The purpose of this affidavit is to certify that pursuant to The Process Guidelines for Development Review Applications, Informational Mailing letters regarding the application for DSP- 19060; McDonald's 8710 Central Avenue, were mailed to all adjoining property owners, registered associations, municipalities within one mile, and previous parties of record (if applicable) on October 17, 2019.

I, Vinoli Goonetilleke, solemnly affirm under the penalties of perjury that the contents of the foregoing paper are true to the best of my knowledge, information and belief.

Vinoli Goonetilleke

STATE OF MARYLAND * COUNTY OF Prince Georges * To wit:

On this October 17, 2019, before me, the undersigned officer, personally appeared Vinoli Goonetilleke, known to me (or satisfactorily proven) to be the person whose name is subscribed to the within Instrument and acknowledged that she executed the same for the purposes therein contained.

In Witness Whereof, I hereunto set my hand and official seal.

My Commission Expires: May 9, 2022

Erica Benkert

Notary Public

The purpose of this affidavit is to certify that pursuant to The Process Guidelines for Development Review Applications, Informational Mailing letters regarding the application for DSP- 19060; McDonald's 8710 Central Avenue, were mailed to all adjoining property owners, registered associations, municipalities within one mile, and previous parties of record (if applicable) on October 17, 2019.

I, Vinoli Goonetilleke, solemnly affirm under the penalties of perjury that the contents of the foregoing paper are true to the best of my knowledge, information and belief.

Vinoli Goonetilleke

STATE OF MARYLAND * COUNTY OF Prince Georges * To wit:

On this October 17, 2019, before me, the undersigned officer, personally appeared Vinoli Goonetilleke, known to me (or satisfactorily proven) to be the person whose name is subscribed to the within Instrument and acknowledged that she executed the same for the purposes therein contained.

In Witness Whereof, I hereunto set my hand and official seal.

My Commission Expires: May 9, 2022

Erica Benkert

Notary Public

The purpose of this affidavit is to certify that pursuant to The Process Guidelines for Development Review Applications, Informational Mailing letters regarding the application for DSP- 19060; McDonald's 8710 Central Avenue, were mailed to all adjoining property owners, registered associations, municipalities within one mile, and previous parties of record (if applicable) on October 17, 2019.

I, Vinoli Goonetilleke, solemnly affirm under the penalties of perjury that the contents of the foregoing paper are true to the best of my knowledge, information and belief.

Vinoli Goonetilleke

STATE OF MARYLAND * COUNTY OF Prince Georges * To wit:

On this October 17, 2019, before me, the undersigned officer, personally appeared Vinoli Goonetilleke, known to me (or satisfactorily proven) to be the person whose name is subscribed to the within Instrument and acknowledged that she executed the same for the purposes therein contained.

In Witness Whereof, I hereunto set my hand and official seal.

My Commission Expires: May 9, 2022

Erica Benkert

Notary Public

The purpose of this affidavit is to certify that pursuant to The Process Guidelines for Development Review Applications, Informational Mailing letters regarding the application for DSP- 19060; McDonald's 8710 Central Avenue, were mailed to all adjoining property owners, registered associations, municipalities within one mile, and previous parties of record (if applicable) on October 17, 2019.

I, Vinoli Goonetilleke, solemnly affirm under the penalties of perjury that the contents of the foregoing paper are true to the best of my knowledge, information and belief.

Vinoli Goonetilleke

STATE OF MARYLAND * COUNTY OF Prince Georges * To wit:

On this October 17, 2019, before me, the undersigned officer, personally appeared Vinoli Goonetilleke, known to me (or satisfactorily proven) to be the person whose name is subscribed to the within Instrument and acknowledged that she executed the same for the purposes therein contained.

In Witness Whereof, I hereunto set my hand and official seal.

My Commission Expires: May 9, 2022

Erica Benkert

Notary Public

The purpose of this affidavit is to certify that pursuant to the Process Guidelines for Development Review Applications, Formal Acceptance Letters, regarding the application for DSP-19060, McDonald's Landover, were mailed on April 20, 2020.

I, Suzanne Nickle, hereby swear and affirm that the attached letter was sent regular mail to the adjoining property owners, parties of record, municipalities within a mile, registered associations, and previous parties of record (if applicable) on the attached list.

STATE OF MARYLAND * COUNTY OF Prince George's * To wit:

On this 20th day of April, 2020, before me, the undersigned officer, personally appeared Suzanne Nickle, known to me (or satisfactorily proven) to be the person whose name is subscribed to the within Instrument and acknowledged that he executed the same for the purposes therein contained.

In Witness Whereof, I hereunto set my hand and official seal.

My Commission Expires:

ADRIANNA ESPINOSA Notary Public-Maryland Prince George's County My Commission Expires January 25, 2023

Mulana (Spharlen Notary Public



 McNamee Hosea
 0
 301.441.2420

 6411 lvy Lane, Suite 200
 0
 301.441.2420

 Greenbelt, Maryland 20770
 F
 301.982.9450

mhlawyers.com

April 20, 2020

Via First Class Mail

TO: Adjoining Property Owners, Municipalities Within One Mile, Persons of Record, and Registered Associations

FROM: Daniel F. Lynch, Esq.

RE: DSP-19060: McDonald's Landover

Dear Party of Record, Adjoining Property Owners, and Registered Associations & Municipalities:

This letter is to inform you that the Maryland-National Capital Park and Planning Commission ("M-NCPPC") is ready to accept the subject application. The address of the subject property is 8710 Central Avenue, Hyattsville, MD, 20785, which is located at the northwest quadrant of its intersection with Brightseat Road. The nature of the review is for the renovation of an existing eating and drinking establishment. Once the application is formally accepted, it will be scheduled for a future Planning Board hearing. If you have not already registered to become a person of record, you are encouraged to do so at this time. As a person of record, you will receive a notice of the Planning Board hearing date, the technical staff report, and the Planning Board resolution. You may register online at http://www.pgplanning.org/1586/Become-a-Person-of-Record or you may submit your name, address and the above-referenced application number and name by mailing a written request to:

The Maryland-National Capital Park and Planning Commission Development Review Division 14741 Governor Oden Bowie Drive County Administration Building, 4th Floor Upper Marlboro, MD 20772

If you have already registered to become a person of record from an earlier mailing for this application DSP-19060, you do not have to register again. Being a person of record on a separate application on the same property does not make you a person of record for the subject application. You must request to become a person of record for each separate application (separate applications have different application numbers).

If you have any questions about this application, you may contact me at 301-441-2420 or the M-NCPPC case reviewer, Adam Bossi, at 301-780-8116.

Sincerely

Daniel F. Lynch





M-NCPPC – Development Review Division Prince George's County Planning Department #14741 Governor Oden Bowie Drive, Upper Marlboro, Maryland 20772 # 301-952-3530

DO NOT WRITE IN THIS SP	PACE		
Application No.(s):Planning Board Review Planning Director Review			
Acceptance Date:	70-day limit		Limit waived-New limit
Posting Waived D Posting Da	ate:No.	of Signs Posted:_	Agenda Date:
Application Fee:	Posting Fee:	Case Re	eviewer:
Subdivision Development Revie	ew Committee Date:		
Referral Mail-Out Date:	Referral Due [Date:	
Date of Informational Mailing:	Date	of Acceptance Mai	ling:
APPLICATION TYPE:	APPLICATION TYPE: I Revision of Case # Companion Cases:		
PROJECT NAME: McDon	ald's Landover		
Complete address (if applicable	e) 8710 Central Avenue, Hyattsv	ville, MD 20785	Tax Account #: 2070019
Geographic Location (distance	· · · · · · · · · · · · · · · · · · ·	·	
Located on the north side of Ce	ntral Avenue at its intersection	on with Brightsea	t Road
Total Acreage: 1.32	Aviation Policy Area: N/A	۱	Election District: 13
Tax Map/Grid:67/C4	Current Zone(s): MUI/DC	DZ	Council District: 5
WSSC Grid:201NE08	Existing Lots/Blocks/Parcels: Lt 11,12,13,14		Dev. Review District:
Planning Area:	In Municipal Boundary: N	/A	Is development exempt from grading permit pursuant to 32-127(a)(6)(A): □ Y ■ N
(2002) General Plan Tier: 🔳 D	eveloped	🗆 Rural	Area of proposed LOD:
Proposed Use of Property and	Request of Proposal:	Please list and	provide copies of resolutions of previously
Eating and drinking establi	ishment with	approved applications affecting the subject property:	
drive-through service. Rat	ze all existing structures	SE-3805	
and rebuild eating and drir	nking establishment.		
Applicant Name, Address & Ph	one:	Consultant Na	me, Address & Phone:
McDonald's Corp.		McNamee Hosea	
6903 Rockledge Drive, Su	ite 1100	6411 Ivy Lan	le, Suite 200
Bethesda, MD 20817		Greenbelt, N	la 20770
Owner Name, Address & Phon		Contact Name	, Phone & E-mail:
(if same as applicant indicate same/corpora	tion see Disclosure)	Dan Lynch	
		301-441-2420	
dlynch@mhlawyérs.com			11
SIGNATURE (Sign where appropr	iate; include Application Form D	isclosure for addif	onal owner's signatures)
Joseph Cuero 10/22/19 JOSTON CUERO 10/22/19			
Owner's Signature typed & signed Date Applicant's Signature typed & signed Date AREA CONSTRUCTION MONALIN AREA CONSTRUCTION MISLES PER			AREA CONSTRUCTION MIDLS PER
/			
Contract Purchaser's Signature t	typed& Date	Applicant's	Signature typed & signed Date

SUBDIVISION CASES – PRELIMINARY PLAN/CONSERVATION SKETCH PLAN:				
Type of Application (Check all that apply)				
Conventional	Comprehensive Design	Conserv	vation Sketch Plan	Pre-Preliminary Plan
Variation, Variance or Alternative	e Compliance Request(s)	Applicat	le Zoning/Subdivision Re	egulation Section(s):
Yes 🗆 No 🗆				
Total Number of Proposed:	·			//
Lots Outlots Parcels Outparcels				
Number of Dwelling Units:		Gross F	loor Area (Nonresidential	portion only):
Attached Detached	Multifamily			
SUBDIVISION CASES - FINAL P	LAT:			
Water/Sewer: DER D	Health Dept.		Number of Plats:	
CSP/DSP/SDP No.:			WSSC Authorization No	0.:
Preliminary Plan No.:				
Approval Date of Preliminary Pla	in:			
URBAN DESIGN AND ZONING C	ASES:			
Details of Request:		-	Ordinance Section(s):	
Detailed Site Plan for eating establishment with drive-thr for Subregion 4 Master Plan Amendment and amendme Development Standards.	ough service in TDOZ n and Sectional Map	27-548	.08 and 27-548.09.0	1(b)
Total Number of Proposed:				
Lots ⁴ (existing) Outlots	Parcels 0	Outparcel	S	
Number of Dwelling Units:			loor Area (Nonresidential	portion only):
Attached Detached	Multifamily	4,54	40	
Variance Request		Applicab	le Zoning/Subdivision Re	egulation Section(s):
Yes 🗆 No 🖬				
Departure Request		Applicat	ion Filed	
Yes 🗆 No 🖬		Yes 🗆	No 🗆	
Alternative Compliance Request		Applicat	ion Filed	
Yes 🖬 No 🗆		Yes 🖬	No 🗆	





M-NCPPC – Development Review Division Prince George's County Planning Department #14741 Governor Oden Bowie Drive, Upper Marlboro, Maryland 20772 # 301-952-3530

DO NOT WRITE IN THIS SP	PACE		
Application No.(s):Planning Board Review Planning Director Review			
Acceptance Date:	70-day limit		Limit waived-New limit
Posting Waived D Posting Da	ate:No.	of Signs Posted:_	Agenda Date:
Application Fee:	Posting Fee:	Case Re	eviewer:
Subdivision Development Revie	ew Committee Date:		
Referral Mail-Out Date:	Referral Due [Date:	
Date of Informational Mailing:	Date	of Acceptance Mai	ling:
APPLICATION TYPE:	APPLICATION TYPE: I Revision of Case # Companion Cases:		
PROJECT NAME: McDon	ald's Landover		
Complete address (if applicable	e) 8710 Central Avenue, Hyattsv	ville, MD 20785	Tax Account #: 2070019
Geographic Location (distance		·	
Located on the north side of Ce	ntral Avenue at its intersection	on with Brightsea	t Road
Total Acreage: 1.32	Aviation Policy Area: N/A	۱	Election District: 13
Tax Map/Grid:67/C4	Current Zone(s): MUI/DC	DZ	Council District: 5
WSSC Grid:201NE08	Existing Lots/Blocks/Parcels: Lt 11,12,13,14		Dev. Review District:
Planning Area:	In Municipal Boundary: N	/A	Is development exempt from grading permit pursuant to 32-127(a)(6)(A): □ Y ■ N
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Proposed Use of Property and	Request of Proposal:	Please list and	provide copies of resolutions of previously
Eating and drinking establi	ishment with	approved applications affecting the subject property:	
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Applicant Name, Address & Ph	one:	Consultant Na	me, Address & Phone:
McDonald's Corp.		McNamee Hosea	
6903 Rockledge Drive, Su	ite 1100	6411 Ivy Lan	le, Suite 200
Bethesda, MD 20817		Greenbelt, N	la 20770
Owner Name, Address & Phon		Contact Name	, Phone & E-mail:
(if same as applicant indicate same/corpora	tion see Disclosure)	Dan Lynch	
		301-441-2420	
dlynch@mhlawyérs.com			11
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Joseph Cuero 10/22/19 JOSTON CUERO 10/22/19			
Owner's Signature typed & signed Date Applicant's Signature typed & signed Date AREA CONSTRUCTION MONALIN AREA CONSTRUCTION MISLES PER			AREA CONSTRUCTION MIDLS PER
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Yes 🗆 No 🗆				
Total Number of Proposed:	·			//
Lots Outlots Parcels Outparcels				
Number of Dwelling Units:		Gross F	loor Area (Nonresidential	portion only):
Attached Detached	Multifamily			
SUBDIVISION CASES - FINAL P	LAT:			
Water/Sewer: DER	Health Dept.		Number of Plats:	
CSP/DSP/SDP No.:			WSSC Authorization No	0.:
Preliminary Plan No.:				
Approval Date of Preliminary Pla	in:			
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Yes 🗆 No 🖬		Yes 🗆	No 🗆	
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Yes 🖬 No 🗆		Yes 🖬	No 🗆	





M-NCPPC – Development Review Division Prince George's County Planning Department #14741 Governor Oden Bowie Drive, Upper Marlboro, Maryland 20772 # 301-952-3530

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Subdivision Development Revie	ew Committee Date:		
Referral Mail-Out Date:	Referral Due [Date:	
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Bethesda, MD 20817		Greenbelt, N	la 20770
Owner Name, Address & Phon		Contact Name	, Phone & E-mail:
(if same as applicant indicate same/corpora	tion see Disclosure)	Dan Lynch	
		301-441-2420	
dlynch@mhlawyérs.com			11
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Yes 🗆 No 🖬		Yes 🗆	No 🗆	
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M-NCPPC – Development Review Division Prince George's County Planning Department #14741 Governor Oden Bowie Drive, Upper Marlboro, Maryland 20772 # 301-952-3530

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Type of Application (Check all that apply)				
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Yes 🗆 No 🗆				
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Yes 🗆 No 🖬		Yes 🗆	No 🗆	
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Yes 🖬 No 🗆		Yes 🖬	No 🗆	



Prince George's County Planning Department Historic Preservation Section

(301) 952-3680 www.mncppc.org

Historic Preservation/Archeology Pre-Submittal Checklist for Development Applications

Project Name: McDonald's Landover	Applicant's Name: McDonald's Corp.
Application Type: Detailed Site Plan	Project Number (if applicable): DSP-19060
Contact/Agent: Dan Lynch	Phone/Fax: 301-441-2420
	Associated/Previous Project Numbers: SE-3805

- Provide photographs of all standing structures or structural remains, such as foundations or manmade landscape features, on the property.
- · Provide chain of title information on the property to at least 1900.
- Provide a list and location of any known historic resources or cemeteries on or adjacent to the property.

To be completed by Historic Preservation Section staff.

Required Information	Yes	No	N/A	Requirement for this Applicant
Photographs of all structures or structural remains	1			If checked Yes or N/A, no further information needed.
Chain of title			1	If checked Yes or N/A, no further information needed.
List of known historic resources and cometeries			1	If checked Yes or N/A, no further information needed.

Additional Information Required: No additional information needed. This
proposal will not affect my historic or archeological resources.
Jerun Statelin 11 5 19 Histori Preservation Staff Signature Date
<u>Jenni fer Stable</u> Historic Preservation Staff Name (printed)
301-952-5595; jennifer. Stabler @ ppd. mncppc. org Historic Preservation Staff Phone and E-mail



Prince George's County Planning Department Historic Preservation Section

(301) 952-3680 www.mncppc.org

Historic Preservation/Archeology Pre-Submittal Checklist for Development Applications

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301-952-5595; jennifer. Stabler @ ppd. mncppc. org Historic Preservation Staff Phone and E-mail



Prince George's County Planning Department Historic Preservation Section

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- Provide a list and location of any known historic resources or cemeteries on or adjacent to the property.

To be completed by Historic Preservation Section staff.

Required Information	Yes	No	N/A	Requirement for this Applicant
Photographs of all structures or structural remains	1			If checked Yes or N/A, no further information needed.
Chain of title			1	If checked Yes or N/A, no further information needed.
List of known historic resources and cometeries			1	If checked Yes or N/A, no further information needed.

Additional Information Required: No additional information needed. This
proposal will not affect my historic or archeological resources.
Jerunfu Statelin 11/5/19 Historil Preservation Staff Signature Date
Jenni feer Stable Historic Preservation Staff Name (printed)
301-952-5595; jennifer. Stabler @ ppd. mncppc. org Historic Preservation Staff Phone and E-mail



Prince George's County Planning Department Historic Preservation Section

(301) 952-3680 www.mncppc.org

Historic Preservation/Archeology Pre-Submittal Checklist for Development Applications

Project Name: McDonald's Landover	Applicant's Name: McDonald's Corp.
Application Type: Detailed Site Plan	Project Number (if applicable): DSP-19060
Contact/Agent: Dan Lynch	Phone/Fax: 301-441-2420
	Associated/Previous Project Numbers: SE-3805

- Provide photographs of all standing structures or structural remains, such as foundations or manmade landscape features, on the property.
- · Provide chain of title information on the property to at least 1900.
- Provide a list and location of any known historic resources or cemeteries on or adjacent to the property.

To be completed by Historic Preservation Section staff.

Required Information	Yes	No	N/A	Requirement for this Applicant
Photographs of all structures or structural remains	1			If checked Yes or N/A, no further information needed.
Chain of title			1	If checked Yes or N/A, no further information needed.
List of known historic resources and cometeries			1	If checked Yes or N/A, no further information needed.

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mhlawyers.com

October 17, 2019

Via First Class Mail

TO: Adjoining Property Owners, Municipalities Within One Mile, Previous Parties of Record, and/or Registered Associations

FROM: Daniel F. Lynch, Esq.

RE: DSP-19060: McDonald's 8710 Central Avenue

Dear Party of Record, Adjoining Property Owners, and Registered Associations & Municipalities:

A detailed site plan for the above-referenced project will be submitted for review to the Development Review Division of the Maryland-National Capital Park and Planning Commission ("M-NCPPC").

The address of the subject property is 8710 Central Avenue, Hyattsville, MD, 20785, which is located at the northwest quadrant of its intersection with Brightseat Road. The nature of the review is for the renovation of an existing eating and drinking establishment.

If you wish to become a Person of Record to this application, you may submit your request online at http://www.pgplanning.org/1586/Become-a-Person-of-Record or by written request to the Development Review Division of the M-NCPPC, 14741 Governor Oden Bowie Drive, Upper Marlboro, MD 20772. Please reference the Pre-Application Number and the Name of Project in your request. At this time no government agency has reviewed the application. After the application has been filed, you may contact the M-NCPPC at 301-952-3530.

IMPORTANT: This notice is your opportunity to interact with the applicant prior to the acceptance of the subject application. Once an application is accepted, it may be subject to mandatory action time frames that are established by law. Contacting the applicant as soon as possible after receiving this notice will help facilitate your ability to receive information and/or establish a time when the applicant may meet with you or your civic group to provide information and answer questions about the development proposed. Any concerns regarding an applicant's failure to provide information or engage in dialogue about the proposed development should be directed in writing to the same mailing address listed for becoming a party of record. Please be sure to include the application number with any such correspondence.

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Daniel F. Lynch



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Daniel F. Lynch



Prince George's County Planning Department Planning Information Services 14741 Governor Oden Bowie Drive, Suite L2 Upper Marlboro, MD 20772 (301) 952-3208 (301)-952-3195 www.mncppc.org

Date: 10/9/19

MAILING LIST - RECEIPT

This receipt is to acknowledge that Suzanne Nickle			of (name
of company, if applicable) McNamee/Hosea			
received the following lists as described by the catego	ries below:		
Registered community organization list	Total Record(s):	33	
Adjoining property owners list	Total Record(s):	14	

,		
☑ Municipalities within one mile list	Total Record(s):	0

This list is valid for 90 days from the date referenced above. Applicants shall obtain an updated mailing list if notifications are not sent within 90 days.

This property is located on WSSC Grid: 10/9/2019

Lisa Isenberg

Planning Information Services Staff

NOTE: Copy of this form must be included with Application submittal package.

The Maryland-National Capital Park & Planning Commission Results Prince George's County Planning Department Date: Wednesday, October 09, 2019 Time: 3:49:43 PM __________ Total Record(s): 33 Layer: Registered Association _____ ARCDBA.Registered Association Py.OBJECTID: 433 ARCDBA.Registered Association Py.ASSOCIATION_NUMBER: 661 ARCDBA.Registered Association Py.SHAPE: Polygon ARCDBA.CMS COMS DB.OBJECTID: 2 ARCDBA.CMS COMS DB.COMS ID: 661 ARCDBA.CMS COMS DB.ORGANIZATION_NAME: PALMER PARK CITIZENS ASSOCIATION ARCDBA.CMS COMS DB.TYPE : CITIZEN ARCDBA.CMS COMS DB.CONTACT: <null> ARCDBA.CMS_COMS_DB.STREET_NUMBER: 1920 ARCDBA.CMS COMS DB.STREET NAME: RAY LEONARD ROAD ARCDBA.CMS COMS DB.STREET LINE 2: <null> ARCDBA.CMS_COMS_DB.CITY: HYATTSVILLE ARCDBA.CMS COMS DB.STATE: MD ARCDBA.CMS COMS DB.ZIPCODE: 20785 ARCDBA.CMS COMS DB.NUMBER OF MEMBERS: 11 ARCDBA.CMS COMS DB.REGISTRATION DATE: 5/14/2009 Layer: Registered Association _____ ARCDBA.Registered Association Py.OBJECTID: 1643 ARCDBA.Registered Association Py.ASSOCIATION NUMBER: 490 ARCDBA.Registered Association Py.SHAPE: Polygon ARCDBA.CMS_COMS_DB.OBJECTID: 32 ARCDBA.CMS COMS DB.COMS ID: 490 ARCDBA.CMS COMS DB.ORGANIZATION NAME: WILLOW GROVE CITIZENS ASSOCIATION ARCDBA.CMS COMS DB.TYPE : CITIZEN ARCDBA.CMS COMS DB.CONTACT: <null> ARCDBA.CMS COMS DB.STREET NUMBER: <null> ARCDBA.CMS COMS DB.STREET NAME: P. O. BOX 310 ARCDBA.CMS_COMS_DB.STREET_LINE_2: <null> ARCDBA.CMS COMS DB.CITY: GLENN DALE ARCDBA.CMS COMS DB.STATE: MD ARCDBA.CMS COMS DB.ZIPCODE: 20769 ARCDBA.CMS COMS DB.NUMBER OF MEMBERS: 50 ARCDBA.CMS_COMS_DB.REGISTRATION DATE: 1/12/2004

Layer: Registered Association

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   ARCDBA.Registered Association_Py.SHAPE: Polygon
   ARCDBA.CMS COMS DB.OBJECTID: 142
   ARCDBA.CMS COMS DB.COMS ID: 731
   ARCDBA.CMS_COMS_DB.ORGANIZATION_NAME: ENTERPRISE ESTATES CIVIC
ASSOCIATION
   ARCDBA.CMS COMS DB.TYPE : CIVIC
   ARCDBA.CMS COMS DB.CONTACT: <null>
   ARCDBA.CMS COMS DB.STREET NUMBER: 11704
   ARCDBA.CMS COMS DB.STREET NAME: WHITTIER ROAD
   ARCDBA.CMS COMS DB.STREET LINE 2: <null>
   ARCDBA.CMS COMS DB.CITY: BOWIE
   ARCDBA.CMS COMS DB.STATE: MD
   ARCDBA.CMS COMS DB.ZIPCODE: 20721
   ARCDBA.CMS COMS DB.NUMBER OF MEMBERS: 410
   ARCDBA.CMS COMS DB.REGISTRATION_DATE: 9/17/2014
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    ARCDBA.Registered_Association_Py.OBJECTID: 501
    ARCDBA.Registered Association Py.ASSOCIATION NUMBER: 598
    ARCDBA.Registered_Association_Py.SHAPE: Polygon
    ARCDBA.CMS COMS DB.OBJECTID: 61
    ARCDBA.CMS COMS DB.COMS ID: 598
    ARCDBA.CMS COMS DB.ORGANIZATION NAME: VILLAGE AT COLLINGTON
CONDOMINIUM
    ARCDBA.CMS COMS DB.TYPE : CONDOMINIUM
    ARCDBA.CMS COMS DB.CONTACT: <null>
    ARCDBA.CMS COMS DB.STREET NUMBER: 12200
    ARCDBA.CMS COMS DB.STREET NAME: TECH ROAD
    ARCDBA.CMS COMS DB.STREET LINE 2: C/O TIDEWATER PROPERTY MGMT, #325
    ARCDBA.CMS COMS DB.CITY: SILVER SPRING
    ARCDBA.CMS COMS DB.STATE: MD
    ARCDBA.CMS COMS DB.ZIPCODE: 20904
    ARCDBA.CMS COMS DB.NUMBER OF MEMBERS: 80
    ARCDBA.CMS COMS DB.REGISTRATION DATE: 9/1/2007
Layer: Registered Association
          _____
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    ARCDBA.Registered Association Py.SHAPE: Polygon
    ARCDBA.CMS_COMS_DB.OBJECTID: 132
    ARCDBA.CMS COMS DB.COMS ID: 754
    ARCDBA.CMS COMS DB.ORGANIZATION NAME: BRIGHTON PLACE HOMEOWNERS
ASSOCIATION
    ARCDBA.CMS COMS DB.TYPE : HOME OWNERS
    ARCDBA.CMS_COMS DB.CONTACT: <null>
    ARCDBA.CMS COMS DB.STREET NUMBER: 12200
    ARCDBA.CMS COMS DB.STREET NAME: TECH ROAD
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ARCDBA.CMS COMS DB.STATE: MD ARCDBA.CMS COMS DB.ZIPCODE: 20904 ARCDBA.CMS COMS DB.NUMBER OF MEMBERS: 126 ARCDBA.CMS COMS DB.REGISTRATION DATE: 11/17/2016 Layer: Registered Association _____ ARCDBA.Registered Association Py.OBJECTID: 421 ARCDBA.Registered Association Py.ASSOCIATION NUMBER: 740 ARCDBA.Registered Association Py.SHAPE: Polygon ARCDBA.CMS COMS DB.OBJECTID: 124 ARCDBA.CMS_COMS_DB.COMS_ID: 740 ARCDBA.CMS COMS DB.ORGANIZATION NAME: GLENN ESTATES HOMEOWNERS ASSOCIATION ARCDBA.CMS COMS DB.TYPE : HOME OWNERS ARCDBA.CMS_COMS_DB.CONTACT: <null> ARCDBA.CMS_COMS_DB.STREET_NUMBER: <null> ARCDBA.CMS COMS DB.STREET NAME: P.O. BOX 893 ARCDBA.CMS COMS DB.STREET LINE 2: C/O FRONT STREET MANAGEMENT-TIMOTHY SMITH ARCDBA.CMS COMS DB.CITY: LANHAM ARCDBA.CMS COMS DB.STATE: MD ARCDBA.CMS COMS DB.ZIPCODE: 20703 ARCDBA.CMS COMS DB.NUMBER_OF_MEMBERS: 7 ARCDBA.CMS COMS DB.REGISTRATION DATE: 3/31/2016 Layer: Registered Association _____ ARCDBA.Registered Association Py.OBJECTID: 437 ARCDBA.Registered Association Py.ASSOCIATION NUMBER: 165 ARCDBA.Registered_Association_Py.SHAPE: Polygon ARCDBA.CMS COMS DB.OBJECTID: 37 ARCDBA.CMS COMS DB.COMS ID: 165 ARCDBA.CMS COMS DB.ORGANIZATION NAME: GLENARDEN CIVIC ASSOCIATION ARCDBA.CMS COMS DB.TYPE : CIVIC ARCDBA.CMS COMS DB.CONTACT: <null> ARCDBA.CMS COMS DB.STREET NUMBER: 900 ARCDBA.CMS COMS DB.STREET NAME: SMITHVIEW PLACE ARCDBA.CMS_COMS_DB.STREET_LINE_2: <null> ARCDBA.CMS COMS DB.CITY: UPPER MARLBORO ARCDBA.CMS COMS DB.STATE: MD ARCDBA.CMS COMS DB.ZIPCODE: 20774 ARCDBA.CMS COMS DB.NUMBER OF MEMBERS: 146 ARCDBA.CMS COMS DB.REGISTRATION DATE: 6/6/2008 Layer: Registered Association _____ ARCDBA.Registered Association Py.OBJECTID: 419 ARCDBA.Registered_Association_Py.ASSOCIATION NUMBER: 701 ARCDBA.Registered Association Py.SHAPE: Polygon

ARCDBA.CMS_COMS_DB.OBJECTID: 66

ARCDBA.CMS_COMS_DB.COMS_ID: 701 ARCDBA.CMS_COMS_DB.ORGANIZATION_NAME: PROGRESSIVE CHEVERLY ARCDBA.CMS_COMS_DB.TYPE_: OTHER ARCDBA.CMS_COMS_DB.CONTACT: <null> ARCDBA.CMS_COMS_DB.STREET_NUMBER: 3020 ARCDBA.CMS_COMS_DB.STREET_NAME: PARK WAY ARCDBA.CMS_COMS_DB.STREET_LINE_2: <null> ARCDBA.CMS_COMS_DB.CITY: HYATTSVILLE ARCDBA.CMS_COMS_DB.STATE: MD ARCDBA.CMS_COMS_DB.ZIPCODE: 20785 ARCDBA.CMS_COMS_DB.NUMBER_OF_MEMBERS: 100 ARCDBA.CMS_COMS_DB.REGISTRATION_DATE: 12/5/2011

Layer: Registered Association

ARCDBA.Registered Association Py.OBJECTID: 499 ARCDBA.Registered Association Py.ASSOCIATION NUMBER: 717 ARCDBA.Registered Association Py.SHAPE: Polygon ARCDBA.CMS COMS DB.OBJECTID: 147 ARCDBA.CMS COMS_DB.COMS_ID: 717 ARCDBA.CMS COMS DB.ORGANIZATION NAME: GLENSFORD CONDOMINIUM ARCDBA.CMS COMS DB.TYPE : CONDOMINIUM ARCDBA.CMS COMS DB.CONTACT: <null> ARCDBA.CMS COMS DB.STREET NUMBER: 6915 ARCDBA.CMS COMS DB.STREET NAME: LAUREL BOWIE ROAD ARCDBA.CMS COMS DB.STREET LINE 2: SUITE 101 ARCDBA.CMS COMS DB.CITY: BOWIE ARCDBA.CMS COMS DB.STATE: MD ARCDBA.CMS COMS DB.ZIPCODE: 20715 ARCDBA.CMS COMS DB.NUMBER OF MEMBERS: 400 ARCDBA.CMS COMS DB.REGISTRATION DATE: 3/11/2014

Layer: Registered Association

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Layer: Registered Association

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Layer: Registered Association

ARCDBA.Registered Association Py.OBJECTID: 420 ARCDBA.Registered Association Py.ASSOCIATION_NUMBER: 688 ARCDBA.Registered Association Py.SHAPE: Polygon ARCDBA.CMS COMS DB.OBJECTID: 5 ARCDBA.CMS COMS DB.COMS ID: 688 ARCDBA.CMS COMS DB.ORGANIZATION_NAME: BLADENWOODS CONDOMINIUMS ARCDBA.CMS COMS DB.TYPE : CONDOMINIUM ARCDBA.CMS COMS DB.CONTACT: <null> ARCDBA.CMS COMS DB.STREET NUMBER: 5211 ARCDBA.CMS COMS DB.STREET NAME: NEWTON STREET ARCDBA.CMS COMS DB.STREET LINE 2: #303 ARCDBA.CMS_COMS_DB.CITY: BLADENSBURG ARCDBA.CMS COMS DB.STATE: MD ARCDBA.CMS COMS DB.ZIPCODE: 20710 ARCDBA.CMS COMS DB.NUMBER OF MEMBERS: 172 ARCDBA.CMS COMS DB.REGISTRATION DATE: 10/4/2010

Layer: Registered Association

ARCDBA.Registered Association Py.OBJECTID: 442 ARCDBA.Registered Association Py.ASSOCIATION NUMBER: 703 ARCDBA.Registered Association Py.SHAPE: Polygon ARCDBA.CMS COMS DB.OBJECTID: 86 ARCDBA.CMS_COMS DB.COMS ID: 703 ARCDBA.CMS COMS DB.ORGANIZATION_NAME: SENIORS R US ARCDBA.CMS COMS DB.TYPE : OTHER ARCDBA.CMS COMS DB.CONTACT: <null> ARCDBA.CMS_COMS_DB.STREET_NUMBER: 1918 ARCDBA.CMS COMS DB.STREET NAME: GOLDEN MORNING DRIVE ARCDBA.CMS COMS DB.STREET LINE 2: <null> ARCDBA.CMS_COMS_DB.CITY: BOWIE ARCDBA.CMS COMS DB.STATE: MD ARCDBA.CMS COMS DB.ZIPCODE: 20721 ARCDBA.CMS COMS DB.NUMBER OF MEMBERS: 36 ARCDBA.CMS COMS DB.REGISTRATION_DATE: 1/30/2012

Layer: Registered Association

ARCDBA.Registered_Association_Py.OBJECTID: 617 ARCDBA.Registered_Association_Py.ASSOCIATION_NUMBER: 208 ARCDBA.Registered Association_Py.SHAPE: Polygon

ARCDBA.CMS COMS DB.OBJECTID: 44 ARCDBA.CMS COMS DB.COMS_ID: 208 ARCDBA.CMS_COMS DB.ORGANIZATION NAME: HOLMEHURST SOUTH CIVIC ASSOCIATION ARCDBA.CMS COMS DB.TYPE : CIVIC ARCDBA.CMS COMS DB.CONTACT: <null> ARCDBA.CMS COMS DB.STREET NUMBER: 4523 ARCDBA.CMS COMS DB.STREET NAME: WOODGATE WAY ARCDBA.CMS_COMS_DB.STREET_LINE_2: <null> ARCDBA.CMS COMS DB.CITY: BOWIE ARCDBA.CMS COMS DB.STATE: MD ARCDBA.CMS COMS DB.ZIPCODE: 20720 ARCDBA.CMS COMS DB.NUMBER_OF_MEMBERS: 100 ARCDBA.CMS_COMS_DB.REGISTRATION_DATE: 5/7/2008 Layer: Registered Association ARCDBA.Registered Association Py.OBJECTID: 602 ARCDBA.Registered Association Py.ASSOCIATION NUMBER: 473 ARCDBA.Registered_Association_Py.SHAPE: Polygon ARCDBA.CMS COMS DB.OBJECTID: 18 ARCDBA.CMS COMS DB.COMS ID: 473 ARCDBA.CMS_COMS_DB.ORGANIZATION_NAME: VISTA ESTATES WEST HOMEOWNERS ASSOCIATION ARCDBA.CMS COMS DB.TYPE : HOMEOWNERS ARCDBA.CMS COMS DB.CONTACT: <null> ARCDBA.CMS COMS DB.STREET NUMBER: 1296 ARCDBA.CMS COMS DB.STREET NAME: CRONSON BLVD. ARCDBA.CMS COMS_DB.STREET LINE 2: C/O CASTER MANAGEMENT, LLC, #4284 ARCDBA.CMS COMS DB.CITY: CROFTON ARCDBA.CMS_COMS_DB.STATE: MD ARCDBA.CMS COMS DB.ZIPCODE: 21114 ARCDBA.CMS COMS DB.NUMBER OF MEMBERS: 135 ARCDBA.CMS COMS DB.REGISTRATION_DATE: 1/12/2005 Laver: Registered Association ARCDBA.Registered Association Py.OBJECTID: 587 ARCDBA.Registered Association Py.ASSOCIATION_NUMBER: 761 ARCDBA.Registered Association Py.SHAPE: Polygon ARCDBA.CMS COMS DB.OBJECTID: 138 ARCDBA.CMS COMS DB.COMS ID: 761 ARCDBA.CMS_COMS_DB.ORGANIZATION_NAME: LEWISDALE CITIZENS' ASSOCIATION ARCDBA.CMS COMS DB.TYPE : CIVIC ARCDBA.CMS COMS DB.CONTACT: <null> ARCDBA.CMS COMS DB.STREET NUMBER: 6613 ARCDBA.CMS COMS DB.STREET_NAME: 22ND PLACE ARCDBA.CMS COMS DB.STREET LINE_2: <null> ARCDBA.CMS COMS DB.CITY: HYATTSVILLE ARCDBA.CMS COMS DB.STATE: MD ARCDBA.CMS_COMS_DB.ZIPCODE: 20782 ARCDBA.CMS_COMS_DB.NUMBER_OF_MEMBERS: 175

ARCDBA.CMS COMS DB.REGISTRATION DATE: 10/10/2017

Layer: Registered Association ARCDBA.Registered Association Py.OBJECTID: 413 ARCDBA.Registered Association Py.ASSOCIATION NUMBER: 336 ARCDBA.Registered Association Py.SHAPE: Polygon ARCDBA.CMS COMS DB.OBJECTID: 7 ARCDBA.CMS COMS DB.COMS ID: 336 ARCDBA.CMS COMS DB.ORGANIZATION NAME: RANDOLPH VILLAGE CIVIC ASSOCIATION ARCDBA.CMS COMS DB.TYPE : CIVIC ARCDBA.CMS COMS DB.CONTACT: <null> ARCDBA.CMS COMS DB.STREET NUMBER: 8422 ARCDBA.CMS COMS DB.STREET NAME: DUNBAR AVENUE ARCDBA.CMS_COMS_DB.STREET_LINE_2: <null> ARCDBA.CMS COMS DB.CITY: HYATTSVILLE ARCDBA.CMS COMS DB.STATE: MD ARCDBA.CMS COMS DB.ZIPCODE: 20785 ARCDBA.CMS_COMS_DB.NUMBER OF MEMBERS: 75 ARCDBA.CMS COMS DB.REGISTRATION DATE: 1/4/2007 Layer: Registered Association ARCDBA.Registered Association Py.OBJECTID: 625 ARCDBA.Registered Association Py.ASSOCIATION NUMBER: 709 ARCDBA.Registered Association Py.SHAPE: Polygon ARCDBA.CMS COMS DB.OBJECTID: 139 ARCDBA.CMS COMS DB.COMS ID: 709 ARCDBA.CMS COMS DB.ORGANIZATION NAME: WILLOW WOOD ESTATES CIVIC ASSOCIATION ARCDBA.CMS COMS DB.TYPE : CIVIC ARCDBA.CMS COMS DB.CONTACT: <null> ARCDBA.CMS COMS DB.STREET NUMBER: 10205 ARCDBA.CMS COMS DB.STREET NAME: BALD HILL ROAD ARCDBA.CMS COMS DB.STREET LINE 2: <null> ARCDBA.CMS COMS DB.CITY: BOWIE ARCDBA.CMS COMS DB.STATE: MD ARCDBA.CMS COMS DB.ZIPCODE: 20721 ARCDBA.CMS COMS DB.NUMBER OF MEMBERS: 59 ARCDBA.CMS COMS DB.REGISTRATION DATE: 8/28/2012 Layer: Registered Association ARCDBA.Registered Association Py.OBJECTID: 423 ARCDBA.Registered Association Py.ASSOCIATION NUMBER: 505 ARCDBA.Registered Association Py.SHAPE: Polygon ARCDBA.CMS COMS DB.OBJECTID: 54 ARCDBA.CMS COMS DB.COMS ID: 505 ARCDBA.CMS COMS DB.ORGANIZATION NAME: CHEVERLY RECREATION COUNCIL ARCDBA.CMS COMS DB.TYPE : OTHER

ARCDBA.CMS COMS DB.CONTACT: <null> ARCDBA.CMS_COMS_DB.STREET_NUMBER: 3012 ARCDBA.CMS COMS DB.STREET NAME: PARK WAY ARCDBA.CMS COMS DB.STREET LINE_2: <null> ARCDBA.CMS COMS DB.CITY: HYATTSVILLE ARCDBA.CMS COMS DB.STATE: MD ARCDBA.CMS COMS DB.ZIPCODE: 20785 ARCDBA.CMS COMS DB.NUMBER OF MEMBERS: 12 ARCDBA.CMS COMS DB.REGISTRATION DATE: 4/1/2004 Layer: Registered Association _____ ARCDBA.Registered Association Py.OBJECTID: 938 ARCDBA.Registered Association Py.ASSOCIATION NUMBER: 764 ARCDBA.Registered Association Py.SHAPE: Polygon ARCDBA.CMS COMS DB.OBJECTID: 98 ARCDBA.CMS COMS DB.COMS ID: 764 ARCDBA.CMS COMS DB.ORGANIZATION NAME: CENTENNIAL VILLAGE HOA ARCDBA.CMS COMS DB.TYPE_: HOME OWNERS ARCDBA.CMS COMS DB.CONTACT: <null> ARCDBA.CMS COMS DB.STREET NUMBER: 400 ARCDBA.CMS COMS DB.STREET NAME: SERENDIPITY DRIVE ARCDBA.CMS COMS DB.STREET LINE 2: <null> ARCDBA.CMS_COMS_DB.CITY: MILLERSVILLE ARCDBA.CMS COMS DB.STATE: MD ARCDBA.CMS COMS DB.ZIPCODE: 21108 ARCDBA.CMS COMS DB.NUMBER OF MEMBERS: 5 ARCDBA.CMS COMS DB.REGISTRATION DATE: 3/6/2018 Layer: Registered Association ______ ARCDBA.Registered_Association_Py.OBJECTID: 439 ARCDBA.Registered Association Py.ASSOCIATION NUMBER: 484 ARCDBA.Registered Association Py.SHAPE: Polygon ARCDBA.CMS COMS_DB.OBJECTID: 30 ARCDBA.CMS COMS DB.COMS ID: 484 ARCDBA.CMS COMS DB.ORGANIZATION NAME: LANDOVER REVITALIZATION COALITION ARCDBA.CMS_COMS_DB.TYPE_: CIVIC ARCDBA.CMS COMS DB.CONTACT: <null> ARCDBA.CMS COMS DB.STREET NUMBER: <null> ARCDBA.CMS COMS DB.STREET NAME: P.O.BOX 1643 ARCDBA.CMS_COMS_DB.STREET LINE_2: <null> ARCDBA.CMS COMS DB.CITY: HYATTSVILLE ARCDBA.CMS COMS DB.STATE: MD ARCDBA.CMS COMS DB.ZIPCODE: 20785 ARCDBA.CMS COMS DB.NUMBER OF MEMBERS: 10 ARCDBA.CMS COMS DB.REGISTRATION_DATE: 12/20/2004

Layer: Registered Association

ARCDBA.Registered Association Py.OBJECTID: 1612 ARCDBA.Registered Association_Py.ASSOCIATION_NUMBER: 773 ARCDBA.Registered Association Py.SHAPE: Polygon ARCDBA.CMS COMS DB.OBJECTID: 112 ARCDBA.CMS COMS DB.COMS ID: 773 ARCDBA.CMS_COMS_DB.ORGANIZATION_NAME: WOODMORE NORTH HOMEOWNERS ASSOCIATION ARCDBA.CMS COMS DB.TYPE : HOME OWNERS ARCDBA.CMS COMS DB.CONTACT: <null> ARCDBA.CMS COMS DB.STREET NUMBER: 1296 ARCDBA.CMS COMS DB.STREET NAME: CRONSON BLVD ARCDBA.CMS_COMS_DB.STREET_LINE_2: #4284 ARCDBA.CMS COMS DB.CITY: CROFTON ARCDBA.CMS COMS DB.STATE: MD ARCDBA.CMS COMS DB.ZIPCODE: 21114 ARCDBA.CMS COMS DB.NUMBER OF MEMBERS: 226 ARCDBA.CMS COMS DB.REGISTRATION DATE: 10/5/2018 Layer: Registered Association ARCDBA.Registered Association Py.OBJECTID: 436 ARCDBA.Registered Association Py.ASSOCIATION NUMBER: 107 ARCDBA.Registered Association Py.SHAPE: Polygon ARCDBA.CMS COMS DB.OBJECTID: 17 ARCDBA.CMS COMS DB.COMS_ID: 107 ARCDBA.CMS COMS DB.ORGANIZATION NAME: COLUMBIA PARK CIVIC ASSOCIATION ARCDBA.CMS COMS DB.TYPE : CIVIC ARCDBA.CMS COMS DB.CONTACT: <null> ARCDBA.CMS COMS DB.STREET NUMBER: 1616 ARCDBA.CMS COMS DB.STREET NAME: EAST WASHINGTON AVENUE ARCDBA.CMS COMS DB.STREET LINE 2: <null> ARCDBA.CMS_COMS_DB.CITY: HYATTSVILLE ARCDBA.CMS COMS DB.STATE: MD ARCDBA.CMS COMS DB.ZIPCODE: 20785 ARCDBA.CMS COMS DB.NUMBER OF MEMBERS: 40 ARCDBA.CMS COMS_DB.REGISTRATION_DATE: 6/15/2003

Layer: Registered Association

ARCDBA.Registered_Association_Py.OBJECTID: 500 ARCDBA.Registered_Association_Py.ASSOCIATION_NUMBER: 719 ARCDBA.Registered_Association_Py.SHAPE: Polygon ARCDBA.CMS_COMS_DB.OBJECTID: 149 ARCDBA.CMS_COMS_DB.COMS_ID: 719 ARCDBA.CMS_COMS_DB.ORGANIZATION_NAME: LLG RECREATION ASSOCIATION ARCDBA.CMS_COMS_DB.TYPE_: OTHER ARCDBA.CMS_COMS_DB.TYPE_: OTHER ARCDBA.CMS_COMS_DB.CONTACT: <null> ARCDBA.CMS_COMS_DB.STREET_NUMBER: 6915 ARCDBA.CMS_COMS_DB.STREET_NAME: LAUREL BOWIE ROAD ARCDBA.CMS_COMS_DB.STREET_LINE_2: SUITE 101 ARCDBA.CMS_COMS_DB.CITY: BOWIE ARCDBA.CMS_COMS_DB.STATE: MD

ARCDBA.CMS COMS DB.ZIPCODE: 20715 ARCDBA.CMS COMS DB.NUMBER OF MEMBERS: 672 ARCDBA.CMS COMS DB.REGISTRATION DATE: 3/11/2014 Layer: Registered Association ______ ARCDBA.Registered Association Py.OBJECTID: 1272 ARCDBA.Registered_Association_Py.ASSOCIATION_NUMBER: 735 ARCDBA.Registered Association Py.SHAPE: Polygon ARCDBA.CMS COMS DB.OBJECTID: 121 ARCDBA.CMS COMS DB.COMS ID: 735 ARCDBA.CMS COMS DB.ORGANIZATION NAME: RADIANT VALLEY CIVIC ASSOCIATION ARCDBA.CMS_COMS_DB.TYPE : CIVIC ARCDBA.CMS COMS DB.CONTACT: <null> ARCDBA.CMS_COMS_DB.STREET_NUMBER: 6821 ARCDBA.CMS COMS DB.STREET_NAME: BARTON ROAD ARCDBA.CMS COMS DB.STREET_LINE_2: <null> ARCDBA.CMS COMS DB.CITY: HYATTSVILLE ARCDBA.CMS COMS DB.STATE: MD ARCDBA.CMS COMS DB.ZIPCODE: 20784 ARCDBA.CMS COMS DB.NUMBER OF MEMBERS: 60 ARCDBA.CMS COMS DB.REGISTRATION DATE: 2/6/2015 Layer: Registered Association _____ ARCDBA.Registered Association Py.OBJECTID: 1656 ARCDBA.Registered Association Py.ASSOCIATION NUMBER: 776 ARCDBA.Registered Association Py.SHAPE: Polygon ARCDBA.CMS_COMS_DB.OBJECTID: 155 ARCDBA.CMS COMS DB.COMS ID: 776 ARCDBA.CMS COMS DB.ORGANIZATION NAME: GREATER CAPITOL HEIGHTS IMPROVEMENT CORPORATION INC. ARCDBA.CMS COMS DB.TYPE_: CITIZEN ARCDBA.CMS COMS DB.CONTACT: <null> ARCDBA.CMS COMS DB.STREET NUMBER: 415 ARCDBA.CMS COMS DB.STREET NAME: ZELMA AVENUE ARCDBA.CMS_COMS_DB.STREET_LINE 2: <null> ARCDBA.CMS COMS DB.CITY: CAPITOL HEIGHTS ARCDBA.CMS COMS DB.STATE: MD ARCDBA.CMS COMS DB.ZIPCODE: 20743 ARCDBA.CMS_COMS_DB.NUMBER OF MEMBERS: 1 ARCDBA.CMS_COMS_DB.REGISTRATION_DATE: 5/2/2019 Layer: Registered Association ______ ARCDBA.Registered Association Py.OBJECTID: 416 ARCDBA.Registered Association_Py.ASSOCIATION_NUMBER: 99 ARCDBA.Registered_Association Py.SHAPE: Polygon ARCDBA.CMS_COMS_DB.OBJECTID: 16

ARCDBA.CMS_COMS_DB.COMS_ID: 99

ARCDBA.CMS COMS DB.ORGANIZATION NAME: COALITION OF CENTRAL PGC COMMUNITY ASSOCIATIONS ARCDBA.CMS COMS DB.TYPE : CIVIC ARCDBA.CMS COMS DB.CONTACT: <null> ARCDBA.CMS COMS DB.STREET NUMBER: 708 ARCDBA.CMS COMS DB.STREET NAME: QUARRY AVENUE ARCDBA.CMS COMS DB.STREET LINE 2: <null> ARCDBA.CMS COMS DB.CITY: CAPITOL HEIGHTS ARCDBA.CMS COMS DB.STATE: MD ARCDBA.CMS COMS DB.ZIPCODE: 20743 ARCDBA.CMS COMS DB.NUMBER OF MEMBERS: 17 ARCDBA.CMS COMS DB.REGISTRATION DATE: 6/30/2003 Layer: Registered Association _____ ARCDBA.Registered_Association Py.OBJECTID: 415 ARCDBA.Registered Association Py.ASSOCIATION NUMBER: 238 ARCDBA.Registered Association Py.SHAPE: Polygon ARCDBA.CMS COMS DB.OBJECTID: 45 ARCDBA.CMS_COMS_DB.COMS_ID: 238 ARCDBA.CMS_COMS_DB.ORGANIZATION_NAME: LANHAM STATION AREA CITIZENS ASSOCIATION ARCDBA.CMS COMS DB.TYPE : CIVIC ARCDBA.CMS COMS DB.CONTACT: <null> ARCDBA.CMS COMS DB.STREET NUMBER: 5308 ARCDBA.CMS COMS DB.STREET NAME: LANHAM STATION ROAD ARCDBA.CMS COMS DB.STREET LINE 2: <null> ARCDBA.CMS COMS DB.CITY: LANHAM ARCDBA.CMS COMS DB.STATE: MD ARCDBA.CMS COMS DB.ZIPCODE: 20706 ARCDBA.CMS COMS DB.NUMBER OF MEMBERS: 175 ARCDBA.CMS COMS DB.REGISTRATION DATE: 4/28/2005 Laver: Registered Association ARCDBA.Registered Association Py.OBJECTID: 576 ARCDBA.Registered_Association_Py.ASSOCIATION_NUMBER: 757 ARCDBA.Registered Association Py.SHAPE: Polygon ARCDBA.CMS COMS DB.OBJECTID: 154 ARCDBA.CMS COMS DB.COMS ID: 757 ARCDBA.CMS_COMS_DB.ORGANIZATION_NAME: HYNESBORO PARK GREENWOOD FOREST NEIGHBORHOOD ASSOCIATION ARCDBA.CMS COMS DB.TYPE : CIVIC ARCDBA.CMS COMS DB.CONTACT: <null> ARCDBA.CMS_COMS_DB.STREET NUMBER: 9214 ARCDBA.CMS COMS DB.STREET NAME: 5TH STREET ARCDBA.CMS COMS DB.STREET_LINE_2: <null> ARCDBA.CMS COMS DB.CITY: LANHAM ARCDBA.CMS COMS DB.STATE: MD ARCDBA.CMS COMS DB.ZIPCODE: 20706 ARCDBA.CMS COMS DB.NUMBER_OF_MEMBERS: 25 ARCDBA.CMS COMS_DB.REGISTRATION_DATE: 8/10/2017

Layer: Registered Association

ARCDBA.Registered Association Py.OBJECTID: 461 ARCDBA.Registered Association Py.ASSOCIATION NUMBER: 502 ARCDBA.Registered Association Py.SHAPE: Polygon ARCDBA.CMS COMS_DB.OBJECTID: 36 ARCDBA.CMS COMS DB.COMS ID: 502 ARCDBA.CMS COMS DB.ORGANIZATION NAME: LAKEVIEW HOMEOWNERS ASSOCIATION ARCDBA.CMS COMS DB.TYPE : HOMEOWNERS ARCDBA.CMS COMS DB.CONTACT: <null> ARCDBA.CMS COMS DB.STREET NUMBER: 11018 ARCDBA.CMS COMS DB.STREET NAME: LAKE VICTORIA LANE ARCDBA.CMS COMS DB.STREET LINE 2: <null> ARCDBA.CMS COMS DB.CITY: BOWIE ARCDBA.CMS_COMS_DB.STATE: MD ARCDBA.CMS COMS DB.ZIPCODE: 20720 ARCDBA.CMS COMS DB.NUMBER OF MEMBERS: <null> ARCDBA.CMS COMS DB.REGISTRATION DATE: 1/13/2004 Layer: Registered Association ______ ARCDBA.Registered_Association Py.OBJECTID: 626 ARCDBA.Registered Association Py.ASSOCIATION_NUMBER: 741 ARCDBA.Registered Association Py.SHAPE: Polygon ARCDBA.CMS COMS DB.OBJECTID: 79 ARCDBA.CMS COMS DB.COMS ID: 741 ARCDBA.CMS_COMS_DB.ORGANIZATION_NAME: PALISADES HOMEOWNERS

ASSOCIATION

ARCDBA.CMS_COMS_DB.TYPE_: HOME OWNERS ARCDBA.CMS_COMS_DB.CONTACT: <null> ARCDBA.CMS_COMS_DB.STREET_NUMBER: 14106 ARCDBA.CMS_COMS_DB.STREET_NAME: JONES BRIDGE ROAD ARCDBA.CMS_COMS_DB.STREET_LINE_2: C/O ANDREA CLARK-CHAMBERS MGMT ARCDBA.CMS_COMS_DB.CITY: UPPER MARLBORO ARCDBA.CMS_COMS_DB.STATE: MD ARCDBA.CMS_COMS_DB.ZIPCODE: 20774 ARCDBA.CMS_COMS_DB.NUMBER_OF_MEMBERS: 136 ARCDBA.CMS_COMS_DB.REGISTRATION_DATE: 5/26/2016 The Maryland-National Capital Park & Planning Commission Results Prince George's County Planning Department Date: Wednesday, October 09, 2019 Time: 3:46:49 PM Total Record(s): 14 Layer: Property ______ ACCOUNT: 2019065 LOT: <null> BLOCK: 7 PARCEL: <null> PLAT: A18-0004 OWNER NAME: MCDONALDS CORP HOUSE NUMBER: 008800 STREET NAME: CENTRAL STREET TYPE: AVE CITY: HYATTSVILLE ZIP5: 20785 PROPERTY DESC: LT 11 EX 1194 SQ FT TO ST OF MD MAIL STREET: 1201 FIRTH OF LORNE CIR MAIL CITY: FORT WASHINGTON MAIL STATE: MD MAIL ZIP5: 20744 ICO NAME: MARY HOPKINS NAVIES Layer: Property ______ ACCOUNT: 2058832 LOT: 7 BLOCK: 7 PARCEL: <null> PLAT: A18-0004 OWNER NAME: PARKS JEAN E HOUSE NUMBER: 008703 STREET NAME: DUNBAR STREET TYPE: AVE CITY: HYATTSVILLE ZIP5: 20785 PROPERTY DESC: <null> MAIL STREET: 8703 DUNBAR AVE MAIL CITY: HYATTSVILLE MAIL STATE: MD MAIL ZIP5: 20785 ICO NAME: <null> Layer: Property

ACCOUNT: 1440916

LOT: <null> BLOCK: <null> PARCEL: <null> PLAT: A13-9346 OWNER NAME: CAPITOL HEIGHTS ENTRPRISES LLC HOUSE NUMBER: 008715 STREET NAME: CENTRAL STREET TYPE: AVE CITY: CAPITOL HEIGHTS ZIP5: 20743 PROPERTY DESC: PT PARCEL L MAIL STREET: 704 CLOVERLY ST MAIL CITY: SILVER SPRING MAIL_STATE: MD MAIL ZIP5: 20905 ICO NAME: <null>

Layer: Property

ACCOUNT: 1441245 LOT: <null> BLOCK: <null> PARCEL: <null> PLAT: A13-9633 OWNER NAME: PMIG 1002 LLC HOUSE NUMBER: 008801 STREET NAME: CENTRAL STREET TYPE: AVE CITY: CAPITOL HEIGHTS ZIP5: 20743 PROPERTY DESC: PARCEL E-E MAIL STREET: 2359 RESEARCH CT MAIL CITY: WOODBRIDGE MAIL STATE: VA MAIL ZIP5: 22192 ICO NAME: <null>

Layer: Property

ACCOUNT: 2073039 LOT: 10 BLOCK: A PARCEL: <null> PLAT: 18113015 OWNER_NAME: KARKENNY SAMUEL HOUSE_NUMBER: 008707 STREET_NAME: DUNBAR STREET_TYPE: AVE CITY: HYATTSVILLE ZIP5: 20785 PROPERTY_DESC: <null> MAIL_STREET: 122 PEPPER MILL DR

MAIL CITY: CAPITOL HEIGHTS MAIL STATE: MD MAIL ZIP5: 20743 ICO NAME: <null> Layer: Property _____ ACCOUNT: 1441229 LOT: <null> BLOCK: <null> PARCEL: <null> PLAT: A13-9553 OWNER NAME: 237 UPTOWN INC HOUSE NUMBER: 008703 STREET NAME: CENTRAL STREET TYPE: AVE CITY: CAPITOL HEIGHTS ZIP5: 20743 PROPERTY DESC: PT PARCEL P (1131 SF DFR TO ST OF MD 97/98 RW38) MAIL STREET: 3307 GARLAND DR MAIL CITY: FALLS CHURCH MAIL STATE: VA MAIL ZIP5: 22041 ICO NAME: <null> Layer: Property _____ ACCOUNT: 2070019 LOT: <null> BLOCK: 7 PARCEL: <null> PLAT: A18-0004 OWNER NAME: MCDONALDS CORP HOUSE NUMBER: 008710 STREET_NAME: CENTRAL STREET TYPE: AVE **CITY: HYATTSVILLE** ZIP5: 20785 PROPERTY DESC: LT 13 EX 400 SF & LT 12 EX 1863 SF TO STATE OF MD MAIL STREET: 1201 FIRTH OF LORNE CIR MAIL CITY: FORT WASHINGTON MAIL STATE: MD MAIL ZIP5: 20744 ICO NAME: MARY HOPKINS NAVIES Layer: Property ACCOUNT: 2068682 LOT: 6 BLOCK: 7 PARCEL: <null>

PLAT: A18-0004 OWNER NAME: MOORE JOSEPH P & LISSA N HOUSE NUMBER: 008701 STREET NAME: DUNBAR STREET TYPE: AVE CITY: HYATTSVILLE ZIP5: 20785 PROPERTY DESC: <null> MAIL STREET: 8701 DUNBAR AVE MAIL CITY: LANDOVER MAIL STATE: MD MAIL ZIP5: 20785 ICO NAME: <null> Layer: Property _____ ACCOUNT: 2073419 LOT: <null> BLOCK: 8 PARCEL: <null> PLAT: A18-0004 OWNER NAME: BRIGHTSEAT REALTY LLC HOUSE NUMBER: 009224 STREET NAME: CENTRAL STREET TYPE: AVE CITY: HYATTSVILLE ZIP5: 20785 PROPERTY DESC: PT LT 3 & PT LT 2 EX 6433 SQ FT N CONF USE-HOUSE MAIL STREET: 15146 SAPLING RIDGE RD MAIL CITY: DAYTON MAIL STATE: MD MAIL ZIP5: 21036 ICO NAME: <null> Layer: Property ACCOUNT: 2065795 LOT: <null> BLOCK: 7 PARCEL: <null> PLAT: A18-0004 OWNER NAME: MCDONALDS CORP HOUSE NUMBER: 008706 STREET NAME: CENTRAL STREET TYPE: AVE CITY: CAPITOL HEIGHTS ZIP5: 20743 PROPERTY DESC: LOT 14 EXCEPT 880 SQ FT TO STATE OF MD MAIL STREET: 1201 FIRTH OF LORNE CIR MAIL CITY: FORT WASHINGTON MAIL STATE: MD MAIL ZIP5: 20744

ICO NAME: MARY HOPKINS NAVIES Layer: Property _____ ACCOUNT: 2070019 LOT: <null> BLOCK: 7 PARCEL: <null> PLAT: A18-0004 OWNER NAME: MCDONALDS CORP HOUSE NUMBER: 008710 STREET NAME: CENTRAL STREET TYPE: AVE CITY: HYATTSVILLE ZIP5: 20785 LT 13 EX 400 SF & LT 12 EX 1863 SF TO STATE OF MD PROPERTY DESC: MAIL STREET: 1201 FIRTH OF LORNE CIR MAIL CITY: FORT WASHINGTON MAIL STATE: MD MAIL ZIP5: 20744 ICO NAME: MARY HOPKINS NAVIES Layer: Property _____ ACCOUNT: 2073047 LOT: 11BLOCK: A PARCEL: <null> PLAT: 18113015 OWNER NAME: SPEIGHT SETH & LINDA C PATE HOUSE NUMBER: 008705 STREET NAME: DUNBAR STREET TYPE: AVE **CITY: HYATTSVILLE** ZIP5: 20785 PROPERTY DESC: <null> MAIL STREET: 8705 DUNBAR AVE MAIL CITY: LANDOVER MAIL STATE: MD MAIL ZIP5: 20785 ICO NAME: <null> Layer: Property ACCOUNT: 2043081 LOT: <null> BLOCK: 7 PARCEL: <null> PLAT: A18-0004 OWNER_NAME: ROYAL COURT APTS GENL PTNSHP HOUSE NUMBER: 008700

STREET_NAME: CENTRAL STREET_TYPE: AVE CITY: HYATTSVILLE ZIP5: 20785 PROPERTY_DESC: LOTS 15,16,17,18 EXCEPT 1865 SQ FT TO STATE OF MD MAIL_STREET: 4601 NORTH FAIRFAX DR MAIL_CITY: ARLINGTON MAIL_STATE: VA MAIL_ZIP5: 22203 ICO NAME: VAID CONSULTING STE 1200

Layer: Property

ACCOUNT: 2073419 LOT: <null> BLOCK: 8 PARCEL: <null> PLAT: A18-0004 OWNER NAME: BRIGHTSEAT REALTY LLC HOUSE NUMBER: 009224 STREET NAME: CENTRAL STREET TYPE: AVE CITY: HYATTSVILLE ZIP5: 20785 PROPERTY DESC: PT LT 3 & PT LT 2 EX 6433 SQ FT N CONF USE-HOUSE MAIL STREET: 15146 SAPLING RIDGE RD MAIL CITY: DAYTON MAIL STATE: MD MAIL ZIP5: 21036 ICO NAME: <null>

The Maryland-National Capital Park & Planning Commission Results

Prince George's County Planning Department Date: Wednesday, October 09, 2019 Time: 3:49:05 PM

Total Record(s): 0



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

Prince George's County Planning Department Planning Information Services 14741 Governor Oden Bowie Drive, Suite L2 Upper Marlboro, MD 20772 (301) 952-3208 (301)-952-3195 www.mncppc.org

Date: 10/9/19

MAILING LIST - RECEIPT

This receipt is to acknowledge that Suzanne Nickle			of (name
of company, if applicable) McNamee/Hosea			
received the following lists as described by the catego	ries below:		
Registered community organization list	Total Record(s):	33	
Adjoining property owners list	Total Record(s):	14	

, , ,		
☑ Municipalities within one mile list	Total Record(s):	0

This list is valid for 90 days from the date referenced above. Applicants shall obtain an updated mailing list if notifications are not sent within 90 days.

This property is located on WSSC Grid: 10/9/2019

Lisa Isenberg

Planning Information Services Staff

NOTE: Copy of this form must be included with Application submittal package.

The Maryland-National Capital Park & Planning Commission Results Prince George's County Planning Department Date: Wednesday, October 09, 2019 Time: 3:49:43 PM _________ Total Record(s): 33 Layer: Registered Association _____ ARCDBA.Registered Association Py.OBJECTID: 433 ARCDBA.Registered Association Py.ASSOCIATION_NUMBER: 661 ARCDBA.Registered Association Py.SHAPE: Polygon ARCDBA.CMS COMS DB.OBJECTID: 2 ARCDBA.CMS COMS DB.COMS ID: 661 ARCDBA.CMS COMS DB.ORGANIZATION_NAME: PALMER PARK CITIZENS ASSOCIATION ARCDBA.CMS COMS DB.TYPE : CITIZEN ARCDBA.CMS COMS DB.CONTACT: <null> ARCDBA.CMS_COMS_DB.STREET_NUMBER: 1920 ARCDBA.CMS COMS DB.STREET NAME: RAY LEONARD ROAD ARCDBA.CMS COMS DB.STREET LINE 2: <null> ARCDBA.CMS_COMS_DB.CITY: HYATTSVILLE ARCDBA.CMS COMS DB.STATE: MD ARCDBA.CMS COMS DB.ZIPCODE: 20785 ARCDBA.CMS COMS DB.NUMBER OF MEMBERS: 11 ARCDBA.CMS COMS DB.REGISTRATION DATE: 5/14/2009 Layer: Registered Association _____ ARCDBA.Registered Association Py.OBJECTID: 1643 ARCDBA.Registered Association Py.ASSOCIATION NUMBER: 490 ARCDBA.Registered Association Py.SHAPE: Polygon ARCDBA.CMS_COMS_DB.OBJECTID: 32 ARCDBA.CMS COMS DB.COMS ID: 490 ARCDBA.CMS COMS DB.ORGANIZATION NAME: WILLOW GROVE CITIZENS ASSOCIATION ARCDBA.CMS COMS DB.TYPE : CITIZEN ARCDBA.CMS COMS DB.CONTACT: <null> ARCDBA.CMS COMS DB.STREET NUMBER: <null> ARCDBA.CMS COMS DB.STREET NAME: P. O. BOX 310 ARCDBA.CMS_COMS_DB.STREET_LINE_2: <null> ARCDBA.CMS COMS DB.CITY: GLENN DALE ARCDBA.CMS COMS DB.STATE: MD ARCDBA.CMS COMS DB.ZIPCODE: 20769 ARCDBA.CMS COMS DB.NUMBER OF MEMBERS: 50 ARCDBA.CMS_COMS_DB.REGISTRATION DATE: 1/12/2004

Layer: Registered Association

ARCDBA.Registered Association_Py.OBJECTID: 418

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   ARCDBA.Registered Association_Py.SHAPE: Polygon
   ARCDBA.CMS COMS DB.OBJECTID: 142
   ARCDBA.CMS COMS DB.COMS ID: 731
   ARCDBA.CMS_COMS_DB.ORGANIZATION_NAME: ENTERPRISE ESTATES CIVIC
ASSOCIATION
   ARCDBA.CMS COMS DB.TYPE : CIVIC
   ARCDBA.CMS COMS DB.CONTACT: <null>
   ARCDBA.CMS COMS DB.STREET NUMBER: 11704
   ARCDBA.CMS COMS DB.STREET NAME: WHITTIER ROAD
   ARCDBA.CMS COMS DB.STREET LINE 2: <null>
   ARCDBA.CMS COMS DB.CITY: BOWIE
   ARCDBA.CMS COMS DB.STATE: MD
   ARCDBA.CMS COMS DB.ZIPCODE: 20721
   ARCDBA.CMS COMS DB.NUMBER OF MEMBERS: 410
   ARCDBA.CMS COMS DB.REGISTRATION_DATE: 9/17/2014
Layer: Registered Association
    ARCDBA.Registered_Association_Py.OBJECTID: 501
    ARCDBA.Registered Association Py.ASSOCIATION NUMBER: 598
    ARCDBA.Registered_Association_Py.SHAPE: Polygon
    ARCDBA.CMS COMS DB.OBJECTID: 61
    ARCDBA.CMS COMS DB.COMS ID: 598
    ARCDBA.CMS COMS DB.ORGANIZATION NAME: VILLAGE AT COLLINGTON
CONDOMINIUM
    ARCDBA.CMS COMS DB.TYPE : CONDOMINIUM
    ARCDBA.CMS COMS DB.CONTACT: <null>
    ARCDBA.CMS COMS DB.STREET NUMBER: 12200
    ARCDBA.CMS COMS DB.STREET NAME: TECH ROAD
    ARCDBA.CMS COMS DB.STREET LINE 2: C/O TIDEWATER PROPERTY MGMT, #325
    ARCDBA.CMS COMS DB.CITY: SILVER SPRING
    ARCDBA.CMS COMS DB.STATE: MD
    ARCDBA.CMS COMS DB.ZIPCODE: 20904
    ARCDBA.CMS COMS DB.NUMBER OF MEMBERS: 80
    ARCDBA.CMS COMS DB.REGISTRATION DATE: 9/1/2007
Layer: Registered Association
          _____
    ARCDBA.Registered Association Py.OBJECTID: 522
    ARCDBA.Registered Association Py.ASSOCIATION_NUMBER: 754
    ARCDBA.Registered Association Py.SHAPE: Polygon
    ARCDBA.CMS_COMS_DB.OBJECTID: 132
    ARCDBA.CMS COMS DB.COMS ID: 754
    ARCDBA.CMS COMS DB.ORGANIZATION NAME: BRIGHTON PLACE HOMEOWNERS
ASSOCIATION
    ARCDBA.CMS COMS DB.TYPE : HOME OWNERS
    ARCDBA.CMS_COMS DB.CONTACT: <null>
    ARCDBA.CMS COMS DB.STREET NUMBER: 12200
    ARCDBA.CMS COMS DB.STREET NAME: TECH ROAD
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ARCDBA.CMS_COMS_DB.STREET_LINE_2: SUITE 325 ARCDBA.CMS_COMS_DB.CITY: SILVER_SPRING

ARCDBA.CMS COMS DB.STATE: MD ARCDBA.CMS COMS DB.ZIPCODE: 20904 ARCDBA.CMS COMS DB.NUMBER OF MEMBERS: 126 ARCDBA.CMS COMS DB.REGISTRATION DATE: 11/17/2016 Layer: Registered Association _____ ARCDBA.Registered Association Py.OBJECTID: 421 ARCDBA.Registered Association Py.ASSOCIATION NUMBER: 740 ARCDBA.Registered Association Py.SHAPE: Polygon ARCDBA.CMS COMS DB.OBJECTID: 124 ARCDBA.CMS_COMS_DB.COMS_ID: 740 ARCDBA.CMS COMS DB.ORGANIZATION NAME: GLENN ESTATES HOMEOWNERS ASSOCIATION ARCDBA.CMS COMS DB.TYPE : HOME OWNERS ARCDBA.CMS_COMS_DB.CONTACT: <null> ARCDBA.CMS_COMS DB.STREET NUMBER: <null> ARCDBA.CMS COMS DB.STREET NAME: P.O. BOX 893 ARCDBA.CMS COMS DB.STREET LINE 2: C/O FRONT STREET MANAGEMENT-TIMOTHY SMITH ARCDBA.CMS COMS DB.CITY: LANHAM ARCDBA.CMS COMS DB.STATE: MD ARCDBA.CMS COMS DB.ZIPCODE: 20703 ARCDBA.CMS COMS DB.NUMBER_OF_MEMBERS: 7 ARCDBA.CMS COMS DB.REGISTRATION DATE: 3/31/2016 Layer: Registered Association _____ ARCDBA.Registered Association Py.OBJECTID: 437 ARCDBA.Registered Association Py.ASSOCIATION NUMBER: 165 ARCDBA.Registered_Association_Py.SHAPE: Polygon ARCDBA.CMS COMS DB.OBJECTID: 37 ARCDBA.CMS COMS DB.COMS ID: 165 ARCDBA.CMS COMS DB.ORGANIZATION NAME: GLENARDEN CIVIC ASSOCIATION ARCDBA.CMS COMS DB.TYPE : CIVIC ARCDBA.CMS COMS DB.CONTACT: <null> ARCDBA.CMS COMS DB.STREET NUMBER: 900 ARCDBA.CMS COMS DB.STREET NAME: SMITHVIEW PLACE ARCDBA.CMS_COMS_DB.STREET_LINE_2: <null> ARCDBA.CMS COMS DB.CITY: UPPER MARLBORO ARCDBA.CMS COMS DB.STATE: MD ARCDBA.CMS COMS DB.ZIPCODE: 20774 ARCDBA.CMS COMS DB.NUMBER OF MEMBERS: 146 ARCDBA.CMS COMS DB.REGISTRATION DATE: 6/6/2008 Layer: Registered Association _____ ARCDBA.Registered Association Py.OBJECTID: 419 ARCDBA.Registered_Association_Py.ASSOCIATION NUMBER: 701 ARCDBA.Registered Association Py.SHAPE: Polygon

ARCDBA.CMS_COMS_DB.OBJECTID: 66

ARCDBA.CMS_COMS_DB.COMS_ID: 701 ARCDBA.CMS_COMS_DB.ORGANIZATION_NAME: PROGRESSIVE CHEVERLY ARCDBA.CMS_COMS_DB.TYPE_: OTHER ARCDBA.CMS_COMS_DB.CONTACT: <null> ARCDBA.CMS_COMS_DB.STREET_NUMBER: 3020 ARCDBA.CMS_COMS_DB.STREET_NAME: PARK WAY ARCDBA.CMS_COMS_DB.STREET_LINE_2: <null> ARCDBA.CMS_COMS_DB.CITY: HYATTSVILLE ARCDBA.CMS_COMS_DB.STATE: MD ARCDBA.CMS_COMS_DB.ZIPCODE: 20785 ARCDBA.CMS_COMS_DB.NUMBER_OF_MEMBERS: 100 ARCDBA.CMS_COMS_DB.REGISTRATION_DATE: 12/5/2011

Layer: Registered Association

ARCDBA.Registered Association Py.OBJECTID: 499 ARCDBA.Registered Association Py.ASSOCIATION NUMBER: 717 ARCDBA.Registered Association Py.SHAPE: Polygon ARCDBA.CMS COMS DB.OBJECTID: 147 ARCDBA.CMS COMS_DB.COMS_ID: 717 ARCDBA.CMS COMS DB.ORGANIZATION NAME: GLENSFORD CONDOMINIUM ARCDBA.CMS COMS DB.TYPE : CONDOMINIUM ARCDBA.CMS COMS DB.CONTACT: <null> ARCDBA.CMS COMS DB.STREET NUMBER: 6915 ARCDBA.CMS COMS DB.STREET NAME: LAUREL BOWIE ROAD ARCDBA.CMS COMS DB.STREET LINE 2: SUITE 101 ARCDBA.CMS COMS DB.CITY: BOWIE ARCDBA.CMS COMS DB.STATE: MD ARCDBA.CMS COMS DB.ZIPCODE: 20715 ARCDBA.CMS COMS DB.NUMBER OF MEMBERS: 400 ARCDBA.CMS COMS DB.REGISTRATION DATE: 3/11/2014

Layer: Registered Association

ARCDBA.Registered Association_Py.OBJECTID: 502 ARCDBA.Registered Association Py.ASSOCIATION NUMBER: 733 ARCDBA.Registered Association Py.SHAPE: Polygon ARCDBA.CMS COMS DB.OBJECTID: 120 ARCDBA.CMS COMS DB.COMS_ID: 733 ARCDBA.CMS COMS DB.ORGANIZATION NAME: SILVERBROOK HOMEOWNERS ASSOCIATION ARCDBA.CMS COMS DB.TYPE : HOME OWNERS ARCDBA.CMS COMS DB.CONTACT: <null> ARCDBA.CMS COMS DB.STREET NUMBER: 4900 ARCDBA.CMS COMS DB.STREET NAME: FOREST CREEK COURT ARCDBA.CMS COMS DB.STREET LINE 2: <null> ARCDBA.CMS COMS DB.CITY: BOWIE ARCDBA.CMS COMS DB.STATE: MD ARCDBA.CMS COMS DB.ZIPCODE: 20720 ARCDBA.CMS COMS DB.NUMBER OF MEMBERS: <null> ARCDBA.CMS COMS DB.REGISTRATION DATE: 11/17/2014

Layer: Registered Association

ARCDBA.Registered Association_Py.OBJECTID: 432 ARCDBA.Registered Association Py.ASSOCIATION NUMBER: 723 ARCDBA.Registered Association Py.SHAPE: Polygon ARCDBA.CMS COMS DB.OBJECTID: 129 ARCDBA.CMS COMS DB.COMS ID: 723 ARCDBA.CMS COMS DB.ORGANIZATION NAME: GLENARDEN TOWNS HOMEOWNERS ASSOCIATION ARCDBA.CMS COMS DB.TYPE : HOME OWNERS ARCDBA.CMS COMS DB.CONTACT: <null> ARCDBA.CMS COMS DB.STREET NUMBER: 2200 ARCDBA.CMS COMS DB.STREET NAME: DEFENSE HIGHWAY ARCDBA.CMS COMS DB.STREET LINE 2: C/O SENTRY MANAGEMENT, SUITE 405 ARCDBA.CMS COMS DB.CITY: CROFTON ARCDBA.CMS COMS DB.STATE: MD ARCDBA.CMS COMS DB.ZIPCODE: 21114 ARCDBA.CMS COMS DB.NUMBER OF MEMBERS: 33 ARCDBA.CMS COMS DB.REGISTRATION DATE: 4/10/2014 Layer: Registered Association _____ ARCDBA.Registered Association Py.OBJECTID: 520 ARCDBA.Registered Association Py.ASSOCIATION NUMBER: 655 ARCDBA.Registered Association Py.SHAPE: Polygon ARCDBA.CMS COMS DB.OBJECTID: 80 ARCDBA.CMS COMS DB.COMS_ID: 655 ARCDBA.CMS COMS DB.ORGANIZATION NAME: 4TH WARD CIVIC ASSOCIATION (TOWN OF CHEVERLY) ARCDBA.CMS COMS_DB.TYPE : CIVIC ARCDBA.CMS COMS DB.CONTACT: <null> ARCDBA.CMS COMS DB.STREET NUMBER: 1709 ARCDBA.CMS COMS DB.STREET NAME: 62ND AVENUE ARCDBA.CMS COMS DB.STREET LINE 2: <null> ARCDBA.CMS COMS DB.CITY: HYATTSVILLE ARCDBA.CMS COMS DB.STATE: MD ARCDBA.CMS COMS DB.ZIPCODE: 20785 ARCDBA.CMS COMS DB.NUMBER OF MEMBERS: 100 ARCDBA.CMS COMS DB.REGISTRATION DATE: 2/19/2009 Layer: Registered Association _____ ARCDBA.Registered Association Py.OBJECTID: 1608 ARCDBA.Registered Association Py.ASSOCIATION NUMBER: 707 ARCDBA.Registered Association Py.SHAPE: Polygon ARCDBA.CMS COMS DB.OBJECTID: 134 ARCDBA.CMS_COMS_DB.COMS_ID: 707 ARCDBA.CMS_COMS_DB.ORGANIZATION NAME: CARSONDALE CIVIC ASSOCIATION ARCDBA.CMS COMS DB.TYPE : CIVIC ARCDBA.CMS COMS DB.CONTACT: <null> ARCDBA.CMS_COMS_DB.STREET_NUMBER: 9007

ARCDBA.CMS_COMS_DB.STREET_NAME: WALLACE ROAD ARCDBA.CMS_COMS_DB.STREET_LINE_2: <null> ARCDBA.CMS_COMS_DB.CITY: LANHAM ARCDBA.CMS_COMS_DB.STATE: MD ARCDBA.CMS_COMS_DB.ZIPCODE: 20706 ARCDBA.CMS_COMS_DB.NUMBER_OF_MEMBERS: 100 ARCDBA.CMS_COMS_DB.REGISTRATION_DATE: 6/20/2012

Layer: Registered Association

ARCDBA.Registered Association Py.OBJECTID: 420 ARCDBA.Registered Association Py.ASSOCIATION_NUMBER: 688 ARCDBA.Registered Association Py.SHAPE: Polygon ARCDBA.CMS COMS DB.OBJECTID: 5 ARCDBA.CMS COMS DB.COMS ID: 688 ARCDBA.CMS COMS DB.ORGANIZATION_NAME: BLADENWOODS CONDOMINIUMS ARCDBA.CMS COMS DB.TYPE : CONDOMINIUM ARCDBA.CMS COMS DB.CONTACT: <null> ARCDBA.CMS COMS DB.STREET NUMBER: 5211 ARCDBA.CMS COMS DB.STREET NAME: NEWTON STREET ARCDBA.CMS COMS DB.STREET LINE 2: #303 ARCDBA.CMS_COMS_DB.CITY: BLADENSBURG ARCDBA.CMS COMS DB.STATE: MD ARCDBA.CMS COMS DB.ZIPCODE: 20710 ARCDBA.CMS COMS DB.NUMBER OF MEMBERS: 172 ARCDBA.CMS COMS DB.REGISTRATION DATE: 10/4/2010

Layer: Registered Association

ARCDBA.Registered Association Py.OBJECTID: 442 ARCDBA.Registered Association Py.ASSOCIATION NUMBER: 703 ARCDBA.Registered Association Py.SHAPE: Polygon ARCDBA.CMS COMS DB.OBJECTID: 86 ARCDBA.CMS_COMS DB.COMS ID: 703 ARCDBA.CMS COMS DB.ORGANIZATION_NAME: SENIORS R US ARCDBA.CMS COMS DB.TYPE : OTHER ARCDBA.CMS COMS DB.CONTACT: <null> ARCDBA.CMS_COMS_DB.STREET_NUMBER: 1918 ARCDBA.CMS COMS DB.STREET NAME: GOLDEN MORNING DRIVE ARCDBA.CMS COMS DB.STREET LINE 2: <null> ARCDBA.CMS_COMS_DB.CITY: BOWIE ARCDBA.CMS COMS DB.STATE: MD ARCDBA.CMS COMS DB.ZIPCODE: 20721 ARCDBA.CMS COMS DB.NUMBER OF MEMBERS: 36 ARCDBA.CMS COMS DB.REGISTRATION_DATE: 1/30/2012

Layer: Registered Association

ARCDBA.Registered_Association_Py.OBJECTID: 617 ARCDBA.Registered_Association_Py.ASSOCIATION_NUMBER: 208 ARCDBA.Registered Association_Py.SHAPE: Polygon

ARCDBA.CMS COMS DB.OBJECTID: 44 ARCDBA.CMS COMS DB.COMS_ID: 208 ARCDBA.CMS_COMS DB.ORGANIZATION NAME: HOLMEHURST SOUTH CIVIC ASSOCIATION ARCDBA.CMS COMS DB.TYPE : CIVIC ARCDBA.CMS COMS DB.CONTACT: <null> ARCDBA.CMS COMS DB.STREET NUMBER: 4523 ARCDBA.CMS COMS DB.STREET NAME: WOODGATE WAY ARCDBA.CMS_COMS_DB.STREET_LINE_2: <null> ARCDBA.CMS COMS DB.CITY: BOWIE ARCDBA.CMS COMS DB.STATE: MD ARCDBA.CMS COMS DB.ZIPCODE: 20720 ARCDBA.CMS COMS DB.NUMBER_OF_MEMBERS: 100 ARCDBA.CMS_COMS_DB.REGISTRATION_DATE: 5/7/2008 Layer: Registered Association ARCDBA.Registered Association Py.OBJECTID: 602 ARCDBA.Registered Association Py.ASSOCIATION NUMBER: 473 ARCDBA.Registered_Association_Py.SHAPE: Polygon ARCDBA.CMS COMS DB.OBJECTID: 18 ARCDBA.CMS COMS DB.COMS ID: 473 ARCDBA.CMS_COMS_DB.ORGANIZATION_NAME: VISTA ESTATES WEST HOMEOWNERS ASSOCIATION ARCDBA.CMS COMS DB.TYPE : HOMEOWNERS ARCDBA.CMS COMS DB.CONTACT: <null> ARCDBA.CMS COMS DB.STREET NUMBER: 1296 ARCDBA.CMS COMS DB.STREET NAME: CRONSON BLVD. ARCDBA.CMS COMS_DB.STREET LINE 2: C/O CASTER MANAGEMENT, LLC, #4284 ARCDBA.CMS COMS DB.CITY: CROFTON ARCDBA.CMS_COMS_DB.STATE: MD ARCDBA.CMS COMS DB.ZIPCODE: 21114 ARCDBA.CMS COMS DB.NUMBER OF MEMBERS: 135 ARCDBA.CMS COMS DB.REGISTRATION_DATE: 1/12/2005 Laver: Registered Association ARCDBA.Registered Association Py.OBJECTID: 587 ARCDBA.Registered Association Py.ASSOCIATION_NUMBER: 761 ARCDBA.Registered Association Py.SHAPE: Polygon ARCDBA.CMS COMS DB.OBJECTID: 138 ARCDBA.CMS COMS DB.COMS ID: 761 ARCDBA.CMS_COMS_DB.ORGANIZATION_NAME: LEWISDALE CITIZENS' ASSOCIATION ARCDBA.CMS COMS DB.TYPE : CIVIC ARCDBA.CMS COMS DB.CONTACT: <null> ARCDBA.CMS COMS DB.STREET NUMBER: 6613 ARCDBA.CMS COMS DB.STREET_NAME: 22ND PLACE ARCDBA.CMS COMS DB.STREET LINE_2: <null> ARCDBA.CMS COMS DB.CITY: HYATTSVILLE ARCDBA.CMS COMS DB.STATE: MD ARCDBA.CMS_COMS_DB.ZIPCODE: 20782 ARCDBA.CMS_COMS_DB.NUMBER_OF_MEMBERS: 175

ARCDBA.CMS COMS DB.REGISTRATION DATE: 10/10/2017

Layer: Registered Association ARCDBA.Registered Association Py.OBJECTID: 413 ARCDBA.Registered Association Py.ASSOCIATION NUMBER: 336 ARCDBA.Registered Association Py.SHAPE: Polygon ARCDBA.CMS COMS DB.OBJECTID: 7 ARCDBA.CMS COMS DB.COMS ID: 336 ARCDBA.CMS COMS DB.ORGANIZATION NAME: RANDOLPH VILLAGE CIVIC ASSOCIATION ARCDBA.CMS COMS DB.TYPE : CIVIC ARCDBA.CMS COMS DB.CONTACT: <null> ARCDBA.CMS COMS DB.STREET NUMBER: 8422 ARCDBA.CMS COMS DB.STREET NAME: DUNBAR AVENUE ARCDBA.CMS_COMS_DB.STREET_LINE_2: <null> ARCDBA.CMS COMS DB.CITY: HYATTSVILLE ARCDBA.CMS COMS DB.STATE: MD ARCDBA.CMS COMS DB.ZIPCODE: 20785 ARCDBA.CMS_COMS_DB.NUMBER OF MEMBERS: 75 ARCDBA.CMS COMS DB.REGISTRATION DATE: 1/4/2007 Layer: Registered Association ARCDBA.Registered Association Py.OBJECTID: 625 ARCDBA.Registered Association Py.ASSOCIATION NUMBER: 709 ARCDBA.Registered Association Py.SHAPE: Polygon ARCDBA.CMS COMS DB.OBJECTID: 139 ARCDBA.CMS COMS DB.COMS ID: 709 ARCDBA.CMS COMS DB.ORGANIZATION NAME: WILLOW WOOD ESTATES CIVIC ASSOCIATION ARCDBA.CMS COMS DB.TYPE : CIVIC ARCDBA.CMS COMS DB.CONTACT: <null> ARCDBA.CMS COMS DB.STREET NUMBER: 10205 ARCDBA.CMS COMS DB.STREET NAME: BALD HILL ROAD ARCDBA.CMS COMS DB.STREET LINE 2: <null> ARCDBA.CMS COMS DB.CITY: BOWIE ARCDBA.CMS COMS DB.STATE: MD ARCDBA.CMS COMS DB.ZIPCODE: 20721 ARCDBA.CMS COMS DB.NUMBER OF MEMBERS: 59 ARCDBA.CMS COMS DB.REGISTRATION DATE: 8/28/2012 Layer: Registered Association ARCDBA.Registered Association Py.OBJECTID: 423 ARCDBA.Registered Association Py.ASSOCIATION NUMBER: 505 ARCDBA.Registered Association Py.SHAPE: Polygon ARCDBA.CMS COMS DB.OBJECTID: 54 ARCDBA.CMS COMS DB.COMS ID: 505 ARCDBA.CMS COMS DB.ORGANIZATION NAME: CHEVERLY RECREATION COUNCIL ARCDBA.CMS COMS DB.TYPE : OTHER

ARCDBA.CMS COMS DB.CONTACT: <null> ARCDBA.CMS_COMS_DB.STREET_NUMBER: 3012 ARCDBA.CMS COMS DB.STREET NAME: PARK WAY ARCDBA.CMS COMS DB.STREET LINE_2: <null> ARCDBA.CMS COMS DB.CITY: HYATTSVILLE ARCDBA.CMS COMS DB.STATE: MD ARCDBA.CMS COMS DB.ZIPCODE: 20785 ARCDBA.CMS COMS DB.NUMBER OF MEMBERS: 12 ARCDBA.CMS COMS DB.REGISTRATION DATE: 4/1/2004 Layer: Registered Association _____ ARCDBA.Registered Association Py.OBJECTID: 938 ARCDBA.Registered Association Py.ASSOCIATION NUMBER: 764 ARCDBA.Registered Association Py.SHAPE: Polygon ARCDBA.CMS COMS DB.OBJECTID: 98 ARCDBA.CMS COMS DB.COMS ID: 764 ARCDBA.CMS COMS DB.ORGANIZATION NAME: CENTENNIAL VILLAGE HOA ARCDBA.CMS COMS DB.TYPE_: HOME OWNERS ARCDBA.CMS COMS DB.CONTACT: <null> ARCDBA.CMS COMS DB.STREET NUMBER: 400 ARCDBA.CMS COMS DB.STREET NAME: SERENDIPITY DRIVE ARCDBA.CMS COMS DB.STREET LINE 2: <null> ARCDBA.CMS_COMS_DB.CITY: MILLERSVILLE ARCDBA.CMS COMS DB.STATE: MD ARCDBA.CMS COMS DB.ZIPCODE: 21108 ARCDBA.CMS COMS DB.NUMBER OF MEMBERS: 5 ARCDBA.CMS COMS DB.REGISTRATION DATE: 3/6/2018 Layer: Registered Association ______ ARCDBA.Registered_Association_Py.OBJECTID: 439 ARCDBA.Registered Association Py.ASSOCIATION NUMBER: 484 ARCDBA.Registered Association Py.SHAPE: Polygon ARCDBA.CMS COMS_DB.OBJECTID: 30 ARCDBA.CMS COMS DB.COMS ID: 484 ARCDBA.CMS COMS DB.ORGANIZATION NAME: LANDOVER REVITALIZATION COALITION ARCDBA.CMS_COMS_DB.TYPE_: CIVIC ARCDBA.CMS COMS DB.CONTACT: <null> ARCDBA.CMS COMS DB.STREET NUMBER: <null> ARCDBA.CMS COMS DB.STREET NAME: P.O.BOX 1643 ARCDBA.CMS_COMS_DB.STREET LINE_2: <null> ARCDBA.CMS COMS DB.CITY: HYATTSVILLE ARCDBA.CMS COMS DB.STATE: MD ARCDBA.CMS COMS DB.ZIPCODE: 20785 ARCDBA.CMS COMS DB.NUMBER OF MEMBERS: 10 ARCDBA.CMS COMS DB.REGISTRATION_DATE: 12/20/2004

Layer: Registered Association

ARCDBA.Registered Association Py.OBJECTID: 1612 ARCDBA.Registered Association_Py.ASSOCIATION_NUMBER: 773 ARCDBA.Registered Association Py.SHAPE: Polygon ARCDBA.CMS COMS DB.OBJECTID: 112 ARCDBA.CMS COMS DB.COMS ID: 773 ARCDBA.CMS_COMS_DB.ORGANIZATION_NAME: WOODMORE NORTH HOMEOWNERS ASSOCIATION ARCDBA.CMS COMS DB.TYPE : HOME OWNERS ARCDBA.CMS COMS DB.CONTACT: <null> ARCDBA.CMS COMS DB.STREET NUMBER: 1296 ARCDBA.CMS COMS DB.STREET NAME: CRONSON BLVD ARCDBA.CMS_COMS_DB.STREET_LINE_2: #4284 ARCDBA.CMS COMS DB.CITY: CROFTON ARCDBA.CMS COMS DB.STATE: MD ARCDBA.CMS COMS DB.ZIPCODE: 21114 ARCDBA.CMS COMS DB.NUMBER OF MEMBERS: 226 ARCDBA.CMS COMS DB.REGISTRATION DATE: 10/5/2018 Layer: Registered Association ARCDBA.Registered Association Py.OBJECTID: 436 ARCDBA.Registered Association Py.ASSOCIATION NUMBER: 107 ARCDBA.Registered Association Py.SHAPE: Polygon ARCDBA.CMS COMS DB.OBJECTID: 17 ARCDBA.CMS COMS DB.COMS_ID: 107 ARCDBA.CMS COMS DB.ORGANIZATION NAME: COLUMBIA PARK CIVIC ASSOCIATION ARCDBA.CMS COMS DB.TYPE : CIVIC ARCDBA.CMS COMS DB.CONTACT: <null> ARCDBA.CMS COMS DB.STREET NUMBER: 1616 ARCDBA.CMS COMS DB.STREET NAME: EAST WASHINGTON AVENUE ARCDBA.CMS COMS DB.STREET LINE 2: <null> ARCDBA.CMS_COMS_DB.CITY: HYATTSVILLE ARCDBA.CMS COMS DB.STATE: MD ARCDBA.CMS COMS DB.ZIPCODE: 20785 ARCDBA.CMS COMS DB.NUMBER OF MEMBERS: 40 ARCDBA.CMS COMS_DB.REGISTRATION_DATE: 6/15/2003

Layer: Registered Association

ARCDBA.Registered_Association_Py.OBJECTID: 500 ARCDBA.Registered_Association_Py.ASSOCIATION_NUMBER: 719 ARCDBA.Registered_Association_Py.SHAPE: Polygon ARCDBA.CMS_COMS_DB.OBJECTID: 149 ARCDBA.CMS_COMS_DB.COMS_ID: 719 ARCDBA.CMS_COMS_DB.ORGANIZATION_NAME: LLG RECREATION ASSOCIATION ARCDBA.CMS_COMS_DB.TYPE_: OTHER ARCDBA.CMS_COMS_DB.TYPE_: OTHER ARCDBA.CMS_COMS_DB.CONTACT: <null> ARCDBA.CMS_COMS_DB.STREET_NUMBER: 6915 ARCDBA.CMS_COMS_DB.STREET_NAME: LAUREL BOWIE ROAD ARCDBA.CMS_COMS_DB.STREET_LINE_2: SUITE 101 ARCDBA.CMS_COMS_DB.CITY: BOWIE ARCDBA.CMS_COMS_DB.STATE: MD

ARCDBA.CMS COMS DB.ZIPCODE: 20715 ARCDBA.CMS COMS DB.NUMBER OF MEMBERS: 672 ARCDBA.CMS COMS DB.REGISTRATION DATE: 3/11/2014 Layer: Registered Association ______ ARCDBA.Registered Association Py.OBJECTID: 1272 ARCDBA.Registered_Association_Py.ASSOCIATION_NUMBER: 735 ARCDBA.Registered Association Py.SHAPE: Polygon ARCDBA.CMS COMS DB.OBJECTID: 121 ARCDBA.CMS COMS DB.COMS ID: 735 ARCDBA.CMS COMS DB.ORGANIZATION NAME: RADIANT VALLEY CIVIC ASSOCIATION ARCDBA.CMS_COMS_DB.TYPE : CIVIC ARCDBA.CMS COMS DB.CONTACT: <null> ARCDBA.CMS_COMS_DB.STREET_NUMBER: 6821 ARCDBA.CMS COMS DB.STREET_NAME: BARTON ROAD ARCDBA.CMS COMS DB.STREET_LINE_2: <null> ARCDBA.CMS COMS DB.CITY: HYATTSVILLE ARCDBA.CMS COMS DB.STATE: MD ARCDBA.CMS COMS DB.ZIPCODE: 20784 ARCDBA.CMS COMS DB.NUMBER OF MEMBERS: 60 ARCDBA.CMS COMS DB.REGISTRATION DATE: 2/6/2015 Layer: Registered Association _____ ARCDBA.Registered Association Py.OBJECTID: 1656 ARCDBA.Registered Association Py.ASSOCIATION NUMBER: 776 ARCDBA.Registered Association Py.SHAPE: Polygon ARCDBA.CMS_COMS_DB.OBJECTID: 155 ARCDBA.CMS COMS DB.COMS ID: 776 ARCDBA.CMS COMS DB.ORGANIZATION NAME: GREATER CAPITOL HEIGHTS IMPROVEMENT CORPORATION INC. ARCDBA.CMS COMS DB.TYPE_: CITIZEN ARCDBA.CMS COMS DB.CONTACT: <null> ARCDBA.CMS COMS DB.STREET NUMBER: 415 ARCDBA.CMS COMS DB.STREET NAME: ZELMA AVENUE ARCDBA.CMS_COMS_DB.STREET_LINE 2: <null> ARCDBA.CMS COMS DB.CITY: CAPITOL HEIGHTS ARCDBA.CMS COMS DB.STATE: MD ARCDBA.CMS COMS DB.ZIPCODE: 20743 ARCDBA.CMS_COMS_DB.NUMBER OF MEMBERS: 1 ARCDBA.CMS_COMS_DB.REGISTRATION_DATE: 5/2/2019 Layer: Registered Association ______ ARCDBA.Registered Association Py.OBJECTID: 416 ARCDBA.Registered Association_Py.ASSOCIATION_NUMBER: 99 ARCDBA.Registered_Association Py.SHAPE: Polygon ARCDBA.CMS_COMS_DB.OBJECTID: 16

ARCDBA.CMS_COMS_DB.COMS_ID: 99

ARCDBA.CMS COMS DB.ORGANIZATION NAME: COALITION OF CENTRAL PGC COMMUNITY ASSOCIATIONS ARCDBA.CMS COMS DB.TYPE : CIVIC ARCDBA.CMS COMS DB.CONTACT: <null> ARCDBA.CMS COMS DB.STREET NUMBER: 708 ARCDBA.CMS COMS DB.STREET NAME: QUARRY AVENUE ARCDBA.CMS COMS DB.STREET LINE 2: <null> ARCDBA.CMS COMS DB.CITY: CAPITOL HEIGHTS ARCDBA.CMS COMS DB.STATE: MD ARCDBA.CMS COMS DB.ZIPCODE: 20743 ARCDBA.CMS COMS DB.NUMBER OF MEMBERS: 17 ARCDBA.CMS COMS DB.REGISTRATION DATE: 6/30/2003 Layer: Registered Association _____ ARCDBA.Registered_Association Py.OBJECTID: 415 ARCDBA.Registered Association Py.ASSOCIATION NUMBER: 238 ARCDBA.Registered Association Py.SHAPE: Polygon ARCDBA.CMS COMS DB.OBJECTID: 45 ARCDBA.CMS_COMS_DB.COMS_ID: 238 ARCDBA.CMS_COMS_DB.ORGANIZATION_NAME: LANHAM STATION AREA CITIZENS ASSOCIATION ARCDBA.CMS COMS DB.TYPE : CIVIC ARCDBA.CMS COMS DB.CONTACT: <null> ARCDBA.CMS COMS DB.STREET NUMBER: 5308 ARCDBA.CMS COMS DB.STREET NAME: LANHAM STATION ROAD ARCDBA.CMS COMS DB.STREET LINE 2: <null> ARCDBA.CMS COMS DB.CITY: LANHAM ARCDBA.CMS COMS DB.STATE: MD ARCDBA.CMS COMS DB.ZIPCODE: 20706 ARCDBA.CMS COMS DB.NUMBER OF MEMBERS: 175 ARCDBA.CMS COMS DB.REGISTRATION DATE: 4/28/2005 Laver: Registered Association ARCDBA.Registered Association Py.OBJECTID: 576 ARCDBA.Registered_Association_Py.ASSOCIATION_NUMBER: 757 ARCDBA.Registered Association Py.SHAPE: Polygon ARCDBA.CMS COMS DB.OBJECTID: 154 ARCDBA.CMS COMS DB.COMS ID: 757 ARCDBA.CMS_COMS_DB.ORGANIZATION_NAME: HYNESBORO PARK GREENWOOD FOREST NEIGHBORHOOD ASSOCIATION ARCDBA.CMS COMS DB.TYPE : CIVIC ARCDBA.CMS COMS DB.CONTACT: <null> ARCDBA.CMS_COMS_DB.STREET NUMBER: 9214 ARCDBA.CMS COMS DB.STREET NAME: 5TH STREET ARCDBA.CMS COMS DB.STREET_LINE_2: <null> ARCDBA.CMS COMS DB.CITY: LANHAM ARCDBA.CMS COMS DB.STATE: MD ARCDBA.CMS COMS DB.ZIPCODE: 20706 ARCDBA.CMS COMS DB.NUMBER_OF_MEMBERS: 25 ARCDBA.CMS COMS_DB.REGISTRATION_DATE: 8/10/2017

Layer: Registered Association

ARCDBA.Registered Association Py.OBJECTID: 461 ARCDBA.Registered Association Py.ASSOCIATION NUMBER: 502 ARCDBA.Registered Association Py.SHAPE: Polygon ARCDBA.CMS COMS_DB.OBJECTID: 36 ARCDBA.CMS COMS DB.COMS ID: 502 ARCDBA.CMS COMS DB.ORGANIZATION NAME: LAKEVIEW HOMEOWNERS ASSOCIATION ARCDBA.CMS COMS DB.TYPE : HOMEOWNERS ARCDBA.CMS COMS DB.CONTACT: <null> ARCDBA.CMS COMS DB.STREET NUMBER: 11018 ARCDBA.CMS COMS DB.STREET NAME: LAKE VICTORIA LANE ARCDBA.CMS COMS DB.STREET LINE 2: <null> ARCDBA.CMS COMS DB.CITY: BOWIE ARCDBA.CMS_COMS_DB.STATE: MD ARCDBA.CMS COMS DB.ZIPCODE: 20720 ARCDBA.CMS COMS DB.NUMBER OF MEMBERS: <null> ARCDBA.CMS COMS DB.REGISTRATION DATE: 1/13/2004 Layer: Registered Association ______ ARCDBA.Registered_Association Py.OBJECTID: 626 ARCDBA.Registered Association Py.ASSOCIATION_NUMBER: 741 ARCDBA.Registered Association Py.SHAPE: Polygon ARCDBA.CMS COMS DB.OBJECTID: 79 ARCDBA.CMS COMS DB.COMS ID: 741 ARCDBA.CMS_COMS_DB.ORGANIZATION_NAME: PALISADES HOMEOWNERS

ASSOCIATION

ARCDBA.CMS_COMS_DB.TYPE_: HOME OWNERS ARCDBA.CMS_COMS_DB.CONTACT: <null> ARCDBA.CMS_COMS_DB.STREET_NUMBER: 14106 ARCDBA.CMS_COMS_DB.STREET_NAME: JONES BRIDGE ROAD ARCDBA.CMS_COMS_DB.STREET_LINE_2: C/O ANDREA CLARK-CHAMBERS MGMT ARCDBA.CMS_COMS_DB.CITY: UPPER MARLBORO ARCDBA.CMS_COMS_DB.STATE: MD ARCDBA.CMS_COMS_DB.ZIPCODE: 20774 ARCDBA.CMS_COMS_DB.NUMBER_OF_MEMBERS: 136 ARCDBA.CMS_COMS_DB.REGISTRATION_DATE: 5/26/2016 The Maryland-National Capital Park & Planning Commission Results Prince George's County Planning Department Date: Wednesday, October 09, 2019 Time: 3:46:49 PM Total Record(s): 14 Layer: Property ______ ACCOUNT: 2019065 LOT: <null> BLOCK: 7 PARCEL: <null> PLAT: A18-0004 OWNER NAME: MCDONALDS CORP HOUSE NUMBER: 008800 STREET NAME: CENTRAL STREET TYPE: AVE CITY: HYATTSVILLE ZIP5: 20785 PROPERTY DESC: LT 11 EX 1194 SQ FT TO ST OF MD MAIL STREET: 1201 FIRTH OF LORNE CIR MAIL CITY: FORT WASHINGTON MAIL STATE: MD MAIL ZIP5: 20744 ICO NAME: MARY HOPKINS NAVIES Layer: Property ______ ACCOUNT: 2058832 LOT: 7 BLOCK: 7 PARCEL: <null> PLAT: A18-0004 OWNER NAME: PARKS JEAN E HOUSE NUMBER: 008703 STREET NAME: DUNBAR STREET TYPE: AVE CITY: HYATTSVILLE ZIP5: 20785 PROPERTY DESC: <null> MAIL STREET: 8703 DUNBAR AVE MAIL CITY: HYATTSVILLE MAIL STATE: MD MAIL ZIP5: 20785 ICO NAME: <null> Layer: Property

ACCOUNT: 1440916

LOT: <null> BLOCK: <null> PARCEL: <null> PLAT: A13-9346 OWNER NAME: CAPITOL HEIGHTS ENTRPRISES LLC HOUSE NUMBER: 008715 STREET NAME: CENTRAL STREET TYPE: AVE CITY: CAPITOL HEIGHTS ZIP5: 20743 PROPERTY DESC: PT PARCEL L MAIL STREET: 704 CLOVERLY ST MAIL CITY: SILVER SPRING MAIL_STATE: MD MAIL ZIP5: 20905 ICO NAME: <null>

Layer: Property

ACCOUNT: 1441245 LOT: <null> BLOCK: <null> PARCEL: <null> PLAT: A13-9633 OWNER NAME: PMIG 1002 LLC HOUSE NUMBER: 008801 STREET NAME: CENTRAL STREET TYPE: AVE CITY: CAPITOL HEIGHTS ZIP5: 20743 PROPERTY DESC: PARCEL E-E MAIL STREET: 2359 RESEARCH CT MAIL CITY: WOODBRIDGE MAIL STATE: VA MAIL ZIP5: 22192 ICO NAME: <null>

Layer: Property

ACCOUNT: 2073039 LOT: 10 BLOCK: A PARCEL: <null> PLAT: 18113015 OWNER_NAME: KARKENNY SAMUEL HOUSE_NUMBER: 008707 STREET_NAME: DUNBAR STREET_TYPE: AVE CITY: HYATTSVILLE ZIP5: 20785 PROPERTY_DESC: <null> MAIL_STREET: 122 PEPPER MILL DR

MAIL CITY: CAPITOL HEIGHTS MAIL STATE: MD MAIL ZIP5: 20743 ICO NAME: <null> Layer: Property _____ ACCOUNT: 1441229 LOT: <null> BLOCK: <null> PARCEL: <null> PLAT: A13-9553 OWNER NAME: 237 UPTOWN INC HOUSE NUMBER: 008703 STREET NAME: CENTRAL STREET TYPE: AVE CITY: CAPITOL HEIGHTS ZIP5: 20743 PROPERTY DESC: PT PARCEL P (1131 SF DFR TO ST OF MD 97/98 RW38) MAIL STREET: 3307 GARLAND DR MAIL CITY: FALLS CHURCH MAIL STATE: VA MAIL ZIP5: 22041 ICO NAME: <null> Layer: Property _____ ACCOUNT: 2070019 LOT: <null> BLOCK: 7 PARCEL: <null> PLAT: A18-0004 OWNER NAME: MCDONALDS CORP HOUSE NUMBER: 008710 STREET_NAME: CENTRAL STREET TYPE: AVE **CITY: HYATTSVILLE** ZIP5: 20785 PROPERTY DESC: LT 13 EX 400 SF & LT 12 EX 1863 SF TO STATE OF MD MAIL STREET: 1201 FIRTH OF LORNE CIR MAIL CITY: FORT WASHINGTON MAIL STATE: MD MAIL ZIP5: 20744 ICO NAME: MARY HOPKINS NAVIES Layer: Property ACCOUNT: 2068682 LOT: 6 BLOCK: 7 PARCEL: <null>

PLAT: A18-0004 OWNER NAME: MOORE JOSEPH P & LISSA N HOUSE NUMBER: 008701 STREET NAME: DUNBAR STREET TYPE: AVE CITY: HYATTSVILLE ZIP5: 20785 PROPERTY DESC: <null> MAIL STREET: 8701 DUNBAR AVE MAIL CITY: LANDOVER MAIL STATE: MD MAIL ZIP5: 20785 ICO NAME: <null> Layer: Property _____ ACCOUNT: 2073419 LOT: <null> BLOCK: 8 PARCEL: <null> PLAT: A18-0004 OWNER NAME: BRIGHTSEAT REALTY LLC HOUSE NUMBER: 009224 STREET NAME: CENTRAL STREET TYPE: AVE CITY: HYATTSVILLE ZIP5: 20785 PROPERTY DESC: PT LT 3 & PT LT 2 EX 6433 SQ FT N CONF USE-HOUSE MAIL STREET: 15146 SAPLING RIDGE RD MAIL CITY: DAYTON MAIL STATE: MD MAIL ZIP5: 21036 ICO NAME: <null> Layer: Property ACCOUNT: 2065795 LOT: <null> BLOCK: 7 PARCEL: <null> PLAT: A18-0004 OWNER NAME: MCDONALDS CORP HOUSE NUMBER: 008706 STREET NAME: CENTRAL STREET TYPE: AVE CITY: CAPITOL HEIGHTS ZIP5: 20743 PROPERTY DESC: LOT 14 EXCEPT 880 SQ FT TO STATE OF MD MAIL STREET: 1201 FIRTH OF LORNE CIR MAIL CITY: FORT WASHINGTON MAIL STATE: MD MAIL ZIP5: 20744

ICO NAME: MARY HOPKINS NAVIES Layer: Property _____ ACCOUNT: 2070019 LOT: <null> BLOCK: 7 PARCEL: <null> PLAT: A18-0004 OWNER NAME: MCDONALDS CORP HOUSE NUMBER: 008710 STREET NAME: CENTRAL STREET TYPE: AVE CITY: HYATTSVILLE ZIP5: 20785 LT 13 EX 400 SF & LT 12 EX 1863 SF TO STATE OF MD PROPERTY DESC: MAIL STREET: 1201 FIRTH OF LORNE CIR MAIL CITY: FORT WASHINGTON MAIL STATE: MD MAIL ZIP5: 20744 ICO NAME: MARY HOPKINS NAVIES Layer: Property _____ ACCOUNT: 2073047 LOT: 11BLOCK: A PARCEL: <null> PLAT: 18113015 OWNER NAME: SPEIGHT SETH & LINDA C PATE HOUSE NUMBER: 008705 STREET NAME: DUNBAR STREET TYPE: AVE **CITY: HYATTSVILLE** ZIP5: 20785 PROPERTY DESC: <null> MAIL STREET: 8705 DUNBAR AVE MAIL CITY: LANDOVER MAIL STATE: MD MAIL ZIP5: 20785 ICO NAME: <null> Layer: Property ACCOUNT: 2043081 LOT: <null> BLOCK: 7 PARCEL: <null> PLAT: A18-0004 OWNER_NAME: ROYAL COURT APTS GENL PTNSHP HOUSE NUMBER: 008700

STREET_NAME: CENTRAL STREET_TYPE: AVE CITY: HYATTSVILLE ZIP5: 20785 PROPERTY_DESC: LOTS 15,16,17,18 EXCEPT 1865 SQ FT TO STATE OF MD MAIL_STREET: 4601 NORTH FAIRFAX DR MAIL_CITY: ARLINGTON MAIL_STATE: VA MAIL_ZIP5: 22203 ICO NAME: VAID CONSULTING STE 1200

Layer: Property

ACCOUNT: 2073419 LOT: <null> BLOCK: 8 PARCEL: <null> PLAT: A18-0004 OWNER NAME: BRIGHTSEAT REALTY LLC HOUSE NUMBER: 009224 STREET NAME: CENTRAL STREET TYPE: AVE CITY: HYATTSVILLE ZIP5: 20785 PROPERTY DESC: PT LT 3 & PT LT 2 EX 6433 SQ FT N CONF USE-HOUSE MAIL STREET: 15146 SAPLING RIDGE RD MAIL CITY: DAYTON MAIL STATE: MD MAIL ZIP5: 21036 ICO NAME: <null>

The Maryland-National Capital Park & Planning Commission Results

Prince George's County Planning Department Date: Wednesday, October 09, 2019 Time: 3:49:05 PM

Total Record(s): 0



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

Prince George's County Planning Department Planning Information Services 14741 Governor Oden Bowie Drive, Suite L2 Upper Marlboro, MD 20772 (301) 952-3208 (301)-952-3195 www.mncppc.org

Date: 10/9/19

MAILING LIST - RECEIPT

This receipt is to acknowledge that Suzanne Nickle			of (name
of company, if applicable) McNamee/Hosea			
received the following lists as described by the catego	ries below:		
Registered community organization list	Total Record(s):	33	
Adjoining property owners list	Total Record(s):	14	

, , ,		
☑ Municipalities within one mile list	Total Record(s):	0

This list is valid for 90 days from the date referenced above. Applicants shall obtain an updated mailing list if notifications are not sent within 90 days.

This property is located on WSSC Grid: 10/9/2019

Lisa Isenberg

Planning Information Services Staff

NOTE: Copy of this form must be included with Application submittal package.

