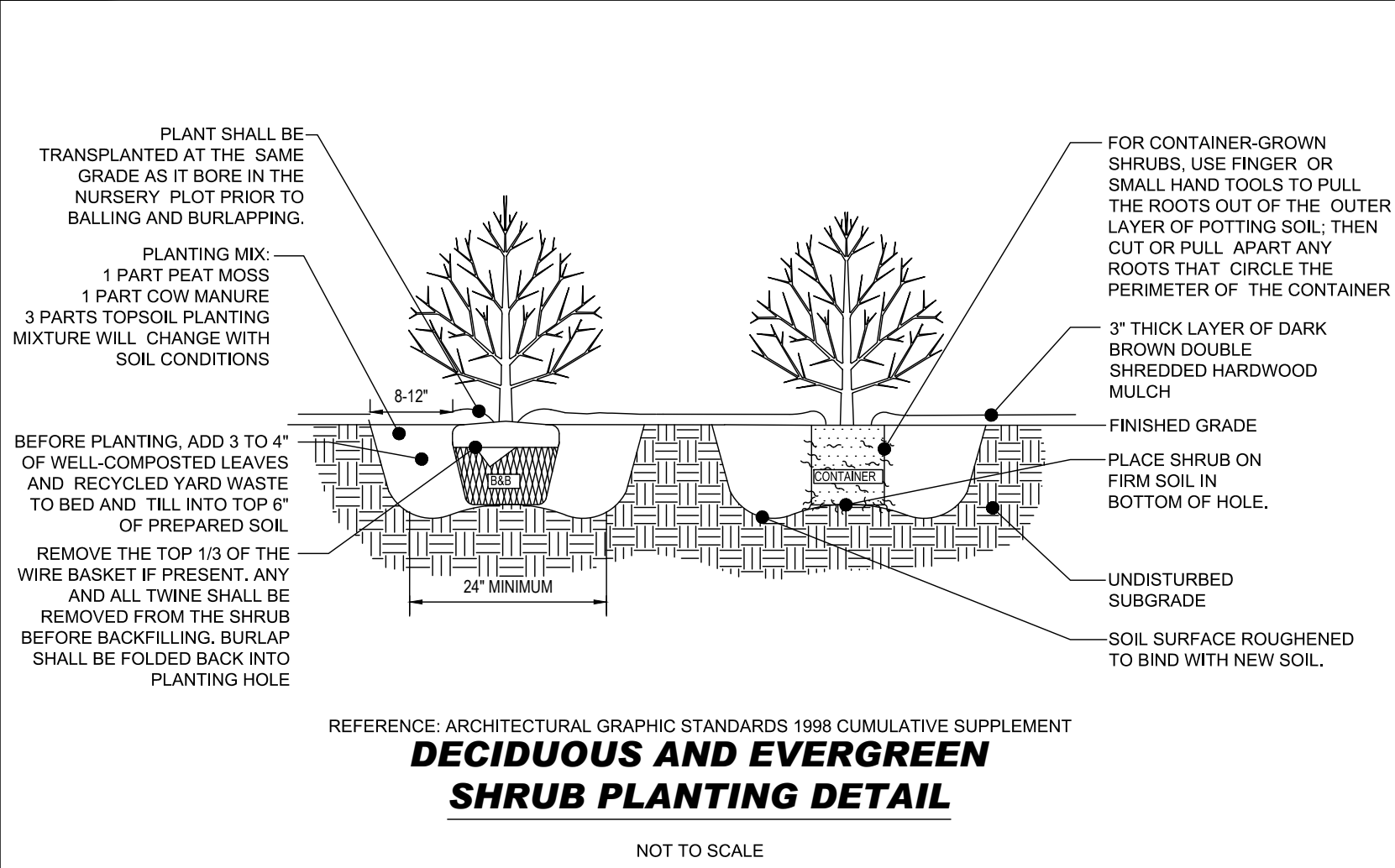
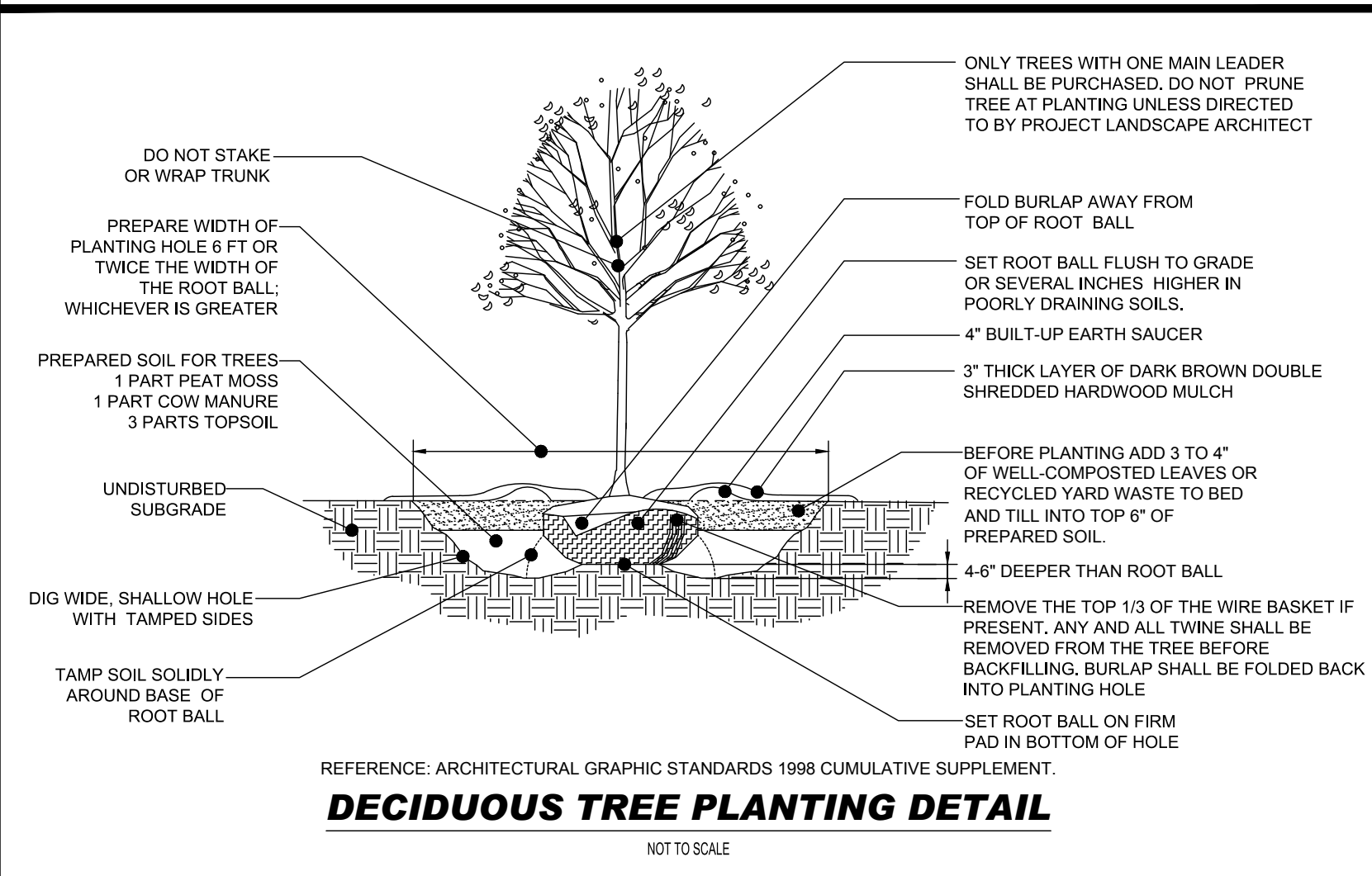
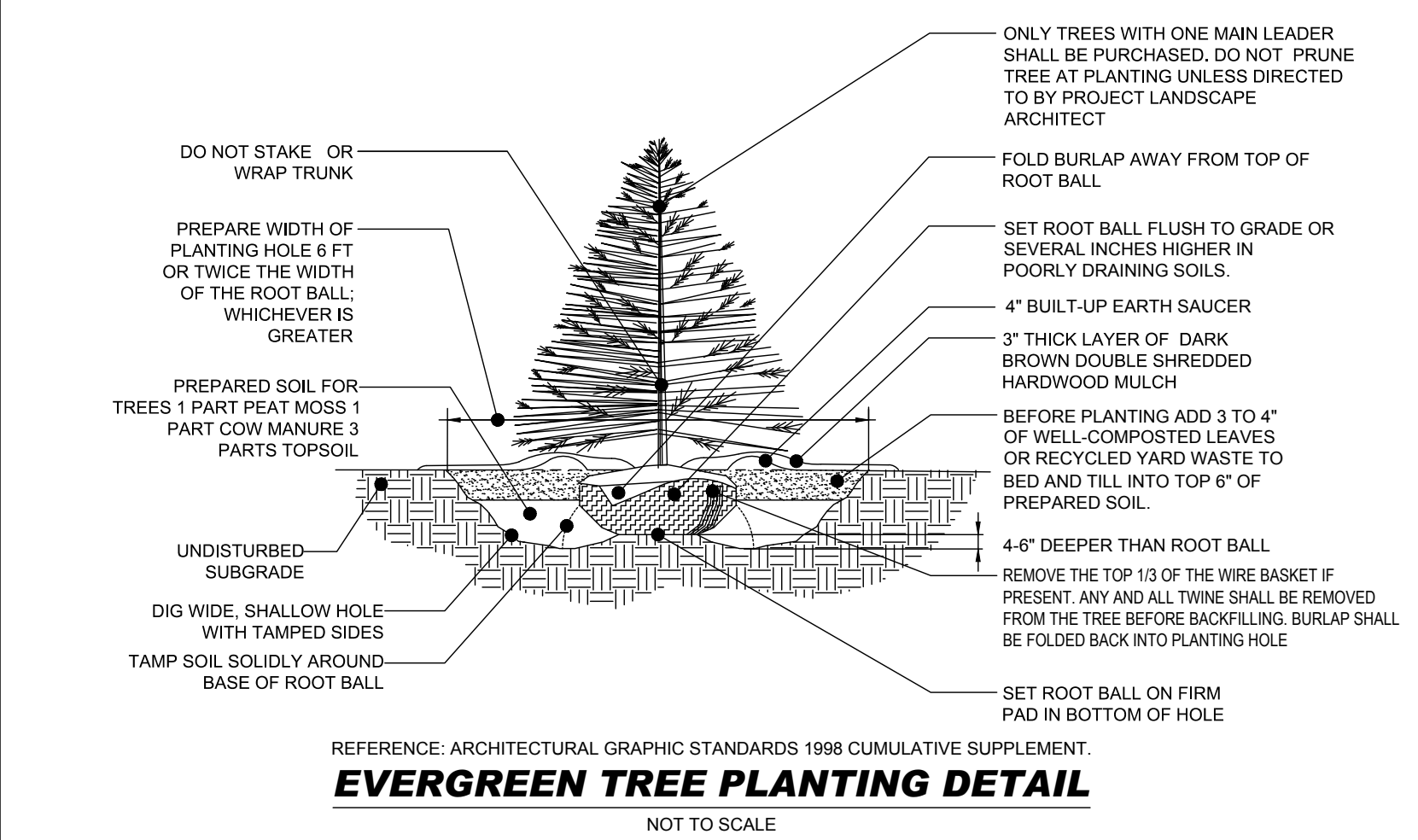
- A. ALL TRANSPLANTS SHALL BE DUG WITH INTACT ROOT BALLS CAPABLE OF SUSTAINING THE PLANT.
- B. IF PLANTS ARE TO BE STOCKPILED BEFORE REPLANTING, THEY SHALL BE HEALED IN WITH MULCH OR SOIL, ADEQUATELY WATERED AND PROTECTED FROM EXTREME HEAT, SUN AND WIND.
- C. PLANTS SHALL NOT BE DUG FOR TRANSPLANTING BETWEEN APRIL 10 AND JUNE 30.
- D. UPON REPLANTING, BACKFILL SOIL SHALL BE AMENDED WITH FERTILIZER AND ROOT GROWTH HORMONE.
- E. TRANSPLANTS SHALL BE GUARANTEED FOR THE LENGTH OF THE GUARANTEE PERIOD SPECIFIED HEREIN.
- F. IF TRANSPLANTS DIE, SHRUBS AND TREES LESS THAN SIX INCHES (6") DBH SHALL BE REPLACED IN KIND. TREES GREATER THAN SIX INCHES (6") DBH MAY BE REQUIRED TO BE REPLACED IN ACCORDANCE WITH THE MUNICIPALITY'S TREE REPLACEMENT GUIDELINES.

10. WATERING

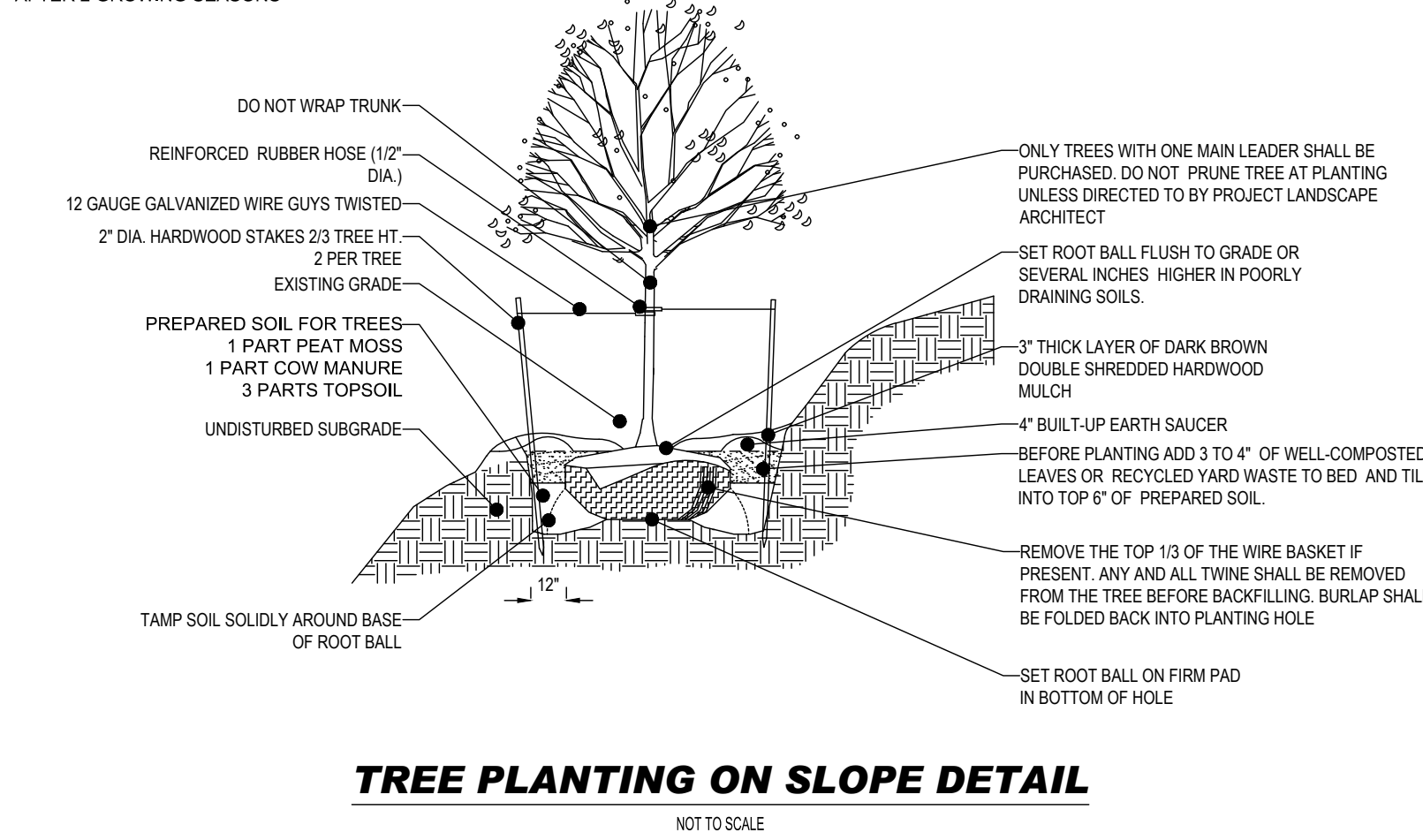
- A. NEW PLANTINGS OR LAWN AREAS SHALL BE ADEQUATELY IRRIGATED BEGINNING IMMEDIATELY AFTER PLANTING. WATER SHALL BE APPLIED TO EACH TREE AND SHRUB IN SUCH MANNER AS NOT TO DISTURB BACKFILL AND TO THE EXTENT THAT ALL MATERIALS IN THE PLANTING HOLE ARE THOROUGHLY SATURATED. WATERING SHALL CONTINUE AT LEAST UNTIL PLANTS ARE ESTABLISHED.
- B. SITE OWNER SHALL PROVIDE WATER IF AVAILABLE ON SITE AT TIME OF PLANTING. IF WATER IS NOT AVAILABLE ON SITE, CONTRACTOR SHALL SUPPLY ALL NECESSARY WATER. THE USE OF WATERING BAGS IS RECOMMENDED FOR ALL NEWLY PLANTED TREES.
- C. IF AN IRRIGATION SYSTEM HAS BEEN INSTALLED ON THE SITE, IT SHALL BE USED TO WATER PROPOSED PLANT MATERIAL, BUT ANY FAILURE OF THE SYSTEM DOES NOT ELIMINATE THE CONTRACTOR'S RESPONSIBILITY OF MAINTAINING THE DESIRED MOISTURE LEVEL FOR VIGOROUS, HEALTHY GROWTH.