The Maryland-National Capital Park & Planning Commission Results Prince George's County Planning Department Date: Wednesday, October 09, 2019 Time: 3:49:43 PM _________ Total Record(s): 33 Layer: Registered Association _____ ARCDBA.Registered Association Py.OBJECTID: 433 ARCDBA.Registered Association Py.ASSOCIATION_NUMBER: 661 ARCDBA.Registered Association Py.SHAPE: Polygon ARCDBA.CMS COMS DB.OBJECTID: 2 ARCDBA.CMS COMS DB.COMS ID: 661 ARCDBA.CMS COMS DB.ORGANIZATION_NAME: PALMER PARK CITIZENS ASSOCIATION ARCDBA.CMS COMS DB.TYPE : CITIZEN ARCDBA.CMS COMS DB.CONTACT: <null> ARCDBA.CMS_COMS_DB.STREET_NUMBER: 1920 ARCDBA.CMS COMS DB.STREET NAME: RAY LEONARD ROAD ARCDBA.CMS COMS DB.STREET LINE 2: <null> ARCDBA.CMS_COMS_DB.CITY: HYATTSVILLE ARCDBA.CMS COMS DB.STATE: MD ARCDBA.CMS COMS DB.ZIPCODE: 20785 ARCDBA.CMS COMS DB.NUMBER OF MEMBERS: 11 ARCDBA.CMS COMS DB.REGISTRATION DATE: 5/14/2009 Layer: Registered Association _____ ARCDBA.Registered Association Py.OBJECTID: 1643 ARCDBA.Registered Association Py.ASSOCIATION NUMBER: 490 ARCDBA.Registered Association Py.SHAPE: Polygon ARCDBA.CMS_COMS_DB.OBJECTID: 32 ARCDBA.CMS COMS DB.COMS ID: 490 ARCDBA.CMS COMS DB.ORGANIZATION NAME: WILLOW GROVE CITIZENS ASSOCIATION ARCDBA.CMS COMS DB.TYPE : CITIZEN ARCDBA.CMS COMS DB.CONTACT: <null> ARCDBA.CMS COMS DB.STREET NUMBER: <null> ARCDBA.CMS COMS DB.STREET NAME: P. O. BOX 310 ARCDBA.CMS_COMS_DB.STREET_LINE_2: <null> ARCDBA.CMS COMS DB.CITY: GLENN DALE ARCDBA.CMS COMS DB.STATE: MD ARCDBA.CMS COMS DB.ZIPCODE: 20769 ARCDBA.CMS COMS DB.NUMBER OF MEMBERS: 50 ARCDBA.CMS_COMS_DB.REGISTRATION DATE: 1/12/2004

Layer: Registered Association

ARCDBA.Registered Association_Py.OBJECTID: 418

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   ARCDBA.CMS COMS DB.OBJECTID: 142
   ARCDBA.CMS COMS DB.COMS ID: 731
   ARCDBA.CMS_COMS_DB.ORGANIZATION_NAME: ENTERPRISE ESTATES CIVIC
ASSOCIATION
   ARCDBA.CMS COMS DB.TYPE : CIVIC
   ARCDBA.CMS COMS DB.CONTACT: <null>
   ARCDBA.CMS COMS DB.STREET NUMBER: 11704
   ARCDBA.CMS COMS DB.STREET NAME: WHITTIER ROAD
   ARCDBA.CMS COMS DB.STREET LINE 2: <null>
   ARCDBA.CMS COMS DB.CITY: BOWIE
   ARCDBA.CMS COMS DB.STATE: MD
   ARCDBA.CMS COMS DB.ZIPCODE: 20721
   ARCDBA.CMS COMS DB.NUMBER OF MEMBERS: 410
   ARCDBA.CMS COMS DB.REGISTRATION_DATE: 9/17/2014
Layer: Registered Association
    ARCDBA.Registered_Association_Py.OBJECTID: 501
    ARCDBA.Registered Association Py.ASSOCIATION NUMBER: 598
    ARCDBA.Registered_Association_Py.SHAPE: Polygon
    ARCDBA.CMS COMS DB.OBJECTID: 61
    ARCDBA.CMS COMS DB.COMS ID: 598
    ARCDBA.CMS COMS DB.ORGANIZATION NAME: VILLAGE AT COLLINGTON
CONDOMINIUM
    ARCDBA.CMS COMS DB.TYPE : CONDOMINIUM
    ARCDBA.CMS COMS DB.CONTACT: <null>
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    ARCDBA.CMS COMS DB.STREET NAME: TECH ROAD
    ARCDBA.CMS COMS DB.STREET LINE 2: C/O TIDEWATER PROPERTY MGMT, #325
    ARCDBA.CMS COMS DB.CITY: SILVER SPRING
    ARCDBA.CMS COMS DB.STATE: MD
    ARCDBA.CMS COMS DB.ZIPCODE: 20904
    ARCDBA.CMS COMS DB.NUMBER OF MEMBERS: 80
    ARCDBA.CMS COMS DB.REGISTRATION DATE: 9/1/2007
Layer: Registered Association
          _____
    ARCDBA.Registered Association Py.OBJECTID: 522
    ARCDBA.Registered Association Py.ASSOCIATION_NUMBER: 754
    ARCDBA.Registered Association Py.SHAPE: Polygon
    ARCDBA.CMS_COMS_DB.OBJECTID: 132
    ARCDBA.CMS COMS DB.COMS ID: 754
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ASSOCIATION
    ARCDBA.CMS COMS DB.TYPE : HOME OWNERS
    ARCDBA.CMS_COMS DB.CONTACT: <null>
    ARCDBA.CMS COMS DB.STREET NUMBER: 12200
    ARCDBA.CMS COMS DB.STREET NAME: TECH ROAD
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ARCDBA.CMS_COMS_DB.STREET_LINE_2: SUITE 325 ARCDBA.CMS_COMS_DB.CITY: SILVER_SPRING

ARCDBA.CMS COMS DB.STATE: MD ARCDBA.CMS COMS DB.ZIPCODE: 20904 ARCDBA.CMS COMS DB.NUMBER OF MEMBERS: 126 ARCDBA.CMS COMS DB.REGISTRATION DATE: 11/17/2016 Layer: Registered Association _____ ARCDBA.Registered Association Py.OBJECTID: 421 ARCDBA.Registered Association Py.ASSOCIATION NUMBER: 740 ARCDBA.Registered Association Py.SHAPE: Polygon ARCDBA.CMS COMS DB.OBJECTID: 124 ARCDBA.CMS_COMS_DB.COMS_ID: 740 ARCDBA.CMS COMS DB.ORGANIZATION NAME: GLENN ESTATES HOMEOWNERS ASSOCIATION ARCDBA.CMS COMS DB.TYPE : HOME OWNERS ARCDBA.CMS_COMS_DB.CONTACT: <null> ARCDBA.CMS_COMS_DB.STREET_NUMBER: <null> ARCDBA.CMS COMS DB.STREET NAME: P.O. BOX 893 ARCDBA.CMS COMS DB.STREET LINE 2: C/O FRONT STREET MANAGEMENT-TIMOTHY SMITH ARCDBA.CMS COMS DB.CITY: LANHAM ARCDBA.CMS COMS DB.STATE: MD ARCDBA.CMS COMS DB.ZIPCODE: 20703 ARCDBA.CMS COMS DB.NUMBER_OF_MEMBERS: 7 ARCDBA.CMS COMS DB.REGISTRATION DATE: 3/31/2016 Layer: Registered Association _____ ARCDBA.Registered Association Py.OBJECTID: 437 ARCDBA.Registered Association Py.ASSOCIATION NUMBER: 165 ARCDBA.Registered_Association_Py.SHAPE: Polygon ARCDBA.CMS COMS DB.OBJECTID: 37 ARCDBA.CMS COMS DB.COMS ID: 165 ARCDBA.CMS COMS DB.ORGANIZATION NAME: GLENARDEN CIVIC ASSOCIATION ARCDBA.CMS COMS DB.TYPE : CIVIC ARCDBA.CMS COMS DB.CONTACT: <null> ARCDBA.CMS COMS DB.STREET NUMBER: 900 ARCDBA.CMS COMS DB.STREET NAME: SMITHVIEW PLACE ARCDBA.CMS_COMS_DB.STREET_LINE_2: <null> ARCDBA.CMS COMS DB.CITY: UPPER MARLBORO ARCDBA.CMS COMS DB.STATE: MD ARCDBA.CMS COMS DB.ZIPCODE: 20774 ARCDBA.CMS COMS DB.NUMBER OF MEMBERS: 146 ARCDBA.CMS COMS DB.REGISTRATION DATE: 6/6/2008 Layer: Registered Association _____ ARCDBA.Registered Association Py.OBJECTID: 419 ARCDBA.Registered_Association_Py.ASSOCIATION NUMBER: 701 ARCDBA.Registered Association Py.SHAPE: Polygon

ARCDBA.CMS_COMS_DB.OBJECTID: 66

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Layer: Registered Association

ARCDBA.Registered Association Py.OBJECTID: 499 ARCDBA.Registered Association Py.ASSOCIATION NUMBER: 717 ARCDBA.Registered Association Py.SHAPE: Polygon ARCDBA.CMS COMS DB.OBJECTID: 147 ARCDBA.CMS COMS_DB.COMS_ID: 717 ARCDBA.CMS COMS DB.ORGANIZATION NAME: GLENSFORD CONDOMINIUM ARCDBA.CMS COMS DB.TYPE : CONDOMINIUM ARCDBA.CMS COMS DB.CONTACT: <null> ARCDBA.CMS COMS DB.STREET NUMBER: 6915 ARCDBA.CMS COMS DB.STREET NAME: LAUREL BOWIE ROAD ARCDBA.CMS COMS DB.STREET LINE 2: SUITE 101 ARCDBA.CMS COMS DB.CITY: BOWIE ARCDBA.CMS COMS DB.STATE: MD ARCDBA.CMS COMS DB.ZIPCODE: 20715 ARCDBA.CMS COMS DB.NUMBER OF MEMBERS: 400 ARCDBA.CMS COMS DB.REGISTRATION DATE: 3/11/2014

Layer: Registered Association

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Layer: Registered Association

ARCDBA.Registered Association_Py.OBJECTID: 432 ARCDBA.Registered Association Py.ASSOCIATION NUMBER: 723 ARCDBA.Registered Association Py.SHAPE: Polygon ARCDBA.CMS COMS DB.OBJECTID: 129 ARCDBA.CMS COMS DB.COMS ID: 723 ARCDBA.CMS COMS DB.ORGANIZATION NAME: GLENARDEN TOWNS HOMEOWNERS ASSOCIATION ARCDBA.CMS COMS DB.TYPE : HOME OWNERS ARCDBA.CMS COMS DB.CONTACT: <null> ARCDBA.CMS COMS DB.STREET NUMBER: 2200 ARCDBA.CMS COMS DB.STREET NAME: DEFENSE HIGHWAY ARCDBA.CMS COMS DB.STREET LINE 2: C/O SENTRY MANAGEMENT, SUITE 405 ARCDBA.CMS COMS DB.CITY: CROFTON ARCDBA.CMS COMS DB.STATE: MD ARCDBA.CMS COMS DB.ZIPCODE: 21114 ARCDBA.CMS COMS DB.NUMBER OF MEMBERS: 33 ARCDBA.CMS COMS DB.REGISTRATION DATE: 4/10/2014 Layer: Registered Association _____ ARCDBA.Registered Association Py.OBJECTID: 520 ARCDBA.Registered Association Py.ASSOCIATION NUMBER: 655 ARCDBA.Registered Association Py.SHAPE: Polygon ARCDBA.CMS COMS DB.OBJECTID: 80 ARCDBA.CMS COMS DB.COMS_ID: 655 ARCDBA.CMS COMS DB.ORGANIZATION NAME: 4TH WARD CIVIC ASSOCIATION (TOWN OF CHEVERLY) ARCDBA.CMS COMS_DB.TYPE : CIVIC ARCDBA.CMS COMS DB.CONTACT: <null> ARCDBA.CMS COMS DB.STREET NUMBER: 1709 ARCDBA.CMS COMS DB.STREET NAME: 62ND AVENUE ARCDBA.CMS COMS DB.STREET LINE 2: <null> ARCDBA.CMS COMS DB.CITY: HYATTSVILLE ARCDBA.CMS COMS DB.STATE: MD ARCDBA.CMS COMS DB.ZIPCODE: 20785 ARCDBA.CMS COMS DB.NUMBER OF MEMBERS: 100 ARCDBA.CMS COMS DB.REGISTRATION DATE: 2/19/2009 Layer: Registered Association _____ ARCDBA.Registered Association Py.OBJECTID: 1608 ARCDBA.Registered Association Py.ASSOCIATION NUMBER: 707 ARCDBA.Registered Association Py.SHAPE: Polygon ARCDBA.CMS COMS DB.OBJECTID: 134 ARCDBA.CMS_COMS_DB.COMS_ID: 707 ARCDBA.CMS_COMS_DB.ORGANIZATION NAME: CARSONDALE CIVIC ASSOCIATION ARCDBA.CMS COMS DB.TYPE : CIVIC ARCDBA.CMS COMS DB.CONTACT: <null> ARCDBA.CMS_COMS_DB.STREET_NUMBER: 9007

ARCDBA.CMS_COMS_DB.STREET_NAME: WALLACE ROAD ARCDBA.CMS_COMS_DB.STREET_LINE_2: <null> ARCDBA.CMS_COMS_DB.CITY: LANHAM ARCDBA.CMS_COMS_DB.STATE: MD ARCDBA.CMS_COMS_DB.ZIPCODE: 20706 ARCDBA.CMS_COMS_DB.NUMBER_OF_MEMBERS: 100 ARCDBA.CMS_COMS_DB.REGISTRATION_DATE: 6/20/2012

Layer: Registered Association

ARCDBA.Registered Association Py.OBJECTID: 420 ARCDBA.Registered Association Py.ASSOCIATION_NUMBER: 688 ARCDBA.Registered Association Py.SHAPE: Polygon ARCDBA.CMS COMS DB.OBJECTID: 5 ARCDBA.CMS COMS DB.COMS ID: 688 ARCDBA.CMS COMS DB.ORGANIZATION_NAME: BLADENWOODS CONDOMINIUMS ARCDBA.CMS COMS DB.TYPE : CONDOMINIUM ARCDBA.CMS COMS DB.CONTACT: <null> ARCDBA.CMS COMS DB.STREET NUMBER: 5211 ARCDBA.CMS COMS DB.STREET NAME: NEWTON STREET ARCDBA.CMS COMS DB.STREET LINE 2: #303 ARCDBA.CMS_COMS_DB.CITY: BLADENSBURG ARCDBA.CMS COMS DB.STATE: MD ARCDBA.CMS COMS DB.ZIPCODE: 20710 ARCDBA.CMS COMS DB.NUMBER OF MEMBERS: 172 ARCDBA.CMS COMS DB.REGISTRATION DATE: 10/4/2010

Layer: Registered Association

ARCDBA.Registered Association Py.OBJECTID: 442 ARCDBA.Registered Association Py.ASSOCIATION NUMBER: 703 ARCDBA.Registered Association Py.SHAPE: Polygon ARCDBA.CMS COMS DB.OBJECTID: 86 ARCDBA.CMS_COMS DB.COMS ID: 703 ARCDBA.CMS COMS DB.ORGANIZATION_NAME: SENIORS R US ARCDBA.CMS COMS DB.TYPE : OTHER ARCDBA.CMS COMS DB.CONTACT: <null> ARCDBA.CMS_COMS_DB.STREET_NUMBER: 1918 ARCDBA.CMS COMS DB.STREET NAME: GOLDEN MORNING DRIVE ARCDBA.CMS COMS DB.STREET LINE 2: <null> ARCDBA.CMS_COMS_DB.CITY: BOWIE ARCDBA.CMS COMS DB.STATE: MD ARCDBA.CMS COMS DB.ZIPCODE: 20721 ARCDBA.CMS COMS DB.NUMBER OF MEMBERS: 36 ARCDBA.CMS COMS DB.REGISTRATION_DATE: 1/30/2012

Layer: Registered Association

ARCDBA.Registered_Association_Py.OBJECTID: 617 ARCDBA.Registered_Association_Py.ASSOCIATION_NUMBER: 208 ARCDBA.Registered Association_Py.SHAPE: Polygon

ARCDBA.CMS COMS DB.OBJECTID: 44 ARCDBA.CMS COMS DB.COMS_ID: 208 ARCDBA.CMS_COMS DB.ORGANIZATION NAME: HOLMEHURST SOUTH CIVIC ASSOCIATION ARCDBA.CMS COMS DB.TYPE : CIVIC ARCDBA.CMS COMS DB.CONTACT: <null> ARCDBA.CMS COMS DB.STREET NUMBER: 4523 ARCDBA.CMS COMS DB.STREET NAME: WOODGATE WAY ARCDBA.CMS_COMS_DB.STREET_LINE_2: <null> ARCDBA.CMS COMS DB.CITY: BOWIE ARCDBA.CMS COMS DB.STATE: MD ARCDBA.CMS COMS DB.ZIPCODE: 20720 ARCDBA.CMS COMS DB.NUMBER_OF_MEMBERS: 100 ARCDBA.CMS_COMS_DB.REGISTRATION_DATE: 5/7/2008 Layer: Registered Association ARCDBA.Registered Association Py.OBJECTID: 602 ARCDBA.Registered Association Py.ASSOCIATION NUMBER: 473 ARCDBA.Registered_Association_Py.SHAPE: Polygon ARCDBA.CMS COMS DB.OBJECTID: 18 ARCDBA.CMS COMS DB.COMS ID: 473 ARCDBA.CMS_COMS_DB.ORGANIZATION_NAME: VISTA ESTATES WEST HOMEOWNERS ASSOCIATION ARCDBA.CMS COMS DB.TYPE : HOMEOWNERS ARCDBA.CMS COMS DB.CONTACT: <null> ARCDBA.CMS COMS DB.STREET NUMBER: 1296 ARCDBA.CMS COMS DB.STREET NAME: CRONSON BLVD. ARCDBA.CMS COMS_DB.STREET LINE 2: C/O CASTER MANAGEMENT, LLC, #4284 ARCDBA.CMS COMS DB.CITY: CROFTON ARCDBA.CMS_COMS_DB.STATE: MD ARCDBA.CMS COMS DB.ZIPCODE: 21114 ARCDBA.CMS COMS DB.NUMBER OF MEMBERS: 135 ARCDBA.CMS COMS DB.REGISTRATION_DATE: 1/12/2005 Laver: Registered Association ARCDBA.Registered Association Py.OBJECTID: 587 ARCDBA.Registered Association Py.ASSOCIATION_NUMBER: 761 ARCDBA.Registered Association Py.SHAPE: Polygon ARCDBA.CMS COMS DB.OBJECTID: 138 ARCDBA.CMS COMS DB.COMS ID: 761 ARCDBA.CMS_COMS_DB.ORGANIZATION_NAME: LEWISDALE CITIZENS' ASSOCIATION ARCDBA.CMS COMS DB.TYPE : CIVIC ARCDBA.CMS COMS DB.CONTACT: <null> ARCDBA.CMS COMS DB.STREET NUMBER: 6613 ARCDBA.CMS COMS DB.STREET_NAME: 22ND PLACE ARCDBA.CMS COMS DB.STREET LINE_2: <null> ARCDBA.CMS COMS DB.CITY: HYATTSVILLE ARCDBA.CMS COMS DB.STATE: MD ARCDBA.CMS_COMS_DB.ZIPCODE: 20782 ARCDBA.CMS_COMS_DB.NUMBER_OF_MEMBERS: 175

ARCDBA.CMS COMS DB.REGISTRATION DATE: 10/10/2017

Layer: Registered Association ARCDBA.Registered Association Py.OBJECTID: 413 ARCDBA.Registered Association Py.ASSOCIATION NUMBER: 336 ARCDBA.Registered Association Py.SHAPE: Polygon ARCDBA.CMS COMS DB.OBJECTID: 7 ARCDBA.CMS COMS DB.COMS ID: 336 ARCDBA.CMS COMS DB.ORGANIZATION NAME: RANDOLPH VILLAGE CIVIC ASSOCIATION ARCDBA.CMS COMS DB.TYPE : CIVIC ARCDBA.CMS COMS DB.CONTACT: <null> ARCDBA.CMS COMS DB.STREET NUMBER: 8422 ARCDBA.CMS COMS DB.STREET NAME: DUNBAR AVENUE ARCDBA.CMS_COMS_DB.STREET_LINE_2: <null> ARCDBA.CMS COMS DB.CITY: HYATTSVILLE ARCDBA.CMS COMS DB.STATE: MD ARCDBA.CMS COMS DB.ZIPCODE: 20785 ARCDBA.CMS_COMS_DB.NUMBER OF MEMBERS: 75 ARCDBA.CMS COMS DB.REGISTRATION DATE: 1/4/2007 Layer: Registered Association ARCDBA.Registered Association Py.OBJECTID: 625 ARCDBA.Registered Association Py.ASSOCIATION NUMBER: 709 ARCDBA.Registered Association Py.SHAPE: Polygon ARCDBA.CMS COMS DB.OBJECTID: 139 ARCDBA.CMS COMS DB.COMS ID: 709 ARCDBA.CMS COMS DB.ORGANIZATION NAME: WILLOW WOOD ESTATES CIVIC ASSOCIATION ARCDBA.CMS COMS DB.TYPE : CIVIC ARCDBA.CMS COMS DB.CONTACT: <null> ARCDBA.CMS COMS DB.STREET NUMBER: 10205 ARCDBA.CMS COMS DB.STREET NAME: BALD HILL ROAD ARCDBA.CMS COMS DB.STREET LINE 2: <null> ARCDBA.CMS COMS DB.CITY: BOWIE ARCDBA.CMS COMS DB.STATE: MD ARCDBA.CMS COMS DB.ZIPCODE: 20721 ARCDBA.CMS COMS DB.NUMBER OF MEMBERS: 59 ARCDBA.CMS COMS DB.REGISTRATION DATE: 8/28/2012 Layer: Registered Association ARCDBA.Registered Association Py.OBJECTID: 423 ARCDBA.Registered Association Py.ASSOCIATION NUMBER: 505 ARCDBA.Registered Association Py.SHAPE: Polygon ARCDBA.CMS COMS DB.OBJECTID: 54 ARCDBA.CMS COMS DB.COMS ID: 505 ARCDBA.CMS COMS DB.ORGANIZATION NAME: CHEVERLY RECREATION COUNCIL ARCDBA.CMS COMS DB.TYPE : OTHER

ARCDBA.CMS COMS DB.CONTACT: <null> ARCDBA.CMS_COMS_DB.STREET_NUMBER: 3012 ARCDBA.CMS COMS DB.STREET NAME: PARK WAY ARCDBA.CMS COMS DB.STREET LINE_2: <null> ARCDBA.CMS COMS DB.CITY: HYATTSVILLE ARCDBA.CMS COMS DB.STATE: MD ARCDBA.CMS COMS DB.ZIPCODE: 20785 ARCDBA.CMS COMS DB.NUMBER OF MEMBERS: 12 ARCDBA.CMS COMS DB.REGISTRATION DATE: 4/1/2004 Layer: Registered Association _____ ARCDBA.Registered Association Py.OBJECTID: 938 ARCDBA.Registered Association Py.ASSOCIATION NUMBER: 764 ARCDBA.Registered Association Py.SHAPE: Polygon ARCDBA.CMS COMS DB.OBJECTID: 98 ARCDBA.CMS COMS DB.COMS ID: 764 ARCDBA.CMS COMS DB.ORGANIZATION NAME: CENTENNIAL VILLAGE HOA ARCDBA.CMS COMS DB.TYPE_: HOME OWNERS ARCDBA.CMS COMS DB.CONTACT: <null> ARCDBA.CMS COMS DB.STREET NUMBER: 400 ARCDBA.CMS COMS DB.STREET NAME: SERENDIPITY DRIVE ARCDBA.CMS COMS DB.STREET LINE 2: <null> ARCDBA.CMS_COMS_DB.CITY: MILLERSVILLE ARCDBA.CMS COMS DB.STATE: MD ARCDBA.CMS COMS DB.ZIPCODE: 21108 ARCDBA.CMS COMS DB.NUMBER OF MEMBERS: 5 ARCDBA.CMS COMS DB.REGISTRATION DATE: 3/6/2018 Layer: Registered Association ______ ARCDBA.Registered_Association_Py.OBJECTID: 439 ARCDBA.Registered Association Py.ASSOCIATION NUMBER: 484 ARCDBA.Registered Association Py.SHAPE: Polygon ARCDBA.CMS COMS_DB.OBJECTID: 30 ARCDBA.CMS COMS DB.COMS ID: 484 ARCDBA.CMS COMS DB.ORGANIZATION NAME: LANDOVER REVITALIZATION COALITION ARCDBA.CMS_COMS_DB.TYPE_: CIVIC ARCDBA.CMS COMS DB.CONTACT: <null> ARCDBA.CMS COMS DB.STREET NUMBER: <null> ARCDBA.CMS COMS DB.STREET NAME: P.O.BOX 1643 ARCDBA.CMS_COMS_DB.STREET LINE_2: <null> ARCDBA.CMS COMS DB.CITY: HYATTSVILLE ARCDBA.CMS COMS DB.STATE: MD ARCDBA.CMS COMS DB.ZIPCODE: 20785 ARCDBA.CMS COMS DB.NUMBER OF MEMBERS: 10 ARCDBA.CMS COMS DB.REGISTRATION_DATE: 12/20/2004

Layer: Registered Association

ARCDBA.Registered Association Py.OBJECTID: 1612 ARCDBA.Registered Association_Py.ASSOCIATION_NUMBER: 773 ARCDBA.Registered Association Py.SHAPE: Polygon ARCDBA.CMS COMS DB.OBJECTID: 112 ARCDBA.CMS COMS DB.COMS ID: 773 ARCDBA.CMS_COMS_DB.ORGANIZATION_NAME: WOODMORE NORTH HOMEOWNERS ASSOCIATION ARCDBA.CMS COMS DB.TYPE : HOME OWNERS ARCDBA.CMS COMS DB.CONTACT: <null> ARCDBA.CMS COMS DB.STREET NUMBER: 1296 ARCDBA.CMS COMS DB.STREET NAME: CRONSON BLVD ARCDBA.CMS_COMS_DB.STREET_LINE_2: #4284 ARCDBA.CMS COMS DB.CITY: CROFTON ARCDBA.CMS COMS DB.STATE: MD ARCDBA.CMS COMS DB.ZIPCODE: 21114 ARCDBA.CMS COMS DB.NUMBER OF MEMBERS: 226 ARCDBA.CMS COMS DB.REGISTRATION DATE: 10/5/2018 Layer: Registered Association ARCDBA.Registered Association Py.OBJECTID: 436 ARCDBA.Registered Association Py.ASSOCIATION NUMBER: 107 ARCDBA.Registered Association Py.SHAPE: Polygon ARCDBA.CMS COMS DB.OBJECTID: 17 ARCDBA.CMS COMS DB.COMS_ID: 107 ARCDBA.CMS COMS DB.ORGANIZATION NAME: COLUMBIA PARK CIVIC ASSOCIATION ARCDBA.CMS COMS DB.TYPE : CIVIC ARCDBA.CMS COMS DB.CONTACT: <null> ARCDBA.CMS COMS DB.STREET NUMBER: 1616 ARCDBA.CMS COMS DB.STREET NAME: EAST WASHINGTON AVENUE ARCDBA.CMS COMS DB.STREET LINE 2: <null> ARCDBA.CMS_COMS_DB.CITY: HYATTSVILLE ARCDBA.CMS COMS DB.STATE: MD ARCDBA.CMS COMS DB.ZIPCODE: 20785 ARCDBA.CMS COMS DB.NUMBER OF MEMBERS: 40 ARCDBA.CMS COMS_DB.REGISTRATION_DATE: 6/15/2003

Layer: Registered Association

ARCDBA.Registered_Association_Py.OBJECTID: 500 ARCDBA.Registered_Association_Py.ASSOCIATION_NUMBER: 719 ARCDBA.Registered_Association_Py.SHAPE: Polygon ARCDBA.CMS_COMS_DB.OBJECTID: 149 ARCDBA.CMS_COMS_DB.COMS_ID: 719 ARCDBA.CMS_COMS_DB.ORGANIZATION_NAME: LLG RECREATION ASSOCIATION ARCDBA.CMS_COMS_DB.TYPE_: OTHER ARCDBA.CMS_COMS_DB.TYPE_: OTHER ARCDBA.CMS_COMS_DB.CONTACT: <null> ARCDBA.CMS_COMS_DB.STREET_NUMBER: 6915 ARCDBA.CMS_COMS_DB.STREET_NAME: LAUREL BOWIE ROAD ARCDBA.CMS_COMS_DB.STREET_LINE_2: SUITE 101 ARCDBA.CMS_COMS_DB.CITY: BOWIE ARCDBA.CMS_COMS_DB.STATE: MD

ARCDBA.CMS COMS DB.ZIPCODE: 20715 ARCDBA.CMS COMS DB.NUMBER OF MEMBERS: 672 ARCDBA.CMS COMS DB.REGISTRATION DATE: 3/11/2014 Layer: Registered Association ______ ARCDBA.Registered Association Py.OBJECTID: 1272 ARCDBA.Registered_Association_Py.ASSOCIATION_NUMBER: 735 ARCDBA.Registered Association Py.SHAPE: Polygon ARCDBA.CMS COMS DB.OBJECTID: 121 ARCDBA.CMS COMS DB.COMS ID: 735 ARCDBA.CMS COMS DB.ORGANIZATION NAME: RADIANT VALLEY CIVIC ASSOCIATION ARCDBA.CMS_COMS_DB.TYPE : CIVIC ARCDBA.CMS COMS DB.CONTACT: <null> ARCDBA.CMS_COMS_DB.STREET_NUMBER: 6821 ARCDBA.CMS COMS DB.STREET_NAME: BARTON ROAD ARCDBA.CMS COMS DB.STREET_LINE_2: <null> ARCDBA.CMS COMS DB.CITY: HYATTSVILLE ARCDBA.CMS COMS DB.STATE: MD ARCDBA.CMS COMS DB.ZIPCODE: 20784 ARCDBA.CMS COMS DB.NUMBER OF MEMBERS: 60 ARCDBA.CMS COMS DB.REGISTRATION DATE: 2/6/2015 Layer: Registered Association _____ ARCDBA.Registered Association Py.OBJECTID: 1656 ARCDBA.Registered Association Py.ASSOCIATION NUMBER: 776 ARCDBA.Registered Association Py.SHAPE: Polygon ARCDBA.CMS_COMS_DB.OBJECTID: 155 ARCDBA.CMS COMS DB.COMS ID: 776 ARCDBA.CMS COMS DB.ORGANIZATION NAME: GREATER CAPITOL HEIGHTS IMPROVEMENT CORPORATION INC. ARCDBA.CMS COMS DB.TYPE_: CITIZEN ARCDBA.CMS COMS DB.CONTACT: <null> ARCDBA.CMS COMS DB.STREET NUMBER: 415 ARCDBA.CMS COMS DB.STREET NAME: ZELMA AVENUE ARCDBA.CMS_COMS_DB.STREET_LINE 2: <null> ARCDBA.CMS COMS DB.CITY: CAPITOL HEIGHTS ARCDBA.CMS COMS DB.STATE: MD ARCDBA.CMS COMS DB.ZIPCODE: 20743 ARCDBA.CMS_COMS_DB.NUMBER OF MEMBERS: 1 ARCDBA.CMS_COMS_DB.REGISTRATION_DATE: 5/2/2019 Layer: Registered Association ______ ARCDBA.Registered Association Py.OBJECTID: 416 ARCDBA.Registered Association_Py.ASSOCIATION_NUMBER: 99 ARCDBA.Registered_Association Py.SHAPE: Polygon ARCDBA.CMS_COMS_DB.OBJECTID: 16

ARCDBA.CMS_COMS_DB.COMS_ID: 99

ARCDBA.CMS COMS DB.ORGANIZATION NAME: COALITION OF CENTRAL PGC COMMUNITY ASSOCIATIONS ARCDBA.CMS COMS DB.TYPE : CIVIC ARCDBA.CMS COMS DB.CONTACT: <null> ARCDBA.CMS COMS DB.STREET NUMBER: 708 ARCDBA.CMS COMS DB.STREET NAME: QUARRY AVENUE ARCDBA.CMS COMS DB.STREET LINE 2: <null> ARCDBA.CMS COMS DB.CITY: CAPITOL HEIGHTS ARCDBA.CMS COMS DB.STATE: MD ARCDBA.CMS COMS DB.ZIPCODE: 20743 ARCDBA.CMS COMS DB.NUMBER OF MEMBERS: 17 ARCDBA.CMS COMS DB.REGISTRATION DATE: 6/30/2003 Layer: Registered Association _____ ARCDBA.Registered_Association Py.OBJECTID: 415 ARCDBA.Registered Association Py.ASSOCIATION NUMBER: 238 ARCDBA.Registered Association Py.SHAPE: Polygon ARCDBA.CMS COMS DB.OBJECTID: 45 ARCDBA.CMS_COMS_DB.COMS_ID: 238 ARCDBA.CMS_COMS_DB.ORGANIZATION_NAME: LANHAM STATION AREA CITIZENS ASSOCIATION ARCDBA.CMS COMS DB.TYPE : CIVIC ARCDBA.CMS COMS DB.CONTACT: <null> ARCDBA.CMS COMS DB.STREET NUMBER: 5308 ARCDBA.CMS COMS DB.STREET NAME: LANHAM STATION ROAD ARCDBA.CMS COMS DB.STREET LINE 2: <null> ARCDBA.CMS COMS DB.CITY: LANHAM ARCDBA.CMS COMS DB.STATE: MD ARCDBA.CMS COMS DB.ZIPCODE: 20706 ARCDBA.CMS COMS DB.NUMBER OF MEMBERS: 175 ARCDBA.CMS COMS DB.REGISTRATION DATE: 4/28/2005 Laver: Registered Association ARCDBA.Registered Association Py.OBJECTID: 576 ARCDBA.Registered_Association_Py.ASSOCIATION_NUMBER: 757 ARCDBA.Registered Association Py.SHAPE: Polygon ARCDBA.CMS COMS DB.OBJECTID: 154 ARCDBA.CMS COMS DB.COMS ID: 757 ARCDBA.CMS_COMS_DB.ORGANIZATION_NAME: HYNESBORO PARK GREENWOOD FOREST NEIGHBORHOOD ASSOCIATION ARCDBA.CMS COMS DB.TYPE : CIVIC ARCDBA.CMS COMS DB.CONTACT: <null> ARCDBA.CMS_COMS_DB.STREET NUMBER: 9214 ARCDBA.CMS COMS DB.STREET NAME: 5TH STREET ARCDBA.CMS COMS DB.STREET_LINE_2: <null> ARCDBA.CMS COMS DB.CITY: LANHAM ARCDBA.CMS COMS DB.STATE: MD ARCDBA.CMS COMS DB.ZIPCODE: 20706 ARCDBA.CMS COMS DB.NUMBER_OF_MEMBERS: 25 ARCDBA.CMS COMS_DB.REGISTRATION_DATE: 8/10/2017

Layer: Registered Association

ARCDBA.Registered Association Py.OBJECTID: 461 ARCDBA.Registered Association Py.ASSOCIATION NUMBER: 502 ARCDBA.Registered Association Py.SHAPE: Polygon ARCDBA.CMS COMS_DB.OBJECTID: 36 ARCDBA.CMS COMS DB.COMS ID: 502 ARCDBA.CMS COMS DB.ORGANIZATION NAME: LAKEVIEW HOMEOWNERS ASSOCIATION ARCDBA.CMS COMS DB.TYPE : HOMEOWNERS ARCDBA.CMS COMS DB.CONTACT: <null> ARCDBA.CMS COMS DB.STREET NUMBER: 11018 ARCDBA.CMS COMS DB.STREET NAME: LAKE VICTORIA LANE ARCDBA.CMS COMS DB.STREET LINE 2: <null> ARCDBA.CMS COMS DB.CITY: BOWIE ARCDBA.CMS_COMS_DB.STATE: MD ARCDBA.CMS COMS DB.ZIPCODE: 20720 ARCDBA.CMS COMS DB.NUMBER OF MEMBERS: <null> ARCDBA.CMS COMS DB.REGISTRATION DATE: 1/13/2004 Layer: Registered Association ______ ARCDBA.Registered_Association Py.OBJECTID: 626 ARCDBA.Registered Association Py.ASSOCIATION_NUMBER: 741 ARCDBA.Registered Association Py.SHAPE: Polygon ARCDBA.CMS COMS DB.OBJECTID: 79 ARCDBA.CMS COMS DB.COMS ID: 741 ARCDBA.CMS_COMS_DB.ORGANIZATION_NAME: PALISADES HOMEOWNERS

ASSOCIATION

ARCDBA.CMS_COMS_DB.TYPE_: HOME OWNERS ARCDBA.CMS_COMS_DB.CONTACT: <null> ARCDBA.CMS_COMS_DB.STREET_NUMBER: 14106 ARCDBA.CMS_COMS_DB.STREET_NAME: JONES BRIDGE ROAD ARCDBA.CMS_COMS_DB.STREET_LINE_2: C/O ANDREA CLARK-CHAMBERS MGMT ARCDBA.CMS_COMS_DB.CITY: UPPER MARLBORO ARCDBA.CMS_COMS_DB.STATE: MD ARCDBA.CMS_COMS_DB.ZIPCODE: 20774 ARCDBA.CMS_COMS_DB.NUMBER_OF_MEMBERS: 136 ARCDBA.CMS_COMS_DB.REGISTRATION_DATE: 5/26/2016 The Maryland-National Capital Park & Planning Commission Results Prince George's County Planning Department Date: Wednesday, October 09, 2019 Time: 3:46:49 PM Total Record(s): 14 Layer: Property ______ ACCOUNT: 2019065 LOT: <null> BLOCK: 7 PARCEL: <null> PLAT: A18-0004 OWNER NAME: MCDONALDS CORP HOUSE NUMBER: 008800 STREET NAME: CENTRAL STREET TYPE: AVE CITY: HYATTSVILLE ZIP5: 20785 PROPERTY DESC: LT 11 EX 1194 SQ FT TO ST OF MD MAIL STREET: 1201 FIRTH OF LORNE CIR MAIL CITY: FORT WASHINGTON MAIL STATE: MD MAIL ZIP5: 20744 ICO NAME: MARY HOPKINS NAVIES Layer: Property ______ ACCOUNT: 2058832 LOT: 7 BLOCK: 7 PARCEL: <null> PLAT: A18-0004 OWNER NAME: PARKS JEAN E HOUSE NUMBER: 008703 STREET NAME: DUNBAR STREET TYPE: AVE CITY: HYATTSVILLE ZIP5: 20785 PROPERTY DESC: <null> MAIL STREET: 8703 DUNBAR AVE MAIL CITY: HYATTSVILLE MAIL STATE: MD MAIL ZIP5: 20785 ICO NAME: <null> Layer: Property

ACCOUNT: 1440916

LOT: <null> BLOCK: <null> PARCEL: <null> PLAT: A13-9346 OWNER NAME: CAPITOL HEIGHTS ENTRPRISES LLC HOUSE NUMBER: 008715 STREET NAME: CENTRAL STREET TYPE: AVE CITY: CAPITOL HEIGHTS ZIP5: 20743 PROPERTY DESC: PT PARCEL L MAIL STREET: 704 CLOVERLY ST MAIL CITY: SILVER SPRING MAIL_STATE: MD MAIL ZIP5: 20905 ICO NAME: <null>

Layer: Property

ACCOUNT: 1441245 LOT: <null> BLOCK: <null> PARCEL: <null> PLAT: A13-9633 OWNER NAME: PMIG 1002 LLC HOUSE NUMBER: 008801 STREET NAME: CENTRAL STREET TYPE: AVE CITY: CAPITOL HEIGHTS ZIP5: 20743 PROPERTY DESC: PARCEL E-E MAIL STREET: 2359 RESEARCH CT MAIL CITY: WOODBRIDGE MAIL STATE: VA MAIL ZIP5: 22192 ICO NAME: <null>

Layer: Property

ACCOUNT: 2073039 LOT: 10 BLOCK: A PARCEL: <null> PLAT: 18113015 OWNER_NAME: KARKENNY SAMUEL HOUSE_NUMBER: 008707 STREET_NAME: DUNBAR STREET_TYPE: AVE CITY: HYATTSVILLE ZIP5: 20785 PROPERTY_DESC: <null> MAIL_STREET: 122 PEPPER MILL DR

MAIL CITY: CAPITOL HEIGHTS MAIL STATE: MD MAIL ZIP5: 20743 ICO NAME: <null> Layer: Property _____ ACCOUNT: 1441229 LOT: <null> BLOCK: <null> PARCEL: <null> PLAT: A13-9553 OWNER NAME: 237 UPTOWN INC HOUSE NUMBER: 008703 STREET NAME: CENTRAL STREET TYPE: AVE CITY: CAPITOL HEIGHTS ZIP5: 20743 PROPERTY DESC: PT PARCEL P (1131 SF DFR TO ST OF MD 97/98 RW38) MAIL STREET: 3307 GARLAND DR MAIL CITY: FALLS CHURCH MAIL STATE: VA MAIL ZIP5: 22041 ICO NAME: <null> Layer: Property _____ ACCOUNT: 2070019 LOT: <null> BLOCK: 7 PARCEL: <null> PLAT: A18-0004 OWNER NAME: MCDONALDS CORP HOUSE NUMBER: 008710 STREET_NAME: CENTRAL STREET TYPE: AVE **CITY: HYATTSVILLE** ZIP5: 20785 PROPERTY DESC: LT 13 EX 400 SF & LT 12 EX 1863 SF TO STATE OF MD MAIL STREET: 1201 FIRTH OF LORNE CIR MAIL CITY: FORT WASHINGTON MAIL STATE: MD MAIL ZIP5: 20744 ICO NAME: MARY HOPKINS NAVIES Layer: Property ACCOUNT: 2068682 LOT: 6 BLOCK: 7 PARCEL: <null>

PLAT: A18-0004 OWNER NAME: MOORE JOSEPH P & LISSA N HOUSE NUMBER: 008701 STREET NAME: DUNBAR STREET TYPE: AVE CITY: HYATTSVILLE ZIP5: 20785 PROPERTY DESC: <null> MAIL STREET: 8701 DUNBAR AVE MAIL CITY: LANDOVER MAIL STATE: MD MAIL ZIP5: 20785 ICO NAME: <null> Layer: Property _____ ACCOUNT: 2073419 LOT: <null> BLOCK: 8 PARCEL: <null> PLAT: A18-0004 OWNER NAME: BRIGHTSEAT REALTY LLC HOUSE NUMBER: 009224 STREET NAME: CENTRAL STREET TYPE: AVE CITY: HYATTSVILLE ZIP5: 20785 PROPERTY DESC: PT LT 3 & PT LT 2 EX 6433 SQ FT N CONF USE-HOUSE MAIL STREET: 15146 SAPLING RIDGE RD MAIL CITY: DAYTON MAIL STATE: MD MAIL ZIP5: 21036 ICO NAME: <null> Layer: Property ACCOUNT: 2065795 LOT: <null> BLOCK: 7 PARCEL: <null> PLAT: A18-0004 OWNER NAME: MCDONALDS CORP HOUSE NUMBER: 008706 STREET NAME: CENTRAL STREET TYPE: AVE CITY: CAPITOL HEIGHTS ZIP5: 20743 PROPERTY DESC: LOT 14 EXCEPT 880 SQ FT TO STATE OF MD MAIL STREET: 1201 FIRTH OF LORNE CIR MAIL CITY: FORT WASHINGTON MAIL STATE: MD MAIL ZIP5: 20744

ICO NAME: MARY HOPKINS NAVIES Layer: Property _____ ACCOUNT: 2070019 LOT: <null> BLOCK: 7 PARCEL: <null> PLAT: A18-0004 OWNER NAME: MCDONALDS CORP HOUSE NUMBER: 008710 STREET NAME: CENTRAL STREET TYPE: AVE CITY: HYATTSVILLE ZIP5: 20785 LT 13 EX 400 SF & LT 12 EX 1863 SF TO STATE OF MD PROPERTY DESC: MAIL STREET: 1201 FIRTH OF LORNE CIR MAIL CITY: FORT WASHINGTON MAIL STATE: MD MAIL ZIP5: 20744 ICO NAME: MARY HOPKINS NAVIES Layer: Property _____ ACCOUNT: 2073047 LOT: 11BLOCK: A PARCEL: <null> PLAT: 18113015 OWNER NAME: SPEIGHT SETH & LINDA C PATE HOUSE NUMBER: 008705 STREET NAME: DUNBAR STREET TYPE: AVE **CITY: HYATTSVILLE** ZIP5: 20785 PROPERTY DESC: <null> MAIL STREET: 8705 DUNBAR AVE MAIL CITY: LANDOVER MAIL STATE: MD MAIL ZIP5: 20785 ICO NAME: <null> Layer: Property ACCOUNT: 2043081 LOT: <null> BLOCK: 7 PARCEL: <null> PLAT: A18-0004 OWNER_NAME: ROYAL COURT APTS GENL PTNSHP HOUSE NUMBER: 008700

STREET_NAME: CENTRAL STREET_TYPE: AVE CITY: HYATTSVILLE ZIP5: 20785 PROPERTY_DESC: LOTS 15,16,17,18 EXCEPT 1865 SQ FT TO STATE OF MD MAIL_STREET: 4601 NORTH FAIRFAX DR MAIL_CITY: ARLINGTON MAIL_STATE: VA MAIL_ZIP5: 22203 ICO NAME: VAID CONSULTING STE 1200

Layer: Property

ACCOUNT: 2073419 LOT: <null> BLOCK: 8 PARCEL: <null> PLAT: A18-0004 OWNER NAME: BRIGHTSEAT REALTY LLC HOUSE NUMBER: 009224 STREET NAME: CENTRAL STREET TYPE: AVE CITY: HYATTSVILLE ZIP5: 20785 PROPERTY DESC: PT LT 3 & PT LT 2 EX 6433 SQ FT N CONF USE-HOUSE MAIL STREET: 15146 SAPLING RIDGE RD MAIL CITY: DAYTON MAIL STATE: MD MAIL ZIP5: 21036 ICO NAME: <null>

The Maryland-National Capital Park & Planning Commission Results

Prince George's County Planning Department Date: Wednesday, October 09, 2019 Time: 3:49:05 PM

Total Record(s): 0



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

Prince George's County Planning Department Planning Information Services 14741 Governor Oden Bowie Drive, Suite L2 Upper Marlboro, MD 20772 (301) 952-3208 (301)-952-3195 www.mncppc.org

Date: 4/15/20

MAILING LIST - RECEIPT

This receipt is to acknowledge that Suzanne Nickle								
of company, if applicable) McNamee Hosea								
received the following lists as described by the categories below:								
Registered community organization	list Total Record(s): <u>3</u>	5						
🗹 Adjoining property owners list	Total Record(s): <u>1</u>	3						

This list is valid for 90 days from the date referenced above. Applicants shall obtain an updated

mailing list if notifications are not sent within 90 days.

☑ Municipalities within one mile list

This property is located on WSSC Grid: 201NE08

Dana Bressler

Total Record(s):

Planning Information Services Staff

0

NOTE: Copy of this form must be included with Application submittal package.

The Maryland-National Capital Park & Planning Commission Results Prince George's County Planning Department Date: 4/16/2020

Time: 9:32:40 AM

Total Record(s): 35

Layer_	Nam A	RCDB A	ARCDB ARCDBA.	Re ARCDB A	RCDE ARCDBA.CMS_COMS_DB.ORGANIZATION_NAME	ARCDBA.CN ARCDB
Registe	ered	1612	773 Polygon	118	773 WOODMORE NORTH HOMEOWNERS ASSOCIATION	HOME OW <null></null>
Registe	ered	1672	490 Polygon	36	490 WILLOW GROVE CITIZENS ASSOCIATION	CITIZEN <null></null>
Registe	ered	1674	779 Polygon	6	779 ARDMORE SPRINGDALE CIVIC ASSOCIATION	CIVIC <null></null>
Registe	ered	418	731 Polygon	148	731 ENTERPRISE ESTATES CIVIC ASSOCIATION	CIVIC <null></null>
Registe	ered	501	598 Polygon	66	598 VILLAGE AT COLLINGTON CONDOMINIUM	CONDOMII <null></null>
Registe	ered	413	336 Polygon	10	336 RANDOLPH VILLAGE CIVIC ASSOCIATION	CIVIC <null></null>
Registe	ered	499	717 Polygon	153	717 GLENSFORD CONDOMINIUM	CONDOMIt <null></null>
Registe	ered	416	99 Polygon	19	99 COALITION OF CENTRAL PGC COMMUNITY ASSOCIATIONS	CIVIC <null></null>
Registe	ered	502	733 Polygon	126	733 SILVERBROOK HOMEOWNERS ASSOCIATION	HOME OW <null></null>
Registe	ered	439	484 Polygon	34	484 LANDOVER REVITALIZATION COALITION	CIVIC <null></null>
Registe	ered	437	165 Polygon	41	165 GLENARDEN CIVIC ASSOCIATION	CIVIC <null></null>
Registe	ered	433	661 Polygon	2	661 PALMER PARK CITIZENS ASSOCIATION	CITIZEN <null></null>
Registe	ered	415	238 Polygon	49	238 LANHAM STATION AREA CITIZENS ASSOCIATION	CIVIC <null></null>
Registe	ered	522	754 Polygon	138	754 BRIGHTON PLACE HOMEOWNERS ASSOCIATION	HOME OW <null></null>
Registe	ered	432	723 Polygon	135	723 GLENARDEN TOWNS HOMEOWNERS ASSOCIATION	HOME OW <null></null>
Registe	ered	520	655 Polygon	85	655 4TH WARD CIVIC ASSOCIATION (TOWN OF CHEVERLY)	CIVIC <null></null>
Registe	ered	421	740 Polygon	130	740 GLENN ESTATES HOMEOWNERS ASSOCIATION	HOME OW <null></null>
Registe	ered	420	688 Polygon	8	688 BLADENWOODS CONDOMINIUMS	CONDOMIt <null></null>
Registe	ered	423	505 Polygon	58	505 CHEVERLY RECREATION COUNCIL	OTHER <null></null>
Registe	ered	419	701 Polygon	71	701 PROGRESSIVE CHEVERLY	OTHER <null></null>
Registe	ered	461	502 Polygon	40	502 LAKEVIEW HOMEOWNERS ASSOCIATION	HOMEOW1 < null>
Registe	ered	500	719 Polygon	155	719 LLG RECREATION ASSOCIATION	OTHER <null></null>
Registe	ered	442	703 Polygon	92	703 SENIORS R US	OTHER <null></null>
Registe	ered	587	761 Polygon	144	761 LEWISDALE CITIZENS' ASSOCIATION	CIVIC <null></null>
Registe	ered	602	473 Polygon	21	473 VISTA ESTATES WEST HOMEOWNERS ASSOCIATION	HOMEOW1 <null></null>
Registe	ered	617	208 Polygon	48	208 HOLMEHURST SOUTH CIVIC ASSOCIATION	CIVIC <null></null>

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1296	CRONSON BLVD	#4284	CROFTON	MD	21114	226
<null></null>	P. O. BOX 310	<null></null>	GLENN DALE	MD	20769	50
9801	APOLLO DRIVE	#7377	LARGO	MD	20792	45
11704	WHITTIER ROAD	<null></null>	BOWIE	MD	20721	410
12200	TECH ROAD	C/O TIDEWATER PROPERTY MGMT, #325	SILVER SPRING	MD	20904	80
8422	DUNBAR AVENUE	<null></null>	HYATTSVILLE	MD	20785	75
6915	LAUREL BOWIE ROAD	SUITE 101	BOWIE	MD	20715	400
708	QUARRY AVENUE	<null></null>	CAPITOL HEIGHTS	MD	20743	17
4900	FOREST CREEK COURT	<null></null>	BOWIE	MD	20720	<null></null>
<nuli></nuli>	P.O.BOX 1643	<null></null>	HYATTSVILLE	MD	20785	10
900	SMITHVIEW PLACE	<null></null>	UPPER MARLBORO	MD	20774	146
1920	RAY LEONARD ROAD	<null></null>	HYATTSVILLE	MD	20785	11
5308	LANHAM STATION ROAD	<null></null>	LANHAM	MD	20706	175
12200	TECH ROAD	SUITE 325	SILVER SPRING	MD	20904	126
2200	DEFENSE HIGHWAY	C/O SENTRY MANAGEMENT, SUITE 405	CROFTON	MD	21114	33
1709	62ND AVENUE	<null></null>	HYATTSVILLE	MD	20785	100
<null></null>	P.O. BOX 893	C/O FRONT STREET MANAGEMENT-TIMOTHY SMITH	LANHAM	MD	20703	7
5211	NEWTON STREET	#303	BLADENSBURG	MD	20710	172
3012	PARK WAY	<null></null>	HYATTSVILLE	MD	20785	12
3020	PARK WAY	<null></null>	HYATTSVILLE	MD	20785	100
11018	LAKE VICTORIA LANE	<null></null>	BOWIE	MD	20720	<null></null>
6915	LAUREL BOWIE ROAD	SUITE 101	BOWIE	MD	20715	672
1918	GOLDEN MORNING DRIVE	<null></null>	BOWIE	MD	20721	36
6613	22ND PLACE	<null></null>	HYATTSVILLE	MD	20782	175
1296	CRONSON BLVD.	C/O CASTER MANAGEMENT, LLC, #4284	CROFTON	MD	21114	
4523	WOODGATE WAY	<null></null>	BOWIE	MD	20720	100

800Z/L/S ######## ######## ######## ######## ######## ######## \$\J\J007 ######## ######## ######## ######## ######## ######## ######## 8002/9/9 ######## ######## ######## ######## J/4/2007 2002/t/6 ######## ######## ######## ########

ARCDBA.CMS_DM.REGISTRATION_DATE

Registered	625	709 Polygon	145	709 WILLOW WOOD ESTATES CIVIC ASSOCIATION	CIVIC	<null></null>
Registered	626	741 Polygon	84	741 PALISADES HOMEOWNERS ASSOCIATION	HOME OV	V <null></null>
Registered	938	764 Polygon	104	764 CENTENNIAL VILLAGE HOA	HOME OV	V <null></null>
Registered	1656	776 Polygon	161	776 GREATER CAPITOL HEIGHTS IMPROVEMENT CORPORATION INC.	CITIZEN	<null></null>
Registered	2045	757 Polygon	160	757 HYNESBORO PARK GREENWOOD FOREST NEIGHBORHOOD ASSOCIATION	CIVIC	<null></null>
Registered	2044	707 Polygon	140	707 CARSONDALE CIVIC ASSOCIATION	CIVIC	<null></null>
Registered	2058	231 Polygon	9	231 LAKE ARBOR CIVIC ASSOCIATION	CIVIC	<null></null>
Registered	2073	735 Polygon	127	735 RADIANT VALLEY CIVIC ASSOCIATION	CIVIC	<null></null>
Registered	2043	107 Polygon	20	107 COLUMBIA PARK CIVIC ASSOCIATION	CIVIC	<null></null>

10205 BALD HILL ROAD	<null></null>	BOWIE	MD	20721	59
14106 JONES BRIDGE ROAD	C/O ANDREA CLARK-CHAMBERS MGMT	UPPER MARLBORO	MD	20774	136
400 SERENDIPITY DRIVE	<null></null>	MILLERSVILLE	MD	21108	5
415 ZELMA AVENUE	<null></null>	CAPITOL HEIGHTS	MD	20743	1
9214 5TH STREET	<null></null>	LANHAM	MD	20706	20
9007 WALLACE ROAD	<null></null>	LANHAM	MD	20706	40
12138 CENTRAL AVENUE	#305	BOWIE	MD	20721	3000
6821 BARTON ROAD	<null></null>	HYATTSVILLE	MD	20784	58
1616 EAST WASHINGTON AVENUE	<null></null>	HYATTSVILLE	MD	20785	45

The Maryland-National Capital Park & Planning Commission Results Prince George's County Planning Department Date: 4/16/2020

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Time: 9:33:50 AM

Total Record(s): 13

Layer_Na	m ACCOUNTLOT BLOCK	K PARCEI PLAT	PROPERTY_DESC	HOUSE_ HOUSE_ STREET_NA STREE
Property	2019065 <null> 7</null>	7 <null> A18-0004</null>	LT 11 EX 1194 SQ FT TO ST OF MD	8800 <null> CENTRAL AVE</null>
Property	2058832 7 7	7 <null> A18-0004</null>	l <null></null>	8703 <null> DUNBAR AVE</null>
Property	1440916 <null> <null></null></null>	• <null> A13-9346</null>	5 PT PARCEL L	8715 <null> CENTRAL AVE</null>
Property	1441245 <null> <null></null></null>	<null> A13-9633</null>	B PARCEL E-E	8801 <null> CENTRAL AVE</null>
Property	2073039 10 A	<null> 1811301</null>	5 <null></null>	8707 <null> DUNBAR AVE</null>
Property	1441229 <null> <null></null></null>	<null> A13-9553</null>	PT PARCEL P (1131 SF DFR TO ST OF MD 97/98 RW38)	8703 <null> CENTRAL AVE</null>
Property	2070019 <null> 7</null>	7 <null> A18-0004</null>	LT 13 EX 400 SF & LT 12 EX 1863 SF TO STATE OF MD	8710 <null> CENTRAL AVE</null>
Property	2068682 6 7	7 <null> A18-0004</null>	t <null></null>	8701 <null> DUNBAR AVE</null>
Property	2065795 <null> 7</null>	7 <null> A18-0004</null>	LOT 14 EXCEPT 880 SQ FT TO STATE OF MD	8706 <null> CENTRAL AVE</null>
Property	2070019 <null> 7</null>	7 <null> A18-0004</null>	LT 13 EX 400 SF & LT 12 EX 1863 SF TO STATE OF MD	8710 <null> CENTRAL AVE</null>
Property	2073047 11 A	<nuil> 1811301</nuil>	5 <null></null>	8705 <null> DUNBAR AVE</null>
Property	2043081 <null> 7</null>	7 <null> A18-0004</null>	LOTS 15,16,17,18 EXCEPT 1865 SQ FT TO STATE OF MD	8700 <null> CENTRAL AVE</null>
Property	2073419 <null> 8</null>	3 <null> A18-0004</null>	PT LT 3 & PT LT 2 EX 6433 SQ FT N CONF USE-HOUSE	9224 <null> CENTRAL AVE</null>

STREET CONDC CITY							
<null> <null></null></null>	HYATTSVILLE						
<null> <null></null></null>	HYATTSVILLE						
<null> <null></null></null>	CAPITOL HEIGHTS						
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ZIP5MAOWNER_NAME20785IMCDONALDS CORP20785OPARKS JEAN E20743OCAPITOL HEIGHTS ENTRPRISES LLC20743OPMIG 1002 LLC20785OKARKENNY SAMUEL20785O237 UPTOWN INC20785IMCDONALDS CORP20785IMCDONALDS CORP20785IMCDONALDS CORP20785IMCDONALDS CORP20785IMCDONALDS CORP20785IROYAL COURT APTS GENL PTNSHP20785OBRIGHTSEAT REALTY LLC

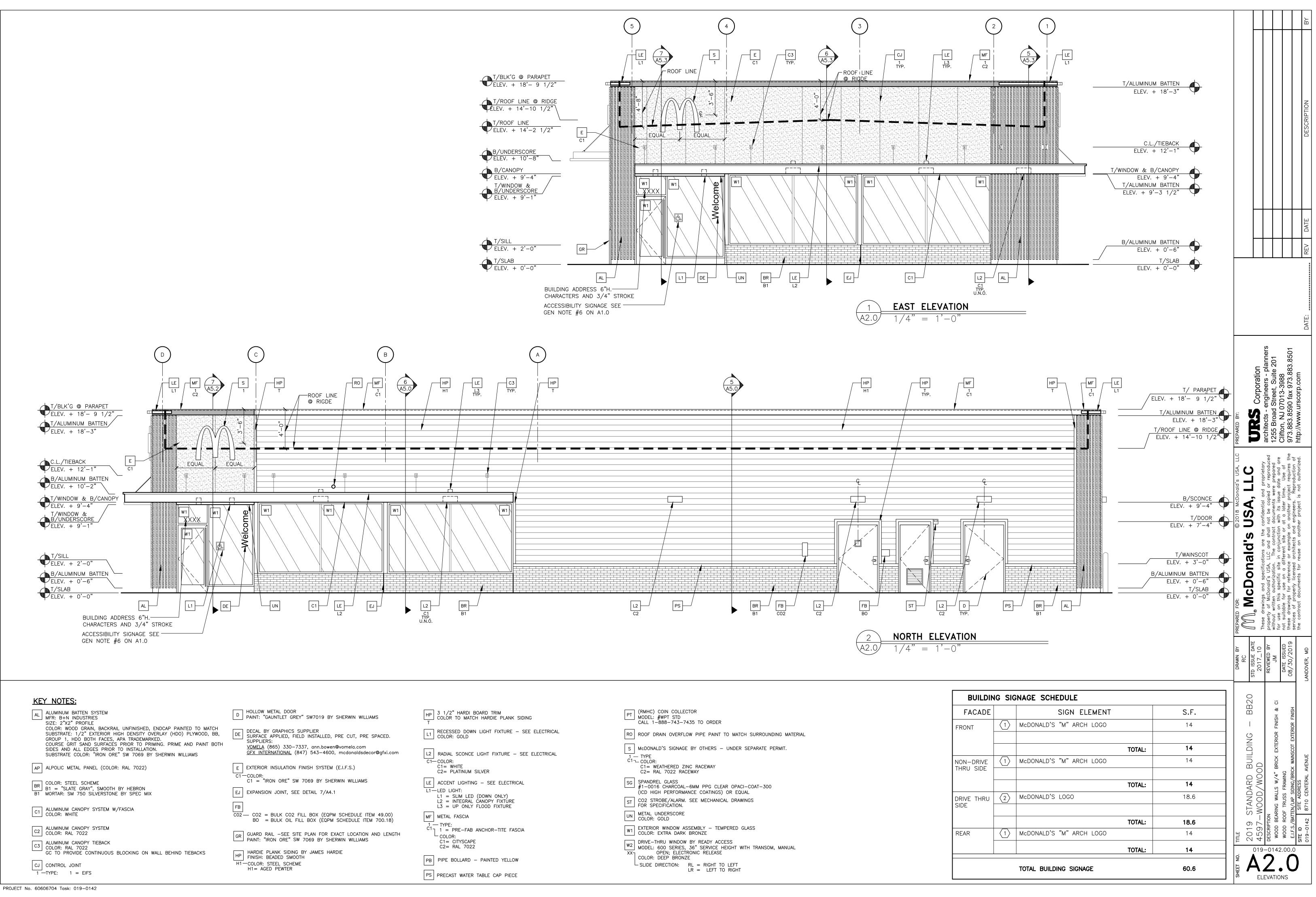
ICO_NAME MARY HOPKINS NAVIES <null> <null> <null> <null> MARY HOPKINS NAVIES <null> MARY HOPKINS NAVIES MARY HOPKINS NAVIES MARY HOPKINS NAVIES <NULL MAIL_STREET 1201 FIRTH OF LORNE CIR 8703 DUNBAR AVE 704 CLOVERLY ST 2359 RESEARCH CT 122 PEPPER MILL DR 3307 GARLAND DR 1201 FIRTH OF LORNE CIR 8701 DUNBAR AVE 1201 FIRTH OF LORNE CIR 1201 FIRTH OF LORNE CIR 8705 DUNBAR AVE 4601 NORTH FAIRFAX DR 15146 SAPLING RIDGE RD

MAIL_CITY	MAIL	MAIL_Z	MAIL_ZIP4
FORT WASHINGTON	MD	20744	7003
HYATTSVILLE	MD	20785	4830
SILVER SPRING	MD	20905	<null></null>
WOODBRIDGE	VA	22192	4632
CAPITOL HEIGHTS	MD	20743	<null></null>
FALLS CHURCH	VA	22041	<null></null>
FORT WASHINGTON	MD	20744	7003
LANDOVER	MD	20785	4830
FORT WASHINGTON	MD	20744	7003
FORT WASHINGTON	MD	20744	7003
LANDOVER	MD	20785	4830
ARLINGTON	VA	22203	0
DAYTON	MD	21036	1259

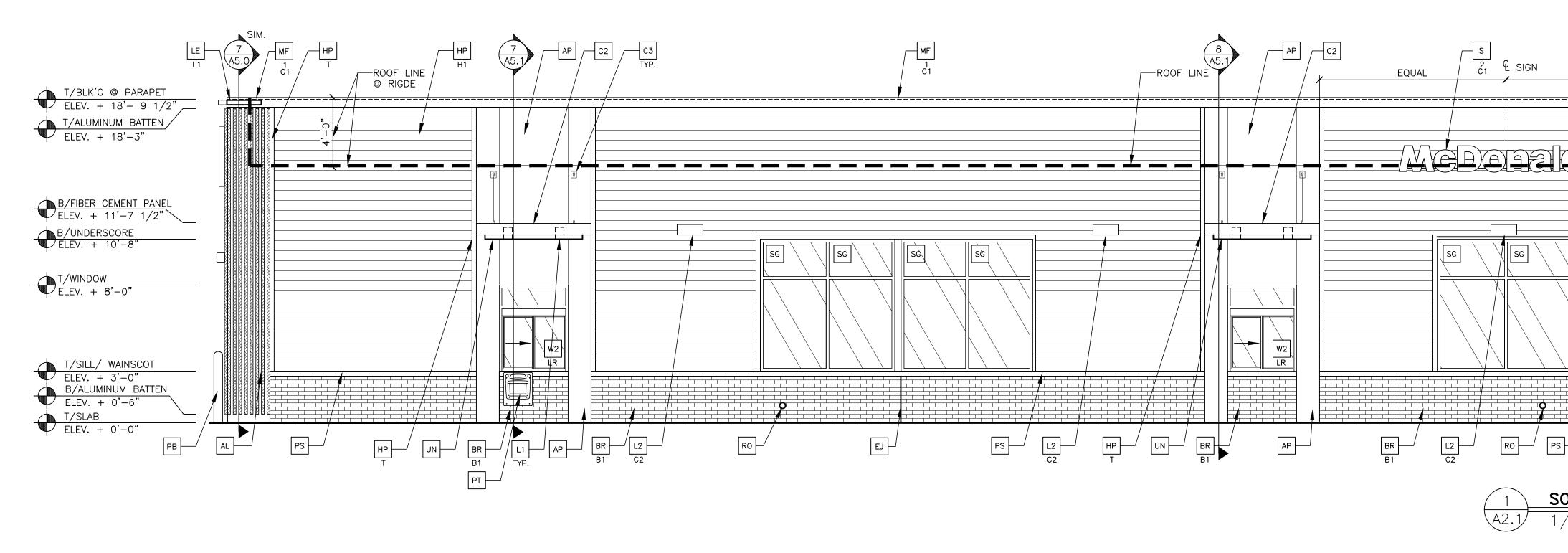
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ł	NAME				y Planning I	I Capital Pa
1	MUNICIPA				Department	rk & Plannir
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ł	MUNICIPAI DAMS_LINI OFFICIALS_ TITLE					ion Results
	_ TITLE					
ł	ADDRESS CITY					
ł	CITY					
1	ZIP_CODE					
I	ZIP_CODE EXECUTIVE EXEC_TERN ACREAGE					
I	E EXEC_TER					
I	NACREAGE					

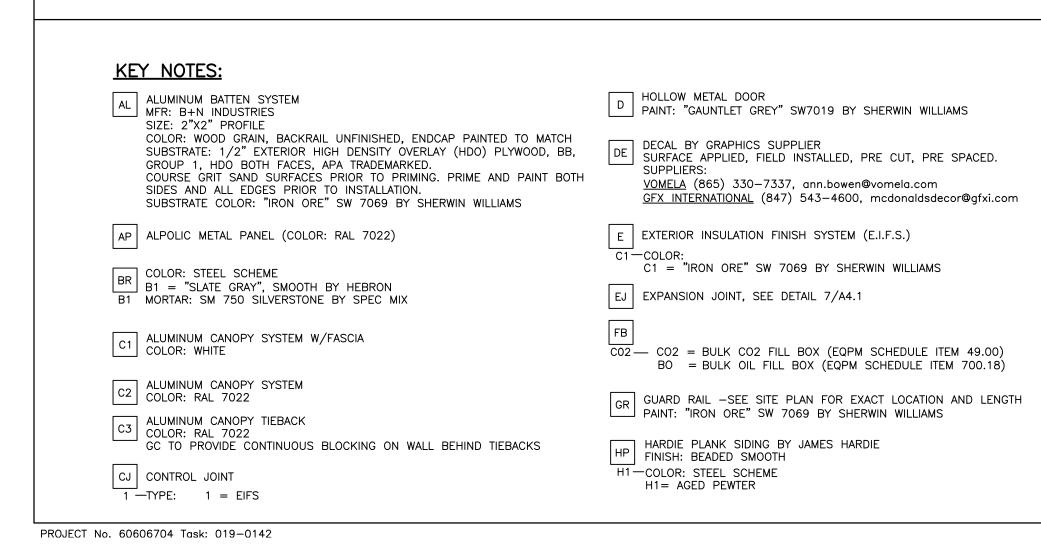
BUFF_DIST ORIG_FID SHAPE **TELEPHONI EMAIL** I SHAPE.ARE SHAPE.LEN •

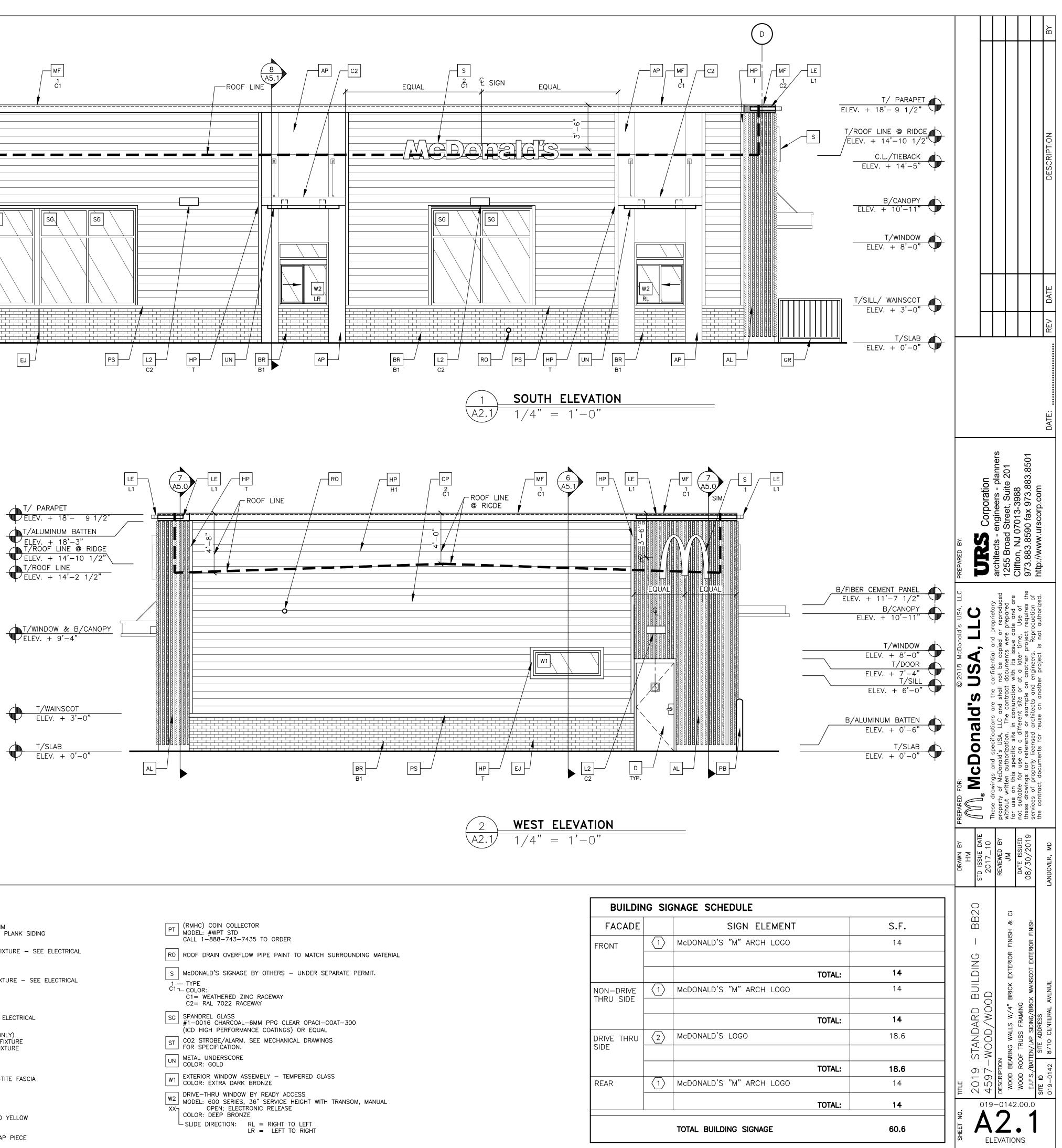
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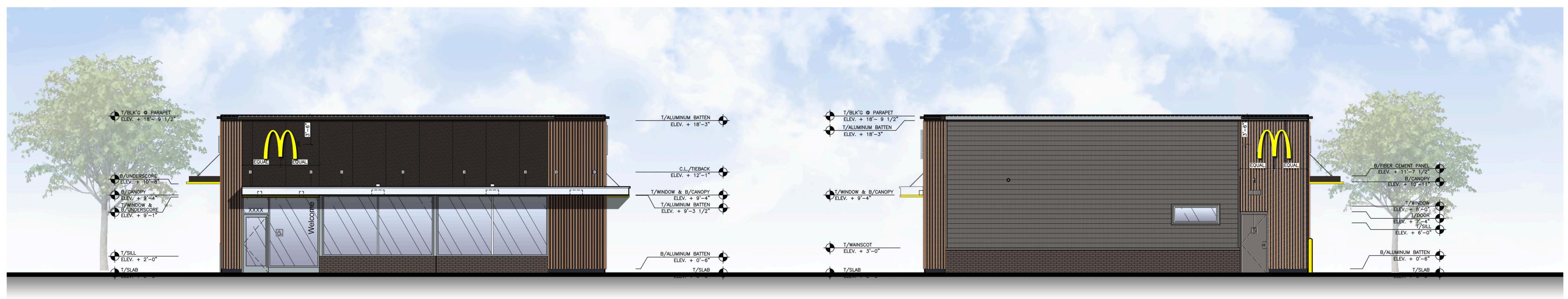
HP 3 1/2" HARDI BOARD TRIM COLOR TO MATCH HARDIE PLANK SIDING T	PT (RMHC) COIN COLLECTOR MODEL: #WPT STD CALL 1-888-743-7435 TO ORDER
L1 RECESSED DOWN LIGHT FIXTURE – SEE ELECTRICAL COLOR: GOLD	RO ROOF DRAIN OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL
L2 RADIAL SCONCE LIGHT FIXTURE – SEE ELECTRICAL C1—COLOR: C1= WHITE C2= PLATINUM SILVER	S McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT. 1 - TYPE C1- COLOR: C1= WEATHERED ZINC RACEWAY C2= RAL 7022 RACEWAY
LE ACCENT LIGHTING – SEE ELECTRICAL L1—LED LIGHT: L1 = SLIM LED (DOWN ONLY) L2 = INTEGRAL CANOPY FIXTURE L3 = UP ONLY FLOOD FIXTURE	SG SPANDREL GLASS #1-0016 CHARCOAL-6MM PPG CLEAR OPACI-COAT-300 (ICD HIGH PERFORMANCE COATINGS) OR EQUAL ST CO2 STROBE/ALARM. SEE MECHANICAL DRAWINGS FOR SPECIFICATION.
MF METAL FASCIA	UN METAL UNDERSCORE COLOR: GOLD
$ \begin{array}{l} 1 & & \text{TYPE:} \\ C^{1} \\ 1 & = & \text{PRE}-\text{FAB} \text{ ANCHOR}-\text{TITE} \text{ FASCIA} \\ \\ COLOR: \end{array} $	W1 EXTERIOR WINDOW ASSEMBLY – TEMPERED GLASS COLOR: EXTRA DARK BRONZE
C1= CITYSCAPE C2= RAL 7022	W2 DRIVE-THRU WINDOW BY READY ACCESS MODEL: 600 SERIES, 36" SERVICE HEIGHT WITH TRANSOM, MANUAL
PB PIPE BOLLARD – PAINTED YELLOW	XX OPEN; ELECTRONIC RELEASE COLOR: DEEP BRONZE SLIDE DIRECTION: RL = RIGHT TO LEFT LR = LEFT TO RIGHT
PS PRECAST WATER TABLE CAP PIECE	







HP 3 1/2" HARDI BOARD TRIM COLOR TO MATCH HARDIE PLANK SIDING T	PT (RMHC) COIN COLLECTOR MODEL: #WPT STD CALL 1-888-743-7435 TO ORDER
L1 RECESSED DOWN LIGHT FIXTURE – SEE ELECTRICAL COLOR: GOLD	RO ROOF DRAIN OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL
L2 RADIAL SCONCE LIGHT FIXTURE – SEE ELECTRICAL C1—COLOR: C1= WHITE C2= PLATINUM SILVER	S McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT. 1 - TYPE C1- COLOR: C1= WEATHERED ZINC RACEWAY C2= RAL 7022 RACEWAY
LE ACCENT LIGHTING – SEE ELECTRICAL L1—LED LIGHT: L1 = SLIM LED (DOWN ONLY) L2 = INTEGRAL CANOPY FIXTURE L3 = UP ONLY FLOOD FIXTURE	SG SPANDREL GLASS #1-0016 CHARCOAL-6MM PPG CLEAR OPACI-COAT-300 (ICD HIGH PERFORMANCE COATINGS) OR EQUAL ST CO2 STROBE/ALARM. SEE MECHANICAL DRAWINGS FOR SPECIFICATION.
MF METAL FASCIA	UN METAL UNDERSCORE COLOR: GOLD
1 — TYPE: C1 _ 1 = PRE-FAB ANCHOR-TITE FASCIA COLOR: C1 = CITYSCAPE C2 = RAL 7022	W1 EXTERIOR WINDOW ASSEMBLY – TEMPERED GLASS COLOR: EXTRA DARK BRONZE W2 DRIVE-THRU WINDOW BY READY ACCESS MODEL: 600 SERIES, 36" SERVICE HEIGHT WITH TRANSOM, MANUAL
PB PIPE BOLLARD – PAINTED YELLOW PS PRECAST WATER TABLE CAP PIECE	XX OPEN; ELECTRONIC RELEASE COLOR: DEEP BRONZE SLIDE DIRECTION: RL = RIGHT TO LEFT LR = LEFT TO RIGHT



Front Elevation (EAST)



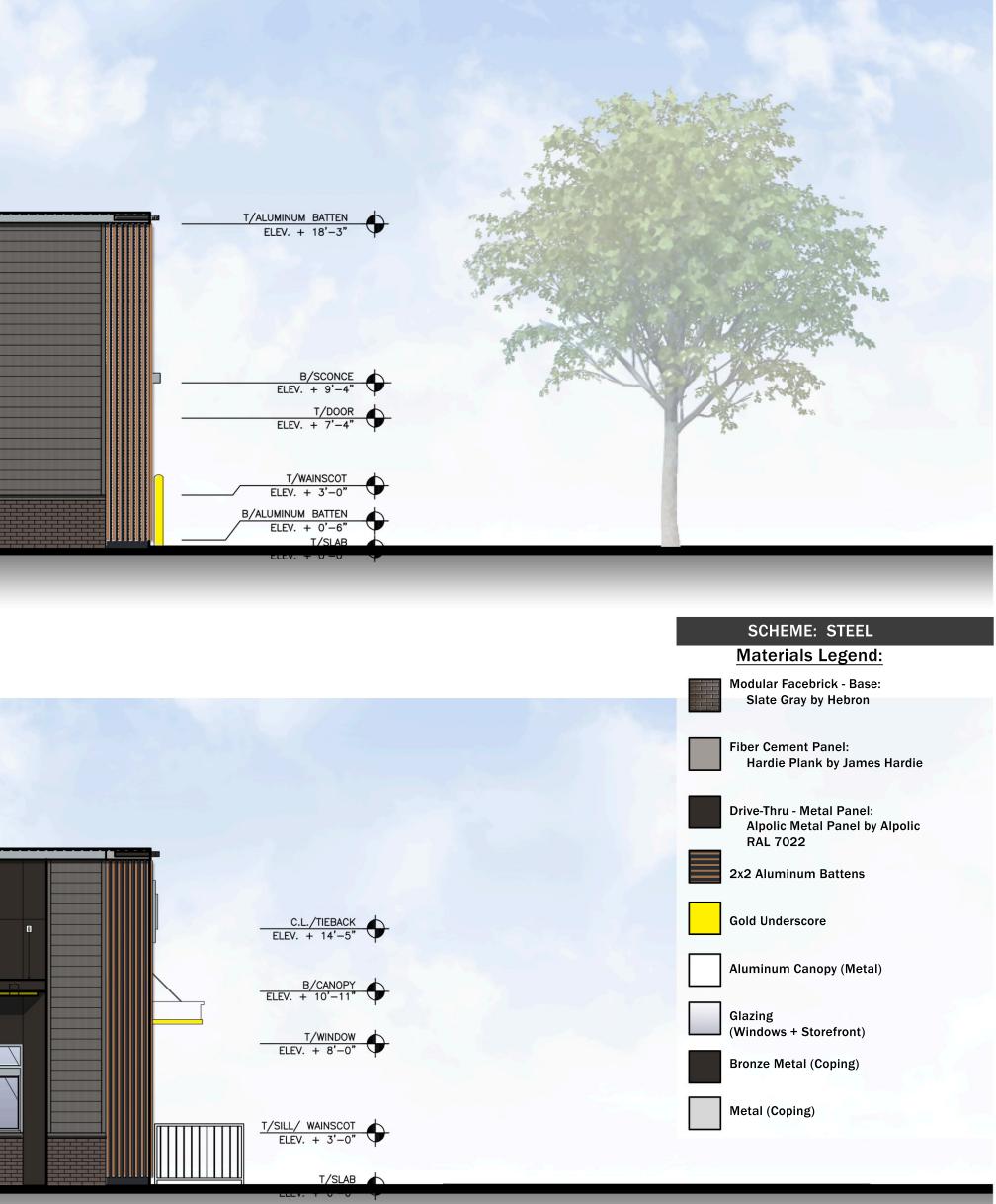




Non-Drive-Thru Side Elevation (NORTH)

Drive-Thru Side Elevation (SOUTH)

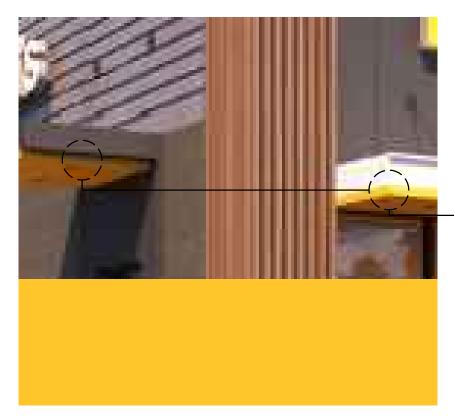
Rear Elevation (WEST)





EIFS - COLOR : RAL 7022 FINISH : HYDROPHOBIC // FINESSE

ALUMINUM TRELLIS AND FASCIA WITH GOLD UNDERSCORE COLOR : PMS 123C







BRICK VENEER -SLATE GRAY BY HEBRON





ALUMINUM COMPOSITE PANEL BY APOLIC. COLOR : RAL 7022



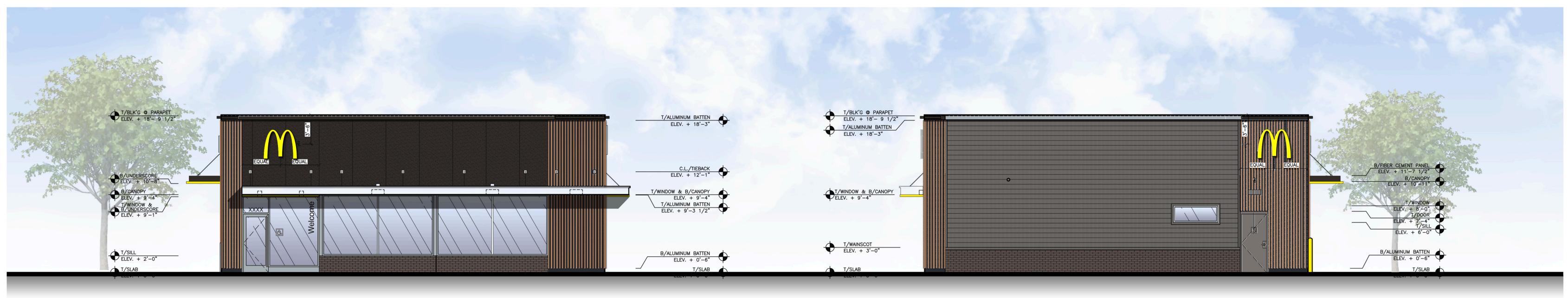




Non-Drive-Thru Side Elevation (NORTH)

Drive-Thru Side Elevation (SOUTH)





Front Elevation



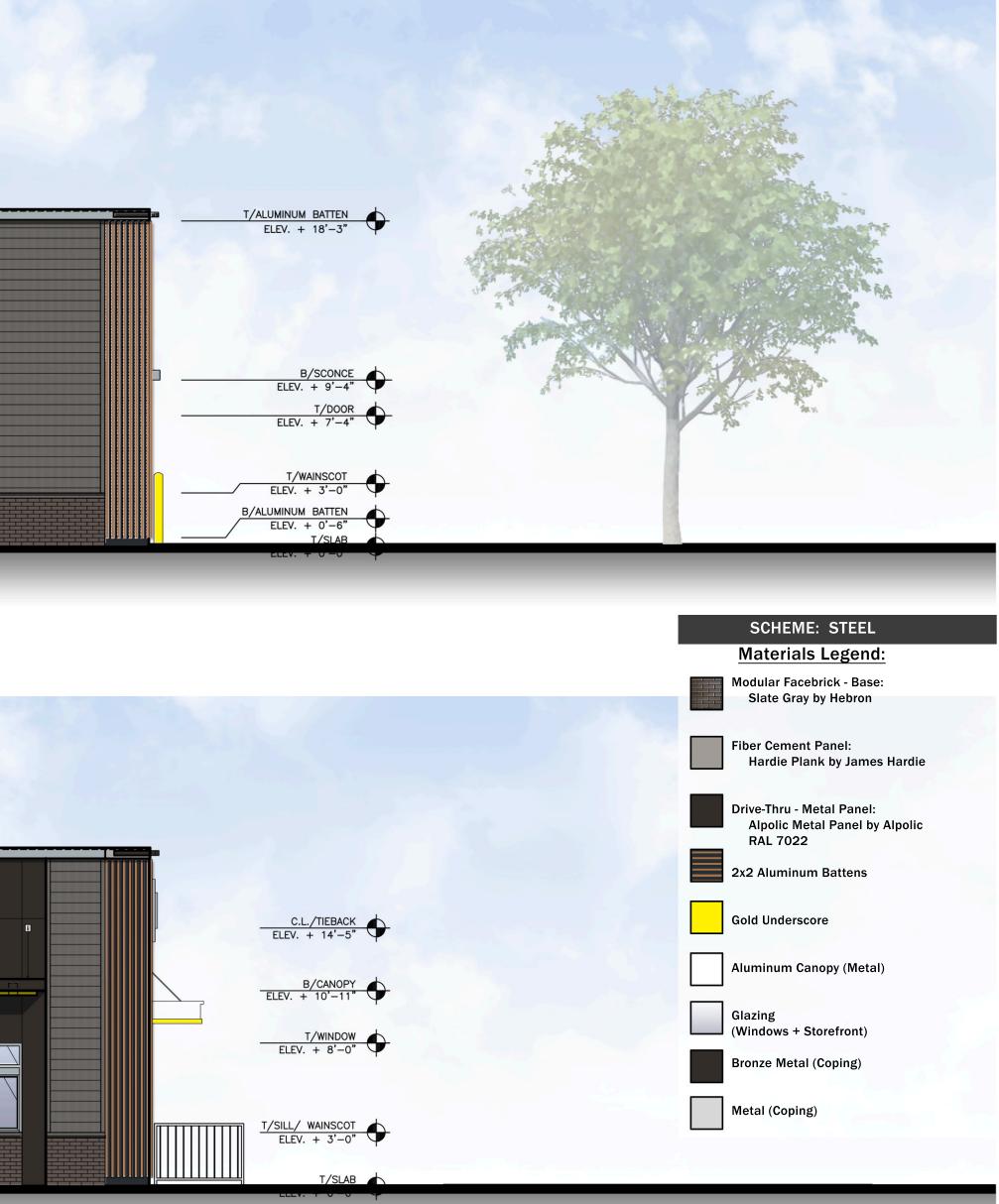




Non-Drive-Thru Side Elevation

Drive-Thru Side Elevation

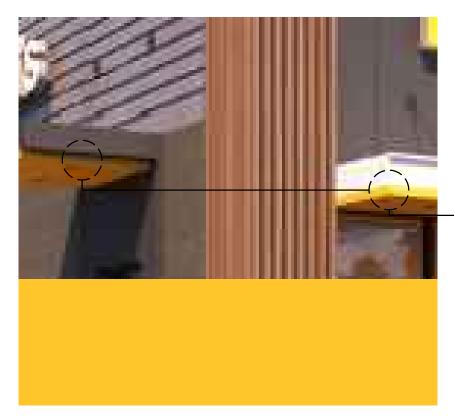
Rear Elevation





EIFS - COLOR : RAL 7022 FINISH : HYDROPHOBIC // FINESSE

ALUMINUM TRELLIS AND FASCIA WITH GOLD UNDERSCORE COLOR : PMS 123C







BRICK VENEER -SLATE GRAY BY HEBRON





ALUMINUM COMPOSITE PANEL BY APOLIC. COLOR : RAL 7022



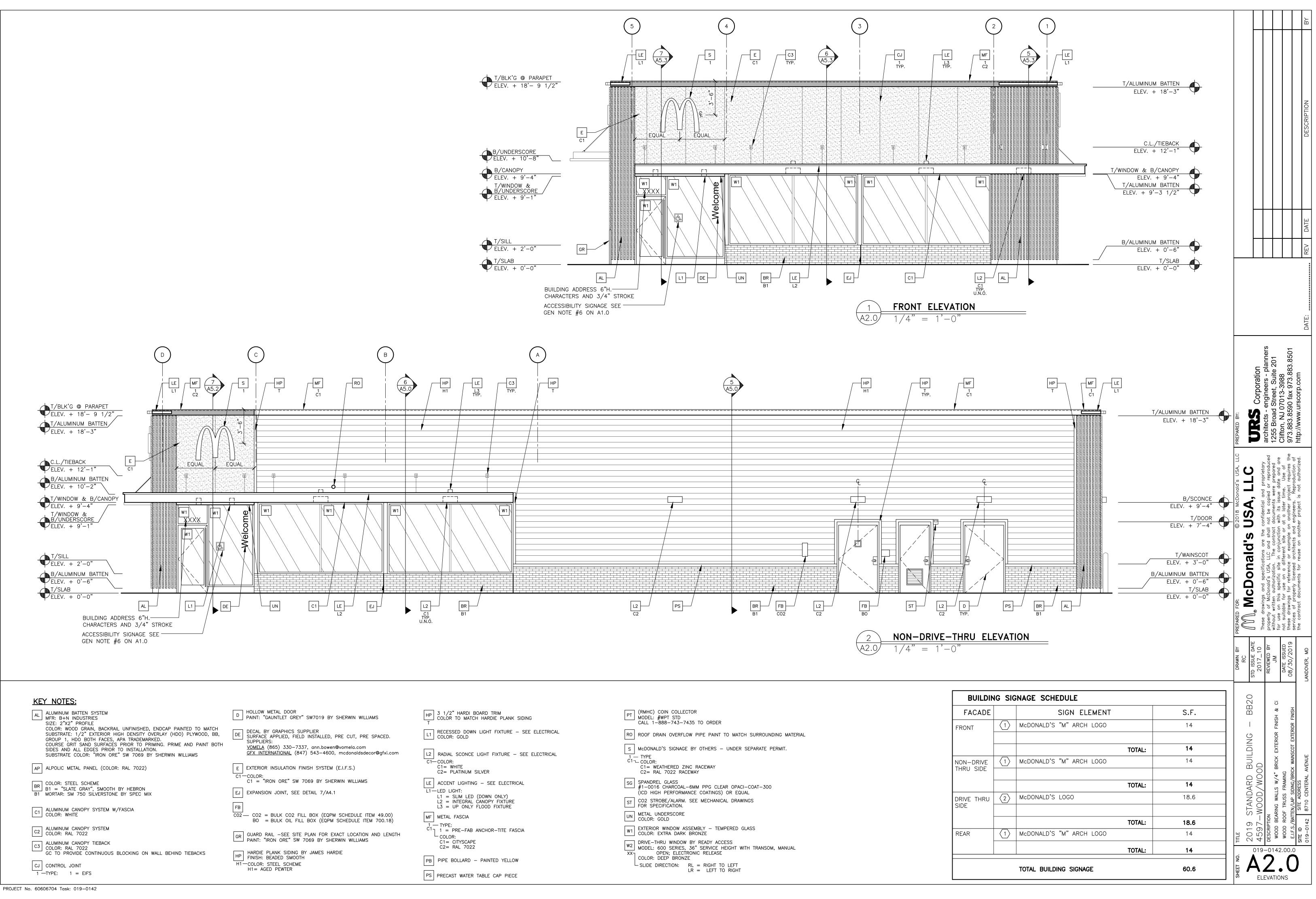




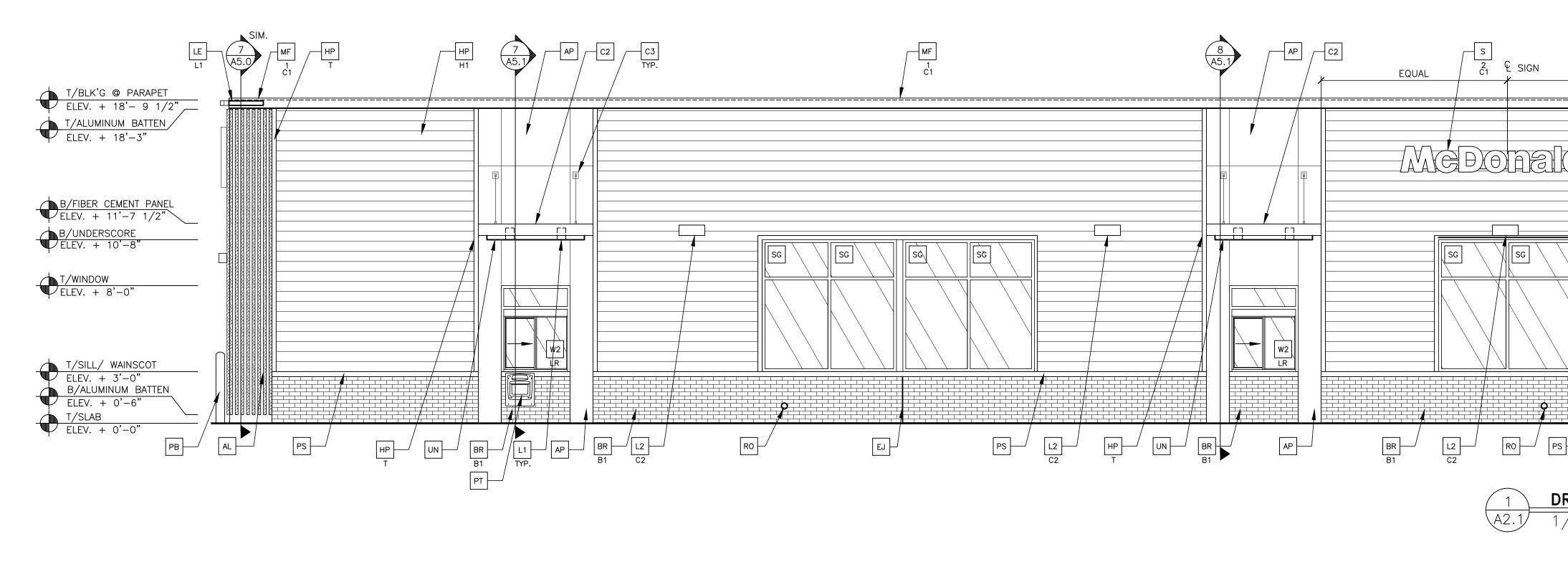
Non-Drive-Thru Side Elevation

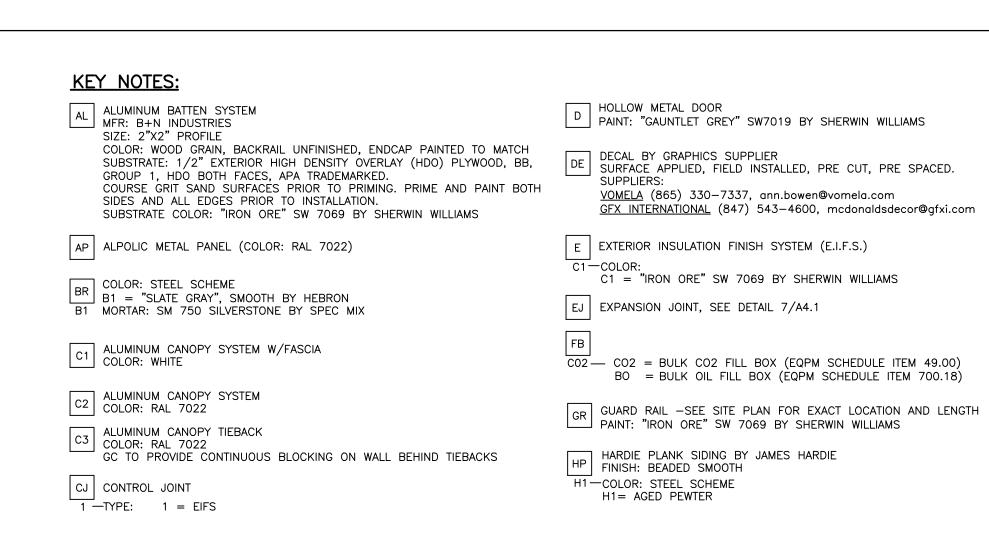
Drive-Thru Side Elevation



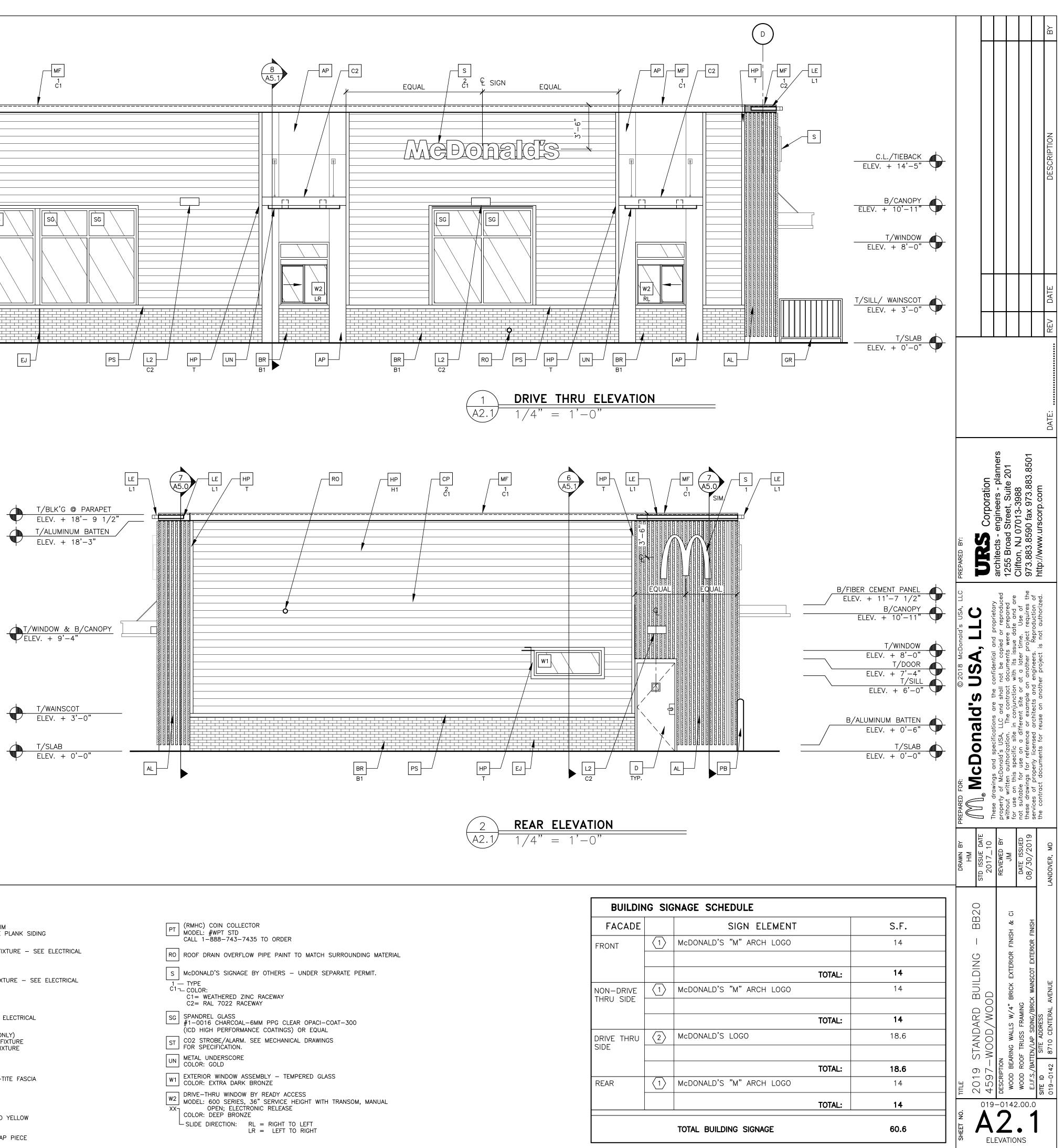


IP T	3 1/2" HARDI BOARD TRIM COLOR TO MATCH HARDIE PLANK SIDING	PT	(RMHC) COIN COLLECTOR MODEL: #WPT STD CALL 1-888-743-7435 TO ORDER	
_1	RECESSED DOWN LIGHT FIXTURE – SEE ELECTRICAL COLOR: GOLD	RO	ROOF DRAIN OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL	
	RADIAL SCONCE LIGHT FIXTURE – SEE ELECTRICAL -COLOR: C1= WHITE C2= PLATINUM SILVER		McDONALD'S SIGNAGE BY OTHERS – UNDER SEPARATE PERMIT. – TYPE – COLOR: C1= WEATHERED ZINC RACEWAY C2= RAL 7022 RACEWAY	
	ACCENT LIGHTING – SEE ELECTRICAL -LED LIGHT: L1 = SLIM LED (DOWN ONLY) L2 = INTEGRAL CANOPY FIXTURE L3 = UP ONLY FLOOD FIXTURE	ST	SPANDREL GLASS #1-0016 CHARCOAL-6MM PPG CLEAR OPACI-COAT-300 (ICD HIGH PERFORMANCE COATINGS) OR EQUAL CO2 STROBE/ALARM. SEE MECHANICAL DRAWINGS FOR SPECIFICATION.	
١F	METAL FASCIA	UN	METAL UNDERSCORE COLOR: GOLD	
²¹ 7	— TYPE: 1 = PRE-FAB ANCHOR-TITE FASCIA COLOR:	W1	EXTERIOR WINDOW ASSEMBLY – TEMPERED GLASS COLOR: EXTRA DARK BRONZE	
	C1= CITYSCAPE C2= RAL 7022	W2 XX¬	DRIVE-THRU WINDOW BY READY ACCESS MODEL: 600 SERIES, 36" SERVICE HEIGHT WITH TRANSOM, MANUAL OPEN: ELECTRONIC RELEASE	
в	PIPE BOLLARD – PAINTED YELLOW		- SLIDE DIRECTION: RL = RIGHT TO LEFT LR = LEFT TO RIGHT	

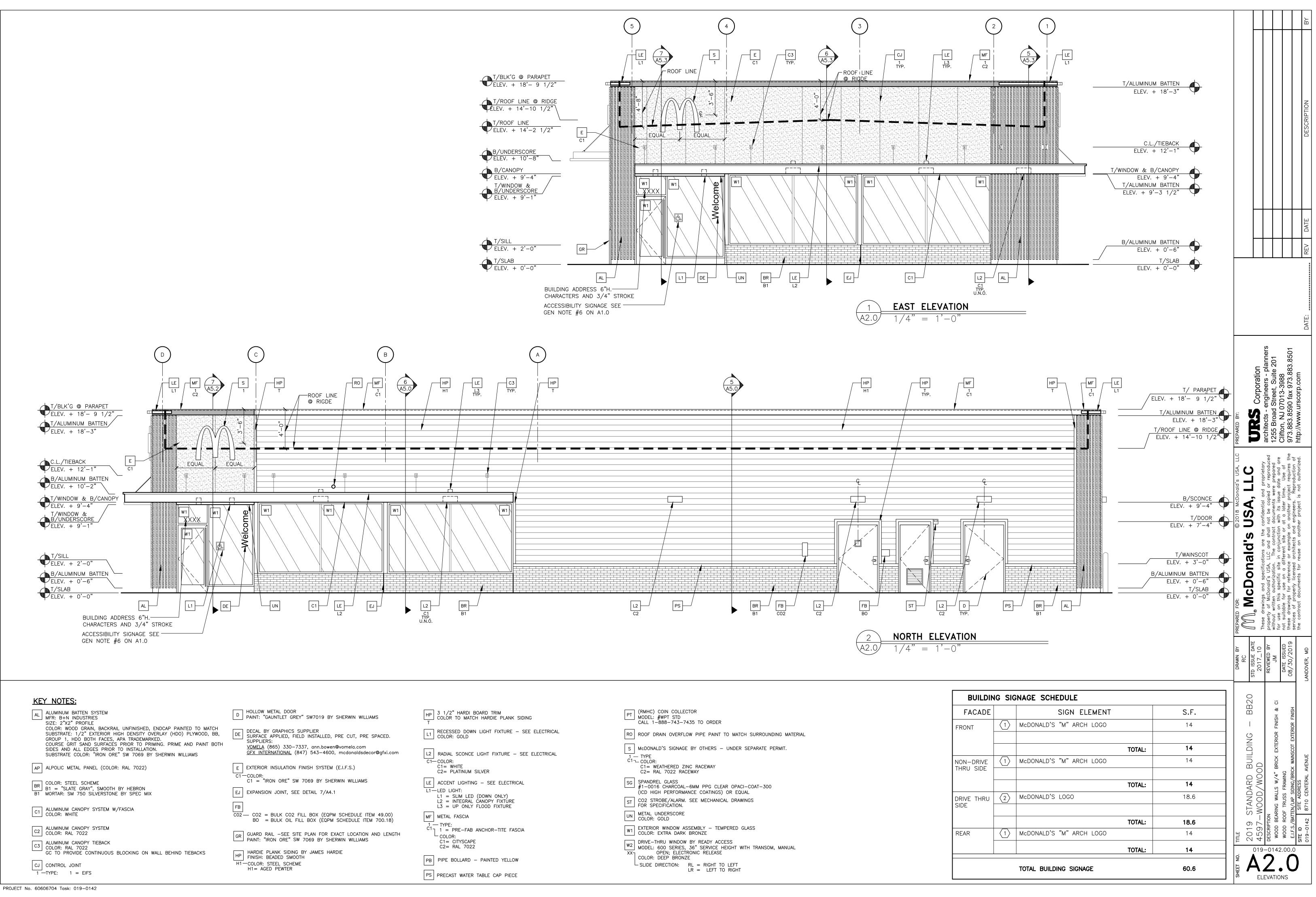




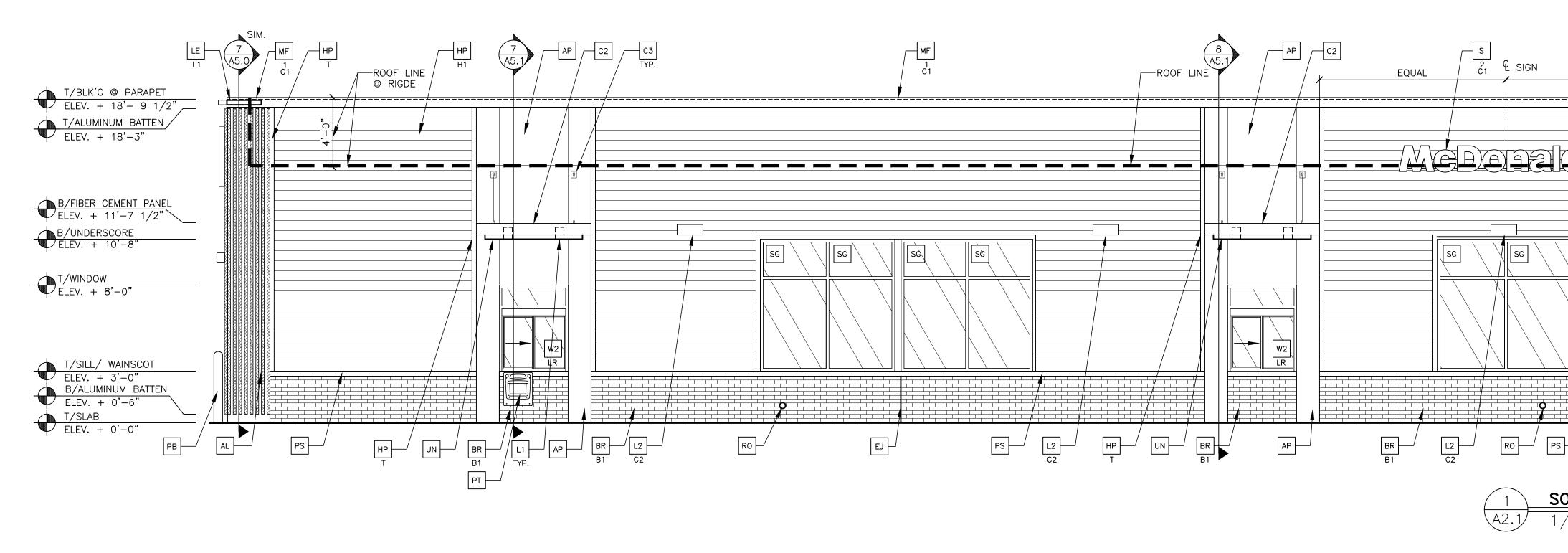
PROJECT No. 60606704 Task: 019-0142

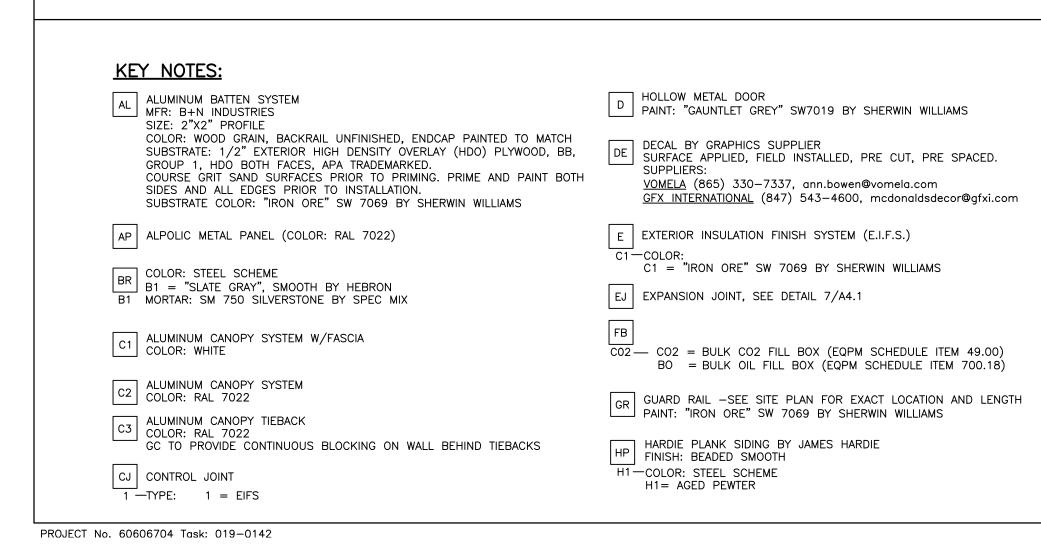


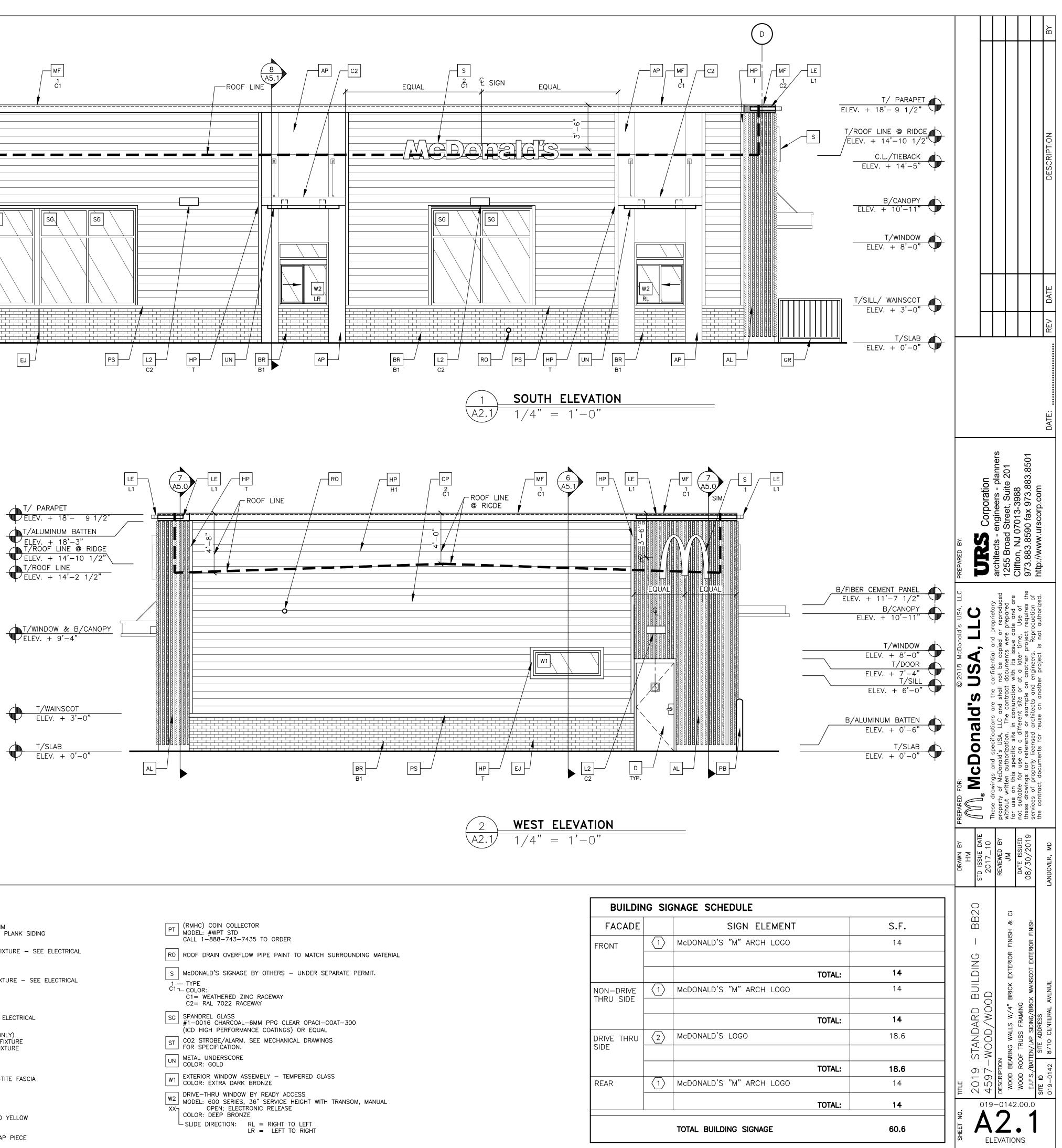
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PB PIPE BOLLARD – PAINTED YELLOW	COLOR: DEEP BRONZE SLIDE DIRECTION: RL = RIGHT TO LEFT
PS PRECAST WATER TABLE CAP PIECE	LR = LEFT TO RIGHT



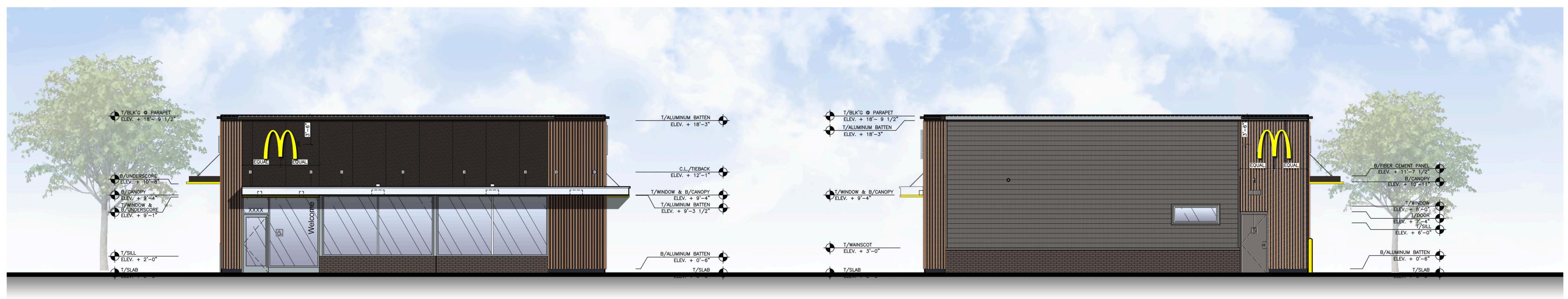
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$ \begin{array}{l} 1 & & \text{TYPE:} \\ C^{1} \\ 1 & = & \text{PRE}-\text{FAB} \text{ ANCHOR}-\text{TITE} \text{ FASCIA} \\ \\ COLOR: \end{array} $	W1 EXTERIOR WINDOW ASSEMBLY – TEMPERED GLASS COLOR: EXTRA DARK BRONZE
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PB PIPE BOLLARD – PAINTED YELLOW PS PRECAST WATER TABLE CAP PIECE	XX OPEN; ELECTRONIC RELEASE COLOR: DEEP BRONZE SLIDE DIRECTION: RL = RIGHT TO LEFT LR = LEFT TO RIGHT



Front Elevation (EAST)



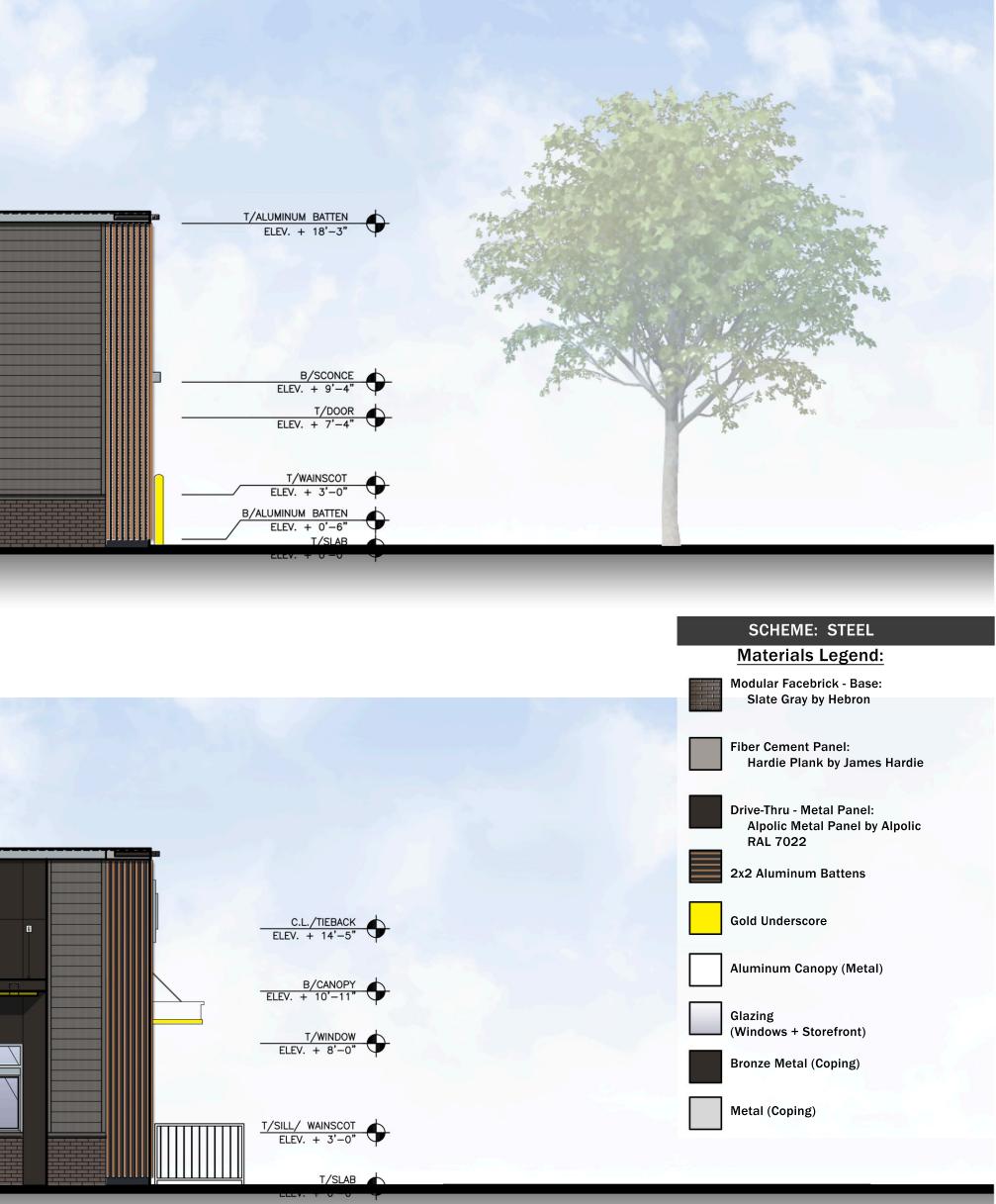




Non-Drive-Thru Side Elevation (NORTH)

Drive-Thru Side Elevation (SOUTH)

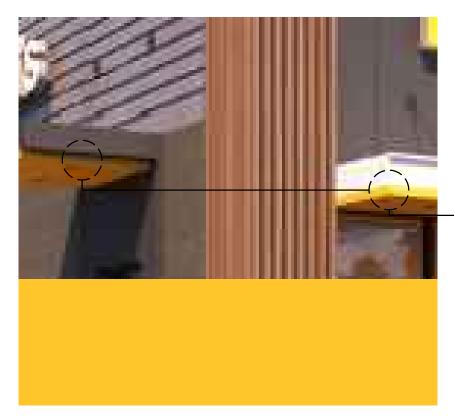
Rear Elevation (WEST)





EIFS - COLOR : RAL 7022 FINISH : HYDROPHOBIC // FINESSE

ALUMINUM TRELLIS AND FASCIA WITH GOLD UNDERSCORE COLOR : PMS 123C







BRICK VENEER -SLATE GRAY BY HEBRON





ALUMINUM COMPOSITE PANEL BY APOLIC. COLOR : RAL 7022



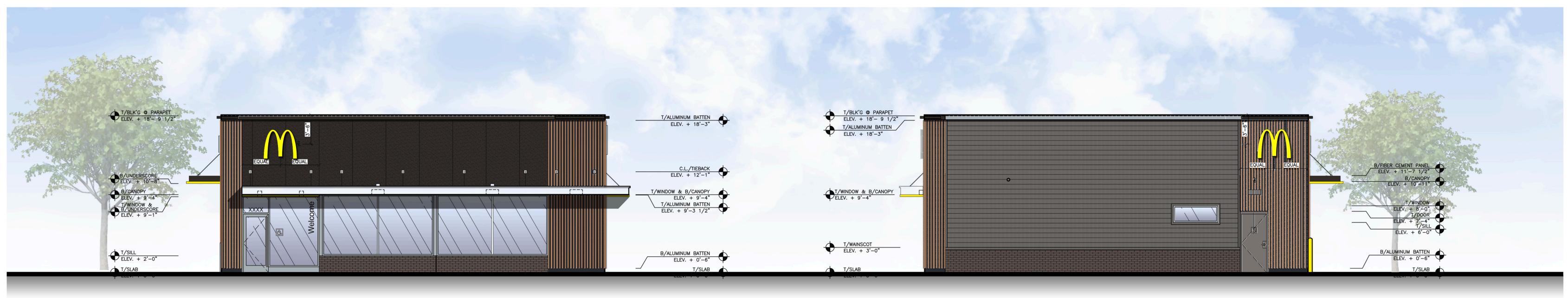




Non-Drive-Thru Side Elevation (NORTH)

Drive-Thru Side Elevation (SOUTH)





Front Elevation



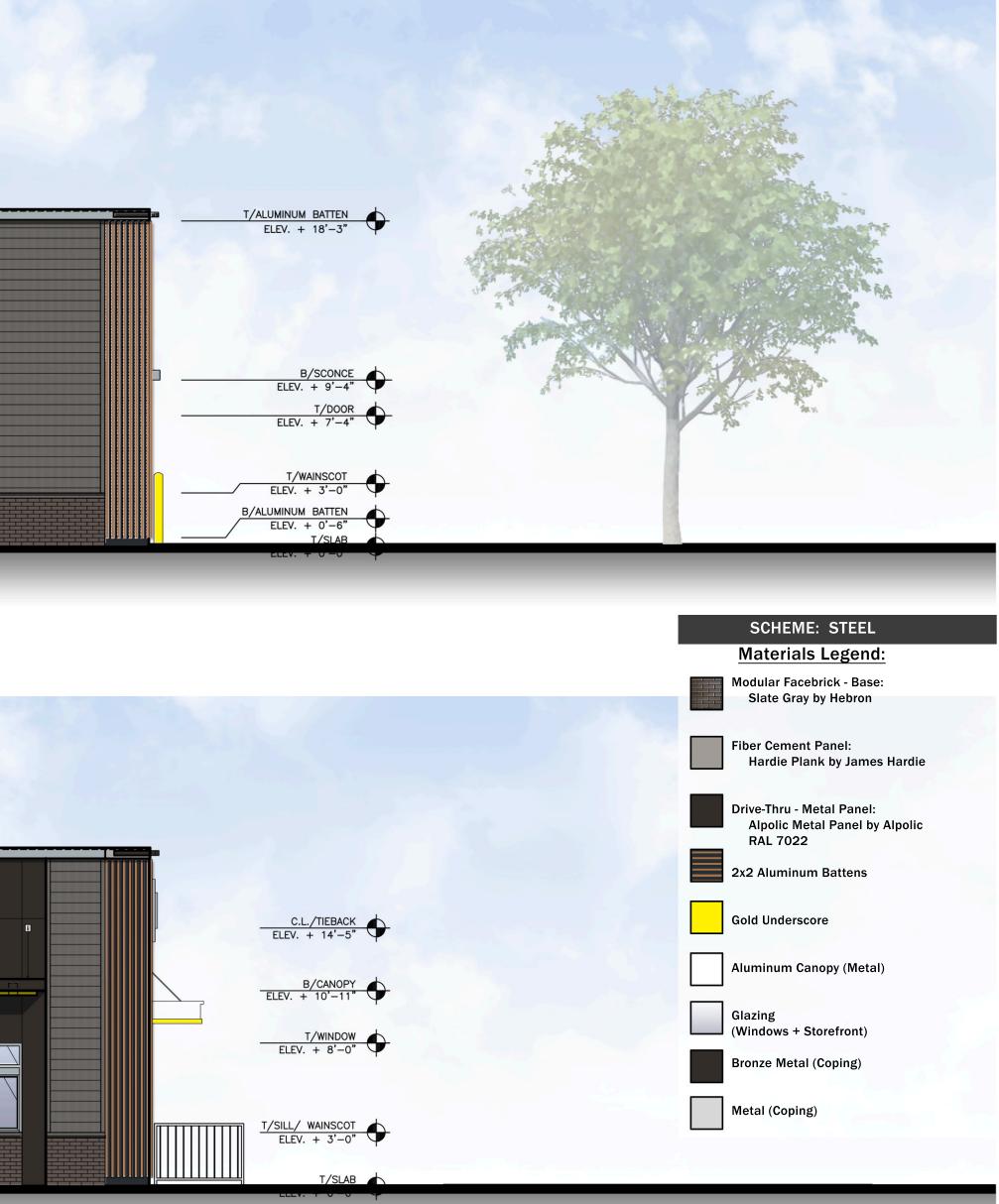




Non-Drive-Thru Side Elevation

Drive-Thru Side Elevation

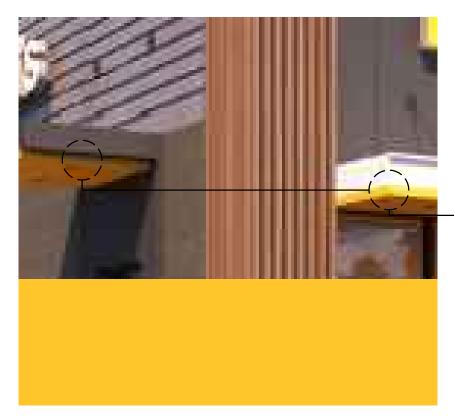
Rear Elevation





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BRICK VENEER -SLATE GRAY BY HEBRON





ALUMINUM COMPOSITE PANEL BY APOLIC. COLOR : RAL 7022



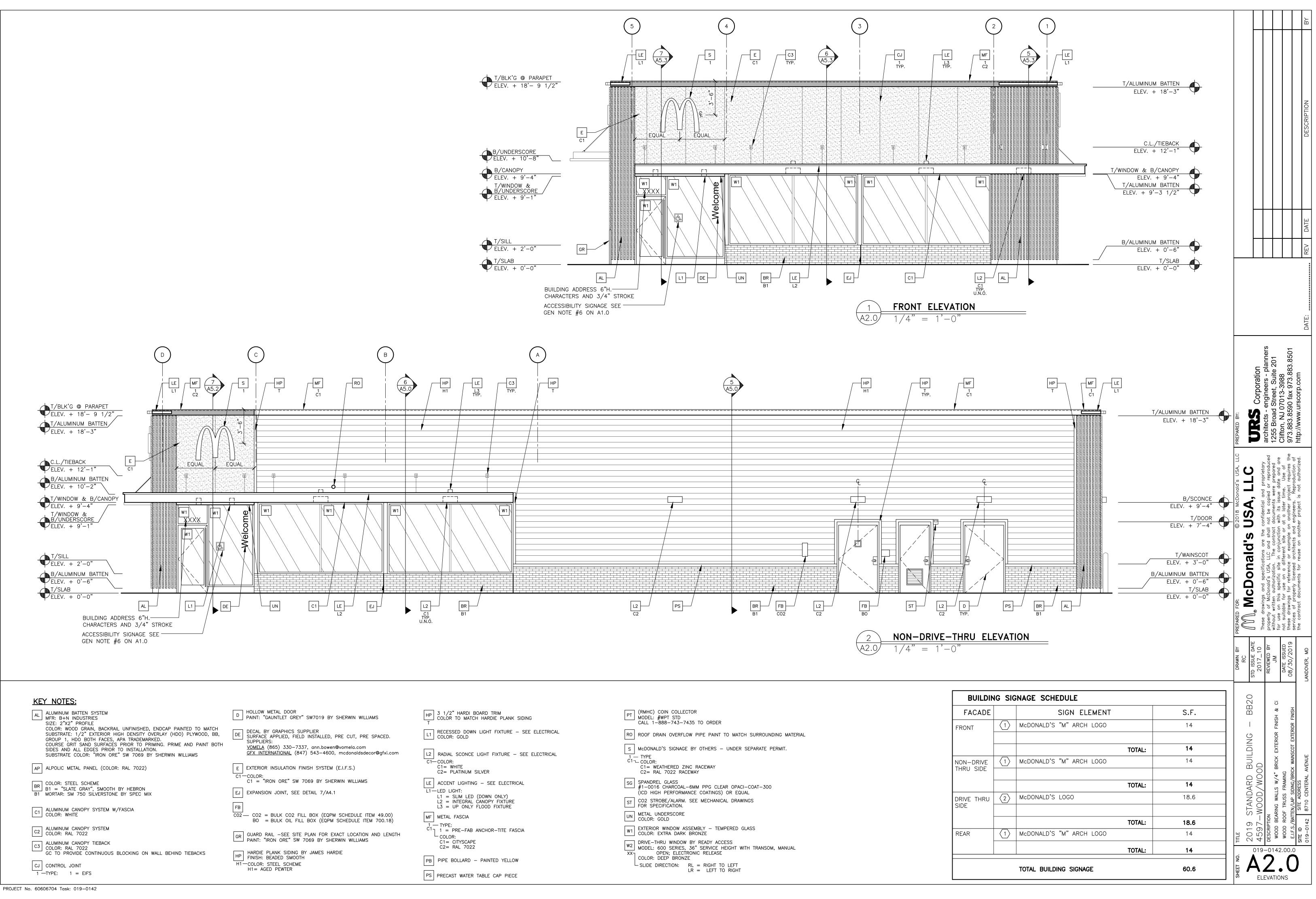




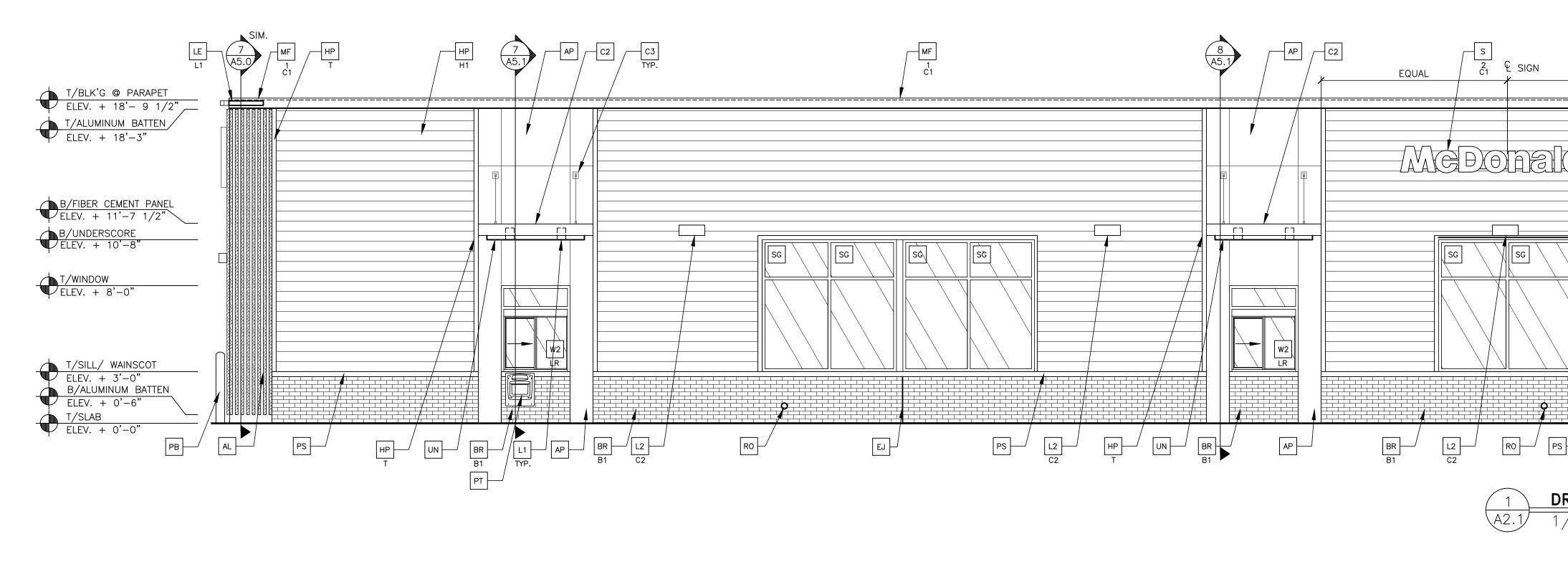
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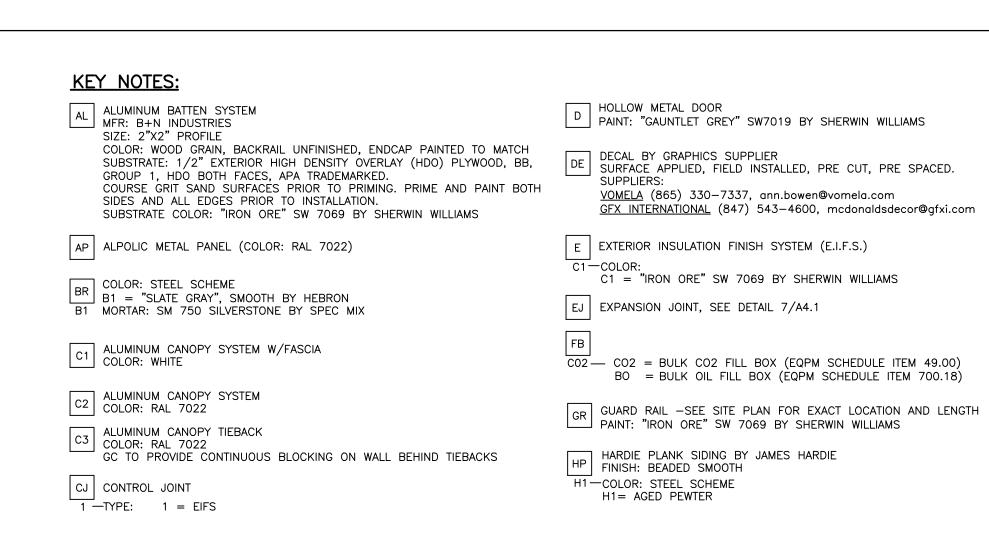
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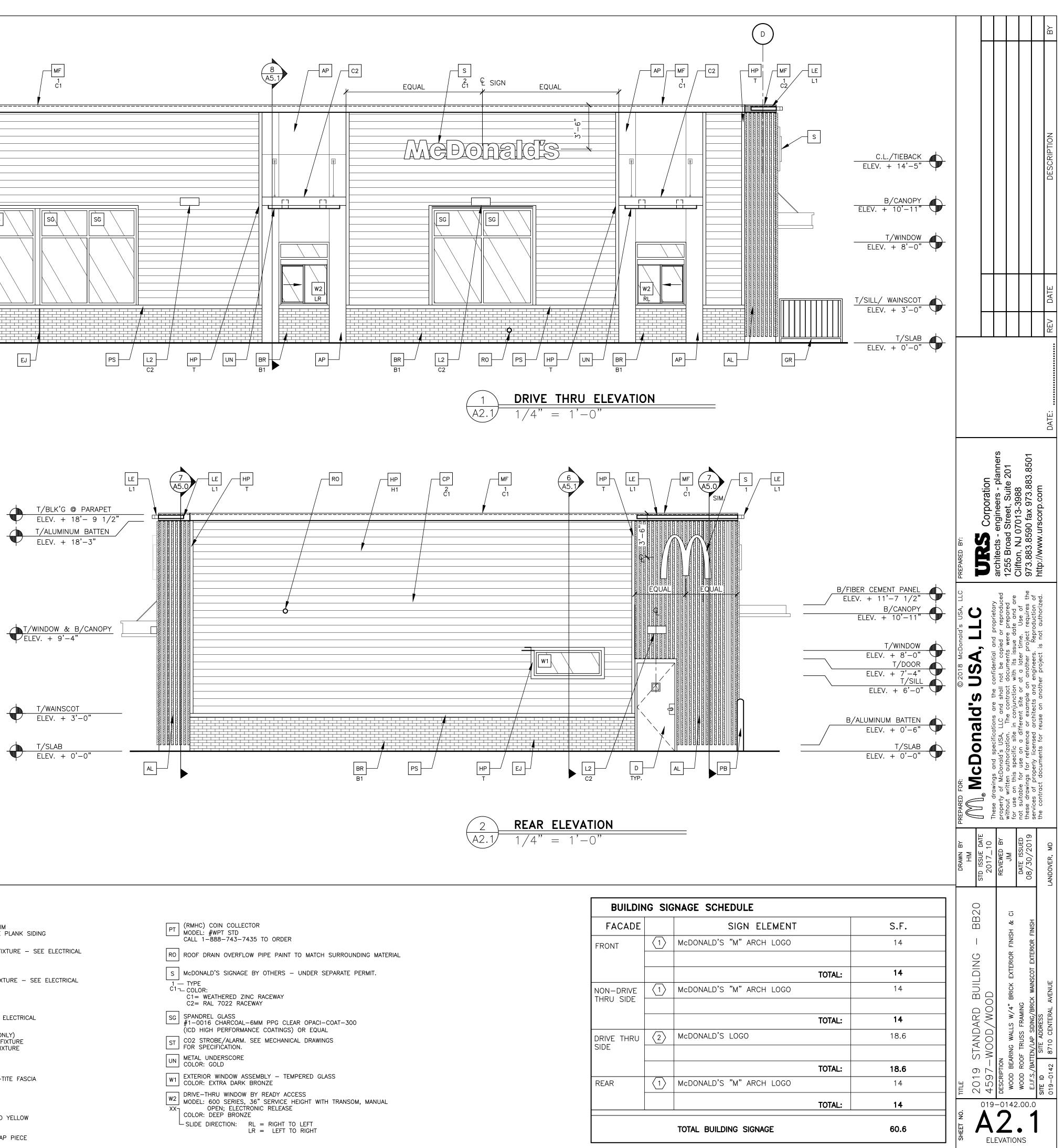


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PROJECT No. 60606704 Task: 019-0142



HP 3 1/2" HARDI BOARD TRIM COLOR TO MATCH HARDIE PLANK SIDING T	PT (RMHC) COIN COLLECTOR MODEL: #WPT STD CALL 1-888-743-7435 TO ORDER
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PB PIPE BOLLARD - PAINTED YELLOW	COLOR: DEEP BRONZE SLIDE DIRECTION: RL = RIGHT TO LEFT
PS PRECAST WATER TABLE CAP PIECE	LR = LEFT TO RIGHT

STATE ETHICS COMMISSION 45 CALVERT STREET, 3RD FLOOR ANNAPOLIS, MD 21401 410-260-7770 1-877-669-6085 This Form Is To Be Filed With: CLERK OF THE COUNTY COUNCIL COUNTY ADMINISTRATION BUILDING ROOM 2198 UPPER MARLBORO, MD 20772 301-952-3600

Business Entity¹ Affidavit

(Form PG 2)

General Information

The Prince George's County land use ethics law (General Provisions Article, §§ 5-833 to 5-839, Annotated Code of Maryland) ("Public Ethics Law") requires this affidavit to be filed where a business entity is deemed to be an applicant in an application filed with the District Council. This can occur, for example, when a business entity is a title owner or contract purchaser of land that is the subject of an application, a trustee having an interest in the land (except those described in a mortgage or deed of trust), or the holder of 5 percent or more interest in an entity having an interest in the land (provided that it has substantive involvement in the disposition of the land, or substantive activities pertaining specifically to land development in Prince George's County). Applicant can also include a business entity in which a 5 percent or greater interest is held by another applicant.

In completing this form, you should also review §§ 5-833 to 5-839 of the Public Ethics Law. These provisions include the affidavit requirement, define applicants and agents, set out District Council member disqualification requirements, and specify ex parte disclosure procedures. Please note that there may be situations where there is more than one applicant involved, requiring one or more submissions of this form (or Form PG 1 Individual Applicant Affidavit). You may direct questions about the affidavit or other requirements of the Law to the State Ethics Commission office by phone, at 410-260-7770, or in writing, at the above address. Copies of the Public Ethics Law may be obtained at the Commission's website http://ethics.maryland.gov/public-ethics-law/. Additionally, there is a Special Ethics Law Memo on the Prince George's County land use ethics law at http://ethics.maryland.gov/download/local-gov/local-gov-forms/PG%20County%20Zoning%20Memo.pdf, that contains additional filing information, including timing requirements.

If the applicant business entity is a corporation listed on a national stock exchange or regulated by the Securities Exchange Commission, then its officers, its directors, or its shareholders having a 5 percent or greater interest in the corporation are required to file an affidavit **only if** these persons have made a payment or have solicited a payment as outlined in the Public Ethics Law **and** if the corporation itself completes Part B of the affidavit. If required to file, these persons will file the Individual Applicant Affidavit, Form PG 1.

Filing Deadline

You must file a signed original of this affidavit with the Clerk of the County Council no later than 30 days prior to the District Council's consideration of the application. You must file a supplemental affidavit as expeditiously as possible whenever a payment/contribution is made after the original affidavit was filed and prior to Council's consideration. Please note that under § 5-835(a) of the Public Ethics Law, payments/contributions during the pendency of an application are generally prohibited.

PART A. Business Entity Applicant

Identifying Information

Name of Applicant McDonald's Corp	Case No. (where applicable)
Address of Applicant	
Identity of the Property/ Subject of Application 8710 Central Avenue Hyattsville, Md 20785	Type of Application Detailed Site Plan
	(see § 5-833(d))

¹Section 5-833 of the Public Ethics Law defines a business entity as a corporation, a general partnership, a joint venture, a limited liability company, a limited partnership or a sole proprietorship.

Applicant Payment/Contribution to Member Information (check or complete applicable blanks)

 Was a payment/contribution made by the applicant to a treasurer or a continuing committee, either directly or through a political action committee (PAC), during the 36 months before the application was filed or during the pendency of the application? _____ Yes ____ No

If the answer to #1 above is yes, list below the name of the member or members and the date or dates of the payment/contribution:

Name of Member	Date
	·······

If the payment/contribution was through a PAC, identify the PAC and the date of the transfer to the treasurer or continuing committee:

Solicitation and other Payment/Contribution Information

Did the applicant solicit a person or business entity to make a payment/contribution to a member during the 36 months before the application filing or during the pendency of the application?
 Yes x No

If the answer to #2 above is yes, and a contribution was made, list below the name of the member or members, the date or dates of the payment/contribution, and the name of the contributor:

Name of Member	Date	Name of Contributor

PART B. Directors, Officers and Stockholders (see § 5-838(b)) (For Corporations Only)

*Note: For a corporation's application to be processed, this section <u>must</u> be completed in full (place a check at the beginning of each question to indicate the action has been completed).

1. <u>x</u> All directors, officers, and stockholders with a 5 percent or greater interest have been notified of the disclosure requirement as provided in the Law and are identified as follows (list name and title – if the corporation has no directors, officers or stockholders with a 5 percent or greater interest, so state):

2. <u>x</u> Affidavits (Form PG 1 Individual Applicant Affidavit) from those individuals identified in question #1 above, who have made or solicited contributions and are therefore required to disclose, are either attached or on file with the Clerk of the County Council <u>OR</u> there are no individuals required to file affidavits.

I hereby make oath or affirmation that the contents of this affidavit are true and correct to the best of my knowledge, information and belief.

Signature			vith the Clerk)		
	Los	PH CUR	-10		
Printed N	ame of Sign	ter	D		
				ETICK MW	ihogen
				siness entity)	

10/22/19 Date

EXHIBIT A

<u>McDonald's Corporation</u> <u>CEO Authorization of Signature Authority for U.S. Construction Projects</u>

Pursuant to the authority granted to the Chief Executive Officer under the McDonald's Corporation (the "Company") Corporate Governance Policy Regarding Authorizations, as amended, which was approved by resolution of the Board of Directors on May 24, 2018, I authorize any of Robert T. Lancaster, Denise A. Horne, Jerome N. Krulewitch, David Bartlett, Karen A. Matusinec, Mahrukh S. Hussain, Valery D. Mathelier, Savan N. Vaghani and Sarah K. Lee, all of whom are officers of the Company or McDonald's USA, LLC ("McD USA"); Maximiliano Carmona, Senior Construction Director of McD USA; Joseph Collins, Senior Construction Director of McD USA; Joseph Collins, Senior Construction Director of McD USA; and any attorney employed by the Company who holds the title of Managing Counsel or Senior Counsel and practicing in the U.S. Legal Practice Group, to execute for and on behalf of the Company, such agreements, documents, certificates and all other instruments as may be necessary or appropriate in connection with construction projects undertaken by the Company.

I further authorize each Senior Development Director of McD USA to execute in the name of and on behalf of the Company such agreements, documents, certificates and all other instruments as may be necessary or appropriate in connection with construction projects undertaken by the Company in his or her respective geographic area of responsibility, up to a limit of One Million Four Hundred Thousand Dollars (\$1,400,000) per construction project.

I further authorize each Lead Development Director and each U.S. Field Execution Development Director of McD USA to execute in the name of and on behalf of the Company such agreements, documents, certificates and all other instruments as may be necessary or appropriate in connection with construction projects undertaken by the Company in his or her respective geographic area of responsibility, up to a limit of Six Hundred Thousand Dollars (\$600,000.00) per occurrence not to exceed Eight Hundred Thousand Dollars (\$800,000.00) per project.

I further authorize each U.S. Field Execution Construction Manager of McD USA to execute in the name of and on behalf of the Company such agreements, documents, certificates and all other instruments as may be necessary or appropriate in connection with construction projects undertaken by the Company in his or her respective geographic area of responsibility, up to a limit of Fifty Thousand Dollars (\$50,000) per occurrence not to exceed Three Hundred Thousand Dollars (\$300,000) per project.

I further authorize any of the above signatories for U.S. construction matters; any Assistant Secretary and any Assistant Treasurer of the Company; and any attorney holding the title of Counsel and practicing in the U.S. Legal Practice Group, to attest to the signatures on any documents that have been executed pursuant to the foregoing resolutions (except that no individual may attest to his or her own signature).

I further authorize any of the above signatories for U.S. construction matters to also sign governmental permit and zoning applications and forms for construction projects undertaken by the Company in his or her respective geographical area of responsibility.

McDONALD'S CORPORATION CERTIFICATE OF ASSISTANT SECRETARY

I, Mahrukh S. Hussain, an officer of McDonald's Corporation, a corporation organized under the laws of the State of Delaware (the "Company"), certify as follows, as of the date hereof:

- 1. I am the duly appointed, qualified and acting Corporate Vice President, U.S. General Counsel and Assistant Secretary of the Company;
- 2. The Board of Directors of the Company duly adopted the McDonald's Corporation Corporate Governance Policy Regarding Authorizations, as amended, on May 24, 2018 (the "Authorization Policy"), that authorized the Chief Executive Officer to delegate signature authority for documents required in connection with construction projects to appropriate officers and employees of the Company, as part of the day-to-day operation of the business; and
- 3. Attached as <u>Exhibit A</u> is a true, complete and correct copy of the CEO Authorization of Signature Authority for U.S. Construction Projects, approved and executed by Stephen J. Easterbrook, President and Chief Executive Officer of the Company, on June 4, 2019, pursuant to the Authorization Policy. The Authorization Policy and the CEO Authorization of Signature Authority for U.S. Construction Projects have not been amended, modified, or rescinded in any way and remain in full force and effect.

IN WITNESS WHEREOF, I have hereunto set my hand on this 16 day of Softward, 2019.

Mahrukh S. Hussain Corporate Vice President, U.S. General Counsel and Assistant Secretary I further authorize each Area Construction Manager of McD USA to also sign governmental permit and zoning applications and forms for construction projects undertaken by the Company in his or her respective geographical area of responsibility provided, however, that the authority granted to the Area Construction Manager will not apply to permits, applications or forms that include indemnity provisions, provisions that bind the Company to future obligations or that take away any of the Company's existing rights.

The above authorizations supersede and replace the Authorization of Signature Authority for documents required in connection with construction projects undertaken by the Company, approved and executed by the President and Chief Executive Officer of the Company on July 27, 2016, and all actions taken by the persons duly authorized therein and in conformity therewith are in all respects confirmed, adopted and ratified as the valid and subsisting acts of this Company, having full force and effect from and after the dates thereof.

Effective as of June 4, 2019.

I direct that Jeffrey J. Pochowicz, Corporate Assistant Secretary, file this delegation of authority with the corporate records of the Company.

<u>/s/ Stephen J. Easterbrook</u> Stephen J. Easterbrook President and Chief Executive Officer

State of Delaware Office of the Secretary of State

PAGE 1

I, EDWARD J. FREEL, SECRETARY OF STATE OF THE STATE OF DELAWARE, DO HEREBY CERTIFY THE ATTACHED IS A TRUE AND CORRECT COPY OF THE CERTIFICATE OF OWNERSHIP, WHICH MERGES:

"FRANCHISE REALTY CORPORATION", A INDIANA CORPORATION,

"FRANCHISE REALTY INTERSTATE CORPORATION", A ILLINOIS CORPORATION,

"GOLDEN ARCH REALTY CORPORATION", A DELAWARE CORPORATION,

WITH AND INTO "MCDONALD'S CORPORATION" UNDER THE NAME OF "MCDONALD'S CORPORATION", A CORPORATION ORGANIZED AND EXISTING UNDER THE LAWS OF THE STATE OF DELAWARE, AS RECEIVED AND FILED IN THIS OFFICE THE TWENTY-FIRST DAY OF DECEMBER, A.D. 1979, AT 10 O'CLOCK A.M.



Edward J. Freel, Secretary of State

AUTHENTICATION: DATE: **8672450** 09-26-97

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CERTIFICATE OF OWNERSHIP AND MERGER

MERGING

FRANCHISE REALTY CORPORATION,

GOLDEN ARCH REALTY CORPORATION,

AND

FRANCHISE REALTY INTERSTATE CORPORATION

INTO

MCDONALD'S CORPORATION

(Pursuant to Section 253 of the General Corporation Law of Delaware) McDONALD'S CORPORATION, a corporation organized and exist-

ing under the laws of Delaware,

DOES HEREBY CERTIFY:

FIRST: That this corporation was incorporated on the 21st day of December, 1964, pursuant to the provisions of the General Corporation Law of the State of Delaware.

SECOND: That this corporation owns 100% of the capital stock of 1) Franchise Realty Corporation, a corporation incorporated on the 31st day of January, 1958 pursuant to the provisions of the General Corporation Act of the State of Indiana, 2) Golden Arch Realty Corporation, a corporation incorporated on the 30th day of August, 1967, pursuant to the provisions of the General Corporation Law of the State of Delaware, and 3) Franchise Realty Interstate Corporation, a corporation incorporated on the 14th day of December, 1960, pursuant to the Business Corporation Act of the State of 111inois.

THIRD: That this corporation, by the following resolutions of its Board of Directors, duly adopted at a meeting held on December 11, 1979, filed with the minutes of the Board, determined to merge into itself said Franchise Realty Corporation, Golden Arch Realty Corporation and Franchise Realty Interstate Corporation:

WHEREAS, at its regular meeting held on October 13, 1978, this Board authorized the merger of nine of its subsidiaries into itself; and

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WHEREAS, it is now deemed advisable and in the best interests of this Corporation that the mergers of certain of the aforementioned subsidiaries be accomplished in the manner set forth in the "Plan of Merger" ... presented to the Board at this meeting;

NOW, THEREFORE, BE IT RESOLVED, That:

(1) The merger of Franchise Realty Interstate Corporation (an Illinois corporation), Franchise Realty Corporation (an Indiana corporation) and Golden Arch Realty Corporation (a Delaware corporation) into this Corporation is hereby approved and authorized and the Plan of Merger presented to this meeting is approved and adopted, substantially in the form presented to this meeting with such changes therein as Richard J. Boylan, Senior Executive Vice President, and Donald P. Horwitz, Executive Vice President, (the "Appropriate Officers") deem necessary and proper. The Appropriate Officers, or either of them, and Robert B. Ryan, Vice President and Assistant Secretary, and Burton D. Cohen, Assistant Vice President and Assistant Secretary, (the "Attesting Officers") or either of them, are hereby authorized, empowered and directed in the name and on behalf of this Corporation and under its seal to execute said Plan and to cause the same to be filed in the offices of the Secretaries of State of Delaware, Illinois and Indiana.

(3) The Appropriate Officers and the Attesting Officers are hereby authorized and directed to execute, in the name and on behalf of this Corporation and under its corporate seal or otherwise, and to deliver any and all agreements, certificates, applications, or other instruments and to take from time to time any and all such other action necessary or desirable to carry out the purposes of the foregoing resolutions.

IN WITNESS WHEREOF, said McDONALD'S CORPORATION has caused this certificate to be signed by Donald P. Horwitz, its Executive Vice President and attested by Burton D. Cohen, its Assistant Secretary, this <u>14th</u> day of <u>December</u>, 1979.

MCDONALD'S CORPORATION 1200 Vice President Executive

ATTEST: Secretary Assistant

PLAN OF MERGER

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PLAN OF MERGER made this <u>14th</u> day of <u>December</u>, 19<u>79</u>, by and between McDONALD'S CORPORATION, a Delaware corporation, hereinafter called the "Surviving Corporation", and FRANCHISE REALTY CORPORATION, an Indiana corporation; FRANCHISE REALTY INTERSTATE CORPORATION, an Illinois corporation; and GOLDEN ARCH REALTY CORPORATION, a Delaware corporation, hereinafter called the "Merging Corporations".

The Surviving Corporation owns all of the outstanding stock of the Merging Corporations and such corporations are desirous of simplifying their business procedures, bookkeeping and administrative structure and of eliminating duplicative functions.

FIRST: The Merging Corporations shall merge into the Surviving Corporation and upon the effective date of such merger, as hereinafter specified, the Merging Corporations shall cease to exist and shall no longer exercise their powers, privileges and franchises subject to the laws of the States of their incorporation.

The Surviving Corporation shall succeed without further act or deed, to all the property, rights, privileges, franchises, patents, trademarks, licenses, registrations and other assets of every kind and description of the Merging Corporations, and shall assume and be liable for all of the debts and liabilities, if any, of the Merging Corporations.

SECOND: This merger shall become effective on January 1, 1980, at 12:01 a.m., except in the State of Illinois. In Illinois, January 1, 1980, at 12:01 a.m., shall be the effective date of the merger for accounting purposes only.

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THIRD: Franchise Realty Corporation and Franchise Realty Interstate Corporation each have a capitalization of 100 shares of Common Stock, without par value, of which 100 shares are issued and outstanding. Golden Arch Realty Corporation has a capitalization of 5,000 shares of common stock, without par value, of which 952 shares are issued and outstanding.

The shares of the Merging Corporations shall not be converted into shares of the Surviving Corporation, but shall be cancelled and the authorized capital stock of the Surviving Corporation shall not be changed, but shall be and remain the same as before the merger.

FOURTH: The State of incorporation of the Surviving Corporation is and will remain the State of Delaware. The Certificate of Incorporation of the Surviving Corporation, as heretofore amended and as in effect on the date of the merger hereinabove specified, shall continue in full force and effect as the Certificate of Incorporation of the corporation surviving this merger.

FIFTH: The by-laws of the Surviving Corporation as they shall exist on the effective date of this merger shall be and remain the by-laws of the corporation surviving this merger until the same shall be altered, amended or repealed as therein provided.

SIXTH: The directors and officers of the Surviving Corporation shall continue in office until the next annual meeting of stockholders and until their successors shall have been elected and gualified.

SEVENTH: The Merging Corporations and the Surviving Corporation shall take, or cause to be taken, all action, or do or

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cause to be done, all things necessary, proper or advisable under the laws of the State of Delaware, and the laws of the States of incorporation of the Merging Corporations, to consummate and make effective the merger.

This Plan has been duly authorized by the respective Boards of Directors of the Surviving Corporation, in accordance with the laws of the State of Delaware, and of the Merging Corporations, in accordance with the laws of the States of incorporation of the Merging Corporations, and is signed and sealed by the duly authorized officers of each corporation as of the day and year first written above.

Sécretary Assistant

MCDONALD'S CORPORATION

stant Secretary

FRANCHISE REALTY CORPORATION Presiden

FRANCHISE REALTY INTERSTATE CORPORATION By Ann Vice President

GOLDEN ARCH REALTY CORPORATION By ice President

ATTEST: By Assistant Secretary

ATTEST

Secretary



W. 1131 INCE 605

State of DELAWARE

J. Glenn C. Kenton Secretary of State of the State of Delaware, In hereby certify that the above and foregoing is a true and correct copy of Certificate of Ownership of the "McDONALD'S CORPORATION", a corporation organized and existing under the laws of the State of Delaware, merging "FRANCHISE REALTY CORFORATION", a corporation organized and existing under the laws of the State of Indiana, "GOLDEN ARCH REALTY CORPORATION", a corporation organized and existing under the laws of the State of Delaware and "FRANCHISE REALTY INTERSTATE CORPORATION", a corporation organized and existing under the laws of the State of Illinois, pursuant to Section 253 of the General Corporation Law of the Delaware, as received and filed in this office the twenty-first day of December, A.D. 1979, at 10 o'clock A.M.

> In Testimony Whereof, I have hereunto set my hand and official seal at Dover this <u>twenty-first</u> day of <u>December</u> in the year of our Lord are thousand nine hundred and <u>seventy-nine</u>.



RECEIVED FOR RECORD

DEC 21 1979

LEO J. DUGAN, Jr., Recorder -

Glenn C. Kenton, Secretary of State

STATE ETHICS COMMISSION 45 CALVERT STREET, 3RD FLOOR ANNAPOLIS, MD 21401 410-260-7770 1-877-669-6085 This Form Is To Be Filed With: CLERK OF THE COUNTY COUNCIL COUNTY ADMINISTRATION BUILDING ROOM 2198 UPPER MARLBORO, MD 20772 301-952-3600

Business Entity¹ Affidavit

(Form PG 2)

General Information

The Prince George's County land use ethics law (General Provisions Article, §§ 5-833 to 5-839, Annotated Code of Maryland) ("Public Ethics Law") requires this affidavit to be filed where a business entity is deemed to be an applicant in an application filed with the District Council. This can occur, for example, when a business entity is a title owner or contract purchaser of land that is the subject of an application, a trustee having an interest in the land (except those described in a mortgage or deed of trust), or the holder of 5 percent or more interest in an entity having an interest in the land (provided that it has substantive involvement in the disposition of the land, or substantive activities pertaining specifically to land development in Prince George's County). Applicant can also include a business entity in which a 5 percent or greater interest is held by another applicant.

In completing this form, you should also review §§ 5-833 to 5-839 of the Public Ethics Law. These provisions include the affidavit requirement, define applicants and agents, set out District Council member disqualification requirements, and specify ex parte disclosure procedures. Please note that there may be situations where there is more than one applicant involved, requiring one or more submissions of this form (or Form PG 1 Individual Applicant Affidavit). You may direct questions about the affidavit or other requirements of the Law to the State Ethics Commission office by phone, at 410-260-7770, or in writing, at the above address. Copies of the Public Ethics Law may be obtained at the Commission's website http://ethics.maryland.gov/public-ethics-law/. Additionally, there is a Special Ethics Law Memo on the Prince George's County land use ethics law at http://ethics.maryland.gov/download/local-gov/local-gov-forms/PG%20County%20Zoning%20Memo.pdf, that contains additional filing information, including timing requirements.

If the applicant business entity is a corporation listed on a national stock exchange or regulated by the Securities Exchange Commission, then its officers, its directors, or its shareholders having a 5 percent or greater interest in the corporation are required to file an affidavit **only if** these persons have made a payment or have solicited a payment as outlined in the Public Ethics Law **and** if the corporation itself completes Part B of the affidavit. If required to file, these persons will file the Individual Applicant Affidavit, Form PG 1.

Filing Deadline

You must file a signed original of this affidavit with the Clerk of the County Council no later than 30 days prior to the District Council's consideration of the application. You must file a supplemental affidavit as expeditiously as possible whenever a payment/contribution is made after the original affidavit was filed and prior to Council's consideration. Please note that under § 5-835(a) of the Public Ethics Law, payments/contributions during the pendency of an application are generally prohibited.

PART A. Business Entity Applicant

Identifying Information

Name of Applicant McDonald's Corp	Case No. (where applicable)
Address of Applicant	
Identity of the Property/ Subject of Application 8710 Central Avenue Hyattsville, Md 20785	Type of Application Detailed Site Plan
	(see § 5-833(d))

¹Section 5-833 of the Public Ethics Law defines a business entity as a corporation, a general partnership, a joint venture, a limited liability company, a limited partnership or a sole proprietorship.

Applicant Payment/Contribution to Member Information (check or complete applicable blanks)

 Was a payment/contribution made by the applicant to a treasurer or a continuing committee, either directly or through a political action committee (PAC), during the 36 months before the application was filed or during the pendency of the application? _____ Yes ____ No

If the answer to #1 above is yes, list below the name of the member or members and the date or dates of the payment/contribution:

Name of Member	Date
	·······

If the payment/contribution was through a PAC, identify the PAC and the date of the transfer to the treasurer or continuing committee:

Solicitation and other Payment/Contribution Information

Did the applicant solicit a person or business entity to make a payment/contribution to a member during the 36 months before the application filing or during the pendency of the application?
 Yes x No

If the answer to #2 above is yes, and a contribution was made, list below the name of the member or members, the date or dates of the payment/contribution, and the name of the contributor:

Name of Member	Date	Name of Contributor

PART B. Directors, Officers and Stockholders (see § 5-838(b)) (For Corporations Only)

*Note: For a corporation's application to be processed, this section <u>must</u> be completed in full (place a check at the beginning of each question to indicate the action has been completed).

1. <u>x</u> All directors, officers, and stockholders with a 5 percent or greater interest have been notified of the disclosure requirement as provided in the Law and are identified as follows (list name and title – if the corporation has no directors, officers or stockholders with a 5 percent or greater interest, so state):

2. <u>x</u> Affidavits (Form PG 1 Individual Applicant Affidavit) from those individuals identified in question #1 above, who have made or solicited contributions and are therefore required to disclose, are either attached or on file with the Clerk of the County Council <u>OR</u> there are no individuals required to file affidavits.

I hereby make oath or affirmation that the contents of this affidavit are true and correct to the best of my knowledge, information and belief.

Signature			vith the Clerk)		
	Los	PH CUR	-10		
Printed N	ame of Sign	ter	D		
				ETICK MW	ihogen
				siness entity)	

10/22/19 Date

EXHIBIT A

<u>McDonald's Corporation</u> <u>CEO Authorization of Signature Authority for U.S. Construction Projects</u>

Pursuant to the authority granted to the Chief Executive Officer under the McDonald's Corporation (the "Company") Corporate Governance Policy Regarding Authorizations, as amended, which was approved by resolution of the Board of Directors on May 24, 2018, I authorize any of Robert T. Lancaster, Denise A. Horne, Jerome N. Krulewitch, David Bartlett, Karen A. Matusinec, Mahrukh S. Hussain, Valery D. Mathelier, Savan N. Vaghani and Sarah K. Lee, all of whom are officers of the Company or McDonald's USA, LLC ("McD USA"); Maximiliano Carmona, Senior Construction Director of McD USA; Joseph Collins, Senior Construction Director of McD USA; Joseph Collins, Senior Construction Director of McD USA; and any attorney employed by the Company who holds the title of Managing Counsel or Senior Counsel and practicing in the U.S. Legal Practice Group, to execute for and on behalf of the Company, such agreements, documents, certificates and all other instruments as may be necessary or appropriate in connection with construction projects undertaken by the Company.

I further authorize each Senior Development Director of McD USA to execute in the name of and on behalf of the Company such agreements, documents, certificates and all other instruments as may be necessary or appropriate in connection with construction projects undertaken by the Company in his or her respective geographic area of responsibility, up to a limit of One Million Four Hundred Thousand Dollars (\$1,400,000) per construction project.

I further authorize each Lead Development Director and each U.S. Field Execution Development Director of McD USA to execute in the name of and on behalf of the Company such agreements, documents, certificates and all other instruments as may be necessary or appropriate in connection with construction projects undertaken by the Company in his or her respective geographic area of responsibility, up to a limit of Six Hundred Thousand Dollars (\$600,000.00) per occurrence not to exceed Eight Hundred Thousand Dollars (\$800,000.00) per project.

I further authorize each U.S. Field Execution Construction Manager of McD USA to execute in the name of and on behalf of the Company such agreements, documents, certificates and all other instruments as may be necessary or appropriate in connection with construction projects undertaken by the Company in his or her respective geographic area of responsibility, up to a limit of Fifty Thousand Dollars (\$50,000) per occurrence not to exceed Three Hundred Thousand Dollars (\$300,000) per project.

I further authorize any of the above signatories for U.S. construction matters; any Assistant Secretary and any Assistant Treasurer of the Company; and any attorney holding the title of Counsel and practicing in the U.S. Legal Practice Group, to attest to the signatures on any documents that have been executed pursuant to the foregoing resolutions (except that no individual may attest to his or her own signature).

I further authorize any of the above signatories for U.S. construction matters to also sign governmental permit and zoning applications and forms for construction projects undertaken by the Company in his or her respective geographical area of responsibility.

McDONALD'S CORPORATION CERTIFICATE OF ASSISTANT SECRETARY

I, Mahrukh S. Hussain, an officer of McDonald's Corporation, a corporation organized under the laws of the State of Delaware (the "Company"), certify as follows, as of the date hereof:

- 1. I am the duly appointed, qualified and acting Corporate Vice President, U.S. General Counsel and Assistant Secretary of the Company;
- 2. The Board of Directors of the Company duly adopted the McDonald's Corporation Corporate Governance Policy Regarding Authorizations, as amended, on May 24, 2018 (the "Authorization Policy"), that authorized the Chief Executive Officer to delegate signature authority for documents required in connection with construction projects to appropriate officers and employees of the Company, as part of the day-to-day operation of the business; and
- 3. Attached as <u>Exhibit A</u> is a true, complete and correct copy of the CEO Authorization of Signature Authority for U.S. Construction Projects, approved and executed by Stephen J. Easterbrook, President and Chief Executive Officer of the Company, on June 4, 2019, pursuant to the Authorization Policy. The Authorization Policy and the CEO Authorization of Signature Authority for U.S. Construction Projects have not been amended, modified, or rescinded in any way and remain in full force and effect.

IN WITNESS WHEREOF, I have hereunto set my hand on this 16 day of Softward, 2019.

Mahrukh S. Hussain Corporate Vice President, U.S. General Counsel and Assistant Secretary I further authorize each Area Construction Manager of McD USA to also sign governmental permit and zoning applications and forms for construction projects undertaken by the Company in his or her respective geographical area of responsibility provided, however, that the authority granted to the Area Construction Manager will not apply to permits, applications or forms that include indemnity provisions, provisions that bind the Company to future obligations or that take away any of the Company's existing rights.

The above authorizations supersede and replace the Authorization of Signature Authority for documents required in connection with construction projects undertaken by the Company, approved and executed by the President and Chief Executive Officer of the Company on July 27, 2016, and all actions taken by the persons duly authorized therein and in conformity therewith are in all respects confirmed, adopted and ratified as the valid and subsisting acts of this Company, having full force and effect from and after the dates thereof.

Effective as of June 4, 2019.

I direct that Jeffrey J. Pochowicz, Corporate Assistant Secretary, file this delegation of authority with the corporate records of the Company.

<u>/s/ Stephen J. Easterbrook</u> Stephen J. Easterbrook President and Chief Executive Officer

State of Delaware Office of the Secretary of State

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I, EDWARD J. FREEL, SECRETARY OF STATE OF THE STATE OF DELAWARE, DO HEREBY CERTIFY THE ATTACHED IS A TRUE AND CORRECT COPY OF THE CERTIFICATE OF OWNERSHIP, WHICH MERGES:

"FRANCHISE REALTY CORPORATION", A INDIANA CORPORATION,

"FRANCHISE REALTY INTERSTATE CORPORATION", A ILLINOIS CORPORATION,

"GOLDEN ARCH REALTY CORPORATION", A DELAWARE CORPORATION,

WITH AND INTO "MCDONALD'S CORPORATION" UNDER THE NAME OF "MCDONALD'S CORPORATION", A CORPORATION ORGANIZED AND EXISTING UNDER THE LAWS OF THE STATE OF DELAWARE, AS RECEIVED AND FILED IN THIS OFFICE THE TWENTY-FIRST DAY OF DECEMBER, A.D. 1979, AT 10 O'CLOCK A.M.



Edward J. Freel, Secretary of State

AUTHENTICATION: DATE: **8672450** 09-26-97

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CERTIFICATE OF OWNERSHIP AND MERGER

MERGING

FRANCHISE REALTY CORPORATION,

GOLDEN ARCH REALTY CORPORATION,

AND

FRANCHISE REALTY INTERSTATE CORPORATION

INTO

MCDONALD'S CORPORATION

(Pursuant to Section 253 of the General Corporation Law of Delaware) McDONALD'S CORPORATION, a corporation organized and exist-

ing under the laws of Delaware,

DOES HEREBY CERTIFY:

FIRST: That this corporation was incorporated on the 21st day of December, 1964, pursuant to the provisions of the General Corporation Law of the State of Delaware.

SECOND: That this corporation owns 100% of the capital stock of 1) Franchise Realty Corporation, a corporation incorporated on the 31st day of January, 1958 pursuant to the provisions of the General Corporation Act of the State of Indiana, 2) Golden Arch Realty Corporation, a corporation incorporated on the 30th day of August, 1967, pursuant to the provisions of the General Corporation Law of the State of Delaware, and 3) Franchise Realty Interstate Corporation, a corporation incorporated on the 14th day of December, 1960, pursuant to the Business Corporation Act of the State of 111inois.

THIRD: That this corporation, by the following resolutions of its Board of Directors, duly adopted at a meeting held on December 11, 1979, filed with the minutes of the Board, determined to merge into itself said Franchise Realty Corporation, Golden Arch Realty Corporation and Franchise Realty Interstate Corporation:

WHEREAS, at its regular meeting held on October 13, 1978, this Board authorized the merger of nine of its subsidiaries into itself; and

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WHEREAS, it is now deemed advisable and in the best interests of this Corporation that the mergers of certain of the aforementioned subsidiaries be accomplished in the manner set forth in the "Plan of Merger" ... presented to the Board at this meeting;

NOW, THEREFORE, BE IT RESOLVED, That:

(1) The merger of Franchise Realty Interstate Corporation (an Illinois corporation), Franchise Realty Corporation (an Indiana corporation) and Golden Arch Realty Corporation (a Delaware corporation) into this Corporation is hereby approved and authorized and the Plan of Merger presented to this meeting is approved and adopted, substantially in the form presented to this meeting with such changes therein as Richard J. Boylan, Senior Executive Vice President, and Donald P. Horwitz, Executive Vice President, (the "Appropriate Officers") deem necessary and proper. The Appropriate Officers, or either of them, and Robert B. Ryan, Vice President and Assistant Secretary, and Burton D. Cohen, Assistant Vice President and Assistant Secretary, (the "Attesting Officers") or either of them, are hereby authorized, empowered and directed in the name and on behalf of this Corporation and under its seal to execute said Plan and to cause the same to be filed in the offices of the Secretaries of State of Delaware, Illinois and Indiana.

(3) The Appropriate Officers and the Attesting Officers are hereby authorized and directed to execute, in the name and on behalf of this Corporation and under its corporate seal or otherwise, and to deliver any and all agreements, certificates, applications, or other instruments and to take from time to time any and all such other action necessary or desirable to carry out the purposes of the foregoing resolutions.

IN WITNESS WHEREOF, said McDONALD'S CORPORATION has caused this certificate to be signed by Donald P. Horwitz, its Executive Vice President and attested by Burton D. Cohen, its Assistant Secretary, this <u>14th</u> day of <u>December</u>, 1979.

MCDONALD'S CORPORATION 1200 Vice President Executive

ATTEST: Secretary Assistant

PLAN OF MERGER

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PLAN OF MERGER made this <u>14th</u> day of <u>December</u>, 19<u>79</u>, by and between McDONALD'S CORPORATION, a Delaware corporation, hereinafter called the "Surviving Corporation", and FRANCHISE REALTY CORPORATION, an Indiana corporation; FRANCHISE REALTY INTERSTATE CORPORATION, an Illinois corporation; and GOLDEN ARCH REALTY CORPORATION, a Delaware corporation, hereinafter called the "Merging Corporations".

The Surviving Corporation owns all of the outstanding stock of the Merging Corporations and such corporations are desirous of simplifying their business procedures, bookkeeping and administrative structure and of eliminating duplicative functions.

FIRST: The Merging Corporations shall merge into the Surviving Corporation and upon the effective date of such merger, as hereinafter specified, the Merging Corporations shall cease to exist and shall no longer exercise their powers, privileges and franchises subject to the laws of the States of their incorporation.

The Surviving Corporation shall succeed without further act or deed, to all the property, rights, privileges, franchises, patents, trademarks, licenses, registrations and other assets of every kind and description of the Merging Corporations, and shall assume and be liable for all of the debts and liabilities, if any, of the Merging Corporations.

SECOND: This merger shall become effective on January 1, 1980, at 12:01 a.m., except in the State of Illinois. In Illinois, January 1, 1980, at 12:01 a.m., shall be the effective date of the merger for accounting purposes only.

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THIRD: Franchise Realty Corporation and Franchise Realty Interstate Corporation each have a capitalization of 100 shares of Common Stock, without par value, of which 100 shares are issued and outstanding. Golden Arch Realty Corporation has a capitalization of 5,000 shares of common stock, without par value, of which 952 shares are issued and outstanding.

The shares of the Merging Corporations shall not be converted into shares of the Surviving Corporation, but shall be cancelled and the authorized capital stock of the Surviving Corporation shall not be changed, but shall be and remain the same as before the merger.

FOURTH: The State of incorporation of the Surviving Corporation is and will remain the State of Delaware. The Certificate of Incorporation of the Surviving Corporation, as heretofore amended and as in effect on the date of the merger hereinabove specified, shall continue in full force and effect as the Certificate of Incorporation of the corporation surviving this merger.

FIFTH: The by-laws of the Surviving Corporation as they shall exist on the effective date of this merger shall be and remain the by-laws of the corporation surviving this merger until the same shall be altered, amended or repealed as therein provided.

SIXTH: The directors and officers of the Surviving Corporation shall continue in office until the next annual meeting of stockholders and until their successors shall have been elected and gualified.

SEVENTH: The Merging Corporations and the Surviving Corporation shall take, or cause to be taken, all action, or do or

-2-

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cause to be done, all things necessary, proper or advisable under the laws of the State of Delaware, and the laws of the States of incorporation of the Merging Corporations, to consummate and make effective the merger.

This Plan has been duly authorized by the respective Boards of Directors of the Surviving Corporation, in accordance with the laws of the State of Delaware, and of the Merging Corporations, in accordance with the laws of the States of incorporation of the Merging Corporations, and is signed and sealed by the duly authorized officers of each corporation as of the day and year first written above.

Sécretary Assistant

MCDONALD'S CORPORATION

stant Secretary

FRANCHISE REALTY CORPORATION Presiden

FRANCHISE REALTY INTERSTATE CORPORATION By Ann Vice President

GOLDEN ARCH REALTY CORPORATION By ice President

ATTEST: By Assistant Secretary

ATTEST

Secretary



W. 1131 INCE 605

State of DELAWARE

J. Glenn C. Kenton Secretary of State of the State of Delaware, In hereby certify that the above and foregoing is a true and correct copy of Certificate of Ownership of the "McDONALD'S CORPORATION", a corporation organized and existing under the laws of the State of Delaware, merging "FRANCHISE REALTY CORFORATION", a corporation organized and existing under the laws of the State of Indiana, "GOLDEN ARCH REALTY CORPORATION", a corporation organized and existing under the laws of the State of Delaware and "FRANCHISE REALTY INTERSTATE CORPORATION", a corporation organized and existing under the laws of the State of Illinois, pursuant to Section 253 of the General Corporation Law of the Delaware, as received and filed in this office the twenty-first day of December, A.D. 1979, at 10 o'clock A.M.

> In Testimony Whereof, I have hereunto set my hand and official seal at Dover this <u>twenty-first</u> day of <u>December</u> in the year of our Lord are thousand nine hundred and <u>seventy-nine</u>.



RECEIVED FOR RECORD

DEC 21 1979

LEO J. DUGAN, Jr., Recorder -

Glenn C. Kenton, Secretary of State

STATE ETHICS COMMISSION 45 CALVERT STREET, 3RD FLOOR ANNAPOLIS, MD 21401 410-260-7770 1-877-669-6085 This Form Is To Be Filed With: CLERK OF THE COUNTY COUNCIL COUNTY ADMINISTRATION BUILDING ROOM 2198 UPPER MARLBORO, MD 20772 301-952-3600

Business Entity¹ Affidavit

(Form PG 2)

General Information

The Prince George's County land use ethics law (General Provisions Article, §§ 5-833 to 5-839, Annotated Code of Maryland) ("Public Ethics Law") requires this affidavit to be filed where a business entity is deemed to be an applicant in an application filed with the District Council. This can occur, for example, when a business entity is a title owner or contract purchaser of land that is the subject of an application, a trustee having an interest in the land (except those described in a mortgage or deed of trust), or the holder of 5 percent or more interest in an entity having an interest in the land (provided that it has substantive involvement in the disposition of the land, or substantive activities pertaining specifically to land development in Prince George's County). Applicant can also include a business entity in which a 5 percent or greater interest is held by another applicant.

In completing this form, you should also review §§ 5-833 to 5-839 of the Public Ethics Law. These provisions include the affidavit requirement, define applicants and agents, set out District Council member disqualification requirements, and specify ex parte disclosure procedures. Please note that there may be situations where there is more than one applicant involved, requiring one or more submissions of this form (or Form PG 1 Individual Applicant Affidavit). You may direct questions about the affidavit or other requirements of the Law to the State Ethics Commission office by phone, at 410-260-7770, or in writing, at the above address. Copies of the Public Ethics Law may be obtained at the Commission's website http://ethics.maryland.gov/public-ethics-law/. Additionally, there is a Special Ethics Law Memo on the Prince George's County land use ethics law at http://ethics.maryland.gov/download/local-gov/local-gov-forms/PG%20County%20Zoning%20Memo.pdf, that contains additional filing information, including timing requirements.

If the applicant business entity is a corporation listed on a national stock exchange or regulated by the Securities Exchange Commission, then its officers, its directors, or its shareholders having a 5 percent or greater interest in the corporation are required to file an affidavit **only if** these persons have made a payment or have solicited a payment as outlined in the Public Ethics Law **and** if the corporation itself completes Part B of the affidavit. If required to file, these persons will file the Individual Applicant Affidavit, Form PG 1.

Filing Deadline

You must file a signed original of this affidavit with the Clerk of the County Council no later than 30 days prior to the District Council's consideration of the application. You must file a supplemental affidavit as expeditiously as possible whenever a payment/contribution is made after the original affidavit was filed and prior to Council's consideration. Please note that under § 5-835(a) of the Public Ethics Law, payments/contributions during the pendency of an application are generally prohibited.

PART A. Business Entity Applicant

Identifying Information

Name of Applicant McDonald's Corp	Case No. (where applicable)
Address of Applicant	
Identity of the Property/ Subject of Application 8710 Central Avenue Hyattsville, Md 20785	Type of Application Detailed Site Plan
	(see § 5-833(d))

¹Section 5-833 of the Public Ethics Law defines a business entity as a corporation, a general partnership, a joint venture, a limited liability company, a limited partnership or a sole proprietorship.

Applicant Payment/Contribution to Member Information (check or complete applicable blanks)

 Was a payment/contribution made by the applicant to a treasurer or a continuing committee, either directly or through a political action committee (PAC), during the 36 months before the application was filed or during the pendency of the application? _____ Yes ____ No

If the answer to #1 above is yes, list below the name of the member or members and the date or dates of the payment/contribution:

Name of Member	Date
	·······

If the payment/contribution was through a PAC, identify the PAC and the date of the transfer to the treasurer or continuing committee:

Solicitation and other Payment/Contribution Information

Did the applicant solicit a person or business entity to make a payment/contribution to a member during the 36 months before the application filing or during the pendency of the application?
 Yes x No

If the answer to #2 above is yes, and a contribution was made, list below the name of the member or members, the date or dates of the payment/contribution, and the name of the contributor:

Name of Member	Date	Name of Contributor	

PART B. Directors, Officers and Stockholders (see § 5-838(b)) (For Corporations Only)

*Note: For a corporation's application to be processed, this section <u>must</u> be completed in full (place a check at the beginning of each question to indicate the action has been completed).

1. <u>x</u> All directors, officers, and stockholders with a 5 percent or greater interest have been notified of the disclosure requirement as provided in the Law and are identified as follows (list name and title – if the corporation has no directors, officers or stockholders with a 5 percent or greater interest, so state):

2. <u>x</u> Affidavits (Form PG 1 Individual Applicant Affidavit) from those individuals identified in question #1 above, who have made or solicited contributions and are therefore required to disclose, are either attached or on file with the Clerk of the County Council <u>OR</u> there are no individuals required to file affidavits.

I hereby make oath or affirmation that the contents of this affidavit are true and correct to the best of my knowledge, information and belief.

Signature			with the Clerk)		
	Los	PH CUR	10		
Printed N	ame of Sign	her	P		
				CIUN MID	Logen
Title of S	igner (Auth	orized to s	ign for the bus	siness entity)	

10/22/19 Date

EXHIBIT A

<u>McDonald's Corporation</u> <u>CEO Authorization of Signature Authority for U.S. Construction Projects</u>

Pursuant to the authority granted to the Chief Executive Officer under the McDonald's Corporation (the "Company") Corporate Governance Policy Regarding Authorizations, as amended, which was approved by resolution of the Board of Directors on May 24, 2018, I authorize any of Robert T. Lancaster, Denise A. Horne, Jerome N. Krulewitch, David Bartlett, Karen A. Matusinec, Mahrukh S. Hussain, Valery D. Mathelier, Savan N. Vaghani and Sarah K. Lee, all of whom are officers of the Company or McDonald's USA, LLC ("McD USA"); Maximiliano Carmona, Senior Construction Director of McD USA; Joseph Collins, Senior Construction Director of McD USA; Joseph Collins, Senior Construction Director of McD USA; and any attorney employed by the Company who holds the title of Managing Counsel or Senior Counsel and practicing in the U.S. Legal Practice Group, to execute for and on behalf of the Company, such agreements, documents, certificates and all other instruments as may be necessary or appropriate in connection with construction projects undertaken by the Company.

I further authorize each Senior Development Director of McD USA to execute in the name of and on behalf of the Company such agreements, documents, certificates and all other instruments as may be necessary or appropriate in connection with construction projects undertaken by the Company in his or her respective geographic area of responsibility, up to a limit of One Million Four Hundred Thousand Dollars (\$1,400,000) per construction project.

I further authorize each Lead Development Director and each U.S. Field Execution Development Director of McD USA to execute in the name of and on behalf of the Company such agreements, documents, certificates and all other instruments as may be necessary or appropriate in connection with construction projects undertaken by the Company in his or her respective geographic area of responsibility, up to a limit of Six Hundred Thousand Dollars (\$600,000.00) per occurrence not to exceed Eight Hundred Thousand Dollars (\$800,000.00) per project.

I further authorize each U.S. Field Execution Construction Manager of McD USA to execute in the name of and on behalf of the Company such agreements, documents, certificates and all other instruments as may be necessary or appropriate in connection with construction projects undertaken by the Company in his or her respective geographic area of responsibility, up to a limit of Fifty Thousand Dollars (\$50,000) per occurrence not to exceed Three Hundred Thousand Dollars (\$300,000) per project.

I further authorize any of the above signatories for U.S. construction matters; any Assistant Secretary and any Assistant Treasurer of the Company; and any attorney holding the title of Counsel and practicing in the U.S. Legal Practice Group, to attest to the signatures on any documents that have been executed pursuant to the foregoing resolutions (except that no individual may attest to his or her own signature).

I further authorize any of the above signatories for U.S. construction matters to also sign governmental permit and zoning applications and forms for construction projects undertaken by the Company in his or her respective geographical area of responsibility.

McDONALD'S CORPORATION CERTIFICATE OF ASSISTANT SECRETARY

I, Mahrukh S. Hussain, an officer of McDonald's Corporation, a corporation organized under the laws of the State of Delaware (the "Company"), certify as follows, as of the date hereof:

- 1. I am the duly appointed, qualified and acting Corporate Vice President, U.S. General Counsel and Assistant Secretary of the Company;
- 2. The Board of Directors of the Company duly adopted the McDonald's Corporation Corporate Governance Policy Regarding Authorizations, as amended, on May 24, 2018 (the "Authorization Policy"), that authorized the Chief Executive Officer to delegate signature authority for documents required in connection with construction projects to appropriate officers and employees of the Company, as part of the day-to-day operation of the business; and
- 3. Attached as <u>Exhibit A</u> is a true, complete and correct copy of the CEO Authorization of Signature Authority for U.S. Construction Projects, approved and executed by Stephen J. Easterbrook, President and Chief Executive Officer of the Company, on June 4, 2019, pursuant to the Authorization Policy. The Authorization Policy and the CEO Authorization of Signature Authority for U.S. Construction Projects have not been amended, modified, or rescinded in any way and remain in full force and effect.

IN WITNESS WHEREOF, I have hereunto set my hand on this 16 day of Softward, 2019.

Mahrukh S. Hussain Corporate Vice President, U.S. General Counsel and Assistant Secretary I further authorize each Area Construction Manager of McD USA to also sign governmental permit and zoning applications and forms for construction projects undertaken by the Company in his or her respective geographical area of responsibility provided, however, that the authority granted to the Area Construction Manager will not apply to permits, applications or forms that include indemnity provisions, provisions that bind the Company to future obligations or that take away any of the Company's existing rights.

The above authorizations supersede and replace the Authorization of Signature Authority for documents required in connection with construction projects undertaken by the Company, approved and executed by the President and Chief Executive Officer of the Company on July 27, 2016, and all actions taken by the persons duly authorized therein and in conformity therewith are in all respects confirmed, adopted and ratified as the valid and subsisting acts of this Company, having full force and effect from and after the dates thereof.

Effective as of June 4, 2019.

I direct that Jeffrey J. Pochowicz, Corporate Assistant Secretary, file this delegation of authority with the corporate records of the Company.

<u>/s/ Stephen J. Easterbrook</u> Stephen J. Easterbrook President and Chief Executive Officer

State of Delaware Office of the Secretary of State

PAGE 1

I, EDWARD J. FREEL, SECRETARY OF STATE OF THE STATE OF DELAWARE, DO HEREBY CERTIFY THE ATTACHED IS A TRUE AND CORRECT COPY OF THE CERTIFICATE OF OWNERSHIP, WHICH MERGES:

"FRANCHISE REALTY CORPORATION", A INDIANA CORPORATION,

"FRANCHISE REALTY INTERSTATE CORPORATION", A ILLINOIS CORPORATION,

"GOLDEN ARCH REALTY CORPORATION", A DELAWARE CORPORATION,

WITH AND INTO "MCDONALD'S CORPORATION" UNDER THE NAME OF "MCDONALD'S CORPORATION", A CORPORATION ORGANIZED AND EXISTING UNDER THE LAWS OF THE STATE OF DELAWARE, AS RECEIVED AND FILED IN THIS OFFICE THE TWENTY-FIRST DAY OF DECEMBER, A.D. 1979, AT 10 O'CLOCK A.M.



Edward J. Freel, Secretary of State

AUTHENTICATION: DATE: **8672450** 09-26-97

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CERTIFICATE OF OWNERSHIP AND MERGER

MERGING

FRANCHISE REALTY CORPORATION,

GOLDEN ARCH REALTY CORPORATION,

AND

FRANCHISE REALTY INTERSTATE CORPORATION

INTO

MCDONALD'S CORPORATION

(Pursuant to Section 253 of the General Corporation Law of Delaware) McDONALD'S CORPORATION, a corporation organized and exist-

ing under the laws of Delaware,

DOES HEREBY CERTIFY:

FIRST: That this corporation was incorporated on the 21st day of December, 1964, pursuant to the provisions of the General Corporation Law of the State of Delaware.

SECOND: That this corporation owns 100% of the capital stock of 1) Franchise Realty Corporation, a corporation incorporated on the 31st day of January, 1958 pursuant to the provisions of the General Corporation Act of the State of Indiana, 2) Golden Arch Realty Corporation, a corporation incorporated on the 30th day of August, 1967, pursuant to the provisions of the General Corporation Law of the State of Delaware, and 3) Franchise Realty Interstate Corporation, a corporation incorporated on the 14th day of December, 1960, pursuant to the Business Corporation Act of the State of 111inois.

THIRD: That this corporation, by the following resolutions of its Board of Directors, duly adopted at a meeting held on December 11, 1979, filed with the minutes of the Board, determined to merge into itself said Franchise Realty Corporation, Golden Arch Realty Corporation and Franchise Realty Interstate Corporation:

WHEREAS, at its regular meeting held on October 13, 1978, this Board authorized the merger of nine of its subsidiaries into itself; and

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WHEREAS, it is now deemed advisable and in the best interests of this Corporation that the mergers of certain of the aforementioned subsidiaries be accomplished in the manner set forth in the "Plan of Merger" ... presented to the Board at this meeting;

NOW, THEREFORE, BE IT RESOLVED, That:

(1) The merger of Franchise Realty Interstate Corporation (an Illinois corporation), Franchise Realty Corporation (an Indiana corporation) and Golden Arch Realty Corporation (a Delaware corporation) into this Corporation is hereby approved and authorized and the Plan of Merger presented to this meeting is approved and adopted, substantially in the form presented to this meeting with such changes therein as Richard J. Boylan, Senior Executive Vice President, and Donald P. Horwitz, Executive Vice President, (the "Appropriate Officers") deem necessary and proper. The Appropriate Officers, or either of them, and Robert B. Ryan, Vice President and Assistant Secretary, and Burton D. Cohen, Assistant Vice President and Assistant Secretary, (the "Attesting Officers") or either of them, are hereby authorized, empowered and directed in the name and on behalf of this Corporation and under its seal to execute said Plan and to cause the same to be filed in the offices of the Secretaries of State of Delaware, Illinois and Indiana.

(3) The Appropriate Officers and the Attesting Officers are hereby authorized and directed to execute, in the name and on behalf of this Corporation and under its corporate seal or otherwise, and to deliver any and all agreements, certificates, applications, or other instruments and to take from time to time any and all such other action necessary or desirable to carry out the purposes of the foregoing resolutions.

IN WITNESS WHEREOF, said McDONALD'S CORPORATION has caused this certificate to be signed by Donald P. Horwitz, its Executive Vice President and attested by Burton D. Cohen, its Assistant Secretary, this <u>14th</u> day of <u>December</u>, 1979.

MCDONALD'S CORPORATION 1200 Vice President Executive

ATTEST: Secretary Assistant

PLAN OF MERGER

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PLAN OF MERGER made this <u>14th</u> day of <u>December</u>, 19<u>79</u>, by and between McDONALD'S CORPORATION, a Delaware corporation, hereinafter called the "Surviving Corporation", and FRANCHISE REALTY CORPORATION, an Indiana corporation; FRANCHISE REALTY INTERSTATE CORPORATION, an Illinois corporation; and GOLDEN ARCH REALTY CORPORATION, a Delaware corporation, hereinafter called the "Merging Corporations".

The Surviving Corporation owns all of the outstanding stock of the Merging Corporations and such corporations are desirous of simplifying their business procedures, bookkeeping and administrative structure and of eliminating duplicative functions.

FIRST: The Merging Corporations shall merge into the Surviving Corporation and upon the effective date of such merger, as hereinafter specified, the Merging Corporations shall cease to exist and shall no longer exercise their powers, privileges and franchises subject to the laws of the States of their incorporation.

The Surviving Corporation shall succeed without further act or deed, to all the property, rights, privileges, franchises, patents, trademarks, licenses, registrations and other assets of every kind and description of the Merging Corporations, and shall assume and be liable for all of the debts and liabilities, if any, of the Merging Corporations.

SECOND: This merger shall become effective on January 1, 1980, at 12:01 a.m., except in the State of Illinois. In Illinois, January 1, 1980, at 12:01 a.m., shall be the effective date of the merger for accounting purposes only.

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THIRD: Franchise Realty Corporation and Franchise Realty Interstate Corporation each have a capitalization of 100 shares of Common Stock, without par value, of which 100 shares are issued and outstanding. Golden Arch Realty Corporation has a capitalization of 5,000 shares of common stock, without par value, of which 952 shares are issued and outstanding.

The shares of the Merging Corporations shall not be converted into shares of the Surviving Corporation, but shall be cancelled and the authorized capital stock of the Surviving Corporation shall not be changed, but shall be and remain the same as before the merger.

FOURTH: The State of incorporation of the Surviving Corporation is and will remain the State of Delaware. The Certificate of Incorporation of the Surviving Corporation, as heretofore amended and as in effect on the date of the merger hereinabove specified, shall continue in full force and effect as the Certificate of Incorporation of the corporation surviving this merger.

FIFTH: The by-laws of the Surviving Corporation as they shall exist on the effective date of this merger shall be and remain the by-laws of the corporation surviving this merger until the same shall be altered, amended or repealed as therein provided.

SIXTH: The directors and officers of the Surviving Corporation shall continue in office until the next annual meeting of stockholders and until their successors shall have been elected and gualified.

SEVENTH: The Merging Corporations and the Surviving Corporation shall take, or cause to be taken, all action, or do or

-2-

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cause to be done, all things necessary, proper or advisable under the laws of the State of Delaware, and the laws of the States of incorporation of the Merging Corporations, to consummate and make effective the merger.

This Plan has been duly authorized by the respective Boards of Directors of the Surviving Corporation, in accordance with the laws of the State of Delaware, and of the Merging Corporations, in accordance with the laws of the States of incorporation of the Merging Corporations, and is signed and sealed by the duly authorized officers of each corporation as of the day and year first written above.

Sécretary Assistant

MCDONALD'S CORPORATION

stant Secretary

FRANCHISE REALTY CORPORATION Presiden

FRANCHISE REALTY INTERSTATE CORPORATION By Ann Vice President

GOLDEN ARCH REALTY CORPORATION By ice President

ATTEST: By Assistant Secretary

ATTEST

Secretary



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State of DELAWARE

J. Glenn C. Kenton Secretary of State of the State of Delaware, In hereby certify that the above and foregoing is a true and correct copy of Certificate of Ownership of the "McDONALD'S CORPORATION", a corporation organized and existing under the laws of the State of Delaware, merging "FRANCHISE REALTY CORFORATION", a corporation organized and existing under the laws of the State of Indiana, "GOLDEN ARCH REALTY CORPORATION", a corporation organized and existing under the laws of the State of Delaware and "FRANCHISE REALTY INTERSTATE CORPORATION", a corporation organized and existing under the laws of the State of Illinois, pursuant to Section 253 of the General Corporation Law of the Delaware, as received and filed in this office the twenty-first day of December, A.D. 1979, at 10 o'clock A.M.

> In Testimony Whereof, I have hereunto set my hand and official seal at Dover this <u>twenty-first</u> day of <u>December</u> in the year of our Lord are thousand nine hundred and <u>seventy-nine</u>.



RECEIVED FOR RECORD

DEC 21 1979

LEO J. DUGAN, Jr., Recorder -

Glenn C. Kenton, Secretary of State

STATE ETHICS COMMISSION 45 CALVERT STREET, 3RD FLOOR ANNAPOLIS, MD 21401 410-260-7770 1-877-669-6085 This Form Is To Be Filed With: CLERK OF THE COUNTY COUNCIL COUNTY ADMINISTRATION BUILDING ROOM 2198 UPPER MARLBORO, MD 20772 301-952-3600

Business Entity¹ Affidavit

(Form PG 2)

General Information

The Prince George's County land use ethics law (General Provisions Article, §§ 5-833 to 5-839, Annotated Code of Maryland) ("Public Ethics Law") requires this affidavit to be filed where a business entity is deemed to be an applicant in an application filed with the District Council. This can occur, for example, when a business entity is a title owner or contract purchaser of land that is the subject of an application, a trustee having an interest in the land (except those described in a mortgage or deed of trust), or the holder of 5 percent or more interest in an entity having an interest in the land (provided that it has substantive involvement in the disposition of the land, or substantive activities pertaining specifically to land development in Prince George's County). Applicant can also include a business entity in which a 5 percent or greater interest is held by another applicant.

In completing this form, you should also review §§ 5-833 to 5-839 of the Public Ethics Law. These provisions include the affidavit requirement, define applicants and agents, set out District Council member disqualification requirements, and specify ex parte disclosure procedures. Please note that there may be situations where there is more than one applicant involved, requiring one or more submissions of this form (or Form PG 1 Individual Applicant Affidavit). You may direct questions about the affidavit or other requirements of the Law to the State Ethics Commission office by phone, at 410-260-7770, or in writing, at the above address. Copies of the Public Ethics Law may be obtained at the Commission's website http://ethics.maryland.gov/public-ethics-law/. Additionally, there is a Special Ethics Law Memo on the Prince George's County land use ethics law at http://ethics.maryland.gov/download/local-gov/local-gov-forms/PG%20County%20Zoning%20Memo.pdf, that contains additional filing information, including timing requirements.

If the applicant business entity is a corporation listed on a national stock exchange or regulated by the Securities Exchange Commission, then its officers, its directors, or its shareholders having a 5 percent or greater interest in the corporation are required to file an affidavit **only if** these persons have made a payment or have solicited a payment as outlined in the Public Ethics Law **and** if the corporation itself completes Part B of the affidavit. If required to file, these persons will file the Individual Applicant Affidavit, Form PG 1.

Filing Deadline

You must file a signed original of this affidavit with the Clerk of the County Council no later than 30 days prior to the District Council's consideration of the application. You must file a supplemental affidavit as expeditiously as possible whenever a payment/contribution is made after the original affidavit was filed and prior to Council's consideration. Please note that under § 5-835(a) of the Public Ethics Law, payments/contributions during the pendency of an application are generally prohibited.

PART A. Business Entity Applicant

Identifying Information

Name of Applicant McDonald's Corp	Case No. (where applicable)
Address of Applicant	、 /
Identity of the Property/ Subject of Application 8710 Central Avenue Hyattsville, Md 20785	Type of Application Detailed Site Plan
	(see § 5-833(d))

¹Section 5-833 of the Public Ethics Law defines a business entity as a corporation, a general partnership, a joint venture, a limited liability company, a limited partnership or a sole proprietorship.

Applicant Payment/Contribution to Member Information (check or complete applicable blanks)

 Was a payment/contribution made by the applicant to a treasurer or a continuing committee, either directly or through a political action committee (PAC), during the 36 months before the application was filed or during the pendency of the application? _____ Yes ____ No

If the answer to #1 above is yes, list below the name of the member or members and the date or dates of the payment/contribution:

Name of Member	Date
	·······

If the payment/contribution was through a PAC, identify the PAC and the date of the transfer to the treasurer or continuing committee:

Solicitation and other Payment/Contribution Information

Did the applicant solicit a person or business entity to make a payment/contribution to a member during the 36 months before the application filing or during the pendency of the application?
 Yes x No

If the answer to #2 above is yes, and a contribution was made, list below the name of the member or members, the date or dates of the payment/contribution, and the name of the contributor:

Name of Member	Date	Name of Contributor

PART B. Directors, Officers and Stockholders (see § 5-838(b)) (For Corporations Only)

*Note: For a corporation's application to be processed, this section <u>must</u> be completed in full (place a check at the beginning of each question to indicate the action has been completed).

1. <u>x</u> All directors, officers, and stockholders with a 5 percent or greater interest have been notified of the disclosure requirement as provided in the Law and are identified as follows (list name and title – if the corporation has no directors, officers or stockholders with a 5 percent or greater interest, so state):

2. <u>x</u> Affidavits (Form PG 1 Individual Applicant Affidavit) from those individuals identified in question #1 above, who have made or solicited contributions and are therefore required to disclose, are either attached or on file with the Clerk of the County Council <u>OR</u> there are no individuals required to file affidavits.

I hereby make oath or affirmation that the contents of this affidavit are true and correct to the best of my knowledge, information and belief.

Signature			vith the Clerk)		
	Los	PH CUR	-10		
Printed N	ame of Sign	ter	D		
				ETICA MO.	Logen
				siness entity)	

10/22/19 Date

EXHIBIT A

<u>McDonald's Corporation</u> <u>CEO Authorization of Signature Authority for U.S. Construction Projects</u>

Pursuant to the authority granted to the Chief Executive Officer under the McDonald's Corporation (the "Company") Corporate Governance Policy Regarding Authorizations, as amended, which was approved by resolution of the Board of Directors on May 24, 2018, I authorize any of Robert T. Lancaster, Denise A. Horne, Jerome N. Krulewitch, David Bartlett, Karen A. Matusinec, Mahrukh S. Hussain, Valery D. Mathelier, Savan N. Vaghani and Sarah K. Lee, all of whom are officers of the Company or McDonald's USA, LLC ("McD USA"); Maximiliano Carmona, Senior Construction Director of McD USA; Joseph Collins, Senior Construction Director of McD USA; Joseph Collins, Senior Construction Director of McD USA; and any attorney employed by the Company who holds the title of Managing Counsel or Senior Counsel and practicing in the U.S. Legal Practice Group, to execute for and on behalf of the Company, such agreements, documents, certificates and all other instruments as may be necessary or appropriate in connection with construction projects undertaken by the Company.

I further authorize each Senior Development Director of McD USA to execute in the name of and on behalf of the Company such agreements, documents, certificates and all other instruments as may be necessary or appropriate in connection with construction projects undertaken by the Company in his or her respective geographic area of responsibility, up to a limit of One Million Four Hundred Thousand Dollars (\$1,400,000) per construction project.

I further authorize each Lead Development Director and each U.S. Field Execution Development Director of McD USA to execute in the name of and on behalf of the Company such agreements, documents, certificates and all other instruments as may be necessary or appropriate in connection with construction projects undertaken by the Company in his or her respective geographic area of responsibility, up to a limit of Six Hundred Thousand Dollars (\$600,000.00) per occurrence not to exceed Eight Hundred Thousand Dollars (\$800,000.00) per project.

I further authorize each U.S. Field Execution Construction Manager of McD USA to execute in the name of and on behalf of the Company such agreements, documents, certificates and all other instruments as may be necessary or appropriate in connection with construction projects undertaken by the Company in his or her respective geographic area of responsibility, up to a limit of Fifty Thousand Dollars (\$50,000) per occurrence not to exceed Three Hundred Thousand Dollars (\$300,000) per project.

I further authorize any of the above signatories for U.S. construction matters; any Assistant Secretary and any Assistant Treasurer of the Company; and any attorney holding the title of Counsel and practicing in the U.S. Legal Practice Group, to attest to the signatures on any documents that have been executed pursuant to the foregoing resolutions (except that no individual may attest to his or her own signature).

I further authorize any of the above signatories for U.S. construction matters to also sign governmental permit and zoning applications and forms for construction projects undertaken by the Company in his or her respective geographical area of responsibility.

McDONALD'S CORPORATION CERTIFICATE OF ASSISTANT SECRETARY

I, Mahrukh S. Hussain, an officer of McDonald's Corporation, a corporation organized under the laws of the State of Delaware (the "Company"), certify as follows, as of the date hereof:

- 1. I am the duly appointed, qualified and acting Corporate Vice President, U.S. General Counsel and Assistant Secretary of the Company;
- 2. The Board of Directors of the Company duly adopted the McDonald's Corporation Corporate Governance Policy Regarding Authorizations, as amended, on May 24, 2018 (the "Authorization Policy"), that authorized the Chief Executive Officer to delegate signature authority for documents required in connection with construction projects to appropriate officers and employees of the Company, as part of the day-to-day operation of the business; and
- 3. Attached as <u>Exhibit A</u> is a true, complete and correct copy of the CEO Authorization of Signature Authority for U.S. Construction Projects, approved and executed by Stephen J. Easterbrook, President and Chief Executive Officer of the Company, on June 4, 2019, pursuant to the Authorization Policy. The Authorization Policy and the CEO Authorization of Signature Authority for U.S. Construction Projects have not been amended, modified, or rescinded in any way and remain in full force and effect.

IN WITNESS WHEREOF, I have hereunto set my hand on this 16 day of Softward, 2019.

Mahrukh S. Hussain Corporate Vice President, U.S. General Counsel and Assistant Secretary I further authorize each Area Construction Manager of McD USA to also sign governmental permit and zoning applications and forms for construction projects undertaken by the Company in his or her respective geographical area of responsibility provided, however, that the authority granted to the Area Construction Manager will not apply to permits, applications or forms that include indemnity provisions, provisions that bind the Company to future obligations or that take away any of the Company's existing rights.

The above authorizations supersede and replace the Authorization of Signature Authority for documents required in connection with construction projects undertaken by the Company, approved and executed by the President and Chief Executive Officer of the Company on July 27, 2016, and all actions taken by the persons duly authorized therein and in conformity therewith are in all respects confirmed, adopted and ratified as the valid and subsisting acts of this Company, having full force and effect from and after the dates thereof.

Effective as of June 4, 2019.

I direct that Jeffrey J. Pochowicz, Corporate Assistant Secretary, file this delegation of authority with the corporate records of the Company.

<u>/s/ Stephen J. Easterbrook</u> Stephen J. Easterbrook President and Chief Executive Officer

State of Delaware Office of the Secretary of State

PAGE 1

I, EDWARD J. FREEL, SECRETARY OF STATE OF THE STATE OF DELAWARE, DO HEREBY CERTIFY THE ATTACHED IS A TRUE AND CORRECT COPY OF THE CERTIFICATE OF OWNERSHIP, WHICH MERGES:

"FRANCHISE REALTY CORPORATION", A INDIANA CORPORATION,

"FRANCHISE REALTY INTERSTATE CORPORATION", A ILLINOIS CORPORATION,

"GOLDEN ARCH REALTY CORPORATION", A DELAWARE CORPORATION,

WITH AND INTO "MCDONALD'S CORPORATION" UNDER THE NAME OF "MCDONALD'S CORPORATION", A CORPORATION ORGANIZED AND EXISTING UNDER THE LAWS OF THE STATE OF DELAWARE, AS RECEIVED AND FILED IN THIS OFFICE THE TWENTY-FIRST DAY OF DECEMBER, A.D. 1979, AT 10 O'CLOCK A.M.



Edward J. Freel, Secretary of State

AUTHENTICATION: DATE: **8672450** 09-26-97

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CERTIFICATE OF OWNERSHIP AND MERGER

MERGING

FRANCHISE REALTY CORPORATION,

GOLDEN ARCH REALTY CORPORATION,

AND

FRANCHISE REALTY INTERSTATE CORPORATION

INTO

MCDONALD'S CORPORATION

(Pursuant to Section 253 of the General Corporation Law of Delaware) McDONALD'S CORPORATION, a corporation organized and exist-

ing under the laws of Delaware,

DOES HEREBY CERTIFY:

FIRST: That this corporation was incorporated on the 21st day of December, 1964, pursuant to the provisions of the General Corporation Law of the State of Delaware.

SECOND: That this corporation owns 100% of the capital stock of 1) Franchise Realty Corporation, a corporation incorporated on the 31st day of January, 1958 pursuant to the provisions of the General Corporation Act of the State of Indiana, 2) Golden Arch Realty Corporation, a corporation incorporated on the 30th day of August, 1967, pursuant to the provisions of the General Corporation Law of the State of Delaware, and 3) Franchise Realty Interstate Corporation, a corporation incorporated on the 14th day of December, 1960, pursuant to the Business Corporation Act of the State of 111inois.

THIRD: That this corporation, by the following resolutions of its Board of Directors, duly adopted at a meeting held on December 11, 1979, filed with the minutes of the Board, determined to merge into itself said Franchise Realty Corporation, Golden Arch Realty Corporation and Franchise Realty Interstate Corporation:

WHEREAS, at its regular meeting held on October 13, 1978, this Board authorized the merger of nine of its subsidiaries into itself; and

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WHEREAS, it is now deemed advisable and in the best interests of this Corporation that the mergers of certain of the aforementioned subsidiaries be accomplished in the manner set forth in the "Plan of Merger" ... presented to the Board at this meeting;

NOW, THEREFORE, BE IT RESOLVED, That:

(1) The merger of Franchise Realty Interstate Corporation (an Illinois corporation), Franchise Realty Corporation (an Indiana corporation) and Golden Arch Realty Corporation (a Delaware corporation) into this Corporation is hereby approved and authorized and the Plan of Merger presented to this meeting is approved and adopted, substantially in the form presented to this meeting with such changes therein as Richard J. Boylan, Senior Executive Vice President, and Donald P. Horwitz, Executive Vice President, (the "Appropriate Officers") deem necessary and proper. The Appropriate Officers, or either of them, and Robert B. Ryan, Vice President and Assistant Secretary, and Burton D. Cohen, Assistant Vice President and Assistant Secretary, (the "Attesting Officers") or either of them, are hereby authorized, empowered and directed in the name and on behalf of this Corporation and under its seal to execute said Plan and to cause the same to be filed in the offices of the Secretaries of State of Delaware, Illinois and Indiana.

(3) The Appropriate Officers and the Attesting Officers are hereby authorized and directed to execute, in the name and on behalf of this Corporation and under its corporate seal or otherwise, and to deliver any and all agreements, certificates, applications, or other instruments and to take from time to time any and all such other action necessary or desirable to carry out the purposes of the foregoing resolutions.

IN WITNESS WHEREOF, said McDONALD'S CORPORATION has caused this certificate to be signed by Donald P. Horwitz, its Executive Vice President and attested by Burton D. Cohen, its Assistant Secretary, this <u>14th</u> day of <u>December</u>, 1979.

MCDONALD'S CORPORATION 1200 Vice President Executive

ATTEST: Secretary Assistant

PLAN OF MERGER

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PLAN OF MERGER made this <u>14th</u> day of <u>December</u>, 19<u>79</u>, by and between McDONALD'S CORPORATION, a Delaware corporation, hereinafter called the "Surviving Corporation", and FRANCHISE REALTY CORPORATION, an Indiana corporation; FRANCHISE REALTY INTERSTATE CORPORATION, an Illinois corporation; and GOLDEN ARCH REALTY CORPORATION, a Delaware corporation, hereinafter called the "Merging Corporations".

The Surviving Corporation owns all of the outstanding stock of the Merging Corporations and such corporations are desirous of simplifying their business procedures, bookkeeping and administrative structure and of eliminating duplicative functions.

FIRST: The Merging Corporations shall merge into the Surviving Corporation and upon the effective date of such merger, as hereinafter specified, the Merging Corporations shall cease to exist and shall no longer exercise their powers, privileges and franchises subject to the laws of the States of their incorporation.

The Surviving Corporation shall succeed without further act or deed, to all the property, rights, privileges, franchises, patents, trademarks, licenses, registrations and other assets of every kind and description of the Merging Corporations, and shall assume and be liable for all of the debts and liabilities, if any, of the Merging Corporations.

SECOND: This merger shall become effective on January 1, 1980, at 12:01 a.m., except in the State of Illinois. In Illinois, January 1, 1980, at 12:01 a.m., shall be the effective date of the merger for accounting purposes only.

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THIRD: Franchise Realty Corporation and Franchise Realty Interstate Corporation each have a capitalization of 100 shares of Common Stock, without par value, of which 100 shares are issued and outstanding. Golden Arch Realty Corporation has a capitalization of 5,000 shares of common stock, without par value, of which 952 shares are issued and outstanding.

The shares of the Merging Corporations shall not be converted into shares of the Surviving Corporation, but shall be cancelled and the authorized capital stock of the Surviving Corporation shall not be changed, but shall be and remain the same as before the merger.

FOURTH: The State of incorporation of the Surviving Corporation is and will remain the State of Delaware. The Certificate of Incorporation of the Surviving Corporation, as heretofore amended and as in effect on the date of the merger hereinabove specified, shall continue in full force and effect as the Certificate of Incorporation of the corporation surviving this merger.

FIFTH: The by-laws of the Surviving Corporation as they shall exist on the effective date of this merger shall be and remain the by-laws of the corporation surviving this merger until the same shall be altered, amended or repealed as therein provided.

SIXTH: The directors and officers of the Surviving Corporation shall continue in office until the next annual meeting of stockholders and until their successors shall have been elected and gualified.

SEVENTH: The Merging Corporations and the Surviving Corporation shall take, or cause to be taken, all action, or do or

-2-

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cause to be done, all things necessary, proper or advisable under the laws of the State of Delaware, and the laws of the States of incorporation of the Merging Corporations, to consummate and make effective the merger.

This Plan has been duly authorized by the respective Boards of Directors of the Surviving Corporation, in accordance with the laws of the State of Delaware, and of the Merging Corporations, in accordance with the laws of the States of incorporation of the Merging Corporations, and is signed and sealed by the duly authorized officers of each corporation as of the day and year first written above.

Sécretary Assistant

MCDONALD'S CORPORATION

stant Secretary

FRANCHISE REALTY CORPORATION Presiden

FRANCHISE REALTY INTERSTATE CORPORATION By Ann Vice President

GOLDEN ARCH REALTY CORPORATION By ice President

ATTEST: By Assistant Secretary

ATTEST

Secretary



W. 1131 INCE 605

State of DELAWARE

J. Glenn C. Kenton Secretary of State of the State of Delaware, In hereby certify that the above and foregoing is a true and correct copy of Certificate of Ownership of the "McDONALD'S CORPORATION", a corporation organized and existing under the laws of the State of Delaware, merging "FRANCHISE REALTY CORFORATION", a corporation organized and existing under the laws of the State of Indiana, "GOLDEN ARCH REALTY CORPORATION", a corporation organized and existing under the laws of the State of Delaware and "FRANCHISE REALTY INTERSTATE CORPORATION", a corporation organized and existing under the laws of the State of Illinois, pursuant to Section 253 of the General Corporation Law of the Delaware, as received and filed in this office the twenty-first day of December, A.D. 1979, at 10 o'clock A.M.

> In Testimony Whereof, I have hereunto set my hand and official seal at Dover this <u>twenty-first</u> day of <u>December</u> in the year of our Lord are thousand nine hundred and <u>seventy-nine</u>.



RECEIVED FOR RECORD

DEC 21 1979

LEO J. DUGAN, Jr., Recorder -

Glenn C. Kenton, Secretary of State

STATEMENT OF JUSTIFICATION McDonald's Landover DSP-19060

APPLICANT:	McDonald's Corp 6301 Rockledge Drive, Suite 1100 Bethesda, MD 20817
CORRESONDENT:	Daniel F. Lynch, Esq. McNamee Hosea 6411 Ivy Lane, Suite 200 Greenbelt, Maryland 20770 (301) 441-2420 Voice (301) 982-9450 Fax <u>dlynch@mhlawyers.com</u>
REQUEST:	Detailed Site Plan in accordance with Sections 27-548.25 and 27-285(b) the Zoning Ordinance and amendments to the District Development Standards in accordance with Section 27-548.26(b) of the Zoning Ordinance.

I. <u>DESCRIPTION OF PROPERTY</u>

- 1. Addresses 8710 Central Avenue, Hyattsville, Maryland 20785
- 2. Proposed and Use –Eating and drinking establishment with drive-through service
- 3. Election District 113
- 4. Lots 11, 12, 13 and 14
- 5. Total Area 1.17 acres
- 6. Tax Map 67/C4
- 7. Location Located on the north side of Central Avenue at its intersection with Brightseat Road
- 8. Zoned M-U-I (with DDOZ overlay)
- 9. Owners McDonald's Corp

- 10. Zoning Map -210NE08
- 11. Incorporated Area None

II. <u>NATURE OF REQUEST</u>

The applicant is proposing to raze and rebuild the existing McDonald's restaurant with a new and modern restaurant. The applicant is proposing a 4,540 square foot store with 69 seats. There will be 48 parking spaces located to the north and west of the restaurant building. A dual ordering point drive-through is being provided. The applicant is also providing an outdoor dining area that have a pedestrian connection to the existing sidewalk located along Central Avenue. The applicant is also provide a decorative fence along its street frontage. The decorative columns associated with this fence will incorporate brick to match the brick used in the restaurant building.

The subject property is currently accessed via two right-in/right-out driveways on Central Avenue and one right-in/right-out access drive on Brightseat Road. As shown on the Detailed Site Plan, the applicant is proposing to maintain one access driveway on Central Avenue and one access driveway on Brightseat Road. One access driveway on Central will be closed.

II. PROCEDURAL HISTORY

The McDonald's restaurant was established as a permitted eating and drinking establishment in the C-O Zone. Subsequent to its establishment, the Zoning Ordinance was amended to define fast food restaurants and to further provide that fast food restaurants would not be permitted in the C-O Zone. The McDonald's restaurant use was certified as non-conforming in 1987. Special Exception SE-3805 was approved for the purpose of permitting an alteration of the nonconforming use on the property. As part of that approval, the applicant was permitted to add a drive-through cashier window, increase seating, add a vestibule and increase parking. SE-3805 was approved by the Zoning Hearing Examiner on December 21, 1987. On June 2, 1994, the Planning Board approved ROSP-3805 and VSE-3805 for the purpose of addressing the impact of the widening of Central Avenue on the required 10 foot setback and 4.2 landscape strip. As demonstrated on the existing conditions plan, the site has been developed in conformance with SE-3805 and the subsequent revision. The existing restaurant is contains 150 seats and is serviced by 69 parking spaces.

III. <u>CRITERIA FOR APPROVAL</u>

Section 27-285. Planning Board Procedures.

(b) Required findings.

(1) The Planning Board may approve a Detailed Site Plan if it finds that the plan represents a reasonable alternative for satisfying the site design guidelines, without requiring unreasonable costs and without detracting substantially from the utility of the proposed development for its intended use;

COMMENT: The plan does represent a reasonable alternative for satisfying the site design guidelines. The site design guidelines are found in the Sector Plan, the intent of which is to regulate the design and character of the Central Avenue focal area. The intent of these standards and guidelines is to ensure the creation of vibrant urban neighborhoods with the focal areas.

IV. M-U-I/D-D-O ZONE REQUIREMENTS

In approving a detailed site plan in the DDOZ, Section 27-548.25(b) provides that the Planning Board shall find that the site plan meets applicable Development District Standards. In addition, Section 27-548(c) provides that if the applicant so requests, the Planning Board may apply development standards, which differ from the Development District Standards, most, recently approved or amended by the District Council, unless the Sectional Map Amendment text specifically provides otherwise. The Planning Board shall find that the alternate Development District Standards will benefit the development and the Development District and will not substantially impair implementation of the Master Plan, Master Plan Amendment, or Sector Plan.

The eating and drinking establishment with drive-through service was in operation on the subject property on March 2, 2010, the date of the adoption of the *Subregion 4 Master Plan and Sectional Map Amendment*, and the use is therefore a legal nonconforming use.

7. Nonconforming buildings, structures, and uses. Restoration or reconstruction of a nonconforming building or structure, or a certified non-conforming use, is exempt from the development district standards and from site plan review if it meets the requirements of Section 27-243(a)(1) of the Zoning Ordinance.

Except for improvements listed in "8. General", below, a property may not expand a certified nonconforming use or a use or a structure that was lawful on the date of the SMA approval but does not conform to the development district standards, unless a detailed site plan is approved with findings that the expansion is compatible with adjacent uses and meets the goals of the master plan.

"8" provides:

8. General. The following are exempt from the development district standards and site plan review if the existing or proposed use is permitted:

a. Permits for alternation or rehabilitation, with no increase of the existing gross floor area b. Canopies

c. Fences of six feet in height or less for rear and side yards and made of wood or masonry (not concrete block) are exempt

- d. Decks e. Ordinary maintenance
- f. Changes in occupancy
- g. Changes in ownership

The proposed redevelopment as outlined in Section II above exceeds the improvements set forth in "8" and therefore detailed site plan approval is required. In addition, once the structure is removed from the subject property and the use ceases to operate, the applicant will have 180 days to complete construction and reoccupy the property before the nonconforming use status is relinquished under Section 27-241 of the Zoning Ordinance.

As noted above, in approving a detailed site plan in the DDOZ, Section 27-548.25(b) provides that the Planning Board shall find that the site plan meets applicable Development District Standards. In addition, Section 27-548(c) provides that if the applicant so requests, the Planning Board may apply development standards, which differ from the Development District Standards

Sheets 310 and 311 of the Detailed Site Plan contain a compliance chart relative to the District Development Standards. The applicant complies with those standards (See full analysis attached hereto as Exhibit A) except as noted below:

General Site Standards and Guidelines

Build-to line—The build-to line is the line to which buildings are required to be built on a lot (no setback is permitted from it, except as noted in the guidelines). Consequently, multifamily, mixed-use, and nonresidential buildings, located within the DDOZ areas, must be located along a continuous street wall defined by the build-to line (see the residential, commercial, and industrial sections of the Building Envelope Standards for specific standards)

COMMENT: The build-to line along Central Avenue is 18 feet from the back of curb. The proposed restaurant building is set back 28 feet from the back of curb. The applicant requests an amendment to the build-to line development standard.

Mixed-Use, Commercial and Institutional Types

Build-to Line – 18 ft. from back of curb Frontage Occupancy -80% minimum

COMMENT: The build-to line for commercial uses is 18 feet. The proposed McDonald's building is set back 28 feet from back of curb due to drive-thru width and bypass lane.

The applicant explored a number of options to the site layout, but due to the layout of the proposed building as well as McDonald's standards relative to internal traffic flow and drive-through queuing, it is unable meet the build-to line requirement. For example, the applicant did explore locating the drive-through on the interior side of the building, but layout would require passenger side pick up at the drive through window. In addition, if the building is rotated with the front facing Central Avenue, the applicant would be prevented from providing 360 degree vehicular circulation and would also be prevented from providing an adequate queening area for the drive-through. It is necessary to the operation of the drive-through component that a bypass lane be provided adjacent to the drive-through lane. This bypass lane not only allows for the free flow of vehicles in a one-way direction around the site, but also allows vehicles to exit the drive-through lane. As an alternative, the applicant is proposing an outdoor dining area along the east side of the building. The applicant is also proposing a pedestrian connection between that eating area and the sidewalk along Central Avenue. The applicant believes that this outdoor eating area and pedestrian connection will create an attractive, lively and inviting pedestrian friendly environment. The applicant believes that this alternative to the District Development Standards will be a benefit to this development since it will address underlying limitation of the drive-through use and provide for a safe circulation pattern throughout the site. The applicant also contends that the outdoor eating area and pedestrian connection implement the District Development Plan's intent by creating a public space on the property and also creating a more pedestrian friendly environment than exists today and therefore in compliance with the overall intent of this standard.

As to the frontage occupancy of 80%, the proposed building occupies 34% of the property frontage on Central Avenue and the applicant is requesting an amendment to this standard. The subject property is very wide for a single retail use and compliance with this standard for a single retail use is not feasible. In order to create a larger presence along the street frontage, the applicant is proposing a fence and decorative posts along its frontage. The applicant believes that this fence will create a decorative street wall and will improve the overall aesthetics of this site and make the street frontage along Central Avenue more pedestrian friendly.

Street Type Standards

Typical Primary Mixed Use Street

Sidewalk

- 1. Six foot tree pit area
- 2. Four to six foot clear walkway
- 3. Eight foot door yard

COMMENT: The 6-foot wide tree boxes along both Central Avenue and Brightseat Road are not viable given that there are underground telecommunication utilities located 4.5 feet from the curb in these areas. In addition, there are overhead wires located 6 to 7

feet from the curb. These existing conditions inhibit the applicant's ability to comply with this standard and therefore the applicant is requesting an amendment to allow the existing conditions (5 foot sidewalk and 5 foot grass strip) to remain in place. The applicant is proposing to add a 10 foot landscape strip between the grass strip and proposed drive aisle so as to screen the proposed drive-through from the street. The applicant is also proposing to construct a decorative fence in the landscape strip. As noted above, the applicant is also proposing to install a decorative fence within that landscape strip area to create a street wall. The applicant believes that the streetscape proposed for this property will not only create a pedestrian friendly environment but will be an attractive addition to this area of Central Avenue.

Architectural Standards and Guidelines

A. General Architectural Framework

2. Buildings shall be sited to reinforce the build-to line and define the street wall. Buildings shall shift in massing and have variations in height, profile, and roof form, while maintaining the formal relationship of building placement to the public street frontage.

COMMENT: Again, the applicant is requesting an amendment to this standard since it requires an 18-foot build-to line. The applicant has located the building as close to Central Avenue as feasible given the nature of the use and the applicant's design requirements. The applicant is proposing a fence along its frontage to help create the street wall and is also proposing an outdoor eating area with a pedestrian connection to the sidewalk along Central Avenue. Not only will this combination create visual interest at this corner but will help activate a pedestrian friendly environment by creating a pedestrian gathering place at this very busy intersection along Central Avenue.

Overall, the applicant believes that the Detailed Site Plan and the amendments to the District Development Standard requested herein comply with the Policy and Goals of the Subregion 4 Sector Plan. The subject property is located is located in Opportunity Site 3 and the goals and policies of that opportunity site are as follows:

Goals

- Determine the best mix of land uses, densities, and development/design features needed to create a unique sense of place for the established communities of Zone 1 and Subregion 4.
- Develop a hierarchy of commercial-serving areas that balance the needs of residents, transit riders, and regional traffic.
- Reinforce the sustainability of existing communities by promoting commercial mixed-use development and public realm improvements that

enhance the quality of life for residents and people in the immediate surrounding area.

- Establish a higher design standard for commercial development and a wider variety and higher-quality businesses throughout the area.
- Attract higher quality, desirable uses to the area that meet current community needs or provide new opportunities for the area.
- Reinforce and strengthen connectivity between living and commercial areas and centers.
- Provide the necessary infrastructure to enhance the pedestrian environment.

Policies

1 Develop a new character and image for Central Avenue that is inviting to pedestrians.

- Provide infill and redevelopment opportunities on Central Avenue that create a coherent street image.
- Create development standards that promote new urbanist principles and encourage new infill to occur closer to and consistently along the buildto line.
- Provide for streetscape improvements that promote a pedestrian-friendly environment.

2 Improve pedestrian circulation and create an appealing streetscape character.

- Design and install cohesive and visually interesting sidewalk paving patterns and include site furnishings, lighting, and plantings that invite pedestrians.
- Develop and promote "green street" design standards.
- Establish and enforce higher maintenance standards.
- Create and enforce unified sign design standards for existing and new businesses.

The redevelopment of the McDonald's restaurant on the subject property is consistent with the Goals and Policies of the District Development Plan. The applicant is proposing to improve the pedestrian system along its Central Avenue and Brightseat Road frontages by providing additional trees in the tree pit area and by providing a 10' landscape strip and decorative fencing between the sidewalk and its internal drive aisle. In addition, the applicant is proposing an outdoor eating area and a pedestrian connection from Central Avenue in order to activate the corner of Central and Brightseat Road. In addition, the revised layout proposes the closure of one access driveway onto Central Avenue which will not only reduce the opportunity for pedestrian and vehicular conflicts but from an aesthetic standpoint, allow for additional improvements to the streetscape.

27-546.19 (c) Site Plans for Mixed Uses.

In addition to the specific District Development Standards, a Detailed Site Plan may not be approved unless the owner shows:

(1) The site plan meets all approval requirements in Part 3, Division 9;

COMMENT: As noted above, this Detailed Site Plan complies with the approval requirements set forth in Part 3, Division 9.

(2) All proposed uses meet applicable development standards approved with the Master Plan, Sector Plan, Transit District Development Plan, or other applicable plan;

COMMENT: The applicant is requesting amendments to the District Development Standards in conformance with Section 27-548(c) of the Zoning Ordinance.

(3) Proposed uses on the property will be compatible with one another;

COMMENT: The applicant is not proposing a mix of uses on the property and therefore this criterion is not applicable.

(4) Proposed uses will be compatible with existing or approved future development on adjacent properties and an applicable Transit or Development District; and

COMMENT: The subject property adjoins single-family residential to the north and an office use to west. The McDonald's restaurant has been operated from the property for approximately 40 years without any apparent impact on the surrounding uses. The applicant is proposing to bring the site into compliance with not only current retail standards, but also into compliance with local, state and federal regulations that were not in place at the time this restaurant was first established, such as stormwater management. Although the applicant is increasing the square footage of the building, the increase is only 178 square feet and will have little or no impact on the singlefamily homes on the adjoining properties. On the other hand, the applicant is proposing to reduce the number of access driveways on Central Avenue, improve the overall flow of the drive-through component, increase the amount of landscaping located along the northern property line (where it adjoins the residential uses) and provide a decorative streetscape that will improve the overall appearance of the property. The applicant therefore contends that the development as proposed in this detailed site plan will be compatible with the existing and future development in the DDOZ.

- (5) Compatibility standards and practices set forth below will be followed, or the owner shows why they should not be applied:
 - (A) Proposed buildings should be compatible in size, height, and massing to buildings on adjacent properties;

COMMENT: The applicant is proposing a one story, 4,540 square foot building, 178 square feet larger than the existing building on the property. This building is located 80 feet from the northern property line that adjoins the single-family residential dwellings and 28 feet from the property line on Central Avenue. The office building to the west is located approximately 64 feet from the northern property line and 26 feet from the southern property line on Central Avenue. The proposed layout of the McDonald's restaurant building is similar to that which occurs on the property to the west and given the fact that the building will be located, _____ feet further away from the residential properties, it should be more compatible that the existing conditions.

(B) Primary facades and entries should face adjacent streets or public walkways and be connected by on-site walkways, so pedestrians may avoid crossing parking lots and driveways;

COMMENT: The front entrance to the building faces Brightseat Road. The applicant is proposing a seating area that will be located between the front entrance and Brightseat Road. In addition, the applicant is proposing a pedestrian connection leading from this seating area to Central Avenue. The crossing area will be constructed of decorative pavers that will visually help direct pedestrian traffic.

(C) Site design should minimize glare, light, and other visual intrusions into and impacts on yards, open areas, and building facades on adjacent properties;

COMMENT: The applicant is enhancing the landscape buffer located along the northern property line where it adjoins the single-family residential homes. The buffer will also contain a 6-foot high fence that will provide additional screening of this retail commercial. Vehicles entering and located in the drive-through queuing area will be facing south and east away from the single-family residential homes. In other words, the vehicle headlights will be directed away from the residential structures. The applicant is also proposing to install lighting in the parking area that is designed to address the lighting needs of the operation and provide for a safe environment for its customers while not spilling off site onto the adjoining properties.

(D) Building materials and color should be similar to materials and color on adjacent properties and in the surrounding neighborhoods, or building design should incorporate scaling, architectural detailing, or similar techniques to enhance compatibility;

COMMENT: The surrounding area is development with eclectic styles of buildings, materials and colors. There is no specific architectural trend or building material that seems to have been established in the community. The applicant is proposing a McDonald's restaurant building that is a standard example of one of the franchise's newer architectural models and has a contemporary appearance. The design is of a onestory, hardie plank and brick veneer building with a flat roof. The building is finished predominantly with hardie plank. Brick veneer is proposed mostly in the water table along the base of the building. Decorative aluminum battans are located in each corner of the building The dining room and main entrance areas oriented towards the intersection of Landover Road and Brightseat Road. Metal canopies are proposed above the dining room windows.

(E) Outdoor storage areas and mechanical equipment should be located and screened to minimize visibility from adjacent properties and public streets;

COMMENT: The applicant is not proposing outdoor storage areas and the mechanical equipment will be located on the roof of the proposed building and screened by the parapet.

(F) Signs should conform to applicable Development District Standards or to those in Part 12, unless the owner shows that its proposed signage program meets goals and objectives in applicable plans; and

COMMENT: The TDDP provides:

Guidelines Intent Appropriately sized and placed signage shall enhance and contribute to the architectural character of buildings within the DDOZ.

A. General

1. Building signs shall be constructed of quality materials. Only essential information, such as the name, business type, company logo, street address, phone number, and hours of operation of the business or retail establishment may be displayed on the front of the building.

2. The placement of signs shall be integrated into the overall architectural design of the building. The materials, color, style, and size of a sign shall be coordinated with the architectural features of the building.

The applicant is proposing to maintain the existing freestanding sign located at the corner of Landover Road and Brighseat Road. In addition, the applicant is proposing 60.6 square feet of building mounted signage which consists of 3 "Golden Arch" logos (14 square feet in size) and one "McDonald's" logo (18.6 square feet in size). The applicant believes this signage is appropriate in size and compliments the building architecture rather.

- (G) The owner or operator should minimize adverse impacts on adjacent properties and the surrounding neighborhood by appropriate setting of:
 - (i) Hours of operation or deliveries;
 - (ii) Location of activities with potential adverse impacts;
 - (iii) Location and use of trash receptacles;
 - (iv) Location of loading and delivery spaces;
 - (v) Light intensity and hours of illumination; and
 - (vi) Location and use of outdoor vending machines.

COMMENT: The applicant has designed the site to minimize adverse impacts while addressing this retail operation. As indicated above, the drive-through component of the use is designed to minimize the impact on the adjoining residential community. In addition, it has been designed to provide a queuing area that is sufficient in size so that it does not affect the access driveways to the property. The loading area will be located more than 50 'from the residential properties and the trash corral is located adjacent to the commercial office use as opposed to the residential properties. Overall, the applicant has designed this site to address its needs while at the same time minimizing the impact on the surrounding community.

IV. CONCLUSION

The applicant, McDonald's Corp, is seeking approval of this Detailed Site Plan to allow it to reconstruct McDonald's restaurant on the abovementioned property. As part of this application, the McDonald's is requesting amendments to the District Development Standards contained in the Subregion 4 District Development Plan. The applicant believes that this Detailed Site Plan and amendments meet the standards of the approved District Development Plan for Subregion 4 and therefore the applicant respectfully requests approval of DSP-19060.

Respectfully submitted,

MCNAMEE HOSEA

By Daniel F. Lynch

STATEMENT OF JUSTIFICATION McDonald's Landover DSP-19060

APPLICANT:	McDonald's Corp 6301 Rockledge Drive, Suite 1100 Bethesda, MD 20817
CORRESONDENT:	Daniel F. Lynch, Esq. McNamee Hosea 6411 Ivy Lane, Suite 200 Greenbelt, Maryland 20770 (301) 441-2420 Voice (301) 982-9450 Fax <u>dlynch@mhlawyers.com</u>
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- 9. Owners McDonald's Corp
- 10. Zoning Map -210NE08
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II. <u>NATURE OF REQUEST</u>

The applicant is proposing to raze and rebuild the existing McDonald's restaurant with a new and modern restaurant. The applicant is proposing a 4,540 square foot store with 69 seats. There will be 55 parking spaces located to the north and west of the restaurant building. A dual ordering point drive-through is being provided. The applicant is also providing an outdoor dining area that have a pedestrian connection to the existing sidewalk located along Central Avenue. The applicant is also provide a decorative fence along its street frontage. The decorative columns associated with this fence will incorporate brick to match the brick used in the restaurant building.

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- (b) Required findings.
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COMMENT: The build-to line along Central Avenue is 18 feet from the back of curb. The proposed restaurant building is set back 28 feet from the back of curb. The applicant requests an amendment to the build-to line development standard.

Mixed-Use, Commercial and Institutional Types

Build-to Line – 18 ft. from back of curb Frontage Occupancy -80% minimum

COMMENT: The build-to line for commercial uses is 18 feet. The proposed McDonald's building is set back 28 feet from back of curb due to drive-thru width and bypass lane. The applicant explored a number of options to the site layout, but due to the layout of the proposed building as well as McDonald's standards relative to internal traffic flow and drive-through queuing, it is unable meet the build-to line requirement. For example, the applicant did explore locating the drive-through on the interior side of the building, but layout would require passenger side pick up at the drive through window. In addition, if the building is rotated with the front facing Central Avenue, the applicant would be prevented from providing 360 degree vehicular circulation and would also be prevented from providing an adequate queening area for the drive-through. It is necessary to the operation of the drive-through component that a bypass lane be provided adjacent to the drive-through lane. This bypass lane not only allows for the free flow of vehicles in a oneway direction around the site, but also allows vehicles to exit the drive-through lane. As an alternative, the applicant is proposing an outdoor dining area along the east side of the building. The applicant is also proposing a pedestrian connection between that eating area and the sidewalk along Central Avenue. The applicant believes that this outdoor eating area and pedestrian connection will create an attractive, lively and inviting pedestrian friendly environment. The applicant believes that this alternative to the District Development Standards will be a benefit to

this development since it will address underlying limitation of the drive-through use and provide for a safe circulation pattern throughout the site. The applicant also contends that the outdoor eating area and pedestrian connection implement the District Development Plan's intent by creating a public space on the property and also creating a more pedestrian friendly environment than exists today and therefore in compliance with the overall intent of this standard.

As to the frontage occupancy of 80%, the proposed building occupies 34% of the property frontage on Central Avenue and the applicant is requesting an amendment to this standard. The subject property is very wide for a single retail use and compliance with this standard for a single retail use is not feasible. In order to create a larger presence along the street frontage, the applicant is proposing a fence and decorative posts along its frontage. The applicant believes that this fence will create a decorative street wall and will improve the overall aesthetics of this site and make the street frontage along Central Avenue more pedestrian friendly.

Street Type Standards

Typical Primary Mixed Use Street

Sidewalk

- 1. Six foot tree pit area
- 2. Four to six foot clear walkway
- 3. Eight foot door yard

COMMENT: The 6-foot wide tree boxes along both Central Avenue and Brightseat Road are not viable given that there are underground telecommunication utilities located 4.5 feet from the curb in these areas. In addition, there are overhead wires located 6 to 7 feet from the curb. These existing conditions inhibit the applicant's ability to comply with this standard and therefore the applicant is requesting an amendment to allow the existing conditions (5 foot sidewalk and 5 foot grass strip) to remain in place. The applicant is proposing to add a 10 foot landscape strip between the grass strip and proposed drive aisle so as to screen the proposed drive-through from the street. The applicant is also proposing to construct a decorative fence in the landscape strip. As noted above, the applicant is also proposing to install a decorative fence within that landscape strip area to create a street wall. The applicant believes that the streetscape proposed for this property will not only create a pedestrian friendly environment but will be an attractive addition to this area of Central Avenue.

Architectural Standards and Guidelines

A. General Architectural Framework

2. Buildings shall be sited to reinforce the build-to line and define the street wall. Buildings shall shift in massing and have variations in height, profile, and roof form, while maintaining the formal relationship of building placement to the public street frontage. COMMENT: Again, the applicant is requesting an amendment to this standard since it requires an 18-foot build-to line. The applicant has located the building as close to Central Avenue as feasible given the nature of the use and the applicant's design requirements. The applicant is proposing a fence along its frontage to help create the street wall and is also proposing an outdoor eating area with a pedestrian connection to the sidewalk along Central Avenue. Not only will this combination create visual interest at this corner but will help activate a pedestrian friendly environment by creating a pedestrian gathering place at this very busy intersection along Central Avenue.

IV. CONCLUSION

The applicant, McDonald's Corp, is seeking approval of this Detailed Site Plan to allow it to reconstruct McDonald's restaurant on the abovementioned property. As part of this application, the McDonald's is requesting amendments to the District Development Standards contained in the Subregion 4 District Development Plan. The applicant believes that this Detailed Site Plan and amendments meet the standards of the approved District Development Plan for Subregion 4 and therefore the applicant respectfully requests approval of DSP-19060.

Respectfully submitted,

MCNAMEE HØSEA By: Daniel F. Lynch

Development District Standard	Comply? Y/N	Alternative Standard/Comments
General Site Standards and Guidelines	1	
1. Building Orientation: The main entrance to a building must face the street. Buildings facing public plazas, parks, or open spaces must also have their main entrance oriented toward the public space.	Yes	
2. Build-to Line: The build-to line is the line to which buildings are required to be built on a lot (no setback is permitted from it, except as noted in the guidelines). Consequently, multifamily, mixed-use, and nonresidential buildings, located within the DDOZ areas, must be located along a continuous street wall defined by the build-to line (see the residential, commercial, and industrial sections of the Building Envelope Standards for specific standards).	No	Build-to line for commercial use is 18'. Building sits at 28' from back of curb due to drive-thru width.
3. Dooryard: The area between the public right-of-way and the build-to line is the dooryard area. The dooryard area commonly contains landscaping, building encroachments, fencing, and street furniture that helps to define a streetscape outside of the right-of-way. Each property within the residential, commercial, and industrial areas of the subregion should have a combination of the elements described above in order to ensure a lively streetscape.	Yes	
4. Encroachments: Stoops, porches, bay windows, trim, eaves, arcades, balconies, chimneys, awnings, signs, and other architectural embellishments may encroach beyond the build-to line, so long as clear pedestrian passage through the public space is not impeded (see the residential, commercial, and industrial sections for specific standards of the Building Envelope Standards and Architectural Standards and Guidelines).	Yes	
5. Frontage Occupancy: In order to ensure that buildings spatially define streets and the public realm but still allow for building articulation, a percentage of a primary building façade must be located on the build-to line. A portion of a building façade may step back two feet from the build-to line and still count toward the frontage occupancy, so long as portions of the facade are placed on the build-to line.	No	Build-to line for commercial use is 18'. Building sits at 28' from back of curb due to drive-thru width
 Lead Walks: Paved walkways connecting building entry ways and courtyards to a public sidewalk must be at least four feet in width. 	Yes	
7. Off-Street Parking: Surface parking lots and structures must be provided to satisfy parking demand. However, off-street parking, to the extent possible, should be strategically located either behind buildings or behind a masonry wall attached to a primary façade to minimize its visual impact on the urban environment. Service drives with drop offs and parallel parking may be allowed if room is available and as long as they do not interfere with clear pedestrian passage along the public space.	Yes	
 Primary Façade: All façades (including the front and side elevations on a corner lot) parallel to or clearly visible from a street must be treated as a primary elevation. 	Yes	
 Secondary Façade: A façade, which does not directly face a street or public plaza, park, or open space shall be considered a secondary façade. Secondary facades must be articulated and must not have long expanses of blank wall. 		
10. Sidewalks: Public sidewalks shall be at least four feet in width to allow for clear pedestrian passage.	Yes	

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	11. Utility Connections and Service Areas: Site utility structures and service areas, such as trash enclosures, should not be visible from the streets. If these features must be placed near the public street or other spaces, they shall be screened from direct public view.	Yes	
Building Types:	Standards for Mixed-Use, Commercial, and Institutional		
	A. BUILDING HEIGHTS		

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Principal Building: 4 Stories max. (60 ft.)	Yes	
Accessory Building: 2 Stories max. (25 ft.)	N/A	No accessory building
Ground Floor: 14 ft. min.	Yes	
Upper Floor(s): 8 ft. min.	N/A	No upper floors
B. LOT DIMENSIONS		
Lot Width: 30 ft. min.	Yes	
C. LOT OCCUPATION		
Building Lot Coverage: 75 percent max.	Yes	
D1. BUILD-TO LINE AND SETBACKS (CENTRAL AVE)		
D.1 Build-to Line: 18 ft. from the back of curb	No	Building not sited on build-to line.
D.2 Side Setback min./max.: 0 ft./10 ft.	No	
D.3 Rear Setback min./max.: 0 ft./10 ft.	No	
Frontage Occupancy: 80 percent min.	No	Combined lot is too wide to reasonably from 80%. The applicant is proposing 34%.
D2. BUILD-TO LINE AND SETBACKS (BRIGHTSEAT RD)		
D.1 Build-to Line: 18 ft. from the back of curb	No	Building not sited on build-to line.
D.2 Side Setback min./max.: 0 ft./10 ft.	No	
D.3 Rear Setback min./max.: 0 ft./10 ft.	No	
Frontage Occupancy: 80 percent min.	No	Combined lot is too wide to reasonably from 80%. The applicant is proposing 34%.
E. ENCROACHMENTS		
Awnings and Canopies: 4 ft. depth min.	Yes	
Bay Window: 3 ft. max.	Yes	
Balcony: 3 ft. min.	N/A	No balcony.
Other Architectural Elements: Permitted	Yes	
Typical Primary Mixed-Use Street (Central Ave)		
SIDEWALK		
1. 6 foot tree pit area	No	Tree pit not provided
2. 4-6 foot clear walkway	Yes	5 foot sidewalk provided
3. 8-foot dooryard	Yes	5 foot grass strip provided
STREET		
1. 4 travel lanes at 11 ft. each	Yes	
2. 2 bicycle lanes at 4 ft. each	No	
3. 2 parking lanes at 8 ft. each	No	
4. Minimum 12 ft. median (if used)	No	Existing median is 6 ft. wide
Typical Secondary Street (Brightseat Rd) SIDEWALK		
1. 6 ft. tree planting strip	No	
2. 4-6 ft. clear walkway	Yes	
3. 8 ft. dooryard	Yes	
STREET		
1. 4 travel lanes at 11 ft. each	Yes	

2. 2 bicycle lanes at 4 ft. each	No	Insufficient room in ROW to
		construct
3. 2 parking lanes at 8 ft. each	No	Insuffcient room in ROW to
		construct
Typical Tertiary Residential Street	-	
SIDEWALK		
1. 6 ft. tree planting strip	N/A	Project site does not front a tertiary residential street
2. 6 ft. sidewalk	N/A	Project site does not front a tertiary residential street
3. 10 ft. dooryard	N/A	Project site does not front a tertiary residential street
STREET		
1. 2 travel lanes at 11 ft. each	N/A	Project site does not front a tertiary residential street
2. 1 parking lane at 8 ft. each	N/A	Project site does not front a tertiary residential street
Typical Alley or Lane		
ALLEY		
1. 16 ft. paved lane (may accommodate two-way traffic at slow speeds)	N/A	Project site does not front an alley or lane
2. Two aprons at 7 ft. in length	N/A	Project site does not front an alley or lane
3. No parking along the paved lanes.	N/A	Project site does not front an alley or lane
Architectural Standards:		
A. GENERAL ARCHITECTURAL FRAMEWORK		

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1. Where redevelopment occurs within or in close proximity to existing neighborhoods, new construction shall complement style of existing surrounding buildings	Yes	
 Buildings shall be sited to reinforce the build-to line and define the street wall. Buildings shall shift in massing and have variations in height, profile, and roof form, while maintaining the formal relationship of building placement to the public street frontage. 	No	Building not sited on build-to line.
 Encroachments that provide for exterior outdoor living spaces, such as porches, balconies, and/or roof terraces, shall be encouraged. 	Yes	
B. FAÇADE ARTICULATION		
 Buildings shall emphasize first story and primary entrances with pedestrian-friendly architectural features. Structures greater than one-story shall be organized to have a clear base, middle, and cap to the form of the building. 	Yes	
2. Commercial buildings with long façade shall be articulated through some combination of massing, fenestration, building openings, materials, and color.	Yes	
 New residential structures with blank walls exceeding 40 linear feet shall be provided. 	N/A	Non-residential
4. Rear elevations to commercial buildings serve as important secondary entrances to businesses. These rear entrances shall be designed to create an inviting appearance that is recognizable and related to the primary façade of the business in terms of both massing and material.	Yes	
C. MATERIALS		
 Building facades shall be composed of one dominant facing material and one or two additional accent materials 	Yes	

	2. The dominant material should comprise a minimum of 60%		· · · · · · · · · · · · · · · · · · ·
	of any elevation. No building should have more than 3 facing materials in addition to glass.	Yes	
	3. Primary building facades shall be faced with quality materials, such as masonry brick, natural stone, architectural precast stone or concrete, and cementitious clapboard siding	Yes	
	4. Synthetic stucco and aluminum and vinyl siding shall not be permitted as a dominant building material. These materials shall only be permitted on the attached garage area of single- family residences and on side or rear facades not facing a street.	Yes	
	 Reflective glass, unfinished and painted concrete masonry units, and unfinished pressure treated wood products are prohibited 	Yes	
	6. Wood, glass reinforced fiber concrete, synthetic wood products, fiber cement trim materials, and moulded millwork shall be permitted as trim material	Yes	
	D. FENESTRATION		
	COMMERCIAL		
	1. The proportions of windows and alignment and rhythm of windows should replicate the façade design of the immediate surrounding architecture	Yes	
	2. Windows should be primarily rectilinear in shape.	Yes	
	3. Fenestration shall comprise a minimum of 60% of ground story facades of mixed-use, commercial, and institutional building types and a minimum of 30% on the upper stories of these building types.	Yes	
	4. Glazing shall be at least 80% transparent.	Yes	
	RESIDENTIAL		
	1. Windows shall have a vertical proportion	N/A	Non-residential
	2. Fenestration shall comprise a minimum of 30% of a façade area.	N/A	Non-residential
Architect	ural elements		
	AWNINGS/CANOPIES		

1. Awnings shall have a metal structure or metal structure covered with a durable, commercial grade fabric, canvas, or similar material having a matte finish.	Yes	
 If a façade is divided into distinct structural bays, such as masonry piers, awnings shall be placed within the vertical elements, rather than overlap them. 	Yes	
3. Awnings shall not extend more than 6 ft. beyond the face of a building.	Yes	
 Awnings may have a front skirt; however it shall not be scalloped. 	Yes	
5. Awnings shall not be backlit.	Yes	
BALCONIES		
1. Balconies shall be designed to complement the overall building façade and be proportionate to the building's window and door openings.	N/A	No balcony.
 Exposed pressure treated wood balconies shall not be permitted. Wooden balconies shall be painted, stained, or clad with an approved decorative fascia material. 	N/A	No balcony.
COLUMNS AND PIERS		
 Columns and piers break down the massing of buildings and should be considered to define individual storefronts and bays on longer building facades. 	N/A	No columns or piers.
DOORWAYS AND ENTRIES		

1. Main entrance to a building or storefront should be		· · · · · · · · · · · · · · · · · · ·
emphasized with architectural features.	Yes	
Commercial storefront entries may be recessed.	Yes	
 Service entrances to a building shall be located at the rear of a building. 	Yes	
4. Entrances to upper story uses shall be located along the street but should have a secondary character to the main entry.	N/A	No upper story.
DOOR HOODS, PORCHES, AND STOOPS		
 Door hoods, porches, and stoops shall be compatible with the architecture of the building. 	Yes	
2. Porches shall be a minimum of 6 ft. in depth. Stoops shall be a minimum of 4 ft. wide and no greater than 8 ft. in depth.	Yes	
ROOF TREATMENT AND PARAPET WALLS		
1. Roofs may be gabled, hipped, or flat. The particular type of roof on a building should complement its architecture and that of the architecture of the surrounding area	Yes	
2. A minimum roof pitch of 1:2 shall be required for a sloped roof.	Yes	
3. Buildings with flat roofs shall have cornices and the roof shall be enclosed by a parapet wall. The parapet wall must be a minimum of 42 inches high.	Yes	
Dormers, chimneys, and other architectural embellishments, such as cupolas and towers, may extend above the roof line.	Yes	
5. Side gabled roofs with expanses greater than 40 linear feet should be articulated. Articulation may consist of dormers, front gables, cupolas, hipped roofs, or other architectural embellishment.	Yes	
ROOFTOP UTILITIES		
 Visible rooftop utilities are prohibited. All roof mounted equipment shall be screened and painted to blend with the approved roof color. 	Yes	
2. Equipment shall be grouped and arranged in an orderly manner behind one screen.	Yes	
SECURITY GATES ON COMMERCIAL BUILDINGS		
 Exterior security gates or burglar bars on windows and doors are prohibited. Additionally, rolled up security doors shall not be permitted. 	Yes	
 Alternative means of building security including safety glass, lighting, and electronic surveillance should be considered in the place of security bars and roll-up doors over ground floor windows and doors. 	Yes	

 Security screens and doors should be attractive and complement the buildings on which they are installed. 	Yes	
SHUTTERS		
1. The dimension of shutters must fit the dimensions of the window opening to which they are applied.	Yes	
2. Shutters shall be wood, vinyl, or metal.	Yes	
3. The use of shutters and awnings on the same window shall be prohibited.	Yes	
STAIR TOWERS AND FIRE ESCAPES		
 Stair towers or fire escapes shall be allowed only on the side or rear of a building. 	N/A	No upper story.
 Stair towers should be semi-enclosed or enclosed with walls, glass, railings and/or a roof structure and compatible to the main building in proportion, style, and materials. 	N/A	No upper story.
Signage Standards and Guidelines:	•	

	A. General		· · · · · · · · · · · · · · · · · · ·
essen compar	g signs shall be constructed of quality materials. Only tial information, such as the name, business type, ny logo, street address, phone number, and hours of tion of the business or retail establishment may be displayed on the front of the building	Yes	
architecto and size	lacement of signs shall be integrated into the overall ural design of the building. The materials, color, style, of a sign shall be coordinated with the architectural features of the building.	Yes	
of	for multitenant buildings shall be coordinated in terms design, placement, size, materials, and colors.	N/A	Single tenant building.
illuminate	nporary signs, flashing or blinking signs, internally d box signs, roof signs, and billboards are prohibited. er, external lighting of signs and signs consisting of individual characters shall be permitted.	Yes	
	B. Board signs		
above the	lings shall be designed to include a "signage zone" business or retail use. Typically, this zone is located he lintel of the window of the ground level storefront.	Yes	
	siness and/or retail buildings shall have front and/or ntry signage that is oriented toward the pedestrian.	Yes	
3. The tenants	individual tenant signage for buildings with multiple shall be located at approximately the same height to create a unified look.	N/A	Single tenant building.
	C. Window signs		
views in occupy	w signs, including letters and logos, shall not obscure to the business or retail establishment and shall not more than 25% of the total window area in which the sign is located	Yes	
storefror	w signs shall generally be centered within a primary at display window, doorway, or an overhead transom window	Yes	
3. There	shall be a limit of one window sign per ground level building entry	Yes	
	D. BLADE AND BANNER SIGNS		
	e signs shall be no more than 16 sq. ft. in area and bw for an 8 ft. minimum clearance above the finished grade of the sidewalk.	N/A	No blade signs.
in. from the	attached to buildings shall not project more than 40 vertical plane of the wall to which they are attached.	N/A	No blade signs.
3. Blac	e signs shall not be attached to awnings/canopies.	N/A	No blade signs.
storefrom premise more p	ere shall not be more than one blade sign for each nt tenant and upper floor business tenant, unless the is on a corner lot or has public entrances on two or ublic rights-of-way, in which case a set of projecting ay be erected toward the second public right-of-way.	N/A	No blade signs.
	E. AWNING/CANOPY SIGNS		

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1. Awnings/canopies may include logos and/or text. However, they shall not be backlit.	Yes	
F. TENANT DIRECTORY SIGNS		
1. A tenant directory sign limited to 6 ft. in height and 18 sq. ft. per face may be placed immediately adjacent to a building in the rear yard area.	N/A	Single tenant building.

 Information on the signage should be limited to the na and/or address of the building and list of the tenants at t location. 	ame ihat N/A	Single tenant building.
 If used, tenant directory signs must be designed to ref the architectural style of the primary signs of the buildir 		Single tenant building.
G. SPECIALTY SIGNS		
 Specialty signs advertising special events and/or celebrating a holiday shall be allowed, so long as they pro for vehicular and pedestrian clearance. 		
Specialty signs must be affixed to light poles or betwee buildings and must be designed to withstand the element		
3. Specialty signs must be removed when the special eve completed.	ent is Yes	
Landscaping Standards: A. GENERAL		
		. <u> </u>
1. All plants shall conform to the American Standard for Nu Stock as published by the American Associatio Nurserymen	n of Yes	
2. Plans for development shall include separate landsca plans. The landscape plans shall address all land areas lot that are not covered by buildings (including lead walks,		
planting beds, and turf areas). Landscape plans for multifamily mixeduse, commercial, institutional, and industrial uses a be		
developed or approved by a registered landscape archite and drawn based on a site development plan	ect	
3. A plant list shall be included on landscape plans and s specify the plant species (botanical and common name size/caliper, spacing, quantity, construction details (for tr shrubs, evergreens, and street trees), and the method irrigation and illumination.	ees, Yes	
 Plant material should be utilized to provide shade; defoutdoor spaces; screen, buffer, or enhance views, help de entrances; and accentuate individual developments. 	efine Yes	
 Plantings should help mitigate climatic conditions by should help mitigate climatic climatic conditions by should help mitigate climatic climatic climatic climatic climatic climatic climatic climatic climatic clined help mitigate climatic climatic climatic climatic climati	ading Yes	
6. When properties are developed, stands of existing heat trees should be preserved to the greatest practical exter Damaged, decayed, or deceased trees should be remove protect remaining trees.	ent. Ves	
 Landscaping and streetscape amenities, including plan lawns, fencing, and furniture, should be used to distingu public from private space 		
8. For the intent of the industrial screening and bufferir standards and guidelines, the boundary streets shall b referred to as perimeter streets		The property is not located in an Industrial area.
 9. In industrial areas, plants placed along street frontages in buffer yard areas are subject to many adverse conditiand are not likely to receive consistent care. Accordingly, ply varieties that require little maintenance and tolerate with conditions as sun, wind, drought, glareshould be select trees or shrubberies die, they must be replaced with a primaterial similar to the remaining live screening material 	ons lant N/A ith red. If lant	The property is not located in an Industrical area.
B. STREET TREES	Yes	

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 Street trees, which must be of a drought-resistant native species, shall be planted on average a minimum of 35 ft. on center along planting strips or in tree grates of street rights- ofway (Please refer to the <i>Prince George's County Landscape</i> <i>Manual</i> for acceptable street tree species). Where necessary, spacing allowances may be made to accommodate curb cuts, fire hydrants, and other infrastructure elements. However, at no location may the spacing exceed 35 ft. on center. 	Yes	
2. At planting, street trees shall be at least 3 in. in diameter and at least 10 ft. in overall height.	Yes	
C. SHADE AND ORNAMENTAL TREES		
 Shade trees shall be planted a minimum of 1 shade tree per 10 surface parking spaces with a minimum of 2 shade trees per landscaped median strip. 	Yes	
 Surface parking lots shall have no more than 2 bays of parking without a continuous planted median. 	Yes	
3. Two ornamental trees may be substituted for 1 shade tree (or vice versa) in surface parking lots.	Yes	
D. DOORYARD AREA		
 The private frontage area between the public right-of-way and the build-to-line shall be treated in specific ways, depending on the adjacent building type use. 	Yes	
 Mixed-use, commercial, and institutional private frontages shall be composed primarily of hardscape and may have planters and street furniture 	Yes	
3. Private frontages that are primarily residential in character shall be composed of sod, shade, and ornamental trees, planting beds, and some hardscape E. GROUND COVER	N/A	Non-residential
1. A minimum of 15% of green area of a commercial, office, retail, business, or industrial parcel or lot shall consist of planting beds with a shrubs, flowers, or ground cover. For building parcels with large undisturbed areas, this requirement will be based on the disturbed area	Yes	
2. For residential properties, a minimum of 10% of the green area of a lot or parcel shall consist of planting beds with shrubs, flowers, or ground cover.	N/A	Non-residential
F. OPEN SPACE		
1. A minimum of 15% of green area of any residential development site must be dedicated for open space. Preferably, the open space should be located around existing mature trees.	N/A	Non-residential
 Open space requirements should be used to establish natural greenways that protect and restore wetlands, provide habitats, allow for conservation and growth of natural vegetation, and provide opportunity for pedestrian and bicycle pathways. 	Yes	
3. Urban open spaces and pocket parks should be incorporated into the plan. These open spaces shall be planted with shade and flowering trees, evergreen shrubs, and other appropriate landscaping to provide shade, increase air quality, and treat stormwater, as well as add visual interest along streetscapes. C. TRAILS/PATHWAYS	Yes	
1. Trails and pathways shall be provided through naturalized public spaces and common areas that circulate throughout, and connect to the public sidewalks.	N/A	The applicant is not proposing Naturalized public spaces or common areas.

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 Great care shall be given to the placement of trails to that their design will not disturb environmentally s areas. 		The applicant is not proposing any Trails.
H. LANDSCAPE ELEMENTS		
STREETSCAPE ENHANCEMENTS		
 Streetscape enhancements (including, but not limit street furniture, planters, trash receptacles, decorative sculpture/artwork, and bus shelters) shall be placed appropriate location for all future nonresidential development 	baving, n an Yes	

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2. Placement of streetscape enhancements shall not interfere with clear pedestrian passage in the public space. Yes 3. Color and style of streetscape enhancements shall complement and coordinate with future development. Yes 4. All proposed streetscape enhancements shall on detailed site plan submittals and shall include information Yes
complement and coordinate with future development. Yes 4. All proposed streetscape enhancements shall be indicated
on location, spacing, quantity, construction details, and Yes methods of illumination.
BICYCLE PARKING
1. Bicycle parking shall be adequately provided throughout the DDOZ area primarily along primary mixed-use and secondary Mixed-use streets for safe and convenient temporary storage.
2. One bicycle parking space shall be provided for every 20 Yes Yes
3. Bicycle parking shall be located within 50 ft. of main entrances to multifamily, mixed-use, commercial, and institutional buildings, and have direct access to public rights- ofway.
4. Bicycle parking areas shall not obstruct sidewalks or walkways. Yes
5. The color and style of bicycle racks shall complement new streetscape improvements.
FENCES
1. Fences, with height between 36 and 42 in. may be permitted in the dooryard area adjacent to the public right-of-way. Privacy fences 6 ft. in height may be placed alongside and near lot lines; however, they shall not be placed in the dooryard area of the lot. N/A
2. Front yard fencing should complement and match the vernacular of the primary structure and accessory structures N/A on a lot.
3. Fences must either be wood or metal. No plastic, vinyl, or chain-link fences shall be permitted on properties within the DDOZ.
RETAINING WALLS
1. Retaining walls may be necessary to grade individual lots or parcels. Such walls shall match or be compatible with the architectural elements of the primary buildings on the lot.
2. Retaining walls at the sidewalk shall have a maximum height of 30 in. N/A
3. Bare, poured concrete, wood posts and timber ties, and modular concrete retaining walls shall not be permitted in a front or side yard visible from a public street.
FENCES AND WALLS IN INDUSTRIAL AREAS

 Fences and walls shall be constructed of durable materials that include pressure-treated wood, masonry, stucco, and decorative metal. The following materials shall not be used for any type of fencing and/or walls: barbed wire, razor wire, unclad cinder block, vinyl cladding, corrugated metal, corrugated fiberglass, sheet metal, wire mesh, nonpressure- treated wood, or chain link. 	N/A	Non-industrial
 The kickboards (the lower horizontal member of a fence) of pressure treated wood fencing shall be placed at least 2 in. above grade, so as to prevent deterioration. The base of a wooden fence shall not rest at grade. 	N/A	Non-industrial
3. Fences and/or walls shall be required around properties containing open truck and/or open storage facilities in order to ensure that the storage of materials and/or commercial vehicles are not visible at eye level (5 ft.) when standing from the approximate centerline of the public right-of-ways adjacent to the property. Consequently, fences/walls for these types of facilities must be between 6 ft. min. and 8 ft. max.	N/A	Non-industrial
4. Fences and/or walls may be used as screening material around parking lots. These fences and/or walls should be between 3-4 ft. in height.	N/A	Non-industrial

LIGHTIN	G	
 Lighting shall be provided along alleys and access drives, public op parking are 	en spaces and trails, and in Ye	95
 Pedestrian-scaled street light find the street light find the street light find the strength the	I in all public spaces at no	25
3. Cobra head streetlights sl	nall not be permitted. Ye	es
4. The style of ornamental poles coordinated with the appropr		9S
I. ADDITIONAL LANDSCAPIN INDUSTRIAL PRO	PERTIES	
1. A 15 ft. minimum to 25 ft. maxim as measured from the back of cur perimeter str	b, shall be provided along N/	A Non-industrial
 A 10 ft. minimum landscaped but the edge of paving, shall be provi 		A Non-industrial
3. Side and rear bufferyards around 20 ft. in wid		A Non-industrial
4. The buffer areas along perimet with trees selected from the re- evergree trees found in Appendix 3, Table A George's County Landscape Manual. Evergre ft. in height at the time of planting a 8 ft. minimum and 12 ft. maximum placed in a double staggered row, each tree within the triangular gro apart.	commended species of n -3(d) of the <i>Prince</i> N/A een trees must be at least 6 nd must be placed between n on center. Trees may be so long as the center line of	A Non-industrial
5. The buffer areas along internal s evergreen trees recommended f <i>County Landscape Manual.</i> These in height at the time of planting, but ft. minimum and 16 ft. maximum on a property instead of 8 ft. minin	rom the <i>Prince George's</i> trees must be at least 6 ft. may be placed between 12 N/A center around the edges of	A Non-industrial

6. Side and rear bufferyards shall be planted with the recommended evergreen trees from the <i>Prince George's County Landscape Manual.</i> These trees shall be at least 6 ft. at the time of planting and shall be spaced between 12 ft. minimum and 16 ft. maximum on center. Trees may be placed in a double staggered row, so long as the center line of each tree within the triangular grouping is between 12 and 16 ft. apart.	N/A	Non-industrial
7. In addition to evergreen trees, shrubs may be provided along perimeter streets, internal streets, and bufferyard areas. If provided, shrubs should be between 2 to 5 ft. in height at the time of planting and should be placed in tightly spaced groupings of at least 3 plants (5 ft. on center). The shrubs should be either evergreen, or if deciduous, have a dense, twiggy growth habit for winter screening and an attractive year-round appearance. Along perimeter streets, every fifth tree may be replaced by a grouping of shrubs, so long as the shrubs are at least 4 ft. in height ad do not expose open truck and/or open storage facilities. on an internal street and bufferyard area, every third tree may be replaced by a grouping of shrubs, so long as the shrubs are at least 4 ft. in height at do not expose open truck and/or open	N/A	Non-industrial
8. Landscaped berms may be allowed along internal street edges or the side and/or rear bufferyard of a property in order to conceal uses within that property from adjacent public rights- of- way and/or properties Parking and Loading Standards and Guidelines:	N/A	Non-industrial
A. GENERAL		
1. The minimum surface parking spaces shall be 80% of minimum required parking and loading as stated by Section 27568(a) of Part 11 of the Zoning Ordinance.	Yes	

 The maximum number of surface parking spaces shall be equal to minimum required by parking and loading as stated by Section 27-568(a) of Part 11 of the Zoning Ordinance. 	Yes	
 The maximum number of structured parking shall be equal to 115% of the minimum required by parking and loading as stated by Section 27-568(a) of Part 11 of the Zoning Ordinance. 	N/A	No structured parking.
 Buildings must meet the frontage occupancy requirements for the perimeter of a block when considering the parking requirements. 	No	Building does not meet frontage occupancy requirements.
5. All private residential parking (non-multifamily) shall be located at the rear or side of the principal building on a lot in an attached or detached garage, carport, or on a parking pad, and shall be accessed from a landscaped driveway, side street, or alley. Residential garages or carports must be recessed a minimum of 6 ft. from the front building facade of the principal building on the lot.	N/A	Non-residential
 Parking pads or tandem parking spaces in private residential areas must not block clear pedestrian passage along the adjacent right-of-way. 	N/A	Non-residential
7. If possible, surface parking lots, structured parking, and loading areas shall be located on the interior of the block or at the rear of the property in the case of commercial, mixed-use, and institutional uses, and shall be accessed from a side street, alley, or entrance drive aisle	Yes	

 In industrial areas, surface parking lots may be located on the side of a primary building, so long as the parking lot does ont exceed one parking bay and the property is not located along a primary mixed-use street. 	N/A	Non-industrial
 Cross-access easements between surface parking lots shall be encouraged. 	Yes	
10. Parking lots and structure parking shall not dominate the streetscape, obscure building frontages, endanger pedestrians, or overwhelm the visual environment. Curb cuts should be reduced to minimize potential pedestrian/vehicular conflict. When possible, there shall be one curb cut per block. B. SURFACE PARKING LOTS	Yes	
 Surface parking lots shall be set back from the rear façade of nonresidential, mixed-use, or commercial structures in order to accommodate a landscape planting buffer adjacent to the building and 5 ft. wide walkway adjacent to the parking. 	Yes	
2. A 10 ft. wide by 18 ft. deep landscaped island with shade trees must be provided a maximum of every 10 parking spaces.	No	
3. Surface parking lots with more than two bays of parking shall be divided by a continuous landscaped strip at least 10 ft. in width between the third and fourth bays to accommodate shade trees and other landscape elements. Where possible and appropriate, landscaping strips should be greater than 10 ft. to provide for bio-swales.	Yes	
 4. Surface parking lots located on the side of a principal building must have screen walls behind the build-to line that connect to the principal building and conceal the parking from the adjacent public space. The walls must be between 3-3.5 ft. in height and must consist of materials similar to the primary facade of the principal building. Additionally, appropriate landscaping should be provided in front of the wall. Chain link and chain link fences with privacy slats are prohibited as a screening material. 	Yes	
1. A parking structure, adjacent to a street or other public space, shall be located at the build-to line and shall have retail/commercial liner uses on the first level fronting the street in order to create a continuous street wall along the sidewalk edge.	N/A	No structured parking.