11. GUARANTEE

- A. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF ONE (1) YEAR FROM APPROVAL OF LANDSCAPE INSTALLATION BY THE APPROVING AGENCY. CONTRACTOR SHALL SUPPLY THE OWNER WITH A MAINTENANCE BOND FOR TEN PERCENT (10%) OF THE VALUE OF THE LANDSCAPE INSTALLATION WHICH WILL BE RELEASED AT THE CONCLUSION OF THE GUARANTEE PERIOD AND WHEN A FINAL INSPECTION HAS BEEN COMPLETED AND APPROVED BY THE OWNER OR AUTHORIZED REPRESENTATIVE.
- B. ANY DEAD OR DYING PLANT MATERIAL SHALL BE REPLACED FOR THE LENGTH OF THE GUARANTEE PERIOD. REPLACEMENT OF PLANT MATERIAL SHALL BE CONDUCTED AT THE FIRST SUCCEEDING PLANTING SEASON. ANY DEBRIS SHALL BE DISPOSED OF OFF-SITE, WITHOUT EXCEPTION.
- C. TREES AND SHRUBS SHALL BE MAINTAINED BY THE CONTRACTOR DURING CONSTRUCTION AND THROUGHOUT THE 90 DAY MAINTENANCE PERIOD AS SPECIFIED HEREIN. CULTIVATION, WEEDING, WATERING AND THE PREVENTATIVE TREATMENTS SHALL BE PERFORMED AS NECESSARY TO KEEP PLANT MATERIAL IN GOOD CONDITION AND FREE OF INSECTS AND DISEASE.
- D. LAWNS SHALL BE MAINTAINED THROUGH WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING AND OTHER OPERATIONS SUCH AS ROLLING, REGARDING AND REPLANTING AS REQUIRED TO ESTABLISH A SMOOTH, ACCEPTABLE LAWN, FREE OF ERODED OR BARE AREAS.
12. CLEANUP
- A. UPON THE COMPLETION OF ALL LANDSCAPE INSTALLATION AND BEFORE THE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL UNUSED MATERIALS, EQUIPMENT AND DEBRIS FROM THE SITE. ALL PAVED AREAS ARE TO BE CLEARED.
- B. THE SITE SHALL BE CLEANED AND LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER OR AUTHORIZED REPRESENTATIVE.



NOTE: TREE STAKING TO BE REMOVED AFTER 2 GROWING SEASONS



TREE PLANTING ON SLOPE DETAIL

NOT TO SCALE

SEEDING SPECIFICATIONS

1. PRIOR TO SEEDING, AREA IS TO BE TOPSOILED, FINE GRADED, AND RAKED OF ALL DEBRIS LARGER THAN 2" DIAMETER.
2. PRIOR TO SEEDING, CONSULT MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS.
3. SEEDING RATES:
- | SEED TYPE | SEEDING RATE |
|-----------------------|--------------------|
| PERENNIAL RYEGRASS | 12 LBS/1,000 SQ FT |
| KENTUCKY BLUEGRASS | 1 LBS/1,000 SQ FT |
| RED FESCUE | 1 LBS/1,000 SQ FT |
| SPREADING FESCUE | 1 LBS/1,000 SQ FT |
| FERTILIZER (20-10-10) | 90 LBS/1,000 SQ FT |
4. GERMINATION RATES WILL VARY AS TO TIME OF YEAR FOR SOWING. CONTRACTOR TO IRRIGATE SEEDED AREA UNTIL AN ACCEPTABLE STAND OF COVER IS ESTABLISHED BY OWNER.

OWNER MAINTENANCE RESPONSIBILITIES

- UPON OWNER'S (OR OWNER CONTRACTOR'S) COMPLETION OF LANDSCAPING WORK, THE OWNER IS FULLY RESPONSIBLE FOR ALL FUTURE MAINTENANCE, CARE, UPRKEP, WATERING, AND TRIMMING OF ALL INSTALLED VEGETATION, PLANTS, TREE, BUSHES, SHRUBS, GRASSES, GRASS, ORNAMENTAL PLANTS AND FLOWERS, FLOWERS, GROUND COVER, AND LANDSCAPING, INCLUDING ALL LANDSCAPE ISLANDS AND AREAS ADJACENT PARTS OF THE LANDSCAPED AREAS. THIS RESPONSIBILITY INCLUDES, BUT IS NOT LIMITED TO, THE FOLLOWING:
- TREES ADJACENT TO WALKWAYS AND AREAS OF PEDESTRIAN TRAFFIC MUST BE MAINTAINED TO ASSURE THAT ANY BRANCHES MUST BE LIMBED UP TO A CLEARANCE HEIGHT OF 7 FT. (FROM ALL PEDESTRIAN SURFACES) OR PRUNED BACK TO AVOID ANY INTERFERENCE WITH THE TYPICAL PATH OF TRAVEL.
 - TREES WITHIN VEHICULAR SIGHT LINES, AS ILLUSTRATED ON THE LANDSCAPE PLAN, ARE TO BE TRIMMED TO A CLEARANCE HEIGHT OF 7 FT. (FROM ALL PAVED, TRAVELED SURFACES), OR AS OTHERWISE INDICATED ON THE PLANS.
 - VEGETATIVE GROUND COVER, SHRUBS AND ORNAMENTAL PLANTS AND GRASSES MUST BE TRIMMED SO THAT NO PORTION OF THE PLANT EXCEEDS 30 INCHES ABOVE GRADE (OF ALL PAVED, TRAVELED SURFACES) ALONG AND WITHIN THE SIGHT LINES OF PARKING LOTS AND INGRESS-EGRESS WAYS.
 - FALLEN PLANT FLOWERS, FRUIT, SEEDS AND DEBRIS DROPPINGS ARE TO BE REMOVED IMMEDIATELY FROM VEHICULAR AND PEDESTRIAN TRAFFIC AREAS TO PREVENT TRIPPING, SLIPPING OR ANY OTHER HAZARDS.

THESE REQUIREMENTS DO NOT AFFECT THE PLANT LIFE GUARANTEES THE LANDSCAPE CONTRACTOR IS REQUIRED TO PROVIDE.

Tree Canopy Coverage Schedule for Sec. 25-128				
Project Name:	TCP2#:	DRD Case #:	Area (acres)	
Arcland Self Storage				
Site Calculations:				
	Zone 1:		4.56	
	Zone 2:			
	Zone 3:			
	Zone 4:			
	Total Acres:		4.56	
		TCC Required (Acres)	TCC Required (in SF)	
Total Acres (gross acres)	4.56	% of TCC required	0.46	19863
TOTAL ON-SITE WC PROVIDED (acres) =		1.97	acres	85813.2
TOTAL AREA EXISTING TREES (non-WC acres) =			acres	0
TOTAL SQUARE FOOTAGE IN LANDSCAPE TREES =				1920
TOTAL TREE CANOPY COVERAGE PROVIDED =				87733
TOTAL SQUARE FOOTAGE REQUIRED =				19863
			Requirement	Satisfied

Credit Categories for Landscape Trees	TCC Credit per Tree Based on Size at Planting (SF)	Number of Trees	TCC Credit (SF)
Deciduous - columnar shade tree (50' or less height)	2-1/2' - 3" = 65 3 - 3 1/2" = 75		
Deciduous - ornamental tree (20' or less height with equal spread). Minimum planting size 7 - 9' in height	1-1/2' - 1 3/4" = 75 2 - 2 1/2" = 100		
Deciduous - minor shade tree (25-50' height with equal spread or greater). Minimum planting size 8-10' in height	2 - 1/2' - 3" = 110 2-1/2' - 3" = 160	12	19
Deciduous - major shade tree (50' and greater ht. with spread equal to or greater than ht) Minimum planting size 12 to 14' in height	3 - 3 1/2" = 175 2-1/2' - 3" = 225 3 - 3 1/2" = 250		
Evergreen - columnar tree (less than 30' height with spread less than 15')	6 - 8" = 40 8 - 10" = 50 10 - 12" = 75		
Evergreen - small tree (30-40' height with spread of 15-20')	6 - 8" = 75 8 - 10" = 100 10 - 12" = 125		
Evergreen - medium tree (40-50' height with spread of 20-30')	6 - 8" = 125 8 - 10" = 150 10 - 12" = 175		
Evergreen - large tree (50' height or greater with spread of over 30')	6 - 8" = 150 8 - 10" = 200 10 - 12" = 250		
TOTAL NUMBER OF TREES/TCC CREDIT (SF)		12	19
(Manually enter information/figures into shaded areas)			
Bohler Engineering		7/28/2021	
Prepared by		Date	

BOHLER

SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS

REV	DATE	COMMENT	PER MNCPPC COMMENTS	LMT	DRWN BY
1	1/11/22			MGNS	



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NOT APPROVED FOR CONSTRUCTION

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: MB202090
DRAWN BY: LMT
CHECKED BY: NBS
DATE: 07/15/2021
CAD ID: LSP-0

PROJECT:

DETAILED SITE PLAN

FOR

ARCLAND SELF STORAGE

PROPOSED DEVELOPMENT

8310 DANGERFIELD RD.
PRINCE GEORGE'S COUNTY
CLINTON, MD 20735
TM: 117 GRID; B1 LOT: 34

BOHLER

16701 MELFORD BLVD., SUITE 310
BOWIE, MARYLAND 20715
Phone: (301) 809-4501
Fax: (301) 809-4501
MD@BohlerEng.com

E.R. McWILLIAMS

REGISTERED LANDSCAPE ARCHITECT
PROFESSIONAL CERTIFICATION
I, E.R. McWILLIAMS, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 3807, EXPIRATION DATE: 9/2022