2. Parking structure facades visible from the street or other public spaces shall consist of high-quality materials. These facades shall mimic the architecture of the adjacent buildings. Parking structures located on corner lots shall provide street quality architectural facades on both the front and side streets.	N/A	No structured parking.
 Parking structures shall be between 2 and 5 stories in height, depending on the site where the garage is located. However, parking garages shall not exceed the height of the surrounding buildings. 	N/A	No structured parking.
4. When the siting of a parking structure creates a gap between the parking structure and the building it services, there shall be a minimum 10 ft. wide landscaped area between the two structures. The sides and rear of parking structures shall be screened from adjacent properties with coniferous plant material.	N/A	No structured parking.
D. LOADING AND SERVICE AREAS		

1. All loading and service areas must be located in the interior of a block behind buildings.	Yes	
2. Dumpsters, exposed storage areas, machinery, service areas, truck loading areas, utility buildings, air conditioning units, and other similar structures shall be screened from the view of neighboring properties and streets with walls made of the same materials, color, or style as the primary building on the lot or parcel. Additionally, landscaping must also be provided around the perimeter of the loading yard.	Yes	
 Utility areas separated from the primary building on a lot or parcel shall be enclosed by a 6 ft. high solid wall or fence constructed with materials compatible to the primary building. 	Yes	
 The front of enclosures shall have steel swing gates for vehicular service access. A separate pedestrian gate must also be provided. 	Yes	
5. A wooden trash enclosure is not permitted.	Yes	
 E. OPEN STORAGE IN INDUSTRIAL AREAS:		
Open storage, within 20 ft. of the inside portion of a screening wall and/or fence for a property, may not extend above the screening wall/fence.	Yes	
F. DRIVEWAYS IN INDUSTRIAL AREAS:		
Driveways and curb cuts to properties must be constructed of permeable or nonpermeable paving material, such as asphalt or concrete. Gravel driveway and curb cuts are not permitted.	Yes	

STATEMENT OF JUSTIFICATION McDonald's Landover DSP-19060

APPLICANT:	McDonald's Corp 6301 Rockledge Drive, Suite 1100 Bethesda, MD 20817
CORRESONDENT:	Daniel F. Lynch, Esq. McNamee Hosea 6411 Ivy Lane, Suite 200 Greenbelt, Maryland 20770 (301) 441-2420 Voice (301) 982-9450 Fax <u>dlynch@mhlawyers.com</u>
REQUEST:	Detailed Site Plan in accordance with Sections 27-548.25 and 27-285(b) the Zoning Ordinance and amendments to the District Development Standards in accordance with Section 27-548.26(b) of the Zoning Ordinance.

I. <u>DESCRIPTION OF PROPERTY</u>

- 1. Addresses 8710 Central Avenue, Hyattsville, Maryland 20785
- 2. Proposed and Use –Eating and drinking establishment with drive-through service
- 3. Election District 113
- 4. Lots 11, 12, 13 and 14
- 5. Total Area 1.17 acres
- 6. Tax Map 67/C4
- 7. Location Located on the north side of Central Avenue at its intersection with Brightseat Road
- 8. Zoned M-U-I (with DDOZ overlay)
- 9. Owners McDonald's Corp

- 10. Zoning Map -210NE08
- 11. Incorporated Area None

II. <u>NATURE OF REQUEST</u>

The applicant is proposing to raze and rebuild the existing McDonald's restaurant with a new and modern restaurant. The applicant is proposing a 4,540 square foot store with 69 seats. There will be 48 parking spaces located to the north and west of the restaurant building. A dual ordering point drive-through is being provided. The applicant is also providing an outdoor dining area that have a pedestrian connection to the existing sidewalk located along Central Avenue. The applicant is also provide a decorative fence along its street frontage. The decorative columns associated with this fence will incorporate brick to match the brick used in the restaurant building.

The subject property is currently accessed via two right-in/right-out driveways on Central Avenue and one right-in/right-out access drive on Brightseat Road. As shown on the Detailed Site Plan, the applicant is proposing to maintain one access driveway on Central Avenue and one access driveway on Brightseat Road. One access driveway on Central will be closed.

II. PROCEDURAL HISTORY

The McDonald's restaurant was established as a permitted eating and drinking establishment in the C-O Zone. Subsequent to its establishment, the Zoning Ordinance was amended to define fast food restaurants and to further provide that fast food restaurants would not be permitted in the C-O Zone. The McDonald's restaurant use was certified as non-conforming in 1987. Special Exception SE-3805 was approved for the purpose of permitting an alteration of the nonconforming use on the property. As part of that approval, the applicant was permitted to add a drive-through cashier window, increase seating, add a vestibule and increase parking. SE-3805 was approved by the Zoning Hearing Examiner on December 21, 1987. On June 2, 1994, the Planning Board approved ROSP-3805 and VSE-3805 for the purpose of addressing the impact of the widening of Central Avenue on the required 10 foot setback and 4.2 landscape strip. As demonstrated on the existing conditions plan, the site has been developed in conformance with SE-3805 and the subsequent revision. The existing restaurant is contains 150 seats and is serviced by 69 parking spaces.

III. <u>CRITERIA FOR APPROVAL</u>

Section 27-285. Planning Board Procedures.

(b) Required findings.

(1) The Planning Board may approve a Detailed Site Plan if it finds that the plan represents a reasonable alternative for satisfying the site design guidelines, without requiring unreasonable costs and without detracting substantially from the utility of the proposed development for its intended use;

COMMENT: The plan does represent a reasonable alternative for satisfying the site design guidelines. The site design guidelines are found in the Sector Plan, the intent of which is to regulate the design and character of the Central Avenue focal area. The intent of these standards and guidelines is to ensure the creation of vibrant urban neighborhoods with the focal areas.

IV. M-U-I/D-D-O ZONE REQUIREMENTS

In approving a detailed site plan in the DDOZ, Section 27-548.25(b) provides that the Planning Board shall find that the site plan meets applicable Development District Standards. In addition, Section 27-548(c) provides that if the applicant so requests, the Planning Board may apply development standards, which differ from the Development District Standards, most, recently approved or amended by the District Council, unless the Sectional Map Amendment text specifically provides otherwise. The Planning Board shall find that the alternate Development District Standards will benefit the development and the Development District and will not substantially impair implementation of the Master Plan, Master Plan Amendment, or Sector Plan.

The eating and drinking establishment with drive-through service was in operation on the subject property on March 2, 2010, the date of the adoption of the *Subregion 4 Master Plan and Sectional Map Amendment*, and the use is therefore a legal nonconforming use.

7. Nonconforming buildings, structures, and uses. Restoration or reconstruction of a nonconforming building or structure, or a certified non-conforming use, is exempt from the development district standards and from site plan review if it meets the requirements of Section 27-243(a)(1) of the Zoning Ordinance.

Except for improvements listed in "8. General", below, a property may not expand a certified nonconforming use or a use or a structure that was lawful on the date of the SMA approval but does not conform to the development district standards, unless a detailed site plan is approved with findings that the expansion is compatible with adjacent uses and meets the goals of the master plan.

"8" provides:

8. General. The following are exempt from the development district standards and site plan review if the existing or proposed use is permitted:

a. Permits for alternation or rehabilitation, with no increase of the existing gross floor area b. Canopies

c. Fences of six feet in height or less for rear and side yards and made of wood or masonry (not concrete block) are exempt

- d. Decks e. Ordinary maintenance
- f. Changes in occupancy
- g. Changes in ownership

The proposed redevelopment as outlined in Section II above exceeds the improvements set forth in "8" and therefore detailed site plan approval is required. In addition, once the structure is removed from the subject property and the use ceases to operate, the applicant will have 180 days to complete construction and reoccupy the property before the nonconforming use status is relinquished under Section 27-241 of the Zoning Ordinance.

As noted above, in approving a detailed site plan in the DDOZ, Section 27-548.25(b) provides that the Planning Board shall find that the site plan meets applicable Development District Standards. In addition, Section 27-548(c) provides that if the applicant so requests, the Planning Board may apply development standards, which differ from the Development District Standards

Sheets 310 and 311 of the Detailed Site Plan contain a compliance chart relative to the District Development Standards. The applicant complies with those standards (See full analysis attached hereto as Exhibit A) except as noted below:

General Site Standards and Guidelines

Build-to line—The build-to line is the line to which buildings are required to be built on a lot (no setback is permitted from it, except as noted in the guidelines). Consequently, multifamily, mixed-use, and nonresidential buildings, located within the DDOZ areas, must be located along a continuous street wall defined by the build-to line (see the residential, commercial, and industrial sections of the Building Envelope Standards for specific standards)

COMMENT: The build-to line along Central Avenue is 18 feet from the back of curb. The proposed restaurant building is set back 28 feet from the back of curb. The applicant requests an amendment to the build-to line development standard.

Mixed-Use, Commercial and Institutional Types

Build-to Line – 18 ft. from back of curb Frontage Occupancy -80% minimum

COMMENT: The build-to line for commercial uses is 18 feet. The proposed McDonald's building is set back 28 feet from back of curb due to drive-thru width and bypass lane.

The applicant explored a number of options to the site layout, but due to the layout of the proposed building as well as McDonald's standards relative to internal traffic flow and drive-through queuing, it is unable meet the build-to line requirement. For example, the applicant did explore locating the drive-through on the interior side of the building, but layout would require passenger side pick up at the drive through window. In addition, if the building is rotated with the front facing Central Avenue, the applicant would be prevented from providing 360 degree vehicular circulation and would also be prevented from providing an adequate queening area for the drive-through. It is necessary to the operation of the drive-through component that a bypass lane be provided adjacent to the drive-through lane. This bypass lane not only allows for the free flow of vehicles in a one-way direction around the site, but also allows vehicles to exit the drive-through lane. As an alternative, the applicant is proposing an outdoor dining area along the east side of the building. The applicant is also proposing a pedestrian connection between that eating area and the sidewalk along Central Avenue. The applicant believes that this outdoor eating area and pedestrian connection will create an attractive, lively and inviting pedestrian friendly environment. The applicant believes that this alternative to the District Development Standards will be a benefit to this development since it will address underlying limitation of the drive-through use and provide for a safe circulation pattern throughout the site. The applicant also contends that the outdoor eating area and pedestrian connection implement the District Development Plan's intent by creating a public space on the property and also creating a more pedestrian friendly environment than exists today and therefore in compliance with the overall intent of this standard.

As to the frontage occupancy of 80%, the proposed building occupies 34% of the property frontage on Central Avenue and the applicant is requesting an amendment to this standard. The subject property is very wide for a single retail use and compliance with this standard for a single retail use is not feasible. In order to create a larger presence along the street frontage, the applicant is proposing a fence and decorative posts along its frontage. The applicant believes that this fence will create a decorative street wall and will improve the overall aesthetics of this site and make the street frontage along Central Avenue more pedestrian friendly.

Street Type Standards

Typical Primary Mixed Use Street

Sidewalk

- 1. Six foot tree pit area
- 2. Four to six foot clear walkway
- 3. Eight foot door yard

COMMENT: The 6-foot wide tree boxes along both Central Avenue and Brightseat Road are not viable given that there are underground telecommunication utilities located 4.5 feet from the curb in these areas. In addition, there are overhead wires located 6 to 7

feet from the curb. These existing conditions inhibit the applicant's ability to comply with this standard and therefore the applicant is requesting an amendment to allow the existing conditions (5 foot sidewalk and 5 foot grass strip) to remain in place. The applicant is proposing to add a 10 foot landscape strip between the grass strip and proposed drive aisle so as to screen the proposed drive-through from the street. The applicant is also proposing to construct a decorative fence in the landscape strip. As noted above, the applicant is also proposing to install a decorative fence within that landscape strip area to create a street wall. The applicant believes that the streetscape proposed for this property will not only create a pedestrian friendly environment but will be an attractive addition to this area of Central Avenue.

Architectural Standards and Guidelines

A. General Architectural Framework

2. Buildings shall be sited to reinforce the build-to line and define the street wall. Buildings shall shift in massing and have variations in height, profile, and roof form, while maintaining the formal relationship of building placement to the public street frontage.

COMMENT: Again, the applicant is requesting an amendment to this standard since it requires an 18-foot build-to line. The applicant has located the building as close to Central Avenue as feasible given the nature of the use and the applicant's design requirements. The applicant is proposing a fence along its frontage to help create the street wall and is also proposing an outdoor eating area with a pedestrian connection to the sidewalk along Central Avenue. Not only will this combination create visual interest at this corner but will help activate a pedestrian friendly environment by creating a pedestrian gathering place at this very busy intersection along Central Avenue.

Overall, the applicant believes that the Detailed Site Plan and the amendments to the District Development Standard requested herein comply with the Policy and Goals of the Subregion 4 Sector Plan. The subject property is located is located in Opportunity Site 3 and the goals and policies of that opportunity site are as follows:

Goals

- Determine the best mix of land uses, densities, and development/design features needed to create a unique sense of place for the established communities of Zone 1 and Subregion 4.
- Develop a hierarchy of commercial-serving areas that balance the needs of residents, transit riders, and regional traffic.
- Reinforce the sustainability of existing communities by promoting commercial mixed-use development and public realm improvements that

enhance the quality of life for residents and people in the immediate surrounding area.

- Establish a higher design standard for commercial development and a wider variety and higher-quality businesses throughout the area.
- Attract higher quality, desirable uses to the area that meet current community needs or provide new opportunities for the area.
- Reinforce and strengthen connectivity between living and commercial areas and centers.
- Provide the necessary infrastructure to enhance the pedestrian environment.

Policies

1 Develop a new character and image for Central Avenue that is inviting to pedestrians.

- Provide infill and redevelopment opportunities on Central Avenue that create a coherent street image.
- Create development standards that promote new urbanist principles and encourage new infill to occur closer to and consistently along the buildto line.
- Provide for streetscape improvements that promote a pedestrian-friendly environment.

2 Improve pedestrian circulation and create an appealing streetscape character.

- Design and install cohesive and visually interesting sidewalk paving patterns and include site furnishings, lighting, and plantings that invite pedestrians.
- Develop and promote "green street" design standards.
- Establish and enforce higher maintenance standards.
- Create and enforce unified sign design standards for existing and new businesses.

The redevelopment of the McDonald's restaurant on the subject property is consistent with the Goals and Policies of the District Development Plan. The applicant is proposing to improve the pedestrian system along its Central Avenue and Brightseat Road frontages by providing additional trees in the tree pit area and by providing a 10' landscape strip and decorative fencing between the sidewalk and its internal drive aisle. In addition, the applicant is proposing an outdoor eating area and a pedestrian connection from Central Avenue in order to activate the corner of Central and Brightseat Road. In addition, the revised layout proposes the closure of one access driveway onto Central Avenue which will not only reduce the opportunity for pedestrian and vehicular conflicts but from an aesthetic standpoint, allow for additional improvements to the streetscape.

27-546.19 (c) Site Plans for Mixed Uses.

In addition to the specific District Development Standards, a Detailed Site Plan may not be approved unless the owner shows:

(1) The site plan meets all approval requirements in Part 3, Division 9;

COMMENT: As noted above, this Detailed Site Plan complies with the approval requirements set forth in Part 3, Division 9.

(2) All proposed uses meet applicable development standards approved with the Master Plan, Sector Plan, Transit District Development Plan, or other applicable plan;

COMMENT: The applicant is requesting amendments to the District Development Standards in conformance with Section 27-548(c) of the Zoning Ordinance.

(3) Proposed uses on the property will be compatible with one another;

COMMENT: The applicant is not proposing a mix of uses on the property and therefore this criterion is not applicable.

(4) Proposed uses will be compatible with existing or approved future development on adjacent properties and an applicable Transit or Development District; and

COMMENT: The subject property adjoins single-family residential to the north and an office use to west. The McDonald's restaurant has been operated from the property for approximately 40 years without any apparent impact on the surrounding uses. The applicant is proposing to bring the site into compliance with not only current retail standards, but also into compliance with local, state and federal regulations that were not in place at the time this restaurant was first established, such as stormwater management. Although the applicant is increasing the square footage of the building, the increase is only 178 square feet and will have little or no impact on the singlefamily homes on the adjoining properties. On the other hand, the applicant is proposing to reduce the number of access driveways on Central Avenue, improve the overall flow of the drive-through component, increase the amount of landscaping located along the northern property line (where it adjoins the residential uses) and provide a decorative streetscape that will improve the overall appearance of the property. The applicant therefore contends that the development as proposed in this detailed site plan will be compatible with the existing and future development in the DDOZ.

- (5) Compatibility standards and practices set forth below will be followed, or the owner shows why they should not be applied:
 - (A) Proposed buildings should be compatible in size, height, and massing to buildings on adjacent properties;

COMMENT: The applicant is proposing a one story, 4,540 square foot building, 178 square feet larger than the existing building on the property. This building is located 80 feet from the northern property line that adjoins the single-family residential dwellings and 28 feet from the property line on Central Avenue. The office building to the west is located approximately 64 feet from the northern property line and 26 feet from the southern property line on Central Avenue. The proposed layout of the McDonald's restaurant building is similar to that which occurs on the property to the west and given the fact that the building will be located, _____ feet further away from the residential properties, it should be more compatible that the existing conditions.

(B) Primary facades and entries should face adjacent streets or public walkways and be connected by on-site walkways, so pedestrians may avoid crossing parking lots and driveways;

COMMENT: The front entrance to the building faces Brightseat Road. The applicant is proposing a seating area that will be located between the front entrance and Brightseat Road. In addition, the applicant is proposing a pedestrian connection leading from this seating area to Central Avenue. The crossing area will be constructed of decorative pavers that will visually help direct pedestrian traffic.

(C) Site design should minimize glare, light, and other visual intrusions into and impacts on yards, open areas, and building facades on adjacent properties;

COMMENT: The applicant is enhancing the landscape buffer located along the northern property line where it adjoins the single-family residential homes. The buffer will also contain a 6-foot high fence that will provide additional screening of this retail commercial. Vehicles entering and located in the drive-through queuing area will be facing south and east away from the single-family residential homes. In other words, the vehicle headlights will be directed away from the residential structures. The applicant is also proposing to install lighting in the parking area that is designed to address the lighting needs of the operation and provide for a safe environment for its customers while not spilling off site onto the adjoining properties.

(D) Building materials and color should be similar to materials and color on adjacent properties and in the surrounding neighborhoods, or building design should incorporate scaling, architectural detailing, or similar techniques to enhance compatibility;

COMMENT: The surrounding area is development with eclectic styles of buildings, materials and colors. There is no specific architectural trend or building material that seems to have been established in the community. The applicant is proposing a McDonald's restaurant building that is a standard example of one of the franchise's newer architectural models and has a contemporary appearance. The design is of a onestory, hardie plank and brick veneer building with a flat roof. The building is finished predominantly with hardie plank. Brick veneer is proposed mostly in the water table along the base of the building. Decorative aluminum battans are located in each corner of the building The dining room and main entrance areas oriented towards the intersection of Landover Road and Brightseat Road. Metal canopies are proposed above the dining room windows.

(E) Outdoor storage areas and mechanical equipment should be located and screened to minimize visibility from adjacent properties and public streets;

COMMENT: The applicant is not proposing outdoor storage areas and the mechanical equipment will be located on the roof of the proposed building and screened by the parapet.

(F) Signs should conform to applicable Development District Standards or to those in Part 12, unless the owner shows that its proposed signage program meets goals and objectives in applicable plans; and

COMMENT: The TDDP provides:

Guidelines Intent Appropriately sized and placed signage shall enhance and contribute to the architectural character of buildings within the DDOZ.

A. General

1. Building signs shall be constructed of quality materials. Only essential information, such as the name, business type, company logo, street address, phone number, and hours of operation of the business or retail establishment may be displayed on the front of the building.

2. The placement of signs shall be integrated into the overall architectural design of the building. The materials, color, style, and size of a sign shall be coordinated with the architectural features of the building.

The applicant is proposing to maintain the existing freestanding sign located at the corner of Landover Road and Brighseat Road. In addition, the applicant is proposing 60.6 square feet of building mounted signage which consists of 3 "Golden Arch" logos (14 square feet in size) and one "McDonald's" logo (18.6 square feet in size). The applicant believes this signage is appropriate in size and compliments the building architecture rather.

- (G) The owner or operator should minimize adverse impacts on adjacent properties and the surrounding neighborhood by appropriate setting of:
 - (i) Hours of operation or deliveries;
 - (ii) Location of activities with potential adverse impacts;
 - (iii) Location and use of trash receptacles;
 - (iv) Location of loading and delivery spaces;
 - (v) Light intensity and hours of illumination; and
 - (vi) Location and use of outdoor vending machines.

COMMENT: The applicant has designed the site to minimize adverse impacts while addressing this retail operation. As indicated above, the drive-through component of the use is designed to minimize the impact on the adjoining residential community. In addition, it has been designed to provide a queuing area that is sufficient in size so that it does not affect the access driveways to the property. The loading area will be located more than 50 'from the residential properties and the trash corral is located adjacent to the commercial office use as opposed to the residential properties. Overall, the applicant has designed this site to address its needs while at the same time minimizing the impact on the surrounding community.

IV. CONCLUSION

The applicant, McDonald's Corp, is seeking approval of this Detailed Site Plan to allow it to reconstruct McDonald's restaurant on the abovementioned property. As part of this application, the McDonald's is requesting amendments to the District Development Standards contained in the Subregion 4 District Development Plan. The applicant believes that this Detailed Site Plan and amendments meet the standards of the approved District Development Plan for Subregion 4 and therefore the applicant respectfully requests approval of DSP-19060.

Respectfully submitted,

MCNAMEE HOSEA

By Daniel F. Lynch

STATEMENT OF JUSTIFICATION McDonald's Landover DSP-19060

APPLICANT:	McDonald's Corp 6301 Rockledge Drive, Suite 1100 Bethesda, MD 20817
CORRESONDENT:	Daniel F. Lynch, Esq. McNamee Hosea 6411 Ivy Lane, Suite 200 Greenbelt, Maryland 20770 (301) 441-2420 Voice (301) 982-9450 Fax <u>dlynch@mhlawyers.com</u>
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- 6. Tax Map 67/C4
- 7. Location Located on the north side of Central Avenue at its intersection with Brightseat Road
- 8. Zoned M-U-I (with DDOZ overlay)
- 9. Owners McDonald's Corp
- 10. Zoning Map –210NE08
- 11. Incorporated Area None

II. NATURE OF REQUEST

The applicant is proposing to raze and rebuild the existing McDonald's restaurant with a new and modern restaurant. The applicant is proposing a 4,540 square foot store with 69 seats. There will be 55 parking spaces located to the north and west of the restaurant building. A dual ordering point drive-through is being provided. The applicant is also providing an outdoor dining area that have a pedestrian connection to the existing sidewalk located along Central Avenue. The applicant is also provide a decorative fence along its street frontage. The decorative columns associated with this fence will incorporate brick to match the brick used in the restaurant building.

The subject property is currently accessed via two right-in/right-out driveways on Central Avenue and one right-in/right-out access drive on Brightseat Road. As shown on the Detailed Site Plan, the applicant is proposing to maintain one access driveway on Central Avenue and one access driveway on Brightseat Road. One access driveway on Central will be closed.

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III. CRITERIA FOR APPROVAL

In approving a detailed site plan in the DDOZ, Section 27-548.25(b) provides that the Planning Board shall find that the site plan meets applicable Development District Standards. In addition, Section 27-548(c) provides that if the applicant so requests, the Planning Board may apply development standards, which differ from the Development District Standards, most, recently approved or amended by the District Council, unless the Sectional Map Amendment text specifically provides otherwise. The Planning Board shall find that the alternate Development District Standards will benefit the development and the Development District and will not substantially impair implementation of the Master Plan, Master Plan Amendment, or Sector Plan

Sheets 310 and 311 of the Detailed Site Plan contain a compliance chart relative to the District Development Standards. The applicant complies with those standards except as noted below:

General Site Standards and Guidelines

Build-to line—The build-to line is the line to which buildings are required to be built on a lot (no setback is permitted from it, except as noted in the guidelines). Consequently, multifamily, mixed-use, and nonresidential buildings, located within the DDOZ areas, must be located along a continuous street wall defined by the build-to line (see the residential, commercial, and industrial sections of the Building Envelope Standards for specific standards)

COMMENT: The build-to line along Central Avenue is 18 feet from the back of curb. The proposed restaurant building is set back 28 feet from the back of curb. The applicant requests an amendment to the build-to line development standard.

Mixed-Use, Commercial and Institutional Types

Build-to Line – 18 ft. from back of curb Frontage Occupancy -80% minimum

COMMENT: The build-to line for commercial uses is 18 feet. The proposed McDonald's building is set back 28 feet from back of curb due to drive-thru width and bypass lane. The applicant explored a number of options to the site layout, but due to the layout of the proposed building as well as McDonald's standards relative to internal traffic flow and drive-through queuing, it is unable meet the build-to line requirement. As an alternative, the applicant is proposing an outdoor dining area along the east side of the building. The applicant is also proposing a pedestrian connection between that eating area and the sidewalk along Central Avenue. The applicant believes that this outdoor eating area and pedestrian connection will create an attractive, lively and inviting pedestrian friendly environment. The applicant believes that this alternative to the District Development Standards will be a benefit to this development since it will address underlying limitation of the drive-through use and provide for a safe circulation pattern throughout the site. The applicant also contends that the outdoor eating area and pedestrian connection implement the District Development Plan's intent by creating a public space on the property and also creates a more pedestrian friendly environment than exists today.

As to the frontage occupancy of 80%, the proposed building occupies 34% of the property frontage on Central Avenue and the applicant is requesting an amendment to this standard. The subject property is very wide for a single retail use and compliance with this standard for a single retail use is not feasible. In order to create a larger presence along the street frontage, the applicant is proposing a fence and decorative posts along its frontage. The applicant believes that this fence will create a decorative street wall and will improve the overall aesthetics of this site and make the street frontage along Central Avenue more pedestrian friendly.

Street Type Standards

Typical Primary Mixed Use Street

Sidewalk

- 1. Six foot tree pit area
- 2. Four to six foot clear walkway
- 3. Eight foot door yard

COMMENT: The 6-foot wide tree boxes along both Central Avenue and Brightseat Road are not viable given that there are underground telecommunication utilities located 4.5 feet from the curb in these areas. In addition, there are overhead wires located 6 to 7 feet from the curb. These existing conditions inhibit the applicant's ability to comply with this standard and therefore the applicant is requesting an amendment to allow the existing conditions (5 foot sidewalk and 5 foot grass strip) to remain in place. The applicant is proposing to add a 10 foot landscape strip between the grass strip and proposed drive aisle so as to screen the proposed drive-through from the street. The applicant is also proposing to install a decorative fence in the landscape strip. As noted above, the applicant is also proposing to install a decorative fence within that landscape strip area to create a street wall. The applicant believes that the streetscape proposed for this property will not only create a pedestrian friendly environment but will be an attractive addition to this area of Central Avenue.

Architectural Standards and Guidelines

A. General Architectural Framework

2. Buildings shall be sited to reinforce the build-to line and define the street wall. Buildings shall shift in massing and have variations in height, profile, and roof form, while maintaining the formal relationship of building placement to the public street frontage.

COMMENT: Again, the applicant is requesting an amendment to this standard since it requires an 18-foot build-to line. The applicant has located the building as close to Central Avenue as feasible given the nature of the use and the applicant's design requirements. The applicant is proposing a fence along its frontage to help create the street wall and also proposing an outdoor eating area with a pedestrian connection to the sidewalk along Central Avenue. Not only will this combination create visual interest at this corner but will help activate a pedestrian friendly environment by creating a pedestrian gathering place at this very busy intersection along Central Avenue.

IV. CONCLUSION

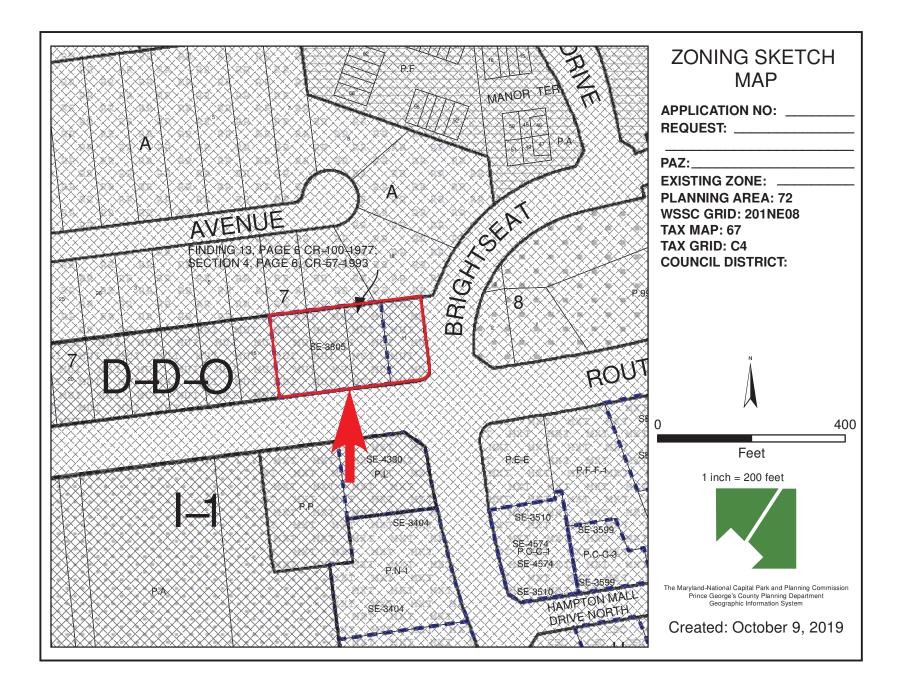
The applicant, McDonald's Corp, is seeking approval of this Detailed Site Plan to allow it to reconstruct McDonald's restaurant on the abovementioned property. As part of this application,

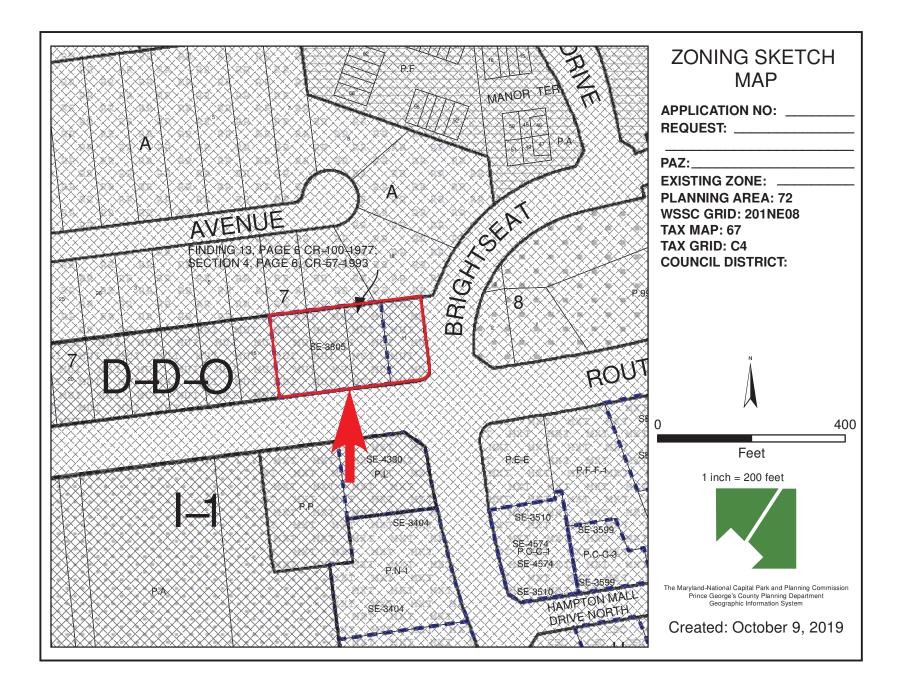
the McDonald's is requesting amendments to the District Development Standards contained in the Subregion 4 District Development Plan. The applicant believes that this Detailed Site Plan and amendments meet the standards of the approved District Development Plan for Subregion 4 and therefore the applicant respectfully requests approval of DSP-19060.

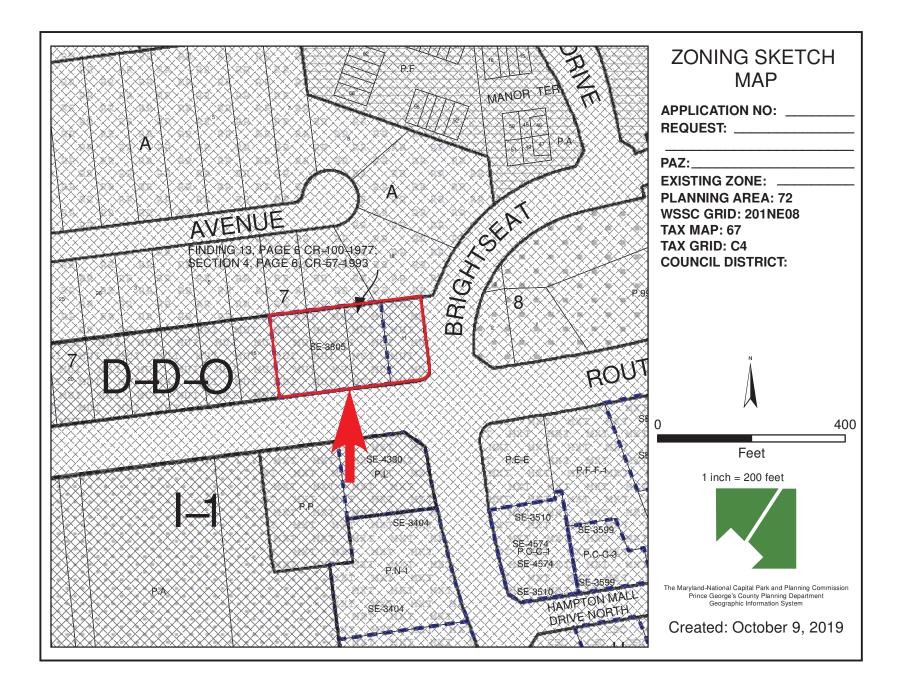
Respectfully submitted,

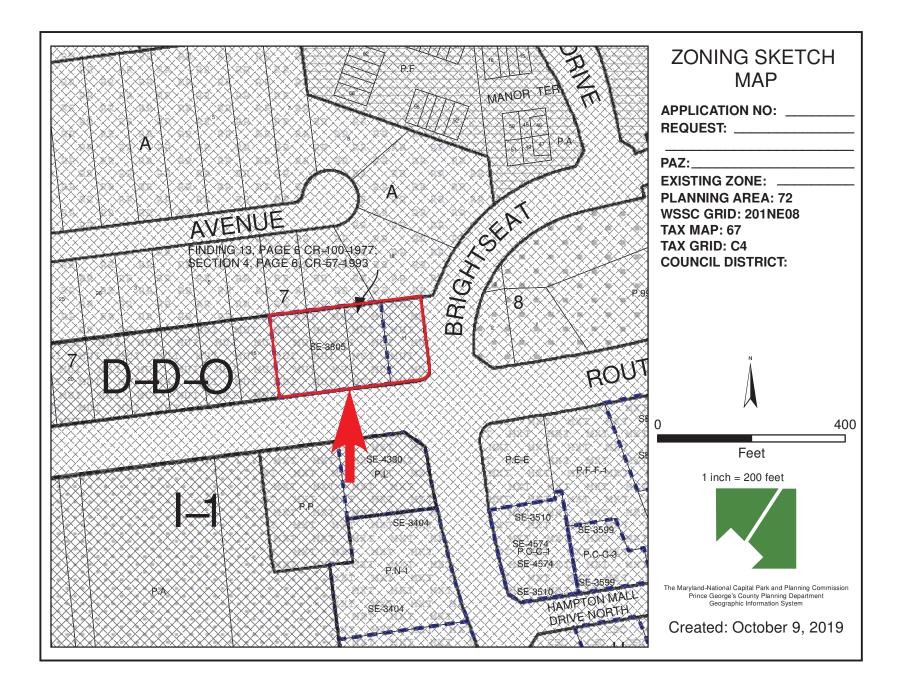
MCNAMEE HOSEA

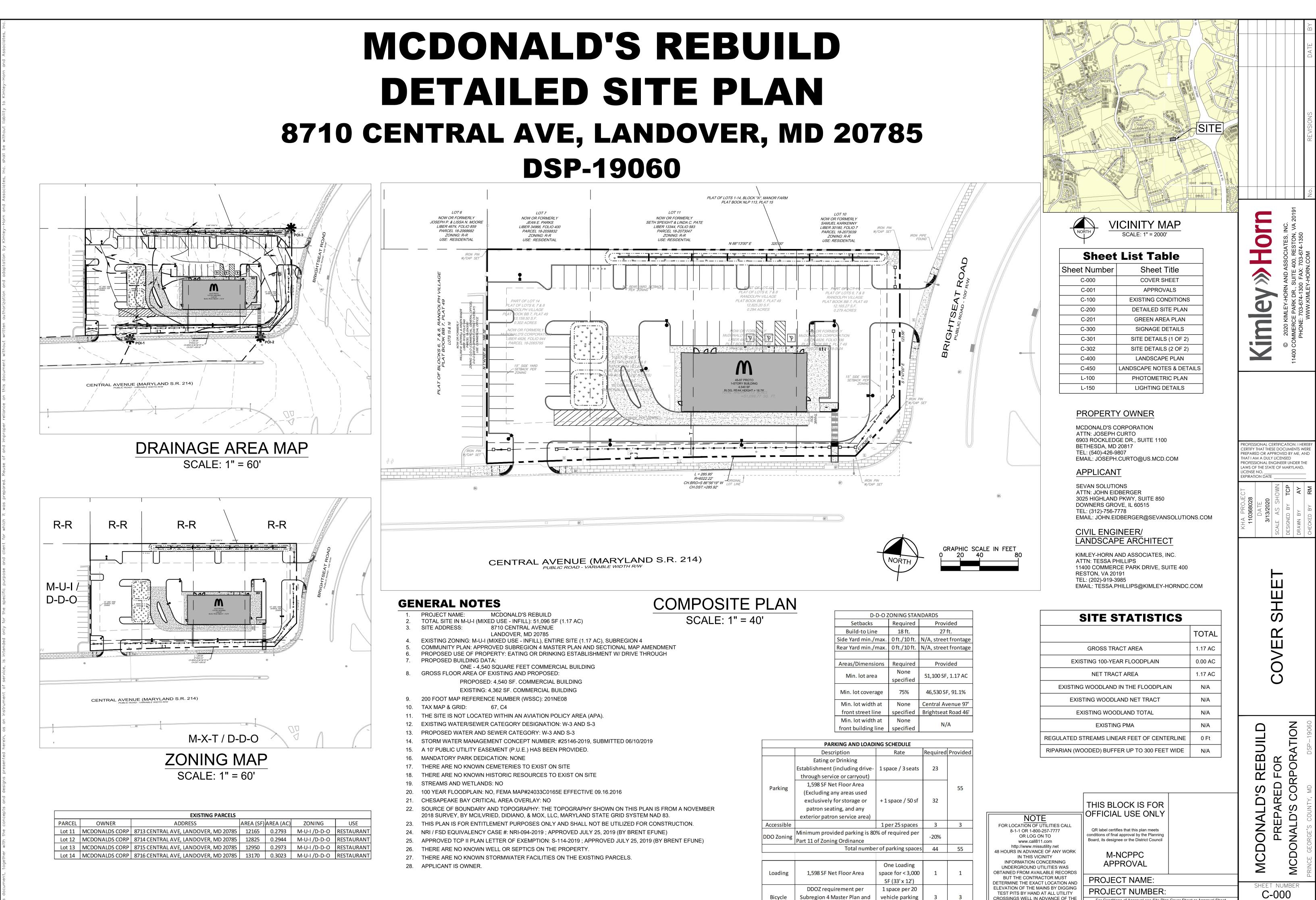
By Daniel F. Lynch











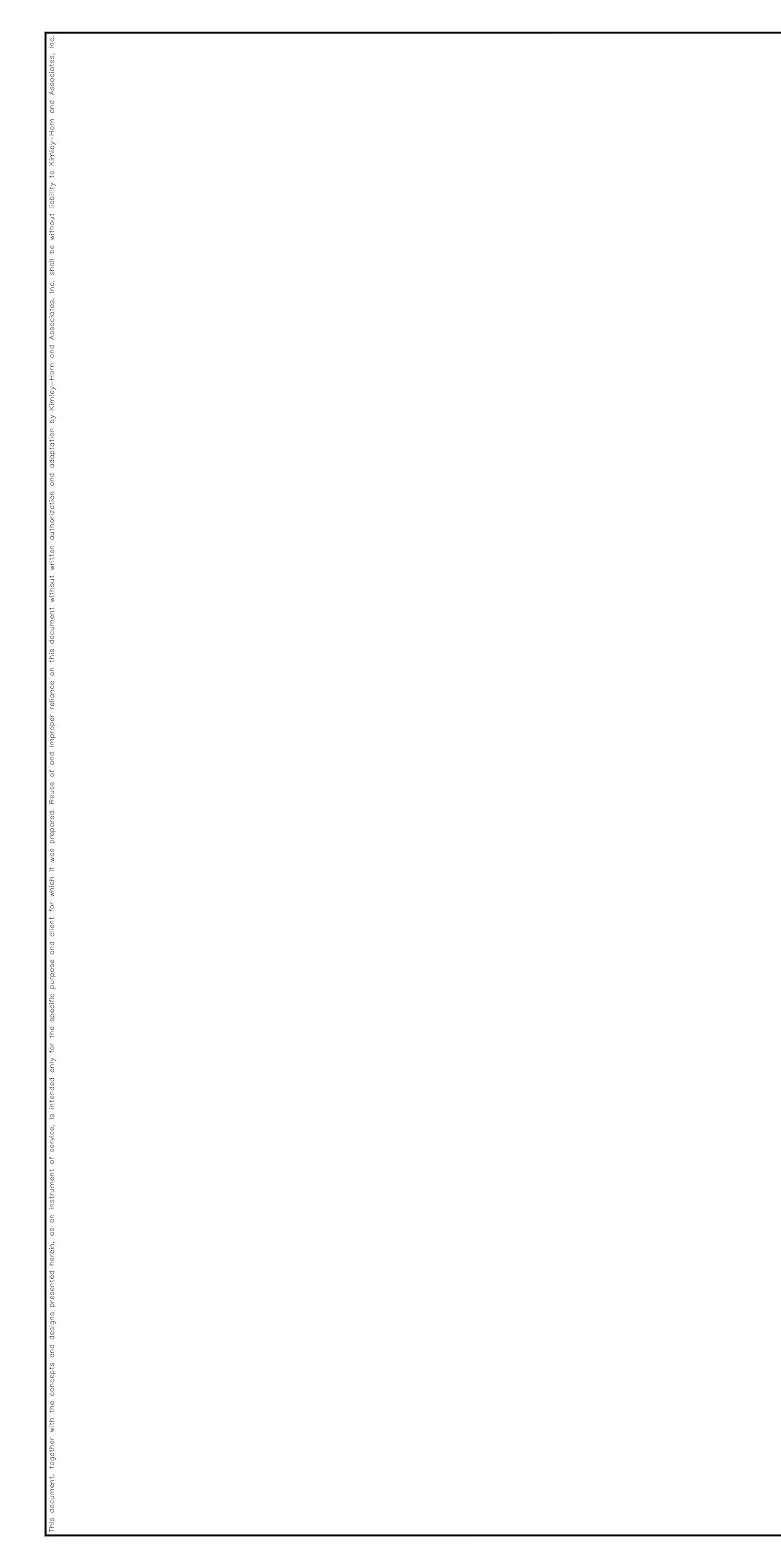
PROJECT NAME: MCDONALD'S REBUILD -			_	D-I	D-O ZONING S
TOTAL SITE IN M-U-I (MIXED USE - INFILL): 51,096 SF (1.17 AC) SITE ADDRESS: 8710 CENTRAL AVENUE	SCALE: 1" = 4	0		Setbacks	Require
LANDOVER, MD 20785				Build-to Line	18 ft.
EXISTING ZONING: M-U-I (MIXED USE - INFILL), ENTIRE SITE (1.17 AC), SUBREGION 4				Side Yard min./r	nax. 0 ft./10
COMMUNITY PLAN: APPROVED SUBREGION 4 MASTER PLAN AND SECTIONAL MAP AMEN				Rear Yard min./r	nax. 0 ft./10
PROPOSED USE OF PROPERTY: EATING OR DRINKING ESTABLISHMENT W/ DRIVE THROU PROPOSED BUILDING DATA:	UGH				
ONE - 4,540 SQUARE FEET COMMERCIAL BUILDING				Areas/Dimension	ons Require
GROSS FLOOR AREA OF EXISTING AND PROPOSED:			Min. lot area		None
PROPOSED: 4,540 SF. COMMERCIAL BUILDING					specifie
EXISTING: 4,362 SF. COMMERCIAL BUILDING				Min. lot covera	ge 75%
200 FOOT MAP REFERENCE NUMBER (WSSC): 201NE08					
TAX MAP & GRID: 67, C4				Min. lot width	
THE SITE IS NOT LOCATED WITHIN AN AVIATION POLICY AREA (APA).				front street lin	
EXISTING WATER/SEWER CATEGORY DESIGNATION: W-3 AND S-3				Min. lot width front building l	
PROPOSED WATER AND SEWER CATEGORY: W-3 AND S-3				ITOIL DUIDING I	ne specifie
STORM WATER MANAGEMENT CONCEPT NUMBER: #25146-2019, SUBMITTED 06/10/2019			PAR	KING AND LOADI	
A 10' PUBLIC UTILITY EASEMENT (P.U.E.) HAS BEEN PROVIDED.				iption	Rate
MANDATORY PARK DEDICATION: NONE				Drinking	nate
THERE ARE NO KNOWN CEMETERIES TO EXIST ON SITE			J. J	including drive-	1 space / 3 se
THERE ARE NO KNOWN HISTORIC RESOURCES TO EXIST ON SITE			through servi	.	
STREAMS AND WETLANDS: NO		Parking	1,598 SF Ne	t Floor Area	
100 YEAR FLOODPLAIN: NO, FEMA MAP#24033C0165E EFFECTIVE 09.16.2016			(Excluding any areas used		
CHESAPEAKE BAY CRITICAL AREA OVERLAY: NO			exclusively	for storage or	+ 1 space / 50
				ing, and any	
2018 SURVEY, BY MCILVRIED, DIDIANO, & MOX, LLC, MARYLAND STATE GRID SYSTEM NA			exterior patro	n service area)	
THIS PLAN IS FOR ENTITLEMENT PURPOSES ONLY AND SHALL NOT BE UTILIZED FOR CO		Accessible			1 per 25 spac
NRI / FSD EQUIVALENCY CASE #: NRI-094-2019 ; APPROVED JULY 25, 2019 (BY BRENT EFU		DDO Zoning Minimum provided parking is 80% of req		% of required	
APPROVED TCP II PLAN LETTER OF EXEMPTION: S-114-2019 ; APPROVED JULY 25, 2019 (B	BY BRENT EFUNE)	000 2011115	Part 11 of Zonin	*	
THERE ARE NO KNOWN WELL OR SEPTICS ON THE PROPERTY.				Total numbe	r of parking sp
THERE ARE NO KNOWN STORMWATER FACILITIES ON THE EXISTING PARCELS.					
APPLICANT IS OWNER.					One Loadin
		Loading	1,598 SF Ne	t Floor Area	space for < 3,

Sectional Map Amendment

spaces

SHEET 1 OF 12

CROSSINGS WELL IN ADVANCE OF THE For Conditions of Approval see Site Plan Cover Sheet or Approval Sheet Revision Numbers must be included in the Project Number START OF EXCAVATION.



WOODLAND CC		ETTER OF I		APPLICATION FORM
Property Owner Name(s), Add Joseph Curto McDonald's Corporation 6903 Rockledge Dr., Suite 1		Tessa Phi Kimley-Hor 11400 Con	ips n and Associates, Inc. merce Park Drive, Suite	
Bethesda, MD 20817			: Tessa Phillips in american	
Payment by check, money Letter of Exemption from Woodlan Name on Check: Kimley-Horn and	d Conservation Ordinance (\$50)	Approved Plan #	N/A
PROJECT NAME:		McDonald	d's Relocation	
Street Address (if available) a 3710 Central Ave, Landover, MD 20				
Companion Case(s) and/or	Resolutions (Preliminary Pl Site Development	lan, Site Plan, or Speci Concept Plan #25146-2	al Exception, etc.): 2019-0, NRI-094-2019	
Total Area (acres):	1.32 ac	1	9065, 2070019, 2065795	WSSC Grid: 201NE08
Total Number of Lots or Parcel	s: 4	Current Zone:	M-U-I	Environmental Strategy Area (ESA (Plan 2035):
Lot Numbers/Blocks/Parcels: L	ots 11, 12, 13, 14 / Block 7	Overlay Zone:	D-D-O	Municipality(ies): Hyattsville
s this site in a Priority Funding	Area (PFA)? Yes]No	0094-01995-800-1108	n in an
Is there a historic site or resour	ce on the subject property	? Yes VNo	Historic S	ite ID
Has a Historic Area Work Perm	nit (HAWP) application been	n filed with the Histo	ric Preservation Cor	nmission? 🔲 Yes 🗹 No
Proposed Activity: Renovation	on of existing bui l din	g and associate	ed site improve	ments
		BE COMPLETE		
APPLICATION TYPE: Number	Construction of the second			S-114-2019
Acceptance Date: 07/15/201			15 a. 1 a.	Filing Fee: \$50.00
Conservation Ordinance (We previous TCP approvals and is less than 40,00 contains less than the project is subj Your request for a Numbere Conservation Ordinance (We This Less square feet of woodland; how results in the clea the project is a go of proposed clean the proposed clean the proposed active This letter is valid for two years specified above during the valid the Numbered Exemption material	CO) is hereby approved. I: IO square feet in size; and/on a 10,000 square feet of wood ect to the Maryland Forest ad Letter of Exemption (CO) is hereby approved. The etter of Exemption is issued wever the project has no pro- ring of less than 5,000 square overnment or linear project of ring is); or vity is for a timber harvest. ars from approval or until alidity period. If a develop ay be considered invalid i	This Standard Letter or odland; or Conservation Act ar N/A) from the Pri The site plan is prepa because the site is revious TCP approva are feet of woodland that results in the cle such time as the coment review appli n accordance with	of Exemption is iss and will be reviewed b ince George's Count ared by over 40,000 square als and: I (acreage of propos earing of less than 2 cumulative woodlar cation (preliminary	y Woodland and Wildlife Habitat ued because the property has no by Department of Natural Resources ty Woodland and Wildlife Habitat and dated feet in size and contains over 10,000 ed clearing is); or 0,000 square feet of woodland (acreage nd disturbance exceeds the minimum plan, detailed site plan, etc. is requir 5)(A). A copy of this letter must be
submitted at time of develop Preparer Initials: Brent Efune	ment activity or permit ap	oplication.	Erne	St Digitally signed by Ernest Fields
Droparor Initialat	-5/2019		lanner Initials: Field	
Preparer Initials: Approval Date:07/25				



APPLICANT'S NAME:

REOUIREMENTS:

These fees apply: None. These bonds apply: None.

No special conditions apply. Required easements: None.

CASE NAME:

ENGINEER :

ng, msp r and Enforcement Site/Road Plan Review Division 9400 Peppercorn Place, Suite 420 Largo, Maryland 20774

(301) 883-5710

RANDOLPH VILLAGE LOT 13 BLOCK 7

McDonald's Corporation

Technical Review is required for PUBLIC/PRIVATE Storm Drain/SWM Construction.

Required water quality controls: EXTENDED DETENTION, SEE CONDITIONS.

Type of Storm Drainage/SWM Construction is PRIVATE.

Required water quantity controls: 100 YEAR ATTENUATION(S).

These additional approvals are required: None.

A maintenance agreement is required.

Kimley-Horn and Associates, Inc.

STORMWATER MANAGEMENT CONCEPT APPROVAL



CASE #: 25146-2019-00

						B
						DATE
			o: PPD-EnvPlanning@ppd.mncppc.org Marlboro, Maryland 20772 301-952-3650			
APPLICAT		NRI EQUIVALENCY	LETTER ONLY	I		
Owner Name and Address: Joseph Curto	AFFLICANT		dress, Phone and E-mail (all required): (703)-674-1300	1		
McDonald's Corporation 6903 Rockledge Dr., Suite 1100		Kimley-Horn and Associates, Inc. 11400 Commerce Park Drive, Suite 400	Tessa.Phillips@Kimley-HornDC.com			SNOIS
Bethesda, MD 20817 PROPERTY OR PROJECT NAM	E:	Signature: Tessa Phillips Print State		_		REVISIONS
Street Address: 8710 Central Ave, L Previous Applications (NRI, TCP1						
Previous DRD applications: (Preli	minary Plan, Site Plan,	<u>, , , , , , , , , , , , , , , , , , , </u>	SE-3805			
Total Area (acres): 1.32 a Lot/Block/Parcel: Lots 11, 12, 13, 14		M_L L	WSSC Grid: 201NE08 Environmental <u>Stra</u> tegy Area (ESA)			
7 Proposed Activity:	Renovation of e	existing building and associated	(Plan 2035): ✓1 2 3 4 I site improvements	_		No.
Will the proposed project requi				-		20191
For Project Type 1 and 2	For Project Ty		Project Type 2 only If subject to Woodland conservation:	-		
(1) copy of a proposed Site Plan showing existing conditions (signed)	one of the follo		(1) copy of approved TCP2 (if applicable).		0	ATES, STON 4-1350
(2) copies of any other information provided by the applicant and listed h	ion	a previously Issued Letter of	CBCA #:		T	SOCI/ 00, RE 03-67/ COM
(3) Coversheet	1 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0	indard or Numbered)	Other:	-		ND AS ITE 40 =AX: 7 HORN.
Date Received:06/18/2019	RESPONSE (10 Reviewed for Acceptance	BE COMPLETED BY EPS ST e by:BFENF	AFF) RI No.: <u>NRI-094-2019</u>			2020 KIMLEY-HORN AND ASSOCIATES, INC IMERCE PARK DR., SUITE 400, RESTON, VA HONE: 703-674-1300 FAX: 703-674-1350 WWW.KIMLEY-HORN.COM
Reason for return of the package: Dated Accepted: 07/15/2019	Reviewer Assigned:	N/A BFE Due Date: 08/1	Date Returned:N/A 2/2019(30 days from acceptance date)		ley	ey-Ho NRK DI 1-674-1 N.KIM
This APPROVAL for the above refe most current color imagery aerial pho	renced project and loca	tion is based upon information us	ing the submitted proposed site plan and the scope of the proposed activity or limits of			KIMLE CE PA E: 703 WWV
disturbance change significantly, a fu	INRI may be required. The	his letter is valid for five years from	n the date of issuance, or until such time as a und to meet the following checked criteria.		Ξ	© 2020 KIMLEY-HORN A 11400 COMMERCE PARK DR., SI PHONE: 703-674-1300 WWW.KIMLEY-I
Conservation Ordinance.			e's County Woodland and Wildlife Habitat		J	
The site has a previously approve).			1140
The submitted proposed site plan, environmental features are located The submitted proposed site plan	d on the subject site or no on	I prepared by JOHN KAUPPILA -site regulated environmental features I prepared by				
result in any significant changes to environmental features.	o the limits of disturbance of t	he previously approved TCP or crea	ate any additional impacts to any regulated			
than 500 square feet of disturbanc						
A FLOODPLAIN S	TUDY MAY BE REQUIR	ED AT THE TIME OF STORMWA		i.		
Preparer Initials:	7.05 11:35:34	Planner Initials: Fie	Digitally adjunct by Errorat Fields Data: 2019.07.05 11 48.49 -04100 07/25/2024			
Approval Date: 07/25/2019	<u>, </u>	Expiration Date:	Search and and an an	_	PROFESSIONAL CERTI CERTIFY THAT THESE D PREPARED OR APPRO THAT I AM A DULY LIC	OCUMENTS WERE OVED BY ME, AND
			Last Updated: June 201	0	PROFESSIONAL ENGIN LAWS OF THE STATE C LICENSE NO.	NEER UNDER THE
THE PRINC	E GEORGE'S	S COUNTY GOV	ERNMENT			
GEORGES DO	epartment of Per	mitting, Inspections			OJECT 028 028 120 SHOWN	AY RM
INCE NU03		orcement Review Division	DPIF		PR 3368 DAT 13/2(
	9400 Peppercor	n Place, Suite 420 ryland 20774	DEPARTMENT OF PERMITTING.		KHA 110 3/	DESIGNED DRAWN B CHECKED
MARYLAND	(301) 8	383-5710	INSPECTIONS AND ENFORCEMENT			
	VATER MANAG PH VILLAGE_LOT 13_BI	EMENT CONCEPT A	APPROVAL CASE #: 25146-2019-00			
CONDITIONS OF APPROVAL:						•
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PV FOR NEW IMPERVIOUS AREA						C
LANDSCAPE PLANS ARE REQUIR						> \
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5. 100-YEAR QUANITY MANAGEMEN	NT REQUIRED (ESD STO	RAGE CANNOT BE USED AS Q	UANTITY MANAGEMENT).			7
PPLICANT SHOWING UNDERGROU						L
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Storm Water Management fee payment of none in lieu of providing on-site attenuation/quality control measures. (Fee-In-Lieu subject to change during technical review.)
CONDITIONS OF APPROVAL:

Please see second page.

APPROVED BY:

Rh

Rey De Guzman APPROVAL DATE: October 16, 2019

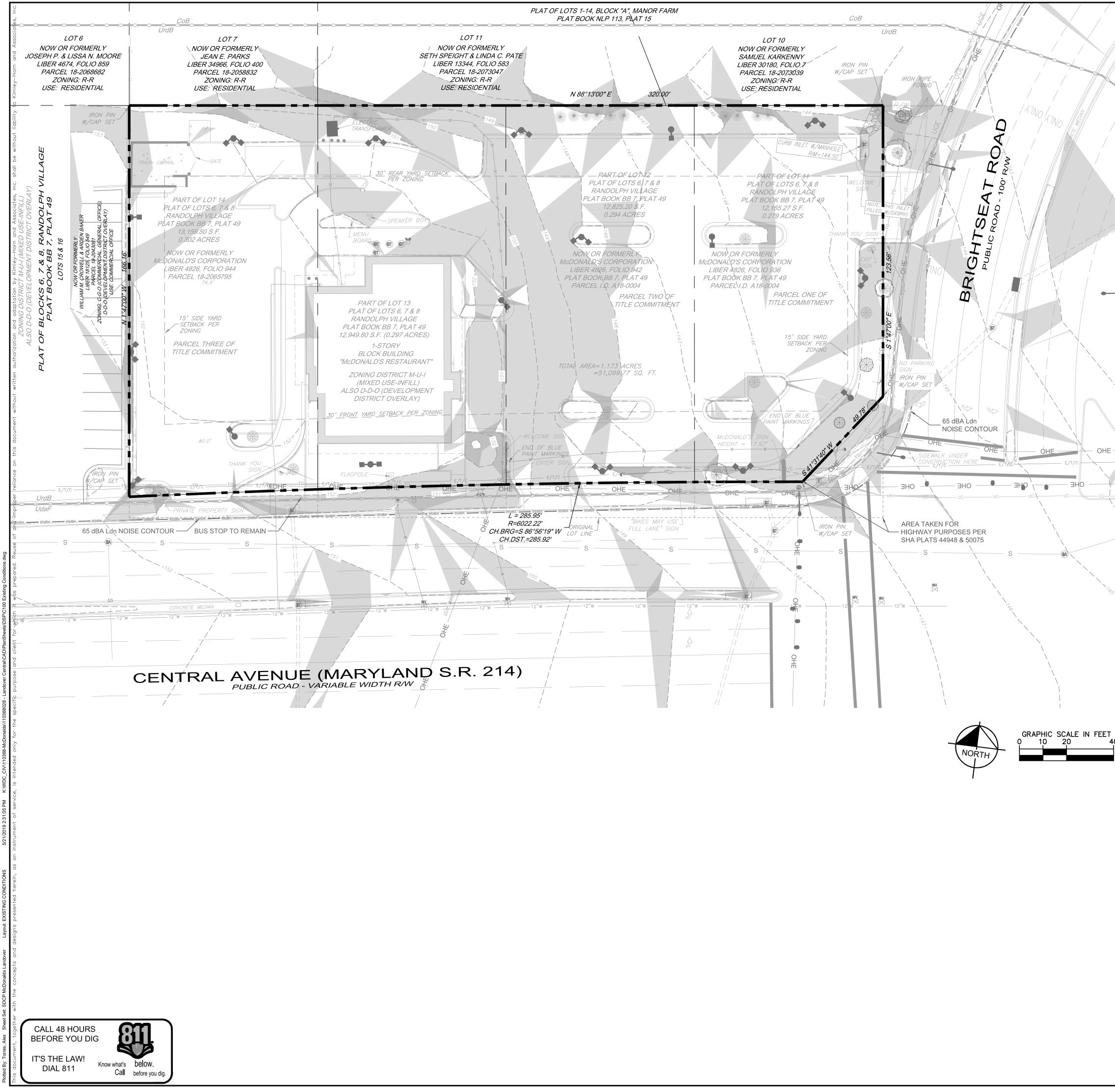
EXPIRATION DATE: October 16, 2022

CC: APPLICANT, SCD, PERMITS P.G.C. FORM #3693 (REV 04/93)

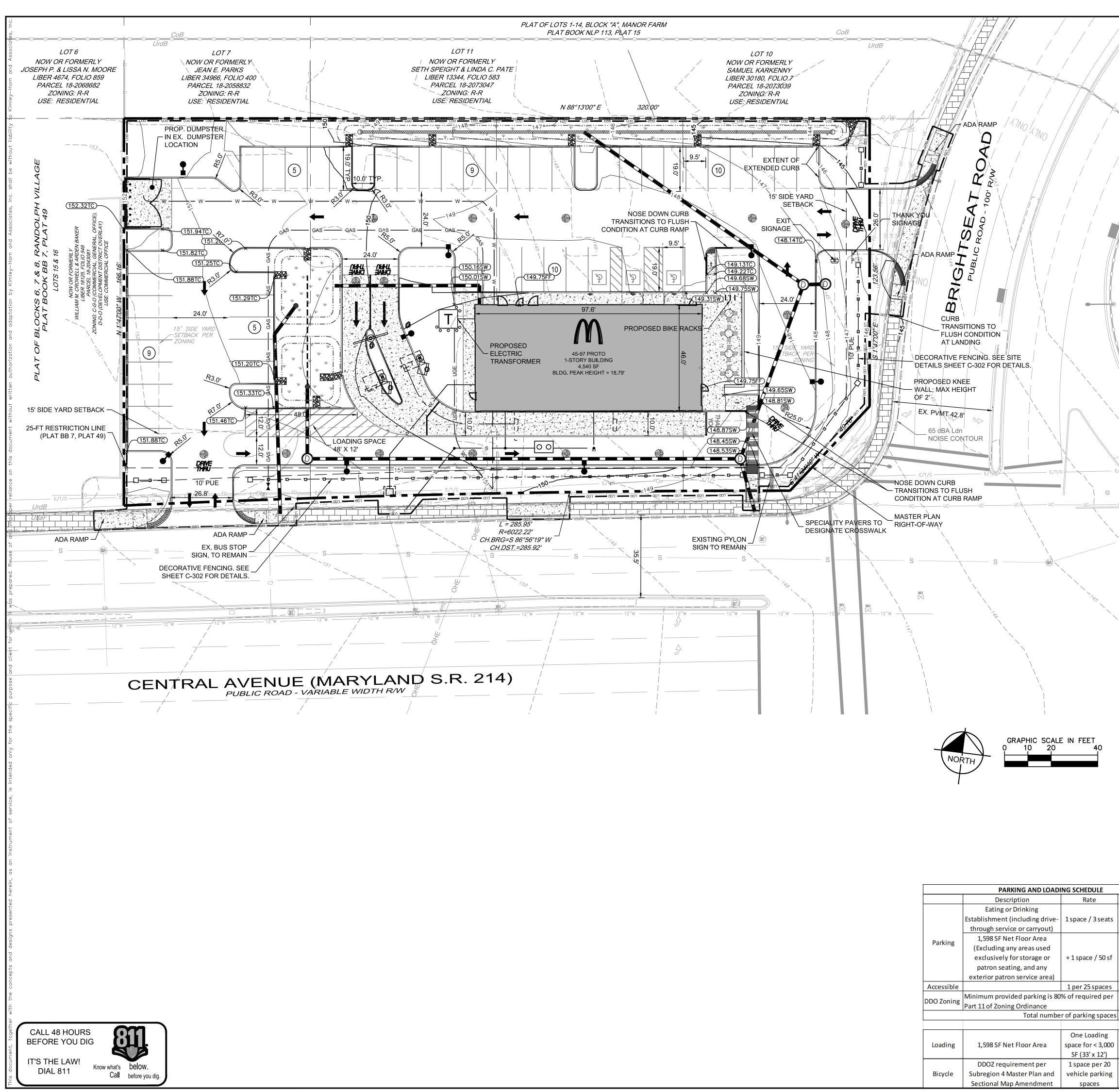
FOR OFFICE USE ONLY

5531 D8 200' SHEET: CENTRAL AVE AVE 01-Patuxent River COST PER DWELLING: 0 0

ADC MAP: STREET NAME: WATERSHED: NUMBER OF DU'S:

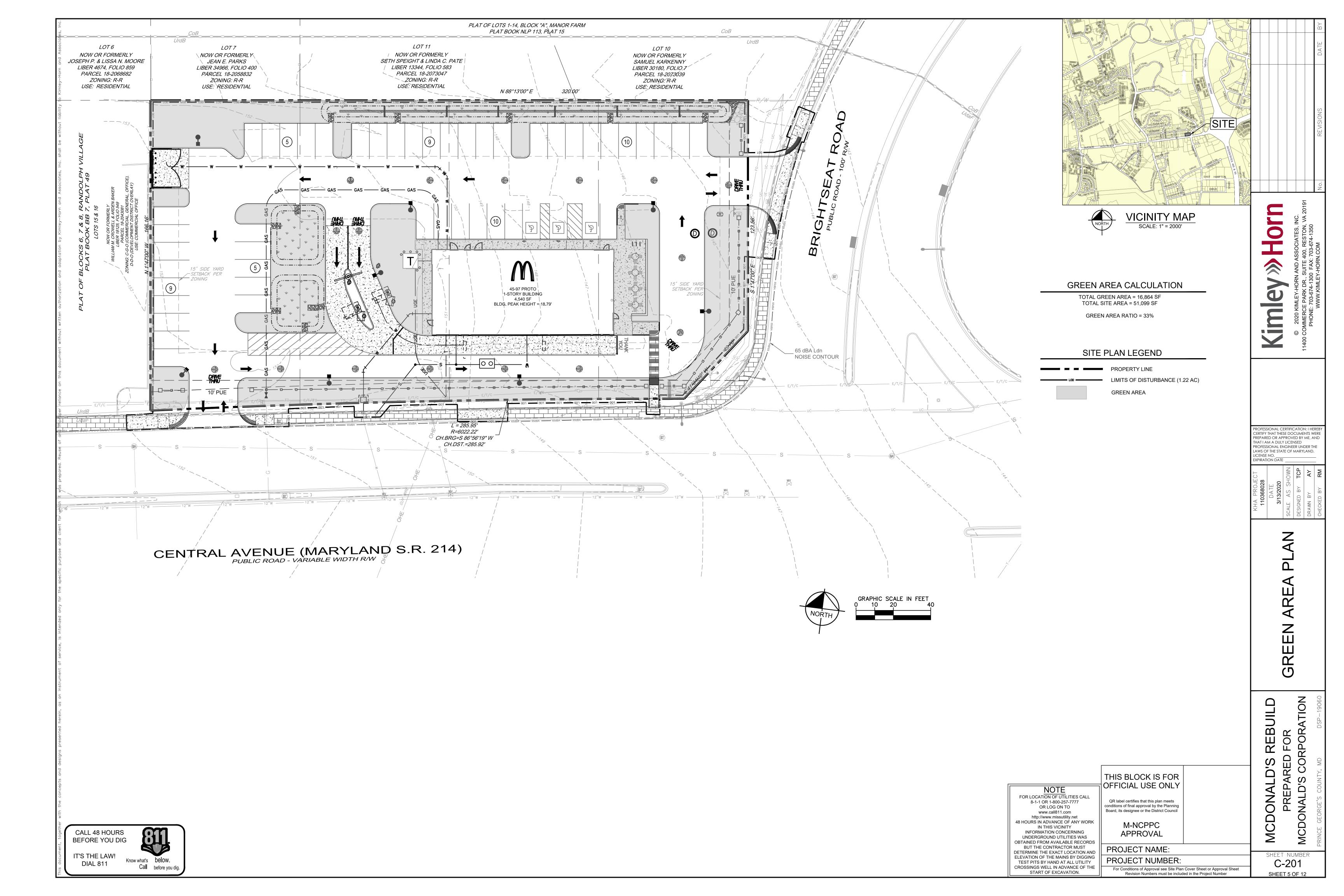


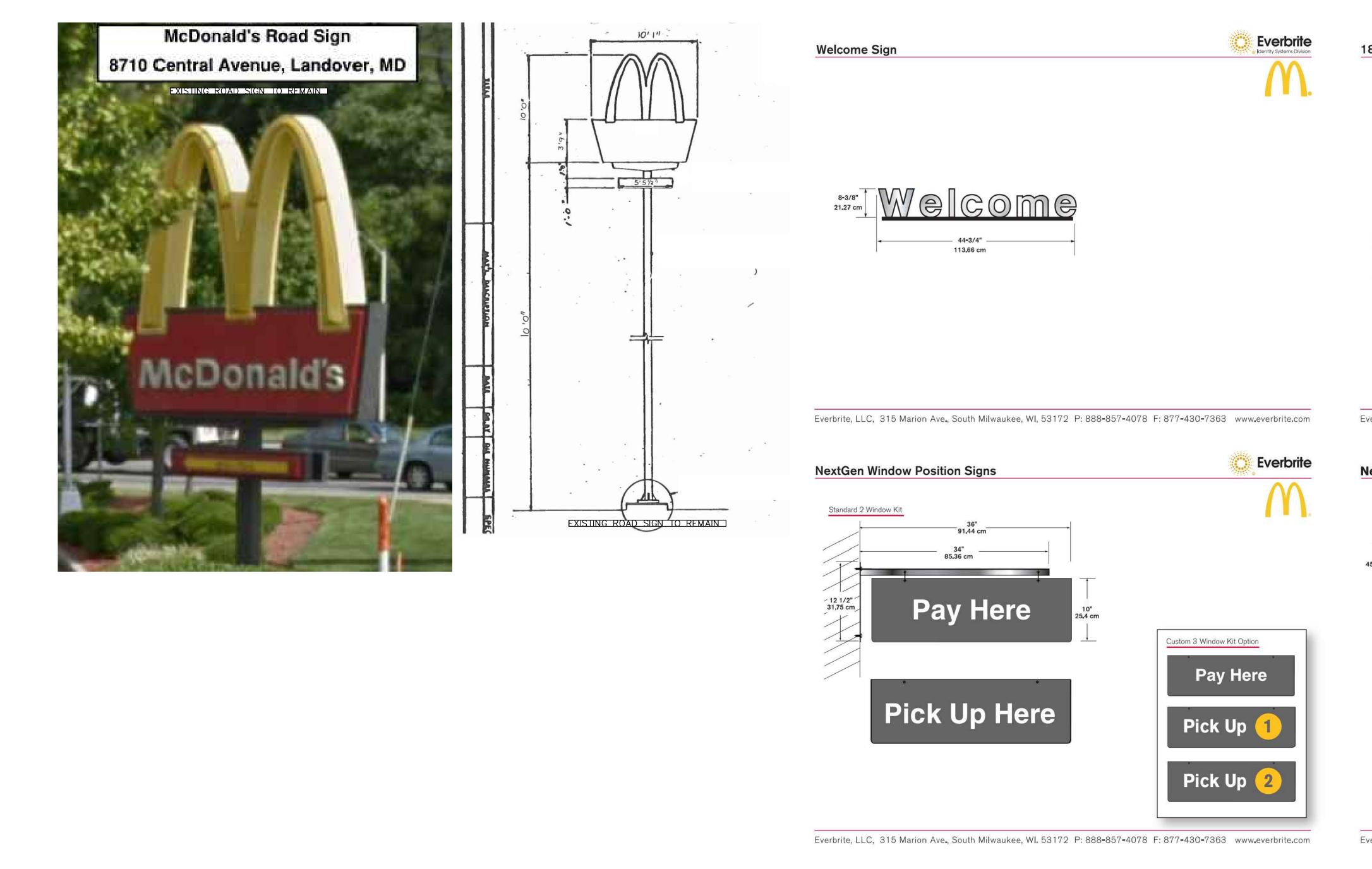
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	Image: Constraint of the second s	 PROPERTY LINE ADJACENT PROPERTY LINE CURB GAS LINE WATER LINE STORM DRAIN SANITARY LINE UNDERGROUND ELECTRIC OVERHEAD ELECTRIC OVERHEAD ELECTRIC, TELECOM, COMMUNICATION FIBER OPTICS SOIL BOUNDARY 	KHA PROJECT I10368028 10368028 10368028 110368028 DATE DATE 13/13/2020 3/13/2020 3/13/2020 SCALE AS SHOWN SCALE AS SHOWN DESIGNED BY TCP ITHOLOCIDATE ON WILL OWN BY AN OD SCALE AS SHOWN DESIGNED BY TCP ITHOLOCOMMERCE PARK DR., SUITE 400, RESTO DRAWN BY AN AN DRAWN BY AN MONERCE PARK DR., SUITE 400, RESTO DRAWN BY AN AN DRAWN BY AN MONERCE PARK DR., SUITE 400, RESTO
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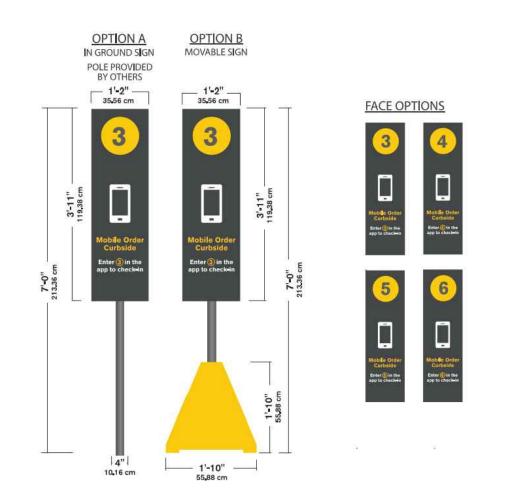
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s PROPOSED SANITARY SEWER LINE uc S EXISTING SANITARY SEWER PIPE	
UC UGE PROPOSED UNDERGROUND CONDUIT (ELECTRIC)	
m T T PROPOSED UNDERGROUND TELEPHONE m W PROPOSED WATER LINE	PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED
	PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO EXPIRATION DATE
PROPOSED PERFORATED STORM PIPE	BY BY 688
EXISTING STORM PIPE	KHA 110: 3/11: 3/11: 3/11: alle / alle / alle / alle / alle /
Image: Proposed stormwater manhole Image: Proposed stormwater inlet	AN
EXISTING WATER VALVE	
●co PROPOSED SANITARY SEWER CLEANOUT ⑤ PROPOSED SANITARY SEWER MANHOLE	μ
O O PROPOSED GREASE TRAP	
③ EXISTING SANITARY SEWER MANHOLE 보안직 WATER BEND	
TEST PIT (7) PROPOSED PARKING SPACES	
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NOTE OFFICIAL USE ONLY	IALD EPARI _D'S C
r -20% 8-1-1 OR 1-800-257-7777 OR LOG ON TO www.call811.com QR label certifies that this plan meets conditions of final approval by the Planning Board, its designee or the District Council	DONAI PREP ONALD'
es 44 48 http://www.missutility.net 48 HOURS IN ADVANCE OF ANY WORK IN THIS VICINITY M-NCPPC	
0 1 1 UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS BUT THE CONTRACTOR MUST	LL.
B 3 3 BETERMINE THE EXACT LOCATION AND ELEVATION OF THE MAINS BY DIGGING TEST PITS BY HAND AT ALL UTILITY CROSSINGS WELL IN ADVANCE OF THE For Conditions of Approval see Site Plan Cover Sheet or Approval Sheet	SHEET NUMBER
START OF EXCAVATION. For Conditions of Approval see Site Plan Cover Sheet or Approval Sheet Revision Numbers must be included in the Project Number	SHEET 4 OF 12

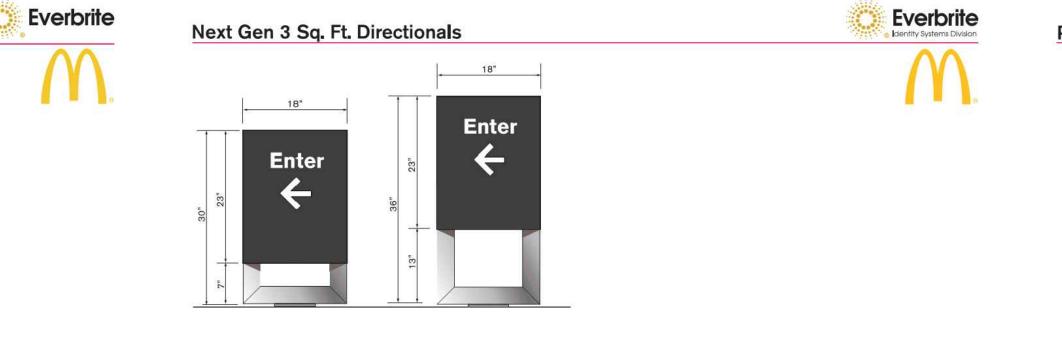


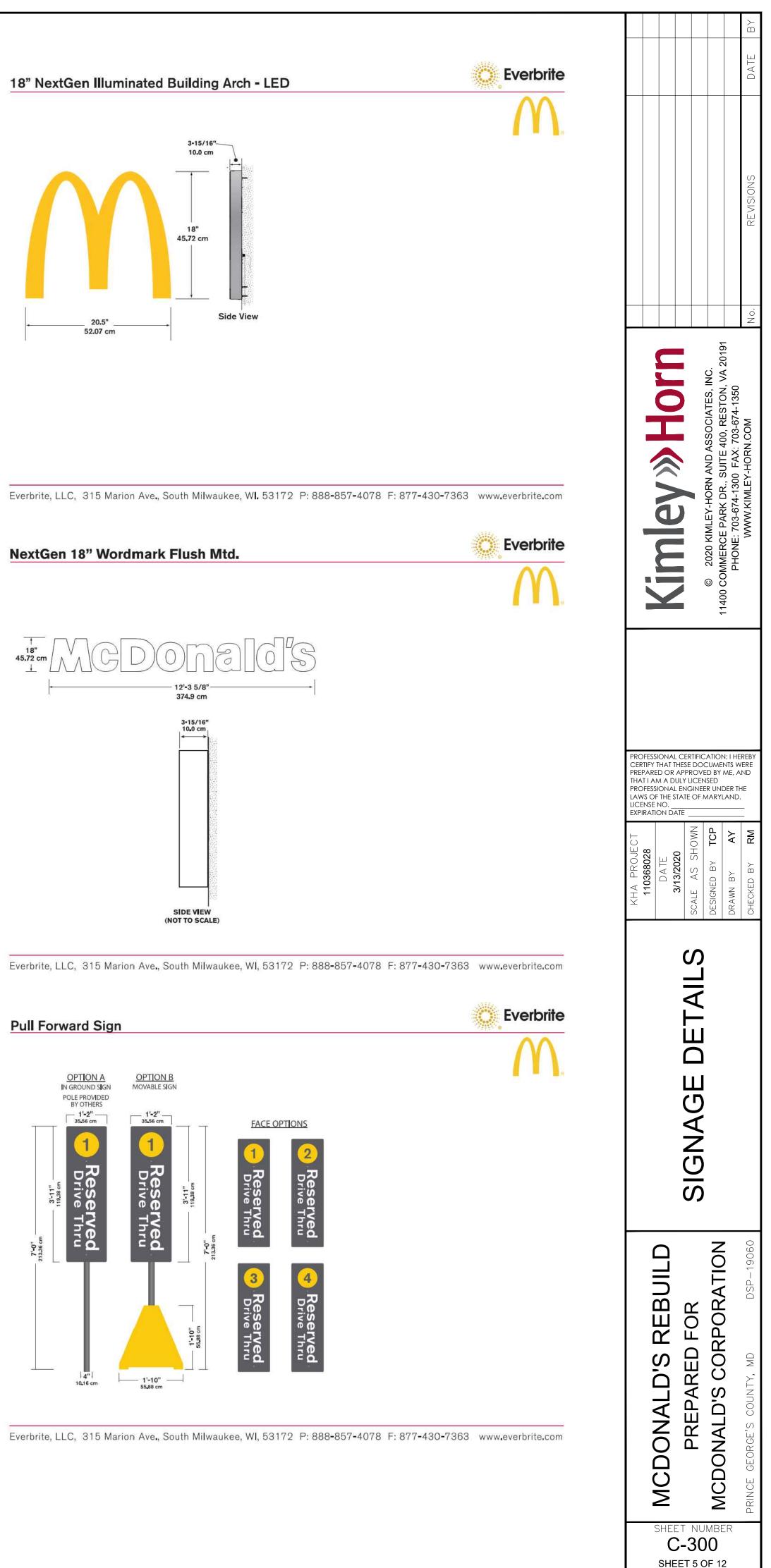


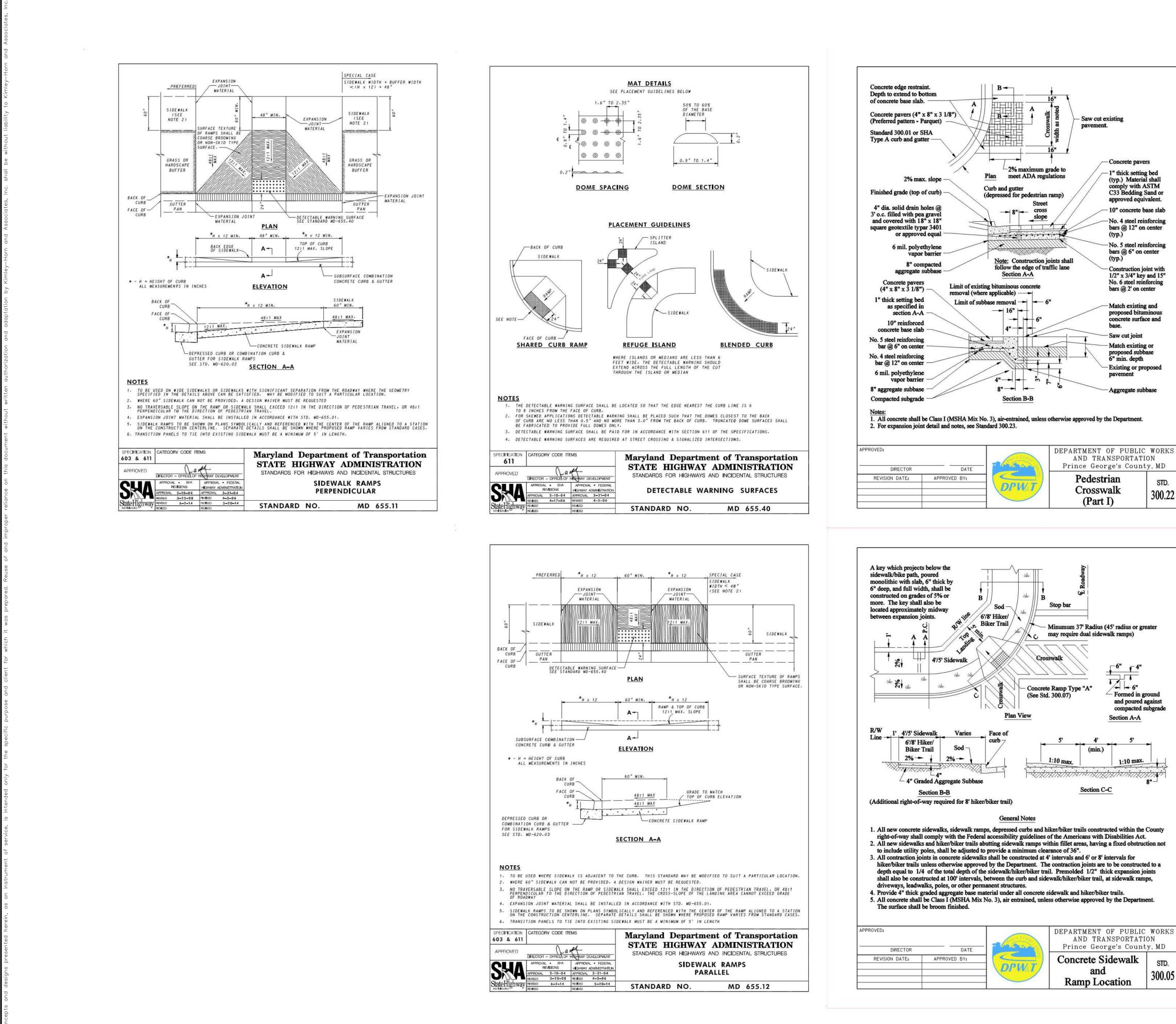
Mobile Ordering Curb Signage



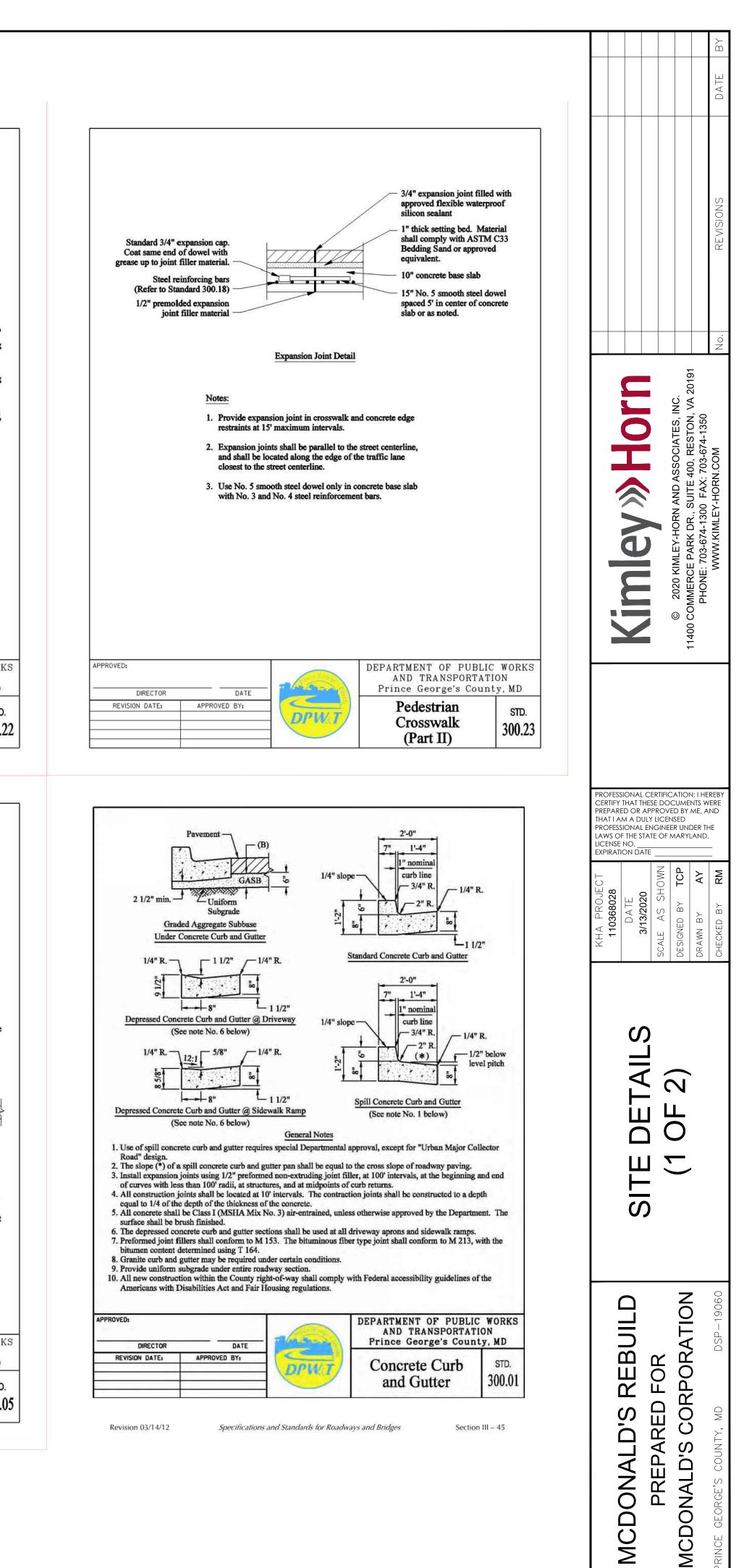
Everbrite, LLC, 315 Marion Ave., South Milwaukee, WI, 53172 P: 888-857-4078 F: 877-430-7363 www.everbrite.com





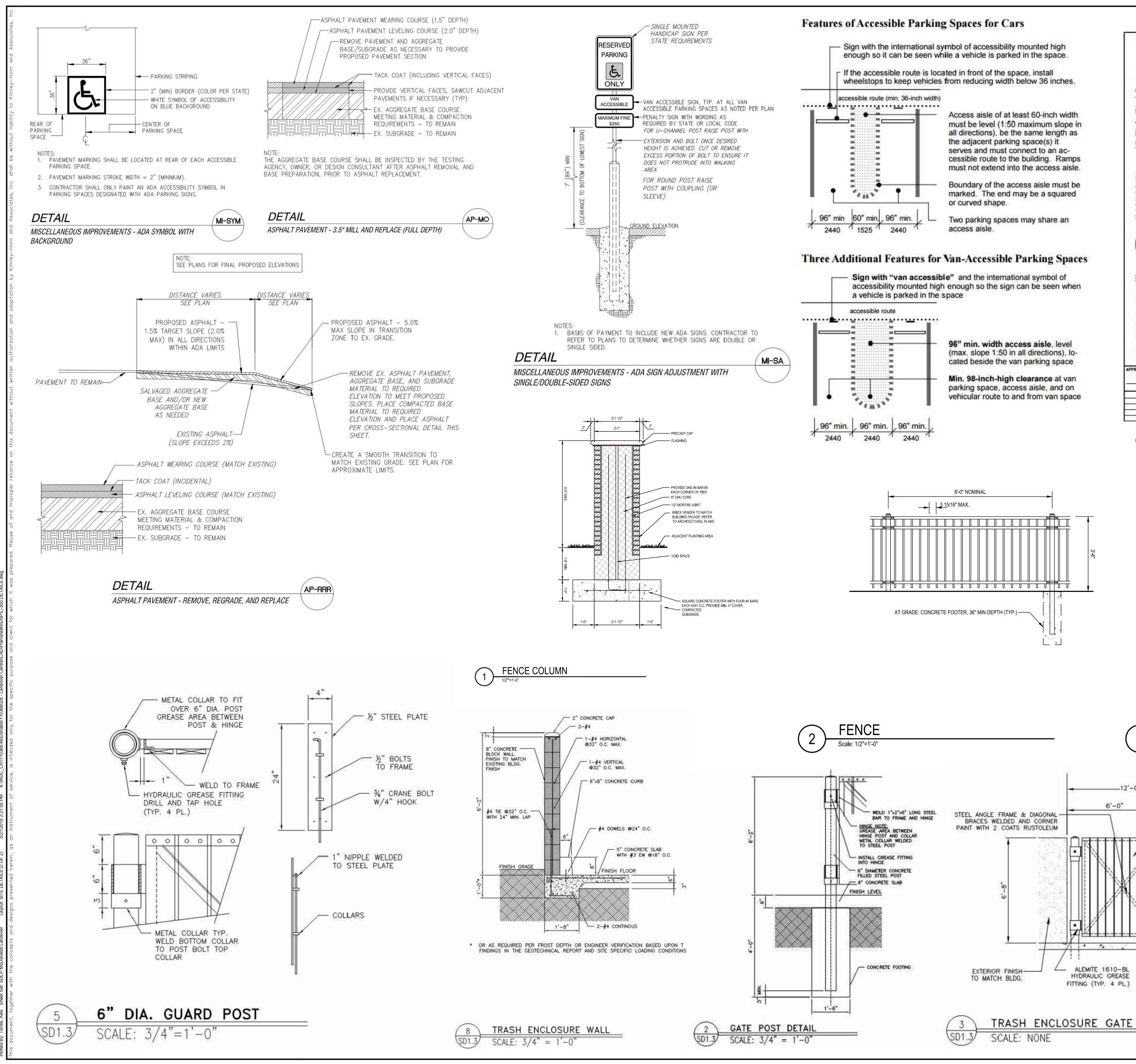


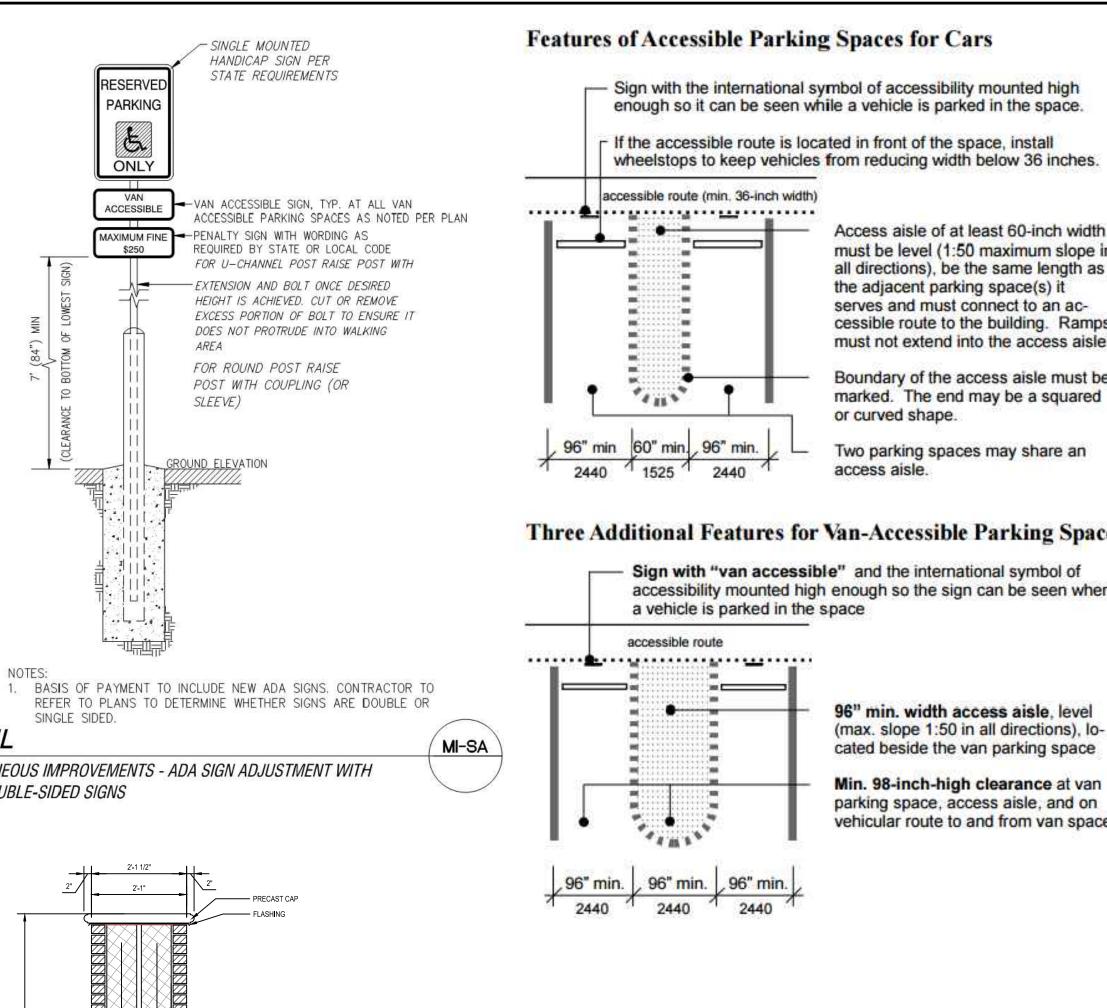


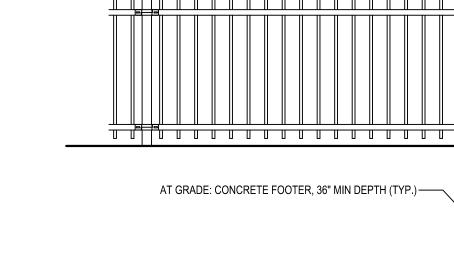


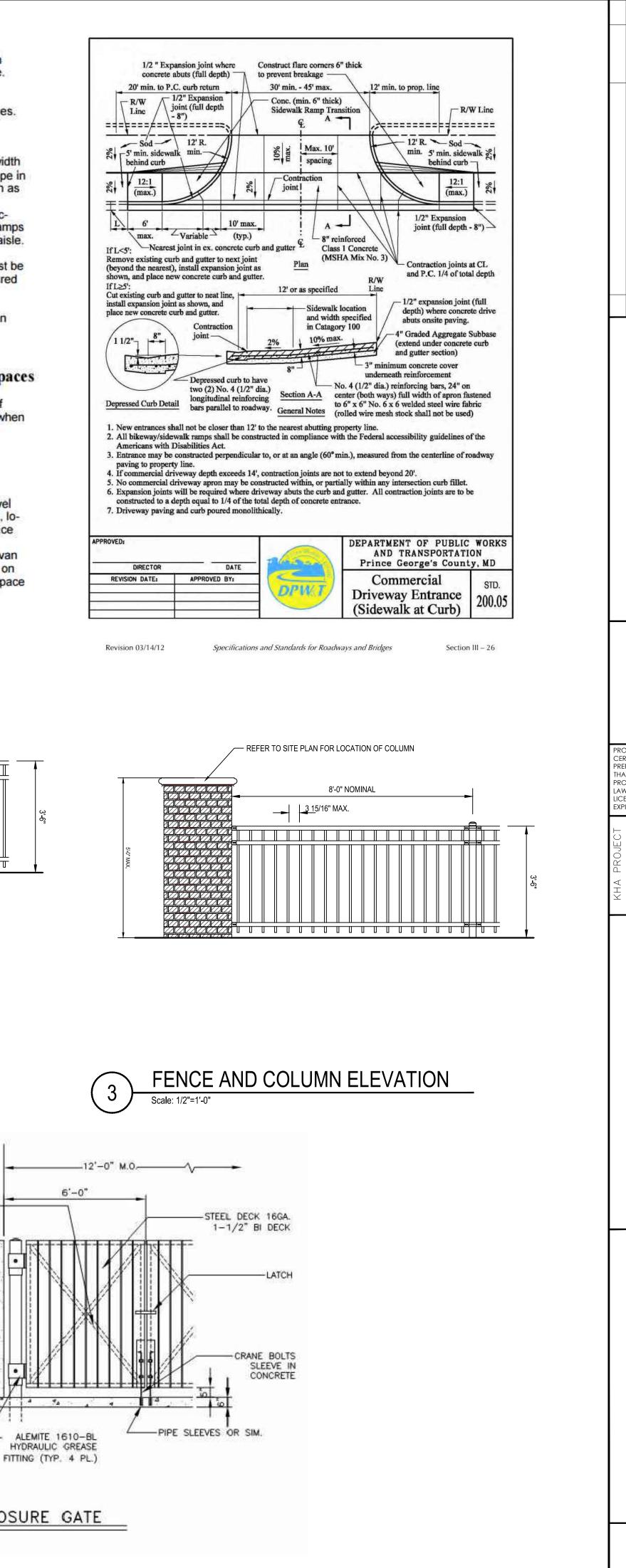
SHEET NUMBER

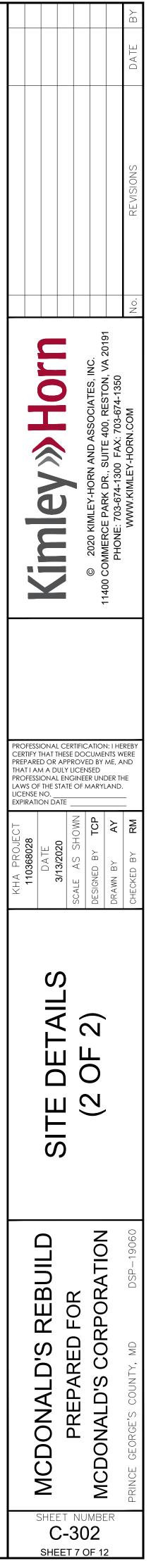
SHEET 6 OF 12

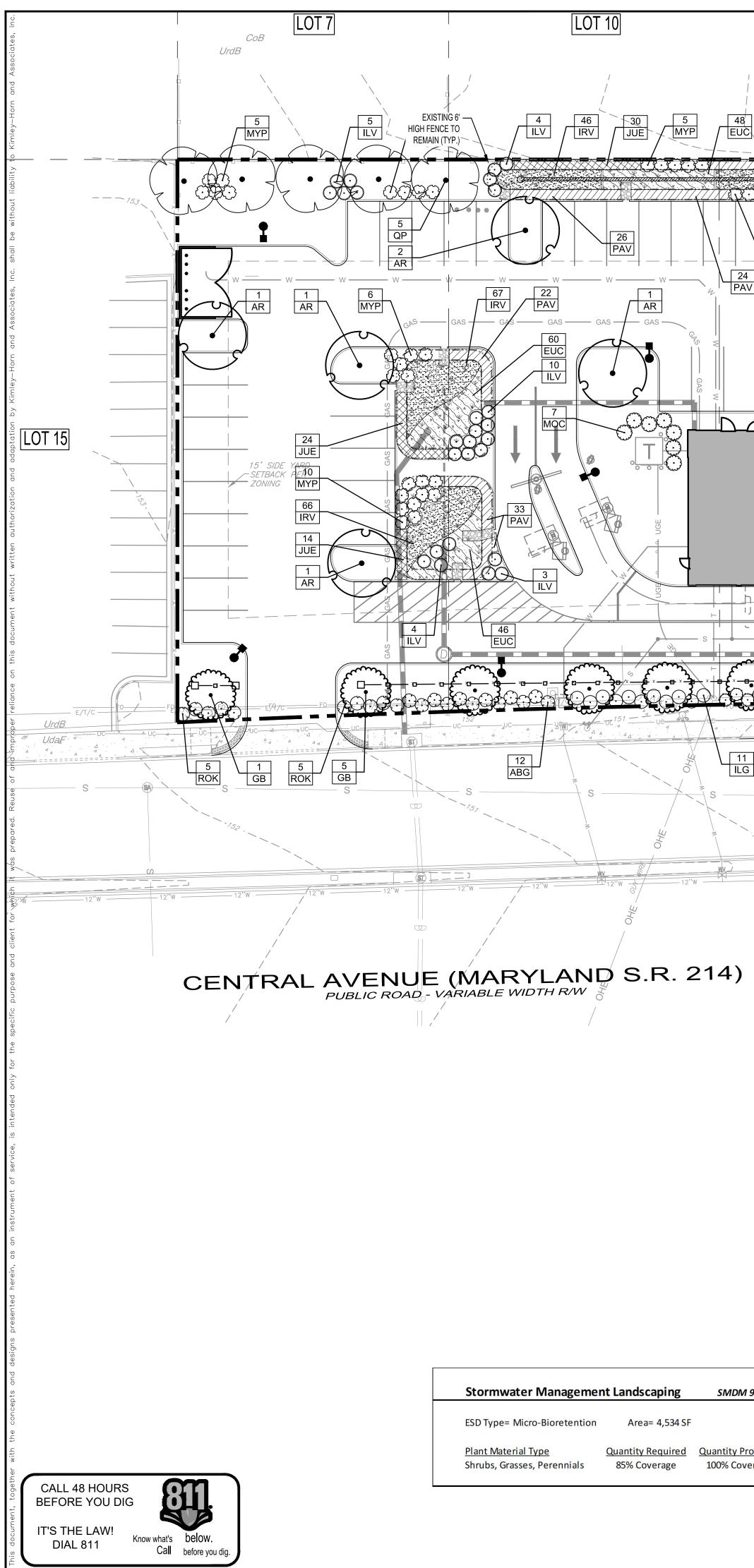




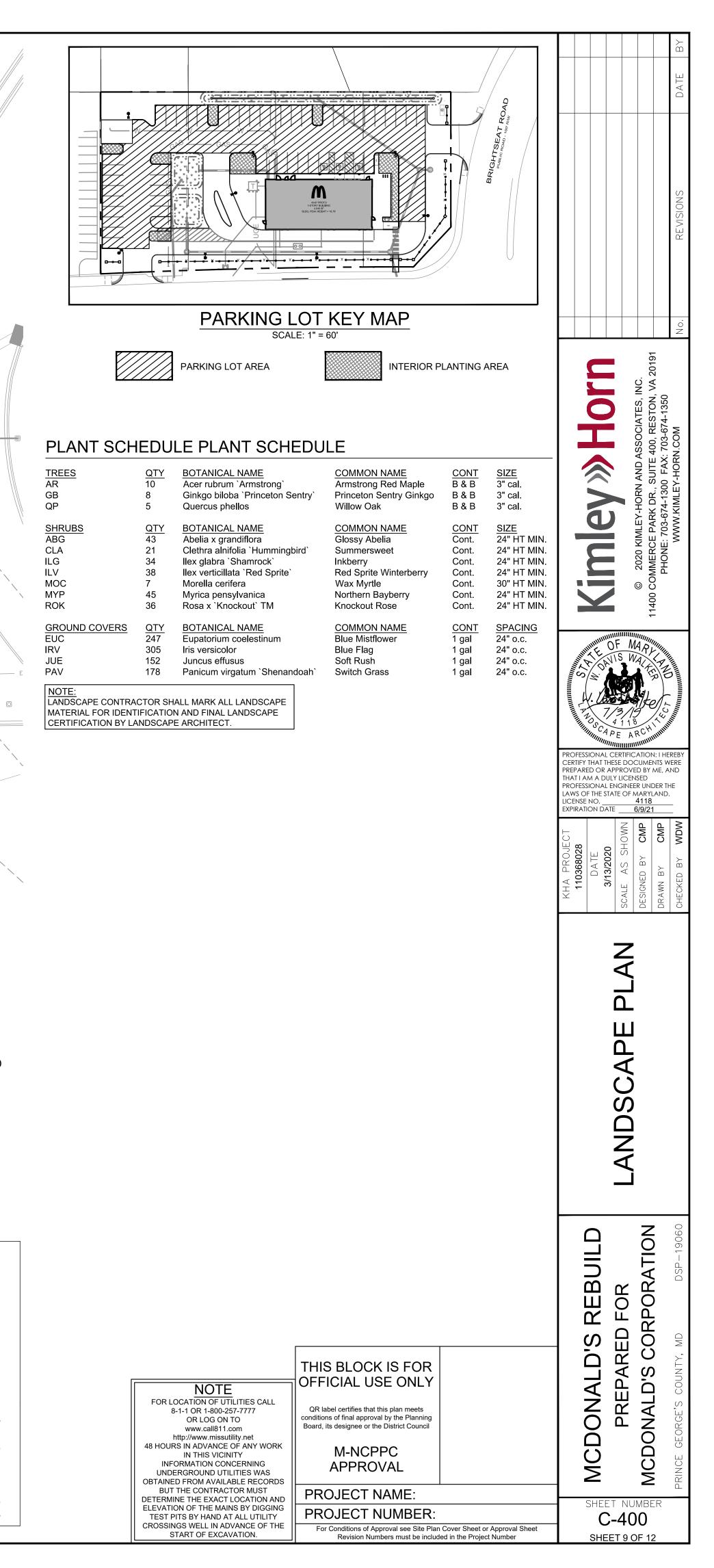








		.OT 11		СоВ	UrdB		
42 IRV		48 RV JUE			7 -V -		
						AD - 1000 RUM PAD - 1000 RUM PAD - 1000 RUM PAD - 1000 RUM PAD - 1000 RUM	
			3 YP 7 BG 1 R EXISTING T TO REMAIN (T ILG	REE			
1-ST	5-97 PROTO ORY BUILDING 4,540 SF EAK HEIGHT = 18.79'		T CBARD CBARD CBARD CR CR CR CR CR CR CR CR CR CR			10 ABG DECORATIVE FENCING. SEE SITE DETAILS SHEET C-302 FOR DETAILS.	
				S S S S S S S S S S S S S S S S S S S	UC-		
1 3 '7 ₅₀ -12''W - 1	S S			S	\ \ ₩₩ □12	S S S	1,15
	Tree Canopy Coverage Scho			12 11	12		
	Project Name: 6801 Annapolis Road Site Calculations:	TCP2#: Zone 1: Zone 2: Zone 3: Zone 4: Total Acres:	DRD Case #: M-U-I	Area (acres)			
	Total Acres (gross acres) 1.17 A. TOTAL ON-SITE WC PROVIDED (acres) = B. TOTAL AREA EXISTING TREES (non-WC acres) = C. TOTAL SQUARE FOOTAGE IN LANDSCAPE TREES = D. TOTAL TREE CANOPY COVERAGE PROVIDED = E. TOTAL SQUARE FOOTAGE REQUIRED =	% of TCC required 10.0% 0.00	TCC Required (Acres)	TCC Required in (SF) 5097 0 435.6 5750 5750 5097 Requirement		ORAPHIC SCALE IN FI	
	Credit Categories for Landscape Trees Deciduous - columnar shade tree (50 ' or less height)	TCC Credit per Tree Based on Size at Planting (SF) 2 -1/2 - 3" = 65 3 - 3 1/2" = 75 1-1/2 - 1-3/4"= 75	Number of Trees	Satisfied TCC Credit (SF) 0 0 0		Planting Schedule for Section 4.9-1	
	equal spread). Minimum planting size 7 - 9 ' in height Deciduous - minor shade tree (25-50' height with equal spread or greater). Minimum planting size 8-10' in height Deciduous - major shade tree (50' and greater ht. with spread equal to or greater than ht) Minimum planting size 12 to 14' in height	2 - 2 1/2" = 100 $2 - 1/2 - 3" = 110$ $2 - 1/2 - 3" = 160$ $3 - 3 1/2" = 175$ $2 - 1/2 - 3" = 225$ $3 - 3 1/2" = 250$ $6 - 8' = 40$	23	0 0 0 0 5750	1)	Sustainable Landscaping RequirementsPercentage of native plant material required in each category:Shade Trees:total 23 x 50% = 11.5 total number required total number provided 23 = 100 % nativeOrnamental Trees:total 0 x 50% = 0 total number required	
1 9.7.3.5.	Evergreen - columnar tree (less than 30' height with spread less than 15')	8 - 10' = 50 10 - 12' = 75 6 - 8' = 75		0 0 0		total number provided $0 = 0$ % nativeEvergreen Trees:total 0 x 30% = 0 total number requiredtotal number provided $0 = 0$ % native	
	Evergreen - small tree (30-40' height with spread of 15- 20')	8 - 10' = 100 10 - 12' = 125 6 - 8' = 125		0 0 0	2)	Shrubs: $total 1,112 \ge 30\% = 327$ total number required total number provided $1,027 = 92\%$ nativeAre invasive species proposed?yes	<u>X</u> no
rovided verage	Evergreen - medium tree (40-50' height with spread of 20- 30')			0 0 0	3)	Are existing invasive species on-site in areas that are to remain undisturbed?yes	X_no
	Evergreen - large tree (50' height or greater with spread	8 - 10' = 200 10 - 12' = 250	23	0 0 5750	4)	If "yes" is checked in numbers 2 or 3, is a note included on the plan requiring removal of invasive species prior to certification in accordance with Section 1.5, Certification of Installation of Plant	
	(Manually enter information/figures into shaded areas) Davis Walker	-	12/17/2019		5)	Materials? yes Are trees proposed to be planted on slopes greater than 3:1? yes	X no
	Prepared by		Date				_



GENERAL NOTES

- 1. Plants shall be healthy, vigorous material, free of pests and diseases and are subject to approval/rejection of the Landscape Architect prior to, during and after installation.
- 2. Contractor shall identify all materials at growing location prior to purchase and submit digital photographs, and source list to the Landscape Architect for approval at a minimum of six (6) calendar weeks prior to installation. Plants not approved shall be resourced and resubmitted.
- 3. Planting beds and individual tree plantings shall be mulched continuously as specified.
- 4. Prior to construction the contractor shall be responsible for locating underground utilities and execute work in a manner that avoids damage to utilities during the course of work. Contractor shall be responsible or remedy of any damage to utilities, structures, site appurtenances that occur as a result of landscape related work.
- 5. Contractor is responsible for verifying quantities shown on documents. Field adjustments shall be approved by Landscape Architect prior to installation. Quantities indicated on drawings are for reference-it is the Contractor's responsibility to ensure full coverage of plants at the indicated spacing.
- 6. Contractor is responsible for maintenance of all plantings including, but not limited to watering, mowing, edging, spraying, mulching, fertilizing, of plantings and turf areas for one (1) calendar year from date of certificate of occupancy. Contractor is responsible for warranty of all plant material for a period of one (1) calendar year from date of certificate of occupancy. Warranty replacement planting shall meet or exceed the original specification identified on drawings. Replacement planting shall extend the same warranty as originally installed materials. Plantings and grass areas shall be flourishing and fully thriving at end of warranty period.
- 7. Plants identified for replacement by Owner, Landscape Architect shall be replaced immediately by the Contractor unless otherwise agreed upon. Plantings (trees, shrubs, groundcover) subject to replacement by warranty shall exhibit characteristics of 30% dead-per individual plant, non-contributing or disease compromised. Grass areas suitable for acceptance shall demonstrate 85% sustained/consistent and continuous, densely established coverage
- Contractor shall perform a site review at end of warranty period and provide the Owner with written documentation of the site, including plant health, warranty replacement items, and conditions that may be influencing plant health. Contractor shall remove from plants and site, all staking and guying material at end of warranty period.
- 8. Contractor shall comply with all local, state and federal requirements, codes and regulations related to the work undertaken 9. All material including planting operation appurtenances shall be of domestic origin manufacture and
- sourced within 100 miles of the project site 10. Contractor is responsible for coordination among trades operating on site. Coordination and if necessary resulting modifications to schedules are responsibility of the Contractor.

PERFORMANCE SPECIFICATION

I. PLANTS

- A.General 1. Live healthy plants free of dead branches and parts
- 2. Free of disease, insect, injury and damage
- 3. Unbroken, intact, dense and solid rootballs and containers, without cracks, flat sides or previously repaired damade
- 4. Free of girdling roots or rootbound/circling container conditions 5. Plants of consistent in growth habit and healthy character
- 6. Free of compromising growth conditions such as weak crotch connections, crossed branches, snags and scars 7. Point of origin growing location within 100 miles of project site
- 8. Graded, standards, caliper, sizes and stock consistent with ANSI Z60.1, American Standard for Nursery
- Stock most current edition 9. Species identified consistent with Hortus Third: Concise Dictionary of Plants Cultivated in the United <u>States and Canada, most current edition and Manual of Woody Plants: Their Identification, Ornamental</u>
- <u>Characteristics, Culture, Propagation and Uses, most current editior</u> 10. All disturbed areas shall be grass seed unless otherwise identified on landscape plans
- B. Trees:
- 1. Deciduous Single Trunk
- a. Full, straight and upright with consistent symmetrical natural branching pattern throughout b. Branching Height-seven (7) feet to lowest branch in two years unless otherwise required by local jurisdiction

2. Deciduous Multi-Trunk

- a. Full and upright with straight consistent symmetrical natural branching pattern throughout b. Canes evenly spaced and of similar growth habit c. Free of suckers and extraneous branching
- 3. Evergreen Single-Trunk a. Full and upright with continuous symmetrical dense natural habit
- b. Clear branching height twelve (12) inches above top of rootball
- c. Free of suckers and extraneous branching
- d. Do not shear or otherwise prune to shape plantings

C.Evergreen and Deciduous Shrubs

- 1. Full, dense and naturally symmetrical. 2. Consistent with container and/or balled and burlapped size
- 3. Free of suckers and extraneous branching
- 4. Do not shear or otherwise prune or shape plantings

D. Evergreen and Deciduous Groundcover

1. Full and dense in pots or flats E. Perennials and Seasonal Color

1. Full and dense in pots or flats

F. Turf Grass

- 1. Subgrade
- a. Soil Mix-10% Compost, 90% topsoil by volume
- b. Preparation-loosen subgrade to a minimum depth of four (4) inches. Remove all non-natural materials including litter, stones, sticks and all items greater than ³/₄ inch in any dimension
- c. Preparation-spread soil mix at a depth of four (4) inches continuously to meet grade elevations shown on drawings. Allow for thickness of sod when applicable

2. Grass Sod

- a. Install not longer than twenty-four (24) hours from harvest
- b. Grass bed not less than two (2) inches in continuous thickness
- c. 100% continuous live sod coverage after first growing season and at end of warranty period. d. Of uniform non-varying density and continuous texture quality capable of growth and development immediately upon installation. Weed and noxious plant free
- e. Stagger installation rows and place aligned parallel to contours
- f. Fill joints solidly with planting bed preparation soil
- g. Provide anchor pins at twenty-four (24) inches on center for slopes greater than 4:1

3. Grass Seed

- a. Mix approved by the Landscape Architect
- b. Provide first and new of year seed crops in mix free of weed seeds and deleterious matter
- c. Provide seed mix not greater than 15% annual or perennial rye
- d. Coverage 85% continuous coverage live stand after first growing season and at end of warranty e. Replacement or overseeding mixes consistent with original application/installation
- f. Provide erosion blankets or other slope retention methods as noted on drawings

II. Materials and Appurtenances

A.Testing

1. Materials testing information/certificates/dated labels shall be current to the project and performed/certified not greater than 120 calendar previous days from current date of submittal for review

B. Top Soil

1. Neutral Ph balance 5.5 -7.5. Friable and containing 2.0-5.0% organic matter by dry weight. Continuously free of non-soil items such as stones, debris, sticks, trash, and deleterious matter greater than ³/₄ inch in any direction. Clay content shall not exceed 25%. Gravel content shall not exceed 10%. Silt shall not exceed 25%



- C.Use of Existing Topsoil
- D. Shredded Hardwood Mulch
- Neutral Ph balance 5.5-7.5
- E. Composted Pine Bark Fines
- wood content

F. Compost Ph

Consistent with US-EPA CFR Title 40 Part 503 Standards for Class A biosolids

G.Compost Testing

- requirements
- the US Composting Council Seal of Testing approval programs

H.Planting Mix

- 1. 85% topsoil and 15% Compost
- I. Fertilizer

- J. Herbicide 1. Product and Material Safety Data as approved by Owner
- K. Water 1. Potable only unless otherwise approved by Owner
- L. Hardwood Stakes
- 1. 2 x 2 x 48 inch square of sound hardwood, painted flat black on all sides
- M.Tree Ties 1. Villa Non-Abrasive Rubber Tree Ties or approved equal
- N.Filter Fabric

1. Mirafi 140-N or approved equal

- O.Steel Edging

P. River Stone

- 1. Locally sourced, river rounded, unfaceted river stone/cobbles.
- 2. Size shall not exceed 3 total inches in any dimension. 3. Color and texture approved by Owner
- 4. When placed in concrete or mortar setting bed, tamp to secure and brush clear joints. 5. Concrete or mortar as approved by owner.

III. Execution

- A.Site Conditions

- of acceptance prior to commencement of work. 3. Notify Owner in writing of any conditions that may preclude successful completion of work including items
- 4. Notify Owner in writing immediately of any items that may influence work schedule, timing of tasks, materials delivery and/or installation and warranty responsibilities
- work by others.

on an individual project basis.

1. Deciduous and Evergreen Trees

2. Deciduous and Evergreen Shrubs

B.Planting Seasons

2. Dogwood (Cornus Sp.) 3. Sweetgum (Liquidambar Sp.)

4. Spring Flowering Bulbs

5. Seasonal Annuals

7. No Plant Installation

C.Positioning & Location of Plantings

3. Perennials

6. Turf Grass

installation

Owner approval

D.Implementation

E. Clean Up

Architect

furnishings, etc.

1. Existing topsoil on-site may be repurposed with prior Owner approval. Contractor shall provide soil testing and additive program that demonstrates consistent performance and characteristics and composition as identified herein. Owner shall approve soil testing and soil amendment/additive methods and procedures

1. 100% organic shredded first year hardwood free of deleterious matter, rock, gravel and weed seed.

1. 100% organic ground pine bark with no particle dimension greater than ³/₄-inch and no greater than 10%

1. Balanced 5.0-8.5 mature, stable and weed free produced by natural aerobic decomposition. Free of visible contaminants and toxic substances. Not greater than 5% sand, silt, clay or rock by dry weight.

1. Prior to delivery on-site, the following items are required for approval by Owner: Feedstock percentage in final compost product; statement that the products meets federal, state and local health safety

2. Provide copy of lab analysis less than 120 calendar days old verifying that the product meets described physical requirements; chemical contaminants; Ph; physical contaminants; biological contaminants (including a statement that fecal coliform and salmonella testing and results comply with requirements of

1. Granular 10% nitrogen, 6% Phosphorous, 4% Potassium granular form with 50% Nitrogen in organic form. Product and Material Safety Data as approved by Owner

1. 1/8-inch x 4-inch in full sections. Ryerson, Timec or approved equal with integral stakes. No open corners. Corners shall be formed and trued to compliant angle or welded closed

1. Inspect site and notify Owner in writing of acceptance with indication that project conditions are acceptable are suitable to proceed with work. Notify Owner of any existing damage and/or other conflicting conditions. 2. Do not proceed with work until unsatisfactory conditions have been satisfactorily remedied. Notify Owner

such as coordination with other trades, incomplete work, drainage, soil temperature and/or composition, access to storage/work areas, damage to conditions, etc.

5. Coordinate and cooperate with other trades working in and adjacent to work areas. Examine drawings of other trades which show development of the entire project and become familiar with the scope of required

Recommended seasons are a general guide based on historical climatic data and typical performance of plantings, and which vary dependent on project-specific environmental conditions. Due to construction schedules, recommended planting seasons may/may not coincide with request(s) for certificate of occupancy for projects. Coordination of planting installation and seasons shall be reviewed with Owner

a. Do not install/plant the following trees between September 15 and March 15 1. Oaks (Quercus Sp., Such as Q. rubra, Q. alba, Q. phellos, Q. coccinnea)

4. All Conifers and Evergreens except White Pine (Pinus strobus Sp.)

a. Install/plant between March 15 and June 15 and/or September 15 and November 30

a. Install/plant between March 15 and June 15 and/or September 15 and November 30

a. Install/plant between September 15 and December 15

a. Install/plant in season per approved schedule

a. Install/plant between March 15 and May 15 and/or September 15 and November 30 b. Do not install/plant seed or sod turf grass areas when ambient air temperature is below forty (40) degrees Fahrenheit, or forecast for a twelve (12) hour period after completion of work

a. Do not install plantings or turf grass between June 15 and September 15, without approval by Owner

1. Position plants to show the most-prominent and well-formed face to most-public view 2. Field locate plants and location/spacing/dimension of planting beds on project site prior to beginning

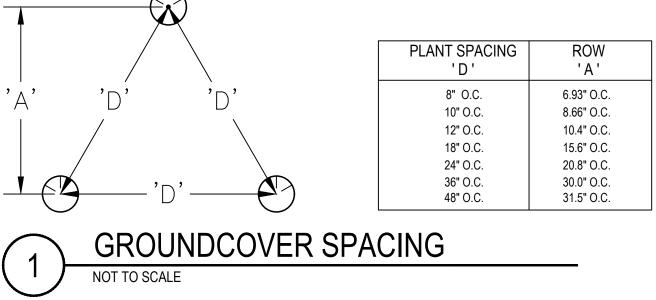
3. Verify location of individual plants and plant beds prior to beginning installation. Do not proceed without

1. Pursue work continuously without delay or interruption until completion unless notified otherwise by Owner 2. Provide project submittals ahead of commencement of work. Landscape Architect requires a minimum of ten (10) working days from date of receipt for review of submittals and response to Owner and Contractor. Plan accordingly for procurement of materials

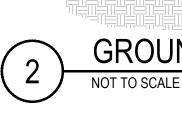
3. Continuously update implementation schedule and notify Owner of progress. Delays related to material availability are not cause for non-completion of scheduled delivery of work 4. Report delays due to weather or site conditions immediately upon finding. Provide recommendation for remedy of schedule delays. Do not work, place or modify frozen soil 5. Report delays due to extraordinary natural or other conditions beyond control of Contractor

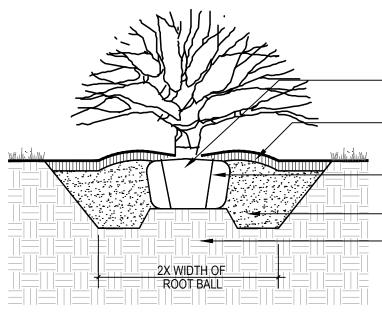
1. Remove trash, debris and work materials from site prior to request for substantial completion. Thoroughly clean surfaces impacted by work including building, parking areas, roadways, sidewalks, signs, lights, site

2. Repair any damage to existing conditions that occurred during execution of work. 3. All clean-up and demobilization procedures shall be performed to satisfaction of the Owner and Landscape NOTE: GROUNDCOVERS AND TRIANGULAR SPACING



SET GROUNDCOVERS AND PERENNIALS IN STAGGERED ROWS AT SPECIFIED SPACING. MULCH ENTIRE BED WITH 2" SHREDDED HARDWOOD MULCH OR

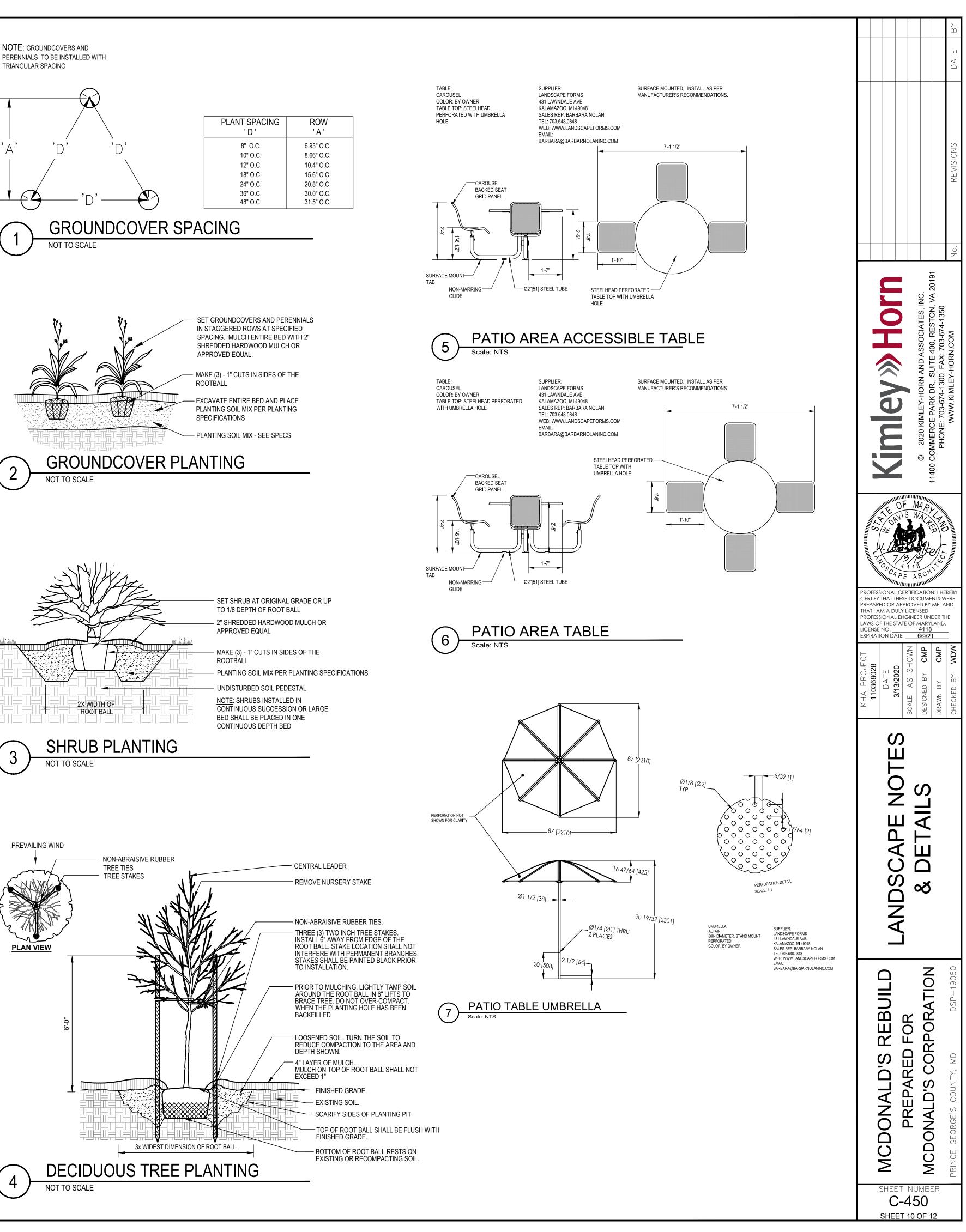


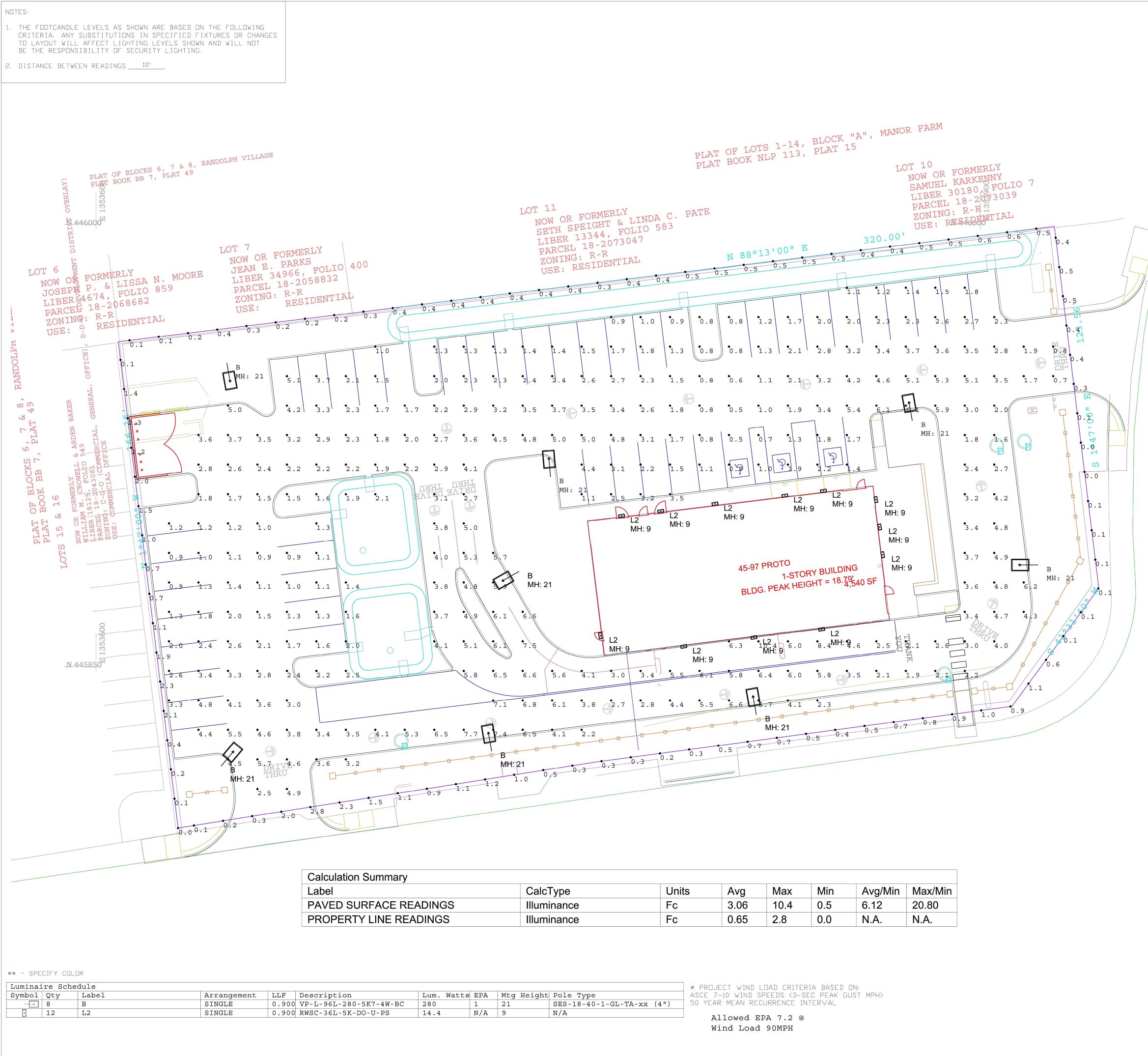


TO 1/8 DEPTH OF ROOT BALL 2" SHREDDED HARDWOOD MULCH OR

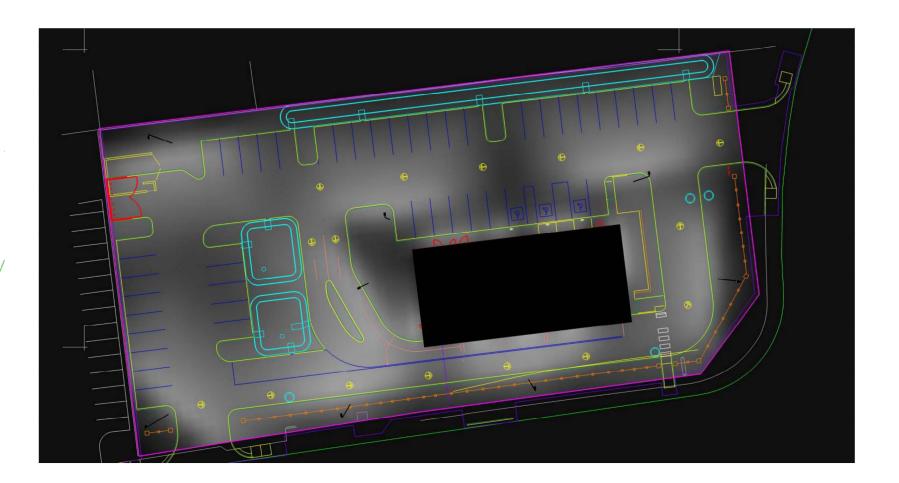
ROOTBALL

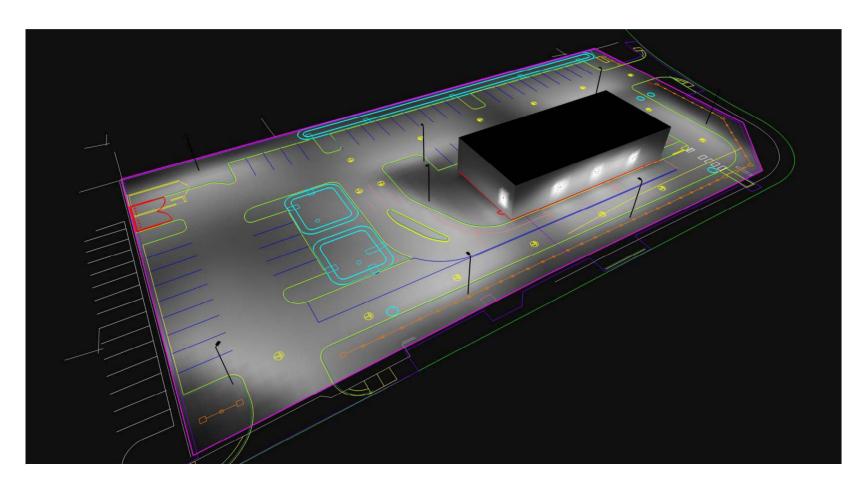
NOTE: SHRUBS INSTALLED IN BED SHALL BE PLACED IN ONE CONTINUOUS DEPTH BED





						-
уре	Units	Avg	Max	Min	Avg/Min	Max/Min
nance	Fc	3.06	10.4	0.5	6.12	20.80
nance	Fc	0.65	2.8	0.0	N.A.	N.A.



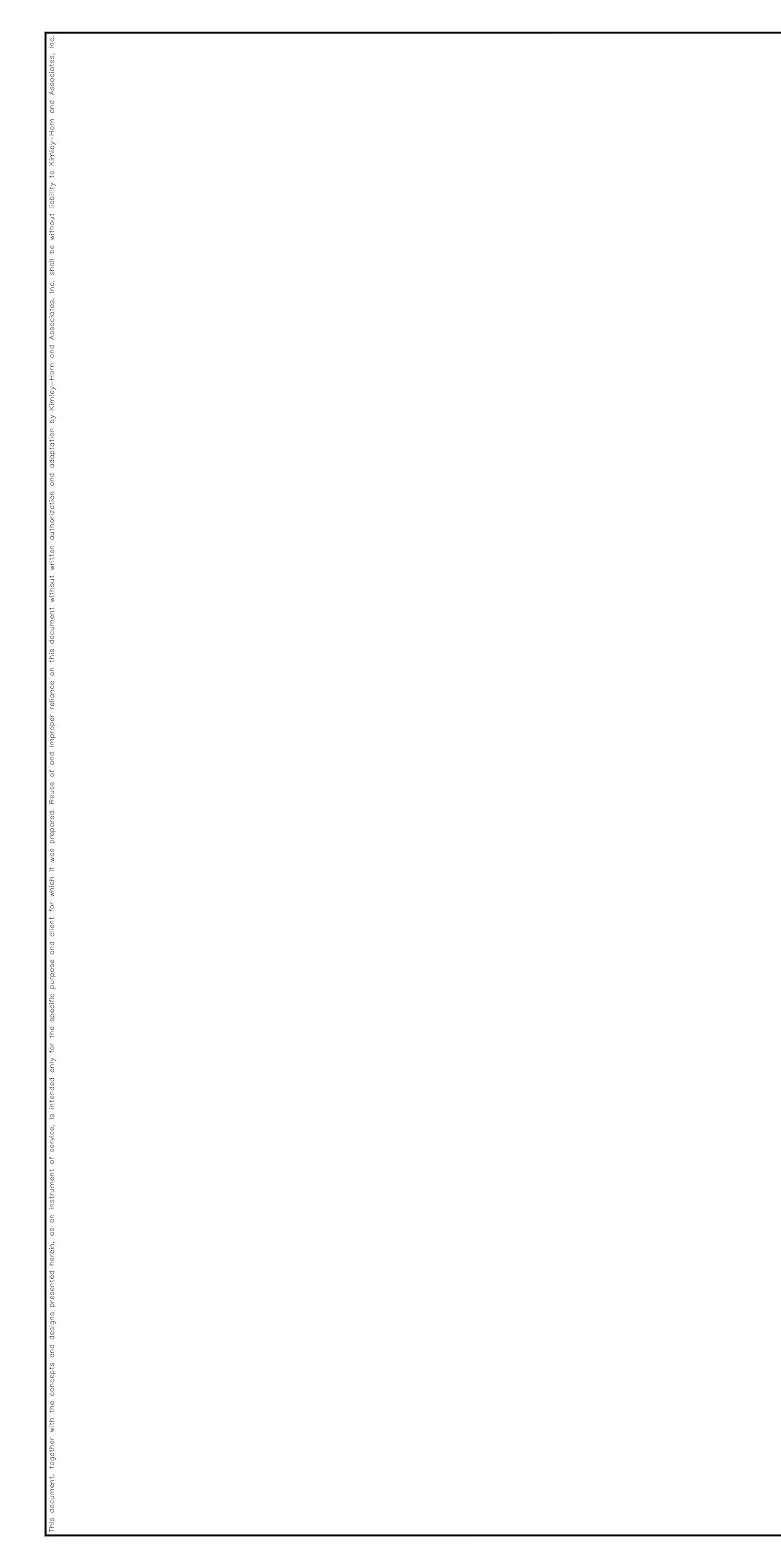


1. THIS LIGHTING DESIGN IS BASED ON INFORMATION SUPPLIED BY OTHERS TO SECURITY LIGHTING SYSTEMS. SITE DETAILS PROVIDED HEREON ARE REPRODUCED ONLY AS A VISUALIZATION AID. FIELD DEVIATIONS MAY SIGNIFICANTLY AFFECT PREDICTED PERFORMANCE. PRIOR TO INSTALLATION, CRITICAL SITE INFORMATION (POLE LOCATIONS, ORIENTATION, MOUNTING HEIGHT, ETC.) SHOULD BE COORDINATED WITH THE CONTRACTOR AND/OR SPECIFIER RESPONSIBLE FOR THE PROJECT. 2. LUMINAIRE DATA IS TESTED TO INDUSTRY STANDARDS UNDER LABORATORY CONDITIONS. OPERATING VOLTAGE AND NORMAL MANUFACTURING TOLERANCES OF LAMP, BALLAST, AND LUMINAIRE MAY AFFECT FIELD RESULTS. 3. CONFORMANCE TO FACILITY CODE AND OTHER LOCAL REQUIREMENTS IS THE RESPONSIBILITY OF THE OWNER AND/OR THE OWNER'S REPRESENTATIVE.

4. THIS LAYOUT MAY NOT MEET TITLE 24 OR LOCAL ENERGY REQUIREMENTS. IF THIS LAYOUT NEEDS TO E COMPLIANT WITH TITLE 24 OR OTHER ENERGY REQUIREMENTS, PLEASE CONSULT FACTORY WITH SPECIFIC DETAILS REGARDING PROJECT REQUIREMENTS SO THAT REVISIONS MAY BE MADE TO THE DRAWING.

2100 Golf Road, Suite 460, Rolling Meadows, IL 60008 1-800-544-4848						
UNLESS OTHER	WISE SPECIFIED, ALL DIMENSIONS ARE IN INCHES					
SCALE 1"=20	SCALE 1"=20' 0"					
drawn by ${\sf BV}$	DRAWN BY BV					
PDINT-B'	PDINT-BY-PDINT FOOTCANDLE PLOT FOR					
	MCDENAL DS					
	8710 CENTRAL AVE					
	LANDOVER, MD					
NATIONAL STORE NUMBER						
4475						
DATE	DRAWING NUMBER					
3/4/2020 43325A-Rev3.AGI						

SECURITY





Controls/Options:

products/energeni).

products/beaconnect).

Installation:

Finish:

applications

Warranty:

Intended Use:

The Beacon Viper luminaire is available in two . Available with an optional passive infrared sizes with a wide choice of different LED Wattage (PIR) motion sensor capable of detecting configurations and optical distributions designed motion 360° around the luminaire. When to replace HID lighting up to 1000W MH or HPS. Luminaires are suitable for wet locations. Construction:

One piece optical cartridge system consisting

- of an LED engine, LED lamps, optics, gasket and stainless steel bezel. Cartridge is held together with internal brass standoffs soldered to the board so that it can
- be field replaced as a one piece optical system. Two-piece silicone and micro-cellular polyurethane foam gasket ensures a
- weather-proof seal around each individual LED. LED/Optics:
- LED driver accepts 100V through 277V, 50 Hz to 60 Hz (UNV), or a driver that accepts 347V or 480V input.
- Power factor is .92 at full load. All electrical components are rated at 50,000
 Mounting options for horizontal arm, vertical hours at full load and 25°C ambient conditions
- per MIL- 217F Notice 2. Dimming drivers are standard with
- connections for external dimming equipment available upon request.
- Component-to-component wiring within the luminaire may carry no more than 80% of
- rated load and is listed by UL for use at 600VAC at 50°C or higher. Plug disconnects are listed by UL for use
- at 600 VAC, 13A or higher. 13A rating applies to primary (AC) side only.

Electrical:

- Fixture electrical compartment shall contain all LED driver components and shall be provided with a push-button terminal block for AC power connections.
- Ambient operating temperature -40°C to 40°C
 Optional 7-pin ANSI C136.41-2013 twist-lock
 DesignLights Consortium (DLC) qualified, photo control receptacle available. Compatible with ANSI C136.41 external wireless control
- devices. Surge protection - 20KA; Shuts off at end of life. 24 for wet locations and 40°C Lifeshield[™] Circuit - protects luminaire from excessive temperature. The device
- shall activate at a specific, factory-preset temperature, and progressively reduce power • IDA approved over a finite temperature range. A luminaire equipped with the device may be reliably

operated in any ambient temperature up to 55°C (131°F). Operation shall be smooth and undetectable to the eye. Thermal circuit is visit: www.hubbellighting.com/resources/warranty). designed to "fail on", allowing the luminaire to revert to full power in the event of

an interruption of its power supply, or faulty wiring connection to the drivers. The device shall be able to co-exist with other 0-10V control devices (occupancy sensors, external



2100 Golf Road, Suite 460, Rolling Meadows, IL 60008-4704 Phone: 1-800-LIGHT IT, 1-800-544-4848, Fax: 847-279-0642

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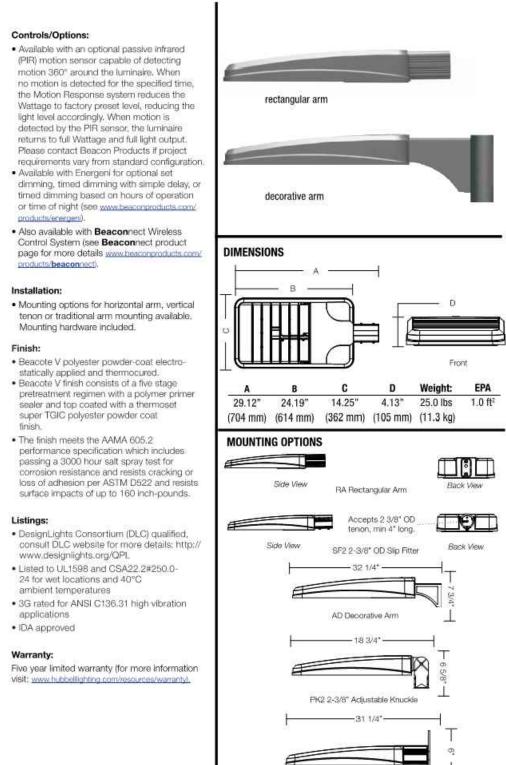


PERFORMANCE DATA

Web: www.securitylighting.co

dimmers, etc.).

BEACON VIPER L SERIES Enhanced Large Viper Luminaire





WB Wall Bracket

5 1/2" ----

1000

2 3/8"

Ø

	design performance recoverings
VIDE	DI CEDIEC
VIFE	R L SERIES
	Enhanced Large Viper Luminaire

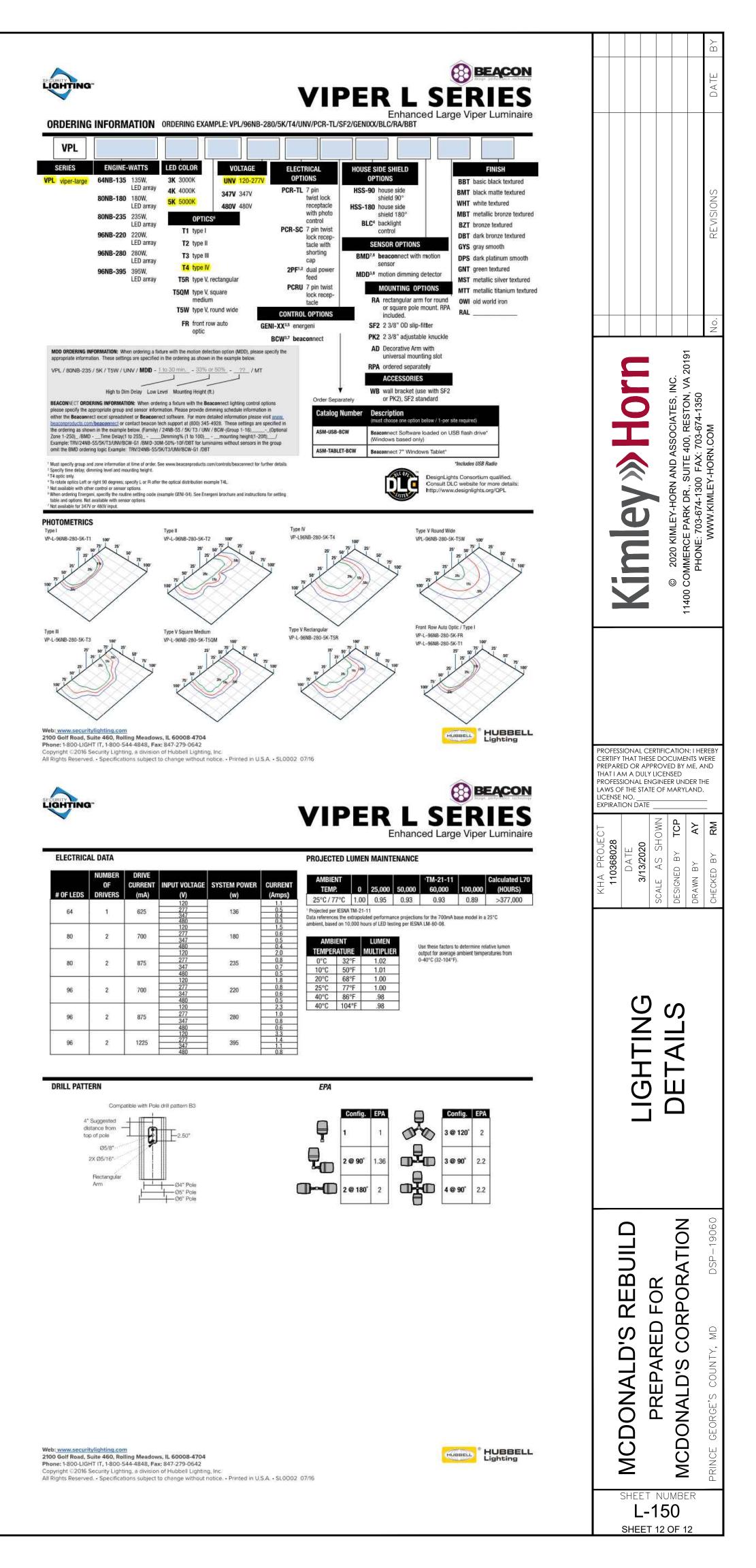
			1	5K				4K				3K						
	5		n	(5000K	nominal,	70 CF	RI)		(4000K	nominal,	70 C	RI)		(3000	K nomi	nal, 7	O CRI)
# LED'S	DRIVE CURRENT (MILLIAMPS)	SYSTEM WATTS	DISTRIBUTION TYPE	LUMENS	LPW	В	U	G	LUMENS	LPW'	в	U	G	LUMENS	LPW'	в	U	G
			FR/T1	15922	116	2	0	1	15762	115	2	0	1	13534	99	2	0	1
			T2	14274	104	3	0	3	14131	103	3	0	3	12133	89	3	0	1
	2000-004 - HD		T3	14137	103	3	0	3	13996	102	3	0	3	12017	88	3	0	
64	625 mA	136W	T4	15511	113	2	0	4	15356	112	2	0	3	13184	96	2	0	1
			T5QM	15511	113	4	0	2	15356	112	4	0	2	13184	96	3	0	1
			T5R	15785	115	4	0	4	15627	114	4	0	4	13417	98	4	0	-
			T5W	15372	112	4	0	2	15217	111	4	0	2	13067	95	4	0	
			FR/T1	21132	117	2	0	2	20322	113	2	0	2	17447	97	2	0	
			T2	18888	105	3	0	4	18699	104	3	0	4	16055	89	3	0	
00	700 4	10054	T3	18700	104	3	0	3	18513	103	3	0	3	15895	88	3	0	
80	700 mA	180W	T4	20571	114	3	0	4	20365	113	3	0	4	17485	97	3	0	
			T5QM T5R	20571 20944	114	4	0	2	20365	113	4	0	4	17485	97 99	4	0	
			T5W	20944	113	5	0	3	20733	112	4	0	4	17005	99	4	0	
	-		FB/T1	20290	106	2	0	2	20000	105	2	0	2	21136	90	2	0	
			T2	23070	98	3	0	4	22839	97	3	0	4	19609	83	3	0	
		235 W	T3	21947	93	3	0	4	21725	92	3	0	4	18655	79	3	0	
80	875 mA		T4	24360	103	3	0	4	24028	102	3	0	5	20632	88	3	0	t
	or of the state		T5QM	23138	98	4	0	2	22905	97	4	0	2	19667	84	4	0	
			T5R	24779	105	5	0	5	24541	104	5	0	5	21070	90	4	0	
			T5W	24175	103	5	0	3	23931	102	5	0	3	20548	87	5	0	t
			FR/T1	25358	113	2	0	2	25104	112	2	0	2	21554	96	2	0	t
		220 W	T2	22665	101	3	0	4	22438	100	3	0	4	19265	86	3	0	
			T3	22440	100	3	0	4	22216	99	3	0	4	19134	86	3	0	
96	700 mA		T4	24685	110	3	0	5	24438	109	3	0	5	20982	94	3	0	
			T5QM	24685	110	4	0	2	24438	109	4	0	2	20982	94	4	0	
			T5R	25133	112	5	0	5	24882	111	5	0	5	21363	96	4	0	
			T5W	24349	109	5	0	3	24106	108	5	0	3	20803	93	5	0	1
			FR/T1	29839	106	3	0	2	29541	105	3	0	2	25363	90	2	0	
			T2	27369	98	4	0	5	27096	97	4	0	5	23264	83	3	0	2
			T3	26336	93	3	0	4	26073	92	3	0	4	22365	79	3	0	
96	875 mA	280 W	T4	29128	102	3	0	5	28837	103	3	0	5	24759	88	3	0	
			T5QM	28889	103	5	0	3	28601	102	5	0	3	24556	88	4	0	
			T5R	29184	105	5	0	5	28893	104	5	0	5	24809	89	5	0	
			T5W	29010	102	5	0	4	28720	101	5	0	4	24263	86	5	0	1
			FR/T1	39653	101	3	0	2	39260	100	3	0	2	33371	85	3	0	
			T2	35997	91	4	0	5	35641	90	4	0	5	30295	77	4	0	
00	1005-1	005 14	T3	35840	91	4	0	5	35485	90	4	0	5	30162	77	3	1	2
96	1225mA	395 W	T4	35455	90	3	0	5	35104	89	3	0	5	29839	76	3	0	
			T5QM	38388	97	5	0	3	38008	96	5	0	3	32306	82	5	0	1
			T5R T5W	39117	99	5	0	5	38730	98	5	0	5	32921	83	5	0	
			T5W	36984	93	5	0	4	36528	93	5	0	4	31049	79	5	0	2

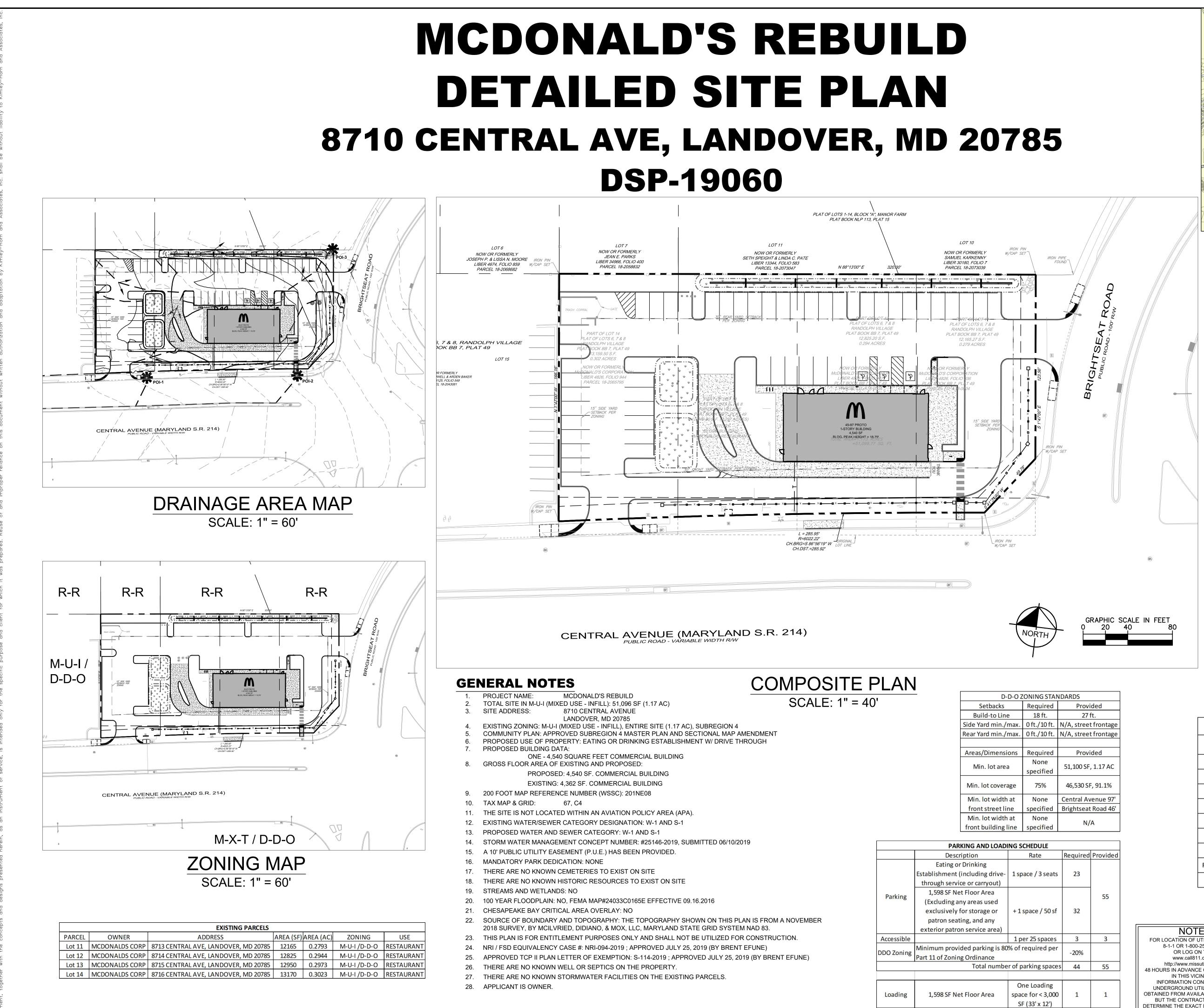
"Lumen values are from photometric tests performed in accordance with IESNA LM-79-09, Data is considered to be representative of the configurations shown. Actual performance may differ as a result of end-user environment and application.

Web: www.securitylighting.com 2100 Golf Road, Suite 460, Rolling Meadows, IL 60008-4704 Phone: 1-800-LIGHT IT, 1-800-544-4848, Fax: 847-279-0642 Copyright ©2016 Security Lighting, a division of Hubbell Lighting, Inc.

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NERAL NOTES	COMPOSITE PL	_AN				
PROJECT NAME: MCDONALD'S REBUILD			_	D-	D-O ZC)
TOTAL SITE IN M-U-I (MIXED USE - INFILL): 51,096 SF (1.17 AC)	SCALE: 1" = 40'			Setbacks		1
SITE ADDRESS: 8710 CENTRAL AVENUE LANDOVER, MD 20785				Build-to Line	e	-
EXISTING ZONING: M-U-I (MIXED USE - INFILL), ENTIRE SITE (1.17 AC), SUBREGION 4				Side Yard min./	max.	(
COMMUNITY PLAN: APPROVED SUBREGION 4 MASTER PLAN AND SECTIONAL MAP AME				Rear Yard min./	max.	(
PROPOSED USE OF PROPERTY: EATING OR DRINKING ESTABLISHMENT W/ DRIVE THR	OUGH					
PROPOSED BUILDING DATA: ONE - 4,540 SQUARE FEET COMMERCIAL BUILDING				Areas/Dimensi	ons	J
GROSS FLOOR AREA OF EXISTING AND PROPOSED:				Min. lot area	4	
PROPOSED: 4,540 SF. COMMERCIAL BUILDING				With for dict		
EXISTING: 4,362 SF. COMMERCIAL BUILDING				Min. lot covera	age	
200 FOOT MAP REFERENCE NUMBER (WSSC): 201NE08					<u> </u>	
TAX MAP & GRID: 67, C4				Min. lot width		
THE SITE IS NOT LOCATED WITHIN AN AVIATION POLICY AREA (APA).				front street li		
EXISTING WATER/SEWER CATEGORY DESIGNATION: W-1 AND S-1				Min. lot width front building l		
PROPOSED WATER AND SEWER CATEGORY: W-1 AND S-1				ITOIL DUIUING I	me	2
STORM WATER MANAGEMENT CONCEPT NUMBER: #25146-2019, SUBMITTED 06/10/2019	9		PAR	KING AND LOADI		1
A 10' PUBLIC UTILITY EASEMENT (P.U.E.) HAS BEEN PROVIDED.				iption		
MANDATORY PARK DEDICATION: NONE				Drinking		-
THERE ARE NO KNOWN CEMETERIES TO EXIST ON SITE			-	including drive-	1 spa	1
THERE ARE NO KNOWN HISTORIC RESOURCES TO EXIST ON SITE				ce or carryout)	· ·	
STREAMS AND WETLANDS: NO		Dorking	1,598 SF Ne	t Floor Area		
100 YEAR FLOODPLAIN: NO, FEMA MAP#24033C0165E EFFECTIVE 09.16.2016		Parking	(Excluding ar	ny areas used		
CHESAPEAKE BAY CRITICAL AREA OVERLAY: NO			exclusively f	or storage or	+ 1 sp	p
SOURCE OF BOUNDARY AND TOPOGRAPHY: THE TOPOGRAPHY SHOWN ON THIS PLAN				ing, and any		
2018 SURVEY, BY MCILVRIED, DIDIANO, & MOX, LLC, MARYLAND STATE GRID SYSTEM I			exterior patro	n service area)		-
THIS PLAN IS FOR ENTITLEMENT PURPOSES ONLY AND SHALL NOT BE UTILIZED FOR (ccessible			1 pe	-
NRI / FSD EQUIVALENCY CASE #: NRI-094-2019 ; APPROVED JULY 25, 2019 (BY BRENT E		O Zoning		ded parking is 80	% of re	2
APPROVED TCP II PLAN LETTER OF EXEMPTION: S-114-2019 ; APPROVED JULY 25, 2019	(BY BRENT EFUNE)	0	Part 11 of Zonin	*		_
THERE ARE NO KNOWN WELL OR SEPTICS ON THE PROPERTY.				Total numbe	r of pa	1
THERE ARE NO KNOWN STORMWATER FACILITIES ON THE EXISTING PARCELS.					-	_
APPLICANT IS OWNER.					One	e

			-				
ns	Required	Provided					
	None specified	, 1.17 AC					
ge	75%	46,530 SF	, 91. 1 %				
at	None	Central Av	enue 97'				
e	specified	Brightseat	Road 46'				
at ne	None specified	N/	A				
NG S	CHEDULE						
	Rate	Required	Provided				
1 sp	ace / 3 seats	23					
+1	space / 50 sf	32	55				
1 p	er 25 spaces	3	3				
6 of I	required per	-20%					
of p	arking space:	s 44	55				
spac	ne Loading ce for < 3,000 ⁼ (33' x 12')	1	1				
1 s	pace per 20 nicle parking	3	3				

spaces

DDOZ requirement per

Subregion 4 Master Plan and

Sectional Map Amendment

Bicycle

VICINITY	MAP
SCALE: 1" = 2	2000'

Sheet List Table

Sheet Number	Sheet Title
C-000	COVER SHEET
C-001	APPROVALS
C-100	EXISTING CONDITIONS
C-200	DETAILED SITE PLAN
C-300	SIGNAGE DETAILS
C-301	SITE DETAILS (1 OF 2)
C-302	SITE DETAILS (2 OF 2)
C-310	DDO STANDARDS COMPLIANCE CHART (1 OF 2)
C-311	DDO STANDARDS COMPLIANCE CHART (2 OF 2)
C-400	LANDSCAPE PLAN
C-450	LANDSCAPE NOTES & DETAILS
L-001	PHOTOMETRIC PLAN

PROPERTY OWNER

MCDONALD'S CORPORATION ATTN: JOSEPH CURTO 6903 ROCKLEDGE DR., SUITE 1100 BETHESDA, MD 20817 TEL: (540)-426-9807 EMAIL: JOSEPH.CURTO@US.MCD.COM

APPLICANT

SEVAN SOLUTIONS ATTN: JOHN EIDBERGER 3025 HIGHLAND PKWY, SUITE 850 DOWNERS GROVE, IL 60515 TEL: (312)-756-7778 EMAIL: JOHN.EIDBERGER@SEVANSOLUTIONS.COM

CIVIL ENGINEER/ LANDSCAPE ARCHITECT

KIMLEY-HORN AND ASSOCIATES, INC. ATTN: TESSA PHILLIPS 11400 COMMERCE PARK DRIVE, SUITE 400 RESTON, VA 20191 TEL: (202)-919-3985 EMAIL: TÉSSA.PHILLIPS@KIMLEY-HORNDC.COM

SITE STATISTICS

	TOTAL
GROSS TRACT AREA	1.17 AC
EXISTING 100-YEAR FLOODPLAIN	0.00 AC
NET TRACT AREA	1.17 AC
EXISTING WOODLAND IN THE FLOODPLAIN	N/A
EXISTING WOODLAND NET TRACT	N/A
EXISTING WOODLAND TOTAL	N/A
EXISTING PMA	N/A
REGULATED STREAMS LINEAR FEET OF CENTERLINE	0 Ft
RIPARIAN (WOODED) BUFFER UP TO 300 FEET WIDE	N/A
THIS BLOCK IS FOR OFFICIAL USE ONLY	

NOTE
FOR LOCATION OF UTILITIES CALL
8-1-1 OR 1-800-257-7777
OR LOG ON TO
www.call811.com
http://www.missutility.net
48 HOURS IN ADVANCE OF ANY WORK
IN THIS VICINITY
INFORMATION CONCERNING
UNDERGROUND UTILITIES WAS
OBTAINED FROM AVAILABLE RECORDS
BUT THE CONTRACTOR MUST
DETERMINE THE EXACT LOCATION AND
ELEVATION OF THE MAINS BY DIGGING
TEST PITS BY HAND AT ALL UTILITY

CROSSINGS WELL IN ADVANCE OF THE

START OF EXCAVATION.

M-NCPPC APPROVAL

QR label certifies that this plan meets

conditions of final approval by the Planning

Board, its designee or the District Council

PROJECT NAME: PROJECT NUMBER: For Conditions of Approval see Site Plan Cover Sheet or Approval Sheet

Revision Numbers must be included in the Project Number

					No. REVISIONS
	KIM eV »> HOLD		© 2019 KIMLEY-HOKN AND ASSOCIATES, INC. 11100 COMMEDCE DADK DD SLITE 100 DESTON VA 20101	PHONE: 703-674-1300 FAX: 703-674-1350	WWW.KIMLEY-HORN.COM
PROFESS CERTIFY PREPARI THAT I A PROFESS LAWS O LICENSE	SIONAL C THAT THE ED OR AF M A DUL' SIONAL EI F THE STA NO ION DATE	SE DOC PROVE Y LICEN NGINEE .TE OF M		NTS W ME, A DER TH	'ERE .ND HE
KHA PROJECT 110368028	DATE 11/15/19	SCALE AS SHOWN	DESIGNED BY TCP	DRAWN BY AY	CHECKED BY RM
		COVER SHEET			
	MCDONALD'S REBUILD	PREPARED FOR			PRINCE GEORGE'S COUNTY, MD DSP-19060

C-000

SHEET 1 OF 11

Prince George's Co	ounty Planning Department • 14741	Governor Oden Bowie Drive, Upper Ma	
WOODLAN		ETTER OF EXEMPTION	APPLICATION FORM
Property Owner Name Joseph Curto McDonald's Corporat 6903 Rockledge Dr., Bethesda, MD 20817	e(s), Address and Phone: tion Suite 1100	T TO FILL OUT THIS SECTION Agent/Contact, Company, Ad Tessa Philips Kimley-Horn and Associates, Inc. 11400 Commerce Park Drive, Suite Signature: Tessa Philips	
Payment by check,		eck ONLY – made payable to M-N	
	Horn and Associates, Inc. Check No. 0		N/A
PROJECT NAME:		McDonald's Relocation	
		(related to or near major intersection):	
		an, Site Plan, or Special Exception, etc.);	
Total Area (acres):	Site Development	Concept Plan #25146-2019-0, NRL094-2019 Tax Account #: 2019065, 2070019, 2065795	WSSC Grid: 201NE08
otal Number of Lots of		Current Zone: M-U-I	Environmental <u>Strategy Area (E</u> SA
ot Numbers/Blocks/P	arcels: Lots 11, 12, 13, 14 / Block 7	15.5.6、家生活用的	(Plan 2035): 1 2 3 4 Municipality(ies): Hyattsville
2010/11-0-040-00-000000000000000000000000		No	
	or resource on the subject property?	P Yes No Historic S	
		g and associated site improve	
		BE COMPLETED BY EPS STAFF	
APPLICATION TYPE:	: Numbered Exemption Standard		S=114-2019
Acceptance Date:	07/15/2019 Plan Reviewer: B	FE Receipt Number 7314	Filing Fee: \$50.00
results in the project	land; however the project has no pr the clearing of less than 5,000 squa ct is a government or linear project t	are feet of woodland (acreage of propos	ed clearing is); or
This letter is valid for specified above durin he Numbered Exemps	and; however the project has no pro- the clearing of less than 5,000 squares ct is a government or linear project to sed clearing is); or osed activity is for a timber harvest, r two years from approval or until ng the validity period. If a develop ption may be considered invalid in development activity or permit ap	I because the site is over 40,000 square evious TCP approvals and: are feet of woodland (acreage of propos that results in the clearing of less than 2 such time as the cumulative woodlan ment review application (preliminary n accordance with Section 25-119(b)(oplication.	and dated feet in size and contains over 10,000 ed clearing is); or 0,000 square feet of woodland (acreage nd disturbance exceeds the minimum plan, detailed site plan, etc. is require 5)(A). A copy of this letter must be
This letter is valid for pecified above durin he Numbered Exempt	land; however the project has no project has no project has clearing of less than 5,000 squares to a government or linear project to sed clearing is); or cosed activity is for a timber harvest, in two years from approval or until ng the validity period. If a develop prior may be considered invalid in development activity or permit approved to the term of term of the term of the term of term of term of term of the term of	I because the site is over 40,000 square revious TCP approvals and: are feet of woodland (acreage of propos that results in the clearing of less than 2 such time as the cumulative woodlar oment review application (preliminary n accordance with Section 25-119(b)(oplication.	and dated feet in size and contains over 10,000 ed clearing is); or 0,000 square feet of woodland (acreage and disturbance exceeds the minimum plan, detailed site plan, etc. is required 5)(A). A copy of this letter must be st
results in the project of propose the propose the propose the Numbered Exempts submitted at time of the Preparer Initials: Approval Date:	Iand; however the project has no providence of the clearing of less than 5,000 squares the clearing is); or considered invariant or linear project to seed activity is for a timber harvest, in two years from approval or until ing the validity period. If a development activity or permit approval or until indevelopment activity or permit approval or until i	I because the site is over 40,000 square evious TCP approvals and: are feet of woodland (acreage of propos that results in the clearing of less than 2 such time as the cumulative woodlar ment review application (preliminary n accordance with Section 25-119(b)(oplication. Erne: Planner Initials: Field:	and dated feet in size and contains over 10,000 ed clearing is); or 0,000 square feet of woodland (acreage nd disturbance exceeds the minimum plan, detailed site plan, etc. is require 5)(A). A copy of this letter must be st
results in the project of propose the propose the propose the propose the propose the propose the propose the propose the propose the prop	In the clearing of less than 5,000 squares to be clearing is); or seed activity is for a timber harvest, or two years from approval or until ing the validity period. If a development approves ap	I because the site is over 40,000 square evious TCP approvals and: are feet of woodland (acreage of propos that results in the clearing of less than 2 such time as the cumulative woodland oment review application (preliminary n accordance with Section 25-119(b)(oplication. Erner Planner Initials: Field: Expiration Date: Sector Date: C'S COUNTY GOVE ermitting, Inspections nforcement an Review Division corn Place, Suite 420 Maryland 20774 1) 883-5710	and dated feet in size and contains over 10,000 ed clearing is); or 0,000 square feet of woodland (acreage and disturbance exceeds the minimum plan, detailed site plan, etc. is required 5)(A). A copy of this letter must be st
results in the project of propose the propose the propose the propose the propose the propose the propose the propose the prop	In the clearing of less than 5,000 squares to be clearing is); or seed activity is for a timber harvest, or two years from approval or until ing the validity period. If a development approves ap	because the site is over 40,000 square evious TCP approvals and: are feet of woodland (acreage of propose that results in the clearing of less than 2 such time as the cumulative woodlar oment review application (preliminary n accordance with Section 25-119(b)(oplication. Erner Planner Initials: Field: Expiration Date: Sector Date: C'S COUNTY GOVE ermitting, Inspections nforcement an Review Division corn Place, Suite 420 Maryland 20774 1) 883-5710 CEMENT CONCEPT AF	and dated feet in size and contains over 10,000 ed clearing is); or 0,000 square feet of woodland (acreage and disturbance exceeds the minimum plan, detailed site plan, etc. is required 5)(A). A copy of this letter must be st
results in the project of propose the propose the propose the propose the propose the propose the propose the propose the propose the propose the propose the propose the propose the propose the prop	In the clearing of less than 5,000 squares to a government or linear project to seed clearing is); or cosed activity is for a timber harvest, is two years from approval or until ing the validity period. If a develop ption may be considered invalid in development activity or permit approval or until may be considered invalid in development activity or permit approval or until may be considered invalid in development activity or permit approval or until may be considered invalid in development activity or permit approval or until may be considered invalid in development activity or permit approval or until may be considered invalid in development activity or permit approval or until may be considered invalid in development activity or permit approval or until may be considered invalid in development activity or permit approval or until may be considered invalid in development activity or permit approval or until may be considered invalid in development activity or permit approval or until may be considered invalid in development activity or permit approval or until may be considered invalid in development activity or permit approval or until may be considered invalid in development activity or permit approval or until may be considered invalid in development activity or permit approval or until may be considered invalid in development activity or permit approval or until may be considered invalid in development activity or permit approval or until may be considered invalid in development activity or permit approval or until may be considered invalid in development activity or permit approval or until may be considered invalid in development activity or permit approval or until may be considered invalid in development activity or permit approval or until may be considered invalid in development activity or permit approval or until may be considered invalid in development activity or permit approval or until may be considered invalid in development activity or permit approval or untinvating the development ac	because the site is over 40,000 square evious TCP approvals and: are feet of woodland (acreage of propose that results in the clearing of less than 2 such time as the cumulative woodlar oment review application (preliminary n accordance with Section 25-119(b)(oplication. Erner Planner Initials: Field: Expiration Date: Sector Date: C'S COUNTY GOVE ermitting, Inspections nforcement an Review Division corn Place, Suite 420 Maryland 20774 1) 883-5710 CEMENT CONCEPT AF	and dated feet in size and contains over 10,000 ed clearing is); or 0,000 square feet of woodland (acreage and disturbance exceeds the minimum plan, detailed site plan, etc. is required 5)(A). A copy of this letter must be st
results in the project of propose the propose the propose the propose the propose the propose the prop	In the clearing of less than 5,000 squares the clearing of less than 5,000 squares to a government or linear project to seed activity is for a timber harvest, in two years from approval or untilling the validity period. If a develop ption may be considered invalid in development activity or permit approved or untilling the validity period. If a develop ption may be considered invalid in development activity or permit approved or untilling the validity period. If a develop ption may be considered invalid in development activity or permit approved or until in the validity period. If a develop ption may be considered invalid in development activity or permit approved or until in the validity period. If a develop ption may be considered invalid in development activity or permit approved or until in the validity period. If a develop ption may be considered invalid in development activity or permit approved or until in the validity period. If a develop ption may be considered invalid in development activity or permit approved or until in the validity period. If a develop ption may be considered invalid in development activity or permit approved or until in the validity period. If a develop permit approved or until in the validity period. If a develop permit approved or until in the validity period. If a develop permit approved or until in the validity period. If a develop permit approved or until in the validity period. If a develop permit approved or until in the validity period. If a develop permit approved or until in the validity period. If a develop permit approved or until in the validity period. If a develop permit approved or until in the validity period. If a develop permit approved or until in the validity period. If a develop permit approved or until in the validity period. If a develop permit approved or until in the validity period. If a develop permit approved or until in the validity period. If a develop permit approved or until in the validity period. If a develop permit approved or until in the valid	because the site is over 40,000 square evious TCP approvals and: are feet of woodland (acreage of propose that results in the clearing of less than 2 such time as the cumulative woodlar oment review application (preliminary n accordance with Section 25-119(b)(oplication. Erner Planner Initials: Field: Expiration Date: Sector Date: C'S COUNTY GOVE ermitting, Inspections nforcement an Review Division corn Place, Suite 420 Maryland 20774 1) 883-5710 CEMENT CONCEPT AF	and dated feet in size and contains over 10,000 ed clearing is); or 0,000 square feet of woodland (acreage and disturbance exceeds the minimum plan, detailed site plan, etc. is required 5)(A). A copy of this letter must be st
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results in the project of propose the propose	Iland; however the project has no provident of the clearing of less than 5,000 squares the clearing is); or conservation is for a timber harvest. In two years from approval or untilling the validity period. If a develop perion may be considered invalid in development activity or permit appent Efune Development activity or permit appendent of P and E Site/Road Pla 9400 Pepperd Largo, N (30) TORMWATER MAANA RANDOLPH VILLAGE_LOT 13 McDonald's Corporation Kimley-Horn and Associates, Inc. ired for PUBLIC/PRIVATE Storm Draw MC Construction is PRIVATE. s are required: None.	I because the site is over 40,000 square evious TCP approvals and: are feet of woodland (acreage of propos that results in the clearing of less than 2 such time as the cumulative woodlar oment review application (preliminary n accordance with Section 25-119(b)(oplication. Planner Initials: Field Expiration Date: C'S COUNTY GOVE ermitting, Inspections nforcement an Review Division corn Place, Suite 420 Maryland 20774 1) 883-5710 GEMENT CONCEPT AF BLOCK 7	and dated feet in size and contains over 10,000 ed clearing is); or 0,000 square feet of woodland (acreage and disturbance exceeds the minimum plan, detailed site plan, etc. is required 5)(A). A copy of this letter must be st

Required easements: None.

Storm Water Management fee payment of none in lieu of providing on-site attenuation/quality control measures. (Fee-In-Lieu subject to change during technical review.)

ADC MAP:

CONDITIONS OF APPROVAL:

Please see second page.

APPROVED BY:

Rh

____ Rey De Guzman APPROVAL DATE: October 16, 2019

EXPIRATION DATE: October 16, 2022

CC: APPLICANT, SCD, PERMITS P.G.C. FORM #3693 (REV 04/93)

FOR OFFICE USE ONLY

5531 D8 200' SHEET: STREET NAME: CENTRAL AVE AVE WATERSHED: 01-Patuxent River NUMBER OF DU'S: 0

COST PER DWELLING: 0

M-NCPPC - Countywide Planning Div	ision Environme	ntal Planning Section Send	to: PPD-EnvPlanning@ppd.mncppc.org_
Prince George's County Planning Depart	rtment		r Marlboro, Maryland 20772 + 301-952-3650
		FILL OUT THIS SECTION	
Owner Name and Address: Joseph Curto McDona l d's Corporation		Agent/Contact, Company, Ac Tessa Phillips Kimley-Horn and Associates, Inc. 11400 Commerce Park Drive, Suite 40	ddress, Phone and E-mai l (all required): (703)-674-1300 Tessa.Phi ll ips@Kimley-HornDC.cor
6903 Rockledge Dr., Suite 1100		Signature: Tessa Phillips	
Bethesda, MD 20817 PROPERTY OR PROJECT NAME:		Signature: Tessa Philips Decision McDonald's Re	
Street Address: 8710 Central Ave, Landover,	MD 20785	McDonald's Re	location
Previous Applications (NRI, TCP1, or TC			
Previous DRD applications: (Preliminary		or Special Exception):	SE-3805
Total Area (acres): 1.32 ac	Tax Account #	2019065, 2070019, 2065795	WSSC Grid: 201NE08
Lot/Block/Parcel: Lots 11, 12, 13, 14 / Block 7		M-U-I	Environmental Strategy Area (ESA) (Plan 2035): 1112 334
		kisting building and associate	
Will the proposed project require a DR	RD application?	(Preliminary Plan, Site Plan	, or Special Exception)[✓]Y[_]N
NRI EQUIVALENCY LETTER CHECKLI			
For Project Type 1 and 2	For Project Typ	-	Project Type 2 only
(1) copy of a proposed Site Plan showing existing conditions (signed)	one of the follow	Noodland Conservation, submit ring: on for Letter of Exemption, or	If subject to Woodland conservation: (1) copy of approved TCP2 (if applicable).
(2) copies of any other information provided by the applicant and listed here:	Copy of a	previously Issued Letter of	CBCA #:
(3) Coversheet	Exemption (Star	ndard or Numbered)	Other:
RE	ESPONSE (TO E	BE COMPLETED BY EPS S	TAFF)
Date Received: 06/18/2019 Review	ved for Acceptance	by: BFE N	RI No.:
Reason for return of the package: Dated Accepted: 07/15/2019 Rev	viewer Assigned:	N/A BFE Due Date: 08	Date Returned: N/A (30 days from acceptance date)
(Other)	evented Type Tra 6/11/19 and subject site or no on-s and s of disturbance of th cal Area Overlay Zon variance is required.	ee Conservation Plan (prepared by JOHN KAUPPILA site regulated environmental feature prepared by e previously approved TCP or cre the and the submitted site plan demo). A demonstrates that no regulated is will be impacted, shows that the proposed work will not eate any additional impacts to any regulated instrates that the proposed activity will result in les
			Last Updated: June 2
THE PRINCE GE		COUNTY GOV	/ERNMENT
		orcement	
NI City	Alexand Main Resolution	Review Division	NDIE
Site		Place, Suite 420	
	0.2	yland 20774	DEPARTMENT OF PERMITTING, INSPECTIONS AND ENFORCEMENT
RYLAD		83-5710	
Charles and a second	R MANAGI	EMENT CONCEPT	APPROVAL CASE #: 25146-2019-00
CONDITIONS OF APPROVAL:]
. THIS PROJECT INVOLVES REDEVELOPM REAT FOR 100% WQV OF THE IMPERVIOU	IS AREA WITHIN T	THE PROPOSED DISTURBED	
2. LANDSCAPE PLANS ARE REQUIRED AT T			
. THIS PROJECT WILL REQUIRE A SITE DE	EVELOPMENT FIN	E GRADING PERMIT.	
ADEQUACY ANALYSIS OF THE RECEIVIN			

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PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. EXPIRATION DATE

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APPROV

PREPARED FOR MCDONALD'S CORPORATION

SHEET NUMBER C-001 SHEET 2 OF 11

REBUILD

ONALD'S

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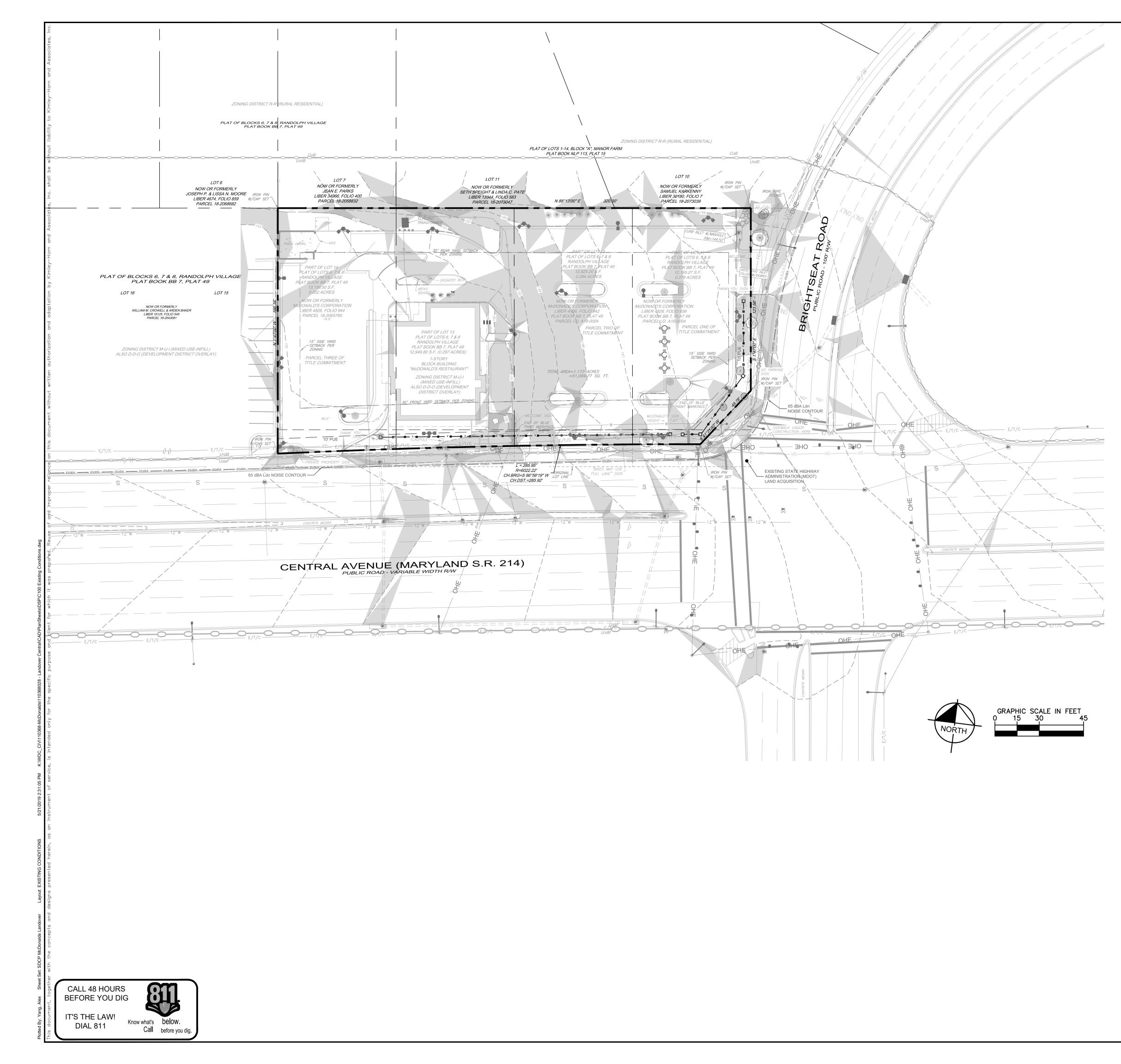
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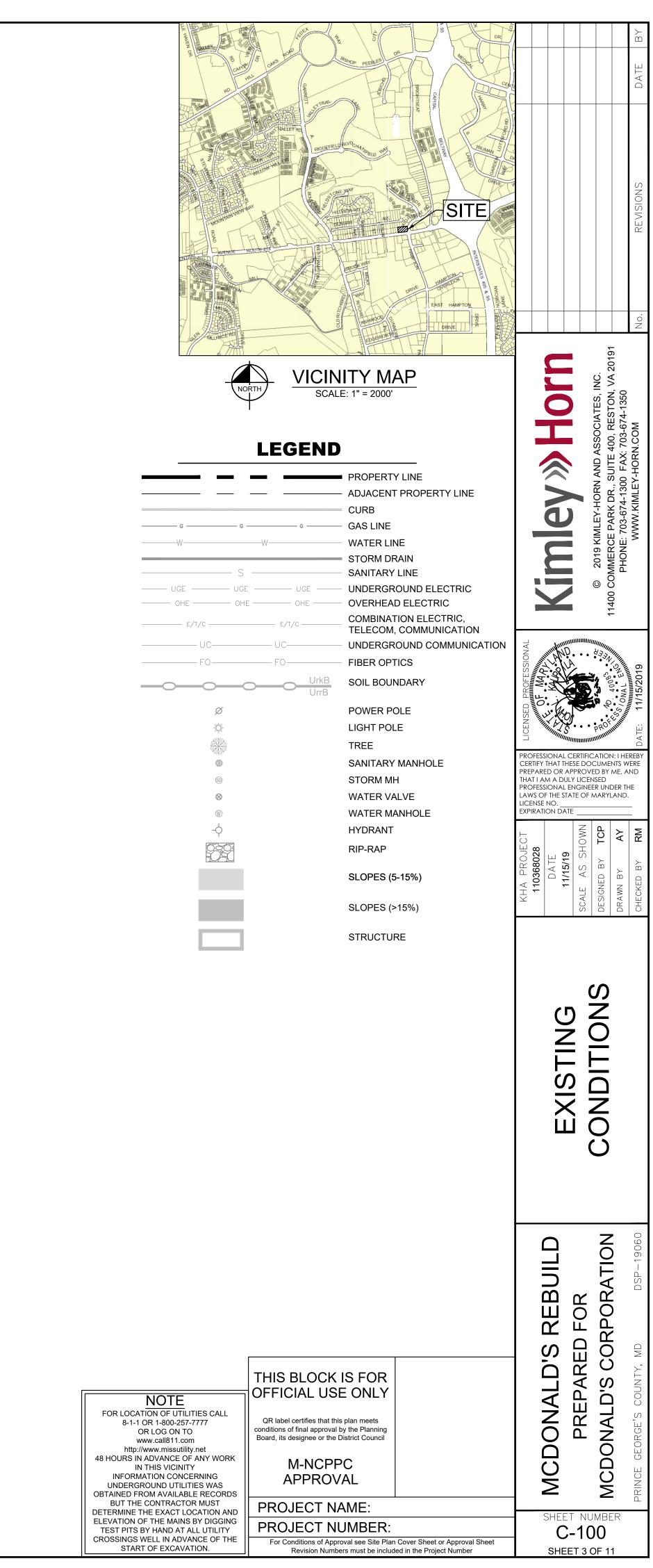
5. ESD TO THE MEP PROPOSED USING (2) MICRO-BIO, (1) BIO-SWALE, (1) FILTERRA.

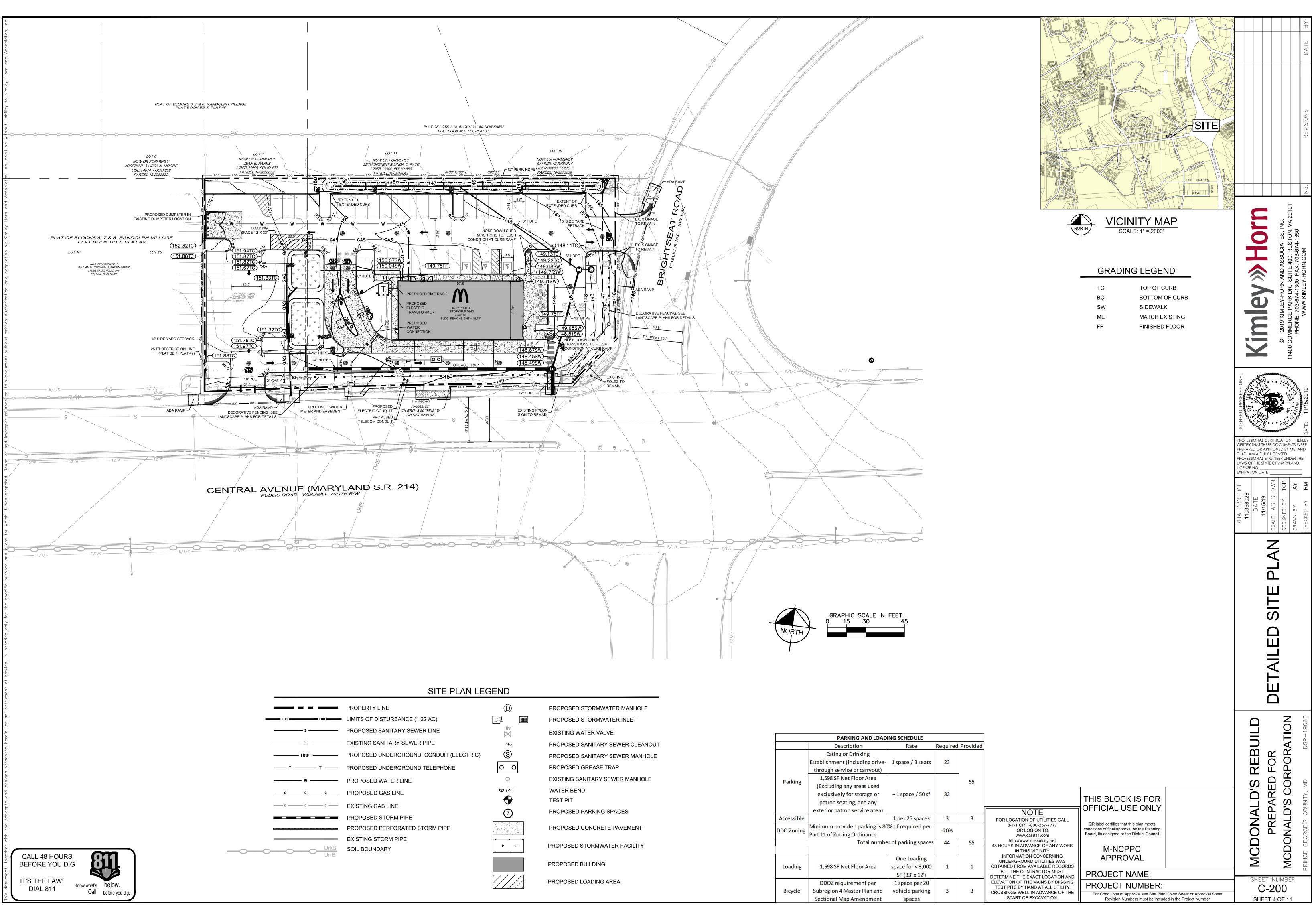
6. 100-YEAR QUANITY MANAGEMENT REQUIRED (ESD STORAGE CANNOT BE USED AS QUANTITY MANAGEMENT).

APPLICANT SHOWING UNDERGROUND PIPE FOR 100-YEAR STORAGE.

7. UNDERDRAINS ARE REQUIRED FOR BIO-RETENTION AND BIO-SWALES. REVIEWED BY CC/MT







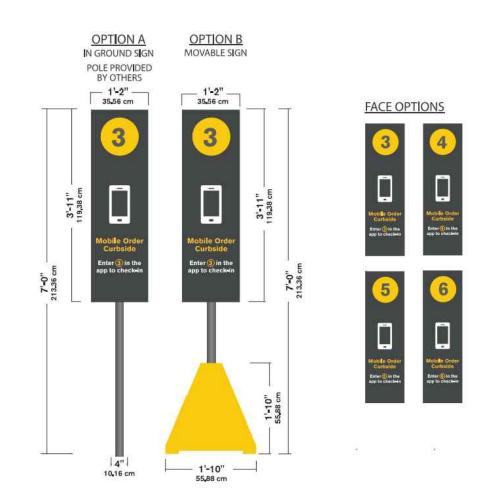
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PROPOSED STORMWATER MANHOLE	
PROPOSED STORMWATER INLET	
EXISTING WATER VALVE	
PROPOSED SANITARY SEWER CLEANOUT	•
PROPOSED SANITARY SEWER MANHOLE	
PROPOSED GREASE TRAP	
EXISTING SANITARY SEWER MANHOLE	
WATER BEND	
TEST PIT	
PROPOSED PARKING SPACES	
PROPOSED CONCRETE PAVEMENT	
PROPOSED STORMWATER FACILITY	
PROPOSED BUILDING	
PROPOSED LOADING AREA	

ParkingEating or Drinking Establishment (including drive- through service or carryout)1 space 1 space through service or carryout)Parking1,598 SF Net Floor Area (Excluding any areas used exclusively for storage or patron seating, and any exterior patron service area)+ 1 space through service through service areaAccessible1 per patron seating, and any exterior patron service area1 per through service patron service areaDDO ZoningMinimum provided parking is 80% of rec Part 11 of Zoning Ordinance1 per through service through service through service through service areaLoading1,598 SF Net Floor Area SF (SOne space for the service through service through service through service through service areaBicycleDDOZ requirement per Subregion 4 Master Plan and through service1 space for the service through service					
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exterior patron service area)Accessible1 perDDO ZoningMinimum provided parking is 80% of rec Part 11 of Zoning OrdinanceDoctal number of partTotal number of partLoading1,598 SF Net Floor AreaOne space f SF (3BicycleDDOZ requirement per Subregion 4 Master Plan and1 space		exclusively for storage or	+1spa		
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Sectional Map Amendment sp	Bicycle	Subregion 4 Master Plan and	vehicle		
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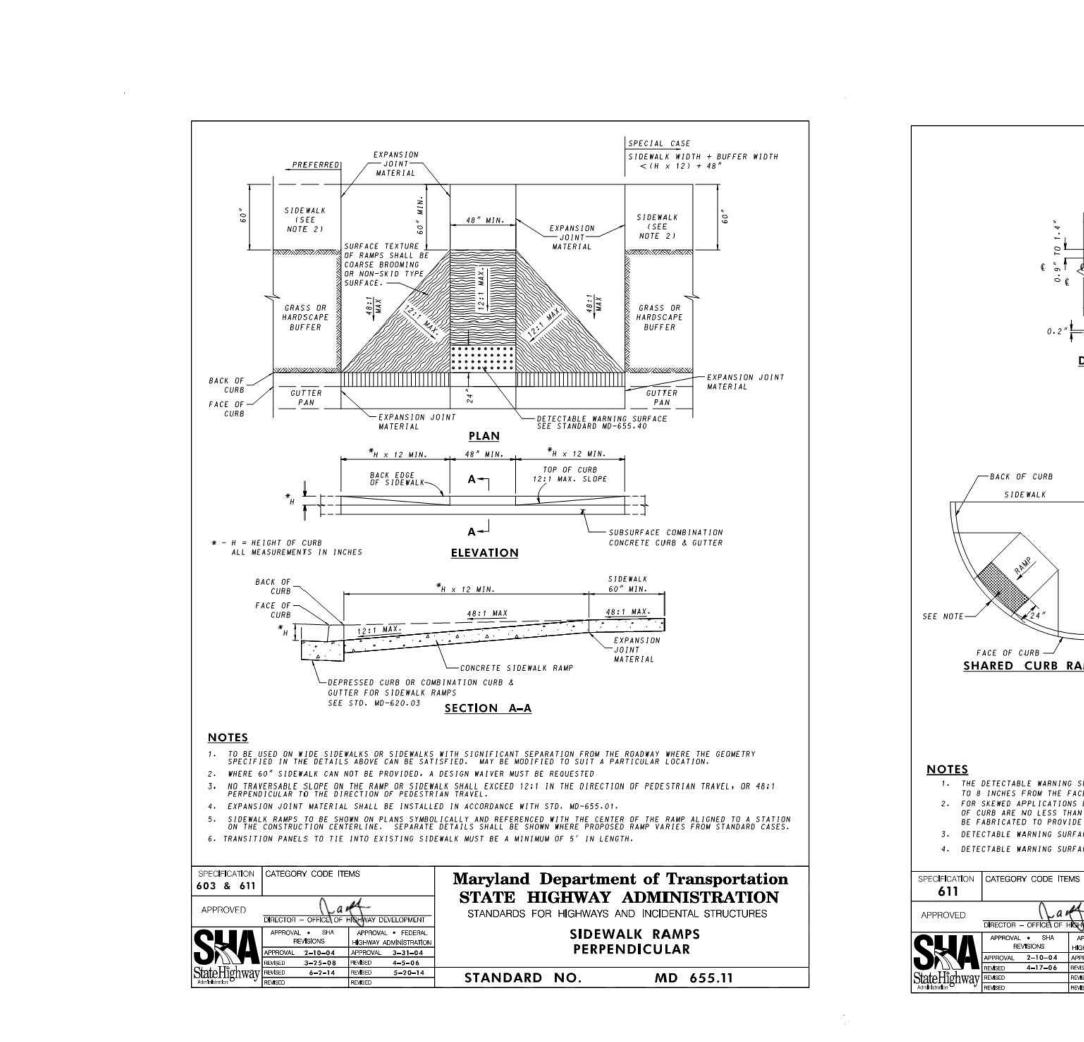
Mobile Ordering Curb Signage

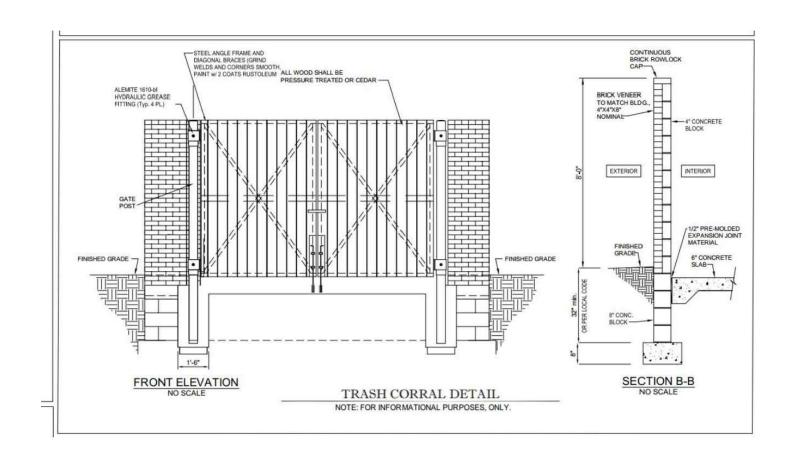


Everbrite, LLC, 315 Marion Ave., South Milwaukee, WI, 53172 P: 888-857-4078 F: 877-430-7363 www.everbrite.com









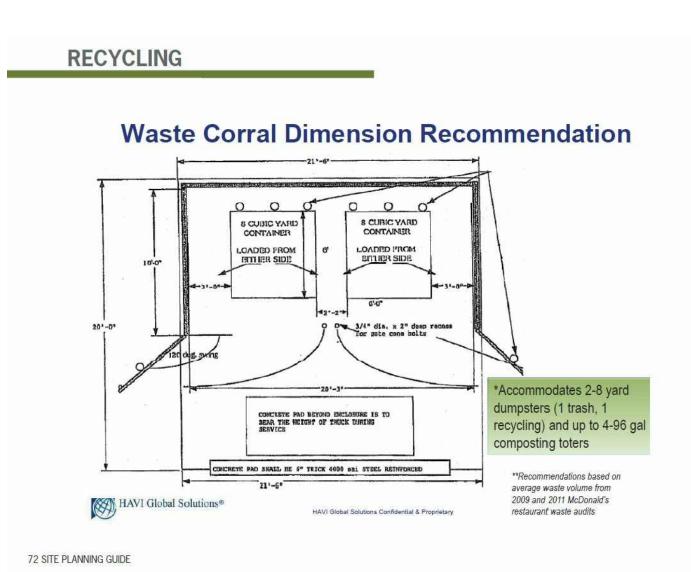
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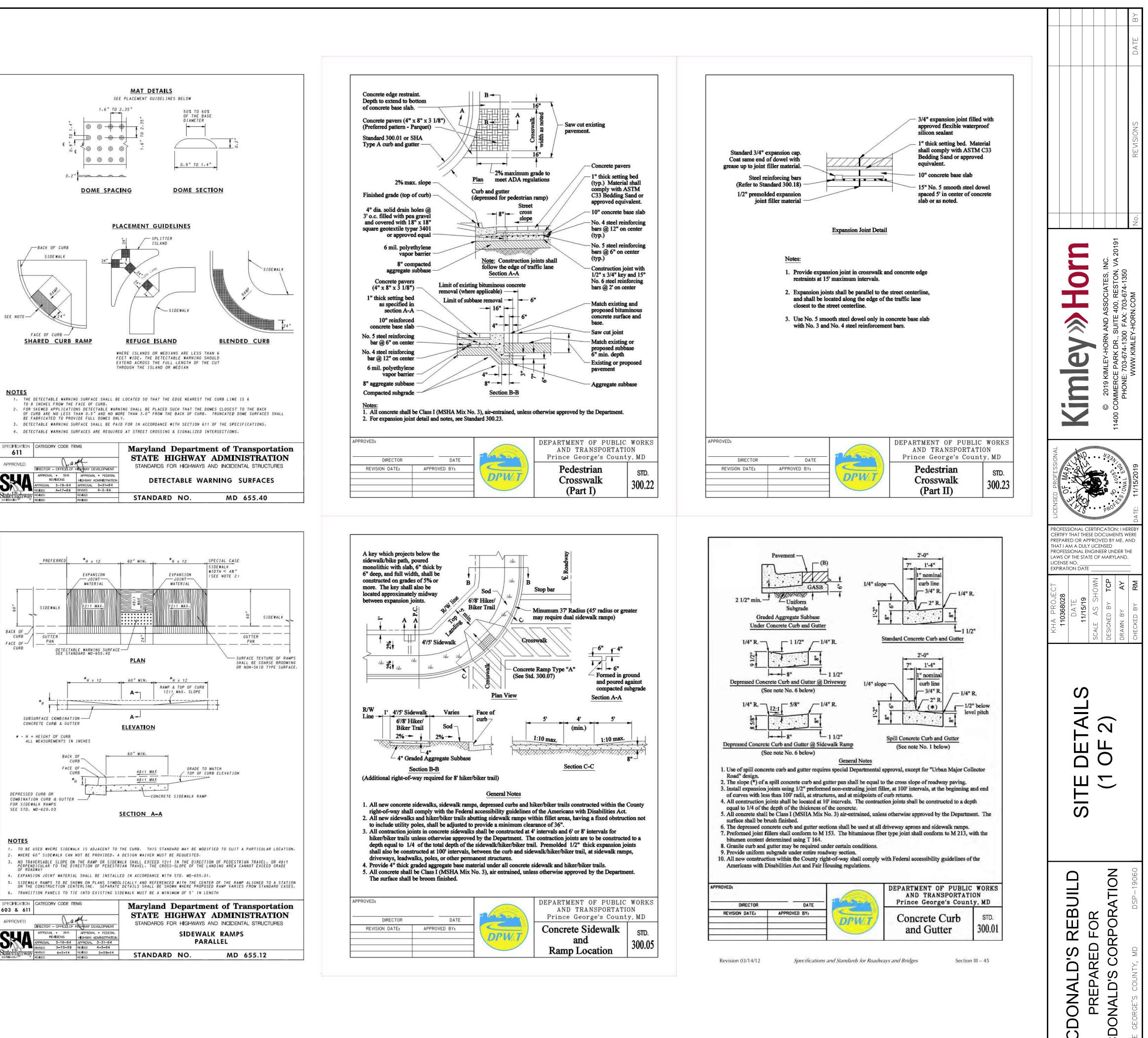
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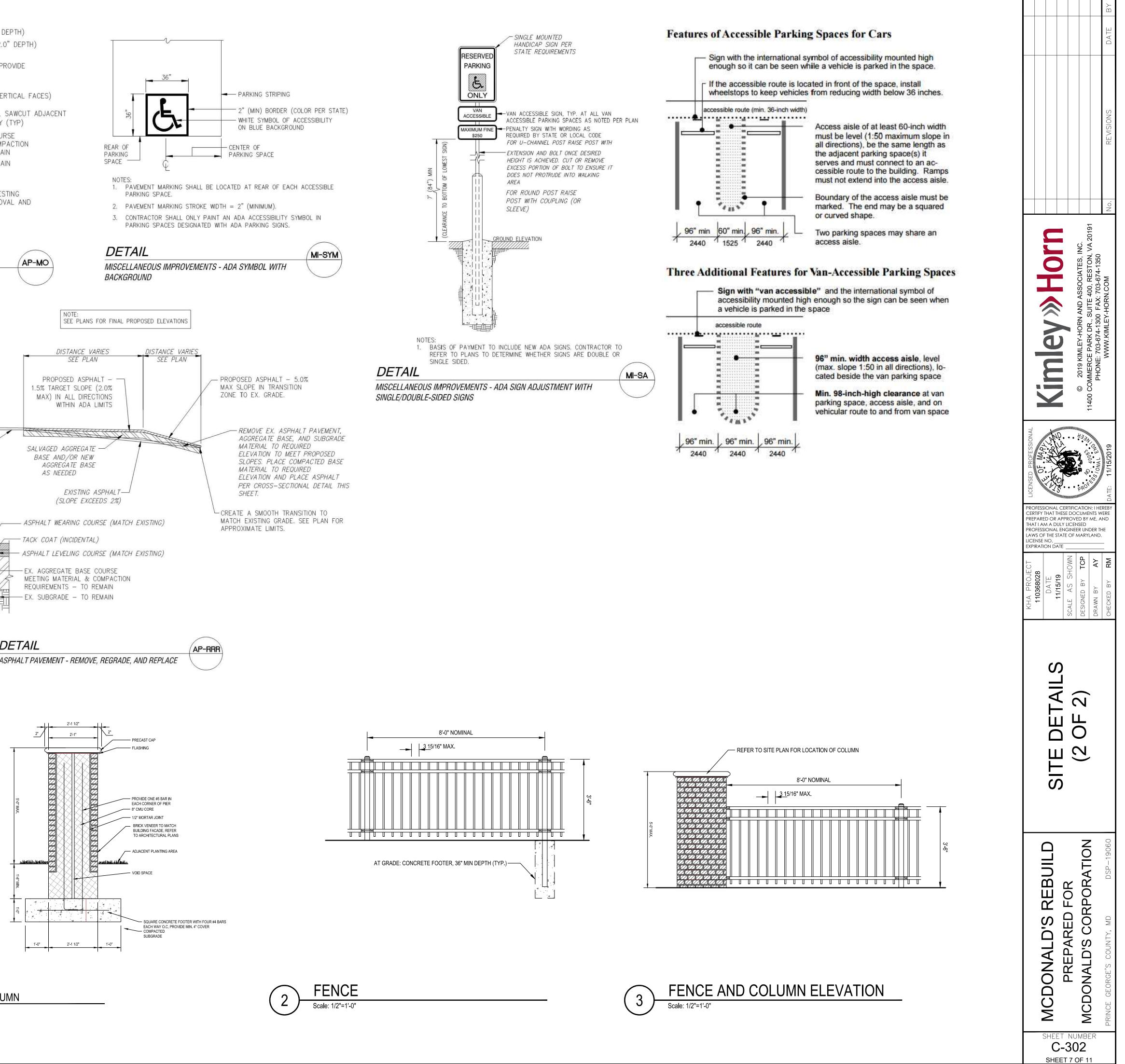
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/ASPHALT PAVE	EMENT LEVELING COURSE (2.0" DEPTH)
	AVEMENT AND AGGREGATE
	GRADE AS NECESSARY TO PROVIDE PAVEMENT SECTION.
	AVENIENT SECTION.
	- TACK COAT (INCLUDING VERTICAL FACE
	- PROVIDE VERTICAL FACES, SAWCUT ADJ
/ // // // // // // // // //	PAVEMENTS IF NECESSARY (TYP)
X///////////	- EX. AGGREGATE BASE COURSE MEETING MATERIAL & COMPACTION
	REQUIREMENTS - TO REMAIN
	- EX. SUBGRADE - TO REMAIN

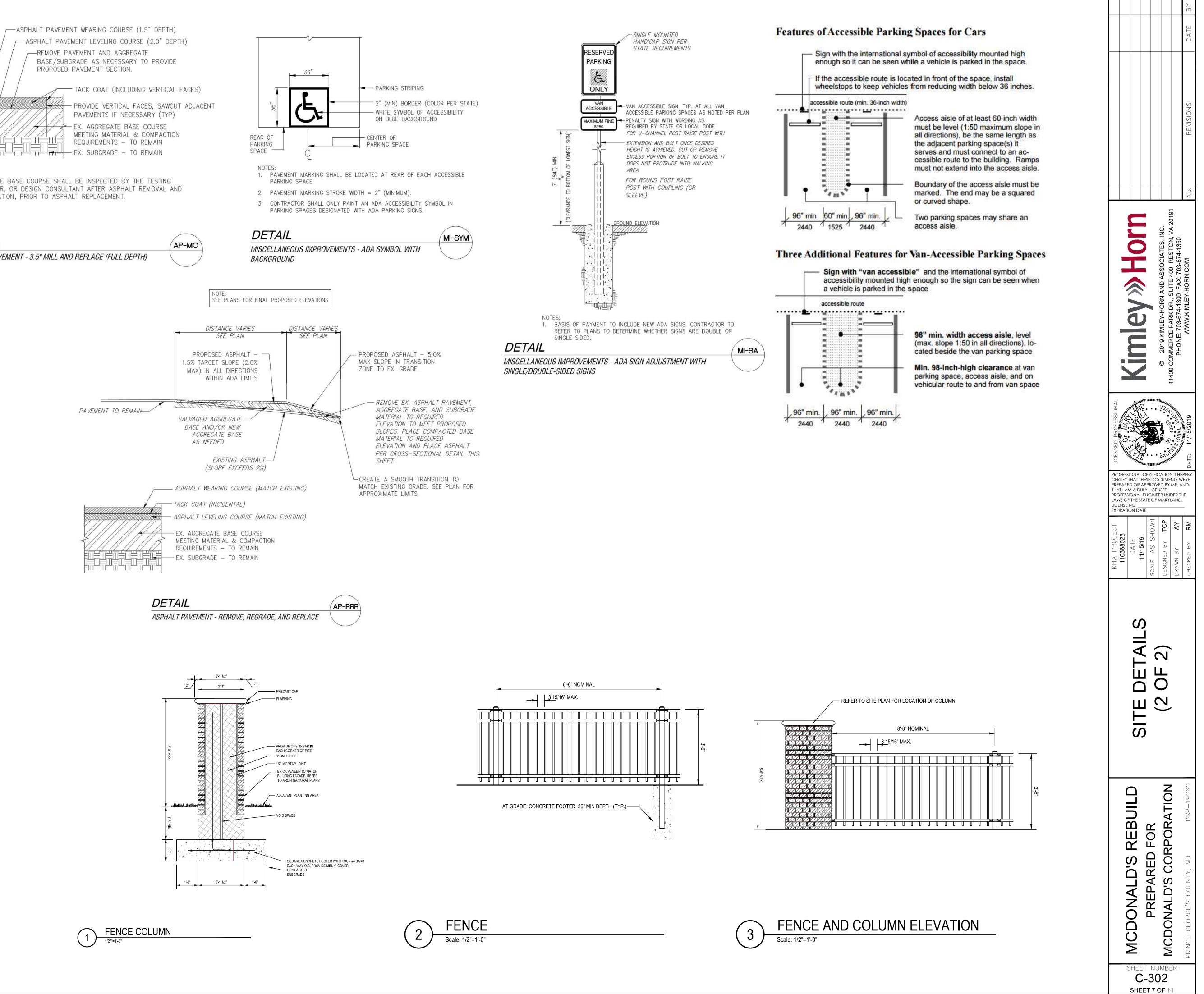
NOTE: THE AGGREGATE BASE COURSE SHALL BE INSPECTED BY THE TESTING AGENCY, OWNER, OR DESIGN CONSULTANT AFTER ASPHALT REMOVAL AND BASE PREPARATION, PRIOR TO ASPHALT REPLACEMENT.

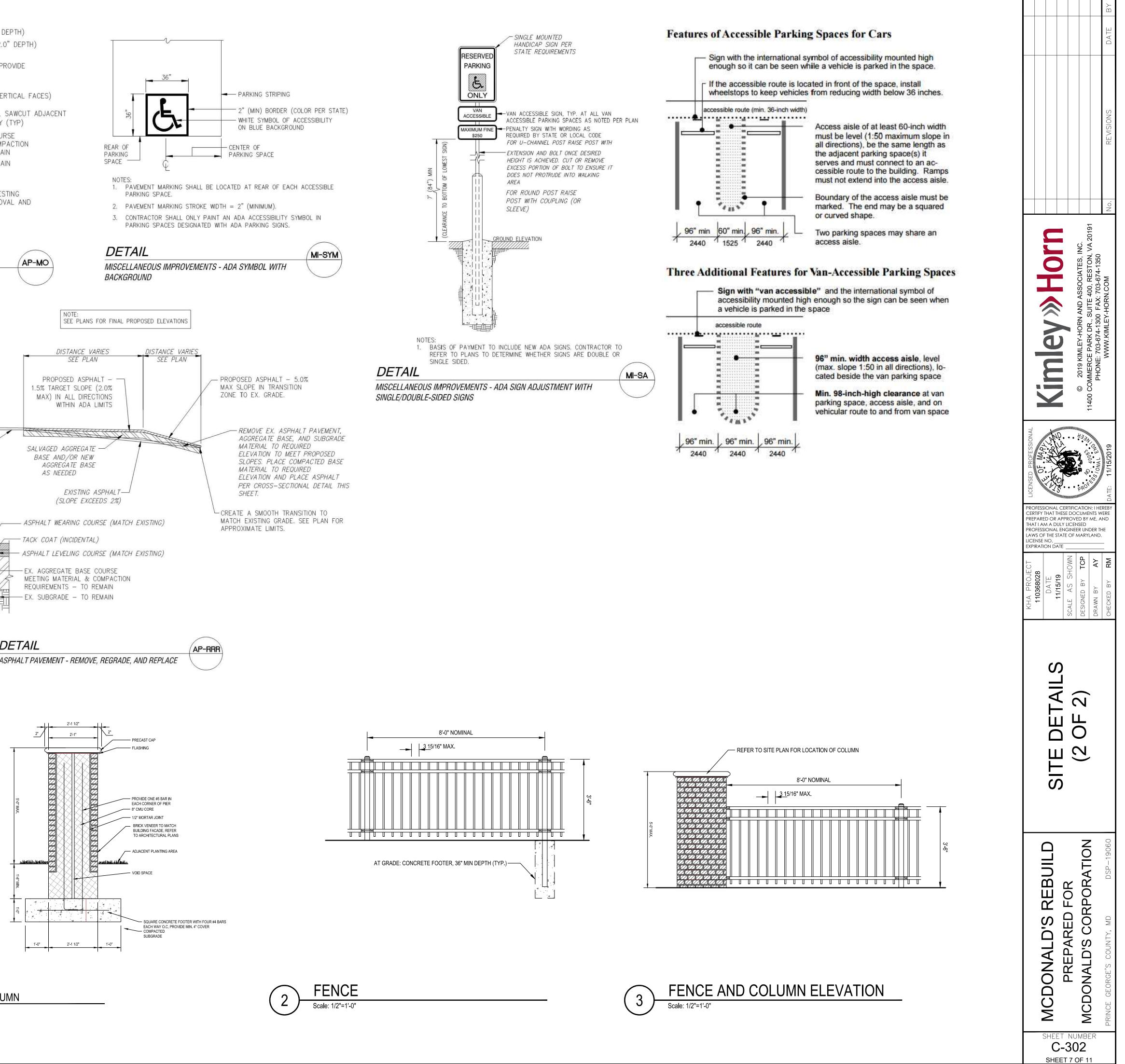
DETAIL

ASPHALT PAVEMENT - 3.5" MILL AND REPLACE (FULL DEPTH)











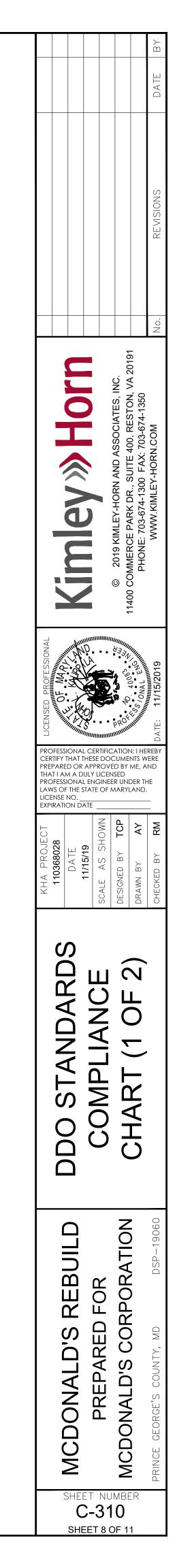
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Layout: DDO STANDARDS COMPLIANCE CHART (1 OF 2)	
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y: Yang, Alex	

	Development District Standard	Comply? Y/N
eneral S	Bite Standards and Guidelines	
	1. Building Orientation: The main entrance to a building must face the street. Buildings facing public plazas, parks, or	
	open spaces must also have their main entrance oriented	Yes
	toward the public space. 2. Build-to Line: The build-to line is the line to which	
	buildings are required to be built on a lot (no setback is	
	permitted from it, except as noted in the guidelines). Consequently, multifamily, mixed-use, and nonresidential	
	buildings, located within the DDOZ areas, must be located	No
	along a continuous street wall defined by the build-to line (see the residential, commercial, and industrial sections of	
	the Building Envelope Standards for specific standards).	
	3. Dooryard: The area between the public right-of-way and the build-to line is the dooryard area. The dooryard area	
	commonly contains landscaping, building encroachments,	
	fencing, and street furniture that helps to define a streetscape outside of the right-of-way. Each property within	Yes
	the residential, commercial, and industrial areas of the	
	subregion should have a combination of the elements described above in order to ensure a lively streetscape.	
	4. Encroachments: Stoops, porches, bay windows, trim,	
	eaves, arcades, balconies, chimneys, awnings, signs, and	
	other architectural embellishments may encroach beyond the build-to line, so long as clear pedestrian passage	Yes
	through the public space is not impeded (see the residential,	Tes
	commercial, and industrial sections for specific standards of the Building Envelope Standards and Architectural	
	Standards and Guidelines).	
	5. Frontage Occupancy: In order to ensure that buildings spatially define streets and the public realm but still allow for	
	building articulation, a percentage of a primary building	
	façade must be located on the build-to line. A portion of a building façade may step back two feet from the build-to line	No
	and still count toward the frontage occupancy, so long as	
	portions of the facade are placed on the build-to line. 6. Lead Walks: Paved walkways connecting building entry	
	ways and courtyards to a public sidewalk must be at least	Yes
	four feet in width. 7. Off-Street Parking: Surface parking lots and structures	
	must be provided to satisfy parking demand. However, off-	
	street parking, to the extent possible, should be strategically	
	located either behind buildings or behind a masonry wall attached to a primary façade to minimize its visual impact on	Yes
	the urban environment. Service drives with drop offs and	
	parallel parking may be allowed if room is available and as long as they do not interfere with clear pedestrian passage	
	along the public space.	
	8. Primary Façade: All façades (including the front and side elevations on a corner lot) parallel to or clearly visible from a	Yes
	street must be treated as a primary elevation.	
	9. Secondary Façade: A façade, which does not directly	
	face a street or public plaza, park, or open space shall be considered a secondary façade. Secondary facades must be	Yes
	articulated and must not have long expanses of blank wall.	
	10. Sidewalks: Public sidewalks shall be at least four feet in	Yes
	width to allow for clear pedestrian passage.	165
	11. Utility Connections and Service Areas: Site utility structures and service areas, such as trash enclosures,	
	should not be visible from the streets. If these features must be placed near the public street or other spaces, they shall	Yes
	be placed hear the public street of other spaces, they shall be screened from direct public view.	
ding	Standards for Mixed-Use, Commercial, and Institutional 1 A. BUILDING HEIGHTS	Types:
	Principal Building: 4 Stories max. (60 ft.)	Yes
	Accessory Building: 2 Stories max. (25 ft.) Ground Floor: 14 ft. min.	N/A Yes
	Upper Floor(s): 8 ft. min.	N/A
	B. LOT DIMENSIONS Lot Width: 30 ft. min.	Yes
	C. LOT OCCUPATION	res
	Building Lot Coverage: 75 percent max.	Yes
	D1. BUILD-TO LINE AND SETBACKS (CENTRAL AVE) D.1 Build-to Line: 18 ft. from the back of curb	No
	D.2 Side Setback min./max.: 0 ft./10 ft.	No
	D.3 Rear Setback min./max.: 0 ft./10 ft. Frontage Occupancy: 80 percent min.	No No
	D2. BUILD-TO LINE AND SETBACKS (BRIGHTSEAT RD)	
	D.1 Build-to Line: 18 ft. from the back of curb D.2 Side Setback min./max.: 0 ft./10 ft.	No No
	D.3 Rear Setback min./max.: 0 ft./10 ft.	No
	Frontage Occupancy: 80 percent min.	No
	Awnings and Canopies: 4 ft. depth min.	Yes
	Bay Window: 3 ft. max. Balcony: 3 ft. min.	Yes N/A
		N/A

lypical l	Primary Mixed-Use Street (Central Ave)	
	SIDEWALK	No
	1. 6 foot tree pit area 2. 4-6 foot clear walkway	No Yes
	3. 8-foot dooryard	Yes
	STREET	V
	 4 travel lanes at 11 ft. each 2 bicycle lanes at 4 ft. each 	Yes No
	3. 2 parking lanes at 8 ft. each	No
	4. Minimum 12 ft. median (if used)	No
ypicals	Secondary Street (Brightseat Rd)	
	SIDEWALK 1. 6 ft. tree planting strip	No
	2. 4-6 ft. clear walkway	Yes
	3. 8 ft. dooryard	Yes
	STREET	
	1. 4 travel lanes at 11 ft. each	Yes
	2. 2 bicycle lanes at 4 ft. each3. 2 parking lanes at 8 ft. each	No No
ypical	Tertiary Residential Street	110
	SIDEWALK	
	1. 6 ft. tree planting strip	N/A
	2. 6 ft. sidewalk 3. 10 ft. dooryard	N/A N/A
	STREET	IN/A
	1. 2 travel lanes at 11 ft. each	N/A
	2. 1 parking lane at 8 ft. each	N/A
ypical /	Alley or Lane	
	ALLEY 1. 16 ft. paved lane (may accommodate two-way traffic at	
	slow speeds)	N/A
	2. Two aprons at 7 ft. in length	N/A
ahit í	3. No parking along the paved lanes.	N/A
cnitecti	ural Standards: A. GENERAL ARCHITECTURAL FRAMEWORK	
	A. GENERAL ARCHITECTORAL FRAMEWORK 1. Where redevelopment occurs within or in close proximity	
	to existing neighborhoods, new construction shall	Yes
	complement style of existing surrounding buildings	
	2. Buildings shall be sited to reinforce the build-to line and	
	define the street wall. Buildings shall shift in massing and	No
	have variations in height, profile, and roof form, while maintaining the formal relationship of building placement to	No
	the public street frontage.	
	3. Encroachments that provide for exterior outdoor living	
	spaces, such as porches, balconies, and/or roof terraces,	Yes
	shall be encouraged. B. FAÇADE ARTICULATION	
	1. Buildings shall emphasize first story and primary entrances with pedestrian-friendly architectural features.	
	Structures greater than one-story shall be organized to have	Yes
	a clear base, middle, and cap to the form of the building.	
	2. Commercial buildings with long façade shall be articulated	
	through some combination of massing, fenestration, building	Yes
	openings, materials, and color.	
	3. New residential structures with blank walls exceeding 40	N/A
	linear feet shall be provided.	
	4. Rear elevations to commercial buildings serve as	
	important secondary entrances to businesses. These rear	Vee
	entrances shall be designed to create an inviting appearance that is recognizable and related to the primary façade of the	Yes
	business in terms of both massing and material.	
	C. MATERIALS 1. Building facades shall be composed of one dominant	
	facing material and one or two additional accent materials	Yes
	2. The dominant material should comprise a minimum of	
	60% of any elevation. No building should have more than 3	Yes
	facing materials in addition to glass. 3. Primary building facades shall be faced with quality	
	materials, such as masonry brick, natural stone,	
	architectural precast stone or concrete, and cementitious	Yes
	clapboard siding	
	4. Synthetic stucco and aluminum and vinyl siding shall not	
	be permitted as a dominant building material. These materials shall only be permitted on the attached garage	Yes
	area of single-family residences and on side or rear facades	165
	not facing a street.	
	5. Reflective glass, unfinished and painted concrete masonry	
	units, and unfinished pressure treated wood products are prohibited	Yes
	6. Wood, glass reinforced fiber concrete, synthetic wood	
	products, fiber cement trim materials, and moulded millwork	Yes
	shall be permitted as trim material	
	D. FENESTRATION	
	COMMERCIAL 1. The proportions of windows and alignment and rhythm of	
		Yes
	windows should replicate the facade design of the immediate	
	windows should replicate the façade design of the immediate surrounding architecture	
	surrounding architecture2. Windows should be primarily rectilinear in shape.	Yes
	surrounding architecture2. Windows should be primarily rectilinear in shape.3. Fenestration shall comprise a minimum of 60% of ground	Yes
	surrounding architecture 2. Windows should be primarily rectilinear in shape. 3. Fenestration shall comprise a minimum of 60% of ground story facades of mixed-use, commercial, and institutional	Yes Yes
	surrounding architecture 2. Windows should be primarily rectilinear in shape. 3. Fenestration shall comprise a minimum of 60% of ground story facades of mixed-use, commercial, and institutional building types and a minimum of 30% on the upper stories of	
	surrounding architecture 2. Windows should be primarily rectilinear in shape. 3. Fenestration shall comprise a minimum of 60% of ground story facades of mixed-use, commercial, and institutional	
	surrounding architecture 2. Windows should be primarily rectilinear in shape. 3. Fenestration shall comprise a minimum of 60% of ground story facades of mixed-use, commercial, and institutional building types and a minimum of 30% on the upper stories of these building types. 4. Glazing shall be at least 80% transparent. RESIDENTIAL	Yes Yes
	surrounding architecture2. Windows should be primarily rectilinear in shape.3. Fenestration shall comprise a minimum of 60% of ground story facades of mixed-use, commercial, and institutional building types and a minimum of 30% on the upper stories of these building types.4. Glazing shall be at least 80% transparent.	Yes

Architect	ural elements AWNINGS/CANOPIES	
	1. Awnings shall have a metal structure or metal structure	
	covered with a durable, commercial grade fabric, canvas, or	Yes
	similar material having a matte finish. 2. If a façade is divided into distinct structural bays, such as	
	masonry piers, awnings shall be placed within the vertical	Yes
	elements, rather than overlap them. 3. Awnings shall not extend more than 6 ft. beyond the face	
	of a building.	Yes
	 Awnings may have a front skirt; however it shall not be scalloped. 	Yes
	5. Awnings shall not be backlit.	Yes
	BALCONIES	
	1. Balconies shall be designed to complement the overall building façade and be proportionate to the building's window and door openings.	N/A
	 Exposed pressure treated wood balconies shall not be permitted. Wooden balconies shall be painted, stained, or clad with an approved decorative fascia material. COLUMNS AND PIERS 	N/A
	1. Columns and piers break down the massing of buildings and should be considered to define individual storefronts and bays on longer building facades.	N/A
	DOORWAYS AND ENTRIES 1. Main entrance to a building or storefront should be emphasized with architectural features.	Yes
	2. Commercial storefront entries may be recessed.	Yes
	3. Service entrances to a building shall be located at the rear of a building.	Yes
	 4. Entrances to upper story uses shall be located along the street but should have a secondary character to the main entry. 	N/A
	DOOR HOODS, PORCHES, AND STOOPS	
	1. Door hoods, porches, and stoops shall be compatible with the architecture of the building	Yes
	the architecture of the building.	
	2. Porches shall be a minimum of 6 ft. in depth. Stoops shall be a minimum of 4 ft. wide and no greater than 8 ft. in depth. ROOF TREATMENT AND PARAPET WALLS	Yes
	1. Roofs may be gabled, hipped, or flat. The particular type of roof on a building should complement its architecture and that of the architecture of the surrounding area	Yes
	2. A minimum roof pitch of 1:2 shall be required for a sloped roof.	Yes
	3. Buildings with flat roofs shall have cornices and the roof shall be enclosed by a parapet wall. The parapet wall must be a minimum of 42 inches high.	Yes
	4. Dormers, chimneys, and other architectural embellishments, such as cupolas and towers, may extend above the roof line.	Yes
	 Side gabled roofs with expanses greater than 40 linear feet should be articulated. Articulation may consist of dormers, front gables, cupolas, hipped roofs, or other architectural embellishment. 	Yes
	ROOFTOP UTILITIES 1. Visible rooftop utilities are prohibited. All roof mounted equipment shall be screened and painted to blend with the approved roof color.	Yes
	2. Equipment shall be grouped and arranged in an orderly	Yes
	manner behind one screen. SECURITY GATES ON COMMERCIAL BUILDINGS	
	1. Exterior security gates or burglar bars on windows and	
	doors are prohibited. Additionally, rolled up security doors shall not be permitted.	Yes
	 Alternative means of building security including safety glass, lighting, and electronic surveillance should be considered in the place of security bars and roll-up doors 	Yes
	over ground floor windows and doors. 3. Security screens and doors should be attractive and	Yes
	complement the buildings on which they are installed. SHUTTERS	100
	1. The dimension of shutters must fit the dimensions of the	Yes
	window opening to which they are applied.	
	 Shutters shall be wood, vinyl, or metal. The use of shutters and awnings on the same window 	Yes
	shall be prohibited.	Yes
	STAIR TOWERS AND FIRE ESCAPES 1. Stair towers or fire escapes shall be allowed only on the side or rear of a building.	N/A
	2. Stair towers should be semi-enclosed or enclosed with walls, glass, railings and/or a roof structure and compatible to the main building in proportion, style, and materials.	N/A
ignage	Standards and Guidelines:	
	A. General 1. Building signs shall be constructed of quality materials.	
	Only essential information, such as the name, business type, company logo, street address, phone number, and hours of operation of the business or retail establishment	Yes
	 may be displayed on the front of the building 2. The placement of signs shall be integrated into the overall architectural design of the building. The materials, color, style, and size of a sign shall be coordinated with the service the building. 	Yes
	architectural features of the building. 3. Signs for multitenant buildings shall be coordinated in	N17
	terms of design, placement, size, materials, and colors. 4. Temporary signs, flashing or blinking signs, internally	N/A
	illuminated box signs, roof signs, and billboards are	

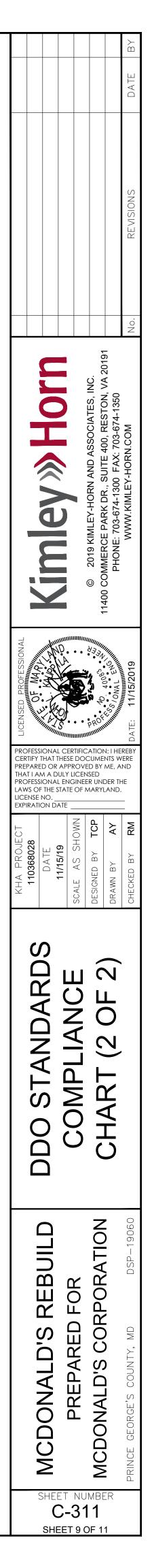
B. Board signs		
1. Buildings shall be designed to include a above the business or retail use. Typically located above the lintel of the window of th storefront.	, this zone is	Yes
2. All business and/or retail buildings shall rear entry signage that is oriented toward		Yes
3. The individual tenant signage for building tenants shall be located at approximately th create a unified look.		N/A
C. Window signs 1. Window signs, including letters and lo obscure views into the business or retail es shall not occupy more than 25% of the tota	tablishment and	Yes
which the sign is located 2. Window signs shall generally be centered storefront display window, doorway, or an o		Yes
3. There shall be a limit of one window sign building entry	per ground level	Yes
D. BLADE AND BANNER SIG		
1. Blade signs shall be no more than 16 so shall allow for an 8 ft. minimum clearance al grade of the sidewalk.		N/A
2. Signs attached to buildings shall not proje in. from the vertical plane of the wall to w attached.		N/A
3. Blade signs shall not be attached to awr	nings/canopies.	N/A
4. There shall not be more than one blade storefront tenant and upper floor business te premise is on a corner lot or has public entr more public rights-of-way, in which case a signs may be erected toward the second pu	e sign for each mant, unless the ances on two or set of projecting	N/A
E. AWNING/CANOPY SIGN 1. Awnings/canopies may include logos However, they shall not be bac	and/or text.	Yes
F. TENANT DIRECTORY SIG 1. A tenant directory sign limited to 6 ft. in h ft. per face may be placed immediately adjac in the rear yard area.	eight and 18 sq.	N/A
 Information on the signage should be limit and/or address of the building and list of the location. 		N/A
3. If used, tenant directory signs must be de the architectural style of the primary signs		N/A
G. SPECIALTY SIGNS 1. Specialty signs advertising special e celebrating a holiday shall be allowed, so provide for vehicular and pedestrian c	long as they	Yes
Specialty signs must be affixed to light p buildings and must be designed to withstar		Yes
3. Specialty signs must be removed when t is completed.	he special event	Yes
andscaping Standards: A. GENERAL		
1. All plants shall conform to the America Nursery Stock as published by the America		Yes
Nurserymen 2. Plans for development shall include sepa plans. The landscape plans shall address a lot that are not covered by buildings (include planting beds, and turf areas). Landsca multifamily, mixed-use, commercial, instindustrial uses are to be developed or a registered landscape architect and drawn development plan	II land areas of a ling lead walks, pe plans for itutional, and pproved by a based on a site	Yes
 A plant list shall be included on landscape specify the plant species (botanical and consize/caliper, spacing, quantity, constructing trees, shrubs, evergreens, and street trees), of irrigation and illumination. 	ommon name), on details (for and the method	Yes
 Plant material should be utilized to provide outdoor spaces; screen, buffer, or enhance define entrances; and accentuate individual 	e views, help	Yes
 Plantings should help mitigate climatic shading the southern exposure of buildings 		Yes
6. When properties are developed, stands of trees should be preserved to the greatest p Damaged, decayed, or deceased trees shou protect remaining trees.	existing healthy practical extent.	Yes
7. Landscaping and streetscape ameniti plantings, lawns, fencing, and furniture, sh distinguish public from private s	ould be used to	Yes
8. For the intent of the industrial screening standards and guidelines, the boundary s referred to as perimeter stree	g and buffering treets shall be	Yes
 In industrial areas, plants placed along s and in buffer yard areas are subject to n conditions and are not likely to receive co Accordingly, plant varieties that require litt and tolerate with conditions as sun, with 	street frontages hany adverse insistent care. le maintenance	Yes

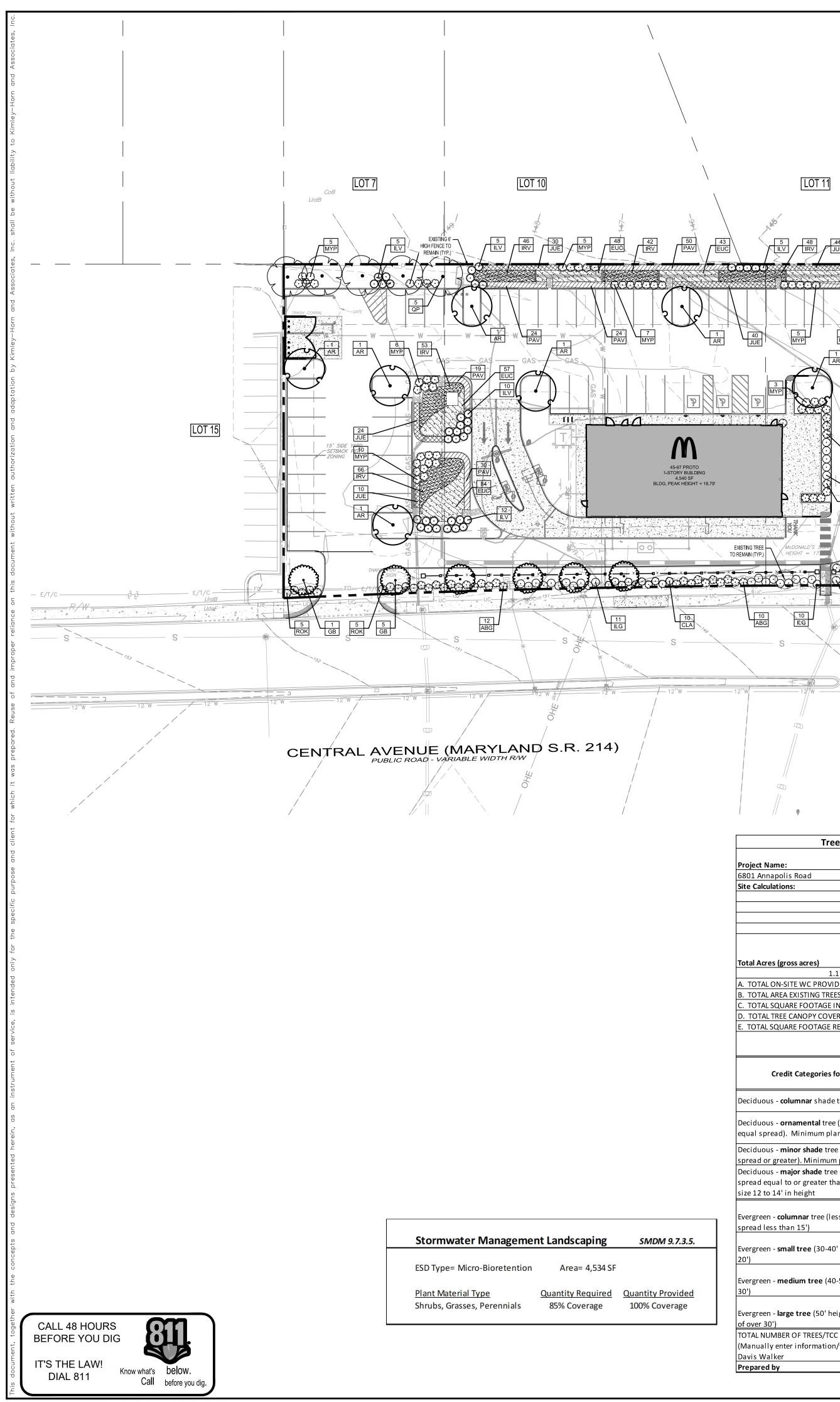


B. STREET TREES Street trees, which must be of a drought-resistant native cies, shall be planted on average a minimum of 35 ft. on ter along planting strips or in tree grates of street rights- of-way (Please refer to the <i>Prince George's County</i>	Yes
cies, shall be planted on average a minimum of 35 ft. on ter along planting strips or in tree grates of street rights-	
ter along planting strips or in tree grates of street rights-	
andscape Manual for acceptable street tree species).	Yes
/here necessary, spacing allowances may be made to	
accommodate curb cuts, fire hydrants, and other	
frastructure elements. However, at no location may the spacing exceed 35 ft. on center.	
t planting, street trees shall be at least 3 in. in diameter	
and at least 10 ft. in overall height.	Yes
C. SHADE AND ORNAMENTAL TREES	
Shade trees shall be planted a minimum of 1 shade tree	
r 10 surface parking spaces with a minimum of 2 shade	Yes
trees per landscaped median strip.	
	Yes
(or vice versa) in surface parking lots.	Yes
D. DOORYARD AREA	
	Yes
	Yes
	163
	N/A
planting beds, and some hardscape	
E. GROUND COVER	
	Yes
	N/A
shrubs, flowers, or ground cover.	
F. OPEN SPACE	
-	
	N/A
-	
	Yes
pathways.	
3. Urban open spaces and pocket parks should be	
	Yes
and connect to the public sidewalks.	
-	
Contraction of the second	
	Yes
in an appropriate location for all future nonresidential	
development	
2. Placement of streetscape enhancements shall not	Yes
	1 5 5
erfere with clear pedestrian passage in the public space.	165
3. Color and style of streetscape enhancements shall	Yes
3. Color and style of streetscape enhancements shall complement and coordinate with future development.	
 B. Color and style of streetscape enhancements shall complement and coordinate with future development. 4. All proposed streetscape enhancements shall be 	Yes
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	Surface parking lots shall have no more than 2 bays of parking without a continuous planted median. wo ornamental trees may be substituted for 1 shade tree (or vice versa) in surface parking lots. D. DOORYARD AREA The private frontage area between the public right-of-way and the build-to-line shall be treated in specific ways, depending on the adjacent building type use. fixed-use, commercial, and institutional private frontages hall be composed primarily of hardscape and may have planters and street furniture trivate frontages that are primarily residential in character hall be composed of sod, shade, and ornamental trees, planting beds, and some hardscape E. GROUND COVER A minimum of 15% of green area of a commercial, office, tail, business, or industrial parcel or lot shall consist of anting beds with a shrubs, flowers, or ground cover. For building parcels with large undisturbed areas, this requirement will be based on the disturbed area for residential properties, a minimum of 10% of the green rea of a lot or parcel shall consist of planting beds with shrubs, flowers, or ground cover. F. OPEN SPACE 1. A minimum of 15% of green area of any residential development site must be dedicated for open space. Preferably, the open space should be located around existing mature trees. Open space requirements should be used to establish iral greenways that protect and restore wetlands, provide habitats, allow for conservation and growth of natural teation, and provide opportunity for pedestrian and bicycle pathways. 3. Urban open spaces and pocket parks should be nocoporated into the plan. These open spaces shall be anted with shade and flowering trees, evergreen shrubs, other appropriate landscaping to provide shade, increase air quality, and treat stormwater, as well as add visual interest along streetscapes. G. TRAILS/PATHWAYS Trails and pathways shall be provided through naturalized lic spaces and common areas that circulate throughout,

RETAINING WALLS 1. Retaining walls may be necessary to grade individual lots	
or parcels. Such walls shall match or be compatible with the architectural elements of the primary buildings on the lot.	N/A
2. Retaining walls at the sidewalk shall have a maximum height of 30 in.	N/A
3. Bare, poured concrete, wood posts and timber ties, and modular concrete retaining walls shall not be permitted in a front or side yard visible from a public street.	N/A
FENCES AND WALLS IN INDUSTRIAL AREAS	
 Fences and walls shall be constructed of durable materials that include pressure-treated wood, masonry, stucco, and decorative metal. The following materials shall not be used for any type of fencing and/or walls: barbed wire, razor wire, unclad cinder block, vinyl cladding, corrugated metal, corrugated fiberglass, sheet metal, wire 	N/A
mesh, nonpressure-treated wood, or chain link.2. The kickboards (the lower horizontal member of a fence)	
of pressure treated wood fencing shall be placed at least 2 in. above grade, so as to prevent deterioration. The base of a wooden fence shall not rest at grade.	N/A
3. Fences and/or walls shall be required around properties containing open truck and/or open storage facilities in order to ensure that the storage of materials and/or commercial vehicles are not visible at eye level (5 ft.) when standing from the approximate centerline of the public right-of-ways adjacent to the property. Consequently, fences/walls for these types of facilities must be between 6 ft. min. and 8 ft. max.	N/A
4. Fences and/or walls may be used as screening material around parking lots. These fences and/or walls should be between 3-4 ft. in height.	N/A
LIGHTING 1. Lighting shall be provided along public and private streets,	
alleys and access drives, public open spaces and trails, and in parking areas. 2. Pedestrian-scaled street light fixtures (at heights between	Yes
12-14 ft. in height) should be installed in all public spaces at no more than 60 ft. intervals, as measured parallel to the street.	Yes
3. Cobra head streetlights shall not be permitted.	Yes
 The style of ornamental poles and luminaires should be coordinated with the appropriate public agencies. 	Yes
I. ADDITIONAL LANDSCAPING STANDARDS FOR INDUSTRIAL PROPERTIES	
1. A 15 ft. minimum to 25 ft. maximum landscaped buffer area, as measured from the back of curb, shall be provided along perimeter streets.	N/A
2. A 10 ft. minimum landscaped buffer area, as measured from the edge of paving, shall be provided along internal streets.	N/A
 Side and rear bufferyards around a property shall be at least 20 ft. in width. 	N/A
4. The buffer areas along perimeter streets shall be planted with trees selected from the recommended species of evergreen trees found in Appendix 3, Table A-3(d) of the <i>Prince George's County Landscape Manual</i> . Evergreen trees must be at least 6 ft. in height at the time of planting and must be placed between 8 ft. minimum and 12 ft. maximum on center. Trees may be placed in a double staggered row, so long as the center line of each tree within the triangular areauring in between 9 ft. 2 ft. enert	N/A
grouping is between 8-12 ft. apart. 5. The buffer areas along internal streets shall be planted with evergreen trees recommended from the <i>Prince George's County Landscape Manual</i> . These trees must be at least 6 ft. in height at the time of planting, but may be placed between 12 ft. minimum and 16 ft. maximum on center around the edges of a property instead of 8 ft. minimum to 12 ft. maximum.	N/A
 6. Side and rear bufferyards shall be planted with the recommended evergreen trees from the <i>Prince George's County Landscape Manual</i>. These trees shall be at least 6 ft. at the time of planting and shall be spaced between 12 ft. minimum and 16 ft. maximum on center. Trees may be placed in a double staggered row, so long as the center line of each tree within the triangular grouping is between 12 and 16 ft. apart. 	N/A
7. In addition to evergreen trees, shrubs may be provided along perimeter streets, internal streets, and bufferyard areas. If provided, shrubs should be between 2 to 5 ft. in height at the time of planting and should be placed in tightly spaced groupings of at least 3 plants (5 ft. on center). The shrubs should be either evergreen, or if deciduous, have a dense, twiggy growth habit for winter screening and an attractive year-round appearance. Along perimeter streets, every fifth tree may be replaced by a grouping of shrubs, so long as the shrubs are at least 4 ft. in height ad do not expose open truck and/or open storage facilities. on an internal street and bufferyard area, every third tree may be replaced by a grouping of shrubs, so long as the shrubs are at least 4 ft in height.	N/A
8. Landscaped berms may be allowed along internal street	N/A

Parking a	nd Loading Standards and Guidelines: A. GENERAL	
	1. The minimum surface parking spaces shall be 80% of minimum required parking and loading as stated by Section 27-568(a) of Part 11 of the Zoning Ordinance.	Yes
	 The maximum number of surface parking spaces shall be equal to minimum required by parking and loading as stated by Section 27-568(a) of Part 11 of the Zoning Ordinance. 	Yes
	 The maximum number of structured parking shall be equal to 115% of the minimum required by parking and loading as stated by Section 27-568(a) of Part 11 of the Zoning Ordinance. 	N/A
	 Buildings must meet the frontage occupancy requirements for the perimeter of a block when considering the parking requirements. 	No
	5. All private residential parking (non-multifamily) shall be located at the rear or side of the principal building on a lot in an attached or detached garage, carport, or on a parking pad, and shall be accessed from a landscaped driveway, side street, or alley. Residential garages or carports must be recessed a minimum of 6 ft. from the front building facade of the principal building on the lot.	N/A
	 6. Parking pads or tandem parking spaces in private residential areas must not block clear pedestrian passage along the adjacent right-of-way. 7. If possible, surface parking lots, structured parking, and 	N/A
	loading areas shall be located on the interior of the block or at the rear of the property in the case of commercial, mixed- use, and institutional uses, and shall be accessed from a side street, alley, or entrance drive aisle	Yes
	 In industrial areas, surface parking lots may be located on the side of a primary building, so long as the parking lot does ont exceed one parking bay and the property is not located along a primary mixed-use street. 	N/A
	9. Cross-access easements between surface parking lots shall be encouraged.	Yes
	 Parking lots and structure parking shall not dominate the streetscape, obscure building frontages, endanger pedestrians, or overwhelm the visual environment. Curb cuts should be reduced to minimize potential pedestrian/vehicular conflict. When possible, there shall be one curb cut per block. 	Yes
	B. SURFACE PARKING LOTS 1. Surface parking lots shall be set back from the rear façade of nonresidential, mixed-use, or commercial structures in order to accommodate a landscape planting buffer adjacent to the building and 5 ft. wide walkway	Yes
	adjacent to the parking. 2. A 10 ft. wide by 18 ft. deep landscaped island with shade trees must be provided a maximum of every 10 parking	No
	spaces. 3. Surface parking lots with more than two bays of parking shall be divided by a continuous landscaped strip at least 10 ft. in width between the third and fourth bays to accommodate shade trees and other landscape elements. Where possible and appropriate, landscaping strips should	Yes
	 be greater than 10 ft. to provide for bio-swales. 4. Surface parking lots located on the side of a principal building must have screen walls behind the build-to line that connect to the principal building and conceal the parking from the adjacent public space. The walls must be between 3-3.5 ft. in height and must consist of materials similar to the primary facade of the principal building. Additionally, appropriate landscaping should be provided in front of the wall. Chain link and chain link fences with privacy slats are prohibited as a screening material. 	Yes
	C. STRUCTURED PARKING 1. A parking structure, adjacent to a street or other public space, shall be located at the build-to line and shall have retail/commercial liner uses on the first level fronting the street in order to create a continuous street wall along the sidewalk edge.	N/A
	2. Parking structure facades visible from the street or other public spaces shall consist of high-quality materials. These facades shall mimic the architecture of the adjacent buildings. Parking structures located on corner lots shall provide street quality architectural facades on both the front and side streets.	N/A
	 Parking structures shall be between 2 and 5 stories in height, depending on the site where the garage is located. However, parking garages shall not exceed the height of the surrounding buildings. 	N/A
	4. When the siting of a parking structure creates a gap between the parking structure and the building it services, there shall be a minimum 10 ft. wide landscaped area between the two structures. The sides and rear of parking structures shall be screened from adjacent properties with coniferous plant material.	N/A
	D. LOADING AND SERVICE AREAS 1. All loading and service areas must be located in the interior of a block behind buildings.	Yes
	2. Dumpsters, exposed storage areas, machinery, service areas, truck loading areas, utility buildings, air conditioning units, and other similar structures shall be screened from the view of neighboring properties and streets with walls made of the same materials, color, or style as the primary building on the lot or parcel. Additionally, landscaping must also be provided around the perimeter of the loading yard.	Yes
	3. Utility areas separated from the primary building on a lot or parcel shall be enclosed by a 6 ft. high solid wall or fence constructed with materials compatible to the primary building.	Yes
	4. The front of enclosures shall have steel swing gates for vehicular service access. A separate pedestrian gate must also be provided.	Yes
	5. A wooden trash enclosure is not permitted. E. OPEN STORAGE IN INDUSTRIAL AREAS:	Yes
	Open storage, within 20 ft. of the inside portion of a screening wall and/or fence for a property, may not extend above the screening wall/fence.	Yes
	F. DRIVEWAYS IN INDUSTRIAL AREAS: Driveways and curb cuts to properties must be constructed	





LOT 11 Ľ nc Μ 45-97 PROTO 1-STORY BUILDING 4,540 SF BLDG. PEAK HEIGHT = 18.79' EXISTING TREE O REMAIN (TYP. 10 ABG 10 CLA

Tree Canopy Coverage Schedule for Sec. 25-128

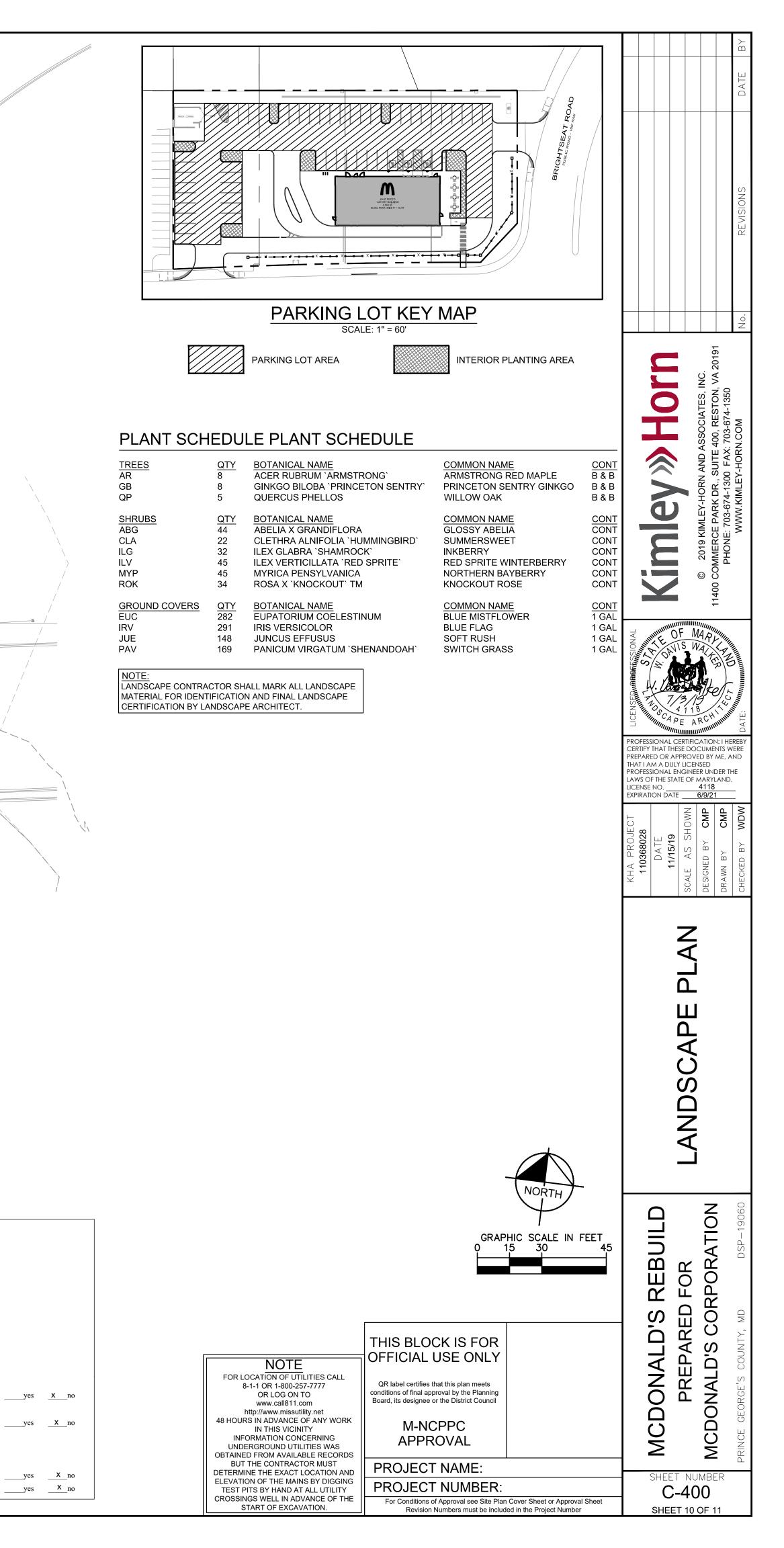
-12"W _____ 12"W

Project Name:	TCP2#:	DRD Case #:	Area (acres)
6801 Annapolis Road			
Site Calculations:	Zone 1:	M-U-I	1.17
	Zone 2:		
	Zone 3:		
	Zone 4:		
	Total Acres:		1.17
		тсс	
		Required	TCC Required
Total Acres (gross acres)	% of TCC required	(Acres)	in (SF)
1.17	10.0%	· · · ·	5097
A. TOTAL ON-SITE WC PROVIDED (acres) =		acres	5037
		1	
B. TOTAL AREA EXISTING TREES (non-WC acres) =	0.01	acres	435.6
C. TOTAL SQUARE FOOTAGE IN LANDSCAPE TREES =			5250
D. TOTAL TREE CANOPY COVERAGE PROVIDED =			5250
E. TOTAL SQUARE FOOTAGE REQUIRED =			5097
			Requirement
			Satisfied
	TCC Credit per Tree		
Credit Categories for Landscape Trees	Based on Size at	Number of	TCC Credit
	Planting (SF)	Trees	(SF)
	2 -1/2 - 3" = 65		C
Deciduous - columnar shade tree (50 ' or less height)	3 - 3 1/2" = 75		C
	1-1/2 - 1-3/4"= 75		0
Deciduous - ornamental tree (20' or less height with			
equal spread). Minimum planting size 7 - 9 ' in height	$2 - 2 \frac{1}{2} = 100$		0
	2 -1/2 - 3" = 110		0
Deciduous - minor shade tree (25-50' height with equal	2 -1/2 - 3" = 160		C
spread or greater). Minimum planting size 8-10' in height			C
Deciduous - major shade tree (50' and greater ht. with	2 -1/2 - 3" = 225		0
spread equal to or greater than ht) Minimum planting			
size 12 to 14' in height	3 - 3 1/2" = 250	21	5250
	6 - 8' = 40		0
Evergreen - columnar tree (less than 30' height with	8 - 10' = 50		C
spread less than 15')	10 - 12' = 75		C
	6 - 8' = 75		0
Evergreen - small tree (30-40' height with spread of 15-	8 - 10' = 100		(
20')	10 - 12' = 125		0
201	6 - 8' = 125		C
Evergreen - medium tree (40-50' height with spread of 20			C
	10 - 12' = 175		C
30')			
	6 - 8' = 150		0
Evergreen - large tree (50' height or greater with spread	8 - 10' = 200		0
of over 30')	10 - 12' = 250		C
TOTAL NUMBER OF TREES/TCC CREDIT (SF)		21	5250
(Manually enter information/figures into shaded areas)			
Davis Walker	_	11/12/2019	_
Prepared by		Date	

Planting Schedule for Section 4.9-1 Sustainable Landscaping Requirements 1) Percentage of native plant material required in each category: total $21 \times 50\% = 10.5$ total number required Shade Trees: total number provided 21 = 100 % native Ornamental Trees: total $0 \times 50\% = 0$ total number required total number provided 0 = 0 % native Evergreen Trees: total $0 \times 30\% = 0$ total number required total number provided 0 = 0 % native total $1,112 \ge 30\% = 327$ total number required Shrubs: total number provided 1,027 = 92 % native 2) Are invasive species proposed? ____yes <u>X</u>no Are existing invasive species on-site in areas that are to remain undisturbed? ____yes X_no 4) If "yes" is checked in numbers 2 or 3, is a note included on the plan requiring removal of invasive species prior to certification in accordance with Section 1.5, Certification of Installation of Plant

Are trees proposed to be planted on slopes greater than 3:1?