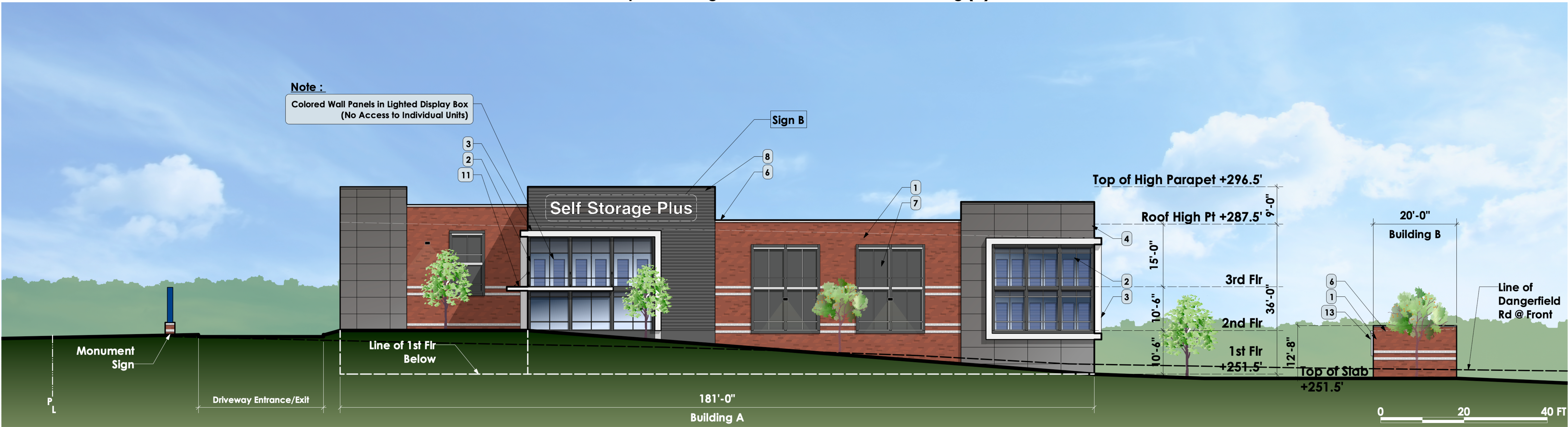
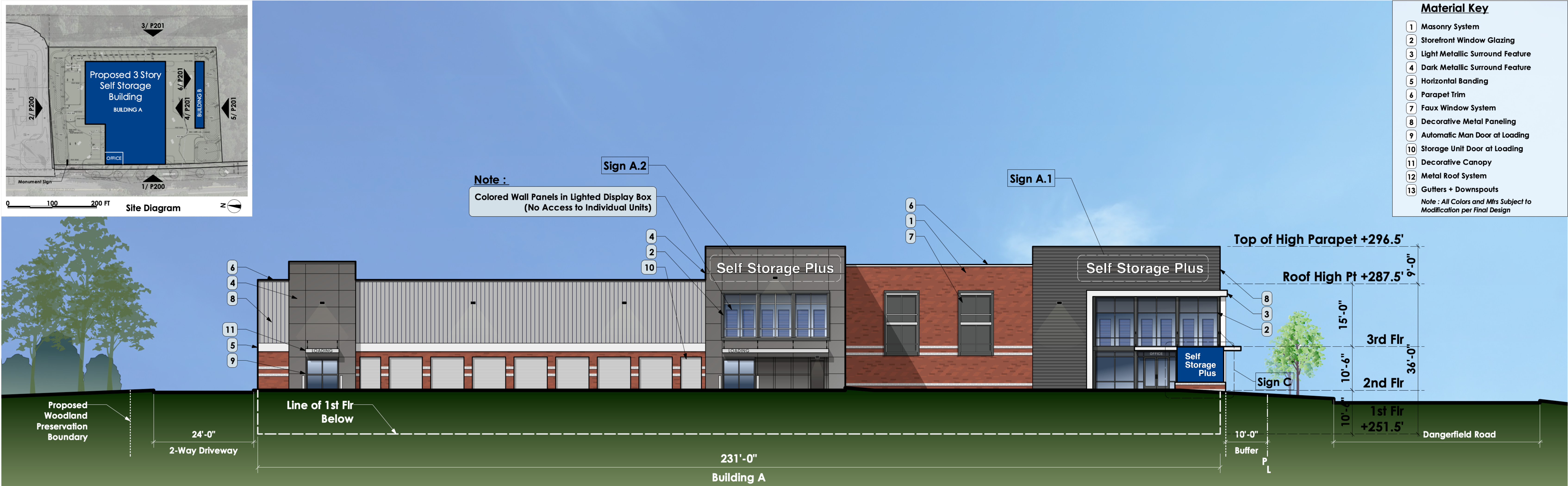
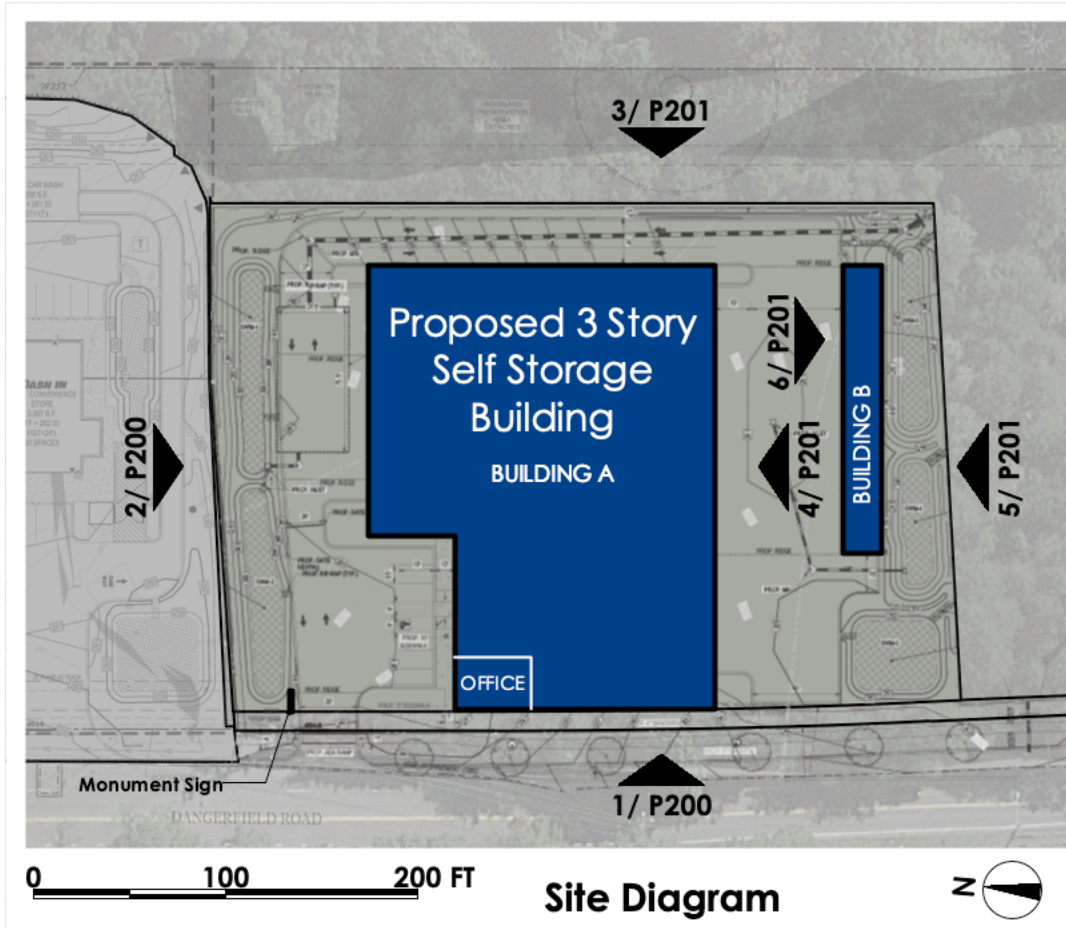
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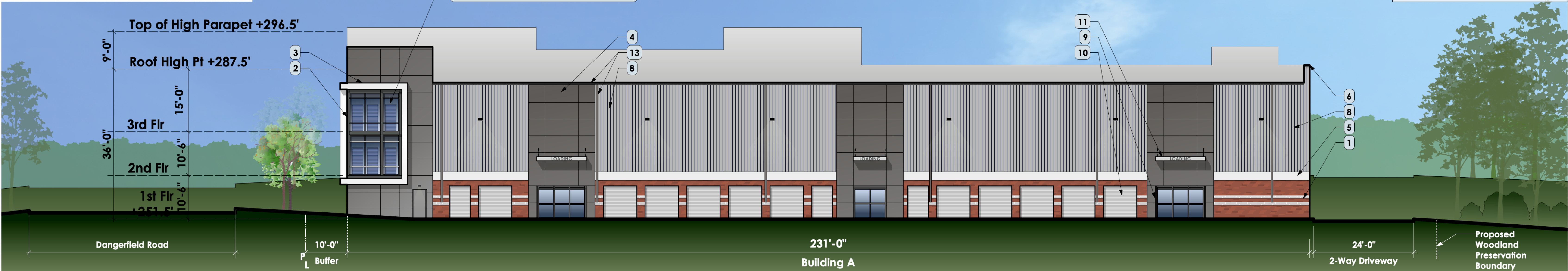
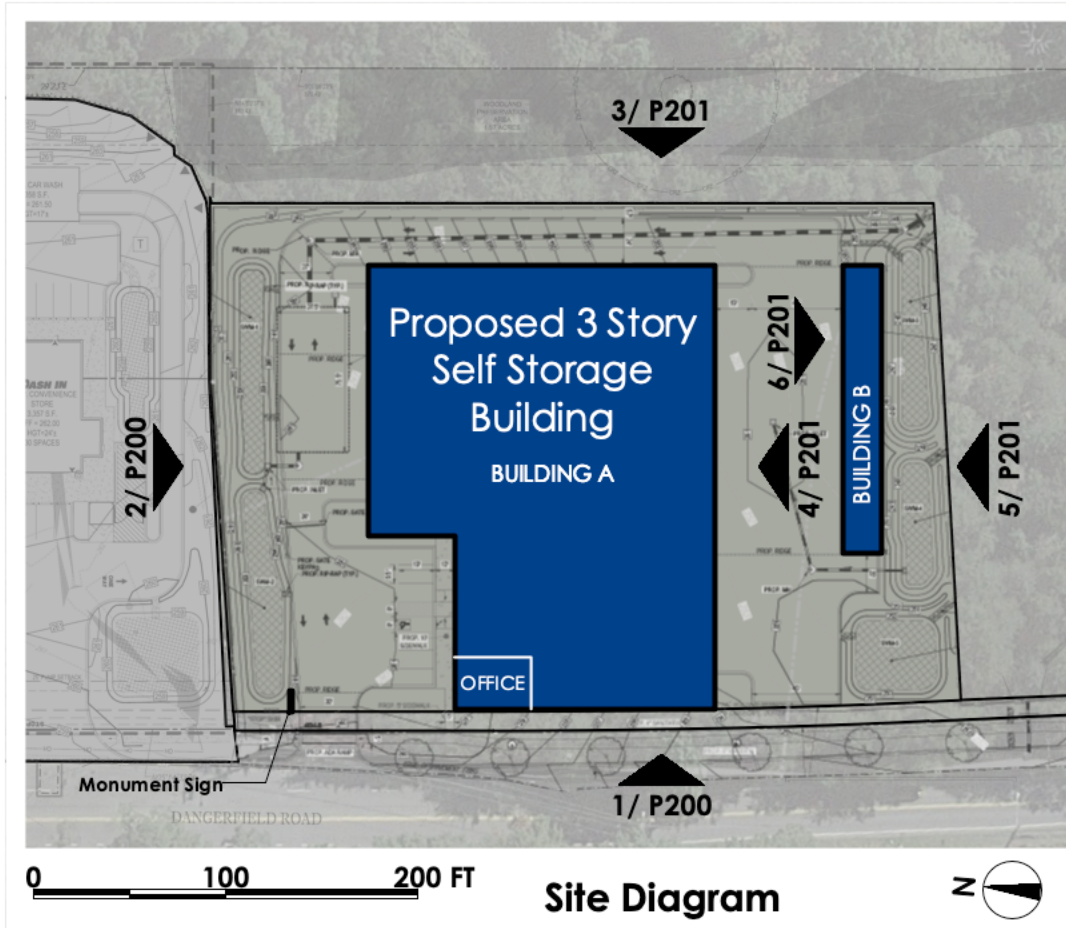
LANDSCAPE NOTES & DETAILS

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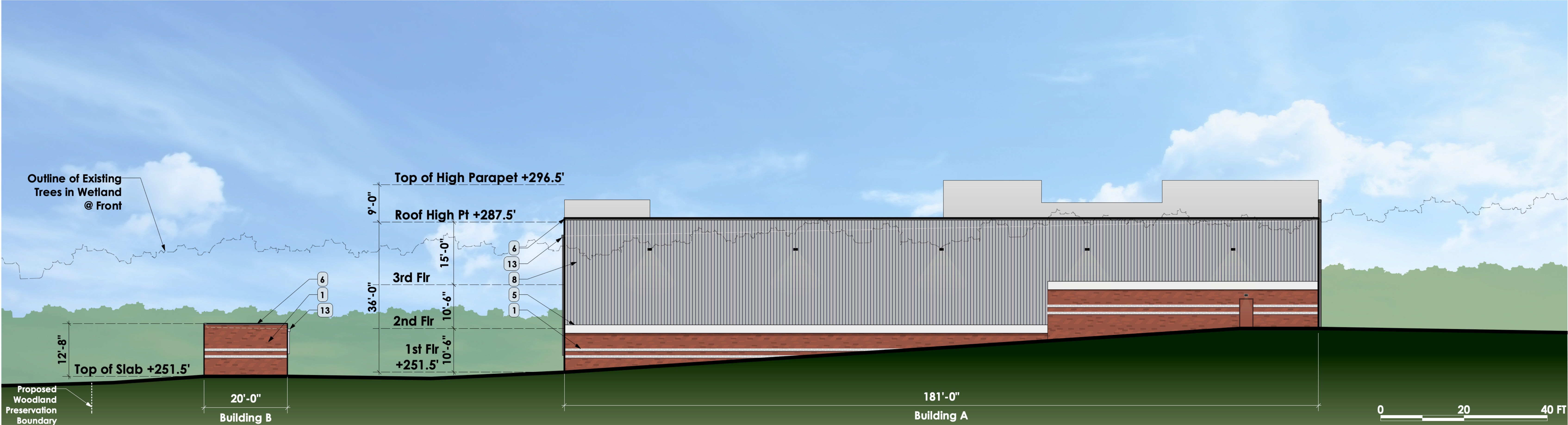
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REVISION 1 - 02/09/2021

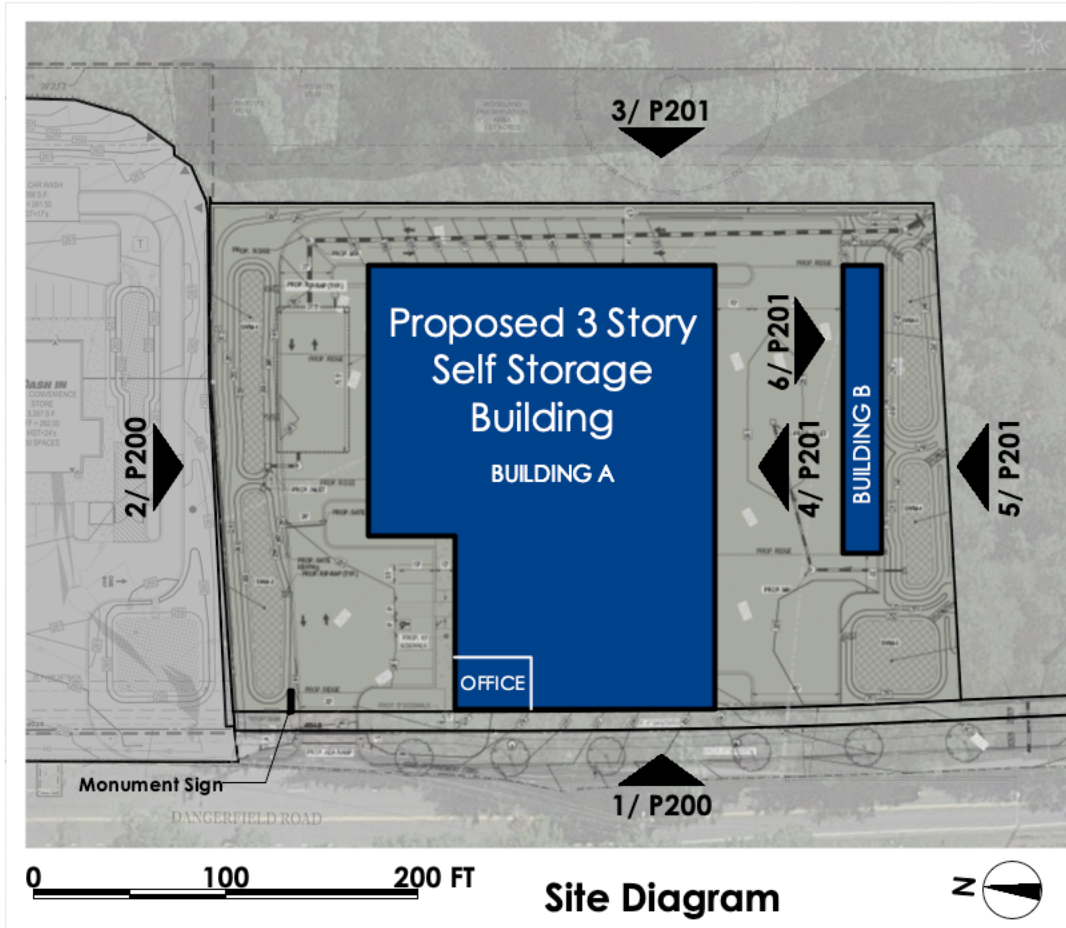




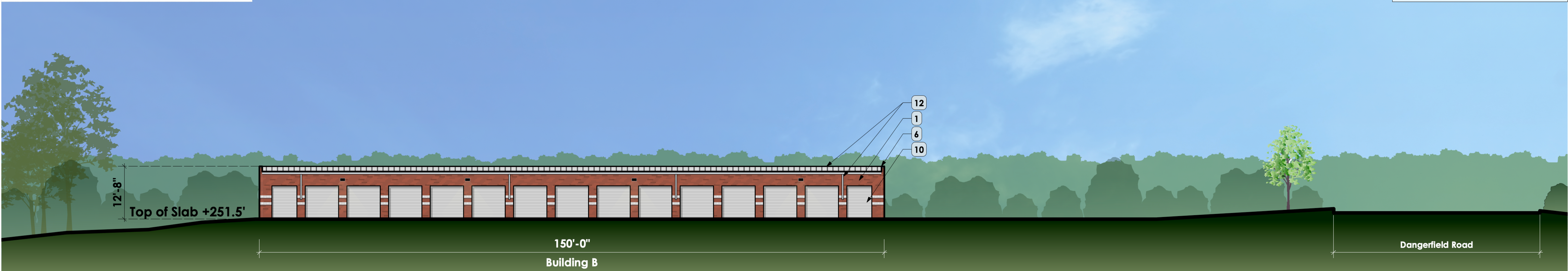
4 - Proposed Design-Side Elevation at 1st Flr Loading (S)



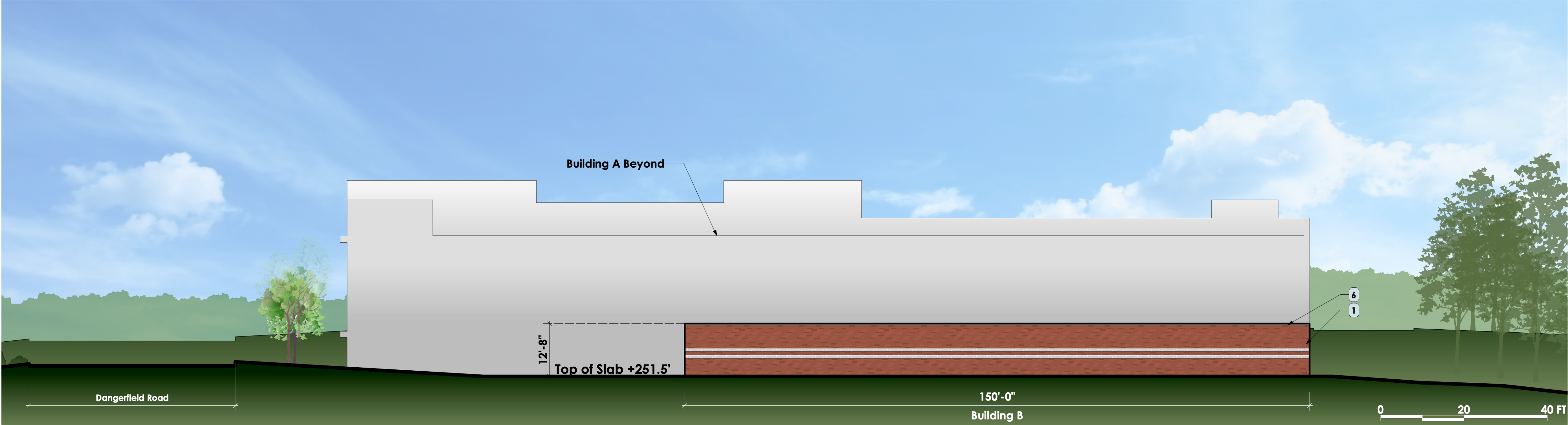
3 - Proposed Design-Rear Elevation Along Preservation Area (E)



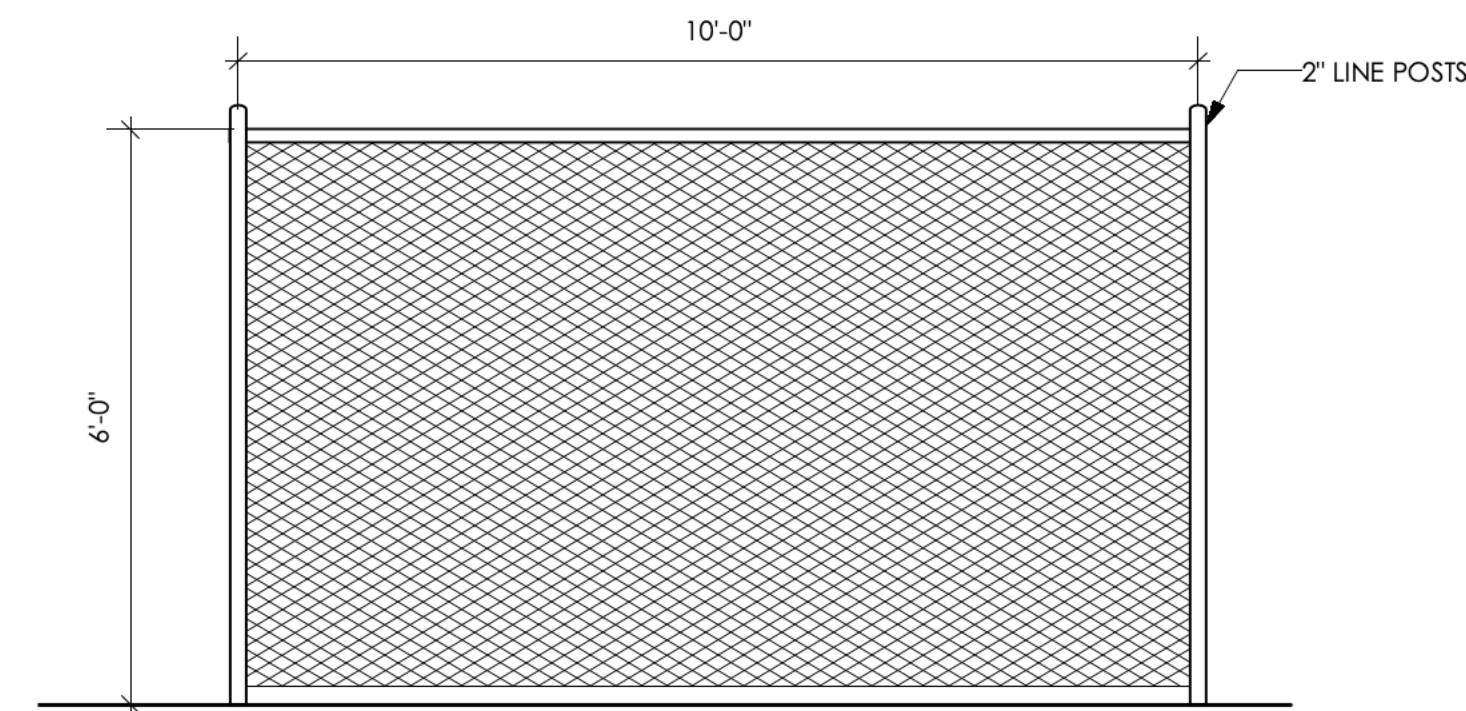
Material Key	
1	Masonry System
2	Storefront Window Glazing
3	Light Metallic Surround Feature
4	Dark Metallic Surround Feature
5	Horizontal Banding
6	Parapet Trim
7	Faux Window System
8	Decorative Metal Paneling
9	Automatic Man Door at Loading
10	Storage Unit Door at Loading
11	Decorative Canopy
12	Metal Roof System
13	Gutters + Downspouts
Note : All Colors and Mfrs Subject to Modification per Final Design	



6 - Proposed Design-Side Elevation at 1st Flr Loading (S)

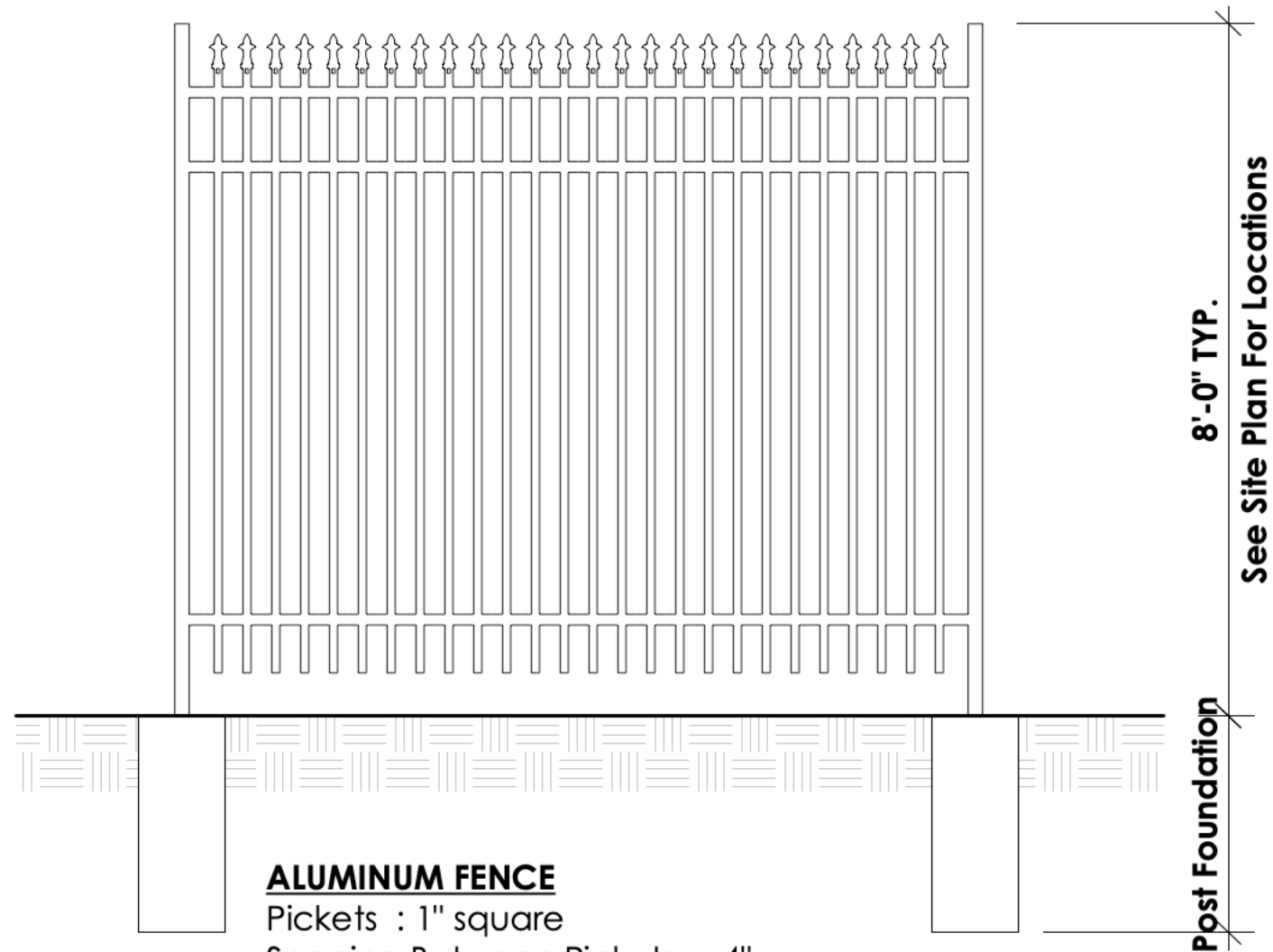


5 - Proposed Design-Rear Elevation Along Preservation Area (E)



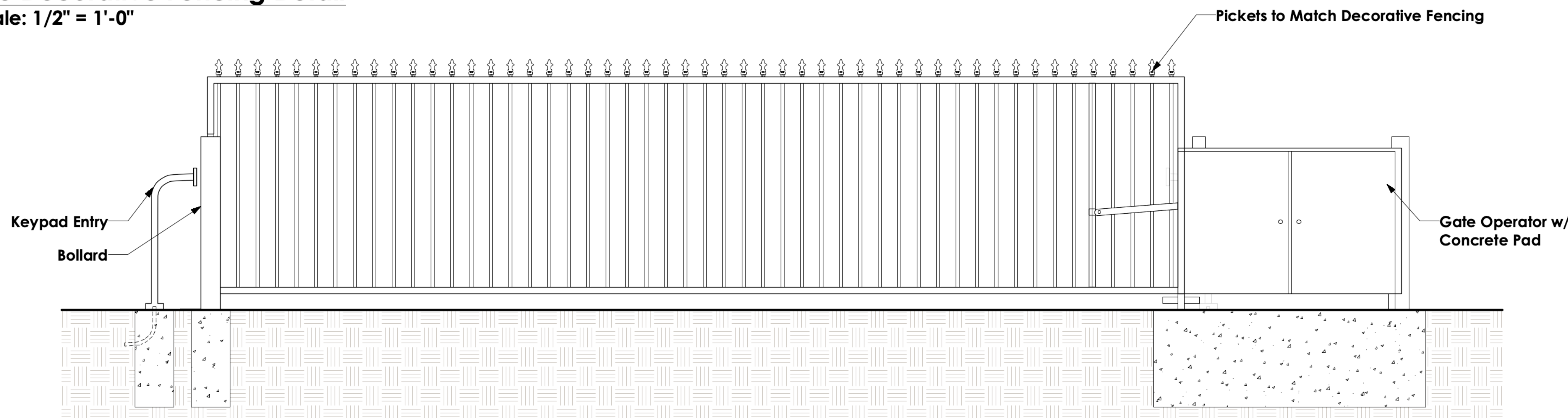
VINYL DIPPED CHAIN LINK FENCE
Line Posts: 2" vinyl coated structural pipe 2.20lbs. per foot, black, with cap
Terminal Posts: 2-1/2" vinyl coated structural pipe, 2.78 lbs. per foot
Bracing: Terminal posts shall be braced to the nearest line post with 1-5/8" O.D. vinyl coated structural pipe.
Tension Wire: 9GA. Smooth wire vinyl coated tension wire attached to the bottom of the fence fabric with 9GA. aluminum hog ring spaced 18" on center.
Fittings: Vinyl coated in all areas
Post Spacing: 10' on center
Height: - 6'0"
Color: - Black
Opacity: - Min. 95% opacity required

7 Site Chain Link Fencing Detail
P500 Scale: 1/2" = 1'-0"

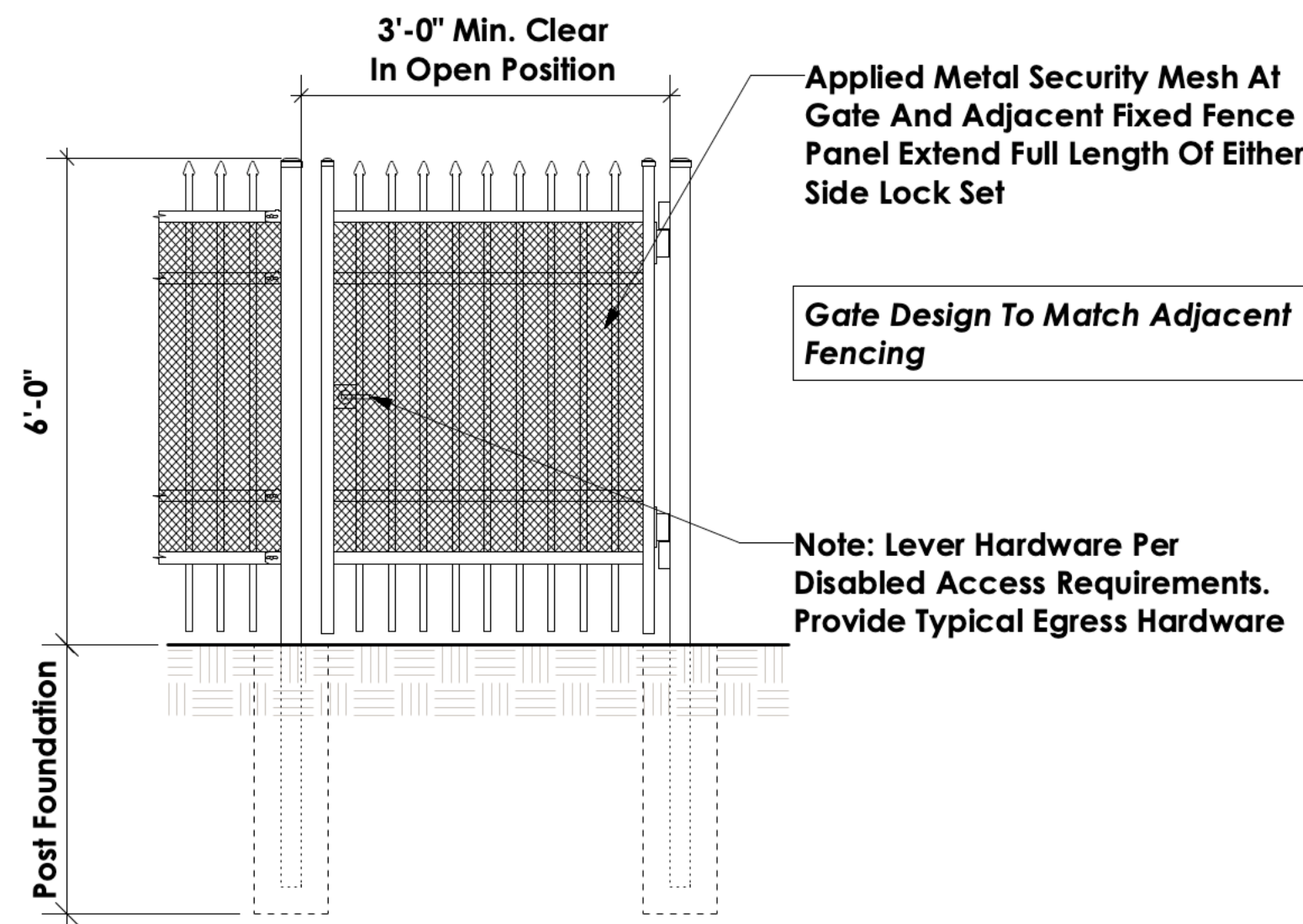


ALUMINUM FENCE
Pickets : 1" square
Spacing Between Pickets : 4"
Horizontal Rails : 1 5/8" square
Posts : 4" sq.
Post Spacing : 71 1/2" on center
Height - 96"
Color - Black, Mfr. prefinished.
Weight Supported : 1,000+ lbs. per section