Materials?



GENERAL NOTES

- 1. Plants shall be healthy, vigorous material, free of pests and diseases and are subject to approval/rejection of the Landscape Architect prior to, during and after installation.
- 2. Contractor shall identify all materials at growing location prior to purchase and submit digital photographs, and source list to the Landscape Architect for approval at a minimum of six (6) calendar weeks prior to installation. Plants not approved shall be resourced and resubmitted.
- 3. Planting beds and individual tree plantings shall be mulched continuously as specified.
- 4. Prior to construction the contractor shall be responsible for locating underground utilities and execute work in a manner that avoids damage to utilities during the course of work. Contractor shall be responsible or remedy of any damage to utilities, structures, site appurtenances that occur as a result of landscape related work.
- 5. Contractor is responsible for verifying quantities shown on documents. Field adjustments shall be approved by Landscape Architect prior to installation. Quantities indicated on drawings are for reference-it is the Contractor's responsibility to ensure full coverage of plants at the indicated spacing.
- 6. Contractor is responsible for maintenance of all plantings including, but not limited to watering, mowing, edging, spraying, mulching, fertilizing, of plantings and turf areas for one (1) calendar year from date of certificate of occupancy. Contractor is responsible for warranty of all plant material for a period of one (1) calendar year from date of certificate of occupancy. Warranty replacement planting shall meet or exceed the original specification identified on drawings. Replacement planting shall extend the same warranty as originally installed materials. Plantings and grass areas shall be flourishing and fully thriving at end of warranty period.
- 7. Plants identified for replacement by Owner, Landscape Architect shall be replaced immediately by the Contractor unless otherwise agreed upon. Plantings (trees, shrubs, groundcover) subject to replacement by warranty shall exhibit characteristics of 30% dead-per individual plant, non-contributing or disease compromised. Grass areas suitable for acceptance shall demonstrate 85% sustained/consistent and continuous, densely established coverage.
- Contractor shall perform a site review at end of warranty period and provide the Owner with written documentation of the site, including plant health, warranty replacement items, and conditions that may be influencing plant health. Contractor shall remove from plants and site, all staking and guying material at end of warranty period
- 8. Contractor shall comply with all local, state and federal requirements, codes and regulations related to the work undertaken 9. All material including planting operation appurtenances shall be of domestic origin manufacture and
- sourced within 100 miles of the project site. 10. Contractor is responsible for coordination among trades operating on site. Coordination and if necessary resulting modifications to schedules are responsibility of the Contractor.

PERFORMANCE SPECIFICATION

I. PLANTS A.General

- 1. Live healthy plants free of dead branches and parts
- 2. Free of disease, insect, injury and damage
- 3. Unbroken, intact, dense and solid rootballs and containers, without cracks, flat sides or previously repaired damade
- 4. Free of girdling roots or rootbound/circling container conditions
- 5. Plants of consistent in growth habit and healthy character
- 6. Free of compromising growth conditions such as weak crotch connections, crossed branches, snags and scars 7. Point of origin growing location within 100 miles of project site
- 8. Graded, standards, caliper, sizes and stock consistent with ANSI Z60.1, American Standard for Nursery Stock most current edition
- 9. Species identified consistent with Hortus Third: Concise Dictionary of Plants Cultivated in the United States and Canada, most current edition and Manual of Woody Plants: Their Identification, Ornamental
- <u>Characteristics, Culture, Propagation and Uses, most current editior</u> 10. All disturbed areas shall be grass seed unless otherwise identified on landscape plans

B. Trees:

- 1. Deciduous Single Trunk
- a. Full, straight and upright with consistent symmetrical natural branching pattern throughout b. Branching Height-seven (7) feet to lowest branch in two years unless otherwise required by local jurisdiction

2. Deciduous Multi-Trunk

- a. Full and upright with straight consistent symmetrical natural branching pattern throughout b. Canes evenly spaced and of similar growth habit
- c. Free of suckers and extraneous branching

3. Evergreen Single-Trunk

- a. Full and upright with continuous symmetrical dense natural habit b. Clear branching height twelve (12) inches above top of rootball
- c. Free of suckers and extraneous branching
- d. Do not shear or otherwise prune to shape plantings

C.Evergreen and Deciduous Shrubs

- 1. Full, dense and naturally symmetrical. 2. Consistent with container and/or balled and burlapped size
- 3. Free of suckers and extraneous branching 4. Do not shear or otherwise prune or shape plantings

D. Evergreen and Deciduous Groundcover 1. Full and dense in pots or flats

E. Perennials and Seasonal Color

1. Full and dense in pots or flats

F. Turf Grass 1. Subgrade

- a. Soil Mix-10% Compost, 90% topsoil by volume
- b. Preparation-loosen subgrade to a minimum depth of four (4) inches. Remove all non-natural materials
- including litter, stones, sticks and all items greater than ³/₄ inch in any dimension c. Preparation-spread soil mix at a depth of four (4) inches continuously to meet grade elevations shown on drawings. Allow for thickness of sod when applicable

- 2. Grass Sod a. Install not longer than twenty-four (24) hours from harvest
- b. Grass bed not less than two (2) inches in continuous thickness
- c. 100% continuous live sod coverage after first growing season and at end of warranty period. d. Of uniform non-varying density and continuous texture quality capable of growth and development immediately upon installation. Weed and noxious plant free
- e. Stagger installation rows and place aligned parallel to contours
- f. Fill joints solidly with planting bed preparation soil
- g. Provide anchor pins at twenty-four (24) inches on center for slopes greater than 4:1

3. Grass Seed

- a. Mix approved by the Landscape Architect
- b. Provide first and new of year seed crops in mix free of weed seeds and deleterious matter
- c. Provide seed mix not greater than 15% annual or perennial rye d. Coverage 85% continuous coverage live stand after first growing season and at end of warranty
- e. Replacement or overseeding mixes consistent with original application/installation
- f. Provide erosion blankets or other slope retention methods as noted on drawings

II. Materials and Appurtenances

A.Testing 1. Materials testing information/certificates/dated labels shall be current to the project and performed/certified not greater than 120 calendar previous days from current date of submittal for review

B. Top Soil

1. Neutral Ph balance 5.5 -7.5. Friable and containing 2.0-5.0% organic matter by dry weight. Continuously free of non-soil items such as stones, debris, sticks, trash, and deleterious matter greater than ³/₄ inch in any direction. Clay content shall not exceed 25%. Gravel content shall not exceed 10%. Silt shall not exceed 25%



- C.Use of Existing Topsoil
- D. Shredded Hardwood Mulch Neutral Ph balance 5.5-7.5

E. Composted Pine Bark Fines

- wood content
- F. Compost Ph
- Consistent with US-EPA CFR Title 40 Part 503 Standards for Class A biosolids

G.Compost Testing

- requirements
- the US Composting Council Seal of Testing approval programs

H.Planting Mix

- 1. 85% topsoil and 15% Compost
- I. Fertilizer Product and Material Safety Data as approved by Owner

J. Herbicide

- K. Water
- 1. Potable only unless otherwise approved by Owner
- L. Hardwood Stakes 1. 2 x 2 x 48 inch square of sound hardwood, painted flat black on all sides

M.Tree Ties

1. Villa Non-Abrasive Rubber Tree Ties or approved equal

N.Filter Fabric

- 1. Mirafi 140-N or approved equal
- O.Steel Edging corners. Corners shall be formed and trued to compliant angle or welded closed

P. River Stone

- 1. Locally sourced, river rounded, unfaceted river stone/cobbles.
- 2. Size shall not exceed 3 total inches in any dimension.
- 3. Color and texture approved by Owner
- 5. Concrete or mortar as approved by owner.

III. Execution

- A.Site Conditions

- of acceptance prior to commencement of work. 3. Notify Owner in writing of any conditions that may preclude successful completion of work including items access to storage/work areas, damage to conditions, etc.
- 4. Notify Owner in writing immediately of any items that may influence work schedule, timing of tasks, materials delivery and/or installation and warranty responsibilities
- work by others.

B.Planting Seasons

on an individual project basis.

1. Deciduous and Evergreen Trees

a. Do not install/plant the following trees between September 15 and March 15

2. Deciduous and Evergreen Shrubs

1. Oaks (Quercus Sp., Such as Q. rubra, Q. alba, Q. phellos, Q. coccinnea) 2. Dogwood (Cornus Sp.)

3. Sweetgum (Liquidambar Sp.)

4. Spring Flowering Bulbs

5. Seasonal Annuals

7. No Plant Installation

C.Positioning & Location of Plantings

3. Perennials

6. Turf Grass

installation

Owner approval

D.Implementation

E. Clean Up

Architect

furnishings, etc.

1. Existing topsoil on-site may be repurposed with prior Owner approval. Contractor shall provide soil testing and additive program that demonstrates consistent performance and characteristics and composition as identified herein. Owner shall approve soil testing and soil amendment/additive methods and procedures

1. 100% organic shredded first year hardwood free of deleterious matter, rock, gravel and weed seed.

1. 100% organic ground pine bark with no particle dimension greater than ³/₄-inch and no greater than 10%

1. Balanced 5.0-8.5 mature, stable and weed free produced by natural aerobic decomposition. Free of visible contaminants and toxic substances. Not greater than 5% sand, silt, clay or rock by dry weight.

1. Prior to delivery on-site, the following items are required for approval by Owner: Feedstock percentage in final compost product; statement that the products meets federal, state and local health safety

2. Provide copy of lab analysis less than 120 calendar days old verifying that the product meets described physical requirements; chemical contaminants; Ph; physical contaminants; biological contaminants (including a statement that fecal coliform and salmonella testing and results comply with requirements of

1. Granular 10% nitrogen, 6% Phosphorous, 4% Potassium granular form with 50% Nitrogen in organic form.

1. Product and Material Safety Data as approved by Owner

1. 1/8-inch x 4-inch in full sections. Ryerson, Timec or approved equal with integral stakes. No open

4. When placed in concrete or mortar setting bed, tamp to secure and brush clear joints.

1. Inspect site and notify Owner in writing of acceptance with indication that project conditions are acceptable are suitable to proceed with work. Notify Owner of any existing damage and/or other conflicting conditions. 2. Do not proceed with work until unsatisfactory conditions have been satisfactorily remedied. Notify Owner

such as coordination with other trades, incomplete work, drainage, soil temperature and/or composition,

5. Coordinate and cooperate with other trades working in and adjacent to work areas. Examine drawings of other trades which show development of the entire project and become familiar with the scope of required

Recommended seasons are a general guide based on historical climatic data and typical performance of plantings, and which vary dependent on project-specific environmental conditions. Due to construction schedules, recommended planting seasons may/may not coincide with request(s) for certificate of occupancy for projects. Coordination of planting installation and seasons shall be reviewed with Owner

4. All Conifers and Evergreens except White Pine (Pinus strobus Sp.)

a. Install/plant between March 15 and June 15 and/or September 15 and November 30

a. Install/plant between March 15 and June 15 and/or September 15 and November 30

a. Install/plant between September 15 and December 15

a. Install/plant in season per approved schedule

a. Install/plant between March 15 and May 15 and/or September 15 and November 30 b. Do not install/plant seed or sod turf grass areas when ambient air temperature is below forty (40) degrees Fahrenheit, or forecast for a twelve (12) hour period after completion of work

a. Do not install plantings or turf grass between June 15 and September 15, without approval by Owner

1. Position plants to show the most-prominent and well-formed face to most-public view 2. Field locate plants and location/spacing/dimension of planting beds on project site prior to beginning

3. Verify location of individual plants and plant beds prior to beginning installation. Do not proceed without

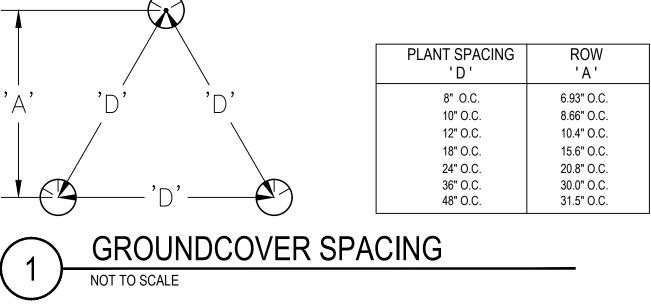
1. Pursue work continuously without delay or interruption until completion unless notified otherwise by Owner 2. Provide project submittals ahead of commencement of work. Landscape Architect requires a minimum of ten (10) working days from date of receipt for review of submittals and response to Owner and Contractor. Plan accordingly for procurement of materials

3. Continuously update implementation schedule and notify Owner of progress. Delays related to material availability are not cause for non-completion of scheduled delivery of work 4. Report delays due to weather or site conditions immediately upon finding. Provide recommendation for remedy of schedule delays. Do not work, place or modify frozen soil

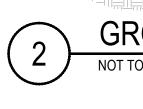
5. Report delays due to extraordinary natural or other conditions beyond control of Contractor

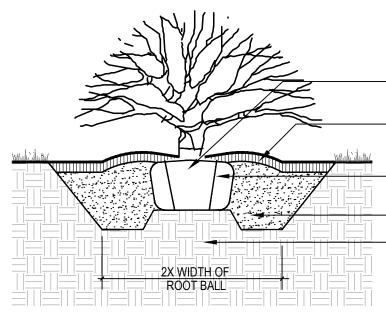
1. Remove trash, debris and work materials from site prior to request for substantial completion. Thoroughly clean surfaces impacted by work including building, parking areas, roadways, sidewalks, signs, lights, site

Repair any damage to existing conditions that occurred during execution of work. 3. All clean-up and demobilization procedures shall be performed to satisfaction of the Owner and Landscape NOTE: GROUNDCOVERS AND



SET GROUNDCOVERS AND PERENNIALS IN STAGGERED ROWS AT SPECIFIED SPACING. MULCH ENTIRE BED WITH 2" SHREDDED HARDWOOD MULCH OR

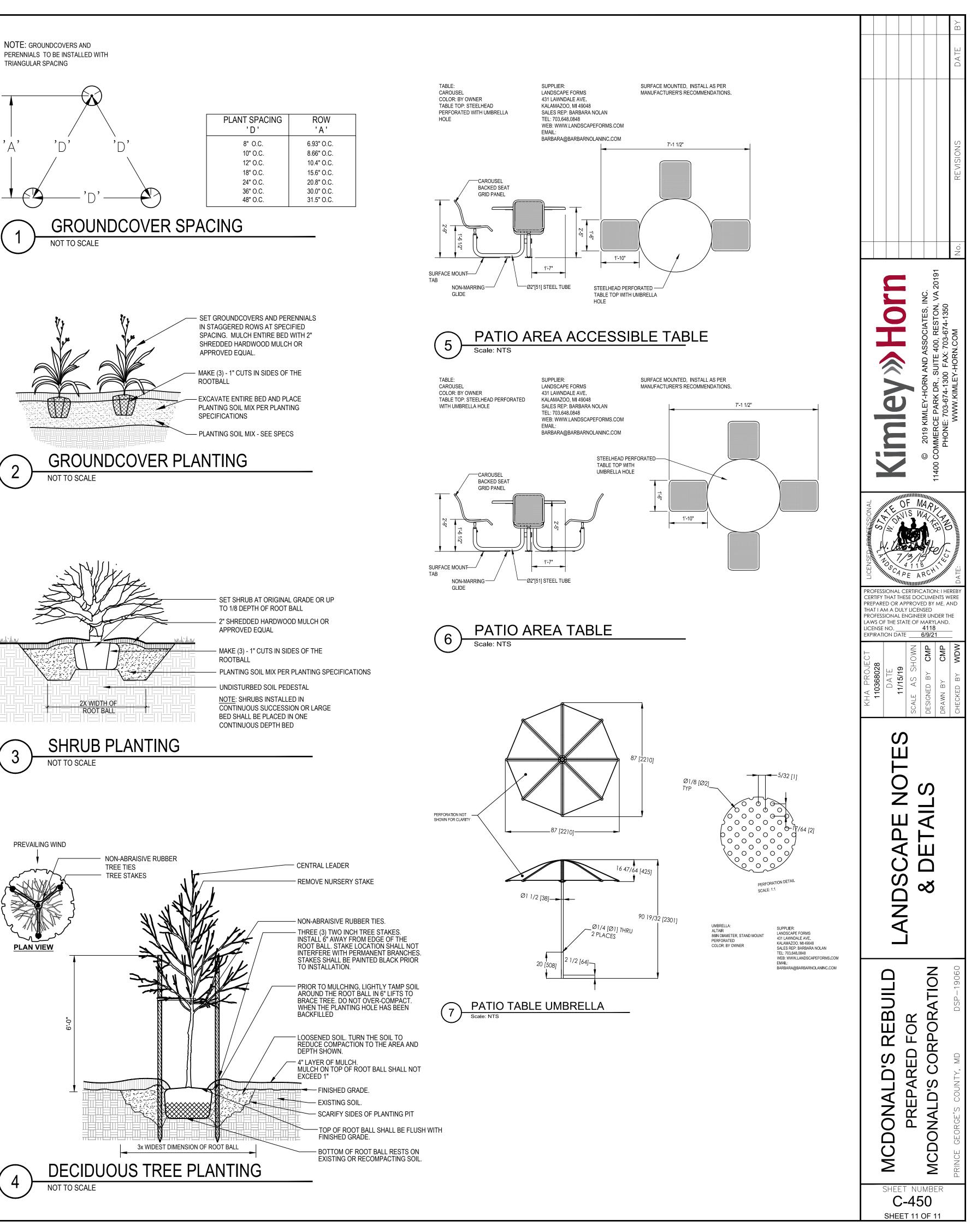




TO 1/8 DEPTH OF ROOT BALL 2" SHREDDED HARDWOOD MULCH OR

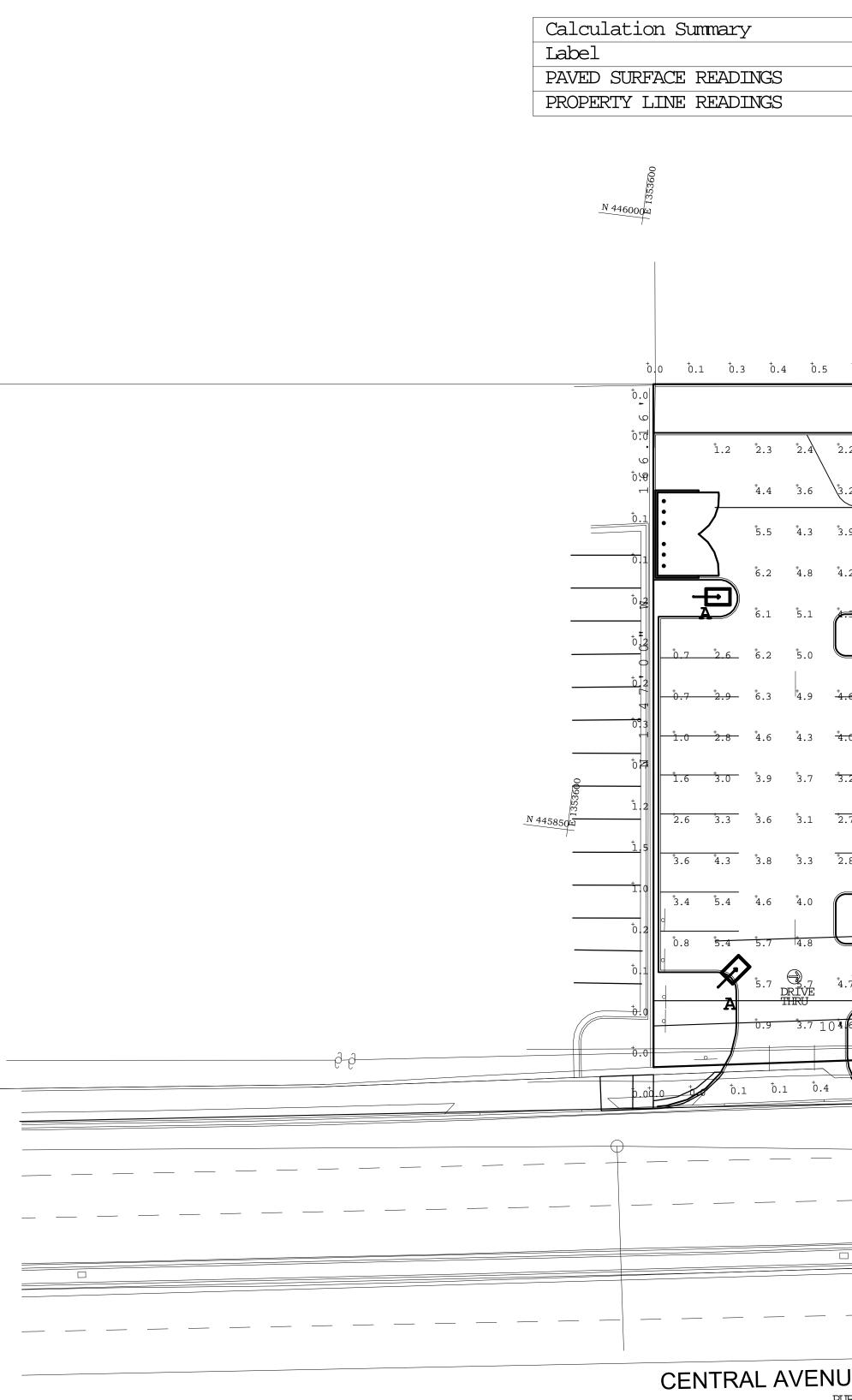
ROOTBALL

NOTE: SHRUBS INSTALLED IN CONTINUOUS SUCCESSION OR LARGE BED SHALL BE PLACED IN ONE



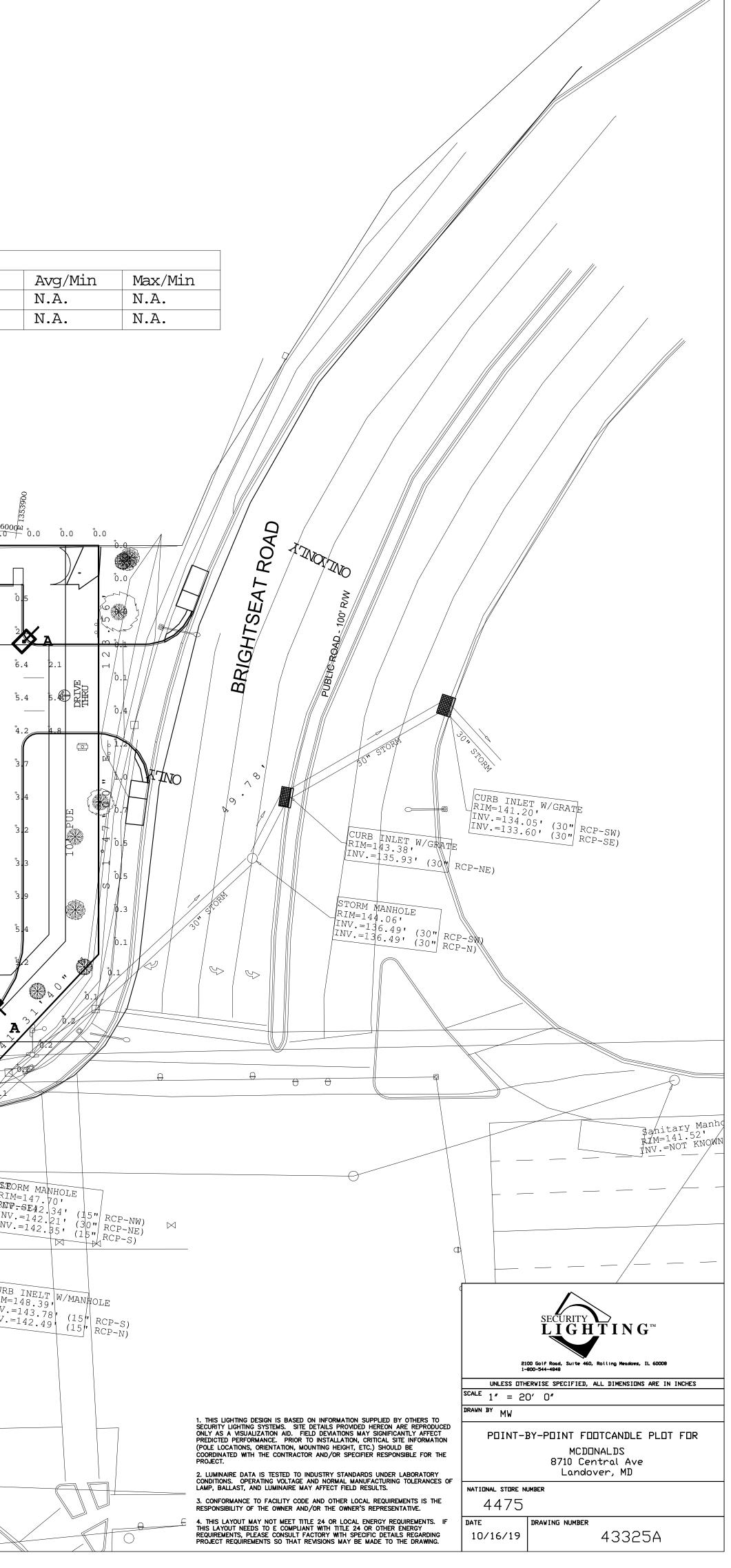
NDTES: I. THE FOOTCANDLE LEVELS AS SHOWN ARE BASED ON THE FOLLOWING CRITERIA. ANY SUBSTITUTIONS IN SPECIFIED FIXTURES OR CHANGES TO LAYOUT WILL AFFECT LIGHTING LEVELS SHOWN AND WILL NOT BE THE RESPONSIBILITY OF SECURITY LIGHTING.

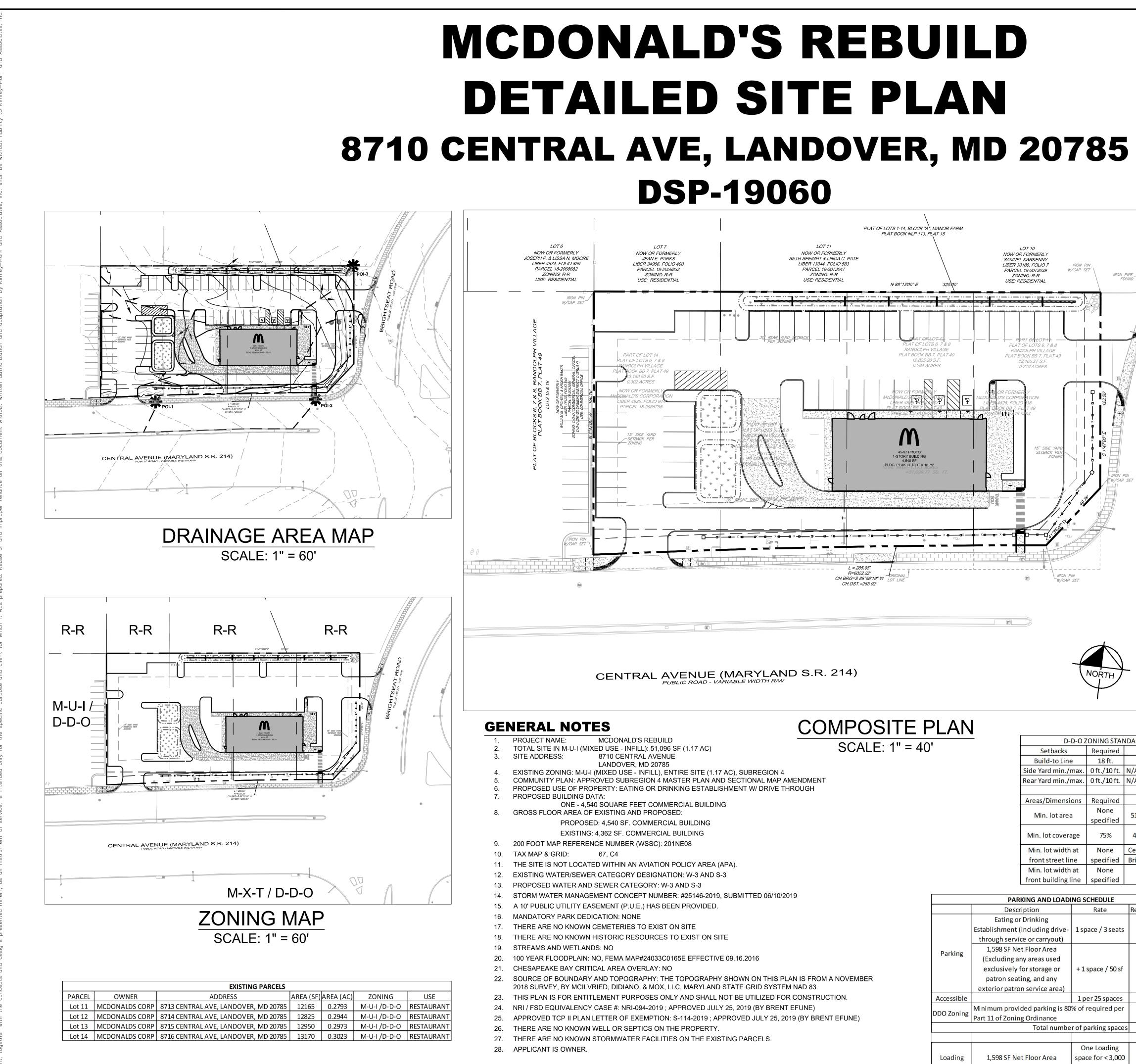
2. DISTANCE BETWEEN READINGS 10'



	00
to t	$1 \stackrel{_{0.3}}{_{0.3}} \stackrel{_{0.3}}{_{0.5}} \stackrel{_{0.5}}{_{0.5}} \stackrel{_{0.1}}{_{0.1}} \stackrel{_{1.446000}}{_{_{0.0}}} \stackrel{_{1.5}}{_{_{0.0}}} $
	1.2 2.1 3.0 4.4 1.7 0 1.8 2.6 3.5 5.0 5.9 2 1.8 2.5 3.3 4.1 5.3 6.4 1.1 1.7 2.6 3.5 4.5 5.4 1.1 1.7 2.6 3.5 4.5 5.4 0.7 1.1 1.9 2.7 3.6 4.2 0.6 1.1 1.9 2.8 3 0.6 1.1 1.9 2.8 3 0.7 1.1 1.9 0.3 3 0.7 1.1 1.9 3.0 3.8 3 0.9 1.4 2.3 3.3 3 3 1.3 2.1 3.0 3.8 3 3 1.3 2.1 3.0 3.8 3 3 1.3 2.1 3.0 3.8 3 3 1.4.8 3.7 5.6 5.3 4 3 4.8 4.7 5.6 5.3 4 3
b.ot.o b.ot.o <td></td>	
	CURB TNLED W/MANHOSEORM RIM=148.15+ INV.=143.45, (15, RIM=1 INV.=143.45, (15, RIMP-S INV.=1 INV.=1
CENTRAL AVENUE (MARY LAND S.R. 214)	D CURB II RIM=148 INV.=14 INV.=14 INV.=14
Notice in the interval Notice in the interval Notice in the interval Notice in the interval Notice interval	
Image: Second	CURB INLET W/MANHOLE RIM=149.48, INV.=UNKNOWN

CalcType	Units	Avg	Max	Min
Illuminance	Fc	3.15	9.1	0.0
Illuminance	Fc	0.30	1.5	0.0





PROJECT NAME: MCDONALD'S REBUILD -		,	_	D-I	D-O ZONING S
TOTAL SITE IN M-U-I (MIXED USE - INFILL): 51,096 SF (1.17 AC)	SCALE: 1" = 40	•		Setbacks	Require
SITE ADDRESS: 8710 CENTRAL AVENUE LANDOVER, MD 20785				Build-to Line	18 ft.
EXISTING ZONING: M-U-I (MIXED USE - INFILL), ENTIRE SITE (1.17 AC), SUBREGION 4				Side Yard min./r	nax. 0 ft./10
COMMUNITY PLAN: APPROVED SUBREGION 4 MASTER PLAN AND SECTIONAL MAP AMENI	DMENT			Rear Yard min./r	nax. 0 ft./10
PROPOSED USE OF PROPERTY: EATING OR DRINKING ESTABLISHMENT W/ DRIVE THROU	IGH				
PROPOSED BUILDING DATA: ONE - 4,540 SQUARE FEET COMMERCIAL BUILDING				Areas/Dimensio	ons Require
GROSS FLOOR AREA OF EXISTING AND PROPOSED:				Min lataraa	None
PROPOSED: 4,540 SF. COMMERCIAL BUILDING				Min. lot area	specifie
EXISTING: 4,362 SF. COMMERCIAL BUILDING				Min lataguara	ge 75%
200 FOOT MAP REFERENCE NUMBER (WSSC): 201NE08				Min. lot covera	ge 75%
TAX MAP & GRID: 67, C4				Min. lot width	at None
THE SITE IS NOT LOCATED WITHIN AN AVIATION POLICY AREA (APA).				front street lin	ne specifie
EXISTING WATER/SEWER CATEGORY DESIGNATION: W-3 AND S-3				Min. lot width	at None
PROPOSED WATER AND SEWER CATEGORY: W-3 AND S-3				front building li	ne specifie
STORM WATER MANAGEMENT CONCEPT NUMBER: #25146-2019, SUBMITTED 06/10/2019					
A 10' PUBLIC UTILITY EASEMENT (P.U.E.) HAS BEEN PROVIDED.			PAR	KING AND LOADI	NG SCHEDULE
AND FOBLIC UTILITY EASEMENT (F.U.E.) HAS BEEN PROVIDED. MANDATORY PARK DEDICATION: NONE				iption	Rate
				Drinking	
THERE ARE NO KNOWN CEMETERIES TO EXIST ON SITE				including drive-	1 space / 3 se
THERE ARE NO KNOWN HISTORIC RESOURCES TO EXIST ON SITE			-	ce or carryout)	
STREAMS AND WETLANDS: NO		Parking		t Floor Area	
100 YEAR FLOODPLAIN: NO, FEMA MAP#24033C0165E EFFECTIVE 09.16.2016		Ũ		ny areas used	
CHESAPEAKE BAY CRITICAL AREA OVERLAY: NO			,	for storage or	+ 1 space / 50
SOURCE OF BOUNDARY AND TOPOGRAPHY: THE TOPOGRAPHY SHOWN ON THIS PLAN IS				ing, and any	
2018 SURVEY, BY MCILVRIED, DIDIANO, & MOX, LLC, MARYLAND STATE GRID SYSTEM NAI			exterior patro	n service area)	
THIS PLAN IS FOR ENTITLEMENT PURPOSES ONLY AND SHALL NOT BE UTILIZED FOR CON		Accessible			1 per 25 space
NRI / FSD EQUIVALENCY CASE #: NRI-094-2019 ; APPROVED JULY 25, 2019 (BY BRENT EFU		DDO Zoning		ded parking is 809	% of required
APPROVED TCP II PLAN LETTER OF EXEMPTION: S-114-2019 ; APPROVED JULY 25, 2019 (B	Y BRENT EFUNE)		Part 11 of Zonin	*	
THERE ARE NO KNOWN WELL OR SEPTICS ON THE PROPERTY.				lotal numbe	r of parking sp
THERE ARE NO KNOWN STORMWATER FACILITIES ON THE EXISTING PARCELS.					0
APPLICANT IS OWNER.		Looding	1 500 65 1		One Loadin

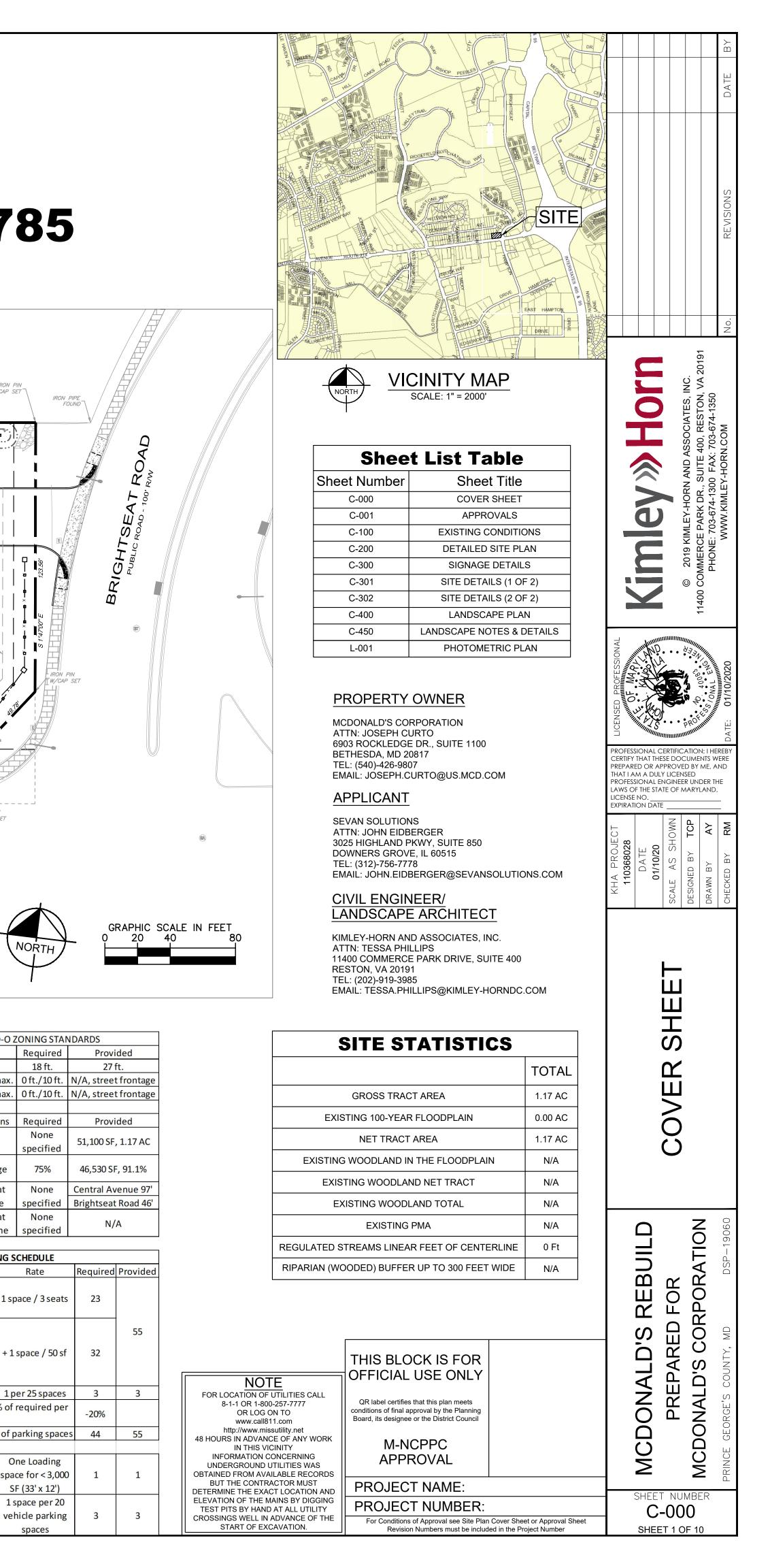
DDOZ requirement per

Subregion 4 Master Plan and

Sectional Map Amendment

spaces

Bicycle



Prince George's Co	ounty Planning Department • 14741	Governor Oden Bowie Drive, Upper Ma	
WOODLAN		ETTER OF EXEMPTION	APPLICATION FORM
Property Owner Name Joseph Curto McDonald's Corporat 6903 Rockledge Dr., Bethesda, MD 20817	e(s), Address and Phone: tion Suite 1100	T TO FILL OUT THIS SECTION Agent/Contact, Company, Ad Tessa Philips Kimley-Horn and Associates, Inc. 11400 Commerce Park Drive, Suite Signature: Tessa Philips	
Payment by check,		eck ONLY – made payable to M-N	
	Horn and Associates, Inc. Check No. 0		N/A
PROJECT NAME:		McDonald's Relocation	
		(related to or near major intersection):	
		an, Site Plan, or Special Exception, etc.);	
Total Area (acres):	Site Development	Concept Plan #25146-2019-0, NRL094-2019 Tax Account #: 2019065, 2070019, 2065795	WSSC Grid: 201NE08
otal Number of Lots of		Current Zone: M-U-I	Environmental <u>Strategy Area (E</u> SA
ot Numbers/Blocks/P	arcels: Lots 11, 12, 13, 14 / Block 7	1555. 家門活用的	(Plan 2035): 1 2 3 4 Municipality(ies): Hyattsville
2010/11-0-040-00-000000000000000000000000		No	
	or resource on the subject property?	P Yes No Historic S	
		g and associated site improve	
		BE COMPLETED BY EPS STAFF	
APPLICATION TYPE:	: Numbered Exemption Standard		S=114-2019
Acceptance Date:	07/15/2019 Plan Reviewer: B	FE Receipt Number 7314	Filing Fee: \$50.00
results in the project	land; however the project has no pr the clearing of less than 5,000 squa ct is a government or linear project t	are feet of woodland (acreage of propos	ed clearing is); or
This letter is valid for specified above durin he Numbered Exemps	and; however the project has no pro- the clearing of less than 5,000 squares ct is a government or linear project to sed clearing is); or osed activity is for a timber harvest, r two years from approval or until ng the validity period. If a develop ption may be considered invalid in development activity or permit ap	I because the site is over 40,000 square evious TCP approvals and: are feet of woodland (acreage of propos that results in the clearing of less than 2 such time as the cumulative woodlan ment review application (preliminary n accordance with Section 25-119(b)(oplication.	and dated feet in size and contains over 10,000 ed clearing is); or 0,000 square feet of woodland (acreage nd disturbance exceeds the minimum plan, detailed site plan, etc. is require 5)(A). A copy of this letter must be
This letter is valid for pecified above durin he Numbered Exempt	land; however the project has no project has no project has clearing of less than 5,000 squares to a government or linear project to sed clearing is); or cosed activity is for a timber harvest, in two years from approval or until ng the validity period. If a develop prior may be considered invalid in development activity or permit approved to the term of term of the term of the term of term of term of term of the term of	I because the site is over 40,000 square revious TCP approvals and: are feet of woodland (acreage of propos that results in the clearing of less than 2 such time as the cumulative woodlar oment review application (preliminary n accordance with Section 25-119(b)(oplication.	and dated feet in size and contains over 10,000 ed clearing is); or 0,000 square feet of woodland (acreage and disturbance exceeds the minimum plan, detailed site plan, etc. is required 5)(A). A copy of this letter must be st
results in the project of propose the propose the propose the Numbered Exempts submitted at time of the Preparer Initials: Approval Date:	Iand; however the project has no providence of the clearing of less than 5,000 squares the clearing is); or considered invariant of linear project to seed activity is for a timber harvest, in two years from approval or until ing the validity period. If a development activity or permit approval or until indevelopment activity or permit approval or until i	I because the site is over 40,000 square evious TCP approvals and: are feet of woodland (acreage of propos that results in the clearing of less than 2 such time as the cumulative woodlar ment review application (preliminary n accordance with Section 25-119(b)(oplication. Erne: Planner Initials: Field:	and dated feet in size and contains over 10,000 ed clearing is); or 0,000 square feet of woodland (acreage nd disturbance exceeds the minimum plan, detailed site plan, etc. is require 5)(A). A copy of this letter must be st
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results in the project of propose the propose the propose the propose the propose the propose the propose the propose the prop	Iand; however the project has no providence of the clearing of less than 5,000 squares to a government or linear project to seed clearing is); or cosed activity is for a timber harvest, in two years from approval or untilling the validity period. If a develop ption may be considered invalid in development activity or permit approval or untilling the validity period. If a develop ption may be considered invalid in development activity or permit approval or untilling the validity period. If a develop ption may be considered invalid in development activity or permit approval or untilling the validity period. If a develop ption may be considered invalid in development activity or permit approval or untilling the validity period. If a develop ption may be considered invalid in development activity or permit approval or until indevelopment activity or permit approved on the permit approval or until indevelopment of P and E Site/Road Pla 9400 Pepperent Largo, N (30) TORMWATER MANA	because the site is over 40,000 square evious TCP approvals and: are feet of woodland (acreage of propose that results in the clearing of less than 2 such time as the cumulative woodlar oment review application (preliminary n accordance with Section 25-119(b)(oplication. Erner Planner Initials: Field: Expiration Date: Sector Date: C'S COUNTY GOVE ermitting, Inspections nforcement an Review Division corn Place, Suite 420 Maryland 20774 1) 883-5710 CEMENT CONCEPT AF	and dated feet in size and contains over 10,000 ed clearing is); or 0,000 square feet of woodland (acreage and disturbance exceeds the minimum plan, detailed site plan, etc. is required 5)(A). A copy of this letter must be st
results in the project of propose the propose the propose the propose the propose the propose the prop	Iand; however the project has no pr the clearing of less than 5,000 square ct is a government or linear project to sed clearing is); or osed activity is for a timber harvest, r two years from approval or until ing the validity period. If a develop ption may be considered invalid in development activity or permit ap ent Efune Department of P and E Site/Road Pla 9400 Peppera Largo, N (30) TORMWATER MANA	because the site is over 40,000 square evious TCP approvals and: are feet of woodland (acreage of propose that results in the clearing of less than 2 such time as the cumulative woodlar oment review application (preliminary n accordance with Section 25-119(b)(oplication. Erner Planner Initials: Field: Expiration Date: Sector Date: C'S COUNTY GOVE ermitting, Inspections nforcement an Review Division corn Place, Suite 420 Maryland 20774 1) 883-5710 CEMENT CONCEPT AF	and dated feet in size and contains over 10,000 ed clearing is); or 0,000 square feet of woodland (acreage and disturbance exceeds the minimum plan, detailed site plan, etc. is required 5)(A). A copy of this letter must be st
results in the project of propose the propose	Iland; however the project has no providence of the clearing of less than 5,000 squares to a government or linear project to seed activity is for a timber harvest, in two years from approval or untilling the validity period. If a development activity or permit appendent of the second seco	I because the site is over 40,000 square revious TCP approvals and: are feet of woodland (acreage of propos that results in the clearing of less than 2 such time as the cumulative woodlar oment review application (preliminary n accordance with Section 25-119(b)(oplication. Planner Initials: Field Expiration Date: C'S COUNTY GOVE ermitting, Inspections nforcement an Review Division corn Place, Suite 420 Maryland 20774 1) 883-5710 GEMENT CONCEPT AF BLOCK 7	and dated feet in size and contains over 10,000 ed clearing is); or 0,000 square feet of woodland (acreage and disturbance exceeds the minimum plan, detailed site plan, etc. is required 5)(A). A copy of this letter must be st
results in the project of propose the propose	Iland; however the project has no provident of the clearing of less than 5,000 squares the clearing is); or conservation is for a timber harvest, in two years from approval or untilling the validity period. If a develop proformaty be considered invalid in development activity or permit appent Efune Department of P and E Site/Road Pla 9400 Peppera Largo, N (30) TORMWATER MANA RANDOLPH VILLAGE_LOT 13 McDonald's Corporation Kimley-Horn and Associates, Inc. Freed for PUBLIC/PRIVATE Storm Draw MC Construction is PRIVATE. s are required: None.	I because the site is over 40,000 square evious TCP approvals and: are feet of woodland (acreage of propos that results in the clearing of less than 2 such time as the cumulative woodlar oment review application (preliminary n accordance with Section 25-119(b)(oplication. Planner Initials: Field Expiration Date: C'S COUNTY GOVE ermitting, Inspections nforcement an Review Division corn Place, Suite 420 Maryland 20774 1) 883-5710 GEMENT CONCEPT AF BLOCK 7	and dated feet in size and contains over 10,000 ed clearing is); or 0,000 square feet of woodland (acreage and disturbance exceeds the minimum plan, detailed site plan, etc. is required 5)(A). A copy of this letter must be st

Required easements: None.

Storm Water Management fee payment of none in lieu of providing on-site attenuation/quality control measures. (Fee-In-Lieu subject to change during technical review.)

ADC MAP:

CONDITIONS OF APPROVAL:

Please see second page.

APPROVED BY:

Rh

____ Rey De Guzman APPROVAL DATE: October 16, 2019

EXPIRATION DATE: October 16, 2022

CC: APPLICANT, SCD, PERMITS P.G.C. FORM #3693 (REV 04/93)

FOR OFFICE USE ONLY

5531 D8 200' SHEET: STREET NAME: CENTRAL AVE AVE WATERSHED: 01-Patuxent River NUMBER OF DU'S: 0

COST PER DWELLING: 0

M-NCPPC – Countywide Planning Divi Prince George's County Planning Depart	ision, Environme tment ቀ14741 Go	ental Planning Section Send vernor Oden Bowie Drive, Uppe	to: PPD-EnvPlanning@ppd.mncppc.org r Marlboro, Maryland 20772 301-952-3650
		NRI EQUIVALENC	Y LETTER ONLY
Owner Name and Address:	APPLICANT TO	O FILL OUT THIS SECTION Agent/Contact, Company, Ag	ddress, Phone and E-mail (all required):
Joseph Curto		Tessa Phillips	(703)-674-1300
McDonald's Corporation		Kimley-Horn and Associates, Inc. 11400 Commerce Park Drive, Suite 40	
6903 Rockledge Dr., Suite 1100 Bethesda, MD 20817		Signature: Tessa Phillips	Date: 06/11/20
PROPERTY OR PROJECT NAME:		McDonald's Re	
Street Address: 8710 Central Ave, Landover,	. MD 20785		
Previous Applications (NRI, TCP1, or TC			
Previous DRD applications: (Preliminary I	Plan, Site Plan,	or Special Exception):	SE-3805
Total Area (acres): 1.32 ac	Tax Account #	^{#:} 2019065, 2070019, 2065795	WSSC Grid: 201NE08
ot/Block/Parcel: Lots 11, 12, 13, 14 / Block	-	177 (0)	Environmental Strategy Area (ESA) (Plan 2035): 1 2 3 4
Proposed Activity:	Renovation of e	existing building and associate	
Vill the proposed project require a DR			
IRI EQUIVALENCY LETTER CHECKLI	ST: each hox n	nust aither be checked or li	isted as "N/A" for not applicable
or Project Type 1 and 2	For Project Ty		Project Type 2 only
7	If Exempt from	Woodland Conservation, submit	
✓ (1) copy of a proposed Site Plan howing existing conditions (signed)	one of the follow	wing:	(1) copy of approved TCP2 (if
(2) copies of any other information	Applicati	ion for Letter of Exemption, or	applicable).
rovided by the applicant and listed here:	Copy of a	a previously Issued Letter of	CBCA #:
(3) Coversheet		indard or Numbered)	Other:
	SPONSE (TO	BE COMPLETED BY EPS S	1/2
		9993 (2)	
	ed for Acceptance		
Reason for return of the package: Dated Accepted: 07/15/2019 Rev	viewer Assigned:	N/A BFE Due Date: 08	Date Returned: N/A (30 days from acceptance date
environmental features. The site is within the Chesapeake Bay Critic than 500 square feet of disturbance, or no v (Other)	ubject site or no on- and s of disturbance of th cal Area Overlay Zo variance is required.	Prepared by the previously approved TCP or creater or and the submitted site plan demo ED AT THE TIME OF STORMM	Atter Concept Review.
			Last Updated: June
THE PRINCE GE			/ERNMENT
Departi		mitting, Inspections	
	Western March Street V	orcement	DDIE
Site	e/Road Plan	Review Division	
		n Place, Suite 420	DEPARTMENT OF PERMITTING.
MARYLAND	B 1	ryland 20774	INSPECTIONS AND ENFORCEMENT
	(301) 8	83-5710	
SE NAME: SE NAME: RANDOLPH VILL		EMENT CONCEPT	APPROVAL CASE #: 25146-2019-00
ONDITIONS OF APPROVAL:			
THIS PROJECT INVOLVES REDEVELOPM REAT FOR 100% WQv OF THE IMPERVIOU PV FOR NEW IMPERVIOUS AREA USING E	S AREA WITHIN	THE PROPOSED DISTURBED	
LANDSCAPE PLANS ARE REQUIRED AT T	ECHNICAL REVI	EW.	
THIS PROJECT WILL REQUIRE A SITE DE	VELOPMENT FIN	NE GRADING PERMIT.	
ADEQUACY ANALYSIS OF THE RECEIVIN	O OON COMPANY	OVOTEN IO DEOLUDEE	

5. ESD TO THE MEP PROPOSED USING (2) MICRO-BIO, (1) BIO-SWALE, (1) FILTERRA.

6. 100-YEAR QUANITY MANAGEMENT REQUIRED (ESD STORAGE CANNOT BE USED AS QUANTITY MANAGEMENT). APPLICANT SHOWING UNDERGROUND PIPE FOR 100-YEAR STORAGE.

7. UNDERDRAINS ARE REQUIRED FOR BIO-RETENTION AND BIO-SWALES.

REVIEWED BY CC/MT

> PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. _____ EXPIRATION DATE _____ RM AY OWN S 4 APPROV ARED FOR S CORPORATION REBUILD PREPARED F MCDONALD'S CORI **ONALD'S** MCD SHEET NUMBER C-001 SHEET 2 OF 11

Horn

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Kimley

ES, I ON, 350

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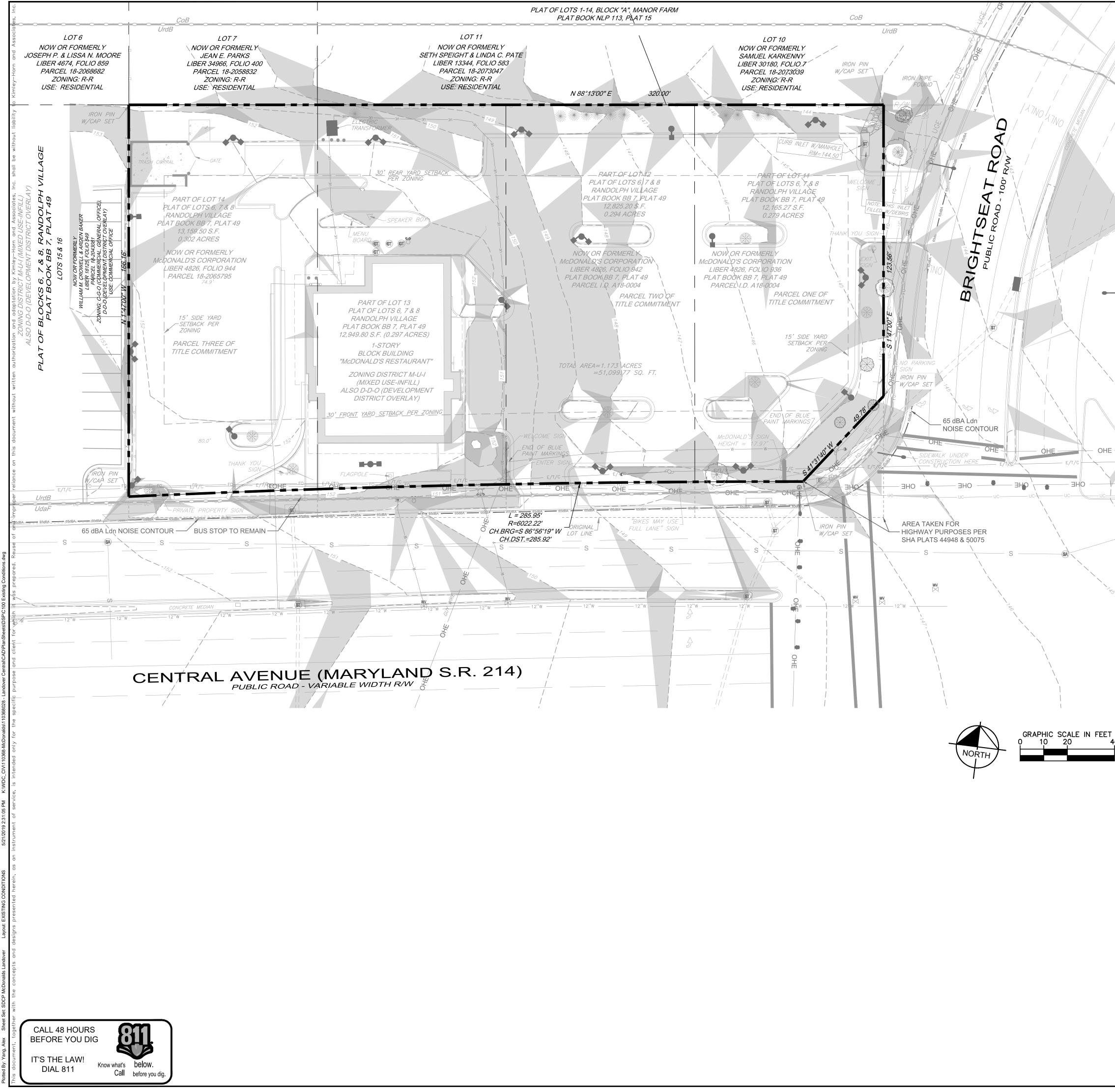
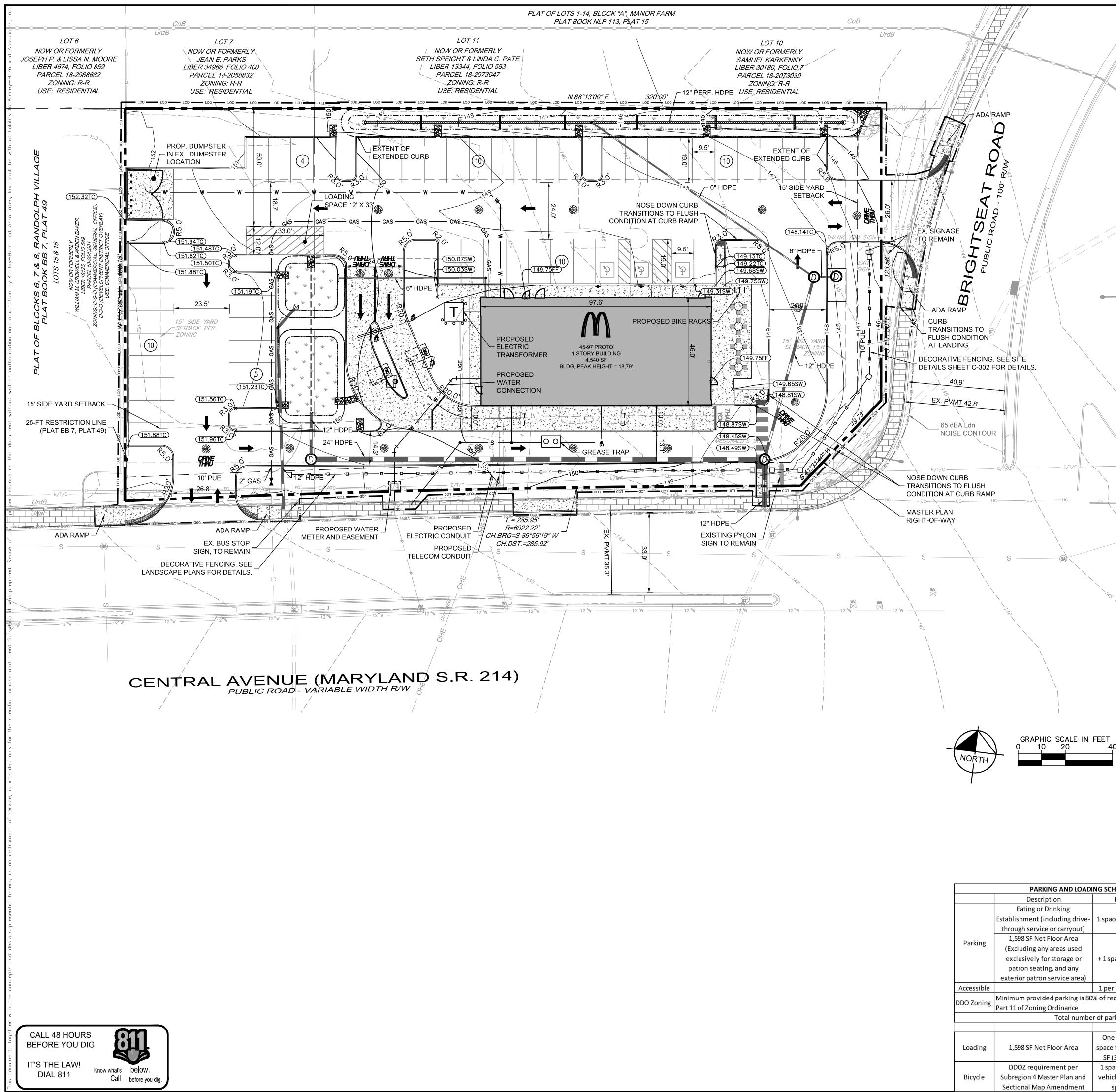


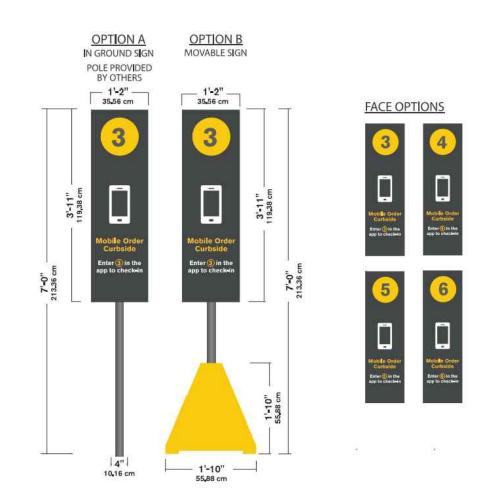
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	OHE OHE	E OHE	PROPERTY LINE ADJACENT PROPERTY LINE CURB GAS LINE WATER LINE STORM DRAIN SANITARY LINE UNDERGROUND ELECTRIC OVERHEAD ELECTRIC OVERHEAD ELECTRIC, TELECOM, COMMUNICATION UNDERGROUND COMMUNICATION FIBER OPTICS SOIL BOUNDARY POWER POLE LIGHT POLE TREE SANITARY MANHOLE STORM MH WATER VALVE WATER MANHOLE HYDRANT RIP-RAP SLOPES (5-15%) SLOPES (>15%)	© 2019 KIMLEY-HORN 11400 COMMERCE PARK DR., PHONE: 703-674-130 WWW.KIMLE
HO				EXISTING CONDITIONS
8-1 htt 48 HOURS INFOF UNDER OBTAINED BUT TI DETERMINE ELEVATION TEST PIT CROSSING	NOTE CATION OF UTILITIES CALL -1 OR 1-800-257-7777 OR LOG ON TO www.call811.com p://www.missutility.net IN ADVANCE OF ANY WORK IN THIS VICINITY RMATION CONCERNING GROUND UTILITIES WAS FROM AVAILABLE RECORDS HE CONTRACTOR MUST E THE EXACT LOCATION AND I OF THE MAINS BY DIGGING S BY HAND AT ALL UTILITY S WELL IN ADVANCE OF THE ART OF EXCAVATION.		E ONLY plan meets y the Planning istrict Council C AL ME:	Deregence of the second of the



ADA RAMP ADA RA	Kimley-Horn and Sociates, INC. Sold Kimley-Horn and Associates, INC. 2019 Kimley-Horn and Associates, INC. 2019 Kimley-Horn and Associates, INC. 11400 COMMERCE PARK DR., SUITE 400, RESTON, VA 20191 PHONE: 703-674-1350 WWW.KIMLEY-HORN.COM 11400 COMMERCE PARK DR., SUITE 400, RESTON, VA 20191 PHONE: 703-674-1350 VIO
S S PROPOSED GAS LINE EXISTING GAS LINE 	THA PROJECT Intervention KHA PROJECT Intervention Intervention Intervention Interventin Intervention
PROPOSED LOADING AREA PROPOSED LOADING AREA PARKING AND LOADING SCHEDULE Description Rate Required Provided Listing or Drinking Establishment (including drive- through service or carryout) Ispace / 3 seats 23 Parking (Excluding any areas used exclusively for storage or patron seating, and any exterior patron service area) Ispace / 50 sf 33 DDO Zoning Part 11 of Zoning Ordinance NOTE storage of parking spaces 3 3 DDO Zoning Part 11 of Zoning Ordinance One Loading stor (a designee or the Distric Cound) INTER VICE ON INVORK INTER VICE ON AVULABLE ERCORDS DO Total number of parking spaces 44 Storage 3 3 Intervice of the Cound ing www.calisti.com One Loading Storage SF Net Floor Area Space for <3,000 1 Intervice of the Cound ing Storage SF Net Floor Area Sectional Maa Amendment were Sectional Maa Amendment were to Approval Sheat Sectional Maa	MCDONALD'S REBUILD MCDONALD'S REBUILD PREPARED FOR MCDONALD'S CORPORATION PRINCE GEORGE'S COUNTY, MD DRUCE GEORGE'S COUNTY, MD



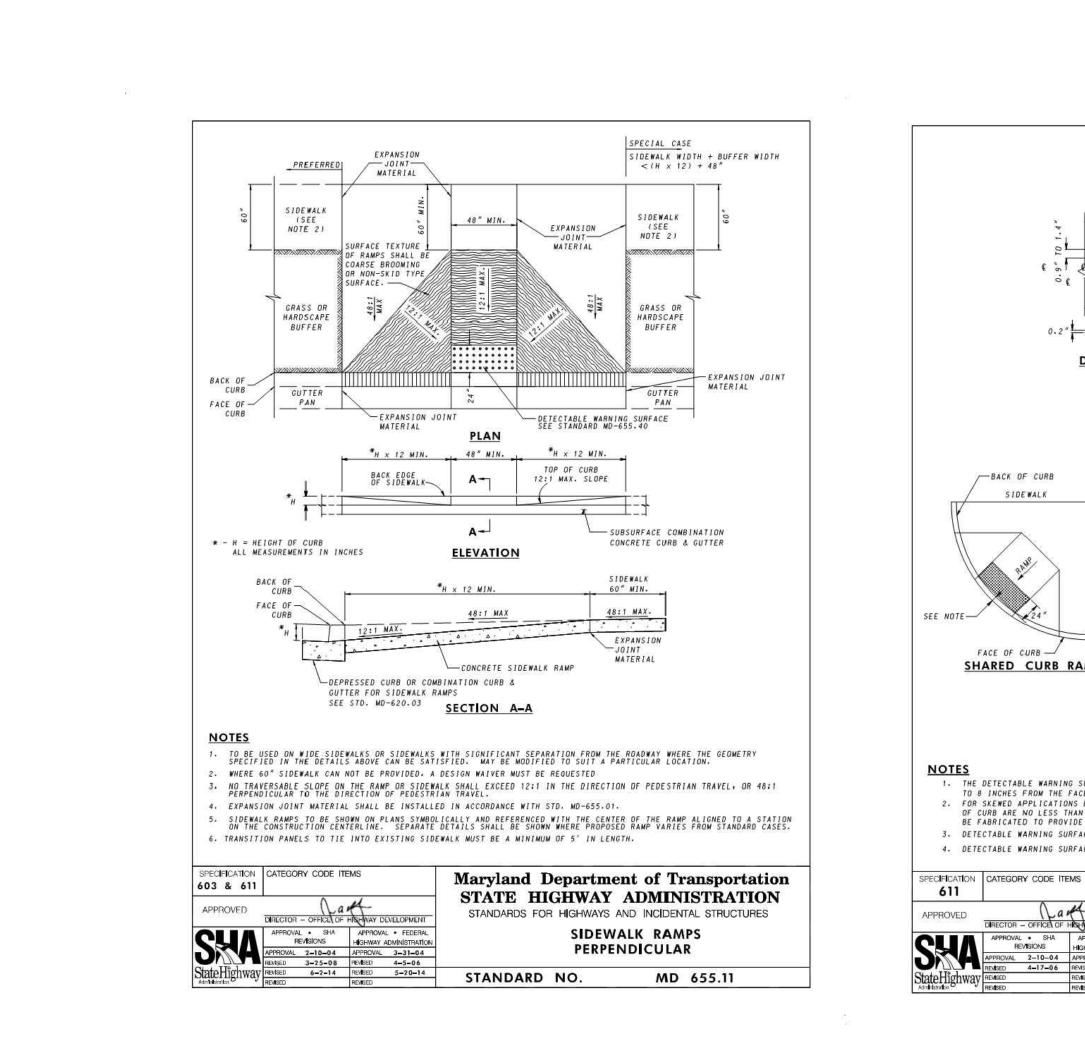
Mobile Ordering Curb Signage

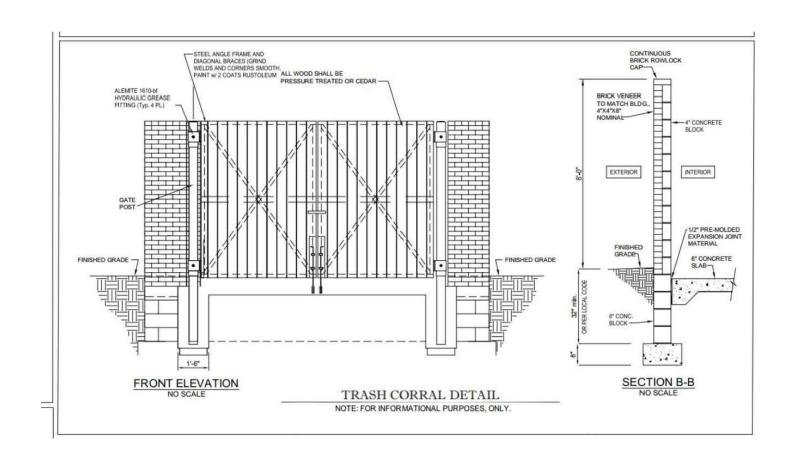


Everbrite, LLC, 315 Marion Ave., South Milwaukee, WI, 53172 P: 888-857-4078 F: 877-430-7363 www.everbrite.com









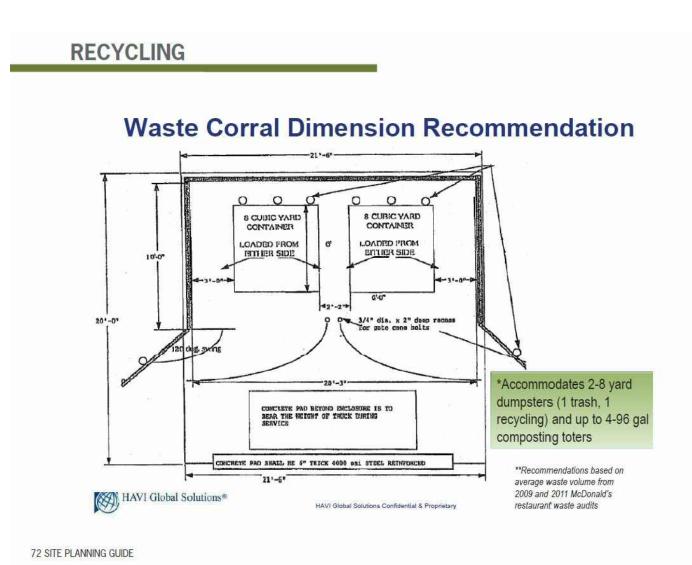
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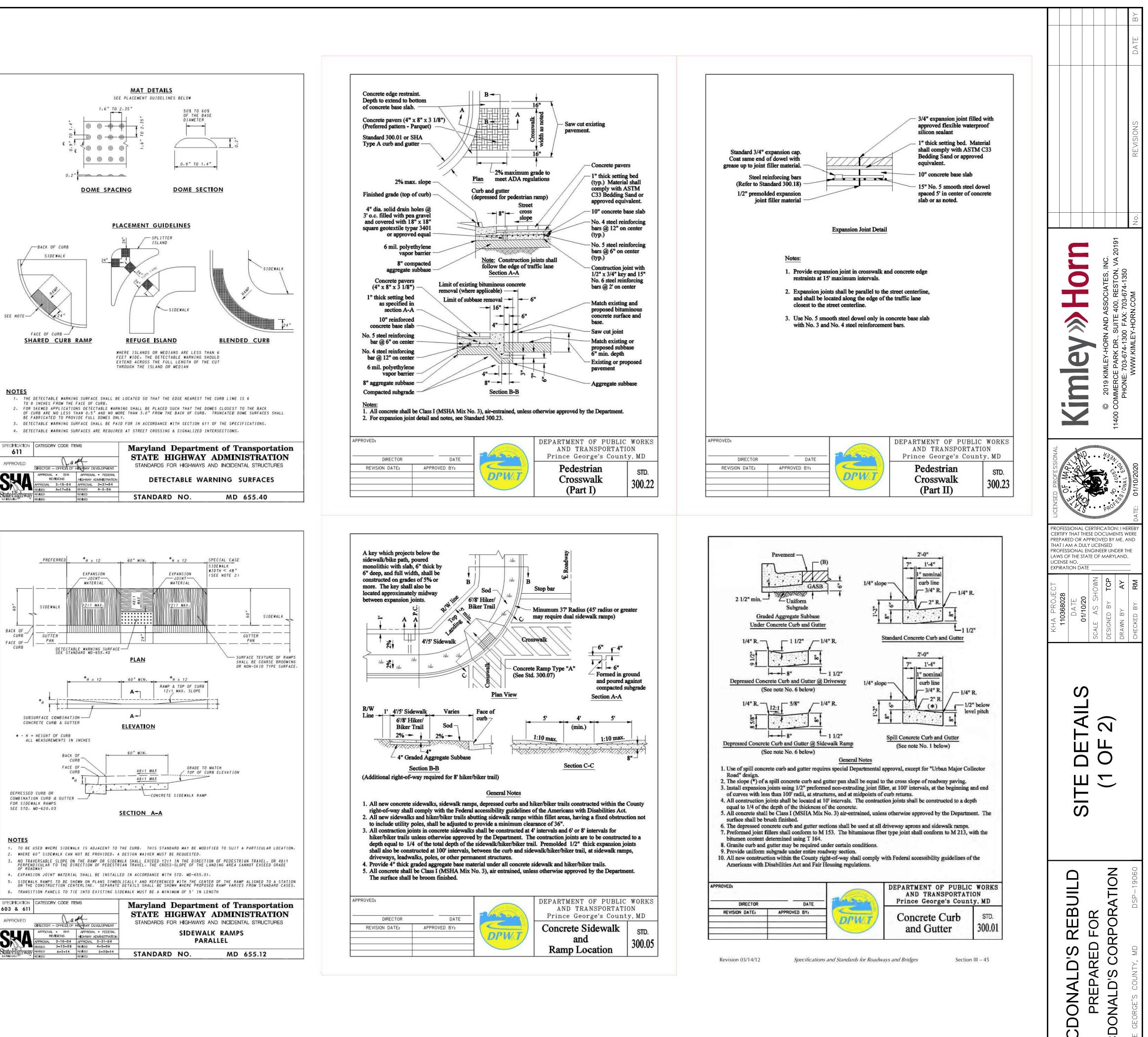
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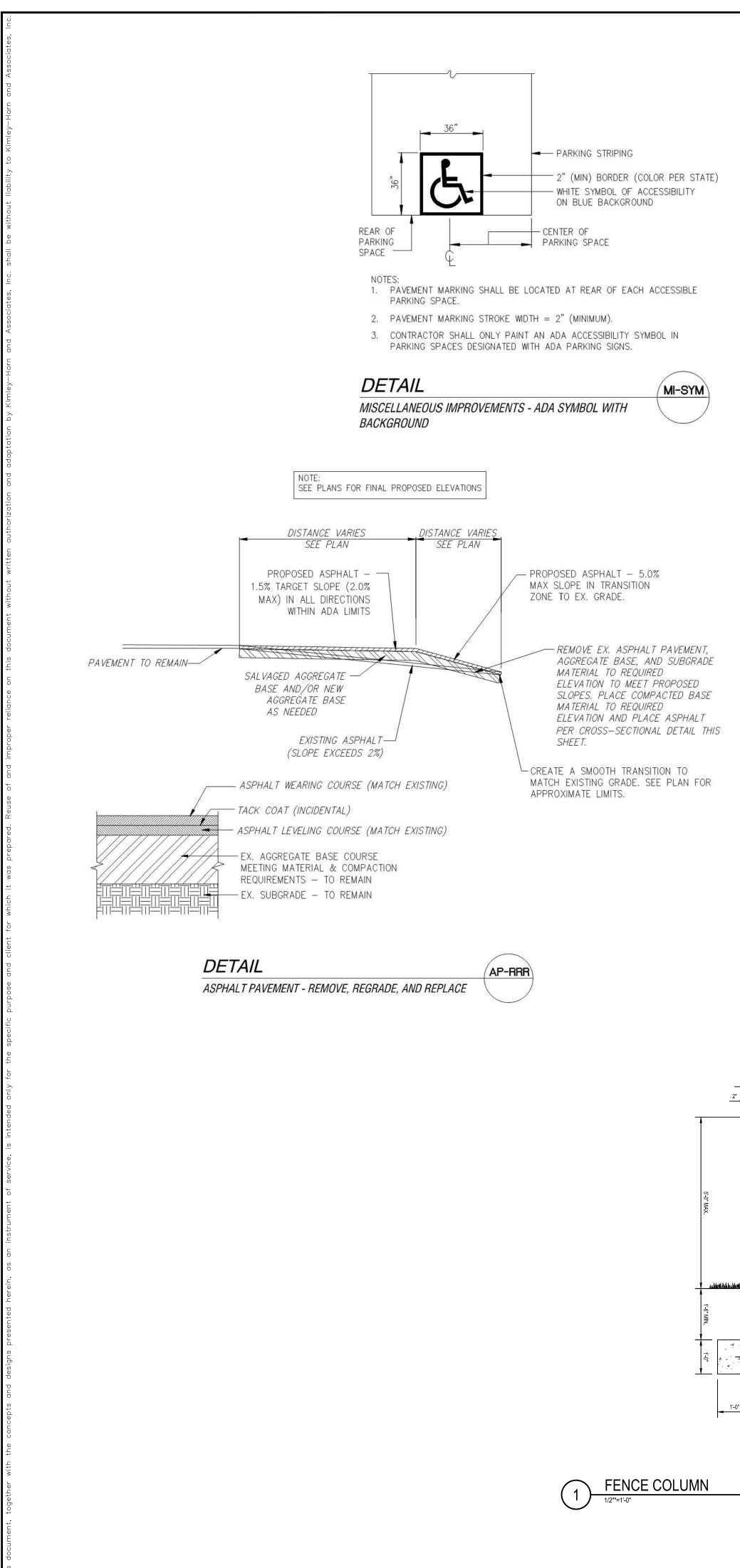
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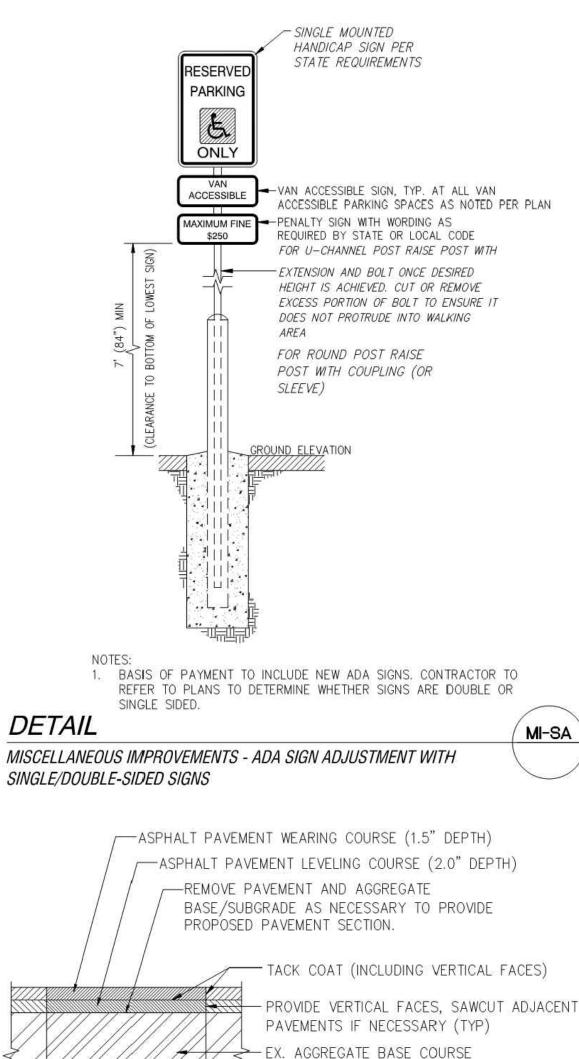
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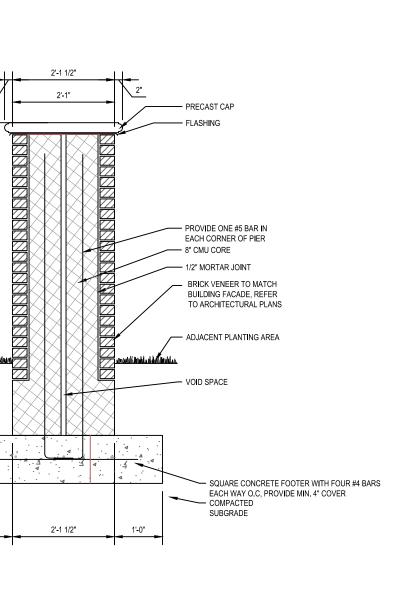


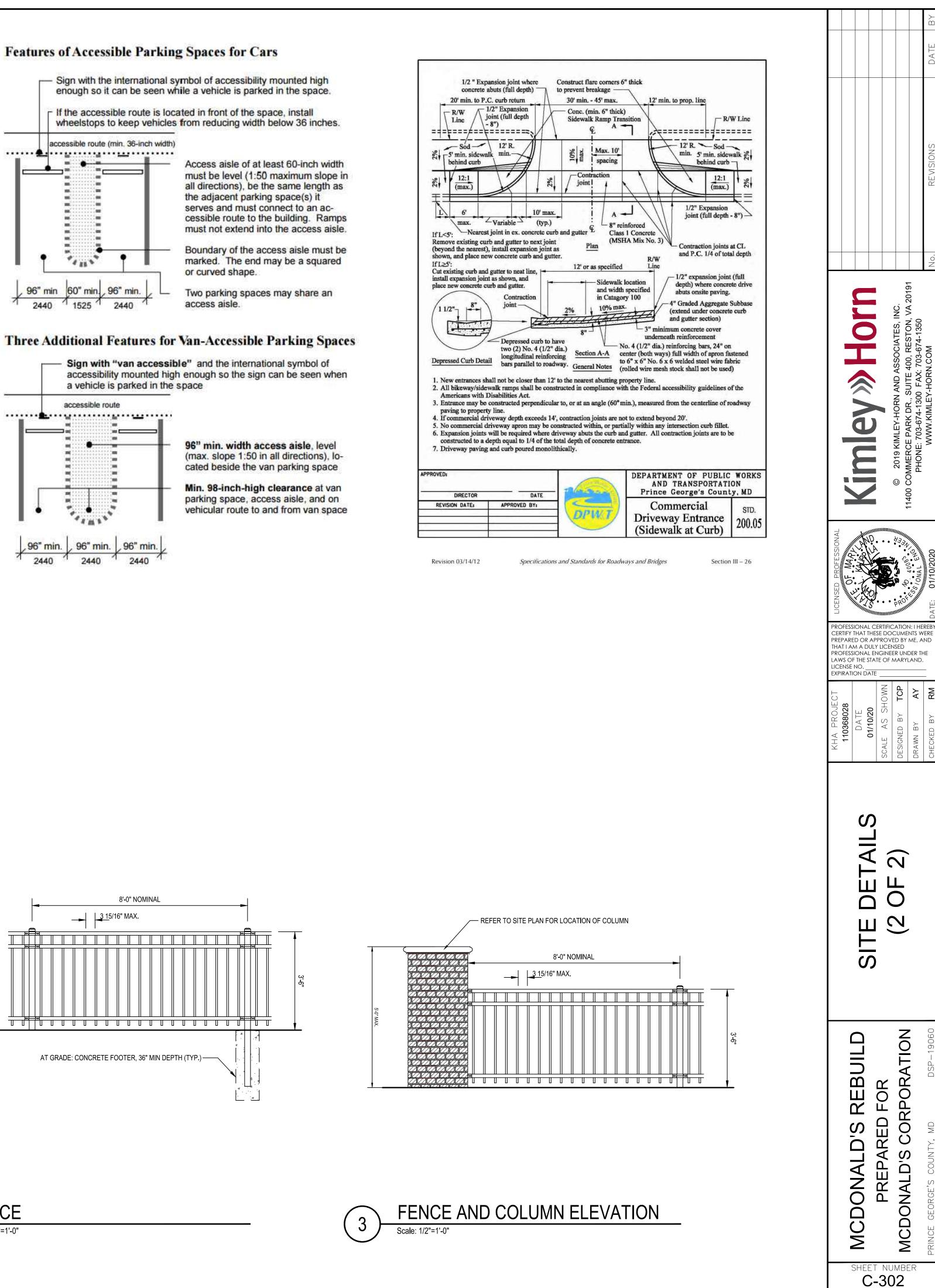
MEETING MATERIAL & COMPACTION REQUIREMENTS - TO REMAIN EX. SUBGRADE - TO REMAIN

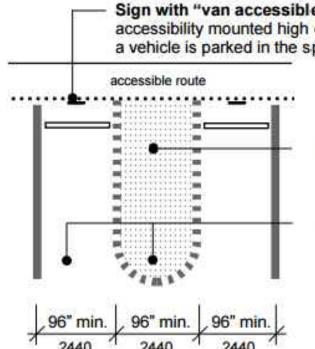
THE AGGREGATE BASE COURSE SHALL BE INSPECTED BY THE TESTING AGENCY, OWNER, OR DESIGN CONSULTANT AFTER ASPHALT REMOVAL AND BASE PREPARATION, PRIOR TO ASPHALT REPLACEMENT.

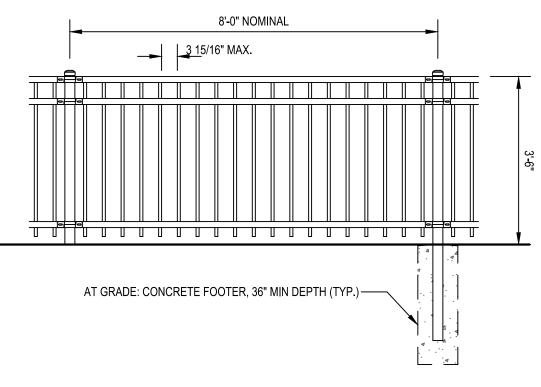
DETAIL

ASPHALT PAVEMENT - 3.5" MILL AND REPLACE (FULL DEPTH)









FENCE Scale: 1/2"=1'-0"

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SHEET 7 OF 11

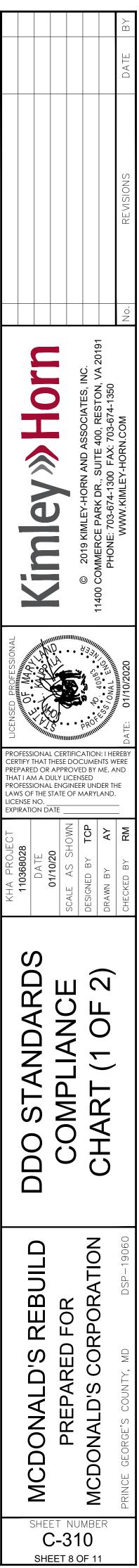
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r Layout: DDO STANDARDS COMPLIANCE CHART (1 OF 2)	
Sheet Set: SDCP McDonalds Landover	
y: Yang, Alex	

	Development District Standard	Comply? Y/N
General	Site Standards and Guidelines	
	1. Building Orientation: The main entrance to a building must face the street. Buildings facing public plazas, parks, or	
	open spaces must also have their main entrance oriented	Yes
	toward the public space. 2. Build-to Line: The build-to line is the line to which	
	buildings are required to be built on a lot (no setback is	
	permitted from it, except as noted in the guidelines).	
	Consequently, multifamily, mixed-use, and nonresidential buildings, located within the DDOZ areas, must be located	No
	along a continuous street wall defined by the build-to line	
	(see the residential, commercial, and industrial sections of	
	the Building Envelope Standards for specific standards). 3. Dooryard: The area between the public right-of-way and	
	the build-to line is the dooryard area. The dooryard area	
	commonly contains landscaping, building encroachments, fencing, and street furniture that helps to define a	25.4
	streetscape outside of the right-of-way. Each property within	Yes
	the residential, commercial, and industrial areas of the	
	subregion should have a combination of the elements described above in order to ensure a lively streetscape.	
	4. Encroachments: Stoops, porches, bay windows, trim,	
	eaves, arcades, balconies, chimneys, awnings, signs, and other architectural embellishments may encroach beyond	
	the build-to line, so long as clear pedestrian passage	Vee
	through the public space is not impeded (see the residential,	Yes
	commercial, and industrial sections for specific standards of the Building Envelope Standards and Architectural	
	Standards and Guidelines).	
	5. Frontage Occupancy: In order to ensure that buildings	
	spatially define streets and the public realm but still allow for building articulation, a percentage of a primary building	
	façade must be located on the build-to line. A portion of a	No
	building façade may step back two feet from the build-to line	
	and still count toward the frontage occupancy, so long as portions of the facade are placed on the build-to line.	
	6. Lead Walks: Paved walkways connecting building entry	
	ways and courtyards to a public sidewalk must be at least four feet in width.	Yes
	7. Off-Street Parking: Surface parking lots and structures	s.
	must be provided to satisfy parking demand. However, off-	
	street parking, to the extent possible, should be strategically located either behind buildings or behind a masonry wall	
	attached to a primary façade to minimize its visual impact on	Yes
	the urban environment. Service drives with drop offs and	
	parallel parking may be allowed if room is available and as long as they do not interfere with clear pedestrian passage	
	along the public space.	
	8. Primary Façade: All façades (including the front and side elevations on a corner lot) parallel to or clearly visible from a	Yes
	street must be treated as a primary elevation.	
	9. Secondary Façade: A façade, which does not directly	
	face a street or public plaza, park, or open space shall be	Yes
	considered a secondary façade. Secondary facades must be articulated and must not have long expanses of blank wall.	0.50
	10. Sidewalks: Public sidewalks shall be at least four feet in	
	width to allow for clear pedestrian passage.	Yes
	11. Utility Connections and Service Areas: Site utility	
	structures and service areas, such as trash enclosures, should not be visible from the streets. If these features must	Yes
	be placed near the public street or other spaces, they shall	100
Building	be screened from direct public view. Standards for Mixed-Use, Commercial, and Institutional	[vnes:
Dunung	A. BUILDING HEIGHTS	
	Principal Building: 4 Stories max. (60 ft.)	Yes
-	Accessory Building: 2 Stories max. (25 ft.) Ground Floor: 14 ft. min.	N/A Yes
-	Upper Floor(s): 8 ft. min.	N/A
	B. LOT DIMENSIONS Lot Width: 30 ft. min.	Yes
-	C. LOT OCCUPATION	162
	Building Lot Coverage: 75 percent max.	Yes
-	D1. BUILD-TO LINE AND SETBACKS (CENTRAL AVE) D.1 Build-to Line: 18 ft. from the back of curb	No
	D.2 Side Setback min./max.: 0 ft./10 ft.	No
	D.3 Rear Setback min./max.: 0 ft./10 ft.	No
	Frontage Occupancy: 80 percent min. D2. BUILD-TO LINE AND SETBACKS (BRIGHTSEAT RD)	No
	D.1 Build-to Line: 18 ft. from the back of curb	No
	D.2 Side Setback min./max.: 0 ft./10 ft. D.3 Rear Setback min./max.: 0 ft./10 ft.	No No
	Frontage Occupancy: 80 percent min.	No
	E. ENCROACHMENTS	
Q.	Awnings and Canopies: 4 ft. depth min. Bay Window: 3 ft. max.	Yes Yes
11		
	Balcony: 3 ft. min. Other Architectural Elements: Permitted	N/A

	rimary Mixed-Use Street (Central Ave)	
	SIDEWALK 1. 6 foot tree pit area	No
	2. 4-6 foot clear walkway	Yes
	3. 8-foot dooryard STREET	Yes
	1. 4 travel lanes at 11 ft. each	Yes
	2. 2 bicycle lanes at 4 ft. each 3. 2 parking lanes at 8 ft. each	No
pical S	4. Minimum 12 ft. median (if used) secondary Street (Brightseat Rd)	No
	SIDEWALK 1. 6 ft. tree planting strip	No
	2. 4-6 ft. clear walkway	Yes
	3. 8 ft. dooryard	Yes
	STREET 1. 4 travel lanes at 11 ft. each	Yes
	2. 2 bicycle lanes at 4 ft. each	No
nical T	3. 2 parking lanes at 8 ft. each ertiary Residential Street	No
prouri	SIDEWALK	
	1. 6 ft. tree planting strip	N/A
	2. 6 ft. sidewalk 3. 10 ft. dooryard	N/A N/A
	STREET	19/74
	1. 2 travel lanes at 11 ft. each 2. 1 parking lane at 8 ft. each	N/A N/A
pical A	Iley or Lane	N/A
	ALLEY	
	1. 16 ft. paved lane (may accommodate two-way traffic at slow speeds)	N/A
	2. Two aprons at 7 ft. in length	N/A
hitect	3. No parking along the paved lanes. Iral Standards:	N/A
mecu	A. GENERAL ARCHITECTURAL FRAMEWORK	
	1. Where redevelopment occurs within or in close proximity	12120
	to existing neighborhoods, new construction shall complement style of existing surrounding buildings	Yes
	2. Buildings shall be sited to reinforce the build-to line and	
	define the street wall. Buildings shall shift in massing and	
	have variations in height, profile, and roof form, while maintaining the formal relationship of building placement to	No
	the public street frontage.	
	3. Encroachments that provide for exterior outdoor living	Vac
	spaces, such as porches, balconies, and/or roof terraces, shall be encouraged.	Yes
	B. FAÇADE ARTICULATION	
	1. Buildings shall emphasize first story and primary	
	entrances with pedestrian-friendly architectural features.	Yes
	Structures greater than one-story shall be organized to have a clear base, middle, and cap to the form of the building.	
	2. Commercial buildings with long façade shall be articulated	
	through some combination of massing, fenestration, building	Yes
	openings, materials, and color. 3. New residential structures with blank walls exceeding 40	
	linear feet shall be provided.	N/A
	4. Rear elevations to commercial buildings serve as	
	important secondary entrances to businesses. These rear	X
	entrances shall be designed to create an inviting appearance that is recognizable and related to the primary façade of the	Yes
	business in terms of both massing and material.	
	C. MATERIALS	
	1. Building facades shall be composed of one dominant	Yes
	facing material and one or two additional accent materials 2. The dominant material should comprise a minimum of	
	60% of any elevation. No building should have more than 3	Yes
	facing materials in addition to glass.	
	 Primary building facades shall be faced with quality materials, such as masonry brick, natural stone, 	N.
	architectural precast stone or concrete, and cementitious	Yes
	clapboard siding 4 Synthetic stucco and aluminum and vinyl siding shall not	
	4. Synthetic stucco and aluminum and vinyl siding shall not be permitted as a dominant building material. These	
	4. Synthetic stucco and aluminum and vinyl siding shall not be permitted as a dominant building material. These materials shall only be permitted on the attached garage	Yes
	4. Synthetic stucco and aluminum and vinyl siding shall not be permitted as a dominant building material. These	Yes
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	 4. Synthetic stucco and aluminum and vinyl siding shall not be permitted as a dominant building material. These materials shall only be permitted on the attached garage area of single-family residences and on side or rear facades not facing a street. 5. Reflective glass, unfinished and painted concrete masonry units, and unfinished pressure treated wood products are 	Yes
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	 4. Synthetic stucco and aluminum and vinyl siding shall not be permitted as a dominant building material. These materials shall only be permitted on the attached garage area of single-family residences and on side or rear facades not facing a street. 5. Reflective glass, unfinished and painted concrete masonry units, and unfinished pressure treated wood products are prohibited 6. Wood, glass reinforced fiber concrete, synthetic wood products, fiber cement trim materials, and moulded millwork shall be permitted as trim material D. FENESTRATION COMMERCIAL 1. The proportions of windows and alignment and rhythm of windows should replicate the façade design of the immediate surrounding architecture 2. Windows should be primarily rectilinear in shape. 	Yes Yes Yes
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sintectu	AWNINGS/CANOPIES	
	1. Awnings shall have a metal structure or metal structure	
	covered with a durable, commercial grade fabric, canvas, or	Yes
	similar material having a matte finish.	
	If a façade is divided into distinct structural bays, such as masonry piers, awnings shall be placed within the vertical	Yes
	elements, rather than overlap them.	100
	3. Awnings shall not extend more than 6 ft. beyond the face	Yes
	of a building.	103
	Awnings may have a front skirt; however it shall not be scalloped.	Yes
	5. Awnings shall not be backlit.	Yes
	BALCONIES	
	1. Balconies shall be designed to complement the overall	
	building façade and be proportionate to the building's window	N/A
	and door openings. 2. Exposed pressure treated wood balconies shall not be	
	permitted. Wooden balconies shall be painted, stained, or	N/A
	clad with an approved decorative fascia material.	100120191300
	COLUMNS AND PIERS	
	1. Columns and piers break down the massing of buildings and should be considered to define individual storefronts and	N/A
	bays on longer building facades.	N/A
	DOORWAYS AND ENTRIES	
	1. Main entrance to a building or storefront should be	Yes
	emphasized with architectural features.	
	 Commercial storefront entries may be recessed. Service entrances to a building shall be located at the rear 	Yes
	of a building.	Yes
	4. Entrances to upper story uses shall be located along the	
	street but should have a secondary character to the main	N/A
	entry. DOOR HOODS, PORCHES, AND STOOPS	
	1. Door hoods, porches, and stoops shall be compatible with	
	the architecture of the building.	Yes
	2. Porches shall be a minimum of 6 ft. in depth. Stoops shall	20264
	be a minimum of 4 ft. wide and no greater than 8 ft. in depth.	Yes
	ROOF TREATMENT AND PARAPET WALLS	
	1. Roofs may be gabled, hipped, or flat. The particular type	
	of roof on a building should complement its architecture and	Yes
	that of the architecture of the surrounding area	
	2. A minimum roof pitch of 1:2 shall be required for a sloped roof.	Yes
	3. Buildings with flat roofs shall have cornices and the roof	
	shall be enclosed by a parapet wall. The parapet wall must	Yes
	be a minimum of 42 inches high.	
	4. Dormers, chimneys, and other architectural	Vec
	embellishments, such as cupolas and towers, may extend above the roof line.	Yes
	5. Side gabled roofs with expanses greater than 40 linear	
	feet should be articulated. Articulation may consist of	Yes
	dormers, front gables, cupolas, hipped roofs, or other	103
	architectural embellishment. ROOFTOP UTILITIES	
	1. Visible rooftop utilities are prohibited. All roof mounted	
	equipment shall be screened and painted to blend with the	Yes
	approved roof color.	
	 Equipment shall be grouped and arranged in an orderly manner behind one screen. 	Yes
	SECURITY GATES ON COMMERCIAL BUILDINGS	
	1. Exterior security gates or burglar bars on windows and	
	doors are prohibited. Additionally, rolled up security doors	Yes
	shall not be permitted.	
	2. Alternative means of building security including safety	
	glass, lighting, and electronic surveillance should be considered in the place of security bars and roll-up doors	Yes
	over ground floor windows and doors.	
	3. Security screens and doors should be attractive and	Yes
	complement the buildings on which they are installed.	165
	SHUTTERS	
	 The dimension of shutters must fit the dimensions of the window opening to which they are applied. 	Yes
	2. Shutters shall be wood, vinyl, or metal.	Yes
	3. The use of shutters and awnings on the same window	Yes
	shall be prohibited.	103
	STAIR TOWERS AND FIRE ESCAPES 1. Stair towers or fire escapes shall be allowed only on the	
	side or rear of a building.	N/A
	2. Stair towers should be semi-enclosed or enclosed with	
	walls, glass, railings and/or a roof structure and compatible	N/A
	to the main building in proportion, style, and materials.	14/13
	Standards and Guidelines:	
gnade S	A. General	
gnage S	1. Building signs shall be constructed of quality materials.	
gnage S		
gnage S	Only essential information, such as the name, business	2.2
gnage S	type, company logo, street address, phone number, and	Yes
gnage S	type, company logo, street address, phone number, and hours of operation of the business or retail establishment	Yes
gnage S	type, company logo, street address, phone number, and	Yes
gnage S	type, company logo, street address, phone number, and hours of operation of the business or retail establishment may be displayed on the front of the building	
gnage S	 type, company logo, street address, phone number, and hours of operation of the business or retail establishment may be displayed on the front of the building 2. The placement of signs shall be integrated into the overall architectural design of the building. The materials, color, style, and size of a sign shall be coordinated with the 	Yes
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gnage S	 type, company logo, street address, phone number, and hours of operation of the business or retail establishment may be displayed on the front of the building 2. The placement of signs shall be integrated into the overall architectural design of the building. The materials, color, style, and size of a sign shall be coordinated with the architectural features of the building. 3. Signs for multitenant buildings shall be coordinated in 	Yes

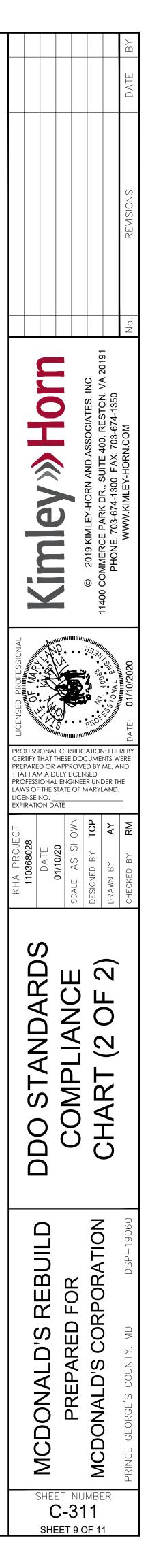
	B. Board signs	
	 Buildings shall be designed to include a "signage zone" above the business or retail use. Typically, this zone is located above the lintel of the window of the ground level storefront. 	Yes
	2. All business and/or retail buildings shall have front and/or rear entry signage that is oriented toward the pedestrian.	Yes
	3. The individual tenant signage for buildings with multiple tenants shall be located at approximately the same height to create a unified look.	N/A
	C. Window signs	
	1. Window signs, including letters and logos, shall not obscure views into the business or retail establishment and shall not occupy more than 25% of the total window area in which the sign is located	Yes
	2. Window signs shall generally be centered within a primary storefront display window, doorway, or an overhead transom window	Yes
	3. There shall be a limit of one window sign per ground level building entry	Yes
	D. BLADE AND BANNER SIGNS 1. Blade signs shall be no more than 16 sq. ft. in area and	
	shall allow for an 8 ft. minimum clearance above the finished grade of the sidewalk.	N/A
	 Signs attached to buildings shall not project more than 40 in. from the vertical plane of the wall to which they are attached. 	N/A
	3. Blade signs shall not be attached to awnings/canopies.	N/A
	4. There shall not be more than one blade sign for each storefront tenant and upper floor business tenant, unless the premise is on a corner lot or has public entrances on two or more public rights-of-way, in which case a set of projecting signs may be erected toward the second public right-of-way.	N/A
	E. AWNING/CANOPY SIGNS 1. Awnings/canopies may include logos and/or text.	Yes
	However, they shall not be backlit. F. TENANT DIRECTORY SIGNS	
	 A tenant directory sign limited to 6 ft. in height and 18 sq. ft. per face may be placed immediately adjacent to a building in the rear yard area. 	N/A
	 Information on the signage should be limited to the name and/or address of the building and list of the tenants at that location. 	N/A
	 If used, tenant directory signs must be designed to reflect the architectural style of the primary signs of the building. 	N/A
	G. SPECIALTY SIGNS	
	 Specialty signs advertising special events and/or celebrating a holiday shall be allowed, so long as they provide for vehicular and pedestrian clearance. 	Yes
	2. Specialty signs must be affixed to light poles or between buildings and must be designed to withstand the elements	Yes
	3. Specialty signs must be removed when the special event is completed.	Yes
indscapi	A. GENERAL	
	1. All plants shall conform to the American Standard for	
	Nursery Stock as published by the American Association of Nurserymen	Yes
	2. Plans for development shall include separate landscape plans. The landscape plans shall address all land areas of a lot that are not covered by buildings (including lead walks, planting beds, and turf areas). Landscape plans for multifamily, mixed-use, commercial, institutional, and industrial uses are to be developed or approved by a registered landscape architect and drawn based on a site development plan	Yes
	3. A plant list shall be included on landscape plans and shall specify the plant species (botanical and common name), size/caliper, spacing, quantity, construction details (for trees, shrubs, evergreens, and street trees), and the method of irrigation and illumination.	Yes
	 Plant material should be utilized to provide shade; define outdoor spaces; screen, buffer, or enhance views, help define entrances; and accentuate individual developments. 	Yes
	5. Plantings should help mitigate climatic conditions by shading the southern exposure of buildings when feasible.	Yes
	 When properties are developed, stands of existing healthy trees should be preserved to the greatest practical extent. Damaged, decayed, or deceased trees should be removed to protect remaining trees. 	Yes
	7. Landscaping and streetscape amenities, including plantings, lawns, fencing, and furniture, should be used to distinguish public from private space	Yes
	8. For the intent of the industrial screening and buffering standards and guidelines, the boundary streets shall be	Yes
	9. In industrial areas, plants placed along street frontages and in buffer yard areas are subject to many adverse conditions and are not likely to receive consistent care.	

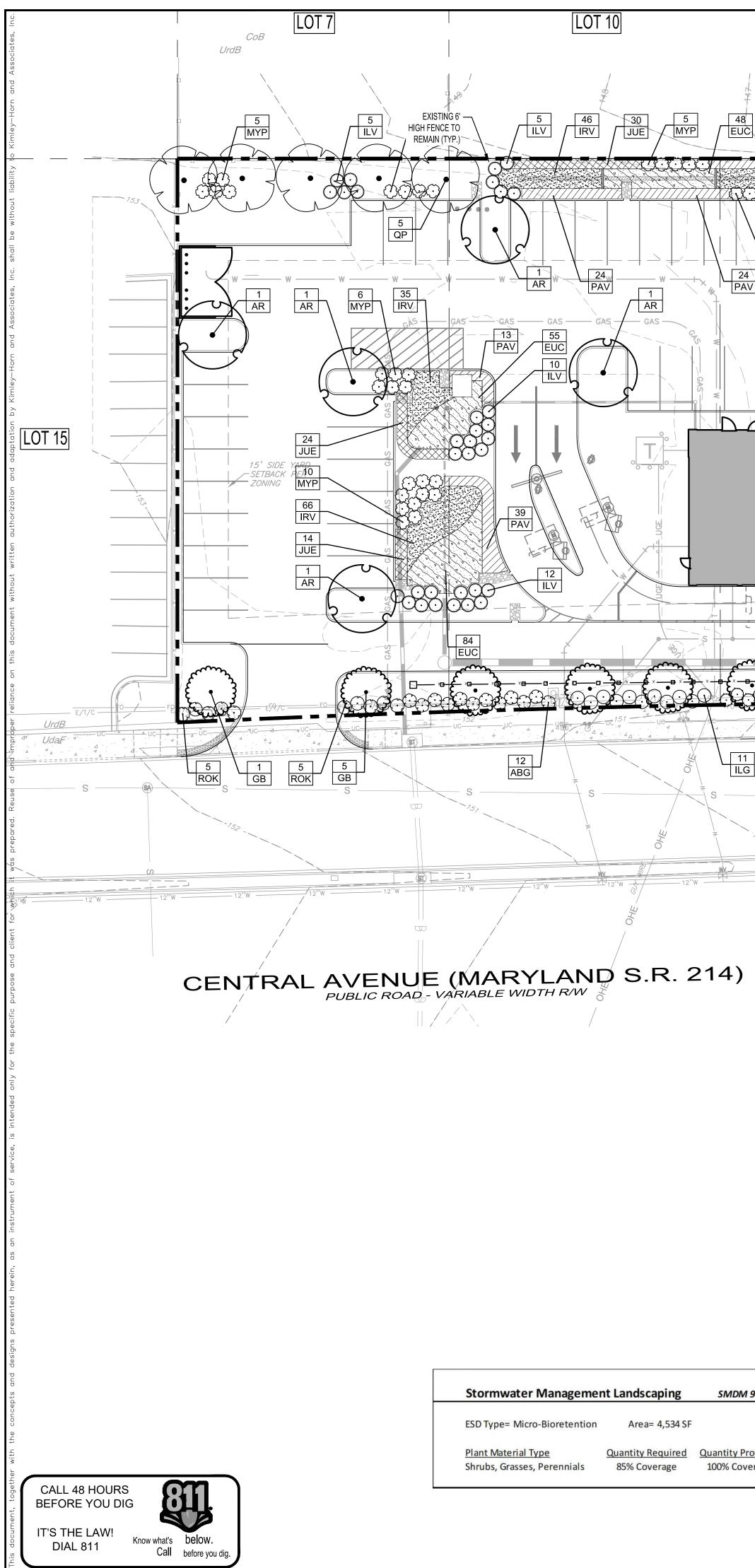


B. STREET TREES	Yes
1. Street trees, which must be of a drought-resistant native species, shall be planted on average a minimum of 35 ft. on	
center along planting strips or in tree grates of street rights-	
of-way (Please refer to the Prince George's County	
Landscape Manual for acceptable street tree species).	Yes
Where necessary, spacing allowances may be made to accommodate curb cuts, fire hydrants, and other	
infrastructure elements. However, at no location may the	
spacing exceed 35 ft. on center.	
2. At planting, street trees shall be at least 3 in. in diameter	Yes
 and at least 10 ft. in overall height. C. SHADE AND ORNAMENTAL TREES	
1. Shade trees shall be planted a minimum of 1 shade tree	
per 10 surface parking spaces with a minimum of 2 shade	Yes
trees per landscaped median strip.	1.
Surface parking lots shall have no more than 2 bays of parking without a continuous planted median.	Yes
 3. Two ornamental trees may be substituted for 1 shade tree	N.
(or vice versa) in surface parking lots.	Yes
 D. DOORYARD AREA	
 The private frontage area between the public right-of-way and the build-to-line shall be treated in specific ways, 	Yes
depending on the adjacent building type use.	100
2. Mixed-use, commercial, and institutional private frontages	2
shall be composed primarily of hardscape and may have	Yes
 planters and street furniture	
 Private frontages that are primarily residential in character shall be composed of sod, shade, and ornamental trees, 	N/A
planting beds, and some hardscape	N/A
 E. GROUND COVER	
1. A minimum of 15% of green area of a commercial, office,	
retail, business, or industrial parcel or lot shall consist of	Ves
planting beds with a shrubs, flowers, or ground cover. For building parcels with large undisturbed areas, this	Yes
requirement will be based on the disturbed area	
2. For residential properties, a minimum of 10% of the green	The Address States
area of a lot or parcel shall consist of planting beds with	N/A
shrubs, flowers, or ground cover. F. OPEN SPACE	-
1. A minimum of 15% of green area of any residential	
development site must be dedicated for open space.	N 1/A
Preferably, the open space should be located around	N/A
existing mature trees.	
2. Open space requirements should be used to establish	
natural greenways that protect and restore wetlands, provide habitats, allow for conservation and growth of natural	Yes
vegetation, and provide opportunity for pedestrian and bicycle	100
pathways.	
3. Urban open spaces and pocket parks should be	2
incorporated into the plan. These open spaces shall be planted with shade and flowering trees, evergreen shrubs,	
and other appropriate landscaping to provide shade, increase	Yes
air quality, and treat stormwater, as well as add visual	
interest along streetscapes.	
G. TRAILS/PATHWAYS	
 Trails and pathways shall be provided through naturalized public spaces and common areas that circulate throughout, 	
and connect to the public sidewalks.	
2. Great care shall be given to the placement of trails to	-
ensure that their design will not disturb environmentally	
sensitive areas. H. LANDSCAPE ELEMENTS	0
 STREETSCAPE ENHANCEMENTS	
1. Streetscape enhancements (including, but not limited to	
street furniture, planters, trash receptacles, decorative	
paving, sculpture/artwork, and bus shelters) shall be placed	Yes
in an appropriate location for all future nonresidential development	
2. Placement of streetscape enhancements shall not	N.
 interfere with clear pedestrian passage in the public space.	Yes
3. Color and style of streetscape enhancements shall	Yes
complement and coordinate with future development. 4. All proposed streetscape enhancements shall be	
indicated on detailed site plan submittals and shall include	V
information on location, spacing, quantity, construction	Yes
details, and methods of illumination.	
BICYCLE PARKING	
 Bicycle parking shall be adequately provided throughout the DDOZ area primarily along primary mixed-use and 	Partico'
secondary mixed-use streets for safe and convenient	Yes
temporary storage.	
2. One bicycle parking space shall be provided for every 20	Yes
vehicular parking spaces. 3. Bicycle parking shall be located within 50 ft. of main	
entrances to multifamily, mixed-use, commercial, and	N.
institutional buildings, and have direct access to public rights	Yes
of-way.	
 Bicycle parking areas shall not obstruct sidewalks or walkways 	Yes
walkways. 5. The color and style of bicycle racks shall complement	
 new streetscape improvements.	Yes
 FENCES	
1. Fences, with height between 36 and 42 in. may be	
permitted in the dooryard area adjacent to the public right-of- way. Privacy fences 6 ft. in height may be placed alongside	N/A
and near lot lines; however, they shall not be placed in the	
 dooryard area of the lot.	
2. Front yard fencing should complement and match the	NIZ A
vernacular of the primary structure and accessory structures on a lot.	N/A
 3. Fences must either be wood or metal. No plastic, vinyl, or	
chain-link fences shall be permitted on properties within the	N/A
 DDOZ.	

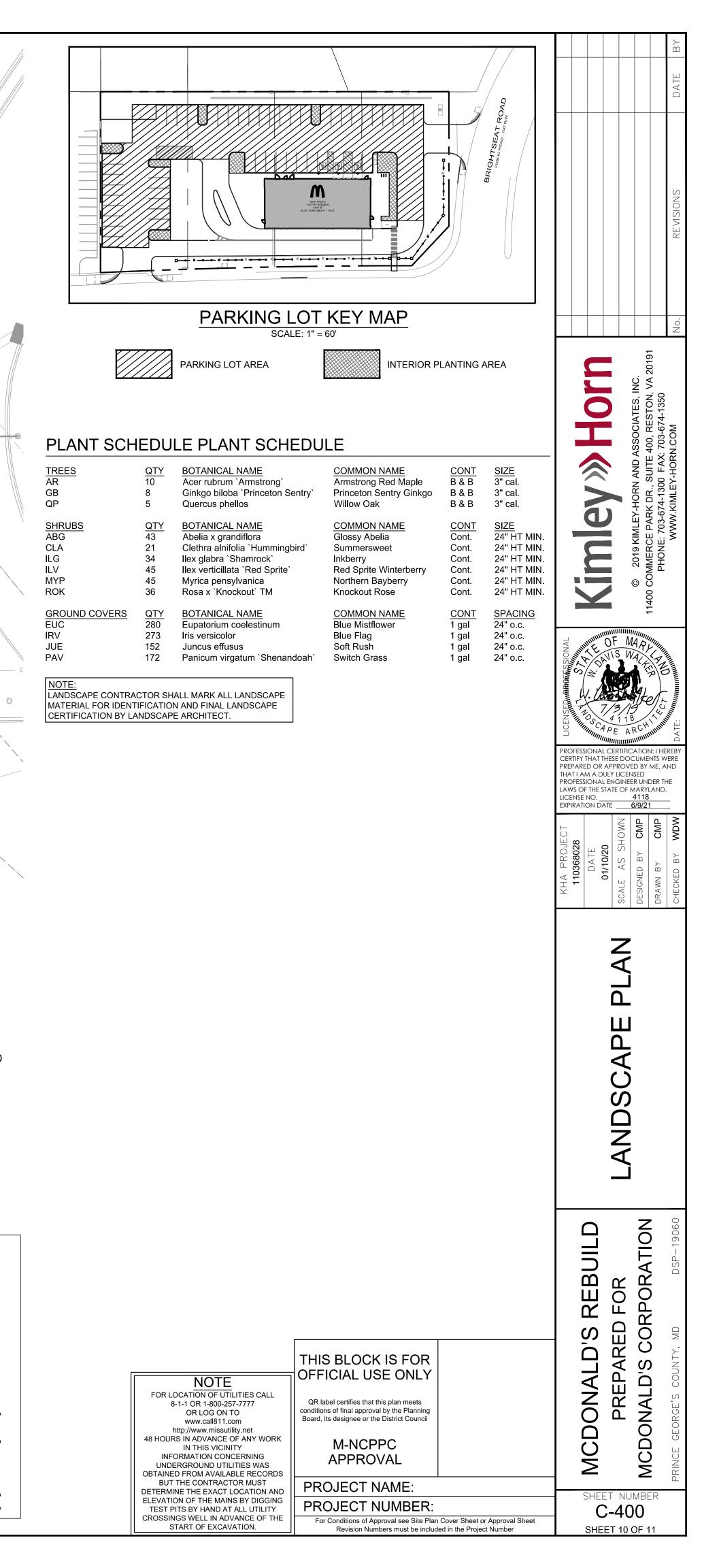
RETAINING WALLS	
1. Retaining walls may be necessary to grade individual lots or parcels. Such walls shall match or be compatible with the architectural elements of the primary buildings on the lot.	N/A
2. Retaining walls at the sidewalk shall have a maximum height of 30 in.	N/A
3. Bare, poured concrete, wood posts and timber ties, and modular concrete retaining walls shall not be permitted in a front or side yard visible from a public street.	N/A
FENCES AND WALLS IN INDUSTRIAL AREAS	
 Fences and walls shall be constructed of durable materials that include pressure-treated wood, masonry, stucco, and decorative metal. The following materials shall not be used for any type of fencing and/or walls: barbed wire, razor wire, unclad cinder block, vinyl cladding, corrugated metal, corrugated fiberglass, sheet metal, wire mesh, nonpressure-treated wood, or chain link. 	N/A
2. The kickboards (the lower horizontal member of a fence) of pressure treated wood fencing shall be placed at least 2 in. above grade, so as to prevent deterioration. The base of a	N/A
wooden fence shall not rest at grade. 3. Fences and/or walls shall be required around properties containing open truck and/or open storage facilities in order to ensure that the storage of materials and/or commercial vehicles are not visible at eye level (5 ft.) when standing from the approximate centerline of the public right-of-ways adjacent to the property. Consequently, fences/walls for these types of facilities must be between 6 ft. min. and 8 ft. max.	N/A
4. Fences and/or walls may be used as screening material around parking lots. These fences and/or walls should be between 3-4 ft. in height.	N/A
LIGHTING 1. Lighting shall be provided along public and private streets,	
alleys and access drives, public open spaces and trails, and in parking areas.	Yes
 Pedestrian-scaled street light fixtures (at heights between 12-14 ft. in height) should be installed in all public spaces at no more than 60 ft. intervals, as measured parallel to the street. 	Yes
3. Cobra head streetlights shall not be permitted.	Yes
4. The style of ornamental poles and luminaires should be	Yes
coordinated with the appropriate public agencies. I. ADDITIONAL LANDSCAPING STANDARDS FOR INDUSTRIAL PROPERTIES	
1. A 15 ft. minimum to 25 ft. maximum landscaped buffer	N/A
area, as measured from the back of curb, shall be provided along perimeter streets.	N/A
2. A 10 ft. minimum landscaped buffer area, as measured from the edge of paving, shall be provided along internal streets.	N/A
 Side and rear bufferyards around a property shall be at least 20 ft. in width. 	N/A
4. The buffer areas along perimeter streets shall be planted with trees selected from the recommended species of evergreen trees found in Appendix 3, Table A-3(d) of the <i>Prince George's County Landscape Manual</i> . Evergreen trees must be at least 6 ft. in height at the time of planting and must be placed between 8 ft. minimum and 12 ft. maximum on center. Trees may be placed in a double staggered row, so long as the center line of each tree within the triangular grouping is between 8-12 ft. apart.	N/A
5. The buffer areas along internal streets shall be planted with evergreen trees recommended from the <i>Prince George's</i> <i>County Landscape Manual</i> . These trees must be at least 6 ft. in height at the time of planting, but may be placed between 12 ft. minimum and 16 ft. maximum on center around the edges of a property instead of 8 ft. minimum to 12 ft. maximum.	N/A
6. Side and rear bufferyards shall be planted with the recommended evergreen trees from the <i>Prince George's County Landscape Manual</i> . These trees shall be at least 6 ft. at the time of planting and shall be spaced between 12 ft. minimum and 16 ft. maximum on center. Trees may be placed in a double staggered row, so long as the center line of each tree within the triangular grouping is between 12 and 16 ft. apart.	N/A
7. In addition to evergreen trees, shrubs may be provided along perimeter streets, internal streets, and bufferyard areas. If provided, shrubs should be between 2 to 5 ft. in height at the time of planting and should be placed in tightly spaced groupings of at least 3 plants (5 ft. on center). The shrubs should be either evergreen, or if deciduous, have a dense, twiggy growth habit for winter screening and an attractive year-round appearance. Along perimeter streets, every fifth tree may be replaced by a grouping of shrubs, so long as the shrubs are at least 4 ft. in height ad do not expose open truck and/or open storage facilities. on an internal street and bufferyard area, every third tree may be replaced by a grouping of shrubs, so long as the shrubs are	N/A
at least 4 ft in height.	

arkin	g and Loading Standards and Guidelines: A. GENERAL	
	1. The minimum surface parking spaces shall be 80% of minimum required parking and loading as stated by Section 27-568(a) of Part 11 of the Zoning Ordinance.	Yes
	2. The maximum number of surface parking spaces shall be equal to minimum required by parking and loading as stated by Section 27-568(a) of Part 11 of the Zoning Ordinance.	Yes
	3. The maximum number of structured parking shall be equal to 115% of the minimum required by parking and loading as stated by Section 27-568(a) of Part 11 of the Zoning Ordinance.	N/A
	 4. Buildings must meet the frontage occupancy requirements for the perimeter of a block when considering the parking requirements. 5. All private residential parking (non-multifamily) shall be 	No
	located at the rear or side of the principal building on a lot in an attached or detached garage, carport, or on a parking pad, and shall be accessed from a landscaped driveway, side street, or alley. Residential garages or carports must be recessed a minimum of 6 ft. from the front building facade of the principal building on the lot.	N/A
	6. Parking pads or tandem parking spaces in private residential areas must not block clear pedestrian passage along the adjacent right-of-way.	N/A
	7. If possible, surface parking lots, structured parking, and loading areas shall be located on the interior of the block or at the rear of the property in the case of commercial, mixed- use, and institutional uses, and shall be accessed from a side street, alley, or entrance drive aisle	Yes
	8. In industrial areas, surface parking lots may be located on the side of a primary building, so long as the parking lot does ont exceed one parking bay and the property is not located along a primary mixed-use street.	N/A
	9. Cross-access easements between surface parking lots shall be encouraged.	Yes
	10. Parking lots and structure parking shall not dominate the streetscape, obscure building frontages, endanger pedestrians, or overwhelm the visual environment. Curb cuts should be reduced to minimize potential pedestrian/vehicular conflict. When possible, there shall be one curb cut per block.	Yes
	B. SURFACE PARKING LOTS 1. Surface parking lots shall be set back from the rear façade of nonresidential, mixed-use, or commercial structures in order to accommodate a landscape planting buffer adjacent to the building and 5 ft. wide walkway	Yes
	adjacent to the parking. 2. A 10 ft. wide by 18 ft. deep landscaped island with shade trees must be provided a maximum of every 10 parking	No
	 spaces. 3. Surface parking lots with more than two bays of parking shall be divided by a continuous landscaped strip at least 10 ft. in width between the third and fourth bays to accommodate shade trees and other landscape elements. Where possible and appropriate, landscaping strips should be greater than 10 ft. to provide for bio-swales. 	Yes
	 4. Surface parking lots located on the side of a principal building must have screen walls behind the build-to line that connect to the principal building and conceal the parking from the adjacent public space. The walls must be between 3-3.5 ft. in height and must consist of materials similar to the primary facade of the principal building. Additionally, appropriate landscaping should be provided in front of the wall. Chain link and chain link fences with privacy slats are prohibited as a screening material. 	Yes
	C. STRUCTURED PARKING 1. A parking structure, adjacent to a street or other public space, shall be located at the build-to line and shall have retail/commercial liner uses on the first level fronting the street in order to create a continuous street wall along the	N/A
	 sidewalk edge. 2. Parking structure facades visible from the street or other public spaces shall consist of high-quality materials. These facades shall mimic the architecture of the adjacent buildings. Parking structures located on corner lots shall provide street quality architectural facades on both the front and side streets. 	N/A
	3. Parking structures shall be between 2 and 5 stories in height, depending on the site where the garage is located. However, parking garages shall not exceed the height of the surrounding buildings.	N/A
	 4. When the siting of a parking structure creates a gap between the parking structure and the building it services, there shall be a minimum 10 ft. wide landscaped area between the two structures. The sides and rear of parking structures shall be screened from adjacent properties with coniferous plant material. D. LOADING AND SERVICE AREAS 	N/A
	1. All loading and service areas must be located in the interior of a block behind buildings.	Yes
	 Dumpsters, exposed storage areas, machinery, service areas, truck loading areas, utility buildings, air conditioning units, and other similar structures shall be screened from the view of neighboring properties and streets with walls made of the same materials, color, or style as the primary building on the lot or parcel. Additionally, landscaping must also be provided around the perimeter of the loading yard. 	Yes
	3. Utility areas separated from the primary building on a lot or parcel shall be enclosed by a 6 ft. high solid wall or fence constructed with materials compatible to the primary	Yes
	building. 4. The front of enclosures shall have steel swing gates for vehicular service access. A separate pedestrian gate must also be provided.	Yes
	5. A wooden trash enclosure is not permitted. E. OPEN STORAGE IN INDUSTRIAL AREAS:	Yes
	Open storage, within 20 ft. of the inside portion of a screening wall and/or fence for a property, may not extend	Yes
	above the screening wall/fence. F. DRIVEWAYS IN INDUSTRIAL AREAS:	





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	5-97 PROTO FORY BUILDING 4,540 SF	SE E	ZONNG ROK	The state of the s	
BLDG. PE	EAK HEIGHT = 18.79'		AR		ABG
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	EXISTING TREE McDONALL TO REMAIN (TYP.)				
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12"W1		"/W 12"\	N	— 12"W	12"W
/					
	Tree Canopy Coverage Sche				
/	6801 Annapolis Road		DRD Case #:		
/	Site Calculations:	Zone 1: Zone 2: Zone 3:	M-U-I	1.17	
		Zone 4: Total Acres:		1.17	
			TCC Required	TCC Required	GRAPHIC SCALE IN FEET 0 10 20 40
	Total Acres (gross acres) 1.17	% of TCC required 10.0%		in (SF) 5097	NORTH
	A. TOTAL ON-SITE WC PROVIDED (acres) = B. TOTAL AREA EXISTING TREES (non-WC acres) = C. TOTAL SQUARE FOOTAGE IN LANDSCAPE TREES =		acres acres	435.6 5750	
	D. TOTAL TREE CANOPY COVERAGE PROVIDED = E. TOTAL SQUARE FOOTAGE REQUIRED =			5750 5097	0
				Requirement Satisfied	t
	Credit Categories for Landscape Trees	TCC Credit per Tree Based on Size at	Number of Trees	TCC Credit (SF)	
		Planting (SF) 2 -1/2 - 3" = 65		0	0
	Deciduous - ornamental tree (20' or less height with	3 - 3 1/2" = 75 1-1/2 - 1-3/4"= 75 2 - 2 1/2" = 100		0	0 0 0 0 0 0 0 0 0
	equal spread). Minimum planting size 7 - 9 "In height	2 - 2 1/2" = 100 2 -1/2 - 3" = 110 2 -1/2 - 3" = 160		0	0
	spread or greater). Minimum planting size 8-10' in height Deciduous - major shade tree (50' and greater ht. with			0	1)Percentage of native plant material required in each category:0Shade Trees:total23x50% = 11.5totaltotal
		3 - 3 1/2" = 250	23	5750	
19.7.3.5.	Evergreen - columnar tree (less than 30' height with	6 - 8' = 40 8 - 10' = 50 10 - 12' = 75		0	$\begin{array}{c c} 0 & \text{total number provided} & 0 & = & 0 & \% \text{ native} \\ \hline 0 & \text{Evergreen Trees:} & \text{total} & 0 & x & 30\% & = & 0 & \text{total number required} \end{array}$
		10 - 12' = 75 6 - 8' = 75 8 - 10' = 100		0	0 Shrubs: $total 1,112 \ge 30\% = 327$ total number required
	20')	10 - 12' = 125 6 - 8' = 125		0	$\begin{array}{c c} \hline & & & \\ \hline 0 & & & \\ \hline 0 & & \\ \hline 0 & & \\ \hline 2) & \text{Are invasive species proposed?} & & & \\ \hline & & & & \\ \hline \hline & & & \\ \hline & & & \\ \hline \hline & & & \\ \hline \hline & & & \\ \hline \hline \\ \hline & & & \\ \hline \hline \\ \hline & & & \\ \hline \hline \\ \hline \\$
verage		10 - 12' = 175		0	
	Evergreen - large tree (50' height or greater with spread	6 - 8' = 150 8 - 10' = 200 10 - 12' = 250		0 0 0	4) If "yes" is checked in numbers 2 or 3, is a note included on the plan
	TOTAL NUMBER OF TREES/TCC CREDIT (SF) (Manually enter information/figures into shaded areas)		23		
	Davis Walker				
	Prepared by	-	12/17/2019 Date		5) Are trees proposed to be planted on slopes greater than 3:1?yesno



GENERAL NOTES

- 1. Plants shall be healthy, vigorous material, free of pests and diseases and are subject to approval/rejection of the Landscape Architect prior to, during and after installation.
- 2. Contractor shall identify all materials at growing location prior to purchase and submit digital photographs, and source list to the Landscape Architect for approval at a minimum of six (6) calendar weeks prior to installation. Plants not approved shall be resourced and resubmitted.
- 3. Planting beds and individual tree plantings shall be mulched continuously as specified.
- 4. Prior to construction the contractor shall be responsible for locating underground utilities and execute work in a manner that avoids damage to utilities during the course of work. Contractor shall be responsible or remedy of any damage to utilities, structures, site appurtenances that occur as a result of landscape related work.
- 5. Contractor is responsible for verifying quantities shown on documents. Field adjustments shall be approved by Landscape Architect prior to installation. Quantities indicated on drawings are for reference-it is the Contractor's responsibility to ensure full coverage of plants at the indicated spacing.
- 6. Contractor is responsible for maintenance of all plantings including, but not limited to watering, mowing, edging, spraying, mulching, fertilizing, of plantings and turf areas for one (1) calendar year from date of certificate of occupancy. Contractor is responsible for warranty of all plant material for a period of one (1) calendar year from date of certificate of occupancy. Warranty replacement planting shall meet or exceed the original specification identified on drawings. Replacement planting shall extend the same warranty as originally installed materials. Plantings and grass areas shall be flourishing and fully thriving at end of warranty period.
- 7. Plants identified for replacement by Owner, Landscape Architect shall be replaced immediately by the Contractor unless otherwise agreed upon. Plantings (trees, shrubs, groundcover) subject to replacement by warranty shall exhibit characteristics of 30% dead-per individual plant, non-contributing or disease compromised. Grass areas suitable for acceptance shall demonstrate 85% sustained/consistent and continuous, densely established coverage.
- Contractor shall perform a site review at end of warranty period and provide the Owner with written documentation of the site, including plant health, warranty replacement items, and conditions that may be influencing plant health. Contractor shall remove from plants and site, all staking and guying material at end of warranty period
- 8. Contractor shall comply with all local, state and federal requirements, codes and regulations related to the work undertaken 9. All material including planting operation appurtenances shall be of domestic origin manufacture and
- sourced within 100 miles of the project site. 10. Contractor is responsible for coordination among trades operating on site. Coordination and if necessary resulting modifications to schedules are responsibility of the Contractor.

PERFORMANCE SPECIFICATION

I. PLANTS A.General

- 1. Live healthy plants free of dead branches and parts
- 2. Free of disease, insect, injury and damage
- 3. Unbroken, intact, dense and solid rootballs and containers, without cracks, flat sides or previously repaired damage
- 4. Free of girdling roots or rootbound/circling container conditions
- 5. Plants of consistent in growth habit and healthy character
- 6. Free of compromising growth conditions such as weak crotch connections, crossed branches, snags and scars 7. Point of origin growing location within 100 miles of project site
- 8. Graded, standards, caliper, sizes and stock consistent with ANSI Z60.1, American Standard for Nursery Stock most current edition 9. Species identified consistent with Hortus Third: Concise Dictionary of Plants Cultivated in the United
- States and Canada, most current edition and Manual of Woody Plants: Their Identification, Ornamental Characteristics, Culture, Propagation and Uses, most current editior
- 10. All disturbed areas shall be grass seed unless otherwise identified on landscape plans

B. Trees:

- 1. Deciduous Single Trunk
- a. Full, straight and upright with consistent symmetrical natural branching pattern throughout b. Branching Height-seven (7) feet to lowest branch in two years unless otherwise required by local jurisdiction

2. Deciduous Multi-Trunk

- a. Full and upright with straight consistent symmetrical natural branching pattern throughout b. Canes evenly spaced and of similar growth habit c. Free of suckers and extraneous branching
- 3. Evergreen Single-Trunk
- a. Full and upright with continuous symmetrical dense natural habit
- b. Clear branching height twelve (12) inches above top of rootball
- c. Free of suckers and extraneous branching d. Do not shear or otherwise prune to shape plantings

C.Evergreen and Deciduous Shrubs

- 1. Full, dense and naturally symmetrical.
- 2. Consistent with container and/or balled and burlapped size
- 3. Free of suckers and extraneous branching 4. Do not shear or otherwise prune or shape plantings

D. Evergreen and Deciduous Groundcover

E. Perennials and Seasonal Color

1. Full and dense in pots or flats

1. Full and dense in pots or flats

F. Turf Grass

- 1. Subgrade a. Soil Mix-10% Compost, 90% topsoil by volume
- b. Preparation-loosen subgrade to a minimum depth of four (4) inches. Remove all non-natural materials
- including litter, stones, sticks and all items greater than ³/₄ inch in any dimension c. Preparation-spread soil mix at a depth of four (4) inches continuously to meet grade elevations shown
- on drawings. Allow for thickness of sod when applicable

2. Grass Sod

- a. Install not longer than twenty-four (24) hours from harvest
- b. Grass bed not less than two (2) inches in continuous thickness
- c. 100% continuous live sod coverage after first growing season and at end of warranty period. d. Of uniform non-varying density and continuous texture quality capable of growth and development immediately upon installation. Weed and noxious plant free
- e. Stagger installation rows and place aligned parallel to contours
- f. Fill joints solidly with planting bed preparation soil
- g. Provide anchor pins at twenty-four (24) inches on center for slopes greater than 4:1

3. Grass Seed

- a. Mix approved by the Landscape Architect
- b. Provide first and new of year seed crops in mix free of weed seeds and deleterious matter
- c. Provide seed mix not greater than 15% annual or perennial rye
- d. Coverage 85% continuous coverage live stand after first growing season and at end of warranty
- e. Replacement or overseeding mixes consistent with original application/installation f. Provide erosion blankets or other slope retention methods as noted on drawings

II. Materials and Appurtenances

A.Testing 1. Materials testing information/certificates/dated labels shall be current to the project and performed/certified not greater than 120 calendar previous days from current date of submittal for review

B. Top Soil

1. Neutral Ph balance 5.5 -7.5. Friable and containing 2.0-5.0% organic matter by dry weight. Continuously free of non-soil items such as stones, debris, sticks, trash, and deleterious matter greater than 3/4 inch in any direction. Clay content shall not exceed 25%. Gravel content shall not exceed 10%. Silt shall not exceed 25%



C.Use of Existing Topsoil

D. Shredded Hardwood Mulch

Neutral Ph balance 5.5-7.5

E. Composted Pine Bark Fines

- wood content
- F. Compost Ph
- Consistent with US-EPA CFR Title 40 Part 503 Standards for Class A biosolids

G.Compost Testing

- requirements
- the US Composting Council Seal of Testing approval programs

H.Planting Mix

- 1. 85% topsoil and 15% Compost
- I. Fertilizer Product and Material Safety Data as approved by Owner

J. Herbicide

- K. Water
- 1. Potable only unless otherwise approved by Owner
- L. Hardwood Stakes 1. 2 x 2 x 48 inch square of sound hardwood, painted flat black on all sides

M.Tree Ties

1. Villa Non-Abrasive Rubber Tree Ties or approved equal

N.Filter Fabric

- Mirafi 140-N or approved equal
- O.Steel Edging

P. River Stone

- 1. Locally sourced, river rounded, unfaceted river stone/cobbles.
- 2. Size shall not exceed 3 total inches in any dimension.
- 3. Color and texture approved by Owner
- 5. Concrete or mortar as approved by owner.

III. Execution

- A.Site Conditions

- of acceptance prior to commencement of work. 3. Notify Owner in writing of any conditions that may preclude successful completion of work including items
- 4. Notify Owner in writing immediately of any items that may influence work schedule, timing of tasks, materials delivery and/or installation and warranty responsibilities
- work by others.

B.Planting Seasons

2. Dogwood (Cornus Sp.) 3. Sweetgum (Liquidambar Sp.)

4. Spring Flowering Bulbs

5. Seasonal Annuals

7. No Plant Installation

C.Positioning & Location of Plantings

3. Perennials

6. Turf Grass

installation

Owner approval

D.Implementation

E. Clean Up

Architect

furnishings, etc.

on an individual project basis.

1. Deciduous and Evergreen Trees

a. Do not install/plant the following trees between September 15 and March 15

2. Deciduous and Evergreen Shrubs

1. Existing topsoil on-site may be repurposed with prior Owner approval. Contractor shall provide soil testing and additive program that demonstrates consistent performance and characteristics and composition as identified herein. Owner shall approve soil testing and soil amendment/additive methods and procedures

1. 100% organic shredded first year hardwood free of deleterious matter, rock, gravel and weed seed.

1. 100% organic ground pine bark with no particle dimension greater than ³/₄-inch and no greater than 10%

1. Balanced 5.0-8.5 mature, stable and weed free produced by natural aerobic decomposition. Free of visible contaminants and toxic substances. Not greater than 5% sand, silt, clay or rock by dry weight.

1. Prior to delivery on-site, the following items are required for approval by Owner: Feedstock percentage in final compost product; statement that the products meets federal, state and local health safety

2. Provide copy of lab analysis less than 120 calendar days old verifying that the product meets described physical requirements; chemical contaminants; Ph; physical contaminants; biological contaminants (including a statement that fecal coliform and salmonella testing and results comply with requirements of

1. Granular 10% nitrogen, 6% Phosphorous, 4% Potassium granular form with 50% Nitrogen in organic form.

1. Product and Material Safety Data as approved by Owner

1. 1/8-inch x 4-inch in full sections. Ryerson, Timec or approved equal with integral stakes. No open corners. Corners shall be formed and trued to compliant angle or welded closed

4. When placed in concrete or mortar setting bed, tamp to secure and brush clear joints.

1. Inspect site and notify Owner in writing of acceptance with indication that project conditions are acceptable are suitable to proceed with work. Notify Owner of any existing damage and/or other conflicting conditions. 2. Do not proceed with work until unsatisfactory conditions have been satisfactorily remedied. Notify Owner

such as coordination with other trades, incomplete work, drainage, soil temperature and/or composition, access to storage/work areas, damage to conditions, etc.

5. Coordinate and cooperate with other trades working in and adjacent to work areas. Examine drawings of other trades which show development of the entire project and become familiar with the scope of required

Recommended seasons are a general guide based on historical climatic data and typical performance of plantings, and which vary dependent on project-specific environmental conditions. Due to construction schedules, recommended planting seasons may/may not coincide with request(s) for certificate of occupancy for projects. Coordination of planting installation and seasons shall be reviewed with Owner

1. Oaks (Quercus Sp., Such as Q. rubra, Q. alba, Q. phellos, Q. coccinnea)

4. All Conifers and Evergreens except White Pine (Pinus strobus Sp.)

a. Install/plant between March 15 and June 15 and/or September 15 and November 30

a. Install/plant between March 15 and June 15 and/or September 15 and November 30

a. Install/plant between September 15 and December 15

a. Install/plant in season per approved schedule

a. Install/plant between March 15 and May 15 and/or September 15 and November 30 b. Do not install/plant seed or sod turf grass areas when ambient air temperature is below forty (40) degrees Fahrenheit, or forecast for a twelve (12) hour period after completion of work

a. Do not install plantings or turf grass between June 15 and September 15, without approval by Owner

1. Position plants to show the most-prominent and well-formed face to most-public view 2. Field locate plants and location/spacing/dimension of planting beds on project site prior to beginning

3. Verify location of individual plants and plant beds prior to beginning installation. Do not proceed without

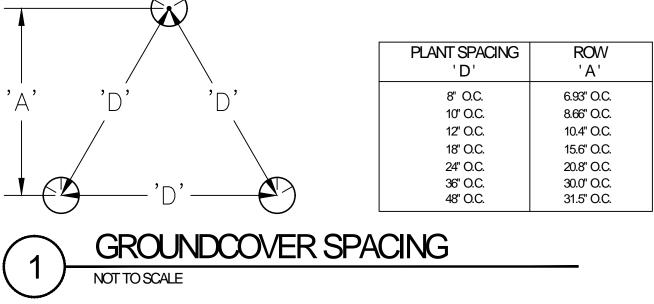
1. Pursue work continuously without delay or interruption until completion unless notified otherwise by Owner 2. Provide project submittals ahead of commencement of work. Landscape Architect requires a minimum of ten (10) working days from date of receipt for review of submittals and response to Owner and Contractor. Plan accordingly for procurement of materials

3. Continuously update implementation schedule and notify Owner of progress. Delays related to material availability are not cause for non-completion of scheduled delivery of work 4. Report delays due to weather or site conditions immediately upon finding. Provide recommendation for

remedy of schedule delays. Do not work, place or modify frozen soil 5. Report delays due to extraordinary natural or other conditions beyond control of Contractor

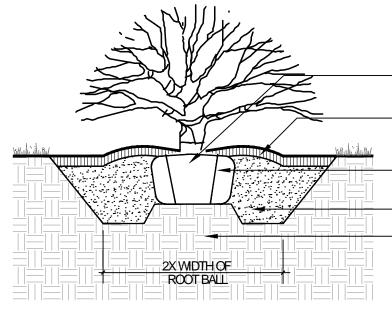
1. Remove trash, debris and work materials from site prior to request for substantial completion. Thoroughly clean surfaces impacted by work including building, parking areas, roadways, sidewalks, signs, lights, site

Repair any damage to existing conditions that occurred during execution of work. 3. All clean-up and demobilization procedures shall be performed to satisfaction of the Owner and Landscape NOTE: GROUNDCOVERS AND



SET GROUNDCOVERS AND PERENNIALS IN STAGGERED ROWS AT SPECIFIED SPACING. MULCH ENTIRE BED WITH 2" SHREDDED HARDWOOD MULCH OR

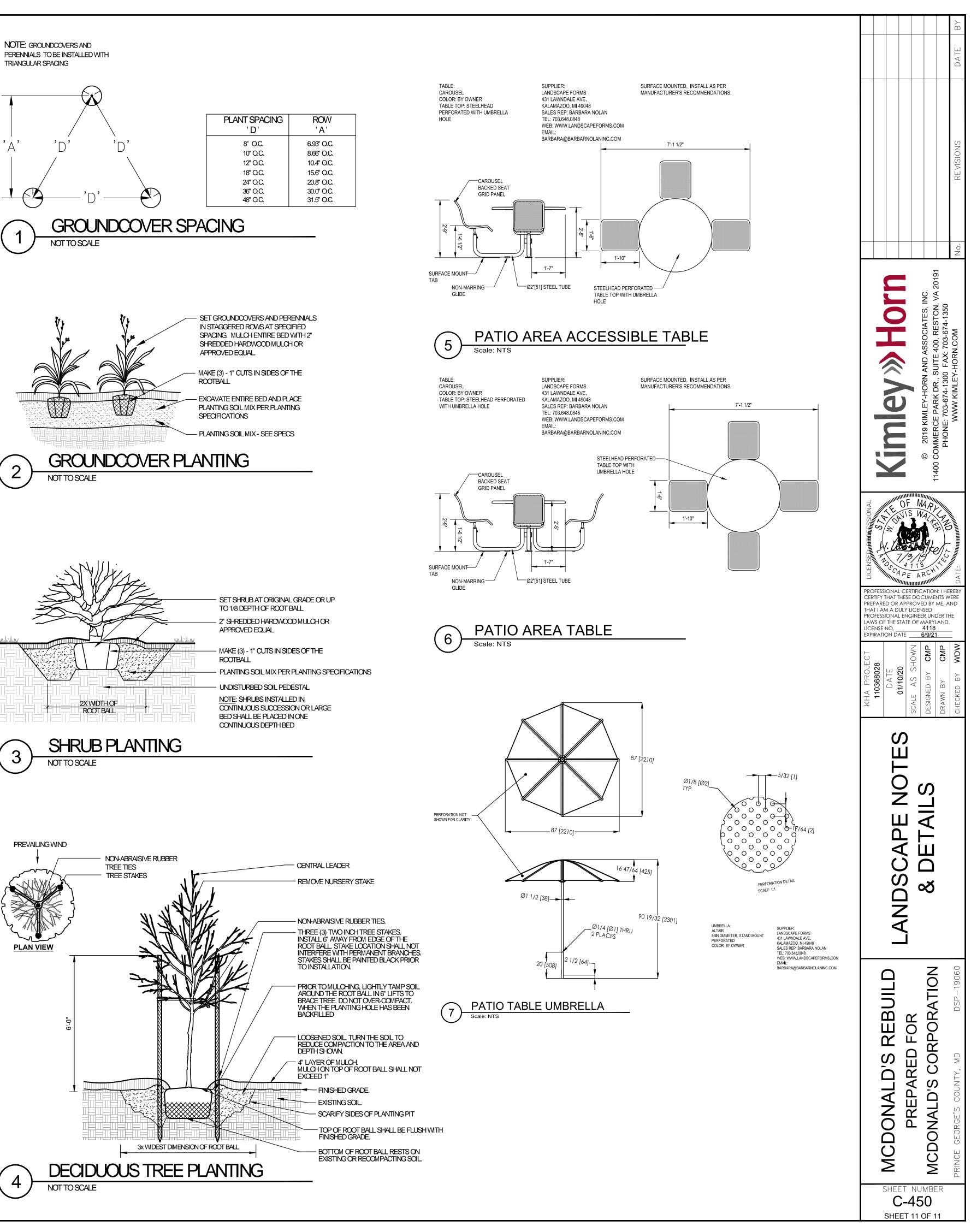




TO 1/8 DEPTH OF ROOT BALL 2" SHREDDED HARDWOOD MULCH OR

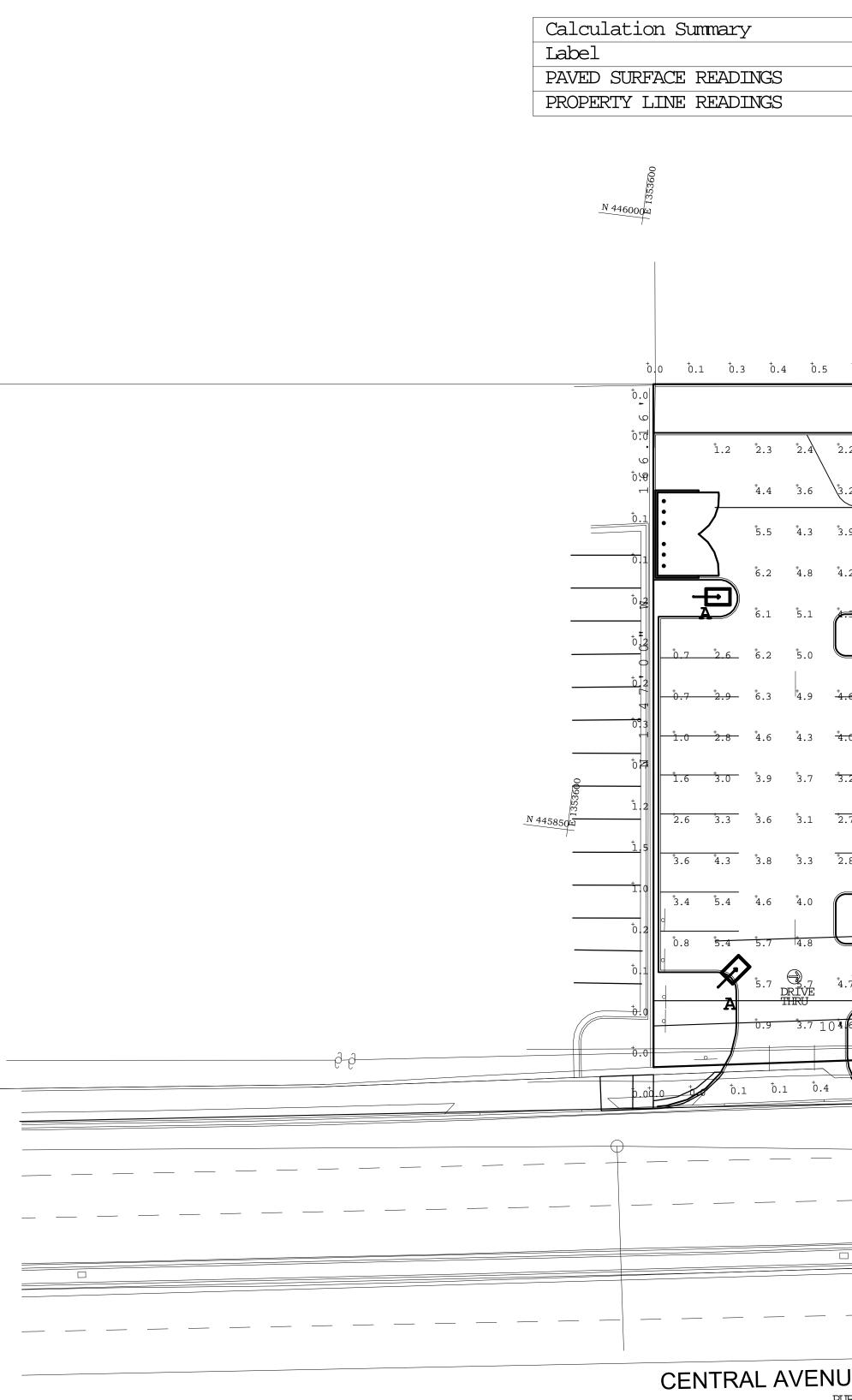
ROOTBALL

NOTE: SHRUBS INSTALLED IN CONTINUOUS SUCCESSION OR LARGE BED SHALL BE PLACED IN ONE



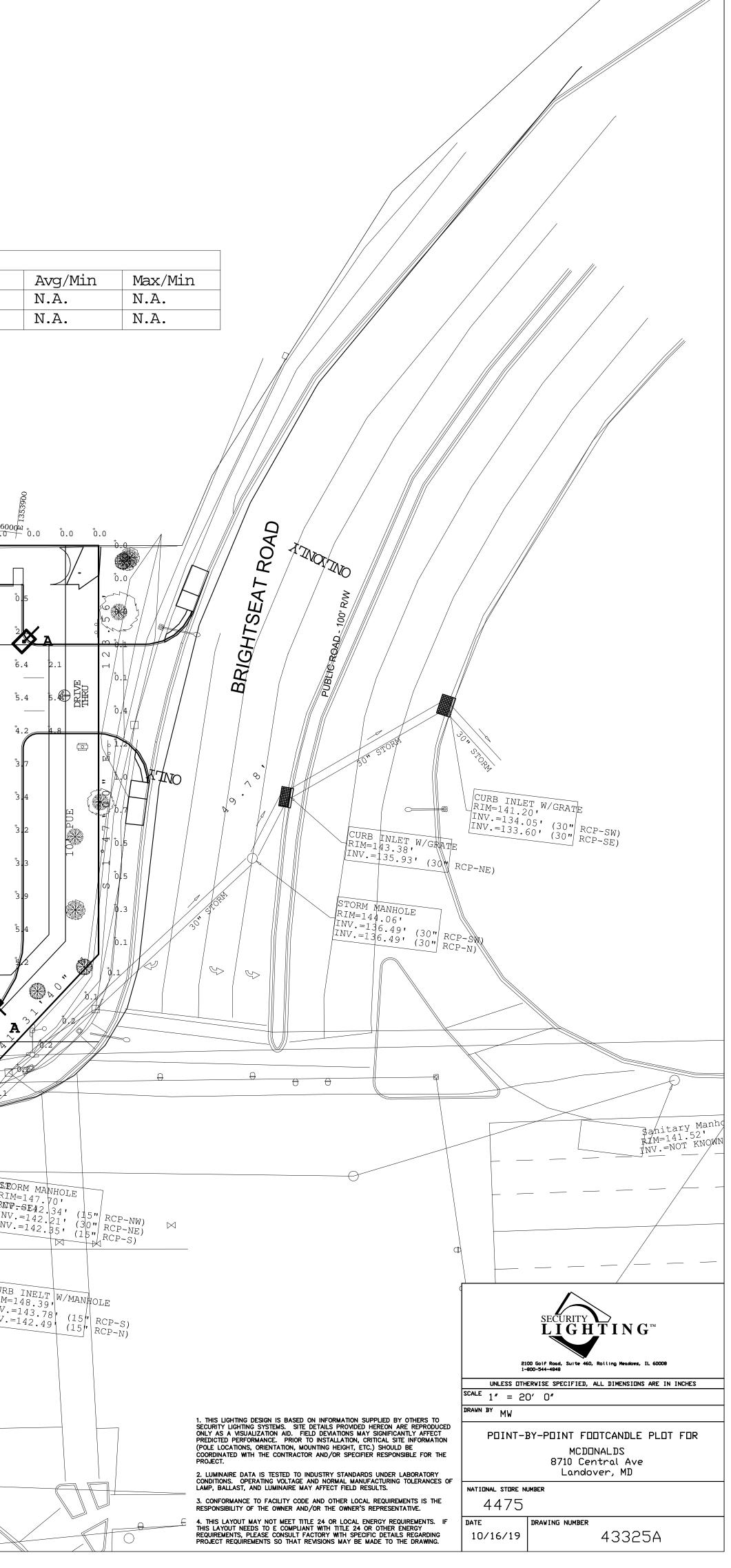
NDTES: I. THE FOOTCANDLE LEVELS AS SHOWN ARE BASED ON THE FOLLOWING CRITERIA. ANY SUBSTITUTIONS IN SPECIFIED FIXTURES OR CHANGES TO LAYOUT WILL AFFECT LIGHTING LEVELS SHOWN AND WILL NOT BE THE RESPONSIBILITY OF SECURITY LIGHTING.

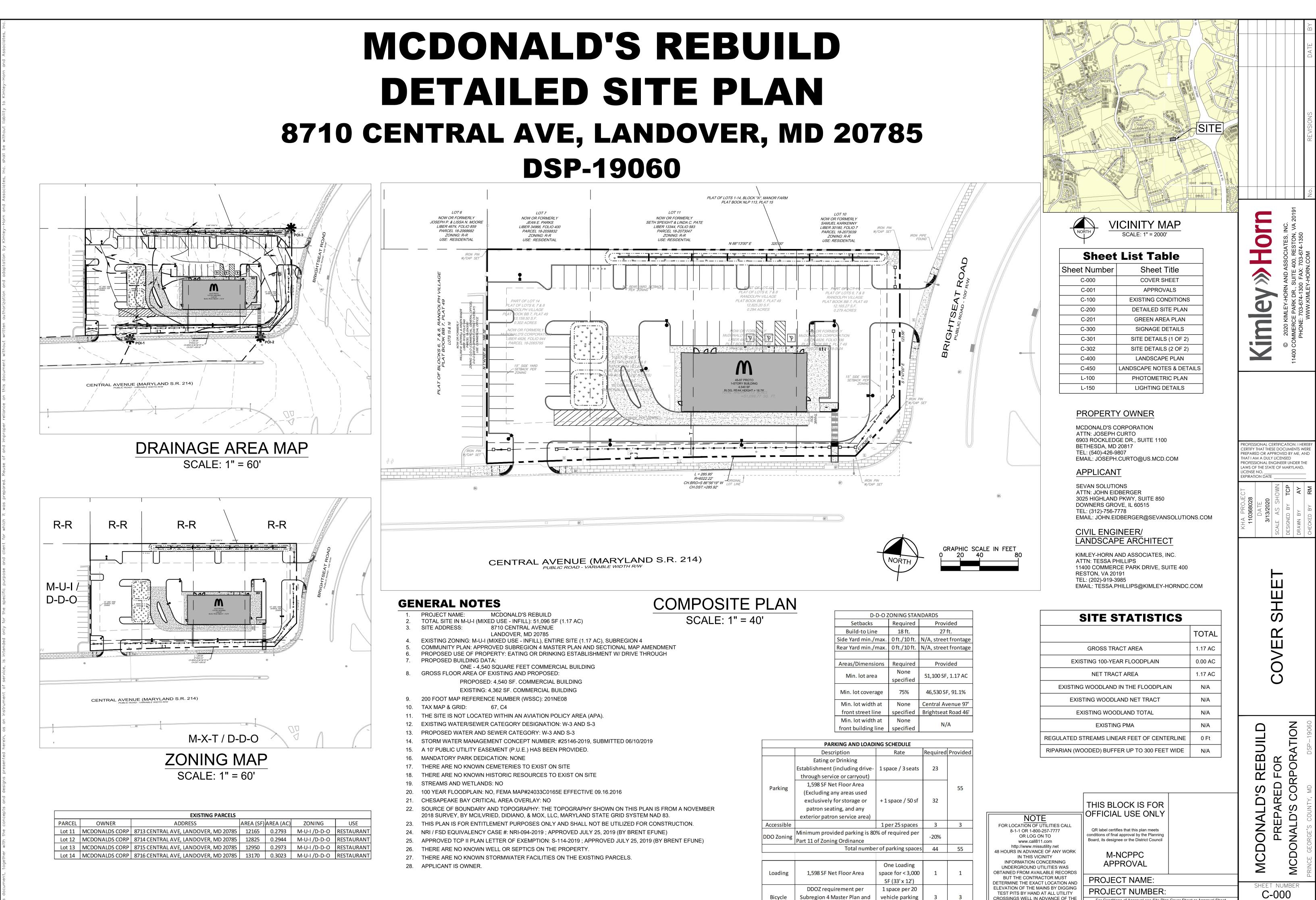
2. DISTANCE BETWEEN READINGS 10'



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	CURB TNLED W/MANHOSEORM RIM=148.15+ INV.=143.45, (15, RIM=1 INV.=143.45, (15, RIMP-S INV.=1 INV.=1
CENTRAL AVENUE (MARY LAND S.R. 214)	D CURB II RIM=148 INV.=14 INV.=14 INV.=14
Notice in the interval Notice in the interval Notice in the interval Notice in the interval Notice interval	
Image: Second	CURB INLET W/MANHOLE RIM=149.48, INV.=UNKNOWN

CalcType	Units	Avg	Max	Min
Illuminance	Fc	3.15	9.1	0.0
Illuminance	Fc	0.30	1.5	0.0





PROJECT NAME: MCDONALD'S REBUILD -			_	D-I	D-O ZONING S
TOTAL SITE IN M-U-I (MIXED USE - INFILL): 51,096 SF (1.17 AC) SITE ADDRESS: 8710 CENTRAL AVENUE	SCALE: 1" = 4	0		Setbacks	Require
LANDOVER, MD 20785				Build-to Line	18 ft.
EXISTING ZONING: M-U-I (MIXED USE - INFILL), ENTIRE SITE (1.17 AC), SUBREGION 4				Side Yard min./r	nax. 0 ft./10
COMMUNITY PLAN: APPROVED SUBREGION 4 MASTER PLAN AND SECTIONAL MAP AMEN				Rear Yard min./r	nax. 0 ft./10
PROPOSED USE OF PROPERTY: EATING OR DRINKING ESTABLISHMENT W/ DRIVE THROU PROPOSED BUILDING DATA:	UGH				
ONE - 4,540 SQUARE FEET COMMERCIAL BUILDING				Areas/Dimension	ons Require
GROSS FLOOR AREA OF EXISTING AND PROPOSED:				Min. lot area	None
PROPOSED: 4,540 SF. COMMERCIAL BUILDING					specifie
EXISTING: 4,362 SF. COMMERCIAL BUILDING				Min. lot covera	ge 75%
200 FOOT MAP REFERENCE NUMBER (WSSC): 201NE08					
TAX MAP & GRID: 67, C4				Min. lot width	
THE SITE IS NOT LOCATED WITHIN AN AVIATION POLICY AREA (APA).				front street lin	
EXISTING WATER/SEWER CATEGORY DESIGNATION: W-3 AND S-3				Min. lot width front building l	
PROPOSED WATER AND SEWER CATEGORY: W-3 AND S-3				ITOIL DUIDING I	ne specifie
STORM WATER MANAGEMENT CONCEPT NUMBER: #25146-2019, SUBMITTED 06/10/2019			PAR	KING AND LOADI	
A 10' PUBLIC UTILITY EASEMENT (P.U.E.) HAS BEEN PROVIDED.				iption	Rate
MANDATORY PARK DEDICATION: NONE				Drinking	nace
THERE ARE NO KNOWN CEMETERIES TO EXIST ON SITE			J. J	including drive-	1 space / 3 se
THERE ARE NO KNOWN HISTORIC RESOURCES TO EXIST ON SITE			through servi	.	
STREAMS AND WETLANDS: NO			1,598 SF Ne	t Floor Area	
100 YEAR FLOODPLAIN: NO, FEMA MAP#24033C0165E EFFECTIVE 09.16.2016		Parking	(Excluding a	ny areas used	
CHESAPEAKE BAY CRITICAL AREA OVERLAY: NO			exclusively	for storage or	+ 1 space / 50
SOURCE OF BOUNDARY AND TOPOGRAPHY: THE TOPOGRAPHY SHOWN ON THIS PLAN IS FROM A NOVEMBER			patron seat	ron seating, and any	
2018 SURVEY, BY MCILVRIED, DIDIANO, & MOX, LLC, MARYLAND STATE GRID SYSTEM NA			exterior patro	n service area)	
THIS PLAN IS FOR ENTITLEMENT PURPOSES ONLY AND SHALL NOT BE UTILIZED FOR CO		Accessible			1 per 25 spac
NRI / FSD EQUIVALENCY CASE #: NRI-094-2019 ; APPROVED JULY 25, 2019 (BY BRENT EFU		DDO Zoning		ded parking is 80 ⁴	% of required
APPROVED TCP II PLAN LETTER OF EXEMPTION: S-114-2019 ; APPROVED JULY 25, 2019 (B	BY BRENT EFUNE)	000 2011115	Part 11 of Zonin	*	
THERE ARE NO KNOWN WELL OR SEPTICS ON THE PROPERTY.				Total numbe	r of parking sp
THERE ARE NO KNOWN STORMWATER FACILITIES ON THE EXISTING PARCELS.					
APPLICANT IS OWNER.					One Loadin
		Loading	1,598 SF Ne	t Floor Area	space for < 3,

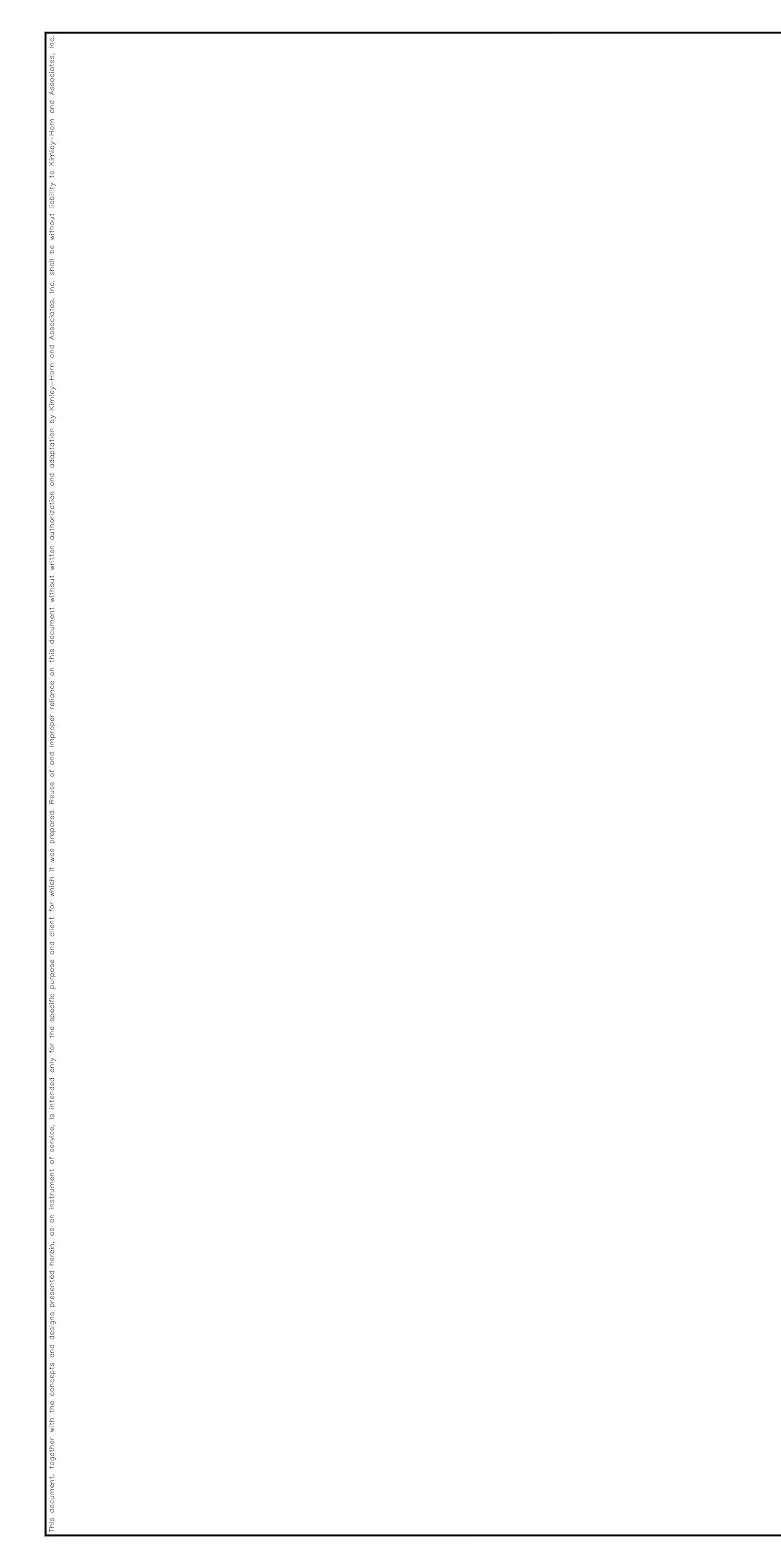
Sectional Map Amendment

spaces

CROSSINGS WELL IN ADVANCE OF THE START OF EXCAVATION.

For Conditions of Approval see Site Plan Cover Sheet or Approval Sheet Revision Numbers must be included in the Project Number

SHEET 1 OF 12



WOODLAND CC		ETTER OF I		APPLICATION FORM
Property Owner Name(s), Add Joseph Curto McDonald's Corporation 6903 Rockledge Dr., Suite 1		Tessa Phi Kimley-Hor 11400 Con	ips n and Associates, Inc. merce Park Drive, Suite	
Bethesda, MD 20817			: Tessa Phillips in american	
Payment by check, money Letter of Exemption from Woodlan Name on Check: Kimley-Horn and	d Conservation Ordinance (\$50)	Approved Plan #	N/A
PROJECT NAME:		McDonal	d's Relocation	
Street Address (if available) a 3710 Central Ave, Landover, MD 20				
Companion Case(s) and/or	Resolutions (Preliminary Pl Site Development	lan, Site Plan, or Speci Concept Plan #25146-2	al Exception, etc.): 2019-0, NRI-094-2019	
Total Area (acres):	1.32 ac	1	9065, 2070019, 2065795	WSSC Grid: 201NE08
Total Number of Lots or Parcel	s: 4	Current Zone:	M-U-I	Environmental Strategy Area (ESA (Plan 2035):
Lot Numbers/Blocks/Parcels: L	ots 11, 12, 13, 14 / Block 7	Overlay Zone:	D-D-O	Municipality(ies): Hyattsville
s this site in a Priority Funding	Area (PFA)? Yes]No	0094-01995-800-1108	n in an
Is there a historic site or resour	ce on the subject property	? Yes VNo	Historic S	ite ID
Has a Historic Area Work Perm	nit (HAWP) application been	n filed with the Histo	ric Preservation Cor	nmission? 🔲 Yes 🗹 No
Proposed Activity: Renovation	on of existing bui l din	g and associate	ed site improve	ments
		BE COMPLETE		
APPLICATION TYPE: Number	Construction of the second			S-114-2019
Acceptance Date: 07/15/201			15 a. 1 a.	Filing Fee: \$50.00
Conservation Ordinance (We previous TCP approvals and is less than 40,00 contains less than the project is subj Your request for a Numbere Conservation Ordinance (We This Less square feet of woodland; how results in the clea the project is a go of proposed clean the proposed clean the proposed active This letter is valid for two years specified above during the variable the Numbered Exemption material	CO) is hereby approved. I: IO square feet in size; and/on a 10,000 square feet of wood ect to the Maryland Forest ad Letter of Exemption (CO) is hereby approved. The etter of Exemption is issued wever the project has no pro- ring of less than 5,000 square overnment or linear project of ring is); or vity is for a timber harvest. ars from approval or until alidity period. If a develop ay be considered invalid i	This Standard Letter or odland; or Conservation Act ar N/A) from the Pri The site plan is prepa because the site is revious TCP approva are feet of woodland that results in the cle such time as the coment review appli n accordance with	of Exemption is iss and will be reviewed b ince George's Count ared by over 40,000 square als and: I (acreage of propos earing of less than 2 cumulative woodlar cation (preliminary	y Woodland and Wildlife Habitat ued because the property has no by Department of Natural Resources ty Woodland and Wildlife Habitat and dated feet in size and contains over 10,000 ed clearing is); or 0,000 square feet of woodland (acreage nd disturbance exceeds the minimum plan, detailed site plan, etc. is requir 5)(A). A copy of this letter must be
submitted at time of develop Preparer Initials: Brent Efune	ment activity or permit ap	oplication.	Erne	St Digitally signed by Ernest Fields
Droparor Initialat	-5/2019		lanner Initials: Field	
Preparer Initials: Approval Date:07/25				



APPLICANT'S NAME:

REOUIREMENTS:

These fees apply: None. These bonds apply: None.

No special conditions apply. Required easements: None.

CASE NAME:

ENGINEER :

ng, mspe r and Enforcement Site/Road Plan Review Division 9400 Peppercorn Place, Suite 420 Largo, Maryland 20774

(301) 883-5710

RANDOLPH VILLAGE LOT 13 BLOCK 7

Storm Water Management fee payment of none in lieu of providing on-site attenuation/quality control measures.

McDonald's Corporation

Technical Review is required for PUBLIC/PRIVATE Storm Drain/SWM Construction.

Required water quality controls: EXTENDED DETENTION, SEE CONDITIONS.

Type of Storm Drainage/SWM Construction is PRIVATE.

Required water quantity controls: 100 YEAR ATTENUATION(S).

(Fee-In-Lieu subject to change during technical review.)

These additional approvals are required: None.

Kimley-Horn and Associates, Inc.

STORMWATER MANAGEMENT CONCEPT APPROVAL



CASE #: 25146-2019-00

					B
					DATE
M-NCPPC - Countywide Planning	Division, Environme	ental Planning Section Send to	: PPD-EnvPlanning@ppd.mncppc.org		DA
			Marlboro, Maryland 20772 + 301-952-3650		
APPLICATION		NRI EQUIVALENCY	LETTER ONLY		
Owner Name and Address:	APPLICANT IC	Agent/Contact, Company, Add	Iress, Phone and E-mail (all required):		
Joseph Curto McDonald's Corporation		Tessa Phillips Kimley-Horn and Associates, Inc. 11400 Commerce Park Drive, Suite 400	(703)-674-1300 Tessa.Phillips@Kimley-HornDC.com		SNC
6903 Rockledge Dr., Suite 1100 Bethesda, MD 20817		Signature: Tessa Phillips	Date: 06/11/2019		REVISIONS
PROPERTY OR PROJECT NAME:	ND:00705	McDonald's Relo	ocation		L L
Street Address: 8710 Central Ave, Lando Previous Applications (NRI, TCP1, or	- 10 FE SURVEY, IN FURNISHING STATE FOR THE STATE				
Previous DRD applications: (Prelimina Total Area (acres): 1 32 ac	- S. M		SE-3805 WSSC Grid: 201NE08		
Lot/Block/Parcel: Lots 11, 12, 13, 14 / Block		2019003, 2010019, 2003793	Environmental Strategy Area (ESA)		
7 Proposed Activity:			(Plan 2035): 🔽1 🗖2 🗍3 🧍4		No.
Will the proposed project require a					91
NRI EQUIVALENCY LETTER CHECK	1				с. А 20191
For Project Type 1 and 2		Woodland Conservation, submit	Project Type 2 only If subject to Woodland conservation:		5, INC N, VA 50
showing existing conditions (signed)	one of the follow	ving: on for Letter of Exemption, or	(1) copy of approved TCP2 (if applicable).		АТЕ? ESTO '4-13'
(2) copies of any other information provided by the applicant and listed here:	Copy of a	previously Issued Letter of	CBCA #:		2020 KIMLEY-HORN AND ASSOCIATES, INC. IMERCE PARK DR., SUITE 400, RESTON, VA PHONE: 703-674-1300 FAX: 703-674-1350 WWW.KIMLEY-HORN.COM
(3) Coversheet	Exemption (Sta	ndard or Numbered)	Other:		D AS TE 40 AX: 7 DRN.
Date Received:06/18/2019 Rev		BE COMPLETED BY EPS ST	AFF) RI No.: NRI-094-2019		N AN SUI SUI SUI
Reason for return of the package:	viewed for Acceptance	N/A	Date Returned:N/A	ley	© 2020 KIMLEY-HORN A 1400 COMMERCE PARK DR., SI PHONE: 703-674-1300 WWW.KIMLEY-
	Reviewer Assigned:	- Duo Duto.	(30 days from acceptance date)	G	ALEY PARI 703-6 WW.I
most current color imagery aerial photogra	aphy and the PGatlas	.com environmental layers. If the	ng the submitted proposed site plan and the scope of the proposed activity or limits of the date of issuance, or until such time as a	J	
different development activity is proposed.	, whichever comes fir	st. The submitted request was fou	nd to meet the following checked criteria.		202 MMME PHC
Conservation Ordinance.			's County Woodland and Wildlife Habitat		© CO 0 CO
The site has a previously approved and	l implemented Type Tr	ee Conservation Plan().		1140
The submitted proposed site plan, dated environmental features are located on the	d 6/11/19 and the subject site or no on-	prepared by JOHN KAUPPILA site regulated environmental features	demonstrates that no regulated will be impacted.		
	d and limits of disturbance of th	prepared by ne previously approved TCP or crea	shows that the proposed work will not te any additional impacts to any regulated		
The site is within the Chesapeake Bay of than 500 square feet of disturbance, or		ne and the submitted site plan demon	strates that the proposed activity will result in less		
(Other)					
		ED AT THE TIME OF STORMWA	210		
Preparer Initials:	24	Ern Planner Initials: <u>Fie</u>	ds Data: 2019.07.25 11 48 49 -04107		
Approval Date: 07/25/2019		Expiration Date:	07/25/2024	PROFESSIONAL CERTIFIC CERTIFY THAT THESE DOO PREPARED OR APPROVE	CUMENTS WERE
			Last Updated: June 2016	THAT I AM A DULY LICEN PROFESSIONAL ENGINEE	NSED ER UNDER THE
				LAWS OF THE STATE OF N LICENSE NO. EXPIRATION DATE	MARYLAND.
THE PRINCE (GEORGE'S	S COUNTY GOV	ERNMENT	⊢ Z×	AY RM
CEORGES Depa	rtment of Per	mitting, Inspections		COJECT 8028 11E 020 SHOWN	
BOD		orcement		PR(DAT DAT AS	Ю ВҮ ВҮ D ВҮ
ALN ALN	5 - 1 1 1 1 1 1 1 1 - 1 1 1 1 1 1 1 1 1	Review Division	IJFIE	KHA 110 3/1 SCALE	DESIGNED DRAWN B CHECKED
MARYLAND	Largo, Mar	yland 20774 83-5710	DEPARTMENT OF PERMITTING, INSPECTIONS AND ENFORCEMENT	SC	DEDR
STORMWAT	(Approximate the second	EMENT CONCEPT A	APPROVAL		
	VILLAGE_LOT 13_BL		CASE #: 25146-2019-00		
CONDITIONS OF APPROVAL:					
1. THIS PROJECT INVOLVES REDEVELO			것같이 많은 사람이 있는 것을 잘 못 한 것을 알려야 하는 것을 하는 것이 없다.		
TREAT FOR 100% WQV OF THE IMPERVI CPV FOR NEW IMPERVIOUS AREA USIN			REA AND 100% WQv AND	A A	
2. LANDSCAPE PLANS ARE REQUIRED A	AT TECHNICAL REVI	EW.			
3. THIS PROJECT WILL REQUIRE A SITE	DEVELOPMENT FIN	E GRADING PERMIT.			
4. ADEQUACY ANALYSIS OF THE RECEI	IVING CONVEYANCE	SYSTEM IS REQUIRED.			
5. ESD TO THE MEP PROPOSED USING	(2) MICRO-BIO, (1) E	BIO-SWALE, (1) FILTERRA.			
6. 100-YEAR QUANITY MANAGEMENT R	EQUIRED (ESD STO	RAGE CANNOT BE USED AS QU	JANTITY MANAGEMENT).	APPROVAL	
APPLICANT SHOWING UNDERGROUND	그는 지난 1일을 만나 있는 것 같이 많은 것 같아? 것 같아? 한 것 같아? 가슴을 가지?		nga ngawa na katalang nga nga nga nga nga nga nga nga nga		
7. UNDERDRAINS ARE REQUIRED FOR I REVIEWED BY CC/MT	BIO-RETENTION AN	D BIO-SWALES.			
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					DSP-19060
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				ONALD'S REB	AN YGE
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				IC D	CDOI
				MCDONALD'S REBU	MCDONALD'S CORPORA PRINCE GEORGE'S COUNTY, MD DS
					IMBER

	APPLICANT TO	NRI EQUIVALENCY			
Owner Name and Address: Joseph Curto		Tessa Phillips	dress, Phone and E-mail (all re (703)-674-1300	quired):	
McDona l d's Corporation 6903 Rockledge Dr., Suite 1100		Kimley-Horn and Associates, Inc. 11400 Commerce Park Drive, Suite 400	Tessa.Phillips@Kimley-H		
Bethesda, MD 20817 PROPERTY OR PROJECT NAME:		Signature: Tessa Phillips Determined McDonald's Rel		06/11/2019	
Street Address: 8710 Central Ave, Landov					
Previous Applications (NRI, TCP1, or T Previous DRD applications: (Preliminar		or Special Exception):	SE-3805		
Total Area (acres): 1.32 ac		2019065, 2070019, 2065795	WSSC Grid: 201NE		
Lot/Block/Parcel: Lots 11, 12, 13, 14 / Bloc 7 Proposed Activity:		M-U-I	Environmental Strategy Area (Plan 2035): 7122	_34	
Will the proposed project require a D		isting building and associated (Preliminary Plan, Site Plan,		ÎN.	
NRI EQUIVALENCY LETTER CHECK For Project Type 1 and 2	LIST: each box m		sted as "N/A" for not applica Project Type 2 only	ible	
(1) copy of a proposed Site Plan		Voodland Conservation, submit		rvation:	
showing existing conditions (signed) (2) copies of any other information		n for Letter of Exemption, or	(1) copy of approved TC applicable).	2P2 (if	C
provided by the applicant and listed here:		previously Issued Letter of dard or Numbered)	CBCA #:		
(3) Coversheet	A CONTRACTOR CONTRACTOR REPORTS TO A	E COMPLETED BY EPS ST	Other:		
			RI No.:	plan and the r limits of ich time as a d criteria.	
Reason for return of the package: Dated Accepted:07/15/2019 R	eviewer Assigned:	N/A BFE Due Date: 08/	Date Returned: N/A	ince date)	1
This APPROVAL for the above reference	d project and locatio	on is based upon information us	sing the submitted proposed site p	olan and the	
most current color imagery aerial photograp disturbance change significantly, a full NRI different development activity is proposed, y	may be required. This	s letter is valid for five years from	m the date of issuance, or until su	r limits of ich time as a d criteria.	
The site qualifies for a Standard or Numb Conservation Ordinance,				ibitat	
The site has a previously approved and in	mplemented Type Tre	e Conservation Plan().		
The submitted proposed site plan, dated environmental features are located on the	6/11/19 and p	prepared by JOHN KAUPPILA		.ted	
The submitted proposed site plan dated result in any significant changes to the lim	and p	prepared by	shows that the proposed wo	rk will not ulated	
environmental features. The site is within the Chesapeake Bay Cr	ritical Area Overlay Zone				
than 500 square feet of disturbance, or no (Other)	o variance is required.				
	MAY BE REQUIRE	D AT THE TIME OF STORMW	ATER CONCEPT REVIEW.		
Preparer Initials: Brent Efune			216		
Approval Date: 07/25/2019 THE PRINCE G	EORGE'S	Planner Initials: <u>Fi</u> Expiration Date: COUNTY GOV	nest Digital Migned by Errorst Parts 20100 07/25/2024 Last Upd:	ated: June 2016 PROFESSIC CERTIFY TH PREPARED THAT I AM PROFESSIC LAWS OF LICENSE N EXPIRATION	HAT TI O OR J N A DU ONAL THE S IO
Approval Date: 07/25/2019 THE PRINCE G	EORGE'S tment of Pern and Enfo ite/Road Plan F	Planner Initials: <u>Finder Expiration Date</u> :	nest Digital Migned by Errorst Parts 20100 07/25/2024 Last Upd:	ated: June 2016	HAT TH D OR A D OR A
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CON	DITIONS OF APPROVAL:

A maintenance agreement is required.

Please see second page.

APPROVED BY:

Rh

Rey De Guzman APPROVAL DATE: October 16, 2019

EXPIRATION DATE: October 16, 2022

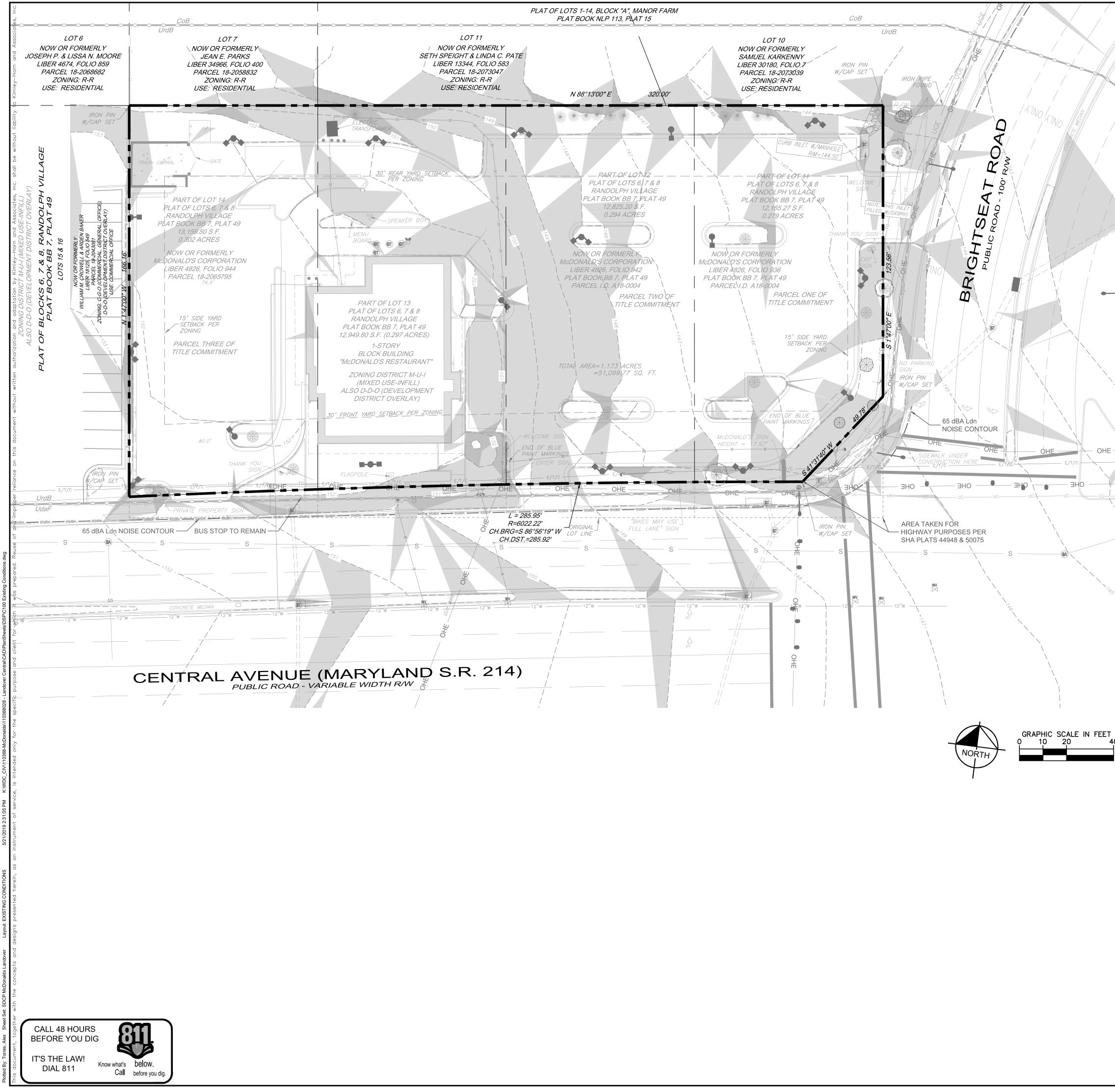
CC: APPLICANT, SCD, PERMITS P.G.C. FORM #3693 (REV 04/93)

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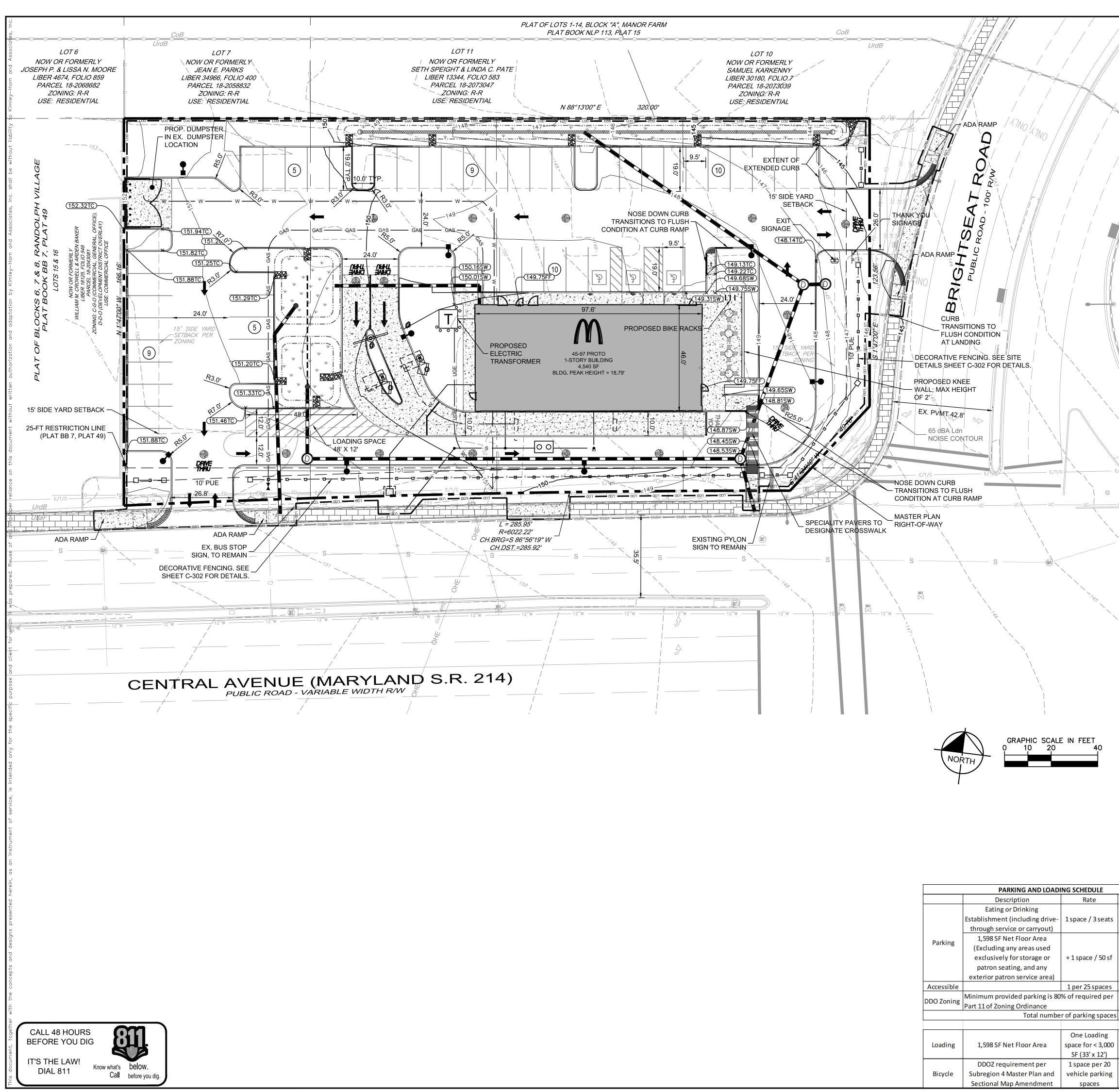
ADC MAP: STREET NAME: WATERSHED: NUMBER OF DU'S:

FOR OFFICE USE ONLY

200' SHEET: CENTRAL AVE AVE 01-Patuxent River COST PER DWELLING: 0 0

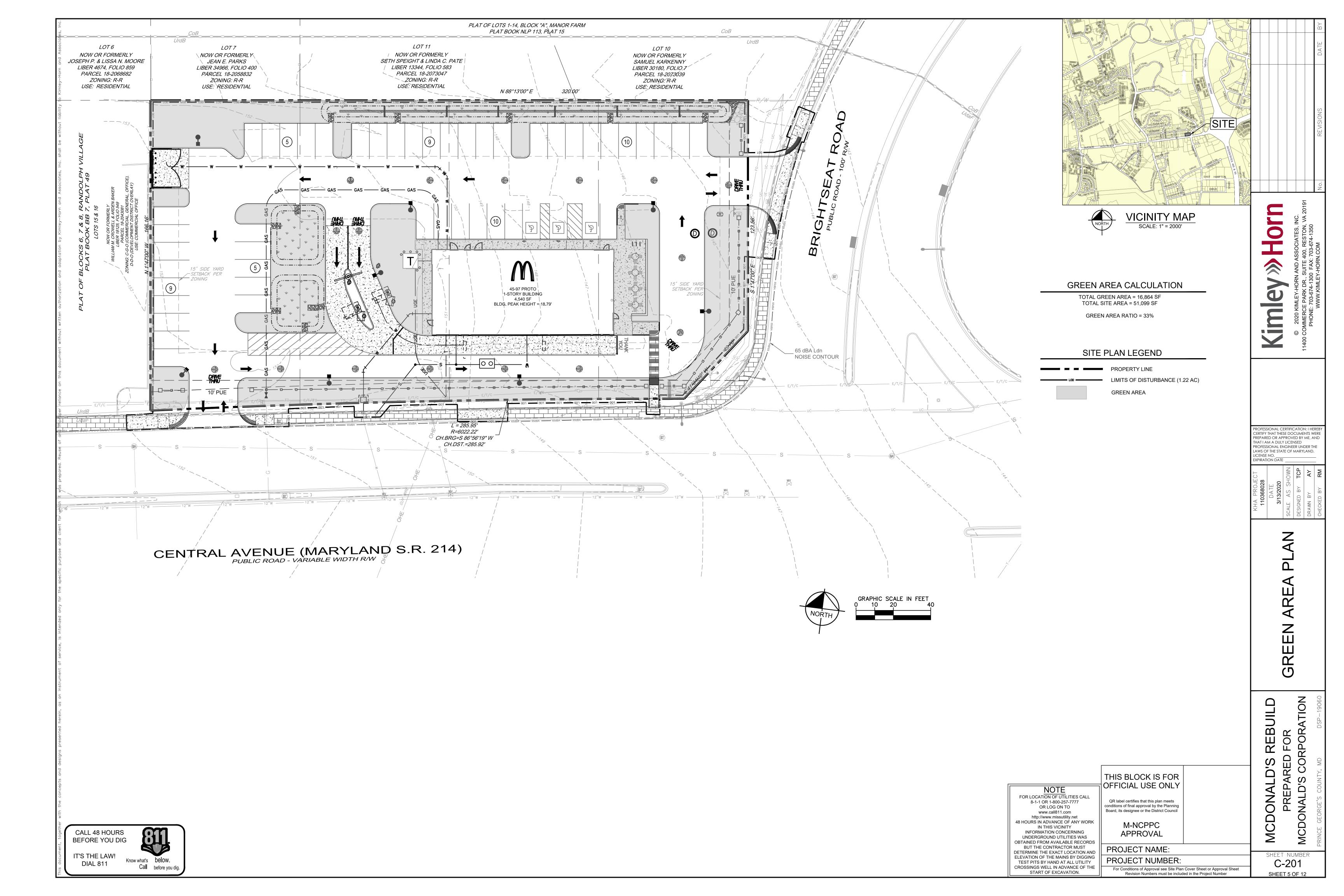


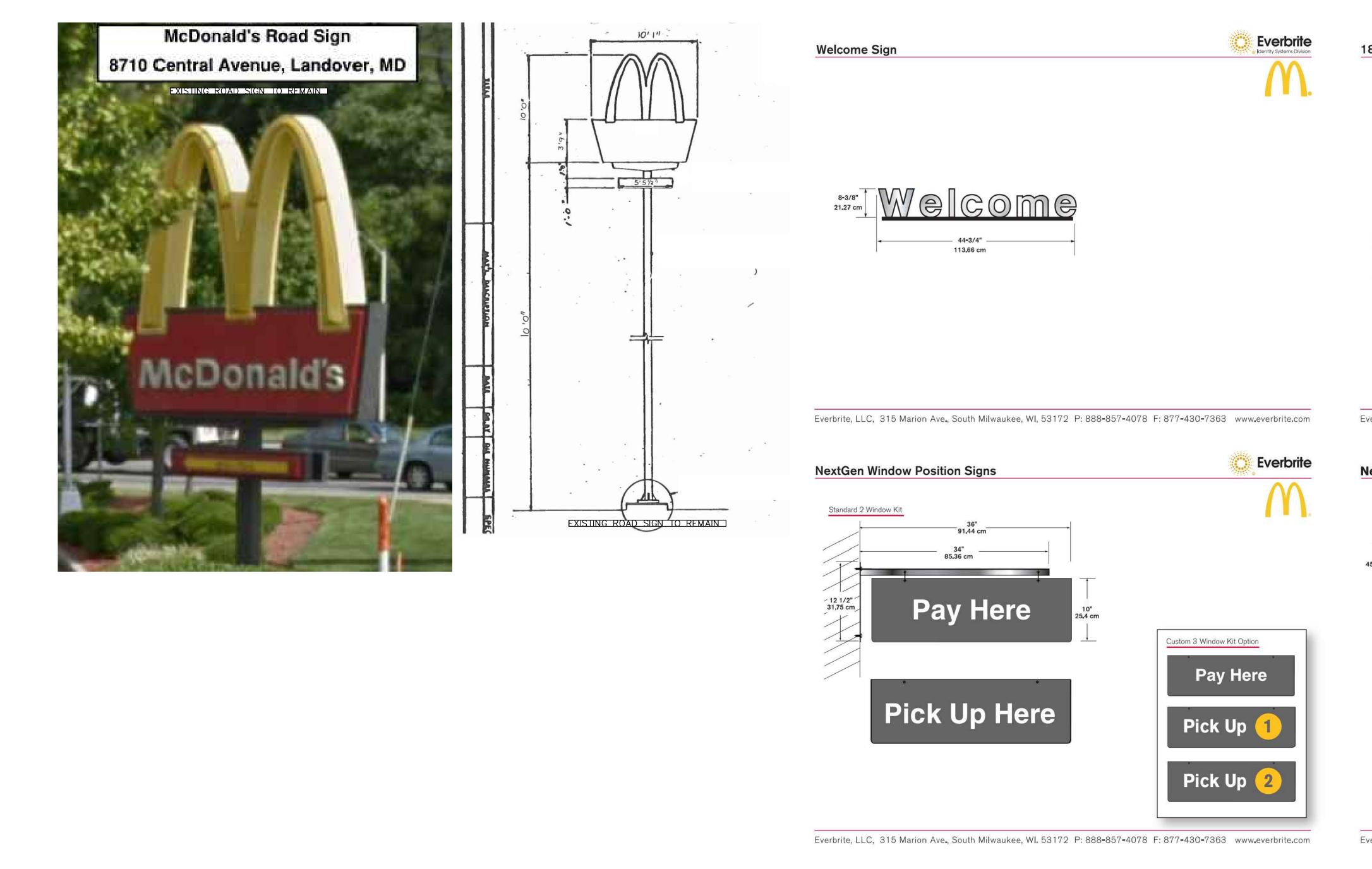
	<image/>	OCIATES, INC. RESTON, VA 20191 3-674-1350 No. No. REVISIONS
	 PROPERTY LINE ADJACENT PROPERTY LINE CURB GAS LINE WATER LINE STORM DRAIN SANITARY LINE UNDERGROUND ELECTRIC OVERHEAD ELECTRIC COMBINATION ELECTRIC, TELECOM, COMMUNICATION UNDERGROUND COMMUNICATION FIBER OPTICS SOIL BOUNDARY POWER POLE LIGHT POLE TREE SANITARY MANHOLE STORM MH WATER VALVE WATER MANHOLE HYDRANT RIP-RAP SLOPES (5-15%) 	KHA PROJECT I10368028 110368028 10368028 110368028 130368028 110368028 130368028 DATE 0 3/13/2020 3/13/2020 3/13/2020 3/13/2020 3/13/2020 3/13/2020 SCALE AS SHOWN SCALE AS SHOWN SCALE AS SHOWN ENCHORATION AND ASSOCIATE OBESIGNED BY TCP IT401 CONTREATION AND ASSOCIATE DRAWN BY AY CHECKED BY RN COMMERCE PARK DR., SUITE 400, RESTO DRAWN BY ANW.KIMLEY-HORN AND ASSOCIATE 11400 COMMERCE PARK DR., SUITE 400, RESTO PHONE: 703-674-13
CONCRETE MEDIA	SLOPES (>15%) STRUCTURE LIGHT POLE	CONDITIONS
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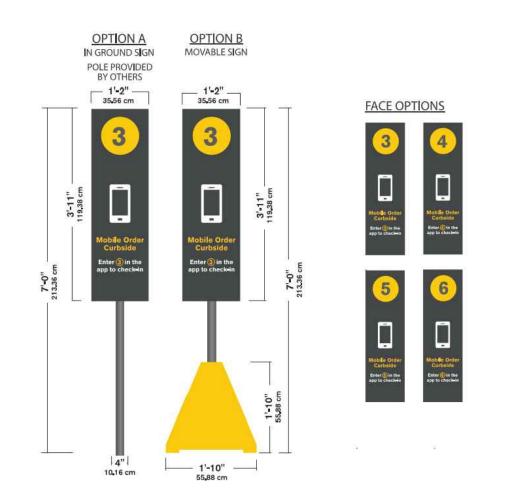
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NORTH VICINITY MAP SCALE: 1" = 2000'	S, INC.
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E/T/C LOD LOD LOD LIMITS OF DISTURBANCE (1.22 AC)	
s PROPOSED SANITARY SEWER LINE uc S EXISTING SANITARY SEWER PIPE	
UGE — UGE — PROPOSED UNDERGROUND CONDUIT (ELECTRIC)	
m T PROPOSED UNDERGROUND TELEPHONE m w PROPOSED WATER LINE	PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND
	THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO.
	EXPIRATION DATE
PROPOSED PERFORATED STORM PIPE	ROJE 8028 7TE 2020 87 87
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PROPOSED BUILDING	
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32 THIS BLOCK IS FOR NOTE OFFICIAL USE ONLY	
3 3 r -20% FOR LOCATION OF UTILITIES CALL 8-1-1 OR 1-800-257-7777 OR LOG ON TO www.call811.com OR Log on to www.call811.com OR Log on the District Council	MCDONAI PREP MCDONALD'
es 44 48 48 HOURS IN ADVANCE OF ANY WORK IN THIS VICINITY M-NCPPC	
D 1 1 INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS BUT THE CONTRACTOR MUST	MCI MCI
DETERMINE THE EXACT LOCATION AND ELEVATION OF THE MAINS BY DIGGING TEST PITS BY HAND AT ALL UTILITY PROJECT INAIVIE. PROJECT NUMBER:	SHEET NUMBER
CROSSINGS WELL IN ADVANCE OF THE START OF EXCAVATION. For Conditions of Approval see Site Plan Cover Sheet or Approval Sheet Revision Numbers must be included in the Project Number	SHEET 4 OF 12

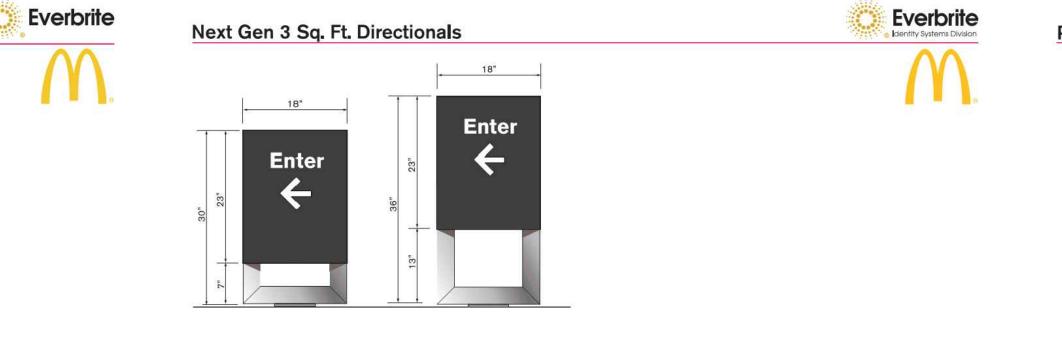


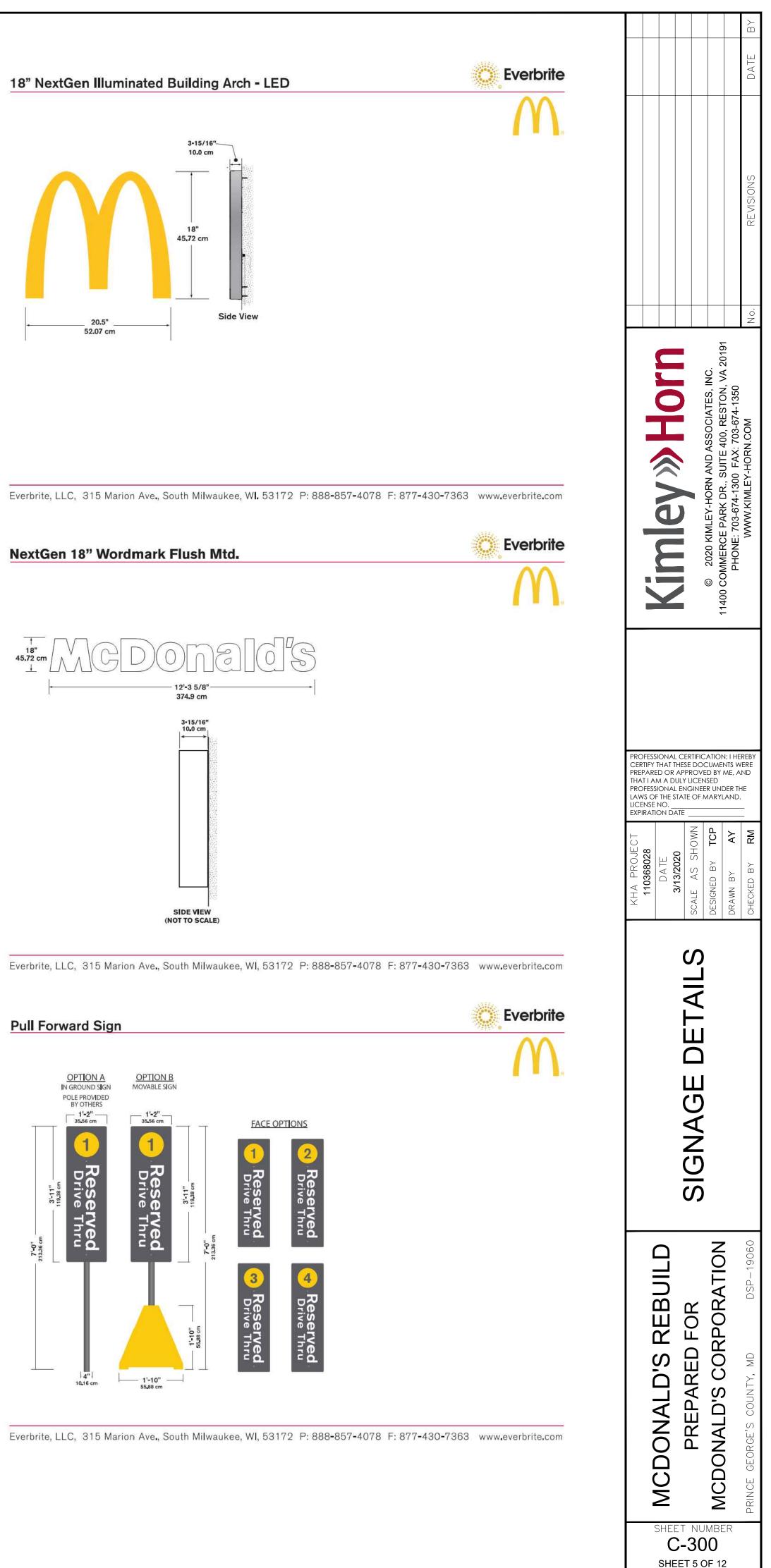


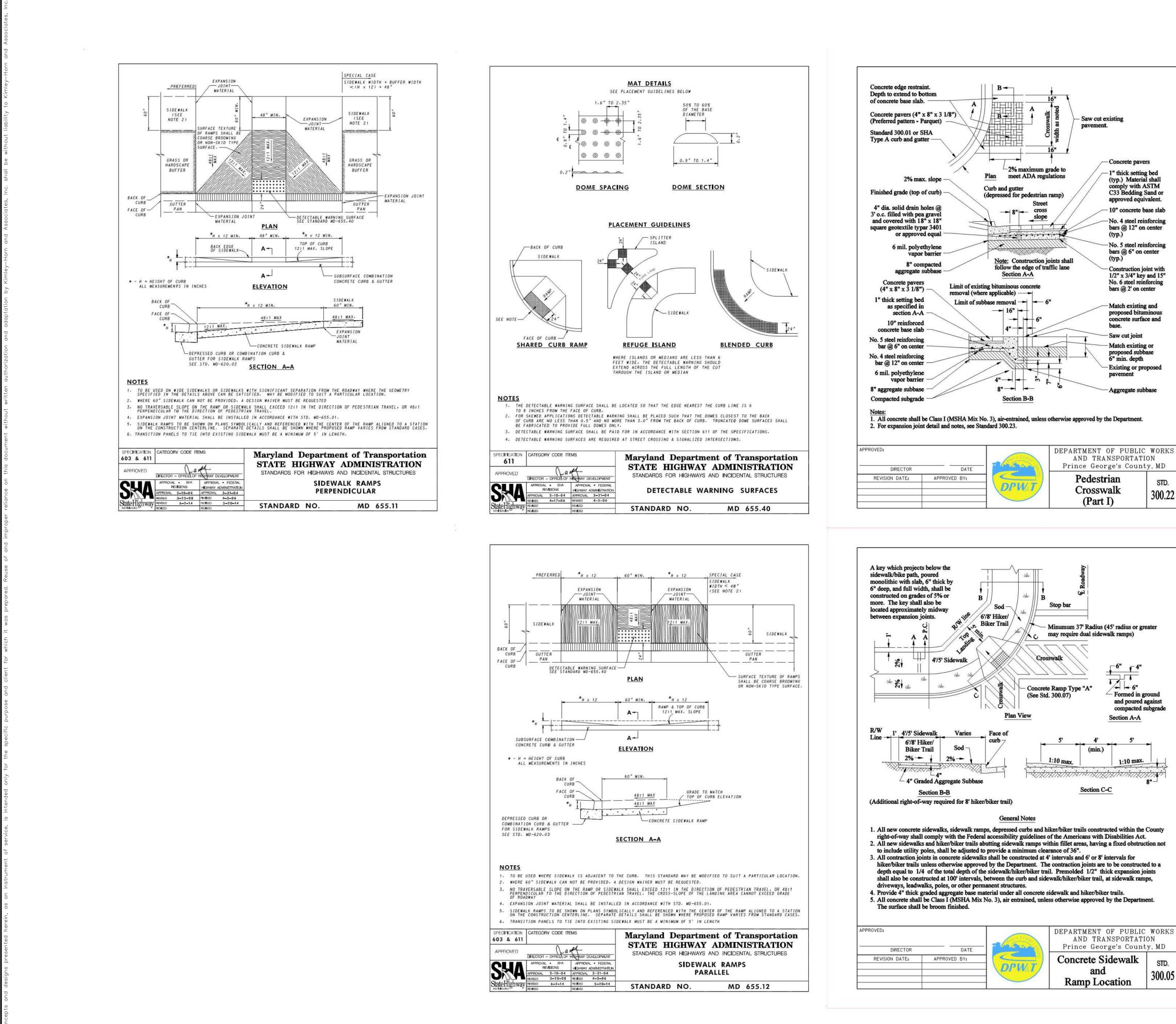
Mobile Ordering Curb Signage



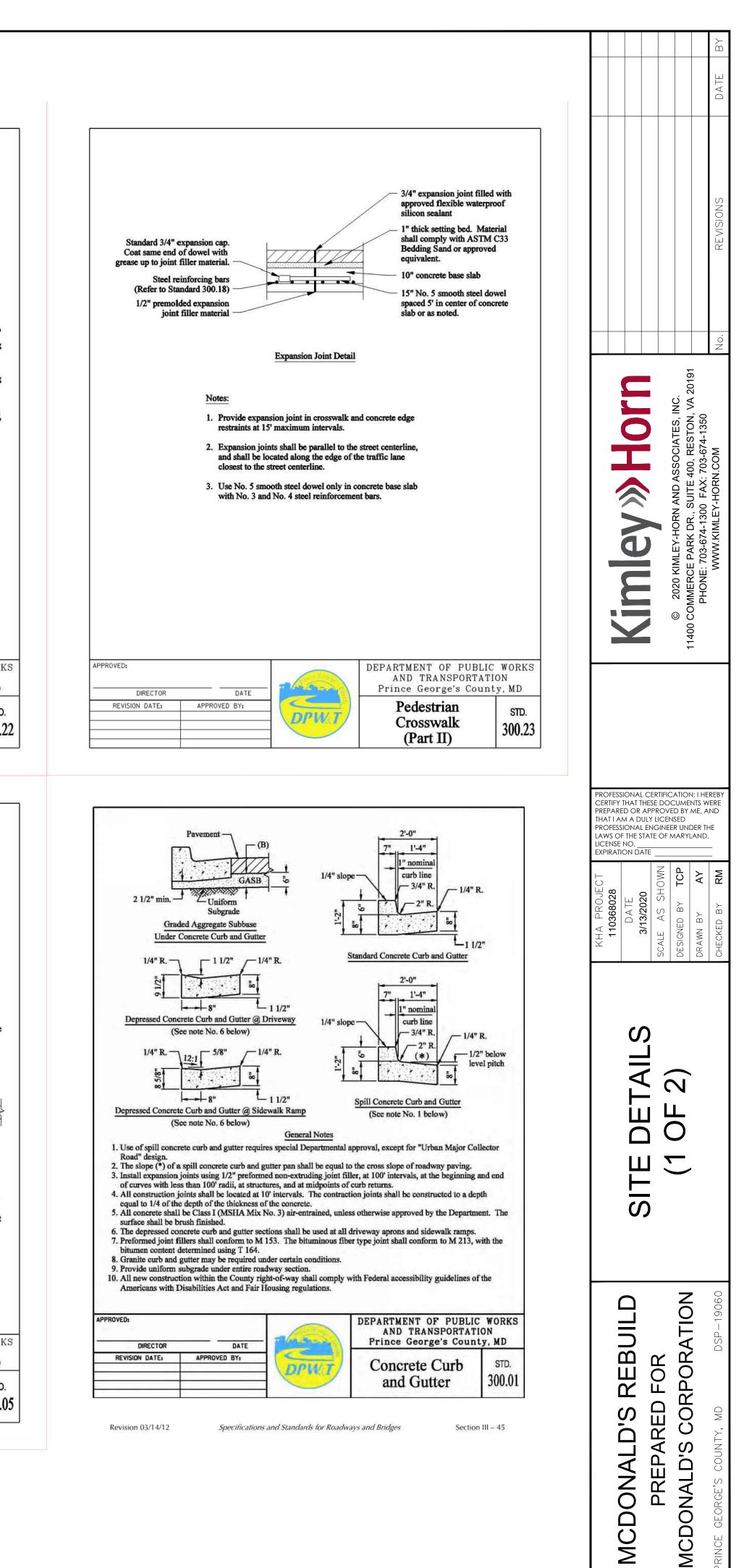
Everbrite, LLC, 315 Marion Ave., South Milwaukee, WI, 53172 P: 888-857-4078 F: 877-430-7363 www.everbrite.com





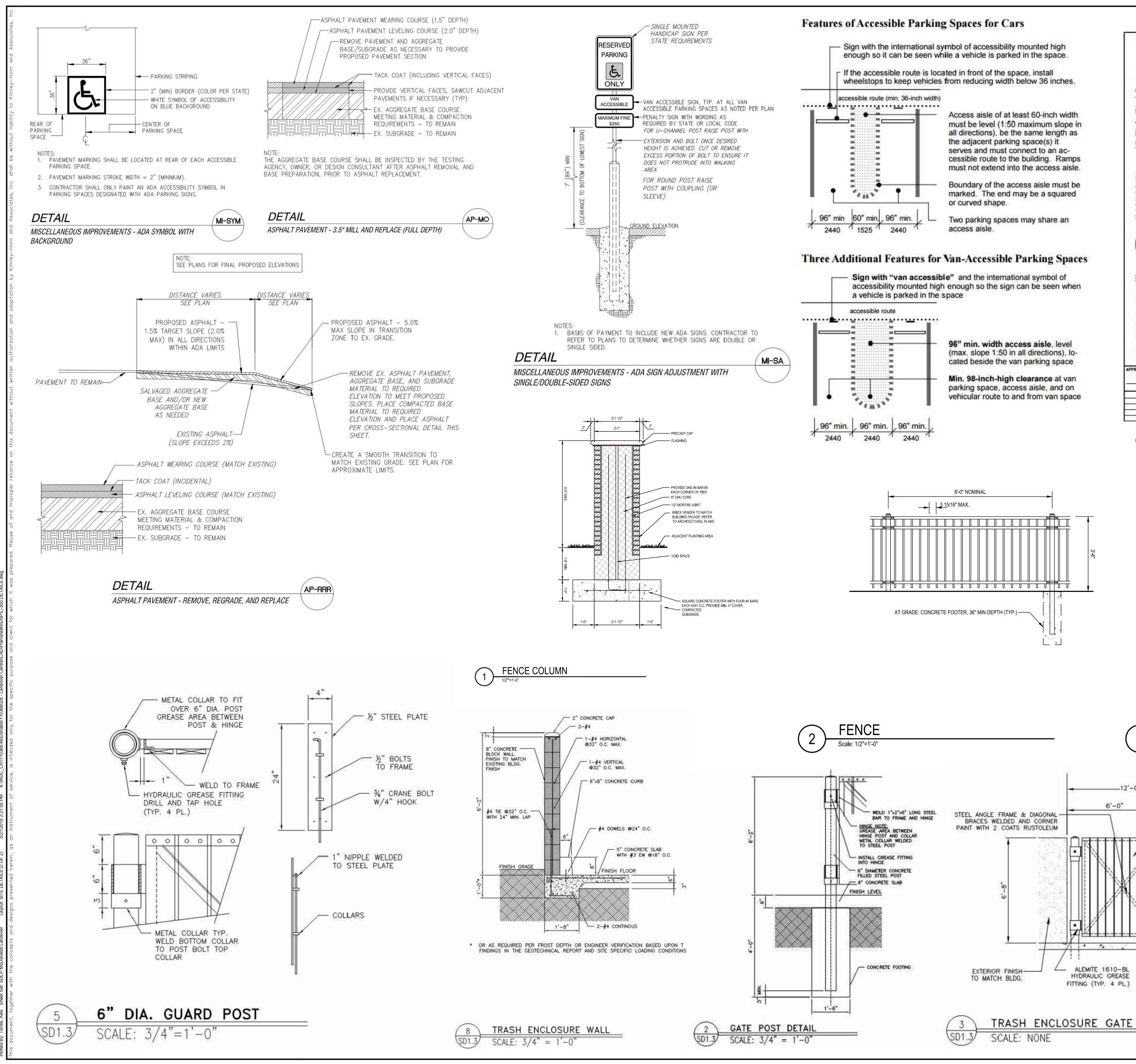


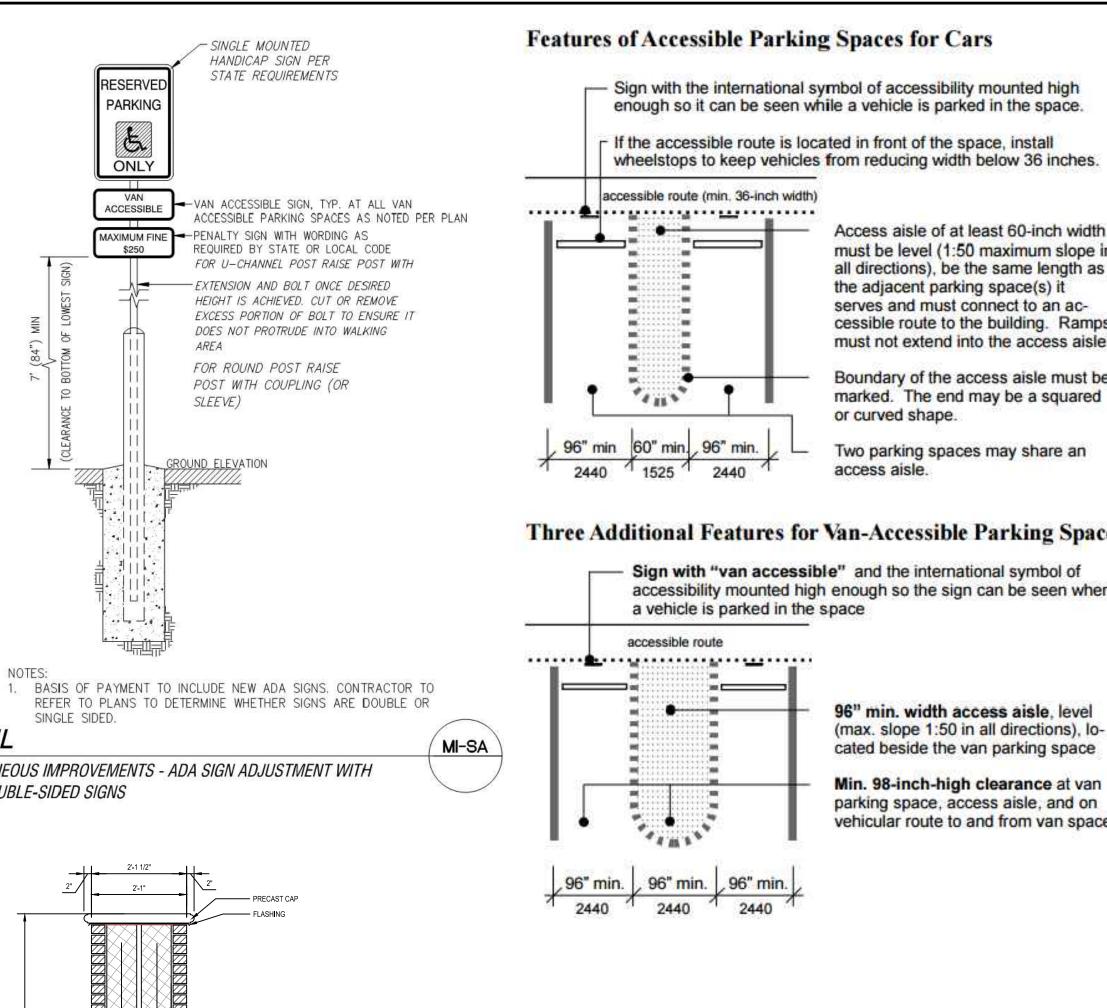


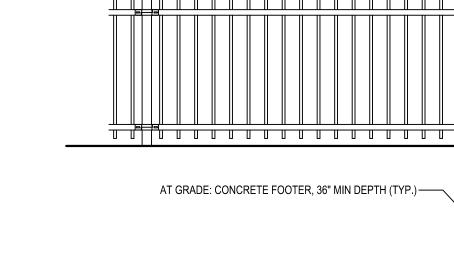


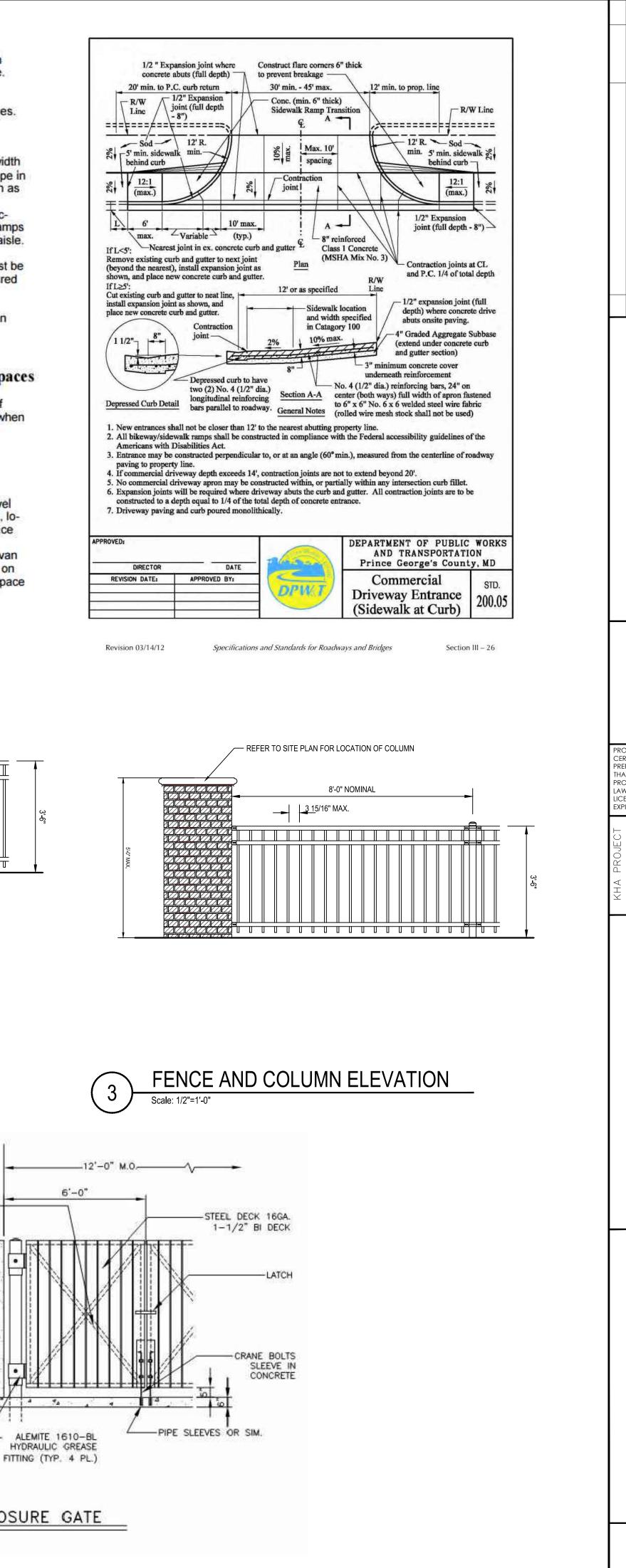
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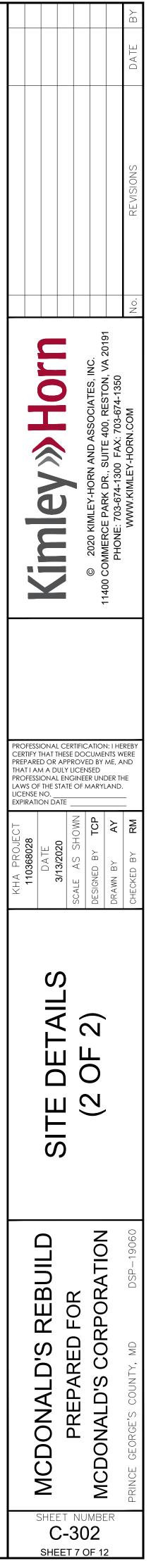
SHEET 6 OF 12

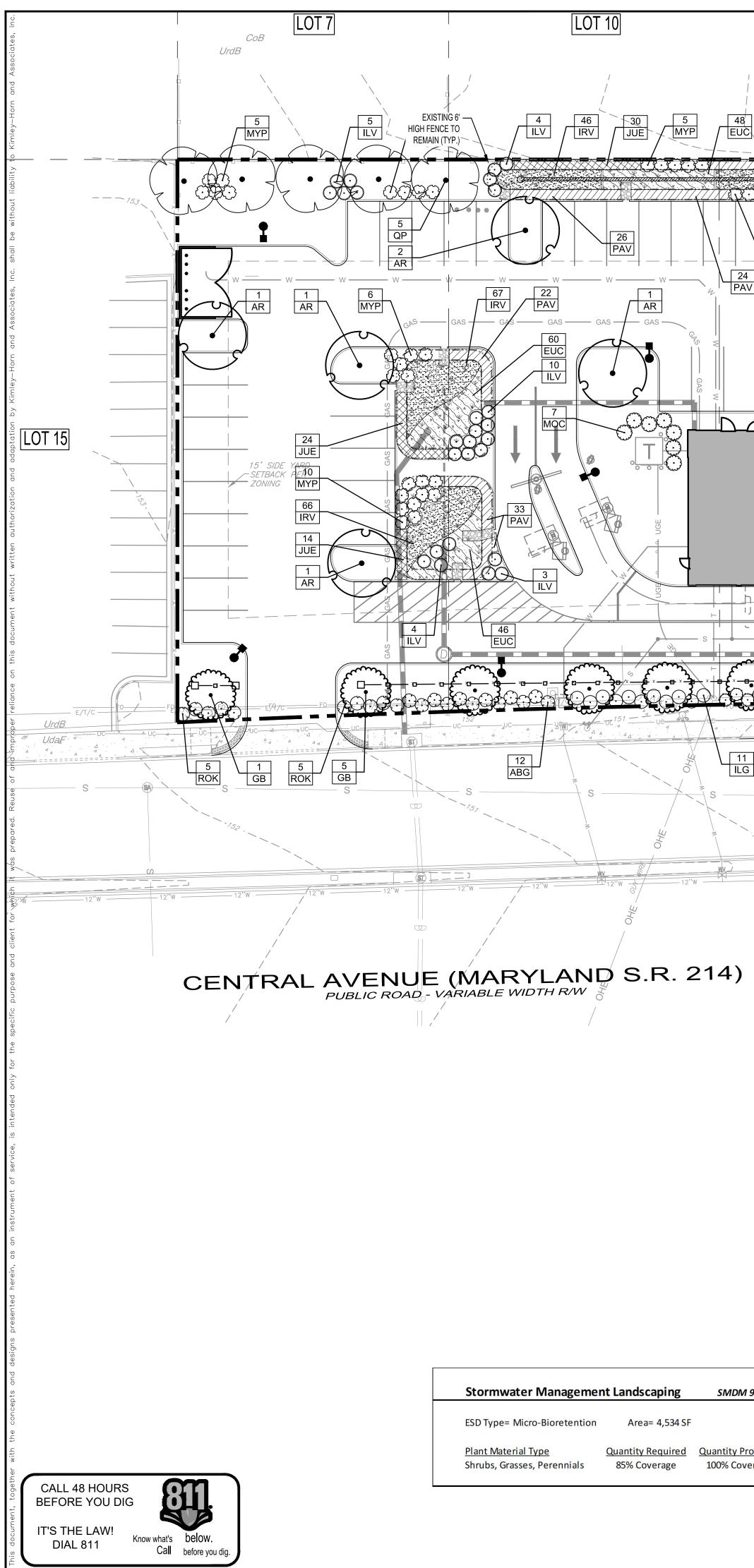




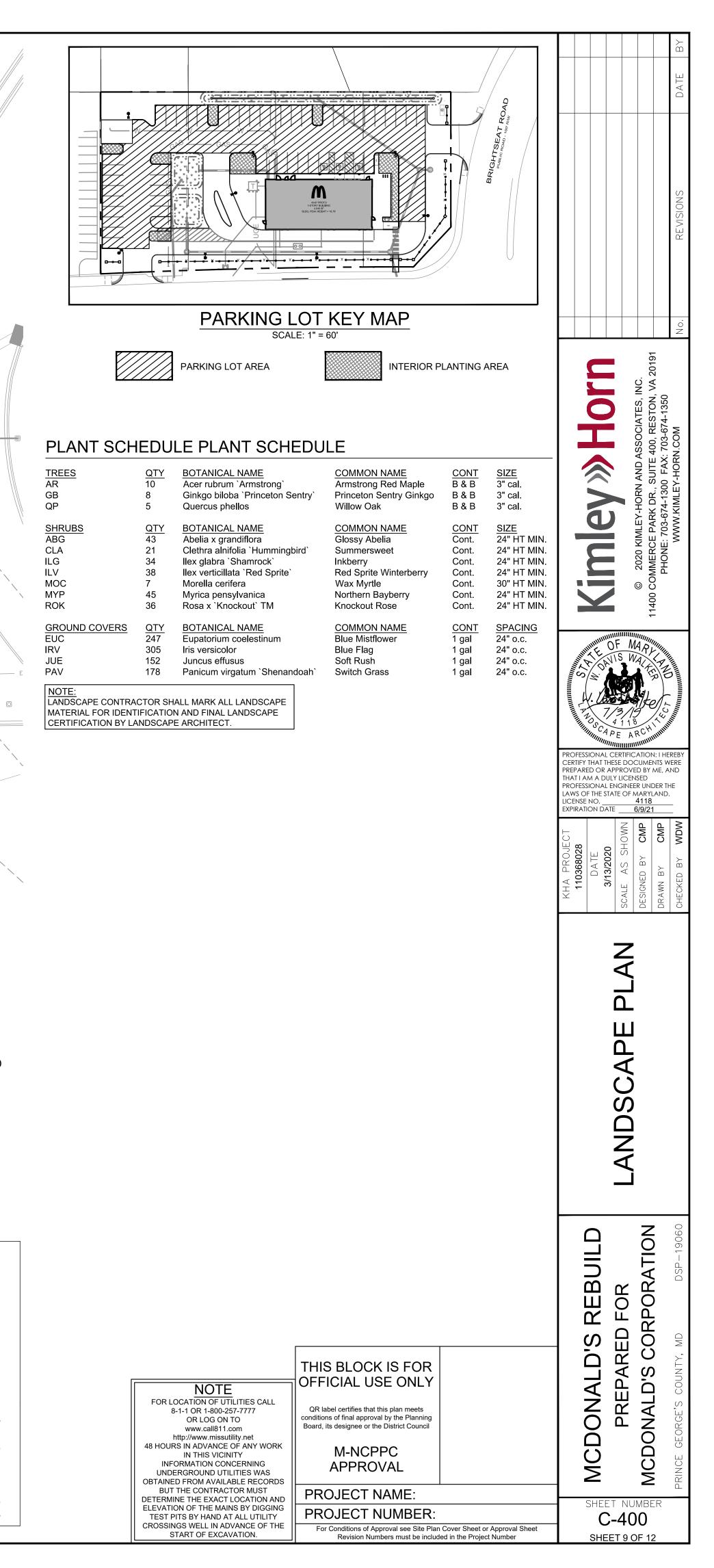








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1 3 '750 	S S			S	\ \ ₩₩ □12		1,15
	Tree Canopy Coverage Scho			12 11	12		
	Project Name: 6801 Annapolis Road Site Calculations:	TCP2#: Zone 1: Zone 2: Zone 3: Zone 4: Total Acres:	DRD Case #: M-U-I	Area (acres)			
	Total Acres (gross acres) 1.17 A. TOTAL ON-SITE WC PROVIDED (acres) = B. TOTAL AREA EXISTING TREES (non-WC acres) = C. TOTAL SQUARE FOOTAGE IN LANDSCAPE TREES = D. TOTAL TREE CANOPY COVERAGE PROVIDED = E. TOTAL SQUARE FOOTAGE REQUIRED =	% of TCC required 10.0% 0.00	TCC Required (Acres)	TCC Required in (SF) 5097 0 435.6 5750 5750 5097 Requirement		ORAPHIC SCALE IN F	
	Credit Categories for Landscape Trees Deciduous - columnar shade tree (50 ' or less height)	TCC Credit per Tree Based on Size at Planting (SF) 2 -1/2 - 3" = 65 3 - 3 1/2" = 75 1-1/2 - 1-3/4"= 75	Number of Trees	Satisfied TCC Credit (SF) 0 0 0		Planting Schedule for Section 4.9-1	
	equal spread). Minimum planting size 7 - 9 ' in height Deciduous - minor shade tree (25-50' height with equal spread or greater). Minimum planting size 8-10' in height Deciduous - major shade tree (50' and greater ht. with spread equal to or greater than ht) Minimum planting size 12 to 14' in height	2 - 2 1/2" = 100 $2 - 1/2 - 3" = 110$ $2 - 1/2 - 3" = 160$ $3 - 3 1/2" = 175$ $2 - 1/2 - 3" = 225$ $3 - 3 1/2" = 250$ $6 - 8' = 40$	23	0 0 0 0 5750	1)	Sustainable Landscaping RequirementsPercentage of native plant material required in each category:Shade Trees:total 23 x 50% = 11.5 total number required total number provided 23 = 100 % nativeOrnamental Trees:total 0 x 50% = 0 total number required	
1 9.7.3.5.	Evergreen - columnar tree (less than 30' height with spread less than 15')	8 - 10' = 50 10 - 12' = 75 6 - 8' = 75		0 0 0		total number provided $0 = 0$ % nativeEvergreen Trees:total 0 x 30% = 0 total number requiredtotal number provided $0 = 0$ % native	
	Evergreen - small tree (30-40' height with spread of 15- 20')	8 - 10' = 100 10 - 12' = 125 6 - 8' = 125		0 0 0	2)	Shrubs: $total 1,112 \ge 30\% = 327$ total number required total number provided $1,027 = 92\%$ nativeAre invasive species proposed?yes	<u>X</u> no
rovided verage	Evergreen - medium tree (40-50' height with spread of 20- 30')			0 0 0	3)	Are existing invasive species on-site in areas that are to remain undisturbed?yes	X no
	Evergreen - large tree (50' height or greater with spread	8 - 10' = 200 10 - 12' = 250	23	0 0 5750	4)	If "yes" is checked in numbers 2 or 3, is a note included on the plan requiring removal of invasive species prior to certification in accordance with Section 1.5, Certification of Installation of Plant	
	(Manually enter information/figures into shaded areas) Davis Walker	-	12/17/2019		5)	Materials? yes Are trees proposed to be planted on slopes greater than 3:1? yes	X no
	Prepared by		Date				_



GENERAL NOTES

- 1. Plants shall be healthy, vigorous material, free of pests and diseases and are subject to approval/rejection of the Landscape Architect prior to, during and after installation.
- 2. Contractor shall identify all materials at growing location prior to purchase and submit digital photographs, and source list to the Landscape Architect for approval at a minimum of six (6) calendar weeks prior to installation. Plants not approved shall be resourced and resubmitted.
- 3. Planting beds and individual tree plantings shall be mulched continuously as specified.
- 4. Prior to construction the contractor shall be responsible for locating underground utilities and execute work in a manner that avoids damage to utilities during the course of work. Contractor shall be responsible or remedy of any damage to utilities, structures, site appurtenances that occur as a result of landscape related work.
- 5. Contractor is responsible for verifying quantities shown on documents. Field adjustments shall be approved by Landscape Architect prior to installation. Quantities indicated on drawings are for reference-it is the Contractor's responsibility to ensure full coverage of plants at the indicated spacing.
- 6. Contractor is responsible for maintenance of all plantings including, but not limited to watering, mowing, edging, spraying, mulching, fertilizing, of plantings and turf areas for one (1) calendar year from date of certificate of occupancy. Contractor is responsible for warranty of all plant material for a period of one (1) calendar year from date of certificate of occupancy. Warranty replacement planting shall meet or exceed the original specification identified on drawings. Replacement planting shall extend the same warranty as originally installed materials. Plantings and grass areas shall be flourishing and fully thriving at end of warranty period.
- 7. Plants identified for replacement by Owner, Landscape Architect shall be replaced immediately by the Contractor unless otherwise agreed upon. Plantings (trees, shrubs, groundcover) subject to replacement by warranty shall exhibit characteristics of 30% dead-per individual plant, non-contributing or disease compromised. Grass areas suitable for acceptance shall demonstrate 85% sustained/consistent and continuous, densely established coverage
- Contractor shall perform a site review at end of warranty period and provide the Owner with written documentation of the site, including plant health, warranty replacement items, and conditions that may be influencing plant health. Contractor shall remove from plants and site, all staking and guying material at end of warranty period.
- 8. Contractor shall comply with all local, state and federal requirements, codes and regulations related to the work undertaken 9. All material including planting operation appurtenances shall be of domestic origin manufacture and
- sourced within 100 miles of the project site 10. Contractor is responsible for coordination among trades operating on site. Coordination and if necessary resulting modifications to schedules are responsibility of the Contractor.

PERFORMANCE SPECIFICATION

I. PLANTS

- A.General 1. Live healthy plants free of dead branches and parts
- 2. Free of disease, insect, injury and damage
- 3. Unbroken, intact, dense and solid rootballs and containers, without cracks, flat sides or previously repaired damade
- 4. Free of girdling roots or rootbound/circling container conditions 5. Plants of consistent in growth habit and healthy character
- 6. Free of compromising growth conditions such as weak crotch connections, crossed branches, snags and scars 7. Point of origin growing location within 100 miles of project site
- 8. Graded, standards, caliper, sizes and stock consistent with ANSI Z60.1, American Standard for Nursery
- Stock most current edition 9. Species identified consistent with Hortus Third: Concise Dictionary of Plants Cultivated in the United <u>States and Canada, most current edition and Manual of Woody Plants: Their Identification, Ornamental</u>
- <u>Characteristics, Culture, Propagation and Uses, most current editior</u> 10. All disturbed areas shall be grass seed unless otherwise identified on landscape plans
- B. Trees:
- 1. Deciduous Single Trunk
- a. Full, straight and upright with consistent symmetrical natural branching pattern throughout b. Branching Height-seven (7) feet to lowest branch in two years unless otherwise required by local jurisdiction

2. Deciduous Multi-Trunk

- a. Full and upright with straight consistent symmetrical natural branching pattern throughout b. Canes evenly spaced and of similar growth habit c. Free of suckers and extraneous branching
- 3. Evergreen Single-Trunk a. Full and upright with continuous symmetrical dense natural habit
- b. Clear branching height twelve (12) inches above top of rootball
- c. Free of suckers and extraneous branching
- d. Do not shear or otherwise prune to shape plantings

C.Evergreen and Deciduous Shrubs

- 1. Full, dense and naturally symmetrical. 2. Consistent with container and/or balled and burlapped size
- 3. Free of suckers and extraneous branching
- 4. Do not shear or otherwise prune or shape plantings

D. Evergreen and Deciduous Groundcover

1. Full and dense in pots or flats E. Perennials and Seasonal Color

1. Full and dense in pots or flats

F. Turf Grass

- 1. Subgrade
- a. Soil Mix-10% Compost, 90% topsoil by volume
- b. Preparation-loosen subgrade to a minimum depth of four (4) inches. Remove all non-natural materials including litter, stones, sticks and all items greater than ³/₄ inch in any dimension
- c. Preparation-spread soil mix at a depth of four (4) inches continuously to meet grade elevations shown on drawings. Allow for thickness of sod when applicable

2. Grass Sod

- a. Install not longer than twenty-four (24) hours from harvest
- b. Grass bed not less than two (2) inches in continuous thickness
- c. 100% continuous live sod coverage after first growing season and at end of warranty period. d. Of uniform non-varying density and continuous texture quality capable of growth and development immediately upon installation. Weed and noxious plant free
- e. Stagger installation rows and place aligned parallel to contours
- f. Fill joints solidly with planting bed preparation soil
- g. Provide anchor pins at twenty-four (24) inches on center for slopes greater than 4:1

3. Grass Seed

- a. Mix approved by the Landscape Architect
- b. Provide first and new of year seed crops in mix free of weed seeds and deleterious matter
- c. Provide seed mix not greater than 15% annual or perennial rye
- d. Coverage 85% continuous coverage live stand after first growing season and at end of warranty e. Replacement or overseeding mixes consistent with original application/installation
- f. Provide erosion blankets or other slope retention methods as noted on drawings

II. Materials and Appurtenances

A.Testing

1. Materials testing information/certificates/dated labels shall be current to the project and performed/certified not greater than 120 calendar previous days from current date of submittal for review

B. Top Soil

1. Neutral Ph balance 5.5 -7.5. Friable and containing 2.0-5.0% organic matter by dry weight. Continuously free of non-soil items such as stones, debris, sticks, trash, and deleterious matter greater than ³/₄ inch in any direction. Clay content shall not exceed 25%. Gravel content shall not exceed 10%. Silt shall not exceed 25%



- C.Use of Existing Topsoil
- D. Shredded Hardwood Mulch
- Neutral Ph balance 5.5-7.5
- E. Composted Pine Bark Fines
- wood content

F. Compost Ph

Consistent with US-EPA CFR Title 40 Part 503 Standards for Class A biosolids

G.Compost Testing

- requirements
- the US Composting Council Seal of Testing approval programs

H.Planting Mix

- 1. 85% topsoil and 15% Compost
- I. Fertilizer

- J. Herbicide 1. Product and Material Safety Data as approved by Owner
- K. Water 1. Potable only unless otherwise approved by Owner
- L. Hardwood Stakes
- 1. 2 x 2 x 48 inch square of sound hardwood, painted flat black on all sides
- M.Tree Ties 1. Villa Non-Abrasive Rubber Tree Ties or approved equal
- N.Filter Fabric

1. Mirafi 140-N or approved equal

- O.Steel Edging

P. River Stone

- 1. Locally sourced, river rounded, unfaceted river stone/cobbles.
- 2. Size shall not exceed 3 total inches in any dimension. 3. Color and texture approved by Owner
- 4. When placed in concrete or mortar setting bed, tamp to secure and brush clear joints. 5. Concrete or mortar as approved by owner.

III. Execution

- A.Site Conditions

- of acceptance prior to commencement of work. 3. Notify Owner in writing of any conditions that may preclude successful completion of work including items
- 4. Notify Owner in writing immediately of any items that may influence work schedule, timing of tasks, materials delivery and/or installation and warranty responsibilities
- work by others.

on an individual project basis.

1. Deciduous and Evergreen Trees

2. Deciduous and Evergreen Shrubs

B.Planting Seasons

2. Dogwood (Cornus Sp.) 3. Sweetgum (Liquidambar Sp.)

4. Spring Flowering Bulbs

5. Seasonal Annuals

7. No Plant Installation

C.Positioning & Location of Plantings

3. Perennials

6. Turf Grass

installation

Owner approval

D.Implementation

E. Clean Up

Architect

furnishings, etc.

1. Existing topsoil on-site may be repurposed with prior Owner approval. Contractor shall provide soil testing and additive program that demonstrates consistent performance and characteristics and composition as identified herein. Owner shall approve soil testing and soil amendment/additive methods and procedures

1. 100% organic shredded first year hardwood free of deleterious matter, rock, gravel and weed seed.

1. 100% organic ground pine bark with no particle dimension greater than ³/₄-inch and no greater than 10%

1. Balanced 5.0-8.5 mature, stable and weed free produced by natural aerobic decomposition. Free of visible contaminants and toxic substances. Not greater than 5% sand, silt, clay or rock by dry weight.