6 Site Decorative Fencing Detail
P500 Scale: 1/2" = 1'-0"

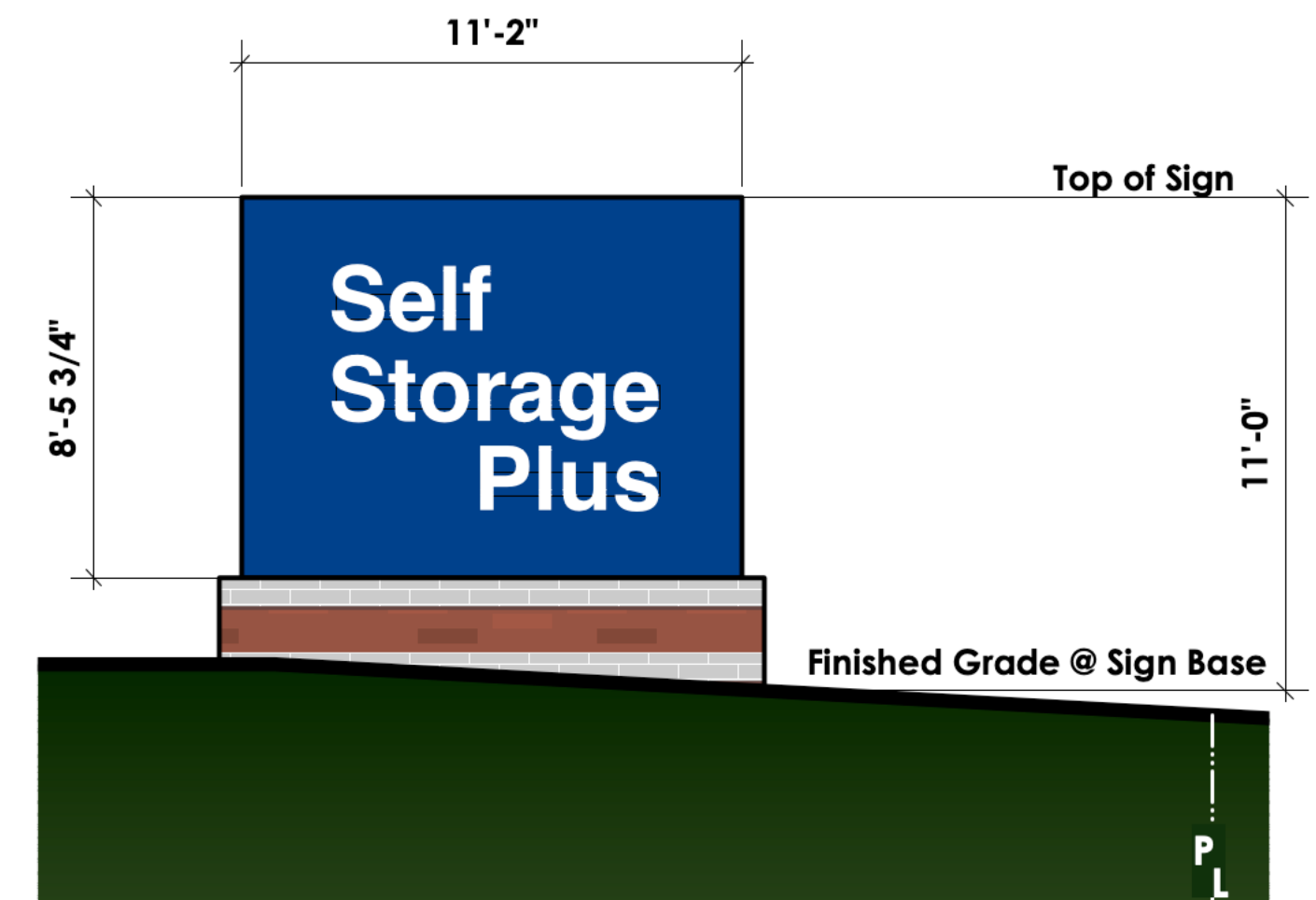


4 Site Vertical Pivot Gate Detail
P500 Scale: 1/2" = 1'-0"



5 Site Man Gate Detail
P500 Scale: 1/2" = 1'-0"

PROPOSED FREESTANDING SIGN D ANALYSIS						
SIGN	QUANTITY	TYPE	WIDTH	HEIGHT	AREA	ILLUMINATION
C	1	FREESTANDING	11' - 2"	8' - 5 3/4"	94.68 SF	Internally
Per 27-614(b)(1) MAXIMUM SIGN HEIGHT) :					25' - 0"	SIGNAGE COMPLIES
PROPOSED FREESTANDING SIGN HEIGHT :					11' - 2"	
Per 27-614(c)(3)(B) ALLOWED FREESTANDING SIGN AREA (379 LF / 4 = 94.75 SF) :					94.75 SF	SIGNAGE COMPLIES
PROPOSED FREESTANDING SIGN AREA :					94.68 SF	



3 Freestanding Sign C - 94.68 SF
P500 Scale: 1/4" = 1'-0"

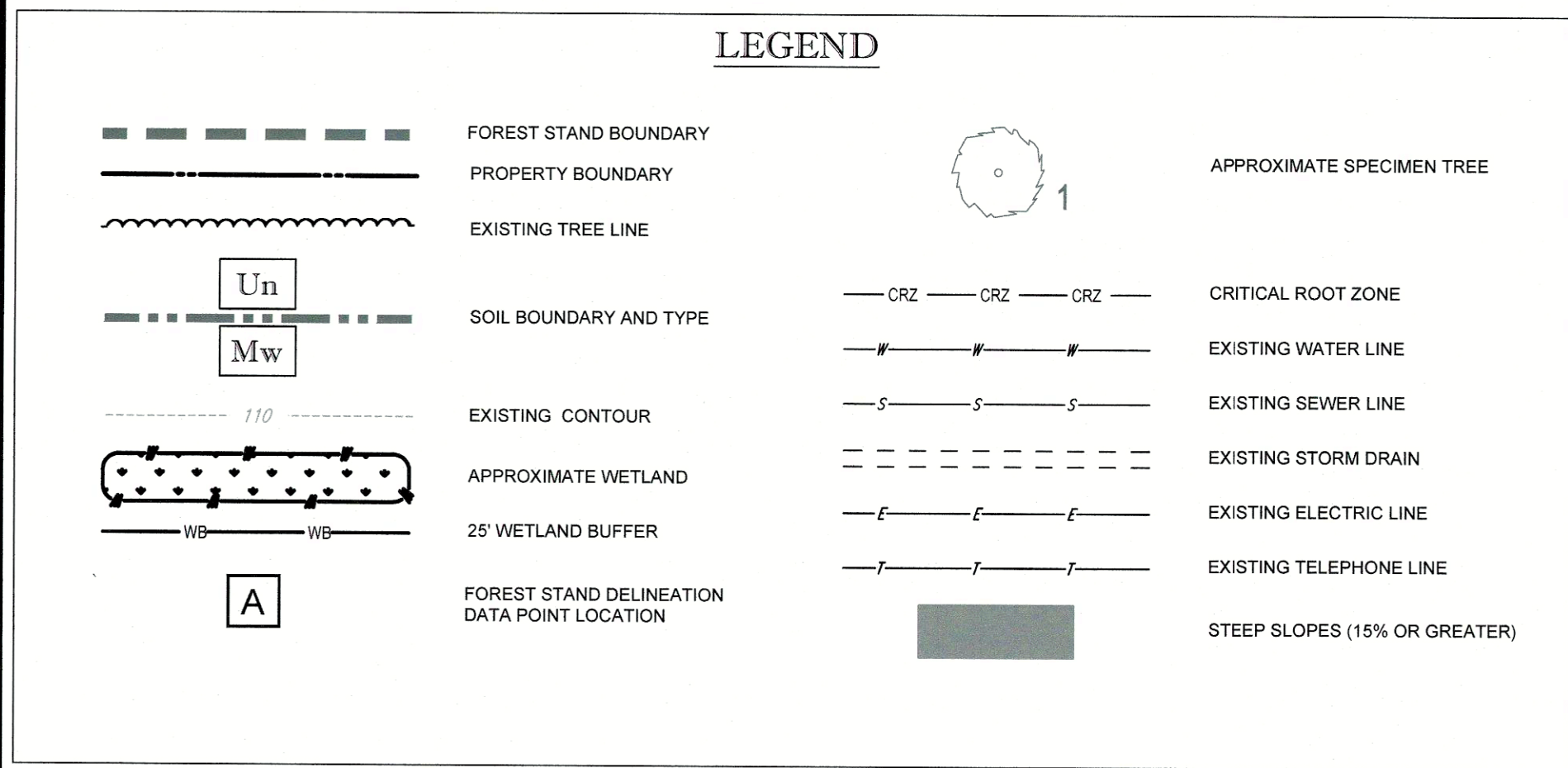


2 Wall-Mounted Sign B - 136 SF
P500 Scale: 1/4" = 1'-0"



1 Wall-Mounted Signs A.1, A.2 - 92.16 SF Each
P500 Scale: 1/4" = 1'-0"

PROPOSED WALL-MTD SIGNAGE ANALYSIS						
SIGN	QUANTITY	TYPE	WIDTH	HEIGHT	AREA	ILLUMINATION
A.1	1	Wall-Mounted	28' - 0"	3' - 3 1/2"	92.16 SF	Internally
A.2	1	Wall-Mounted	28' - 0"	3' - 3 1/2"	92.16 SF	Internally
B	1	Wall-Mounted	34' - 0"	4' - 0"	135.86 SF	Internally
TOTAL PROPOSED WALL-MOUNTED SIGN AREA :					320.18 SF	
Per 27-613(3)(B)(ii) TOTAL ALLOWED WALL-MOUNTED SIGN AREA (231 LF x 2 = 462, Max 400 SF) :					400.0 SF	SIGNAGE COMPLIES
Per 27-591(a) 50% Area Reduction : TOTAL CALCULATED WALL-MOUNTED SIGN AREA (479.2/2 = 239.6) :					160.09 SF	



NATURAL RESOURCE INVENTORY GENERAL NOTES

1. THIS SITE IS ZONED C-S-C AND IS LOCATED IN ENVIRONMENTAL STRATEGY AREA 2 IN ACCORDANCE WITH PLAN 2035.
2. THE SOURCE OF THE PROPERTY BOUNDARIES ON THIS PLAN IS FROM AN ALTANSPS LAND TITLE SURVEY PREPARED BY BOHLER ENGINEERING ENTITLED: ALTANSPS LAND TITLE SURVEY 7-ELEVEN, INC. 8304 & 8310 DANGERFIELD ROAD 9TH ELECTION DISTRICT PRINCE GEORGE'S COUNTY, MARYLAND.
3. THE TOPOGRAPHY SHOWN ON THIS PLAN IS FROM AN ALTANSPS LAND TITLE SURVEY PREPARED BY BOHLER ENGINEERING ENTITLED: ALTANSPS LAND TITLE SURVEY 7-ELEVEN, INC. 8304 & 8310 DANGERFIELD ROAD 9TH ELECTION DISTRICT PRINCE GEORGE'S COUNTY, MARYLAND.
4. THE SOURCE OF THE SOILS INFORMATION ON THIS PLAN IS FROM THE USDA NRCS WEB SOIL SURVEY (WSS) IN A CUSTOM SOIL RESOURCE REPORT FOR AN AREA OF INTEREST (AOI) ESTABLISHED FOR THE SUBJECT SITE ONLY AND GENERATED ON JANUARY 19, 2018.
5. A REQUEST HAS BEEN SUBMITTED TO DPTE TO DETERMINE IF COUNTY REGULATED 100-YEAR FLOODPLAIN IS LOCATED ON THE SITE.
6. THE WETLAND AND STREAM INFORMATION ON THIS PLAN IS FROM A FIELD STUDY BY KENNETH R WALLIS OF WETLAND STUDIES AND SOLUTIONS, INC.
7. THIS SITE DOES NOT CONTAIN WETLANDS OF SPECIAL STATE CONCERN AS DEFINED IN COMAR 26.23.06.01.
8. THIS SITE DOES NOT CONTAIN A TIER II WATERBODY AS DEFINED IN COMAR 26.08.02.04.
9. THIS SITE IS NOT LOCATED WITHIN A STRONGHOLD WATERSHED AS ESTABLISHED BY THE MD DNR.
10. THIS SITE IS NOT WITHIN A SENSITIVE SPECIES PROTECTION REVIEW AREA BASED ON A REVIEW OF THE SSPRA GIS LAYER PREPARED BY THE HERITAGE AND WILDLIFE SERVICE, MARYLAND DEPARTMENT OF NATURAL RESOURCES.
11. THE SITE DOES NOT INCLUDE FOREST INTERIOR DWELLING SPECIES HABITAT.
12. THE SITE IS SUBJECT TO PREVIOUSLY APPROVED TCP'S. PREVIOUSLY APPROVED TCP'S INCLUDE: TCPI-021-93.
13. THERE ARE 3 SPECIMEN, CHAMPION AND/OR HISTORIC TREES LOCATED ON THE PROPERTY. THESE TREES WERE LOCATED USING SURVEYED LOCATIONS.
14. THE SITE IS ABUTTING WOODYARD ROAD (MD 233), A DESIGNATED HISTORIC ROAD IN THE VICINITY OF THE PROPERTY.
15. THE SUBJECT PROPERTY IS NOT LOCATED WITHIN A REGISTERED HISTORIC DISTRICT.
16. THERE ARE NO KNOWN ARCHEOLOGICAL SITES LOCATED ON THE SUBJECT PROPERTY; HOWEVER, THE SUBJECT PROPERTY HAS NOT BEEN SURVEYED FOR ARCHEOLOGICAL RESOURCES AND A PHASE I ARCHEOLOGY REPORT MAY BE REQUIRED DURING SUBSEQUENT DEVELOPMENT REVIEW PROCESSES.
17. MARLBORO CLAY AND CHRISTIANA CLAY ARE NOT FOUND TO OCCUR ON OR WITHIN THE VICINITY OF THIS PROPERTY.
18. THE SITE IS LOCATED IN THE VICINITY OF DANGERFIELD ROAD AND WOODYARD ROAD, MASTER PLANNED COLLECTOR AND ARTERIAL ROADWAYS THAT ARE REGULATED FOR NOISE. A NOISE STUDY MAY BE REQUIRED DURING SUBSEQUENT DEVELOPMENT REVIEW PROCESSES.
19. THE SUBJECT PROPERTY IS NOT LOCATED WITHIN THE 2009 JOINT BASE ANDREWS NOISE CONTOURS.
20. THE SITE IS NOT LOCATED WITHIN AN AVIATION POLICY AREA (APA).
21. THE SITE IS NOT LOCATED WITHIN THE CHESAPEAKE BAY CRITICAL AREA (CBCA).
22. AN APPROVED NRI IS VALID FOR FIVE YEARS FROM THE DATE OF SIGNATURE BY STAFF, OR UNTIL INFORMATION USED TO PREPARE THE NRI CHANGES. NRIS WILL BE REQUIRED TO BE REVISED AND RE-APPROVED IF THE BASE INFORMATION CHANGES SIGNIFICANTLY. APPROVAL OF THIS NRI IN NO WAY IMPARTS ANY OTHER DEVELOPMENT APPLICATION APPROVALS.

Site Statistics	Total
Gross Tract Area	6.79 ac.
Total Acreage 100-year Floodplain	0.00 ac.
Net Tract Area	6.79 ac.
Existing Woodland in the floodplain	0.00 ac.
Existing Woodland Net Tract	5.79 ac.
Existing Woodland Total	5.79 ac.
Existing PMA	0.00 ac.
Regulated Stream (linear feet of centerline)	0 lin. ft.
Riparian (wooded) buffer up to 300 feet wide	0.00 ac.

FOREST STAND SUMMARY SHEET	
Property: 8228 Woodyard Road	
Location: Clinton, Prince George's County, MD ADC Map #: 5767 Grid Coordinates: B7	
Prepared by: Kenneth R. Wallis of Wetland Studies and Solutions, Inc. Date: 01/15/18	
Stand Variable	Stand A
1. Dominant species/Co-dominant species	Virginia pine
2. Forest Association	Virginia pine
3. Successional Stage	Early
4. Basal Area in square feet per acre	165
5. Size class of dominant species	6-9.9"
6. Percent of canopy coverage	75
7. Number of tree species per acre	9
8. Common understory species	Quercus phellos, Ilex opaca,
9. Percent of understory cover 3' to 20' tall	5
10. Number of understory species 3' to 20' tall	2
11. Common herbaceous species	Vaccinium sp. Ilex opaca, Lonicera japonica
12. Percent of herbaceous & woody plant cover 0' to 3' tall	4
13. List of major invasive plant species	Lonicera japonica
14. Percent invasive species cover	2
15. Number of standing dead trees 6" >dbh	2
Comments	

FOREST STAND SUMMARY SHEET	
Property: 8228 Woodyard Road	
Location: Clinton, Prince George's County, MD ADC Map #: 5767 Grid Coordinates: B7	
Prepared by: Kenneth R. Wallis of Wetland Studies and Solutions, Inc. Date: 01/15/18	
Stand Variable	Stand B
1. Dominant species/Co-dominant species	Black oak/Chestnut oak
2. Forest Association	Mixed oak
3. Successional Stage	Mature
4. Basal Area in square feet per acre	135
5. Size class of dominant species	18-29.9"
6. Percent of canopy coverage	81
7. Number of tree species per acre	12
8. Common understory species	Diospyros virginiana, Quercus velutina, Acer rubrum, Pyrus calleryana, Quercus alba,
9. Percent of understory cover 3' to 20' tall	7
10. Number of understory species 3' to 20' tall	6
11. Common herbaceous species	Lonicera japonica, Allium vineale
12. Percent herbaceous & woody plant cover 0' to 3' tall	9
13. List of major invasive plant species	Lonicera japonica, Allium vineale, Pyrus calleryana
14. Percent invasive species coverage	6
15. Number of standing dead trees 6" >dbh	1
Comments	

GENERAL INFORMATION TABLE		
Layer Category	Layer Name	Value
Zone	Zoning (Zone)	C-S-C
Zone	Aviation Policy Area (APA) I	N/A
Administrative	Tax Grid (TMG)	117-A1/117-B1
Administrative	WSSC Grid (Sheet 20)	211SE07
Administrative	Policy Analysis Zone (PAZ)	N/A
Administrative	Planning Area (Plan Area)	81A
Administrative	Election District (ED)	9
Administrative	Councilmanic District (CD)	9
Administrative	General Plan 2002 Tier (Tier)	Developing
Administrative	Traffic Analysis Zone (COG) (TAZ-COG)	1338
Administrative	PG Traffic Analysis Zone (TAZ-PG)	2675

FOREST STAND SUMMARY SHEET	
Property: 8228 Woodyard Road	
Location: Clinton, Prince George's County, MD ADC Map #: 5767 Grid Coordinates: B7	
Prepared by: Kenneth R. Wallis of Wetland Studies and Solutions, Inc. Date: 01/15/18	
Stand Variable	Stand C
1. Dominant species/Co-dominant species	red maple
2. Forest Association	red maple
3. Successional Stage	Mid
4. Basal Area in square feet per acre	210
5. Size class of dominant species	10-17.9"
6. Percent of canopy coverage	57
7. Number of tree species per acre	4
8. Common understory species	Nyssa sylvatica
9. Percent of understory cover 3' to 20' tall	1
10. Number of understory species 3' to 20' tall	1
11. Common herbaceous species	Lonicera japonica, Allium vineale
12. Percent herbaceous & woody plant cover 0' to 3' tall	9
13. List of major invasive plant species	Lonicera japonica, Allium vineale, Glechoma hederacea
14. Percent invasive species coverage	6
15. Number of standing dead trees 6" >dbh	1
Comments	

FOREST STAND SUMMARY SHEET	
Property: 8228 Woodyard Road	
Location: Clinton, Prince George's County, MD ADC Map #: 5767 Grid Coordinates: B7	
Prepared by: Kenneth R. Wallis of Wetland Studies and Solutions, Inc. Date: 01/15/18	
Stand Variable	Stand A
1. Dominant species/Co-dominant species	Virginia pine
2. Forest Association	Virginia pine
3. Successional Stage	Early
4. Basal Area in square feet per acre	165
5. Size class of dominant species	6-9.9"
6. Percent of canopy coverage	75
7. Number of tree species per acre	9
8. Common understory species	Quercus phellos, Ilex opaca,
9. Percent of understory cover 3' to 20' tall	5
10. Number of understory species 3' to 20' tall	2
11. Common herbaceous species	Vaccinium sp. Ilex opaca, Lonicera japonica
12. Percent of herbaceous & woody plant cover 0' to 3' tall	4
13. List of major invasive plant species	Lonicera japonica
14. Percent invasive species cover	2.0000
15. Number of standing dead trees 6" >dbh	2.0000
Comments	

M-NCPPC Prince George's County Planning Department Environmental Planning Section	
APPROVAL NATURAL RESOURCES INVENTORY NRI - 023 - 2018	
APPROVED BY C. SCHNEIDER	DATE 3/9/18
01	8/22/2018
02	
03	
04	
05	
06	

REVISIONS			
REV	DATE	COMMENT	BY
1	03/02/18	PER MNCPPC COMMENTS	MRH

THE FOLLOWING STATES REQUIRE NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE: IN VIRGINIA, MARYLAND, THE DISTRICT OF COLUMBIA, NORTH CAROLINA AND DELAWARE. CALL: 811 (TOLL FREE 1-800-484-6464) (PA 1-800-245-1778) (DC 1-800-257-7177) (VA 1-800-552-7001) (MD 1-800-257-7777) (DE 1-800-282-8555)

NOT APPROVED FOR CONSTRUCTION

PROJECT No.: MB162059
DRAWN BY: JMD
CHECKED BY: EAD
DATE: 1/19/18
SCALE: AS SHOWN
CAD I.D.: NRO

PROJECT: NATURAL RESOURCE INVENTORY FOR

DASH IN

098: CLINTON, MARYLAND

LOCATION OF SITE
8228 WOODYARD ROAD, &
8304 & 8310 DANGERFIELD ROAD
CLINTON, MD 20735
PRINCE GEORGE'S COUNTY
PARCELS A & B & LOT 34
TAX MAP 0117, GRIDS 00A1 & 00B1

BOHLER ENGINEERING

16701 MELFORD BLVD., SUITE 310
BOWIE, MARYLAND 20715
Phone: (301) 809-4500
Fax: (301) 809-4501
EDEAN@BOHLEREng.com

Wetland Studies and Solutions, Inc.
1131 Brenfield Boulevard, Suite L
Millersville, MD 21108
Phone: (410) 672-5990
FAX: (410) 672-5993

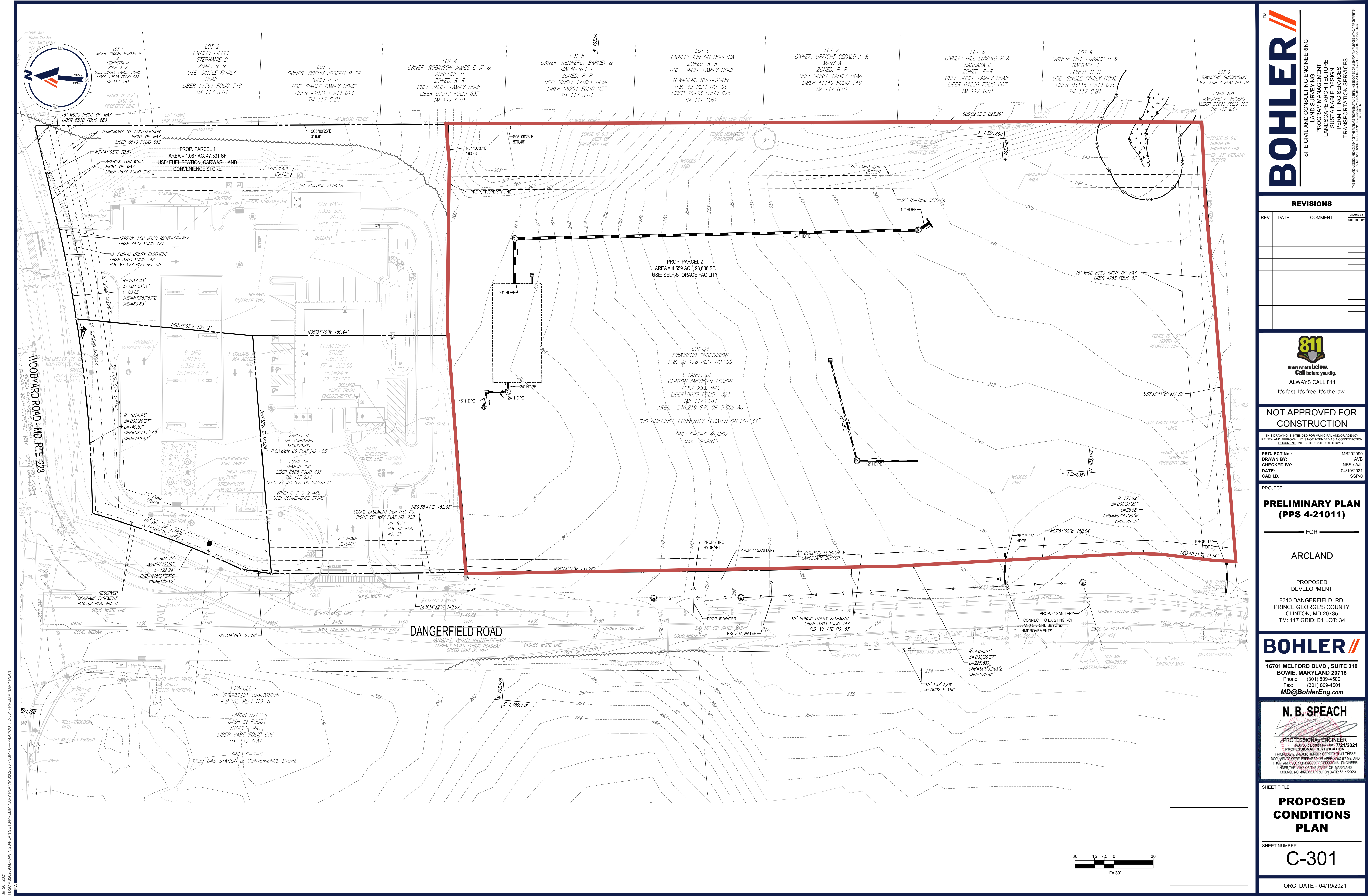
Plan prepared by:
Kenneth R. Wallis
8-17-18

Kenneth R. Wallis
Qualified Professional
CoMar 08.19.06.01

SHEET TITLE:
NATURAL RESOURCE INVENTORY

SHEET NUMBER:
2
OF 2

REVISION 0



BOHLER
SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS				
REV	DATE	COMMENT	DRAWN BY	

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Know what's below.
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NOT APPROVED FOR CONSTRUCTION
THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: MB202090
DRAWN BY: AVB
CHECKED BY: NBS / AUL
DATE: 04/19/2024
CAD ID: SSP-0

PROJECT:
PRELIMINARY PLAN (PPS 4-21011)

FOR
ARCLAND
PROPOSED DEVELOPMENT
8310 DANGERFIELD RD.
PRINCE GEORGE'S COUNTY
CLINTON, MD 20735
TM: 117 GRID: B1 LOT: 34

BOHLER
16701 Melford Blvd., Suite 310
Bowie, Maryland 20715
Phone: (301) 809-4500
Fax: (301) 809-4501
MD@BohlerEng.com

N. B. SPEACH
PROFESSIONAL ENGINEER
MARYLAND LICENSE NO. 7721/2021
PROFESSIONAL CERTIFICATION
I, NICHOLAS B. SPEACH, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 4003, EXPIRATION DATE: 6/14/2023

SHEET TITLE:
PROPOSED CONDITIONS PLAN

SHEET NUMBER:
C-301

ORG. DATE - 04/19/2024

Daniel F Lynch, Esquire
Admitted in Maryland

E-mail: DLynch@mhlawyers.com
Direct Dial: Extension 205

December 15, 2021

Via Electronic Delivery
Development Review Division
M-NCPPC
County Administration Building
Upper Marlboro, MD 20772

***Re: DSP-21019, Arcland – 8310 Dangerfield Road
Pre-Review Point-By-Point Response Letter***

Dear Sir/Madam:

On behalf of the applicant, please find below point-by-point responses to the Pre-Review Comments transmitted to the applicant on November 9, 2021.

Technician Comments: 10/25/2021

1. Provide, WSSC Payment Receipt.

Response: WSSC Receipt included with this submission.

2. Project Name on Application says Dangerfield Road, change to Arcland Self Storage to reflect Detailed Site Plan.

Response: Project Name on the Application has been revised.

3. Total Acreage on Application says 4.559 acres. Site Plan and SOJ says 5.65 acres. Change to reflect correct acreage.

Response: Total Acreage on the Application has been revised.

Supervisor Comments:

- The DSP does not conform to the parking requirements. Revise or submit a DPLS.

Response: The parking layout has been updated and requirements are being met.

- The DSP does not demonstrate conformance to loading space requirements. Revise or submit a DPLS.

Response: Please refer to sheet 4 where the site plan demonstrates conformance with the loading space requirements.

Reviewer Comments:

Additional architectural elements, colors, or accents recommended to break up the long expanses of dark gray façade that will be visible from the public right out way.

Response: Comment acknowledged.

Construction detail of the retaining wall needed.

Response: Please refer to the site details sheet where a retaining wall detail has been provided.

Clearly label the location of the decorative fence on the property.

Response: The fence location has been labeled.

Clearly label the location of the freestanding sign on the site plan and provide construction details as applicable.

Response: This project does not propose a freestanding sign. Please refer to sheet 4 standard note No. 8 (b) that mentions that no freestanding sign is proposed.

The drive aisle to enter the facility is labeled with a width of 20 feet and is insufficient to accommodate two way vehicular travel.

Response: Please refer to sheet 4 where the site plan has been updated to accommodate a width of 22 feet for two-way vehicular travel.

Subdivision Section:

This project is subject to preliminary plan of subdivision (PPS) 4-21011, approved by the Planning Board on November 4, 2021. At the time of this writing, the resolution of the Board's approval has not yet been adopted, and the PPS has not yet been certified. Certification of the PPS must be complete before the DSP is approved. Prior to acceptance of the DSP, the DSP must reflect the correct property boundaries; the DSP currently says the subject property is the 5.65-acre Lot 34, however, the subject property is actually the 4.56-acre proposed Parcel 2. The submitted property boundary survey shows the correct boundaries and acreage. Please also correct General Note #5 on the coversheet to omit reference to the car wash and convenience store, as these uses are off-site. In addition, per condition 8a of the PPS the crosswalk traversing the drive aisle at the entrance to the self-storage facility must be shown as a continental-style crosswalk prior to acceptance of the DSP.

Response: The proposed property information has been updated to reflect the correct property boundaries with an area of 4.559 acres for proposed Parcel 2. General Note five have been updated

to omit the reference to the car wash and convenience store. Please refer to sheet 4 of the detailed site plan where the crosswalk traversing the drive aisle at the entrance has been updated as a continental-style crosswalk.

Subdivision Section:

Increase the size of the TCP approval block for a signature. Revise the approval block "00" approval line to read "C. Schneider", Remove the TCP1 number from the approval block, The TCP2 number for this application is TCP2-007-2018-01 and add this number to all the places on Sheet 1 (title, worksheet, approval block and notes) and Sheet 2, Add DSP-21019 to the DRD column on the "01" approval line. Add a note in the revision block about these changes, revise the on-site woodland conservation summary table, and a note on the plan view preservation area "This woodland preservation area is recorded in Liber 42437, Folio 111 through 124.

Response: Please refer to the revised TCP2 where the approval block for signature has increased in size, line "00" reads "C. Schneider", "DSP-21019" provided on the "01" approval line, and a note in the revision block about the changes has been provided. The correct TCP2 number has been provided on the title, worksheet, approval block and notes, as well as on sheet 2. A note as requested within the plan view has been provided that states the Liber-Folio number.

Add the following note to the plan under the specimen tree table:

"NOTE: This plan is in accordance with the following variance from the strict requirements of Subtitle 25 approved by the Zoning Hearing Examiner on September 16, 2019: The removal of two specimen trees (Section 25-122(b)(1)(G), ST2, a 36-inch Black, and ST3, a 31-inch Scarlet Oak"

Add Note:

"Woodlands preserved, planted, or regenerated in fulfillment of woodland conservation requirements on-site have been placed in a woodland and wildlife habitat conservation easement recorded in the Prince George's County Land Records at Liber 42437, Folio 111 through 124. Revisions to this TCP2 may require a revision to the recorded easement.

Response: The requested notes have been provided under the specimen tree table.

If you have any questions, please do not hesitate to contact me at 301-441-2420.

Sincerely,

A handwritten signature in blue ink, appearing to read "Daniel F. Lynch", with a stylized flourish extending to the right.

Enclosures

THE PRINCE GEORGE'S COUNTY GOVERNMENT



Department of Permitting, Inspections and Enforcement

Site/Road Plan Review Division

9400 Peppercorn Place, Suite 420

Largo, Maryland 20774

(301) 883-5710



STORMWATER MANAGEMENT CONCEPT APPROVAL

CASE NAME: PEER REVIEW-TOWNSEND SUBDIVISION_LOT 34_STORAGE CASE #: 16017-2021-00
APPLICANT'S NAME: DASH IN FOOD STORES INC
ENGINEER : Bohler Engineering

REQUIREMENTS:

Technical Review is required for PUBLIC/PRIVATE Storm Drain/SWM Construction.

Type of Storm Drainage/SWM Construction is PRIVATE.

These additional approvals are required: None.

These fees apply: None.

These bonds apply: None.

Required water quality controls: MICRO-BIORETENTION.

Required water quantity controls: None.

A maintenance agreement is required.

No special conditions apply.

Required easements: None.

Storm Water Management fee payment of none in lieu of providing on-site attenuation/quality control measures.
(Fee-In-Lieu subject to change during technical review.)

CONDITIONS OF APPROVAL:

Please see second page.

APPROVED BY:

Rey De Guzman

APPROVAL DATE: August 16, 2021

EXPIRATION DATE: August 16, 2024

FOR OFFICE USE ONLY

ADC MAP:

200' SHEET:

STREET NAME:

DANGERFIELD RD

WATERSHED:

60-Piscataway Creek

NUMBER OF DU'S:

0

COST PER DWELLING: 0

CC: APPLICANT, SCD, PERMITS

THE PRINCE GEORGE'S COUNTY GOVERNMENT



Department of Permitting, Inspections and Enforcement

Site/Road Plan Review Division

9400 Peppercorn Place, Suite 420

Largo, Maryland 20774

(301) 883-5710



STORMWATER MANAGEMENT CONCEPT APPROVAL

CASE NAME:

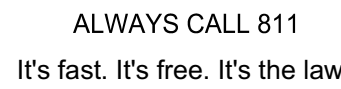
PEER REVIEW-TOWNSEND SUBDIVISION_LOT
34_STORAGE

CASE #: 16017-2021-00

P.G.C. FORM #3693 (REV 04/93)

CONDITIONS OF APPROVAL:

1. LANDSCAPE PLANS ARE REQUIRED AT TECHNICAL REVIEW.
 2. SITE DEVELOPMENT PERMIT REQUIRED INCLUDING ULTIMATE R/W FRONTAGE IMPROVEMENTS, INCLUDING STORM DRAINAGE, STREET TREES AND STREET LIGHTING (AND ON-SITE GRADING).
 3. THIS PROJECT WILL REQUIRE A SITE DEVELOPMENT FINE GRADING PERMIT.
 4. NO FEE-IN-LIEU: ESD TO THE MEP AND 100-YR QUANTITY MANAGEMENT PROPOSED.
 5. ESD TO THE MEP PROVIDED BY FIVE (5) MICRO-BIORETENTION FACILITIES.
 6. 100-YR QUANTITY MANAGEMENT PROVIDED BY UNDERGROUND STORAGE SYSTEM.
 7. 4' MIN. SPACING BETWEEN STOP BAR AND CROSS WALK LINE.
 8. DETECTABLE WARNING SURFACE ON PEDESTRIAN RAMPS ON THE DRIVEWAY.
- REVIEWED BY CRC/MA.

[illegible]

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY
REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION
DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT:

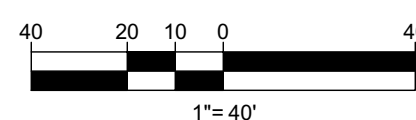
8310 DANGERFIELD RD.
PRINCE GEORGE'S COUNTY
CLINTON, MD 20735
TM: 117 GRID: B1 LOT: 34

16701 MELFORD BLVD , SUITE 310
BOWIE, MARYLAND 20715
 Phone: (301) 809-4500
 Fax: (301) 809-4501
MD@BohlerEng.com

7/19/2021
PROFESSIONAL ENGINEER
MARYLAND PROFESSIONAL ENGINEERING
PROFESSIONAL CERTIFICATION
NICHOLAS J. SPACOR, P.E. CERTIFY THAT THESE
DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND
AT I AM A DULY LICENSED PROFESSIONAL ENGINEER
UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NO. 40263, EXPIRATION DATE: 6/14/23

SHEET NUMBER

ORG. DATE - 04/19/202



The Department of Permitting, Inspections and Enforcement has completed a review of this document for code compliance. As required by State Code, the design professional(s) responsible for the preparation and content of this document must provide a record copy of these documents with their original seal, signature and date.

Case Name: PEER REVIEW-TOWNSEND SUBDIVISION_LOT 34_STORAGE
Case Number (Plan Approval #): 16017-2021-0
Case Type: PSMW
Issuance Date: 8/16/2021
Address: 8310 DANGERFIELD RD CLINTON, Maryland 20735
Lot(s) and Block(s): Lot and Block not found
Reviewed by CRCMA

APPROVED BY:

Rh

Rev De Guzman

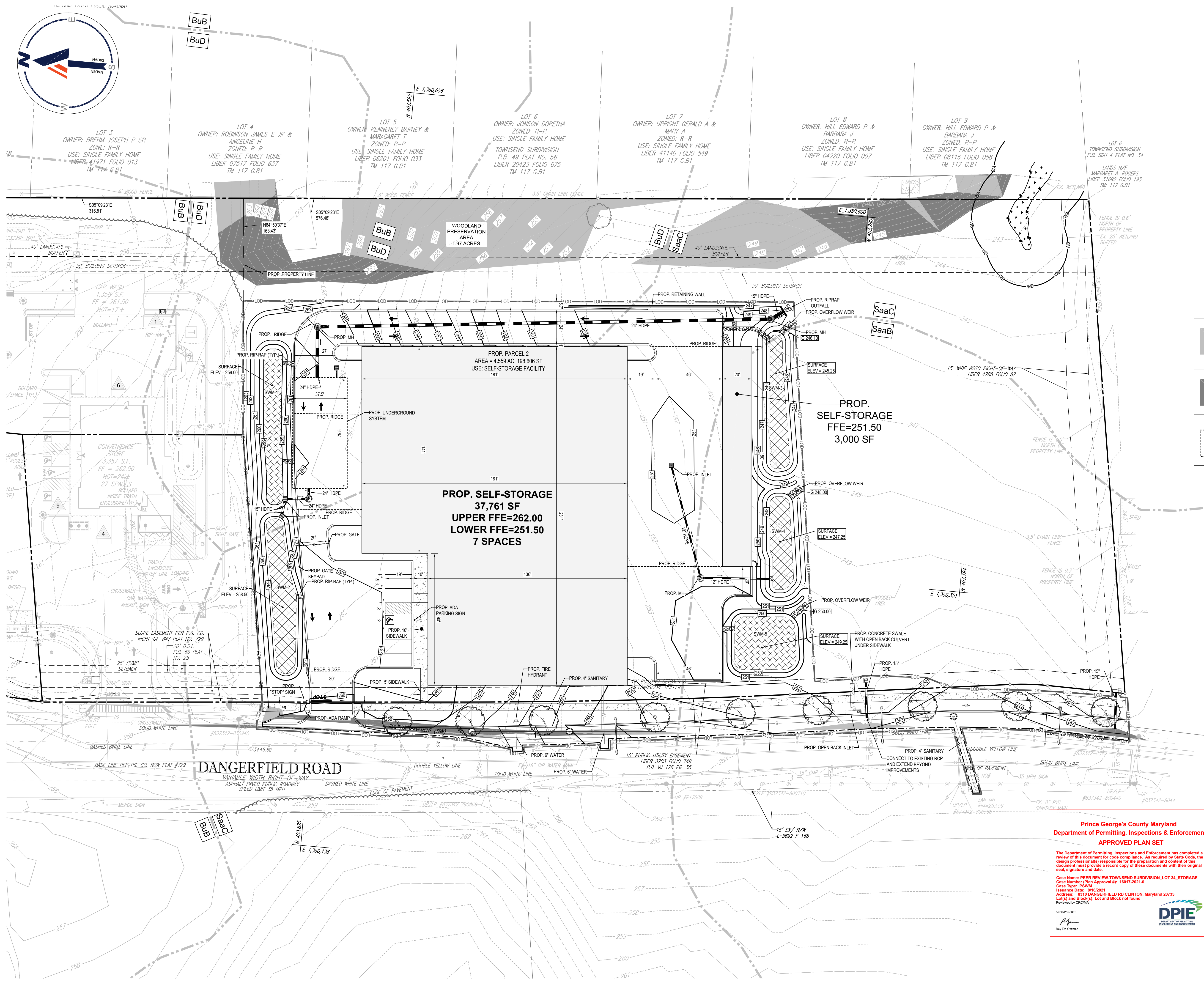


SLOPES 10%-15%

SLOPES >15%

LIMIT OF
DISTURBANCE

— — — SOILS
DIVIDE



LEGEND

Prince George's County Maryland
Department of Permitting, Inspections & Enforcement
APPROVED PLAN SET

The Department of Permitting, Inspections and Enforcement has completed a review of this document for code compliance. As required by State Code, the design professional(s) responsible for the preparation and content of this document must provide a record copy of these documents with their original seal, signature and date.

Case Name: PEER REVIEW-TOWNSEND SUBDIVISION LOT 34 STORAGE
Case Number (Plan Approval #): 16017-2021-0
Case Type: P/PM
Issuance Date: 8/18/2021
Address: 8310 DANGERFIELD RD CLINTON, Maryland 20735
Lot(s) and Block(s): Lot and Block not found
Reviewed by: C/CM

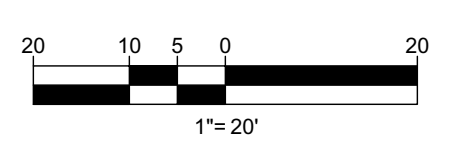
APPROVED BY:

Carl R. Corse

Peer Reviewed By:
Carl R. Corse, P.E.

Discipline:
SITE / ROAD

Date:
August 10, 2021



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SITE CIVIL AND CONSULTING ENGINEERING
PROGRAM MANAGEMENT
LANDSCAPE ARCHITECTURE
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS				
REV	DATE	COMMENT	DRAWN BY	

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PROJECT No.: MB202090
DRAWN BY: AVB
CHECKED BY: NBS / AUL
DATE: 04/19/2021
CAD ID: SSP-0

PROJECT:
SITE DEVELOPMENT CONCEPT PLAN (SDCP #16017-2021-0)
FOR

ARCLAND SELF-STORAGE

PROPOSED DEVELOPMENT
8310 DANGERFIELD RD.
PRINCE GEORGE'S COUNTY
CLINTON, MD 20735
TM: 117 GRID: B1 LOT: 34

BOHLER

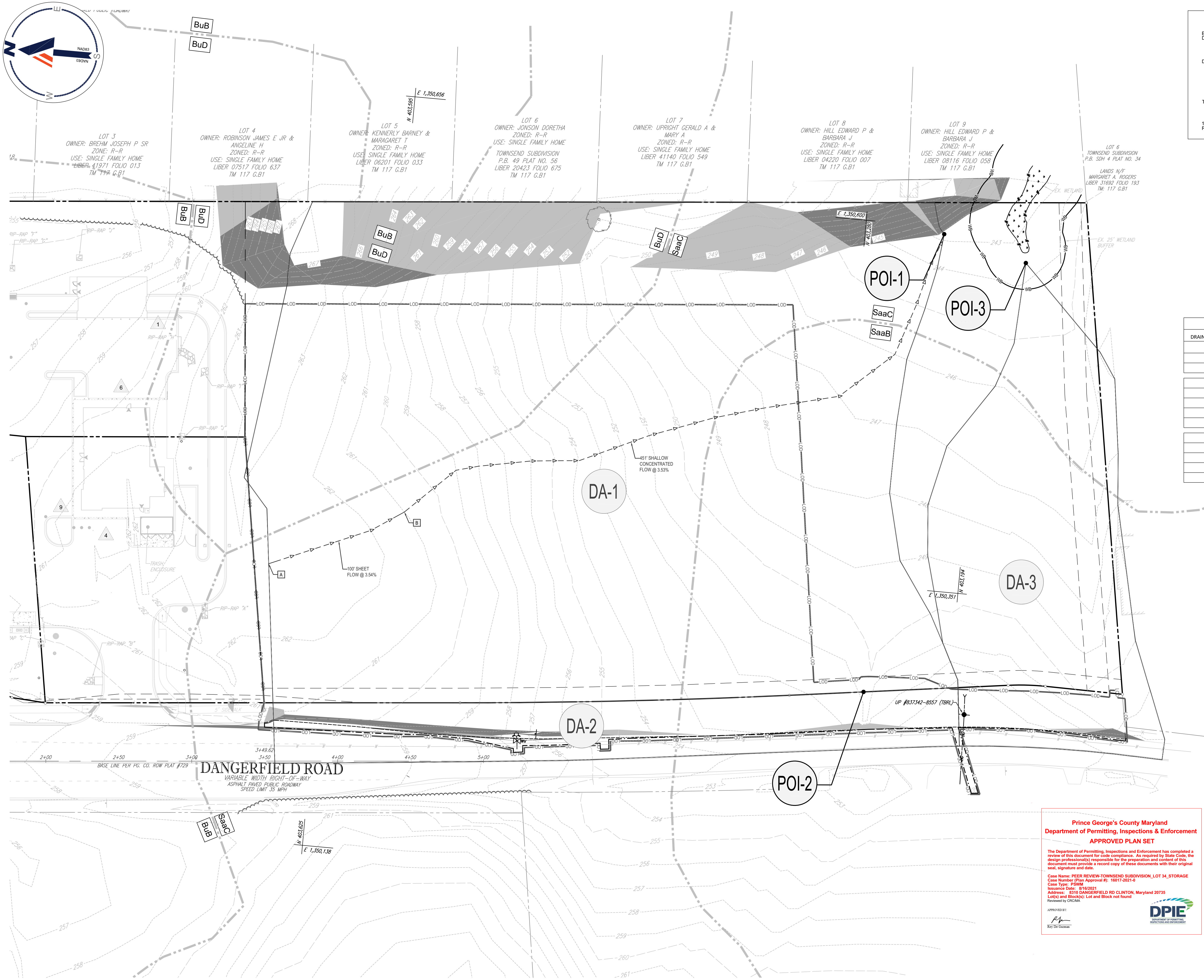
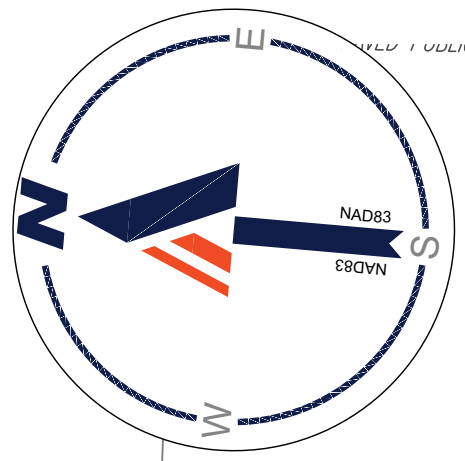
16701 Melford Blvd., Suite 310
Bowie, Maryland 20715
Phone: (301) 809-4500
Fax: (301) 809-4501
MD@BohlerEng.com

N. B. SPEACH
PROFESSIONAL ENGINEER
PRINCE GEORGE'S COUNTY, MARYLAND
I, N. B. SPEACH, SPEECH ENGINEERING, P.C., CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR BY AN ENGINEER UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A duly Licensed Professional Engineer UNDER THE LAW OF THE STATE OF MARYLAND.
LICENSE NO. 42061, EXPIRATION DATE: 8/18/23

SHEET TITLE:
SITE DEVELOPMENT CONCEPT PLAN

SHEET NUMBER:
C-301

ORG. DATE - 04/19/2021



LEGEND:

EXISTING DRAINAGE DIVIDES

DRAINAGE LABELS

TC PATH

100-YR OVERLAND RELIEF PATH

PRE-DEVELOPMENT DRAINAGE AREA TABLE			
DRAINAGE AREA	AREA (AC.)	IMPERVIOUS AREA (AC.)	C VALUE
DA-1	3.46	0.00	0.30
DA-2	0.43	0.18	0.55
DA-3	0.81	0.04	0.33

10-YR PRE-DEVELOPMENT POI ANALYSIS	
POINT OF INTEREST	PRE-DEVELOPMENT FLOW (CFS)
POI-1	4.71
POI-2	1.90
POI-3	1.75

100-YR PRE-DEVELOPMENT POI ANALYSIS	
POINT OF INTEREST	PRE-DEVELOPMENT FLOW (CFS)
POI-1	13.81
POI-2	2.75
POI-3	4.86

NOTE: OFFSITE IMPROVEMENTS HAVE NO WAY OF CONTROLLING THE POST 10-YR AND 100-YR STORMS. ALL ONSITE IMPROVEMENTS ARE MANAGED FOR BOTH 10-YR AND 100-YR EVENTS.

Prince George's County Maryland
Department of Permitting, Inspections & Enforcement
APPROVED PLAN SET

The Department of Permitting, Inspections and Enforcement has completed a review of this document for code compliance. As required by State Code, the design professional(s) responsible for the preparation and content of this document must provide a record copy of these documents with their original seal, signature and date.

Case Name: PEER REVIEW-TOWNSEND SUBDIVISION LOT 34 STORAGE
Case Number (Plan Approval #): 16017-2021-0
Case Type: PSWM
Issuance Date: 8/19/2021
Address: 8310 DANGERFIELD RD CLINTON, Maryland 20735
Lot(s) and Block(s): Lot and Block not found
Reviewed by: CRCMA

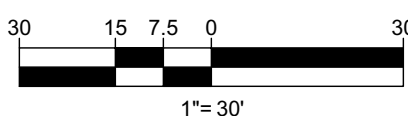
APPROVED BY:
[Signature]
[Stamp]



Peer Reviewed By:
Carl R. Corse, P.E.

Discipline:
SITE / ROAD

Date:
August 10, 2021



BOHLER™

SITE CIVIL AND CONSULTING ENGINEERING
LANDSCAPE ARCHITECTURE
PROGRAM MANAGEMENT
SUSTAINABLE DESIGN
PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS			
REV	DATE	COMMENT	DRAWN BY / CHECKED BY

811
Know what's below.
Call before you dig.
ALWAYS CALL 811
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NOT APPROVED FOR CONSTRUCTION

THIS DRAWING IS INTENDED FOR MUNICIPAL AND/OR AGENCY REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: MB202090
DRAWN BY: AVB
CHECKED BY: NBS / AJL
DATE: 04/19/2021
CAD ID: SSP-0

PROJECT:
SITE DEVELOPMENT CONCEPT PLAN (SDCP #16017-2021-0)
FOR

ARCLAND SELF-STORAGE

PROPOSED DEVELOPMENT
8310 DANGERFIELD RD.
PRINCE GEORGE'S COUNTY
CLINTON, MD 20735
TM: 117 GRID: B1 LOT: 34

BOHLER™

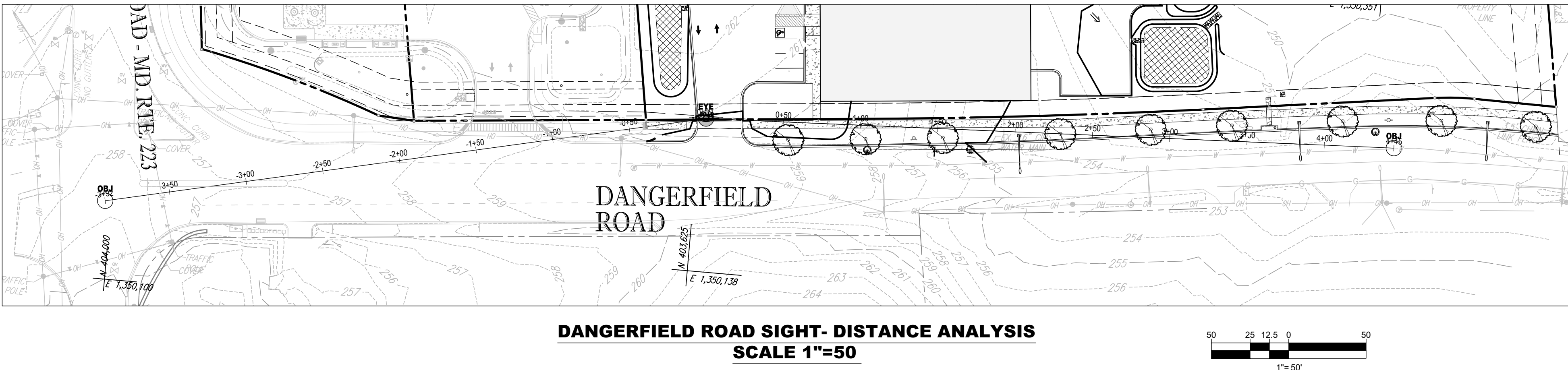
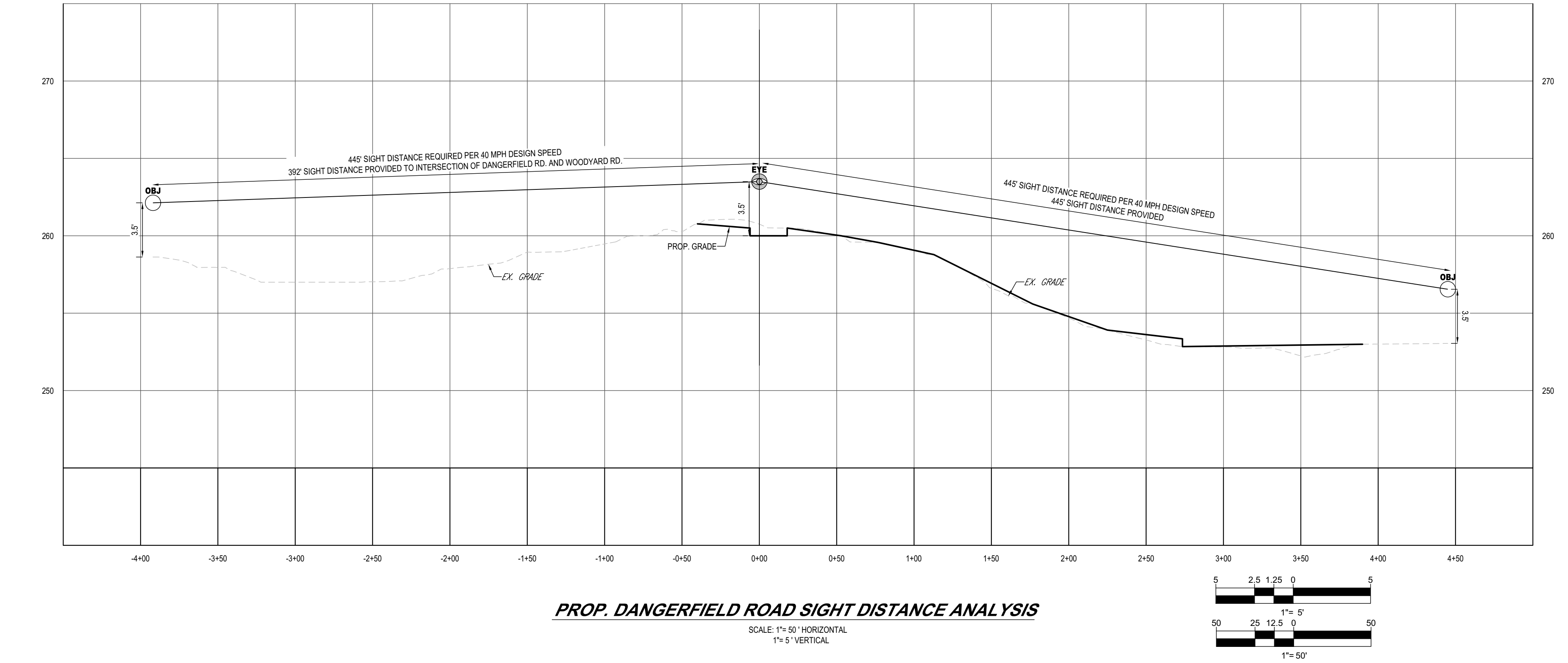
16701 Melford Blvd., Suite 310
Bowie, Maryland 20715
Phone: (301) 809-4500
Fax: (301) 809-4501
MD@BohlerEng.com

N. B. SPEACH
PROFESSIONAL ENGINEER
Professional Seal
I, N. B. SPEACH, SPEECH & COMPANY, P.C., CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A duly Licensed Professional Engineer UNDER THE LAW OF THE STATE OF MARYLAND.
LICENSE NO. 42061, EXPIRATION DATE: 6/16/23

SHEET TITLE:
PRE-DEVELOPMENT DRAINAGE AREAS

SHEET NUMBER:
C-901

ORG. DATE - 04/19/2021



Prince George's County Maryland
Department of Permitting, Inspections & Enforcement
APPROVED PLAN SET

The Department of Permitting, Inspections and Enforcement has completed a review of this document for code compliance. As required by State Code, the design professional(s) responsible for the preparation and content of this document must provide a record copy of these documents with their original seal, signature and date.

Case Name: PEIR REVIEW-TOWNSHEND SUBDIVISION, LOT 34 STORAGE
Case Number (Plan Approval #): 16017-2021-0
Case Type: PSWM
Issuance Date: 8/19/2021
Address: 8310 DANGERFIELD RD CLINTON, Maryland 20735
Lot(s) and Block(s): Lot and Block not found
Reviewed by: CRCMA

APPROVED BY:
[Signature]
Ray De Corse

DPIE
DEPARTMENT OF PERMITTING, INSPECTIONS AND ENFORCEMENT

Peer Reviewed By:
Carl R. Corse, P.E.

Discipline:
SITE / ROAD

Date:
August 10, 2021

REVISIONS				
REV	DATE	COMMENT	DRAWN BY / CHECKED BY	

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PROJECT No.: MB202090
DRAWN BY: AVB
CHECKED BY: NBS / AJL
DATE: 04/19/2021
CAD ID: SSP-0

PROJECT:
SITE DEVELOPMENT CONCEPT PLAN (SDCP #16017-2021-0)
FOR

ARCLAND SELF-STORAGE

PROPOSED DEVELOPMENT
8310 DANGERFIELD RD.
PRINCE GEORGE'S COUNTY
CLINTON, MD 20735
TM: 117 GRID: B1 LOT: 34

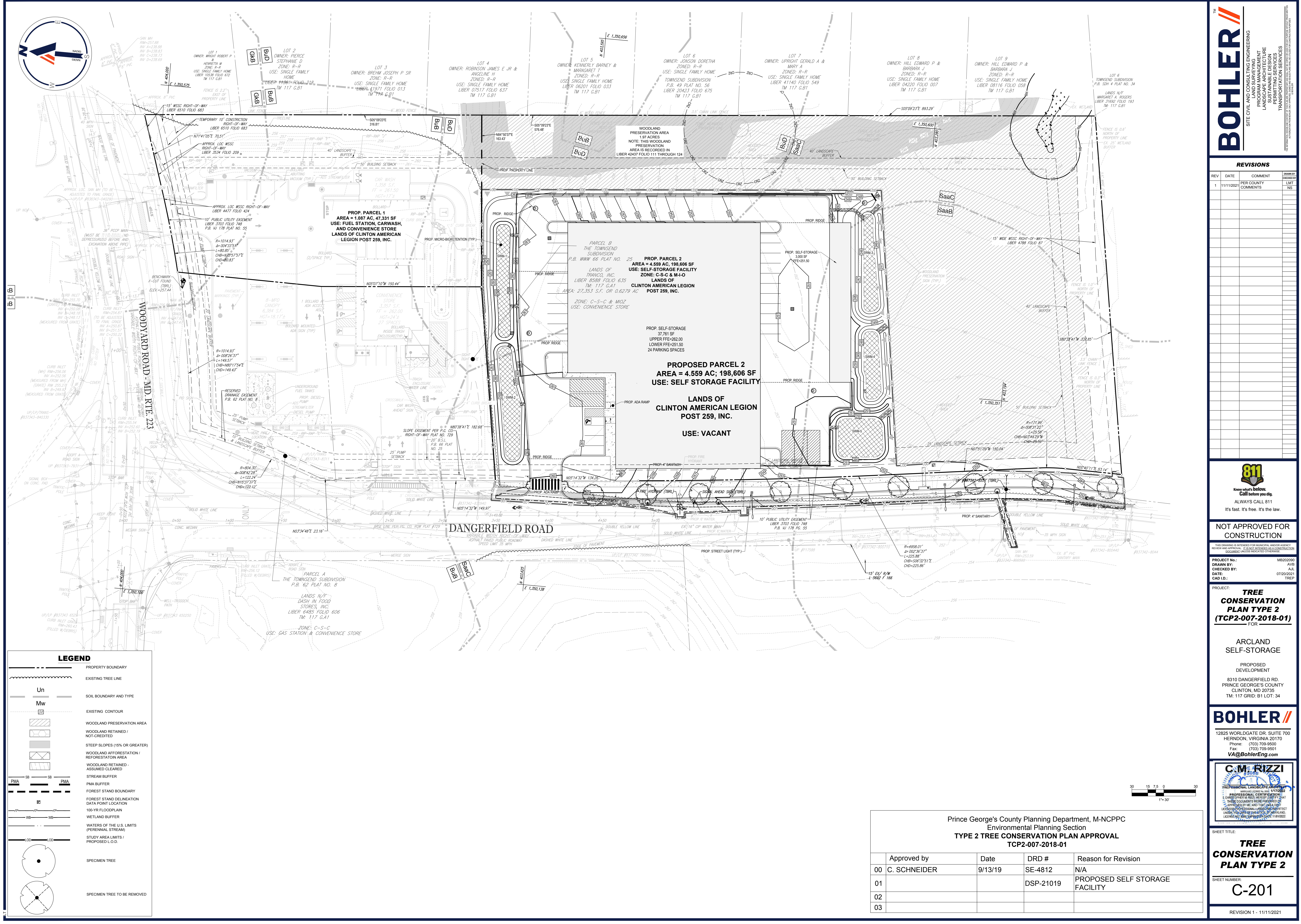
BOHLER
16701 MOLFORD BLVD., SUITE 310
BOWIE, MARYLAND 20715
Phone: (301) 809-4500
Fax: (301) 809-4501
MD@BohlerEng.com

N. B. SPEACH
PROFESSIONAL ENGINEER
04/19/2021
I, N. B. SPEACH, DESIGNER OF THIS PROJECT, CERTIFY THAT I AM A LICENSED PROFESSIONAL ENGINEER UNDER THE LAW OF THE STATE OF MARYLAND.
LICENSE NO. 42061, EXPIRATION DATE: 6/14/23

SHEET TITLE:
SIGHT DISTANCE ANALYSIS PLAN

SHEET NUMBER:
C-903

ORG. DATE - 04/19/2021



REVISIONS			
REV	DATE	COMMENT	DRAWN BY CHECKED BY
1	11/11/2021	PER COUNTY COMMENTS	LMT NS



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REVIEW AND APPROVAL. IT IS NOT INTENDED AS A CONSTRUCTION
DOCUMENT UNLESS INDICATED OTHERWISE.

PROJECT No.: MB202090
DRAWN BY: AVB
CHECKED BY: AJL
DATE: 07/20/2021
CAD I.D.: TREP

**ARCLAND
SELF-STORAGE**

**PROPOSED
DEVELOPMENT**

**8310 DANGERFIELD RD.
PRINCE GEORGE'S COUNTY
CLINTON, MD 20735
TM: 117 GRID: B1 LOT: 34**

C.M. RIZZI
#3096
STATE OF FLORIDA
COMMISSION EXPIRES 11/7/2022

PROFESSIONAL LANDSCAPE ARCHITECT
BIRTHDAY AND LICENSE EXPIRATION DATE: 11/7/2022

PROFESSIONAL CERTIFICATION
I, CHRISTOPHER M. RIZZI, HEREBY CERTIFY THAT
THESE DOCUMENTS WERE PREPARED OR
APPROVED BY ME, AND THAT I AM A duly
LICENSED PROFESSIONAL LANDSCAPE ARCHITECT
UNDER THE FLORIDA LANDSCAPE ARCHITECT
LICENSE AND BOARD SUPERVISION DATE: 11/01/2022

SHEET TITLE:

**TREE
CONSERVATION
PLAN TYPE 2**

SHEET NUMBER:

C-201

REVISION 1 - 11/11/2021

Prince George's County Planning Department, M-NCPPC Environmental Planning Section TYPE 2 TREE CONSERVATION PLAN APPROVAL TCP2-007-2018-01				
	Approved by	Date	DRD #	Reason for Revision
00	C. SCHNEIDER	9/13/19	SE-4812	N/A
01			DSP-21019	PROPOSED SELF STORAGE FACILITY
02				
03				

INVOICE



Please make checks payable to WSSC Water. Please mail payments to: WSSC Water, Attn: Permit Services Section (Lobby Level), 14501 Sweitzer Lane, Laurel, MD 20707. Please include a copy of this invoice with payment.

IMPORTANT!! - Electronic payments (ACH or Credit Card) must be made via the ePermitting Citizen Self Service (CSS) online payment system.

To:

Name	Company Name	Address
John Lawall, Jr.	Bohler Engineering	16701 Melford Boulevard, 310 Bowie, Md 20715
Nicholas Speech	BOHLER ENGINEERING	
PSU Applicant	TEST Company & Associates, Inc.	14501 Sweitzer Lane Laurel, Md 20707

Invoice Number	Invoice Date	Invoice Amount	Amount Due	Invoice Status	Invoice Description
00242059	10/26/2021	\$1,693.00	\$0.00	Paid In Full	NONE

Reference Number	GL Account	Description	Quantity	Total
DSP-21019	06-40650	GOV Review (Major)	1	\$1,693.00

Total Non-SDC Fees \$1,693.00

Note: When making an online payment, Western Union charges a \$5.95 convenience fee per online transaction. The convenience fee is not included on the WSSC Water permit/plan invoice total.

PAYMENTS (This invoice only)

Reference Number	Payment Receipt #	Description	Payment Method	Amount Paid
DSP-21019	TRC-228302-13-12-2021	GOV Review (Major)	Check #6494	\$1,693.00

Total Paid This Invoice \$1,693.00