1. Prior to delivery on-site, the following items are required for approval by Owner: Feedstock percentage in final compost product; statement that the products meets federal, state and local health safety

2. Provide copy of lab analysis less than 120 calendar days old verifying that the product meets described physical requirements; chemical contaminants; Ph; physical contaminants; biological contaminants (including a statement that fecal coliform and salmonella testing and results comply with requirements of

1. Granular 10% nitrogen, 6% Phosphorous, 4% Potassium granular form with 50% Nitrogen in organic form. Product and Material Safety Data as approved by Owner

1. 1/8-inch x 4-inch in full sections. Ryerson, Timec or approved equal with integral stakes. No open corners. Corners shall be formed and trued to compliant angle or welded closed

1. Inspect site and notify Owner in writing of acceptance with indication that project conditions are acceptable are suitable to proceed with work. Notify Owner of any existing damage and/or other conflicting conditions. 2. Do not proceed with work until unsatisfactory conditions have been satisfactorily remedied. Notify Owner

such as coordination with other trades, incomplete work, drainage, soil temperature and/or composition, access to storage/work areas, damage to conditions, etc.

5. Coordinate and cooperate with other trades working in and adjacent to work areas. Examine drawings of other trades which show development of the entire project and become familiar with the scope of required

Recommended seasons are a general guide based on historical climatic data and typical performance of plantings, and which vary dependent on project-specific environmental conditions. Due to construction schedules, recommended planting seasons may/may not coincide with request(s) for certificate of occupancy for projects. Coordination of planting installation and seasons shall be reviewed with Owner

a. Do not install/plant the following trees between September 15 and March 15 1. Oaks (Quercus Sp., Such as Q. rubra, Q. alba, Q. phellos, Q. coccinnea)

4. All Conifers and Evergreens except White Pine (Pinus strobus Sp.)

a. Install/plant between March 15 and June 15 and/or September 15 and November 30

a. Install/plant between March 15 and June 15 and/or September 15 and November 30

a. Install/plant between September 15 and December 15

a. Install/plant in season per approved schedule

a. Install/plant between March 15 and May 15 and/or September 15 and November 30 b. Do not install/plant seed or sod turf grass areas when ambient air temperature is below forty (40) degrees Fahrenheit, or forecast for a twelve (12) hour period after completion of work

a. Do not install plantings or turf grass between June 15 and September 15, without approval by Owner

1. Position plants to show the most-prominent and well-formed face to most-public view 2. Field locate plants and location/spacing/dimension of planting beds on project site prior to beginning

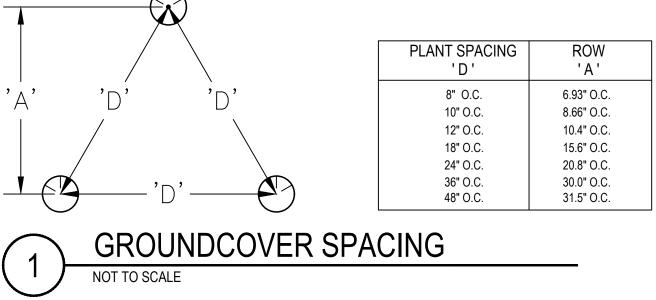
3. Verify location of individual plants and plant beds prior to beginning installation. Do not proceed without

1. Pursue work continuously without delay or interruption until completion unless notified otherwise by Owner 2. Provide project submittals ahead of commencement of work. Landscape Architect requires a minimum of ten (10) working days from date of receipt for review of submittals and response to Owner and Contractor. Plan accordingly for procurement of materials

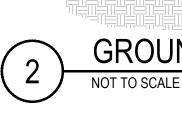
3. Continuously update implementation schedule and notify Owner of progress. Delays related to material availability are not cause for non-completion of scheduled delivery of work 4. Report delays due to weather or site conditions immediately upon finding. Provide recommendation for remedy of schedule delays. Do not work, place or modify frozen soil 5. Report delays due to extraordinary natural or other conditions beyond control of Contractor

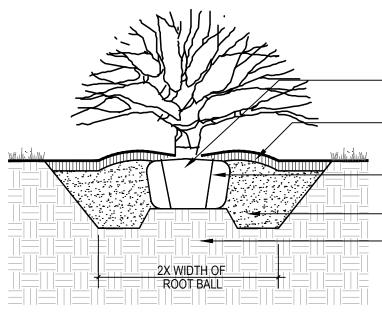
1. Remove trash, debris and work materials from site prior to request for substantial completion. Thoroughly clean surfaces impacted by work including building, parking areas, roadways, sidewalks, signs, lights, site

2. Repair any damage to existing conditions that occurred during execution of work. 3. All clean-up and demobilization procedures shall be performed to satisfaction of the Owner and Landscape NOTE: GROUNDCOVERS AND TRIANGULAR SPACING



SET GROUNDCOVERS AND PERENNIALS IN STAGGERED ROWS AT SPECIFIED SPACING. MULCH ENTIRE BED WITH 2" SHREDDED HARDWOOD MULCH OR

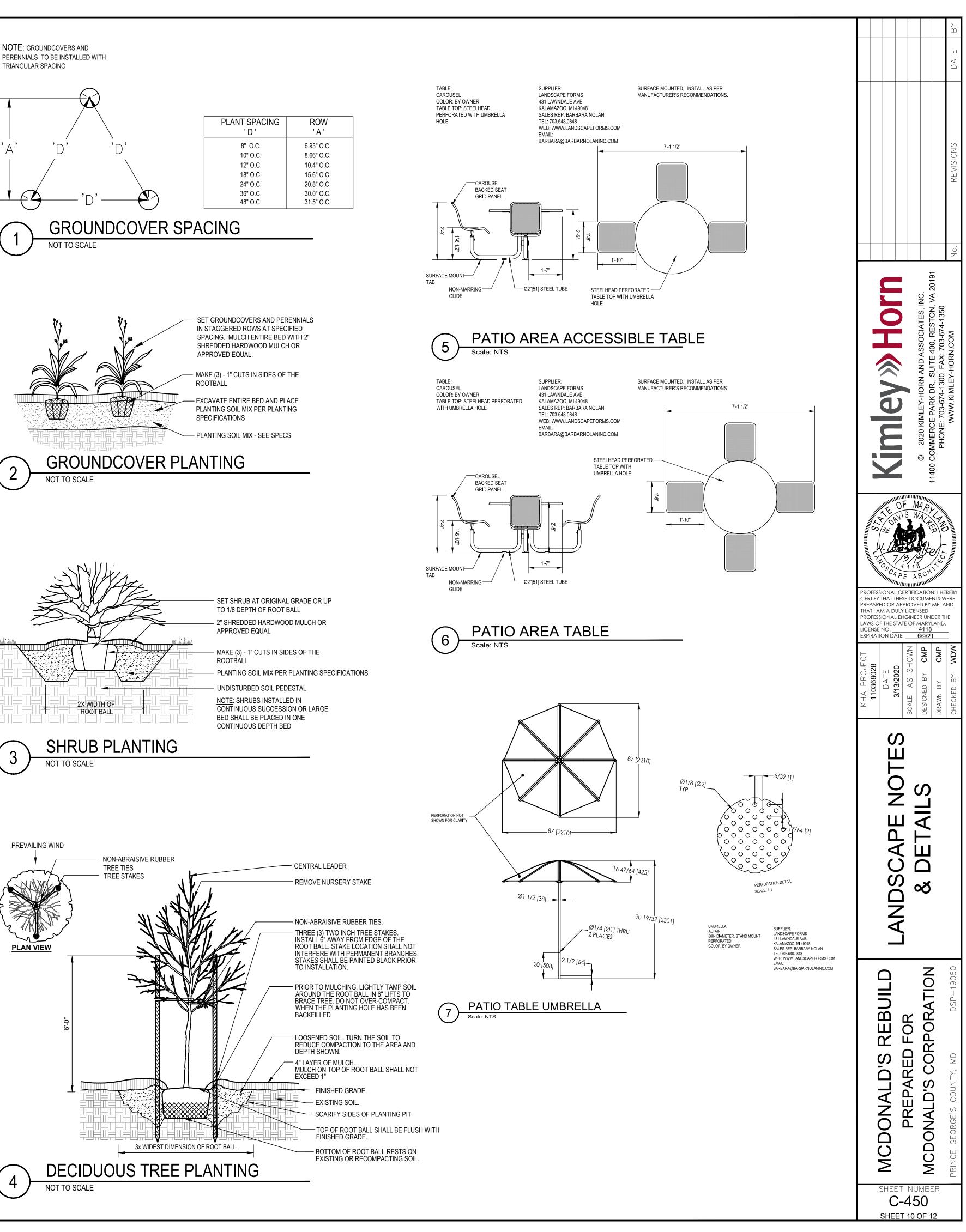


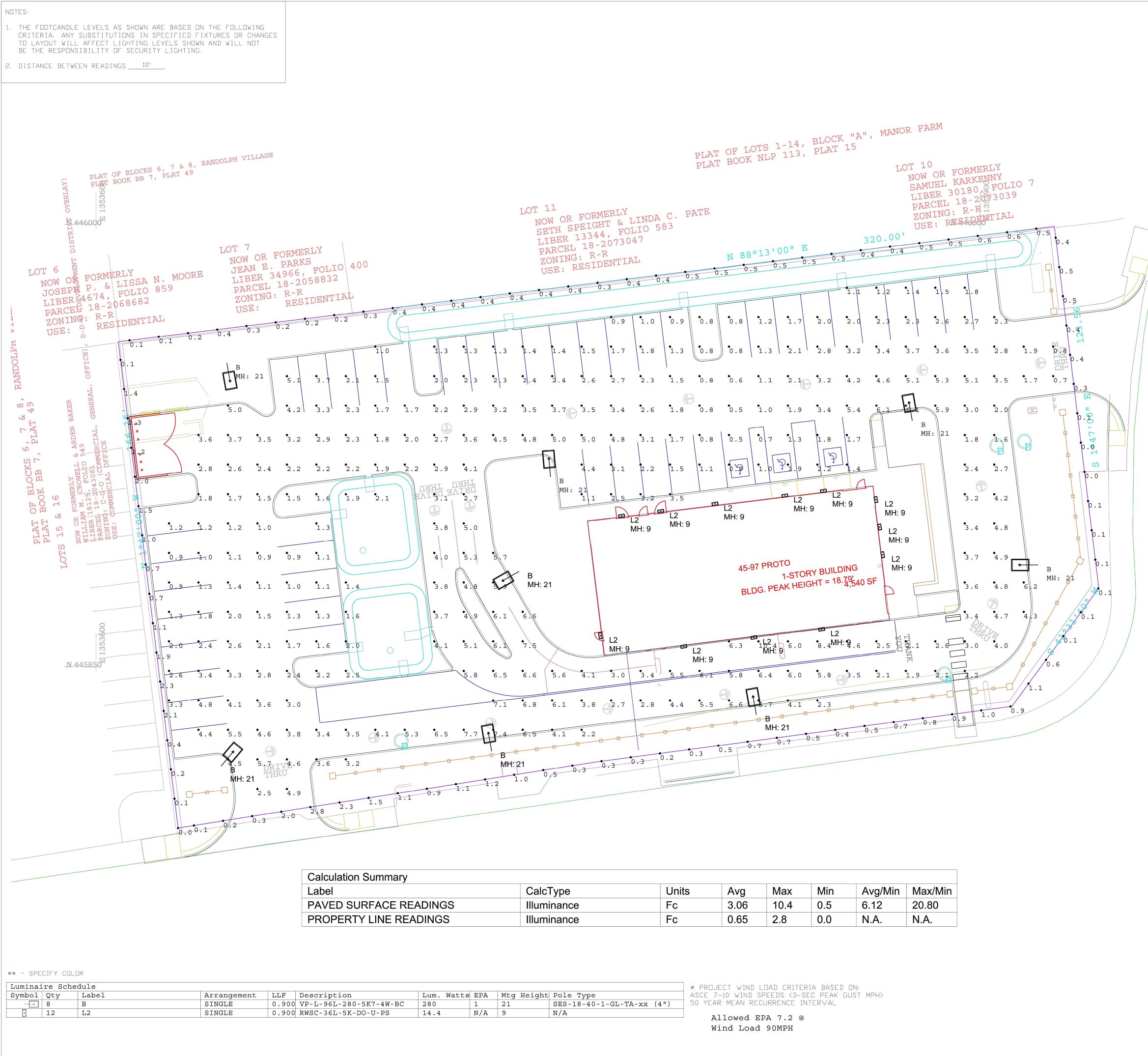


TO 1/8 DEPTH OF ROOT BALL 2" SHREDDED HARDWOOD MULCH OR

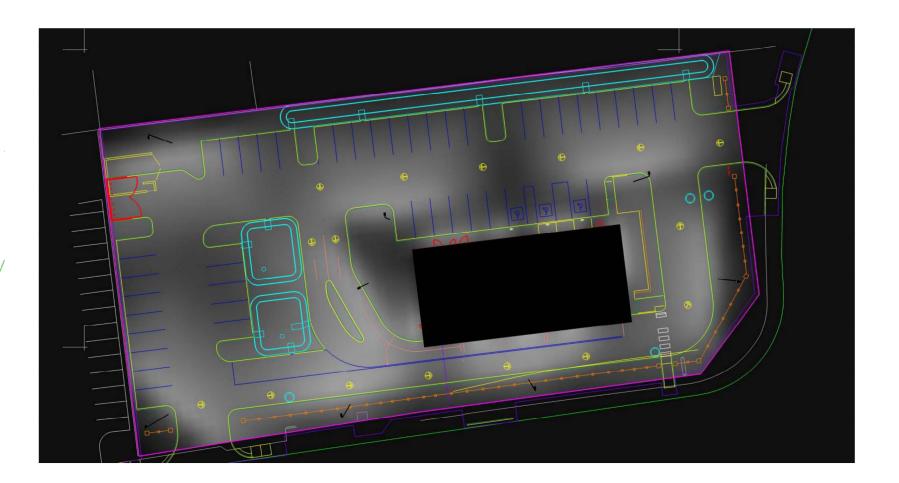
ROOTBALL

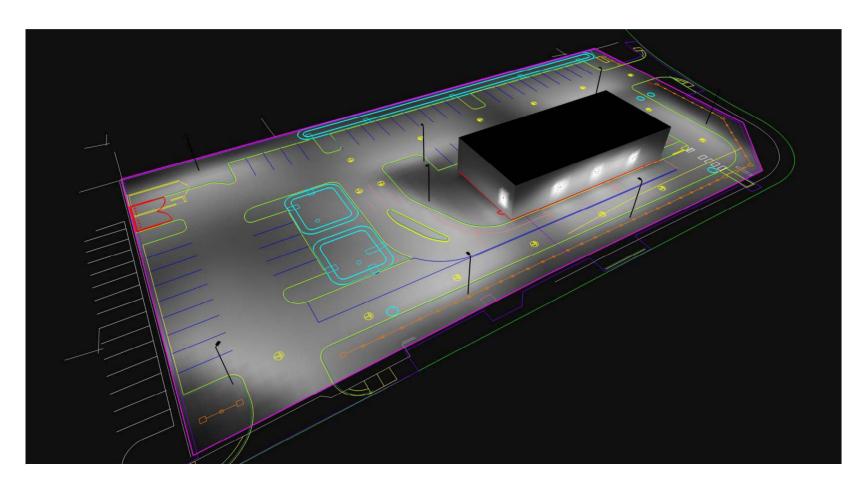
NOTE: SHRUBS INSTALLED IN BED SHALL BE PLACED IN ONE CONTINUOUS DEPTH BED





						-
уре	Units	Avg	Max	Min	Avg/Min	Max/Min
nance	Fc	3.06	10.4	0.5	6.12	20.80
nance	Fc	0.65	2.8	0.0	N.A.	N.A.



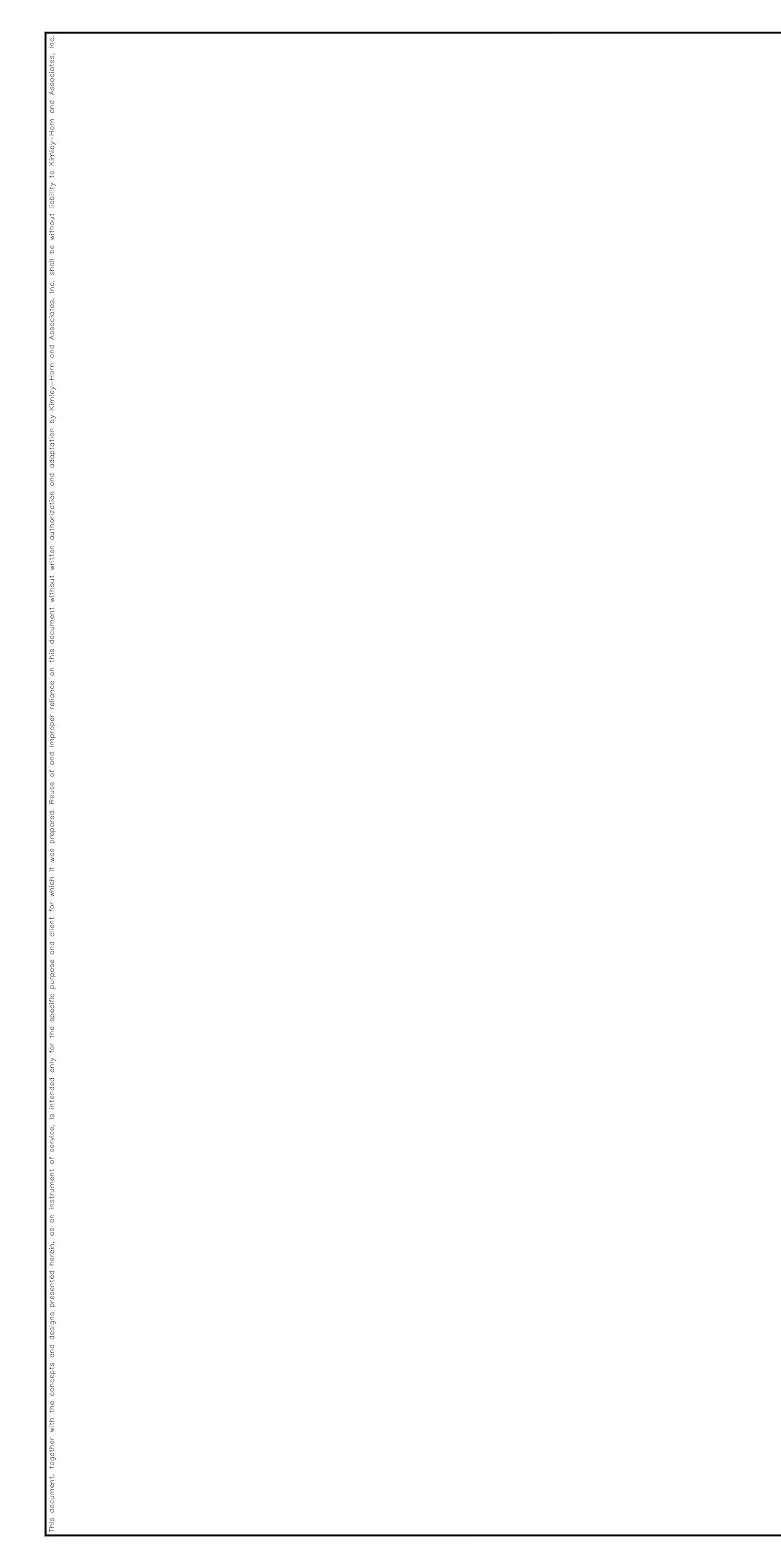


1. THIS LIGHTING DESIGN IS BASED ON INFORMATION SUPPLIED BY OTHERS TO SECURITY LIGHTING SYSTEMS. SITE DETAILS PROVIDED HEREON ARE REPRODUCED ONLY AS A VISUALIZATION AID. FIELD DEVIATIONS MAY SIGNIFICANTLY AFFECT PREDICTED PERFORMANCE. PRIOR TO INSTALLATION, CRITICAL SITE INFORMATION (POLE LOCATIONS, ORIENTATION, MOUNTING HEIGHT, ETC.) SHOULD BE COORDINATED WITH THE CONTRACTOR AND/OR SPECIFIER RESPONSIBLE FOR THE PROJECT. 2. LUMINAIRE DATA IS TESTED TO INDUSTRY STANDARDS UNDER LABORATORY CONDITIONS. OPERATING VOLTAGE AND NORMAL MANUFACTURING TOLERANCES OF LAMP, BALLAST, AND LUMINAIRE MAY AFFECT FIELD RESULTS. 3. CONFORMANCE TO FACILITY CODE AND OTHER LOCAL REQUIREMENTS IS THE RESPONSIBILITY OF THE OWNER AND/OR THE OWNER'S REPRESENTATIVE.

4. THIS LAYOUT MAY NOT MEET TITLE 24 OR LOCAL ENERGY REQUIREMENTS. IF THIS LAYOUT NEEDS TO E COMPLIANT WITH TITLE 24 OR OTHER ENERGY REQUIREMENTS, PLEASE CONSULT FACTORY WITH SPECIFIC DETAILS REGARDING PROJECT REQUIREMENTS SO THAT REVISIONS MAY BE MADE TO THE DRAWING.

	00 Golf Road, Suite 460, Rolling Meadows, IL 60008 800-544-4848									
UNLESS OTHER	WISE SPECIFIED, ALL DIMENSIONS ARE IN INCHES									
SCALE 1"=20' 0"										
DRAWN BY BV										
PDINT-B'	(-POINT FOOTCANDLE PLOT FOR									
	MCDENAL DS									
	8710 CENTRAL AVE									
	LANDOVER, MD									
NATIONAL STORE NUMBER										
	4475									
DATE	DRAWING NUMBER									
3/4/2020	43325A-Rev3.AGI									

SECURITY





Controls/Options:

products/energeni).

products/beaconnect).

Installation:

Finish:

applications

Warranty:

Intended Use:

The Beacon Viper luminaire is available in two . Available with an optional passive infrared sizes with a wide choice of different LED Wattage (PIR) motion sensor capable of detecting configurations and optical distributions designed motion 360° around the luminaire. When to replace HID lighting up to 1000W MH or HPS. Luminaires are suitable for wet locations. Construction:

One piece optical cartridge system consisting

- of an LED engine, LED lamps, optics, gasket and stainless steel bezel. Cartridge is held together with internal brass standoffs soldered to the board so that it can
- be field replaced as a one piece optical system. Two-piece silicone and micro-cellular polyurethane foam gasket ensures a
- weather-proof seal around each individual LED. LED/Optics:
- LED driver accepts 100V through 277V, 50 Hz to 60 Hz (UNV), or a driver that accepts 347V or 480V input.
- Power factor is .92 at full load. All electrical components are rated at 50,000
 Mounting options for horizontal arm, vertical hours at full load and 25°C ambient conditions
- per MIL- 217F Notice 2. Dimming drivers are standard with
- connections for external dimming equipment available upon request.
- Component-to-component wiring within the luminaire may carry no more than 80% of
- rated load and is listed by UL for use at 600VAC at 50°C or higher. Plug disconnects are listed by UL for use
- at 600 VAC, 13A or higher. 13A rating applies to primary (AC) side only.

Electrical:

- Fixture electrical compartment shall contain all LED driver components and shall be provided with a push-button terminal block for AC power connections.
- Ambient operating temperature -40°C to 40°C
 Optional 7-pin ANSI C136.41-2013 twist-lock
 DesignLights Consortium (DLC) qualified, photo control receptacle available. Compatible with ANSI C136.41 external wireless control
- devices. Surge protection - 20KA; Shuts off at end of life. 24 for wet locations and 40°C Lifeshield[™] Circuit - protects luminaire from excessive temperature. The device
- shall activate at a specific, factory-preset temperature, and progressively reduce power • IDA approved over a finite temperature range. A luminaire equipped with the device may be reliably

operated in any ambient temperature up to 55°C (131°F). Operation shall be smooth and undetectable to the eye. Thermal circuit is visit: www.hubbellighting.com/resources/warranty). designed to "fail on", allowing the luminaire to revert to full power in the event of

an interruption of its power supply, or faulty wiring connection to the drivers. The device shall be able to co-exist with other 0-10V control devices (occupancy sensors, external



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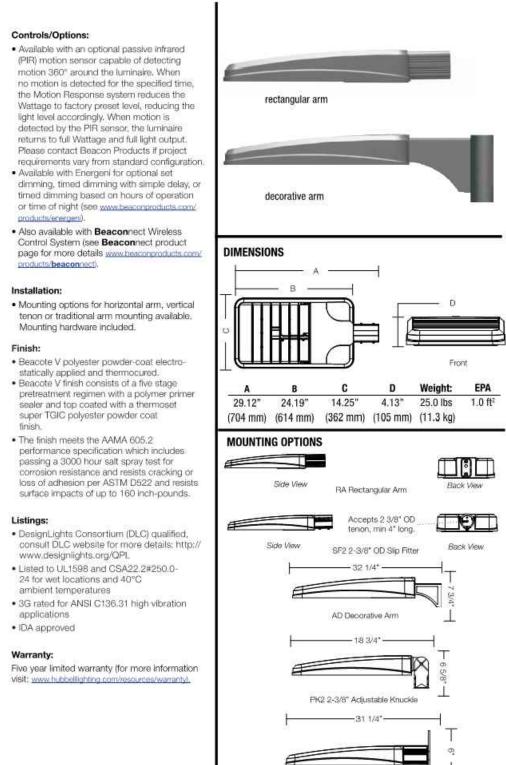


PERFORMANCE DATA

Web: www.securitylighting.co

dimmers, etc.).

BEACON VIPER L SERIES Enhanced Large Viper Luminaire





WB Wall Bracket

5 1/2" ----

- 10 C

2 3/8"

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	deside merge work recovered.
VIDE	DI CEDIEC
VIFE	R L SERIES
	Enhanced Large Viper Luminaire

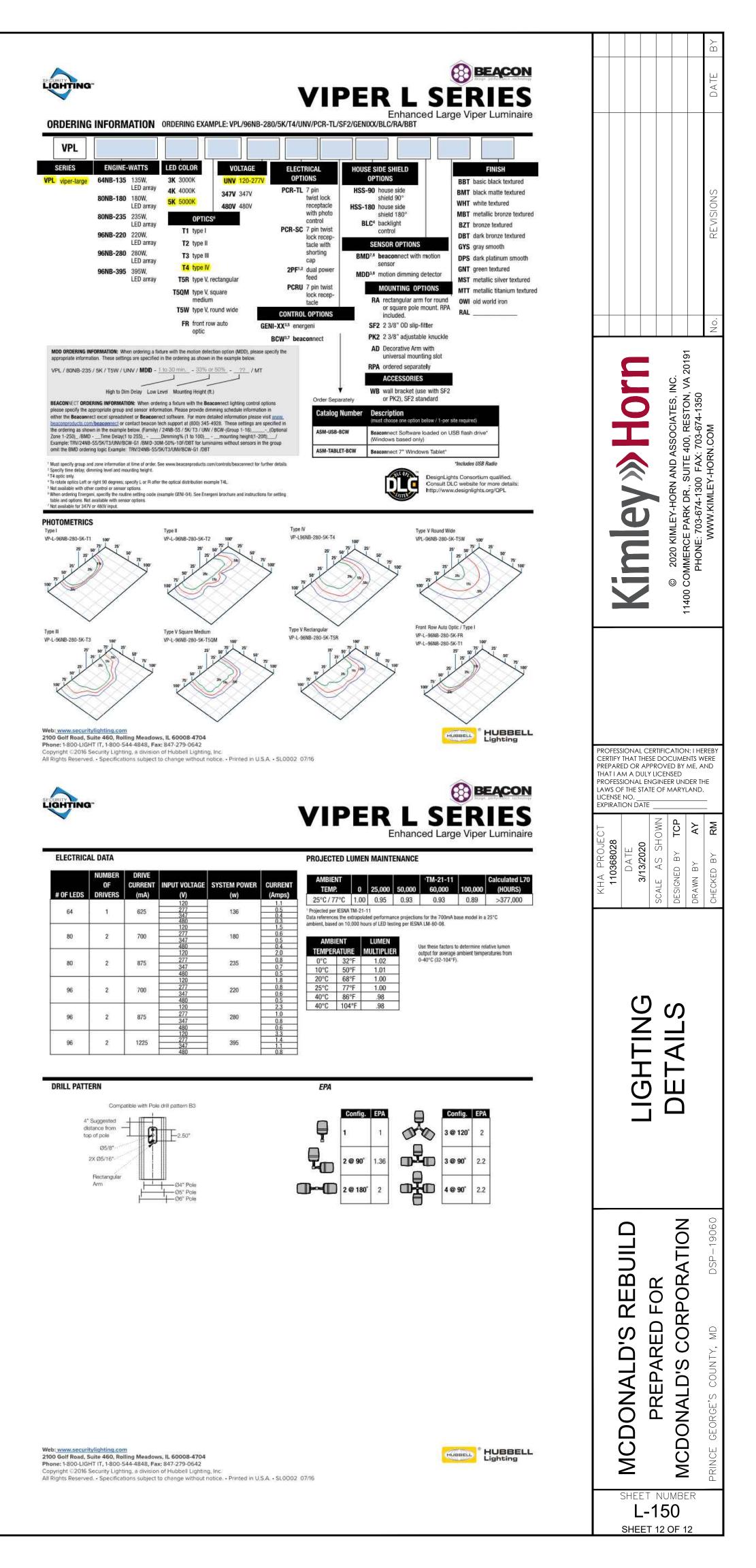
		5К								4K		ЗК						
10			n – – – – – – – – – – – – – – – – – – –	(5000K nominal, 70 CRI)				(4000K nominal, 70 CRI)					(3000K nominal, 70 CRI))	
	SYSTEM WATTS	DISTRIBUTION TYPE	LUMENS	LPW	В	U	G	LUMENS	LPW'	в	U	G	LUMENS	LPW'	в	U	G	
			FR/T1	15922	116	2	0	1	15762	115	2	0	1	13534	99	2	0	1
			T2	14274	104	3	0	3	14131	103	3	0	3	12133	89	3	0	1
	1000	110100000	T3	14137	103	3	0	3	13996	102	3	0	3	12017	88	3	0	
64	625 mA	136W	T4	15511	113	2	0	4	15356	112	2	0	3	13184	96	2	0	1
			T5QM	15511	113	4	0	2	15356	112	4	0	2	13184	96	3	0	
			T5R	15785	115	4	0	4	15627	114	4	0	4	13417	98	4	0	
			T5W	15372	112	4	0	2	15217	111	4	0	2	13067	95	4	0	
			FR/T1	21132	117	2	0	2	20322	113	2	0	2	17447	97	2	0	
			T2	18888	105	3	0	4	18699	104	3	0	4	16055	89	3	0	
00	700 4	10054	T3	18700	104	3	0	3	18513	103	3	0	3	15895	88	3	0	
80	700 mA	180W	T4	20571	114	3	0	4	20365	113	3	0	4	17485	97	3	0	
			T5QM T5R	20571 20944	114	4	0	2	20365	113	4	0	4	17485	97 99	4	0	
			T5W	20944	113	5	0	3	20733	112	4	0	4	17005	99	4	0	
	-		FB/T1	20290	106	2	0	2	20000	105	2	0	2	21136	90	2	0	t
		i i i	T2	23070	98	3	0	4	22839	97	3	0	4	19609	83	3	0	
		235 W	T3	21947	93	3	0	4	21725	92	3	0	4	18655	79	3	0	t
80	875 mA		T4	24360	103	3	0	4	24028	102	3	0	5	20632	88	3	0	t
	or of the state		T5QM	23138	98	4	0	2	22905	97	4	0	2	19667	84	4	0	
			T5R	24779	105	5	0	5	24541	104	5	0	5	21070	90	4	0	
			T5W	24175	103	5	0	3	23931	102	5	0	3	20548	87	5	0	t
		-	FR/T1	25358	113	2	0	2	25104	112	2	0	2	21554	96	2	0	t
			T2	22665	101	3	0	4	22438	100	3	0	4	19265	86	3	0	
			T3	22440	100	3	0	4	22216	99	3	0	4	19134	86	3	0	T
96	700 mA	220 W	T4	24685	110	3	0	5	24438	109	3	0	5	20982	94	3	0	
			T5QM	24685	110	4	0	2	24438	109	4	0	2	20982	94	4	0	
			T5R	25133	112	5	0	5	24882	111	5	0	5	21363	96	4	0	
			T5W	24349	109	5	0	3	24106	108	5	0	3	20803	93	5	0	
			FR/T1	29839	106	3	0	2	29541	105	3	0	2	25363	90	2	0	
			T2	27369	98	4	0	5	27096	97	4	0	5	23264	83	3	0	
			T3	26336	93	3	0	4	26073	92	3	0	4	22365	79	3	0	
96	875 mA	280 W	T4	29128	102	3	0	5	28837	103	3	0	5	24759	88	3	0	
			T5QM	28889	103	5	0	3	28601	102	5	0	3	24556	88	4	0	
			T5R	29184	105	5	0	5	28893	104	5	0	5	24809	89	5	0	L
			T5W	29010	102	5	0	4	28720	101	5	0	4	24263	86	5	0	
			FR/T1	39653	101	3	0	2	39260	100	3	0	2	33371	85	3	0	-
			T2	35997	91	4	0	5	35641	90	4	0	5	30295	77	4	0	-
00	1005-1	005 14	T3	35840	91	4	0	5	35485	90	4	0	5	30162	77	3	1	2
96	1225mA	395 W	T4	35455	90	3	0	5	35104	89	3	0	5	29839	76	3	0	+
			T5QM	38388	97	5	0	3	38008	96	5	0	3	32306	82	5	0	1
			T5R T5W	39117	99	5	0	5	38730	98	5	0	5	32921	83	5	0	
		T5W	36984	93	5	0	4	36528	93	5	0	4	31049	79	5	0	2	

"Lumen values are from photometric tests performed in accordance with IESNA LM-79-09, Data is considered to be representative of the configurations shown. Actual performance may differ as a result of end-user environment and application.

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THE PRINCE GEORGE'S COUNTY GOVERNMENT

Office of the Clerk of the Council (301) 952-3600

S. L. 3805 (McDonald's Corp)

DECLARATION OF FUNALITY OF THE ZONING HEARING EXAMINER'S DECISION

The decision of the Zoning Hearing Examiner in this case was filed with the District Council of Prince George's County, Maryland, on <u>pecember 21, 1987</u>. A copy of the decision was sent to all partles of record on that date. Since no appeal of that decision was filed with the District Council by any person of record or the People's Zoning Counsel, and since the District Council did not elect to make the final decision, the decision of the Zoning Hearing Examiner became final and effective on January 21, 1988 , in accordance with the provisions of Section 27-312 of the Zoning Ordinance of Prince George's County, Maryland.

CERTIFICATE OF SERVICE

This is to certify that on January 26, 1988 , this notice was mailed, postage prepaid, to all persons of record.

ean M. Schmuhl Clerk of the Council

County Administration Building - Upper Mariboro, Marylander 3 0 0

EL."B"

(6/85)

GLORGES

DISTRICT COUNCIL FOR PRINCE GEORGE'S COUNTY, MARYLAND OFFICE OF ZONING HEARING EXAMINER

Realized Class Contraction Contraction

APART NO.

South Office

SPECIAL EXCEPTION 3805

DECISION December 21, 1987

Application: Alteration, Enlargement, or Extension of Nonconforming Building, Structure or Use Applicant: McDonald's Corporation Opposition: None Hearing Date: November 25, 1987 Hearing Examiner: Richard A. Romine Disposition: Approval

NATURE OF REQUEST

Special Exception 3805 is a request for permission to alter, enlarge or extend a nonconforming building, structure or use located on approximately 40,624 square feet of C-O zoned land located on the north side of Central Avenue (Md. Rt. 214) approximately 80 feet west of Brightseat Road.

FINDINGS

(1) The subject property is developed with an existing NcDonald's fast food restaurant with a drive-thru window, parking and some internal and property line landscaping. The property is bounded on the north by single-family residences and vacant lots zoned R-R, on the east by more parking for the restaurant zoned C-O, on the west by a C-O zoned office building and on the south, across Central Avenue by a mixture of Commercial and industrial uses in the C-S-C and I-2 Zones.

(2) The neighborhood is bounded on the north by an unnamed tributary to Southwest Branch and the Thomas G. Pullen Middle School, on the east by the Beltway (I-95), on the souch by Central Avenue and on the west by Hill Road, Willow Drive and Nalley Road. The neighborhood is predominantly residential with scattered commercial uses along Central Avenue. The interior of the neighborhood remains undeveloped. Residences to the north are relatively large, well maintained, detached dwellings.¹

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1 Applicant defines a smaller neighborhood. Exh. 6, pg. 4

S.E. 3805

Sec. Sec. Sec.

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(3) The property is in that area covered by the Hodel Neighborhood Area Master Plan (1973). The Plan recommends single-family residential use of the property. However, the District Council retained C-O zoning on the property during the Sectional Map Amendment (SMA) of 1977. Lot 11, to the east, is the subject of a finding in the SMA, on page 6, Finding No. 13 (CR-100-1977):

"The McDonald's property described as Randriph Village, Block 7, Lot 11 may be developed commercially to provide for additional parting and an improved circulation pattern, and to allow reasonable development in general accord with the site plan subwitted for Lot 11 at the District Council public hearing on CR-95-1977."

(4) The applicant proposes adding a drive-thrw cashier's window, increased seating, vestibules, landscaping, and increased parking, making access from Central Avenue one-way, remodeling the restrooms for serving handicapped persons, adding handicapped access ramps and moving the trash enclosure. The remainder of the facilities and operations are to stay the same.

(5) The use on site was first established as a permitted use in the C-O Zone. 'Thereafter, the Zoning Ordinance was amended defining fast food restaurants and not permitting them in the C-O Zone. The use was certified as a nonconforming use by issuance of Use and Occupancy Permit No. 2433-87-19 on June 12, 1987.

CONCLUSIONS

(1) Section 27-384 sets forth criteria for this particular special exception.

"(a) The alteration, enlargement, axtension, or reconstruction of any nonconforming building or structure, or certified nonconforming use (except those certified nonconforming uses not involving buildings), may be permitted subject to the following:

"(1) A nonconforming building or structure, or a building or structure utilized in connection with a certified nonconforming use, may be enlarged in height or bulk, provided that the requirements of Part 11 are met with respect to the area of the enlargement.

"(2) A certified nonconforming use may be extended throughout a building in which the use lawfully exists, or to the Tot lines of the lot on which it is located, provided that:

(A) The lot is as it existed as a single lot under single ownership at the time the use became nonconforming; and S.E. 3805

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(B) The requirements of Part 11 are met with regard to; the extended area.

"(5) Any new, or any addition to, or alteration or relocation of an existing building or other improvement (which is either nonconforming or utilized in connection with a certified nonconforming use), shall conform to the building line, setback, yard, and height regulations of the zone in which the certified nenconforming use is located. The District Council may further restrict the location and bulk of the building or structure where the evidence so warrants. If the use is presently permitted by special exception in the zone, the new building, improvement, or addition shall conform to all of the physical requirements of the specific special exception use. specific special exception use.

"(b) Applications for this Special Exception shall be accompanied by a copy of the Use and Occupancy Permit for the certified nonconforming use, as provided for in Section 27-241(b)."

(2) The existing fast food restaurant has been certified as a nonconforming use. The proposed 150 seats and 470 square feet of non-storage floor area require 61 parking and 75 are provided. Section 27-568. Sections 27-462(a) and 27-450 states requirements for building setbacks landscaping and screening in commercial

"... They require a 10 foot building setback from Central Avenue and a 25 foot setback from the residential properties to the north. Within these setbacks, a 10 foot wide landscaped strip is required along Central Avenue and a 12.5 foot wide strip along the rear yard. Along the north property line where the subject property adjoins residential properties, screening is required. As shown on the site plan, the proposed expanded use is in full compliance. Substantial landscaping materials and sight-tight fencing are to remain on-site to help buffer and screen the restaurant from the residences to the north. The applicant's site plan was further reviewed by Urban Design Section, ... (M-NCPPC). ... which found it to be in conformance with ail code requirements."

(3) The required findings of Section 27-317 are met. While the Master Plan recommends single-family detached use of the property. the subsequent comprehensive rezoning retention of the C-O zoning on the property has, in essence, modified this recommendation.²

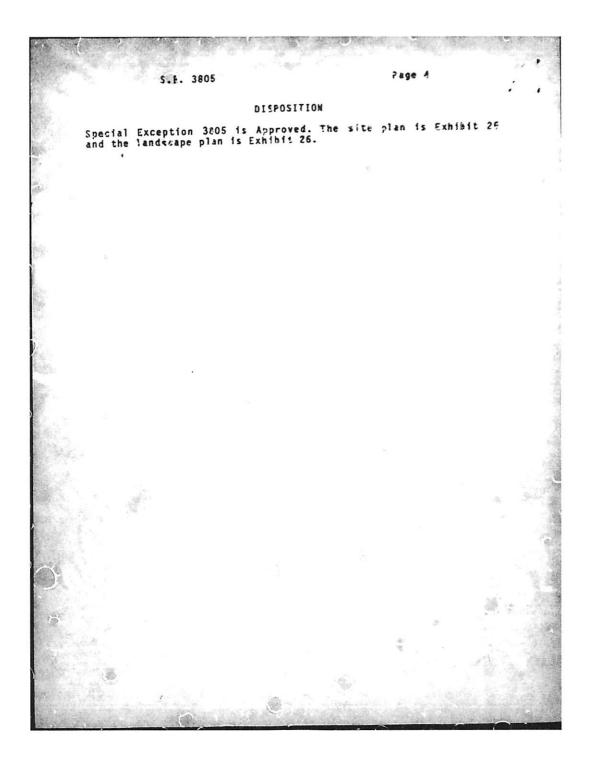
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THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION 14741 Governor Oden Bowie Drive Upper Maribore, Maryland 20772

TDD: (301) 952-3796

PGCPB No. 94-182

File No. ROSP-SE-3805 File No. VSE-3895

Prince George's County Revision of Site Plan (Minor Change) Special Exception
 No. 3805/VSE-3805
 Applicant: McDonald's Corporation, Owner
 Edward C. Gibbs, Jr., Correspondent
 Location: The subject property is located in the northwest quadrant of the intersection of Central Avenue and Brightseat Road
 Request: Modification of a certified legal nonconforming fast food restaurant in accordance with Sections 27-384 and 27-317 of the Zoning Ordinance. Variance from 10-foot setback from a street line requirement for structures per Section 27-462(b).

RESQLUIIQN

WHEREAS, the applicant is requesting approval of a minor change to Special Exception No. 3805 in accordance with Section 27-325(b) of the Prince George's County Zoning Ordinance; and

WHEREAS, under this provision the applicant is requesting approval of a minor change to Special Exception No. 3805 in accordance with Sections 27-384 and 27-317 of the Zoning Ordinance; and

WHEREAS, the revised site plan requires a variance from the 10-foot setback from a streetline per Section 27-462(b); and

WHEREAS, the advertisement of the public hearing was posted on the property in accordance with the adopted Rules of Procedure of the Prince George's County Planning Board; and

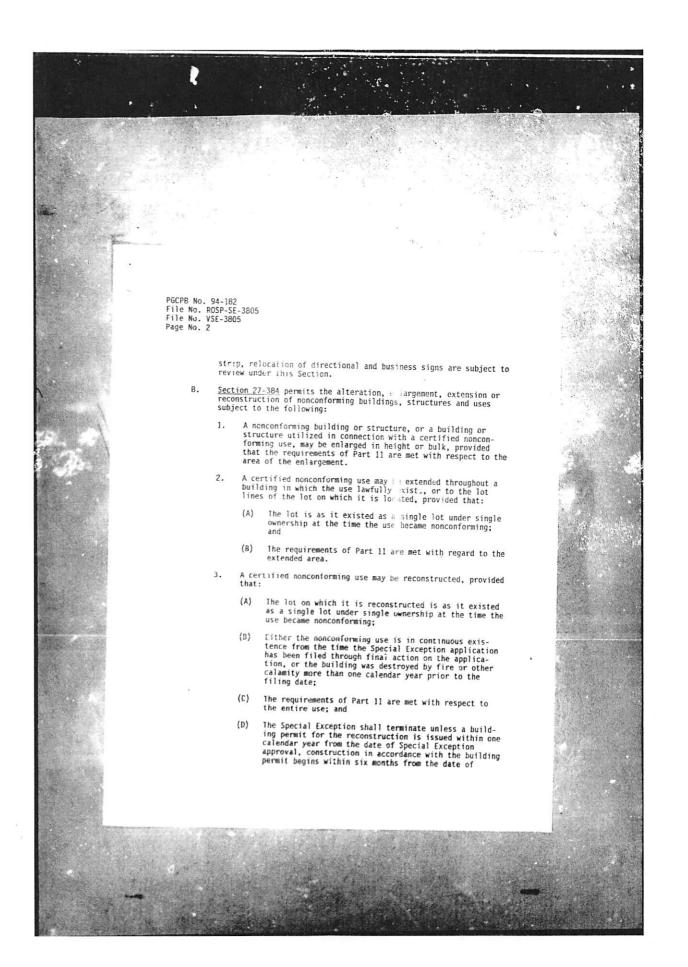
WHEREAS, the Technical Staff Report released May 26, 1994, recommended APPROVAL, with conditions and APPROVAL of AC-94031; and

WHEREAS, after consideration of the Technical Staff Report and testimony at its regular meeting on June 2, 1994, the Prince George's County Planning Board agreed with the staff recommendation; and

WHEREAS, the Planning Board decision is based on the findings and conclusions found in the Technical Staff Report (Exhibit No. 10) and the following DETERMINATIONS:

ROSP-SE-3805

<u>Section 27-325(b)</u> permits minor changes to site plans for proper-ties of less than five acres where there is a proposed change in the design of a parking lot or loading area or a change in a Landscape Plan. The proposed changes to the parking lot landscape Α.



> permit issuance (or lawful extension), and the construction proceeds to completion in a timely manner.

4. When not otherwise allowed, a certified nonconforming use may be otherwise altered by the addition or relocation of improvements, such as fencing, landscaping, off-street parking and loading areas, and outdoor trash enclosures, or the relocation of buildings or other improvements within the boundary lines of the lot as it existed as a single lot under single ownership at the time the use became nonconforming.

5. Any new, or any addition to, or alteration or relocation of an existing building or other improvement (which is either nonconforming or utilized in connection with a certified nonconforming use), shall conform to the building line, setback, yard, and height regulations of the zone in which the certified nonconforming use is located. The District Council may further restrict the location and bulk of the building or structure where the evidence so warrants. If the use is presently permitted by Special Exception in the zone, the new building, improvement, or addition shall conform to all of the physical requirements of the specific Special Exception use.

- C. The subject use was certified as a nonconforming use in April 1987. In accordance with Section 27-384(a) (4), the applicant is relocating improvements such as signs and landscaping.
- D. Section 27-317 provides the general findings for approval of a Special Exception. On January 21, 1988, the District Council approved this Special Exception and found the subject use to be in compliance with these requirements. The proposed revisions are very minor and necessary essentially due to the widening of Central Avenue. Staff therefore believes this application does not invalidate the original Special Exception findings. The site plan identifies a portion of the one-story building as the "existing building." The plan was so labelled on the 1987 Special Exception site plan to distinguish between a proposed building expansion and what was the existing building at that time. This revision was approved in January 1988 and the work has been completed. It appears the current site plan was never changed to reflect the building expansion. If this application is approved, we recommend that the site plan be updated to show the building as it currently exists.

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VSE-3805

A. The applicant filed the subject variance request to address the setback requirement in Section 27-462(b). This section requires that structures be set back at least 10 feet from a street line. The site plan shows directional signs for the parking lot, bike racks and flag poles along Central Avenue. Prior to the widening of Central Avenue, these improvements met the setback requirement. The recent acquisition of the right-of-way in front of the subject property created a new street line. In a memo dated May 17, 1994, the Permit Review Section opined that these improvements are not subject to the setback requirement. The subject variance is not, therefore, required.

AC-94031

A. The applicant is requesting Alternative Compliance from Section 4.3 (Parking Lot Landscaped Strip). The subject property has 387 feet of frontage on Central Avenue and Brightseat Road. Based on a standard of one shade tree and five shrubs per 35 linear feet, the applicant would be required to provide the following:

REQUIRED

Width: 10-foot strip Shade Trees: 11 Shrubs: 111

PROVIDED

Width: 10 feet for 243 linear feet; 3-5 feet for 144 linear feet

Shade Trees: 11 Shrubs: 112

In recommending approval, the Alternative Compliance Committee notes that:

"The request is necessitated by the widening of Central Avenue. Prior to the taking of additional right-of-way for Central Avenue, the site exhibited the 10-foot-wide landscape strip required. The new right-of-way reduces the width of the landscaped strip.

"The Landscape Plan provides 100% of the plant units required in the space available after the road widening. Requiring full

compliance with the width standards would force the applicant to remove existing, permitted parking lot paving. The Alterna-tive Compliance Committee feels this is unnecessary because the applicant provides all required plant units in the available space. The proposed landscaping is equal to that which is required by the Landscape Manual."

NOW, THEREFORE, BE IT RESOLVED, that this application for a "minor change" to Special Exception No. 3805 and AC-94031, are hereby APPROVED, subject to the following condition:

The site plan shall be revised to show the correct building footprint.

BE IT FURTHER RESOLVED, that the variance requested by VSE-3805 is hereby APPROVED.

This is to certify that the foregoing is a true and correct copy of the action taken by the Prince George's County Planning Board of The Maryland-National Capital Park and Planning Commission on the motion of Commissioner McNeill, seconded by Commissioner Boone, with Commissioners McNeill, Boone and Dabney voting in favor of the motion, and with Commissioners Rhoads and Brown absent, at its regular meeting held on <u>Thursday</u>, June 2, 1994, in Upper Marlboro, Maryland.

Adopted by the Prince George's County Planning Board this 23rd day of June 1994.

By

LeRoy J. Hedgepeth Executive Director

Grances J. Guert Frances J. Guertin Planning Board Administrator

LJH:FJG:JJ:aj

G 18194 DATE



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION 14741 Governor Oden Bowie Drive Upper Marlboro, Maryland 20772 TDD: (301) 952-3796 File No. ROSP-SE-3805 File No. VSE-3895 PGCPB No. 94-182 Prince George's County Revision of Site Plan (Minor Change) Special Exception Prince George's County Revision of Site Plan (Minor Change) Special Exception No. 3805/VSE-3805 Applicant: McDonald's Corporation, Owner Edward C. 6ibbs, Jr., Correspondent Location: The Subject property is located in the northwest quadrant of the intersection of Central Avenue and Brightseat Road Request: Modification of a certified legal nonconforming fast food restau-rant in accordance with Sections 27-384 and 27-317 of the Zoning Ordinance. Variance from 10-foot setback from a street line requirement for structures per Section 27-462(b).

RESOLUTION

WHEREAS, the applicant is requesting approval of a minor change to Special Exception No. 3805 in accordance with Section 27-325(b) of the Prince George's County Zoning Ordinance; and

WHEREAS, under this provision the applicant is requesting approval of a minor change to Special Exception No. 3805 in accordance with Sections 27-384 and 27-317 of the Zoning Ordinance; and

WHEREAS, the revised site plan requires a variance from the 10-foot setback from a streetline per Section 27-462(b); and

WHEREAS, the advertisement of the public hearing was posted on the property in accordance with the adopted Rules of Procedure of the Prince George's County Planning Board; and

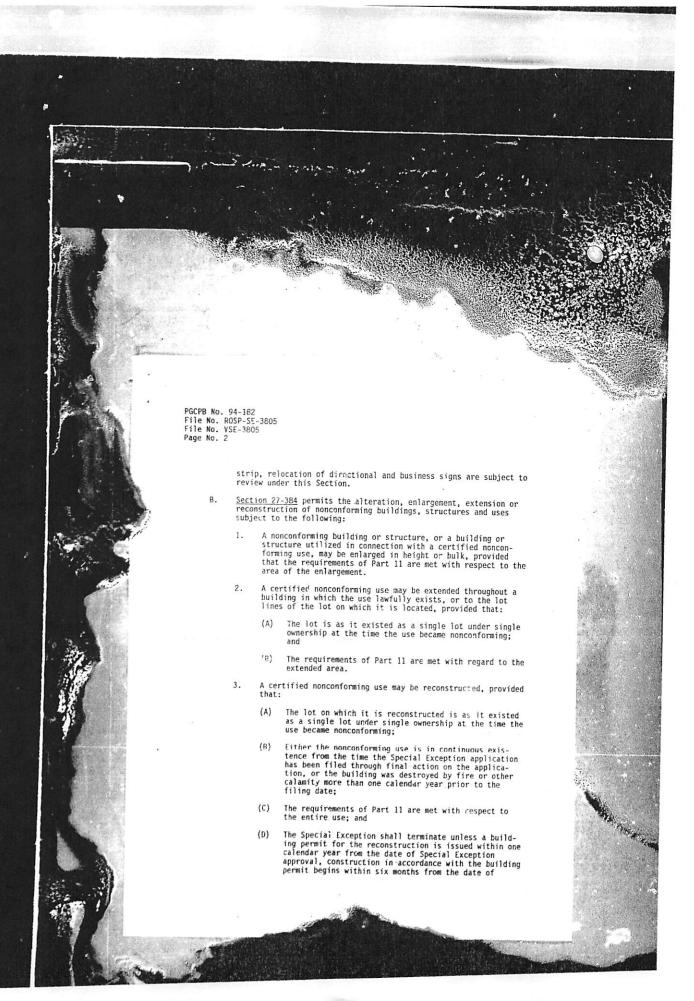
WHEREAS, the Technical Staff Report released May 26, 1994, recommended APPROVAL, with conditions and APPROVAL of AC-94031; and

WHEREAS, after consideration of the Technical Staff Report and testimony at its regular meeting on June 2, 1994, the Prince George's County Planning Board agreed with the staff recommendation; and

WHEREAS, the Planning Board decision is based on the findings and conclusions found in the Technical Staff Report (Exhibit No. 10) and the following DETERMINATIONS:

ROSP-SE-3805

Section 27-325(b) permits minor changes to site plans for proper-ties of less than five acres where there is a proposed change in the design of a parking lot or loading area or a change in a Landscape Plan. The proposed changes to the parking lot landscape Α.



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- C. The subject use was certified as a nonconforming use in 1987. In accordance with Section 27-384(a)(4), the applic relocating improvements such as signs and landscaping.

Section 27-317 provides the general findings for approval expectations on January 21, 1988, the District Counce approved this Special Exception and found the subject use to compliance with these requirements. The proposed revisions every minor and necessary essentially due to the widening of Central Avenue. Staff therefore believes this application does not invalidate the original Special Exception findings. The simplan identifies a portion of the one-story building as the "exfirming building." The plan was so labelied on the 1987 Special Exception site plan to distinguish between a proposed building expansion and what was the existing building at that time. This revision was approved in January 1988 and the work has been completed. It appears the current site plan usa never changed to reflect the building expansion. If this application is approved, we recommend that the site plan be updated to show the building as it currently exists.

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REQUIRED

Width: 10-foot strip Shade Trees: 11 Shrubs: 111

PROVIDED

Width: 10 feet for 243 linear feet; 3-5 feet for 144 linear feet

Shade Trees: 11 Shrubs: 112

In recommending approval, the Alternative Compliance $\ensuremath{\mathsf{Committee}}$ notes that:

"The request is necessitated by the widening of Central 7. Suc. Prior to the taking of additional right-of-way for Central Avenue, the site exhibited the 10-foot-wide landscape strip required. The new right-of-way reduces the width of "In" land scaped strip.

"The Landscape Plan provides 100% of the plant units required in the space available after the road widening. Requiring full

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compliance with the width standards would force the applicant to remove existing, permitted parking (of paving. The Alternative Compliance Committee feels this is unnecessary because the applicant provides all required plant units in the available space. The proposed landscaping is equal to that which is required by the Landscape Manual."

NOW, THEREFORE, BE IT RESOLVED, that this application for a "minor change" to Special Exception No. 3805 and AC-94031, are hereby APPROVED, subject to the following condition:

The site plan shall be revised to show the correct building footprint.

BE IT FURTHER RESOLVED, that the variance requested by VSE-3805 is hereby APPROVED.

This is to certify that the foregoing is a true and correct copy of the action taken by the Prince George's County Planning Board of The Maryland-National Capital Park and Planning Commission on the motion of Commissioner MCNeill, seconded by Commissioner Boone, with Commissioners Rhoell, Boone and Dabney voting in favor of the motion, and with Commissioners Rhoads and Brown absent, at its regular meeting held on <u>Thursday, June 2, 1994</u>, in Upper Marlboro, Maryland.

Adopted by the Prince George's County Planning Board this 23rd day of June 1994.

LeRoy J. Hedgepeth Executive Director

By France J. Guertin Planning Board Administrator

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DATE:

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THE PRINCE GEORGE'S COUNTY GOVERNMENT

Office of the Clerk of the Council (301) 952-3600

S. L. 3805 (McDonald's Corp)

DECLARATION OF FUNALITY OF THE ZONING HEARING EXAMINER'S DECISION

The decision of the Zoning Hearing Examiner in this case was filed with the District Council of Prince George's County, Maryland, on <u>pecember 21, 1987</u>. A copy of the decision was sent to all partles of record on that date. Since no appeal of that decision was filed with the District Council by any person of record or the People's Zoning Counsel, and since the District Council did not elect to make the final decision, the decision of the Zoning Hearing Examiner became final and effective on January 21, 1988 , in accordance with the provisions of Section 27-312 of the Zoning Ordinance of Prince George's County, Maryland.

CERTIFICATE OF SERVICE

This is to certify that on January 26, 1988 , this notice was mailed, postage prepaid, to all persons of record.

ean M. Schmuhl Clerk of the Council

County Administration Building - Upper Mariboro, Marylander 3 0 0

EL."B"

(6/85)

GLORGES

DISTRICT COUNCIL FOR PRINCE GEORGE'S COUNTY, MARYLAND OFFICE OF ZONING HEARING EXAMINER

Realized Class Contraction Contraction

APART NO.

South Office

SPECIAL EXCEPTION 3805

DECISION December 21, 1987

Application: Alteration, Enlargement, or Extension of Nonconforming Building, Structure or Use Applicant: McDonald's Corporation Opposition: None Hearing Date: November 25, 1987 Hearing Examiner: Richard A. Romine Disposition: Approval

NATURE OF REQUEST

Special Exception 3805 is a request for permission to alter, enlarge or extend a nonconforming building, structure or use located on approximately 40,624 square feet of C-O zoned land located on the north side of Central Avenue (Md. Rt. 214) approximately 80 feet west of Brightseat Road.

FINDINGS

(1) The subject property is developed with an existing NcDonald's fast food restaurant with a drive-thru window, parking and some internal and property line landscaping. The property is bounded on the north by single-family residences and vacant lots zoned R-R, on the east by more parking for the restaurant zoned C-O, on the west by a C-O zoned office building and on the south, across Central Avenue by a mixture of Commercial and industrial uses in the C-S-C and I-2 Zones.

(2) The neighborhood is bounded on the north by an unnamed tributary to Southwest Branch and the Thomas G. Pullen Middle School, on the east by the Beltway (I-95), on the souch by Central Avenue and on the west by Hill Road, Willow Drive and Nalley Road. The neighborhood is predominantly residential with scattered commercial uses along Central Avenue. The interior of the neighborhood remains undeveloped. Residences to the north are relatively large, well maintained, detached dwellings.¹

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1 Applicant defines a smaller neighborhood. Exh. 6, pg. 4

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(3) The property is in that area covered by the Hodel Neighborhood Area Master Plan (1973). The Plan recommends single-family residential use of the property. However, the District Council retained C-O zoning on the property during the Sectional Map Amendment (SMA) of 1977. Lot 11, to the east, is the subject of a finding in the SMA, on page 6, Finding No. 13 (CR-100-1977):

"The McDonald's property described as Randriph Village, Block 7, Lot 11 may be developed commercially to provide for additional parting and an improved circulation pattern, and to allow reasonable development in general accord with the site plan subwitted for Lot 11 at the District Council public hearing on CR-95-1977."

(4) The applicant proposes adding a drive-thrw cashier's window, increased seating, vestibules, landscaping, and increased parking, making access from Central Avenue one-way, remodeling the restrooms for serving handicapped persons, adding handicapped access ramps and moving the trash enclosure. The remainder of the facilities and operations are to stay the same.

(5) The use on site was first established as a permitted use in the C-O Zone. 'Thereafter, the Zoning Ordinance was amended defining fast food restaurants and not permitting them in the C-O Zone. The use was certified as a nonconforming use by issuance of Use and Occupancy Permit No. 2433-87-19 on June 12, 1987.

CONCLUSIONS

(1) Section 27-384 sets forth criteria for this particular special exception.

"(a) The alteration, enlargement, axtension, or reconstruction of any nonconforming building or structure, or certified nonconforming use (except those certified nonconforming uses not involving buildings), may be permitted subject to the following:

"(1) A nonconforming building or structure, or a building or structure utilized in connection with a certified nonconforming use, may be enlarged in height or bulk, provided that the requirements of Part 11 are met with respect to the area of the enlargement.

"(2) A certified nonconforming use may be extended throughout a building in which the use lawfully exists, or to the Tot lines of the lot on which it is located, provided that:

(A) The lot is as it existed as a single lot under single ownership at the time the use became nonconforming; and S.E. 3805

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(B) The requirements of Part 11 are met with regard to; the extended area.

"(5) Any new, or any addition to, or alteration or relocation of an existing building or other improvement (which is either nonconforming or utilized in connection with a certified nonconforming use), shall conform to the building line, setback, yard, and height regulations of the zone in which the certified nenconforming use is located. The District Council may further restrict the location and bulk of the building or structure where the evidence so warrants. If the use is presently permitted by special exception in the zone, the new building, improvement, or addition shall conform to all of the physical requirements of the specific special exception use. specific special exception use.

"(b) Applications for this Special Exception shall be accompanied by a copy of the Use and Occupancy Permit for the certified nonconforming use, as provided for in Section 27-241(b)."

(2) The existing fast food restaurant has been certified as a nonconforming use. The proposed 150 seats and 470 square feet of non-storage floor area require 61 parking and 75 are provided. Section 27-568. Sections 27-462(a) and 27-450 states requirements for building setbacks landscaping and screening in commercial

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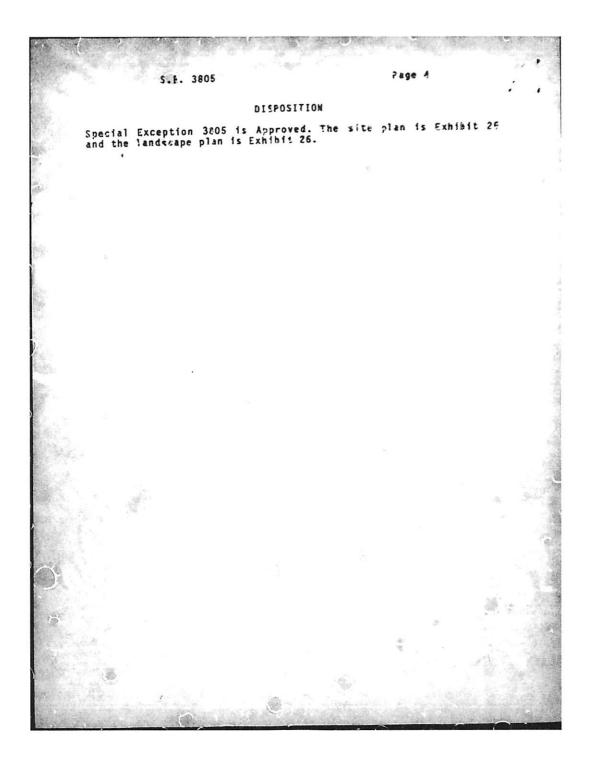
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THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION 14741 Governor Oden Bowie Drive Upper Maribore, Maryland 20772

TDD: (301) 952-3796

PGCPB No. 94-182

File No. ROSP-SE-3805 File No. VSE-3895

Prince George's County Revision of Site Plan (Minor Change) Special Exception
 No. 3805/VSE-3805
 Applicant: McDonald's Corporation, Owner
 Edward C. Gibbs, Jr., Correspondent
 Location: The subject property is located in the northwest quadrant of the intersection of Central Avenue and Brightseat Road
 Request: Modification of a certified legal nonconforming fast food restaurant in accordance with Sections 27-384 and 27-317 of the Zoning Ordinance. Variance from 10-foot setback from a street line requirement for structures per Section 27-462(b).

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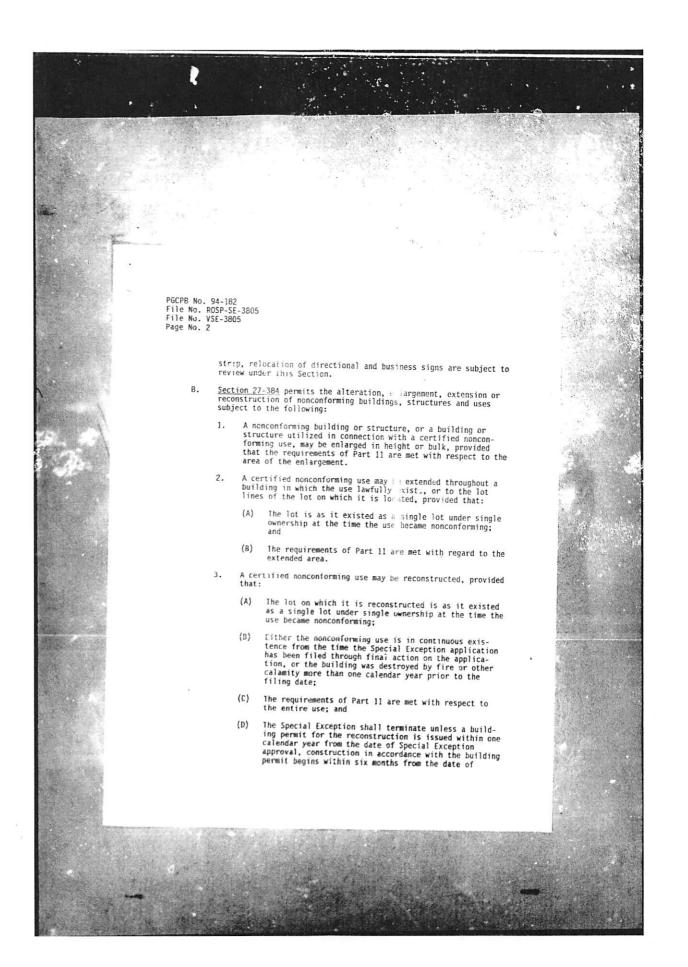
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- C. The subject use was certified as a nonconforming use in April 1987. In accordance with Section 27-384(a) (4), the applicant is relocating improvements such as signs and landscaping.
- D. Section 27-317 provides the general findings for approval of a Special Exception. On January 21, 1988, the District Council approved this Special Exception and found the subject use to be in compliance with these requirements. The proposed revisions are very minor and necessary essentially due to the widening of Central Avenue. Staff therefore believes this application does not invalidate the original Special Exception findings. The site plan identifies a portion of the one-story building as the "existing building." The plan was so labelled on the 1987 Special Exception site plan to distinguish between a proposed building expansion and what was the existing building at that time. This revision was approved in January 1988 and the work has been completed. It appears the current site plan was never changed to reflect the building expansion. If this application is approved, we recommend that the site plan be updated to show the building as it currently exists.

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In recommending approval, the Alternative Compliance Committee notes that:

"The request is necessitated by the widening of Central Avenue. Prior to the taking of additional right-of-way for Central Avenue, the site exhibited the 10-foot-wide landscape strip required. The new right-of-way reduces the width of the landscaped strip.

"The Landscape Plan provides 100% of the plant units required in the space available after the road widening. Requiring full

compliance with the width standards would force the applicant to remove existing, permitted parking lot paving. The Alterna-tive Compliance Committee feels this is unnecessary because the applicant provides all required plant units in the available space. The proposed landscaping is equal to that which is required by the Landscape Manual."

NOW, THEREFORE, BE IT RESOLVED, that this application for a "minor change" to Special Exception No. 3805 and AC-94031, are hereby APPROVED, subject to the following condition:

The site plan shall be revised to show the correct building footprint.

BE IT FURTHER RESOLVED, that the variance requested by VSE-3805 is hereby APPROVED.

This is to certify that the foregoing is a true and correct copy of the action taken by the Prince George's County Planning Board of The Maryland-National Capital Park and Planning Commission on the motion of Commissioner McNeill, seconded by Commissioner Boone, with Commissioners McNeill, Boone and Dabney voting in favor of the motion, and with Commissioners Rhoads and Brown absent, at its regular meeting held on <u>Thursday</u>, June 2, 1994, in Upper Marlboro, Maryland.

Adopted by the Prince George's County Planning Board this 23rd day of June 1994.

By

LeRoy J. Hedgepeth Executive Director

Grances J. Guert Frances J. Guertin Planning Board Administrator

LJH:FJG:JJ:aj

G 18194 DATE



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION Maryland commendation THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION Maryland commendation THE Maryland commendation The subject Maryland commendation The No. 805P-SE-3805 The No. 805P-SE-3805 The subject property is located in the northwest guadrant of the Maryland C. Glibs, U. C. Guille State Canadian State State Canadian State Canadian State State Canadian State State Canadian State State Canadian State Canadian State State

RESOLUIION

WHEREAS, the applicant is requesting approval of a minor change to Special Exception No. 3805 in accordance with Section 27-325(b) of the Prince George's County Zoning Ordinance; and

WHEREAS, under this provision the applicant is requesting approval of a minor change to Special Exception No. 3805 in accordance with Sections 27-384 and 27-317 of the Zoning Ordinance; and

WHEREAS, the revised site plan requires a variance from the 10-foot setback from a streetline per Section 27-462(b); and

WHEREAS, the advertisement of the public hearing was posted on the property in accordance with the adopted Rules of Procedure of the Prince George's County Planning Board; and

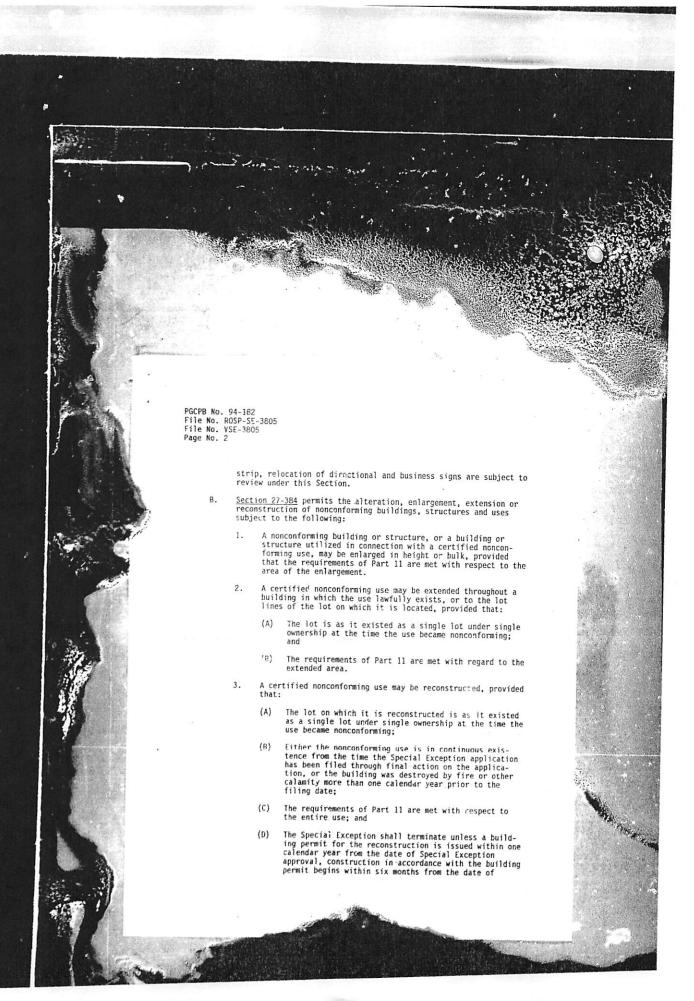
WHEREAS, the Technical Staff Report released May 26, 1994, recommended APPROVAL, with conditions and APPROVAL of AC-94031; and

WHEREAS, after consideration of the Technical Staff Report and testimony at its regular meeting on June 2, 1994, the Prince George's County Planning Board agreed with the staff recommendation; and

WHEREAS, the Planning Board decision is based on the findings and conclusions found in the Technical Staff Report (Exhibit No. 10) and the following DETERMINATIONS:

ROSP-SE-3805

A. <u>Section 27-325(b)</u> permits minor changes to site plans for properties of less than five acres where there is a proposed change in the design of a parking lot or loading area or a change in a Landscape Plan. The proposed changes to the parking lot landscape



D.

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- 4. When not otherwise allowed, a certified nonconforming use may be otherwise altered by the addition or relocation of improvements, such as fencing, landscaping, oil street parking and loading areas, and outdoor trash acclosures, or the relocation of buildings or other improvements within the boundary lines of the lot as it existed as a single lot under single ownership at the time the use because prove forming.
- 5. Any new, or any addition to, or alteration or reason an existing building or other improvement (which nonconforming use), shall conform to the build's setback, yard, and height regulations of the zethe certified nonconforming use is located. To council may further restrict the location and building or structure where the evidence so war the use is presently permitted by Special Exception, the new building, improvement, or addition conform to all of the physical requirements of the special Exception use.
- C. The subject use was certified as a nonconforming use in 1987. In accordance with Section 27-384(a)(4), the applic relocating improvements such as signs and landscaping.

Section 27-317 provides the general findings for approval expectations on January 21, 1988, the District Counce approved this Special Exception and found the subject use to compliance with these requirements. The proposed revisions every minor and necessary essentially due to the widening of Central Avenue. Staff therefore believes this application does not invalidate the original Special Exception findings. The signal approved on the 1987 Special Exception site plan to distinguish between a proposed building expansion and what was the existing building at the time. This revision was approved in January 1988 and the work has been completed. It appears the current site plan usa never changed to reflect the building expansion. If this application is approved, we recommend that the site plan be updated to show the building as it currently exists.

VSE-3805

A. The applicant filed the subject variance request to address the setback requirement in Section 27-462(b). This "is requires that structures be set back at least 10 feet from a streat line. The site plan shows directional signs for the parking lot, bike racks and flag poles along Central Avenue. Prior to the widening of Central Avenue, these improvements met the setback equirement. The recent acquisition of the right-of-way in from a fite subject property created a new street line. In a memo dated May 17, 1994, the Permit Review Section opined that these improvements are not subject to the setback requirement. The subject variance is not, therefore, required.

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AC-94031

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The applicant is requesting Alternative Compliance from Section. 4.3 (Parking Lot Landscaped Strip). The subject property has "97 feet of frontage on Central Avenue and Brightseat Road. Based on a standard of one shade tree and five shrubs per 35 linear feet, the applicant would be required to provide the following:

REQUIRED

Width: 10-foot strip Shade Trees: 11 Shrubs: 111

PROVIDED

Width: 10 feet for 243 linear feet; 3-5 feet for 144 linear feet

Shade Trees: 11 Shrubs: 112

In recommending approval, the Alternative Compliance $\ensuremath{\mathsf{Committee}}$ notes that:

"The request is necessitated by the widening of Central 7. Suc. Prior to the taking of additional right-of-way for Central Avenue, the site exhibited the 10-foot-wide landscape strip required. The new right-of-way reduces the width of "In" land scaped strip.

"The Landscape Plan provides 100% of the plant units required in the space available after the road widening. Requiring full

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compliance with the width standards would force the applicant to remove existing, permitted parking (of paving. The Alternative Compliance Committee feels this is unnecessary because the applicant provides all required plant units in the available space. The proposed landscaping is equal to that which is required by the Landscape Manual."

NOW, THEREFORE, BE IT RESOLVED, that this application for a "minor change" to Special Exception No. 3805 and AC-94031, are hereby APPROVED, subject to the following condition:

The site plan shall be revised to show the correct building footprint.

BE IT FURTHER RESOLVED, that the variance requested by VSE-3805 is hereby APPROVED.

This is to certify that the foregoing is a true and correct copy of the action taken by the Prince George's County Planning Board of The Maryland-National Capital Park and Planning Commission on the motion of Commissioner MCNeill, seconded by Commissioner Boone, with Commissioners Rhoell, Boone and Dabney voting in favor of the motion, and with Commissioners Rhoads and Brown absent, at its regular meeting held on <u>Thursday, June 2, 1994</u>, in Upper Marlboro, Maryland.

Adopted by the Prince George's County Planning Board this 23rd day of June 1994.

LeRoy J. Hedgepeth Executive Director

By France J. Guertin Planning Board Administrator

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DATE:

LJH:FJG:JJ:aj

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THE PRINCE GEORGE'S COUNTY GOVERNMENT

Office of the Clerk of the Council (301) 952-3600

S. L. 3805 (McDonald's Corp)

DECLARATION OF FUNALITY OF THE ZONING HEARING EXAMINER'S DECISION

The decision of the Zoning Hearing Examiner in this case was filed with the District Council of Prince George's County, Maryland, on <u>pecember 21, 1987</u>. A copy of the decision was sent to all partles of record on that date. Since no appeal of that decision was filed with the District Council by any person of record or the People's Zoning Counsel, and since the District Council did not elect to make the final decision, the decision of the Zoning Hearing Examiner became final and effective on January 21, 1988 , in accordance with the provisions of Section 27-312 of the Zoning Ordinance of Prince George's County, Maryland.

CERTIFICATE OF SERVICE

This is to certify that on January 26, 1988 , this notice was mailed, postage prepaid, to all persons of record.

ean M. Schmuhl Clerk of the Council

County Administration Building - Upper Mariboro, Marylander 3 0 0

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(6/85)

GLORGES

DISTRICT COUNCIL FOR PRINCE GEORGE'S COUNTY, MARYLAND OFFICE OF ZONING HEARING EXAMINER

Realized Class Contraction Contraction

APART NO.

South Office

SPECIAL EXCEPTION 3805

DECISION December 21, 1987

Application: Alteration, Enlargement, or Extension of Nonconforming Building, Structure or Use Applicant: McDonald's Corporation Opposition: None Hearing Date: November 25, 1987 Hearing Examiner: Richard A. Romine Disposition: Approval

NATURE OF REQUEST

Special Exception 3805 is a request for permission to alter, enlarge or extend a nonconforming building, structure or use located on approximately 40,624 square feet of C-O zoned land located on the north side of Central Avenue (Md. Rt. 214) approximately 80 feet west of Brightseat Road.

FINDINGS

(1) The subject property is developed with an existing NcDonald's fast food restaurant with a drive-thru window, parking and some internal and property line landscaping. The property is bounded on the north by single-family residences and vacant lots zoned R-R, on the east by more parking for the restaurant zoned C-O, on the west by a C-O zoned office building and on the south, across Central Avenue by a mixture of Commercial and industrial uses in the C-S-C and I-2 Zones.

(2) The neighborhood is bounded on the north by an unnamed tributary to Southwest Branch and the Thomas G. Pullen Middle School, on the east by the Beltway (I-95), on the souch by Central Avenue and on the west by Hill Road, Willow Drive and Nalley Road. The neighborhood is predominantly residential with scattered commercial uses along Central Avenue. The interior of the neighborhood remains undeveloped. Residences to the north are relatively large, well maintained, detached dwellings.¹

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1 Applicant defines a smaller neighborhood. Exh. 6, pg. 4

S.E. 3805

Sec. Sec. Sec.

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(3) The property is in that area covered by the Hodel Neighborhood Area Master Plan (1973). The Plan recommends single-family residential use of the property. However, the District Council retained C-O zoning on the property during the Sectional Map Amendment (SMA) of 1977. Lot 11, to the east, is the subject of a finding in the SMA, on page 6, Finding No. 13 (CR-100-1977):

"The McDonald's property described as Randriph Village, Block 7, Lot 11 may be developed commercially to provide for additional parting and an improved circulation pattern, and to allow reasonable development in general accord with the site plan subwitted for Lot 11 at the District Council public hearing on CR-95-1977."

(4) The applicant proposes adding a drive-thrw cashier's window, increased seating, vestibules, landscaping, and increased parking, making access from Central Avenue one-way, remodeling the restrooms for serving handicapped persons, adding handicapped access ramps and moving the trash enclosure. The remainder of the facilities and operations are to stay the same.

(5) The use on site was first established as a permitted use in the C-O Zone. 'Thereafter, the Zoning Ordinance was amended defining fast food restaurants and not permitting them in the C-O Zone. The use was certified as a nonconforming use by issuance of Use and Occupancy Permit No. 2433-87-19 on June 12, 1987.

CONCLUSIONS

(1) Section 27-384 sets forth criteria for this particular special exception.

"(a) The alteration, enlargement, axtension, or reconstruction of any nonconforming building or structure, or certified nonconforming use (except those certified nonconforming uses not involving buildings), may be permitted subject to the following:

"(1) A nonconforming building or structure, or a building or structure utilized in connection with a certified nonconforming use, may be enlarged in height or bulk, provided that the requirements of Part 11 are met with respect to the area of the enlargement.

"(2) A certified nonconforming use may be extended throughout a building in which the use lawfully exists, or to the Tot lines of the lot on which it is located, provided that:

(A) The lot is as it existed as a single lot under single ownership at the time the use became nonconforming; and S.E. 3805

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(B) The requirements of Part 11 are met with regard to; the extended area.

"(5) Any new, or any addition to, or alteration or relocation of an existing building or other improvement (which is either nonconforming or utilized in connection with a certified nonconforming use), shall conform to the building line, setback, yard, and height regulations of the zone in which the certified nenconforming use is located. The District Council may further restrict the location and bulk of the building or structure where the evidence so warrants. If the use is presently permitted by special exception in the zone, the new building, improvement, or addition shall conform to all of the physical requirements of the specific special exception use. specific special exception use.

"(b) Applications for this Special Exception shall be accompanied by a copy of the Use and Occupancy Permit for the certified nonconforming use, as provided for in Section 27-241(b)."

(2) The existing fast food restaurant has been certified as a nonconforming use. The proposed 150 seats and 470 square feet of non-storage floor area require 61 parking and 75 are provided. Section 27-568. Sections 27-462(a) and 27-450 states requirements for building setbacks landscaping and screening in commercial

"... They require a 10 foot building setback from Central Avenue and a 25 foot setback from the residential properties to the north. Within these setbacks, a 10 foot wide landscaped strip is required along Central Avenue and a 12.5 foot wide strip along the rear yard. Along the north property line where the subject property adjoins residential properties, screening is required. As shown on the site plan, the proposed expanded use is in full compliance. Substantial landscaping materials and sight-tight fencing are to remain on-site to help buffer and screen the restaurant from the residences to the north. The applicant's site plan was further reviewed by Urban Design Section, ... (M-NCPPC). ... which found it to be in conformance with ail code requirements."

(3) The required findings of Section 27-317 are met. While the Master Plan recommends single-family detached use of the property. the subsequent comprehensive rezoning retention of the C-O zoning on the property has, in essence, modified this recommendation.²

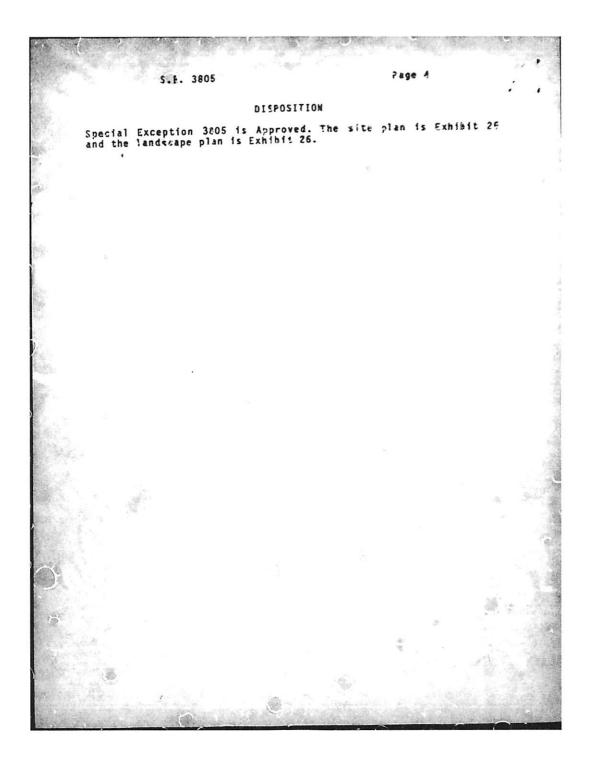
² Where the Master Plan and zoning map conflict, the zoning map prevails. <u>Chapman v. Montgomery County</u>, 259 Md. 641, 271A.2d 156 (1970); <u>Boyds Civic Association et al. vs. Montgomery County</u> <u>Council et al.</u>, 309 Md. 683, 526A.2d 598 (1987).

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THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION 14741 Governor Oden Bowie Drive Upper Maribore, Maryland 20772

TDD: (301) 952-3796

PGCPB No. 94-182

File No. ROSP-SE-3805 File No. VSE-3895

Prince George's County Revision of Site Plan (Minor Change) Special Exception
 No. 3805/VSE-3805
 Applicant: McDonald's Corporation, Owner
 Edward C. Gibbs, Jr., Correspondent
 Location: The subject property is located in the northwest quadrant of the intersection of Central Avenue and Brightseat Road
 Request: Modification of a certified legal nonconforming fast food restaurant in accordance with Sections 27-384 and 27-317 of the Zoning Ordinance. Variance from 10-foot setback from a street line requirement for structures per Section 27-462(b).

RESQLUIIQN

WHEREAS, the applicant is requesting approval of a minor change to Special Exception No. 3805 in accordance with Section 27-325(b) of the Prince George's County Zoning Ordinance; and

WHEREAS, under this provision the applicant is requesting approval of a minor change to Special Exception No. 3805 in accordance with Sections 27-384 and 27-317 of the Zoning Ordinance; and

WHEREAS, the revised site plan requires a variance from the 10-foot setback from a streetline per Section 27-462(b); and

WHEREAS, the advertisement of the public hearing was posted on the property in accordance with the adopted Rules of Procedure of the Prince George's County Planning Board; and

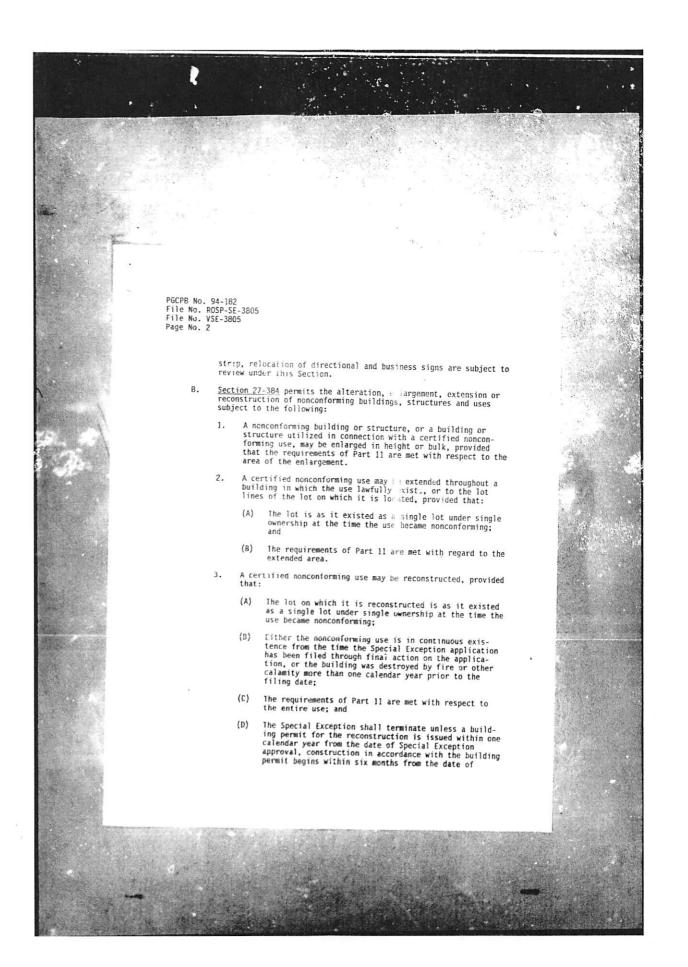
WHEREAS, the Technical Staff Report released May 26, 1994, recommended APPROVAL, with conditions and APPROVAL of AC-94031; and

WHEREAS, after consideration of the Technical Staff Report and testimony at its regular meeting on June 2, 1994, the Prince George's County Planning Board agreed with the staff recommendation; and

WHEREAS, the Planning Board decision is based on the findings and conclusions found in the Technical Staff Report (Exhibit No. 10) and the following DETERMINATIONS:

ROSP-SE-3805

<u>Section 27-325(b)</u> permits minor changes to site plans for proper-ties of less than five acres where there is a proposed change in the design of a parking lot or loading area or a change in a Landscape Plan. The proposed changes to the parking lot landscape Α.



> permit issuance (or lawful extension), and the construction proceeds to completion in a timely manner.

4. When not otherwise allowed, a certified nonconforming use may be otherwise altered by the addition or relocation of improvements, such as fencing, landscaping, off-street parking and loading areas, and outdoor trash enclosures, or the relocation of buildings or other improvements within the boundary lines of the lot as it existed as a single lot under single ownership at the time the use became nonconforming.

5. Any new, or any addition to, or alteration or relocation of an existing building or other improvement (which is either nonconforming or utilized in connection with a certified nonconforming use), shall conform to the building line, setback, yard, and height regulations of the zone in which the certified nonconforming use is located. The District Council may further restrict the location and bulk of the building or structure where the evidence so warrants. If the use is presently permitted by Special Exception in the zone, the new building, improvement, or addition shall conform to all of the physical requirements of the specific Special Exception use.

- C. The subject use was certified as a nonconforming use in April 1987. In accordance with Section 27-384(a) (4), the applicant is relocating improvements such as signs and landscaping.
- <u>Section 27-317</u> provides the general findings for approval of a Special Exception. On January 21, 1988, the District Council approved this Special Exception and found the subject use to be in compliance with these requirements. The proposed revisions are very minor and necessary essentially due to the widening of Central Avenue. Staff therefore believes this application does not invalidate the original Special Exception findings. The site plan identifies a portion of the one-story building as the "existing building." The plan was so labelled on the 1987 Special Exception site plan to distinguish between a proposed building expansion and what was the existing building at that time. This revision was approved in January 1988 and the work has been completed. It appears the current site plan was never changed to reflect the building expansion. If this application is approved, we recommend that the site plan be updated to show the building as it currently exists.

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VSE-3805

A. The applicant filed the subject variance request to address the setback requirement in Section 27-462(b). This section requires that structures be set back at least 10 feet from a street line. The site plan shows directional signs for the parking lot, bike racks and flag poles along Central Avenue. Prior to the widening of Central Avenue, these improvements met the setback requirement. The recent acquisition of the right-of-way in front of the subject property created a new street line. In a memo dated May 17, 1994, the Permit Review Section opined that these improvements are not subject to the setback requirement. The subject variance is not, therefore, required.

AC-94031

A. The applicant is requesting Alternative Compliance from Section 4.3 (Parking Lot Landscaped Strip). The subject property has 387 feet of frontage on Central Avenue and Brightseat Road. Based on a standard of one shade tree and five shrubs per 35 linear feet, the applicant would be required to provide the following:

REQUIRED

Width: 10-foot strip Shade Trees: 11 Shrubs: 111

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Width: 10 feet for 243 linear feet; 3-5 feet for 144 linear feet

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In recommending approval, the Alternative Compliance Committee notes that:

"The request is necessitated by the widening of Central Avenue. Prior to the taking of additional right-of-way for Central Avenue, the site exhibited the 10-foot-wide landscape strip required. The new right-of-way reduces the width of the landscaped strip.

"The Landscape Plan provides 100% of the plant units required in the space available after the road widening. Requiring full

compliance with the width standards would force the applicant to remove existing, permitted parking lot paving. The Alterna-tive Compliance Committee feels this is unnecessary because the applicant provides all required plant units in the available space. The proposed landscaping is equal to that which is required by the Landscape Manual."

NOW, THEREFORE, BE IT RESOLVED, that this application for a "minor change" to Special Exception No. 3805 and AC-94031, are hereby APPROVED, subject to the following condition:

The site plan shall be revised to show the correct building footprint.

BE IT FURTHER RESOLVED, that the variance requested by VSE-3805 is hereby APPROVED.

This is to certify that the foregoing is a true and correct copy of the action taken by the Prince George's County Planning Board of The Maryland-National Capital Park and Planning Commission on the motion of Commissioner McNeill, seconded by Commissioner Boone, with Commissioners McNeill, Boone and Dabney voting in favor of the motion, and with Commissioners Rhoads and Brown absent, at its regular meeting held on <u>Thursday</u>, June 2, 1994, in Upper Marlboro, Maryland.

Adopted by the Prince George's County Planning Board this 23rd day of June 1994.

By

LeRoy J. Hedgepeth Executive Director

Grances J. Guert Frances J. Guertin Planning Board Administrator

LJH:FJG:JJ:aj

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THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION 14741 Governor Oden Bowie Drive Upper Marlboro, Maryland 20772 TDD: (301) 952-3796 File No. ROSP-SE-3805 File No. VSE-3895 PGCPB No. 94-182 Prince George's County Revision of Site Plan (Minor Change) Special Exception Prince George's County Revision of Site Plan (Minor Change) Special Exception No. 3805/VSE-3805 Applicant: McDonald's Corporation, Owner Edward C. 6ibbs, Jr., Correspondent Location: The Subject property is located in the northwest quadrant of the intersection of Central Avenue and Brightseat Road Request: Modification of a certified legal nonconforming fast food restau-rant in accordance with Sections 27-384 and 27-317 of the Zoning Ordinance. Variance from 10-foot setback from a street line requirement for structures per Section 27-462(b).

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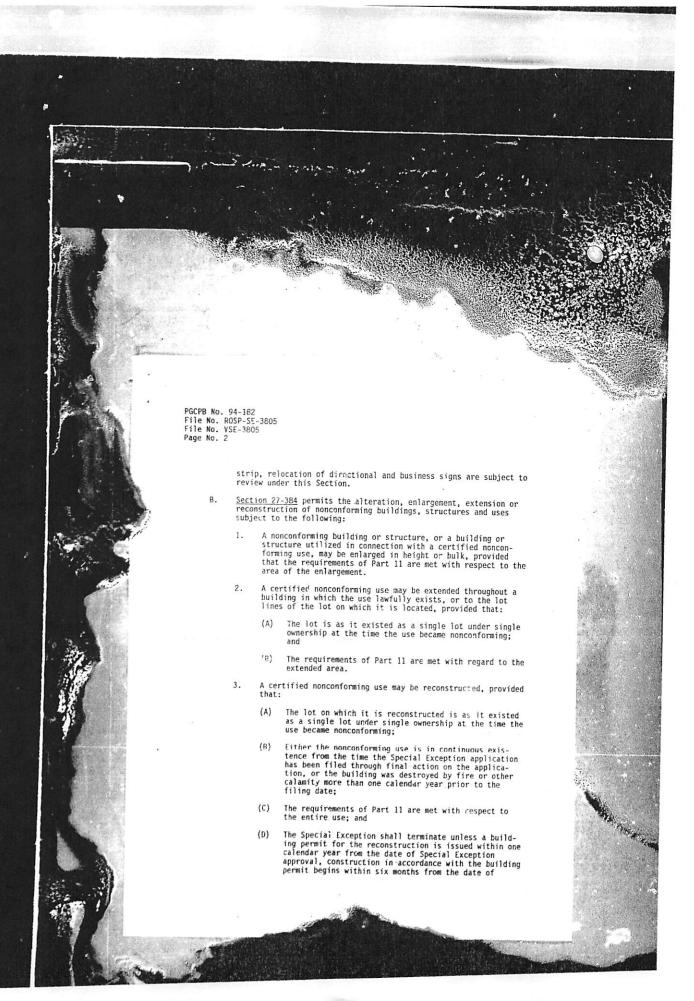
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By France J. Guertin Planning Board Administrator

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THE PRINCE GEORGE'S COUNTY GOVERNMENT

Office of the Clerk of the Council (301) 952-3600

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ean M. Schmuhl Clerk of the Council

County Administration Building - Upper Mariboro, Marylander 3 0 0

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(6/85)

GLORGES

DISTRICT COUNCIL FOR PRINCE GEORGE'S COUNTY, MARYLAND OFFICE OF ZONING HEARING EXAMINER

Realized Class Contraction Contraction

APART NO.

South Office

SPECIAL EXCEPTION 3805

DECISION December 21, 1987

Application: Alteration, Enlargement, or Extension of Nonconforming Building, Structure or Use Applicant: McDonald's Corporation Opposition: None Hearing Date: November 25, 1987 Hearing Examiner: Richard A. Romine Disposition: Approval

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(3) The property is in that area covered by the Hodel Neighborhood Area Master Plan (1973). The Plan recommends single-family residential use of the property. However, the District Council retained C-O zoning on the property during the Sectional Map Amendment (SMA) of 1977. Lot 11, to the east, is the subject of a finding in the SMA, on page 6, Finding No. 13 (CR-100-1977):

"The McDonald's property described as Randriph Village, Block 7, Lot 11 may be developed commercially to provide for additional parting and an improved circulation pattern, and to allow reasonable development in general accord with the site plan subwitted for Lot 11 at the District Council public hearing on CR-95-1977."

(4) The applicant proposes adding a drive-thrw cashier's window, increased seating, vestibules, landscaping, and increased parking, making access from Central Avenue one-way, remodeling the restrooms for serving handicapped persons, adding handicapped access ramps and moving the trash enclosure. The remainder of the facilities and operations are to stay the same.

(5) The use on site was first established as a permitted use in the C-O Zone. 'Thereafter, the Zoning Ordinance was amended defining fast food restaurants and not permitting them in the C-O Zone. The use was certified as a nonconforming use by issuance of Use and Occupancy Permit No. 2433-87-19 on June 12, 1987.

CONCLUSIONS

(1) Section 27-384 sets forth criteria for this particular special exception.

"(a) The alteration, enlargement, axtension, or reconstruction of any nonconforming building or structure, or certified nonconforming use (except those certified nonconforming uses not involving buildings), may be permitted subject to the following:

"(1) A nonconforming building or structure, or a building or structure utilized in connection with a certified nonconforming use, may be enlarged in height or bulk, provided that the requirements of Part 11 are met with respect to the area of the enlargement.

"(2) A certified nonconforming use may be extended throughout a building in which the use lawfully exists, or to the Tot lines of the lot on which it is located, provided that:

(A) The lot is as it existed as a single lot under single ownership at the time the use became nonconforming; and S.E. 3805

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(B) The requirements of Part 11 are met with regard to; the extended area.

"(5) Any new, or any addition to, or alteration or relocation of an existing building or other improvement (which is either nonconforming or utilized in connection with a certified nonconforming use), shall conform to the building line, setback, yard, and height regulations of the zone in which the certified nenconforming use is located. The District Council may further restrict the location and bulk of the building or structure where the evidence so warrants. If the use is presently permitted by special exception in the zone, the new building, improvement, or addition shall conform to all of the physical requirements of the specific special exception use. specific special exception use.

"(b) Applications for this Special Exception shall be accompanied by a copy of the Use and Occupancy Permit for the certified nonconforming use, as provided for in Section 27-241(b)."

(2) The existing fast food restaurant has been certified as a nonconforming use. The proposed 150 seats and 470 square feet of non-storage floor area require 61 parking and 75 are provided. Section 27-568. Sections 27-462(a) and 27-450 states requirements for building setbacks landscaping and screening in commercial

"... They require a 10 foot building setback from Central Avenue and a 25 foot setback from the residential properties to the north. Within these setbacks, a 10 foot wide landscaped strip is required along Central Avenue and a 12.5 foot wide strip along the rear yard. Along the north property line where the subject property adjoins residential properties, screening is required. As shown on the site plan, the proposed expanded use is in full compliance. Substantial landscaping materials and sight-tight fencing are to remain on-site to help buffer and screen the restaurant from the residences to the north. The applicant's site plan was further reviewed by Urban Design Section, ... (M-NCPPC). ... which found it to be in conformance with ail code requirements."

(3) The required findings of Section 27-317 are met. While the Master Plan recommends single-family detached use of the property. the subsequent comprehensive rezoning retention of the C-O zoning on the property has, in essence, modified this recommendation.²

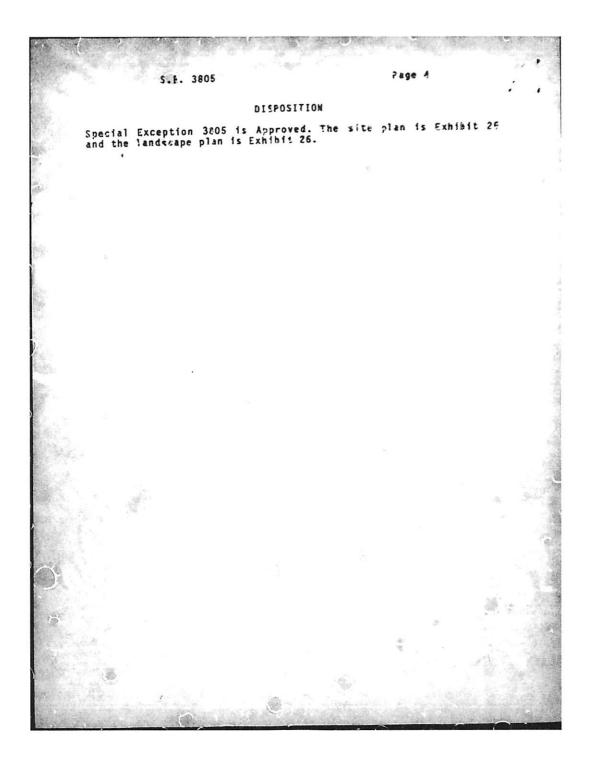
² Where the Master Plan and zoning map conflict, the zoning map prevails. <u>Chapman v. Montgomery County</u>, 259 Md. 641, 271A.2d 156 (1970); <u>Boyds Civic Association et al. vs. Montgomery County</u> <u>Council et al.</u>, 309 Md. 683, 526A.2d 598 (1987).

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THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION 14741 Governor Oden Bowie Drive Upper Maribore, Maryland 20772

TDD: (301) 952-3796

PGCPB No. 94-182

File No. ROSP-SE-3805 File No. VSE-3895

Prince George's County Revision of Site Plan (Minor Change) Special Exception
 No. 3805/VSE-3805
 Applicant: McDonald's Corporation, Owner
 Edward C. Gibbs, Jr., Correspondent
 Location: The subject property is located in the northwest quadrant of the intersection of Central Avenue and Brightseat Road
 Request: Modification of a certified legal nonconforming fast food restaurant in accordance with Sections 27-384 and 27-317 of the Zoning Ordinance. Variance from 10-foot setback from a street line requirement for structures per Section 27-462(b).

RESQLUIIQN

WHEREAS, the applicant is requesting approval of a minor change to Special Exception No. 3805 in accordance with Section 27-325(b) of the Prince George's County Zoning Ordinance; and

WHEREAS, under this provision the applicant is requesting approval of a minor change to Special Exception No. 3805 in accordance with Sections 27-384 and 27-317 of the Zoning Ordinance; and

WHEREAS, the revised site plan requires a variance from the 10-foot setback from a streetline per Section 27-462(b); and

WHEREAS, the advertisement of the public hearing was posted on the property in accordance with the adopted Rules of Procedure of the Prince George's County Planning Board; and

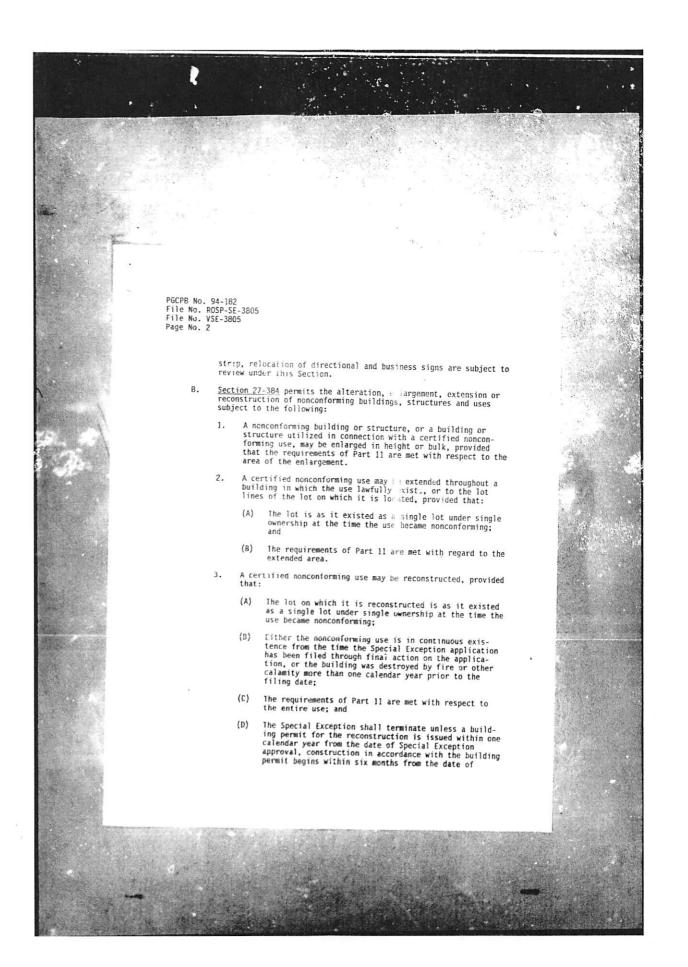
WHEREAS, the Technical Staff Report released May 26, 1994, recommended APPROVAL, with conditions and APPROVAL of AC-94031; and

WHEREAS, after consideration of the Technical Staff Report and testimony at its regular meeting on June 2, 1994, the Prince George's County Planning Board agreed with the staff recommendation; and

WHEREAS, the Planning Board decision is based on the findings and conclusions found in the Technical Staff Report (Exhibit No. 10) and the following DETERMINATIONS:

ROSP-SE-3805

<u>Section 27-325(b)</u> permits minor changes to site plans for proper-ties of less than five acres where there is a proposed change in the design of a parking lot or loading area or a change in a Landscape Plan. The proposed changes to the parking lot landscape Α.



> permit issuance (or lawful extension), and the construction proceeds to completion in a timely manner.

4. When not otherwise allowed, a certified nonconforming use may be otherwise altered by the addition or relocation of improvements, such as fencing, landscaping, off-street parking and loading areas, and outdoor trash enclosures, or the relocation of buildings or other improvements within the boundary lines of the lot as it existed as a single lot under single ownership at the time the use became nonconforming.

5. Any new, or any addition to, or alteration or relocation of an existing building or other improvement (which is either nonconforming or utilized in connection with a certified nonconforming use), shall conform to the building line, setback, yard, and height regulations of the zone in which the certified nonconforming use is located. The District Council may further restrict the location and bulk of the building or structure where the evidence so warrants. If the use is presently permitted by Special Exception in the zone, the new building, improvement, or addition shall conform to all of the physical requirements of the specific Special Exception use.

- C. The subject use was certified as a nonconforming use in April 1987. In accordance with Section 27-384(a) (4), the applicant is relocating improvements such as signs and landscaping.
- <u>Section 27-317</u> provides the general findings for approval of a Special Exception. On January 21, 1988, the District Council approved this Special Exception and found the subject use to be in compliance with these requirements. The proposed revisions are very minor and necessary essentially due to the widening of Central Avenue. Staff therefore believes this application does not invalidate the original Special Exception findings. The site plan identifies a portion of the one-story building as the "existing building." The plan was so labelled on the 1987 Special Exception site plan to distinguish between a proposed building expansion and what was the existing building at that time. This revision was approved in January 1988 and the work has been completed. It appears the current site plan was never changed to reflect the building expansion. If this application is approved, we recommend that the site plan be updated to show the building as it currently exists.

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VSE-3805

A. The applicant filed the subject variance request to address the setback requirement in Section 27-462(b). This section requires that structures be set back at least 10 feet from a street line. The site plan shows directional signs for the parking lot, bike racks and flag poles along Central Avenue. Prior to the widening of Central Avenue, these improvements met the setback requirement. The recent acquisition of the right-of-way in front of the subject property created a new street line. In a memo dated May 17, 1994, the Permit Review Section opined that these improvements are not subject to the setback requirement. The subject variance is not, therefore, required.

AC-94031

A. The applicant is requesting Alternative Compliance from Section 4.3 (Parking Lot Landscaped Strip). The subject property has 387 feet of frontage on Central Avenue and Brightseat Road. Based on a standard of one shade tree and five shrubs per 35 linear feet, the applicant would be required to provide the following:

REQUIRED

Width: 10-foot strip Shade Trees: 11 Shrubs: 111

PROVIDED

Width: 10 feet for 243 linear feet; 3-5 feet for 144 linear feet

Shade Trees: 11 Shrubs: 112

In recommending approval, the Alternative Compliance Committee notes that:

"The request is necessitated by the widening of Central Avenue. Prior to the taking of additional right-of-way for Central Avenue, the site exhibited the 10-foot-wide landscape strip required. The new right-of-way reduces the width of the landscaped strip.

"The Landscape Plan provides 100% of the plant units required in the space available after the road widening. Requiring full

compliance with the width standards would force the applicant to remove existing, permitted parking lot paving. The Alterna-tive Compliance Committee feels this is unnecessary because the applicant provides all required plant units in the available space. The proposed landscaping is equal to that which is required by the Landscape Manual."

NOW, THEREFORE, BE IT RESOLVED, that this application for a "minor change" to Special Exception No. 3805 and AC-94031, are hereby APPROVED, subject to the following condition:

The site plan shall be revised to show the correct building footprint.

BE IT FURTHER RESOLVED, that the variance requested by VSE-3805 is hereby APPROVED.

This is to certify that the foregoing is a true and correct copy of the action taken by the Prince George's County Planning Board of The Maryland-National Capital Park and Planning Commission on the motion of Commissioner McNeill, seconded by Commissioner Boone, with Commissioners McNeill, Boone and Dabney voting in favor of the motion, and with Commissioners Rhoads and Brown absent, at its regular meeting held on <u>Thursday</u>, June 2, 1994, in Upper Marlboro, Maryland.

Adopted by the Prince George's County Planning Board this 23rd day of June 1994.

By

LeRoy J. Hedgepeth Executive Director

Grances J. Guert Frances J. Guertin Planning Board Administrator

LJH:FJG:JJ:aj

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THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION 14741 Governor Oden Bowie Drive Upper Marlboro, Maryland 20772 TDD: (301) 952-3796 File No. ROSP-SE-3805 File No. VSE-3895 PGCPB No. 94-182 Prince George's County Revision of Site Plan (Minor Change) Special Exception Prince George's County Revision of Site Plan (Minor Change) Special Exception No. 3805/VSE-3805 Applicant: McDonald's Corporation, Owner Edward C. 6ibbs, Jr., Correspondent Location: The Subject property is located in the northwest quadrant of the intersection of Central Avenue and Brightseat Road Request: Modification of a certified legal nonconforming fast food restau-rant in accordance with Sections 27-384 and 27-317 of the Zoning Ordinance. Variance from 10-foot setback from a street line requirement for structures per Section 27-462(b).

RESOLUTION

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WHEREAS, under this provision the applicant is requesting approval of a minor change to Special Exception No. 3805 in accordance with Sections 27-384 and 27-317 of the Zoning Ordinance; and

WHEREAS, the revised site plan requires a variance from the 10-foot setback from a streetline per Section 27-462(b); and

WHEREAS, the advertisement of the public hearing was posted on the property in accordance with the adopted Rules of Procedure of the Prince George's County Planning Board; and

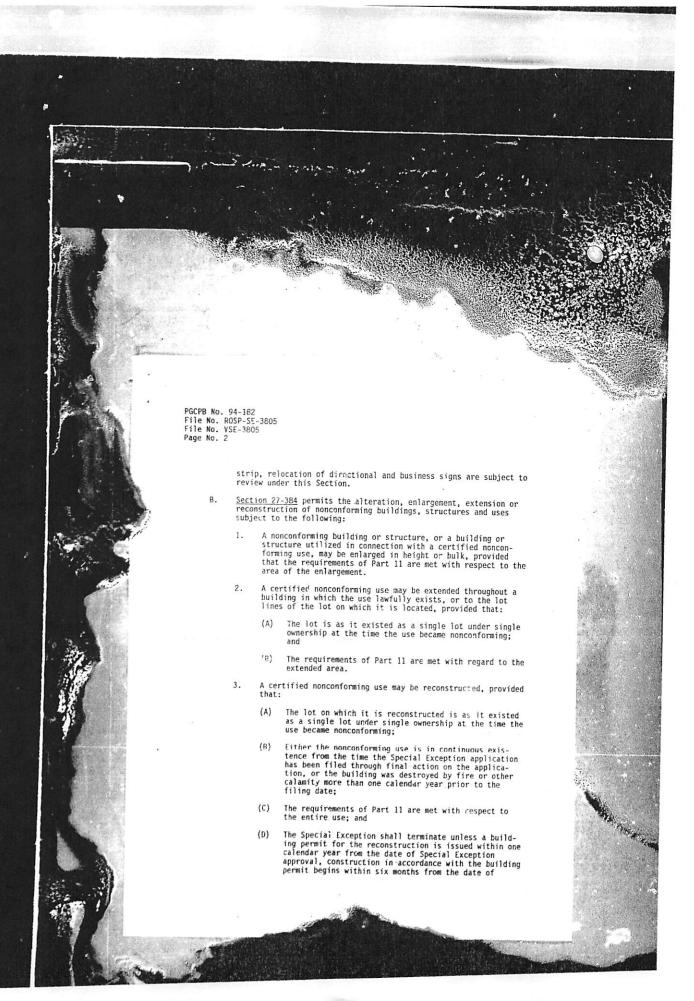
WHEREAS, the Technical Staff Report released May 26, 1994, recommended APPROVAL, with conditions and APPROVAL of AC-94031; and

WHEREAS, after consideration of the Technical Staff Report and testimony at its regular meeting on June 2, 1994, the Prince George's County Planning Board agreed with the staff recommendation; and

WHEREAS, the Planning Board decision is based on the findings and conclusions found in the Technical Staff Report (Exhibit No. 10) and the following DETERMINATIONS:

ROSP-SE-3805

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- C. The subject use was certified as a nonconforming use in 1987. In accordance with Section 27-384(a)(4), the applic relocating improvements such as signs and landscaping.

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AC-94031

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In recommending approval, the Alternative Compliance $\ensuremath{\mathsf{Committee}}$ notes that:

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Adopted by the Prince George's County Planning Board this 23rd day of June 1994.

LeRoy J. Hedgepeth Executive Director

By France J. Guertin Planning Board Administrator

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DATE:

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Development District Standard	Comply? Y/N	Alternative Standard/Comments
General Site Standards and Guidelines		
 Building Orientation: The main entrance to a building mu face the street. Buildings facing public plazas, parks, or op spaces must also have their main entrance oriented toward the public space. 	en Ves	
2. Build-to Line: The build-to line is the line to which buildin are required to be built on a lot (no setback is permitted fro it, except as noted in the guidelines). Consequently, multifamily, mixed-use, and nonresidential buildings, locate within the DDOZ areas, must be located along a continuou street wall defined by the build-to line (see the residential, commercial, and industrial sections of the Building Envelop Standards for specific standards).	n ed s No	Build-to line for commercial use is 18'. Building sits at 28' from back of curb due to drive-thru width. Amendment requested
3. Dooryard: The area between the public right-of-way and build-to line is the dooryard area. The dooryard area commonly contains landscaping, building encroachments, fencing, and street furniture that helps to define a streetsca outside of the right-of-way. Each property within the residential, commercial, and industrial areas of the subregi should have a combination of the elements described abov order to ensure a lively streetscape.	npe Yes	
4. Encroachments: Stoops, porches, bay windows, trim, eaves, arcades, balconies, chimneys, awnings, signs, and other architectural embellishments may encroach beyond t build-to line, so long as clear pedestrian passage through t public space is not impeded (see the residential, commerci and industrial sections for specific standards of the Building Envelope Standards and Architectural Standards and Guidelines).	he al, Yes	
5. Frontage Occupancy: In order to ensure that buildings spatially define streets and the public realm but still allow for building articulation, a percentage of a primary building faç must be located on the build-to line. A portion of a building façade may step back two feet from the build-to line and st count toward the frontage occupancy, so long as portions of the facade are placed on the build-to line.	ade No ill	Build-to line for commercial use is 18'. Building sits at 28' from back of curb due to drive-thru width Amendment Requested.
 Lead Walks: Paved walkways connecting building entry ways and courtyards to a public sidewalk must be at least feet in width. 	four Yes	
7. Off-Street Parking: Surface parking lots and structures n be provided to satisfy parking demand. However, off-street parking, to the extent possible, should be strategically loca either behind buildings or behind a masonry wall attached primary façade to minimize its visual impact on the urban environment. Service drives with drop offs and parallel park may be allowed if room is available and as long as they do interfere with clear pedestrian passage along the public spa	ted to a Yes king not	
8. Primary Façade: All façades (including the front and side elevations on a corner lot) parallel to or clearly visible from street must be treated as a primary elevation.		
9. Secondary Façade: A façade, which does not directly far street or public plaza, park, or open space shall be conside a secondary façade. Secondary facades must be articulate and must not have long expanses of blank wall.	ered	The elevations will be revised prior to certification of the DSP.
10. Sidewalks: Public sidewalks shall be at least four feet in width to allow for clear pedestrian passage.	ר Yes	

structure not be vi placed n	Connections and Service Areas: Site utility s and service areas, such as trash enclosures, should sible from the streets. If these features must be ear the public street or other spaces, they shall be from direct public view.	Yes		
Building Standards for Mixed-Use, Commercial, and Institutional Types:				
A. BUIL	DING HEIGHTS			

Principal Building: 4 Stories max. (60 ft.)	Yes	
Accessory Building: 2 Stories max. (25 ft.)	N/A	No accessory building
Ground Floor: 14 ft. min.	Yes	
Upper Floor(s): 8 ft. min.	N/A	No upper floors
B. LOT DIMENSIONS		
Lot Width: 30 ft. min.	Yes	
C. LOT OCCUPATION		
Building Lot Coverage: 75 percent max.	Yes	
D1. BUILD-TO LINE AND SETBACKS (CENTRAL AVE)		
D.1 Build-to Line: 18 ft. from the back of curb	No	Building not sited on build-to line. Amendment requested
D.2 Side Setback min./max.: 0 ft./10 ft.	No	Amendment requested
D.3 Rear Setback min./max.: 0 ft./10 ft.	No	Amendment requested
Frontage Occupancy: 80 percent min.	No	Combined lot is too wide to reasonably front 80%. The applicant is proposing 34%.Amendment requested
D2. BUILD-TO LINE AND SETBACKS (BRIGHTSEAT RD)		•
D.1 Build-to Line: 18 ft. from the back of curb	No	Building not sited on build-to line. Amendmment requested
D.2 Side Setback min./max.: 0 ft./10 ft.	No	Amendment requested
D.3 Rear Setback min./max.: 0 ft./10 ft.	No	Amendment requested
Frontage Occupancy: 80 percent min.	No	Combined lot is too wide to reasonably front 80%.The applicant is proposing 34% Amendment requested.
E. ENCROACHMENTS		· ·
Awnings and Canopies: 4 ft. depth min.	Yes	
Bay Window: 3 ft. max.	Yes	
Balcony: 3 ft. min.	N/A	No balcony.
Other Architectural Elements: Permitted	Yes	
Typical Primary Mixed-Use Street (Central Ave)		- L
SIDEWALK		
1. 6 foot tree pit area	No	Tree pit not provided Amendment requested
2. 4-6 foot clear walkway	Yes	5 foot sidewalk provided
3. 8-foot dooryard	Yes	5 foot grass strip provided.
		Amendment requested
STREET		
1. 4 travel lanes at 11 ft. each	Yes	These standards and not applicable in that
		the applicant is not constructing any
		streets as part of this DSP. Howver, the
		existing conditions comply with standard
		relative to the 4 travel lanes.
2. 2 bicycle lanes at 4 ft. each	No	SHA and DPIE
3. 2 parking lanes at 8 ft. each	No	Street standards are not applicabel
4. Minimum 12 ft. median (if used)	No	Street Standards are not applicable.

Typical Secondary Street (Brightseat Rd)		
SIDEWALK		
1. 6 ft. tree planting strip	No	Amendment requested.
2. 4-6 ft. clear walkway	Yes	
3. 8 ft. dooryard	Yes	
STREET		
1. 4 travel lanes at 11 ft. each	N/A	Street standards are not applicable.
2. 2 bicycle lanes at 4 ft. each	No	Insufficient room in ROW to construct
3. 2 parking lanes at 8 ft. each	N/A	Street standards are not applicable.
ypical Tertiary Residential Street		
SIDEWALK		
1. 6 ft. tree planting strip	N/A	Project site does not front a tertiary residential street
2. 6 ft. sidewalk	N/A	Project site does not front a tertiary residential street
3. 10 ft. dooryard	N/A	Project site does not front a tertiary residential street
STREET		
1. 2 travel lanes at 11 ft. each	N/A	Project site does not front a tertiary residential street
2. 1 parking lane at 8 ft. each	N/A	Project site does not front a tertiary residential street
ypical Alley or Lane		
ALLEY		
1. 16 ft. paved lane (may accommodate two-way traffic at slow speeds)	N/A	Project site does not front an alley or lane
2. Two aprons at 7 ft. in length	N/A	Project site does not front an alley or lane
3. No parking along the paved lanes.	N/A	Project site does not front an alley or lane
Architectural Standards:		
A. GENERAL ARCHITECTURAL FRAMEWORK		

 Where redevelopment occurs within or in close proximity to existing neighborhoods, new construction shall complement style of existing surrounding buildings 	Yes	
 Buildings shall be sited to reinforce the build-to line and define the street wall. Buildings shall shift in massing and have variations in height, profile, and roof form, while maintaining the formal relationship of building placement to the public street frontage. 	No	Building not sited on build-to line. Amdnemdnt requested
 Encroachments that provide for exterior outdoor living spaces, such as porches, balconies, and/or roof terraces, shall be encouraged. 	Yes	
B. FAÇADE ARTICULATION		
 Buildings shall emphasize first story and primary entrances with pedestrian-friendly architectural features. Structures greater than one-story shall be organized to have a clear base, middle, and cap to the form of the building. 	Yes	
2. Commercial buildings with long façade shall be articulated through some combination of massing, fenestration, building openings, materials, and color.	Yes	Applicant will submit revised elevations that conform to standard prior to certification.
3. New residential structures with blank walls exceeding 40 linear feet shall be provided.	N/A	Non-residential

4. Rear elevations to commercial buildings serve as important secondary entrances to businesses. These rear entrances shall be designed to create an inviting appearance that is recognizable and related to the primary façade of the business in terms of both massing and material.	Yes	The applicant will submit revised elevations that conform to the standard prior to certification.
C. MATERIALS		
1. Building facades shall be composed of one dominant facing material and one or two additional accent materials	Yes	
2. The dominant material should comprise a minimum of 60% of any elevation. No building should have more than 3 facing materials in addition to glass.	Yes	
3. Primary building facades shall be faced with quality materials, such as masonry brick, natural stone, architectural precast stone or concrete, and cementitious clapboard siding	Yes	
4. Synthetic stucco and aluminum and vinyl siding shall not be permitted as a dominant building material. These materials shall only be permitted on the attached garage area of single- family residences and on side or rear facades not facing a street.	Yes	
5. Reflective glass, unfinished and painted concrete masonry units, and unfinished pressure treated wood products are prohibited	Yes	
6. Wood, glass reinforced fiber concrete, synthetic wood products, fiber cement trim materials, and moulded millwork shall be permitted as trim material	Yes	
D. FENESTRATION		
COMMERCIAL		
1. The proportions of windows and alignment and rhythm of windows should replicate the façade design of the immediate surrounding architecture	Yes	
2. Windows should be primarily rectilinear in shape.	Yes	
3. Fenestration shall comprise a minimum of 60% of ground story facades of mixed-use, commercial, and institutional building types and a minimum of 30% on the upper stories of these building types.	No	Amendment requested.
4. Glazing shall be at least 80% transparent.	Yes	
RESIDENTIAL		
1. Windows shall have a vertical proportion	N/A	Non-residential
2. Fenestration shall comprise a minimum of 30% of a façade area.	N/A	Non-residential
rchitectural elements		
AWNINGS/CANOPIES		

1. Awnings shall have a metal structure or metal structure covered with a durable, commercial grade fabric, canvas, or similar material having a matte finish.	Yes	
2. If a façade is divided into distinct structural bays, such as masonry piers, awnings shall be placed within the vertical elements, rather than overlap them.	Yes	
3. Awnings shall not extend more than 6 ft. beyond the face of a building.	Yes	
4. Awnings may have a front skirt; however it shall not be scalloped.	Yes	
5. Awnings shall not be backlit.	Yes	
BALCONIES		
1. Balconies shall be designed to complement the overall building façade and be proportionate to the building's window and door openings.	N/A	No balcony.

2. Exposed pressure treated wood balconies shall not be		
permitted. Wooden balconies shall be painted, stained, or clad	N/A	No balcony.
with an approved decorative fascia material.		no baloony.
COLUMNS AND PIERS		
1. Columns and piers break down the massing of buildings		
and should be considered to define individual storefronts and	N/A	No columns or piers.
bays on longer building facades.		
DOORWAYS AND ENTRIES		
1. Main entrance to a building or storefront should be		
emphasized with architectural features.	Yes	
2. Commercial storefront entries may be recessed.	Yes	
3. Service entrances to a building shall be located at the rear		
of a building.	Yes	
4. Entrances to upper story uses shall be located along the		
street but should have a secondary character to the main	N/A	No upper story.
entry.		
DOOR HOODS, PORCHES, AND STOOPS		
1. Door hoods, porches, and stoops shall be compatible with	Yes	
the architecture of the building.	105	
2. Porches shall be a minimum of 6 ft. in depth. Stoops shall	N/	
be a minimum of 4 ft. wide and no greater than 8 ft. in depth.	Yes	
ROOF TREATMENT AND PARAPET WALLS		
1. Roofs may be gabled, hipped, or flat. The particular type of roof on a building should complement its architecture and that		
of	Yes	
the architecture of the surrounding area		
2. A minimum roof pitch of 1:2 shall be required for a sloped		
roof.	Yes	
3. Buildings with flat roofs shall have cornices and the roof		
shall be enclosed by a parapet wall. The parapet wall must be	Yes	
a minimum of 42 inches high.		
4. Dormers, chimneys, and other architectural embellishments,		
such as cupolas and towers, may extend above the roof line.	Yes	
 Side gabled roofs with expanses greater than 40 linear feet should be articulated. Articulation may consist of dormers, front 		
gables, cupolas, hipped roofs, or other architectural	Yes	
embellishment.		
ROOFTOP UTILITIES		
1. Visible rooftop utilities are prohibited. All roof mounted		
equipment shall be screened and painted to blend with the	Yes	
approved roof color.		
2. Equipment shall be grouped and arranged in an orderly	N - i	
manner behind one screen.	Yes	
SECURITY GATES ON COMMERCIAL BUILDINGS	Т	
1. Exterior security gates or burglar bars on windows and		
doors are prohibited. Additionally, rolled up security doors shall	Yes	
not be permitted.		
2. Alternative means of building security including safety glass,		
lighting, and electronic surveillance should be considered in	Yes	
the place of security bars and roll-up doors over ground floor	-	
windows and doors.		

Security screens and doors should be attractive and complement the buildings on which they are installed.	Yes	
SHUTTERS		
 The dimension of shutters must fit the dimensions of the window opening to which they are applied. 	Yes	
2. Shutters shall be wood, vinyl, or metal.	Yes	

3. The use of shutters and awnings on the same window shall be prohibited.	Yes	
STAIR TOWERS AND FIRE ESCAPES		
1. Stair towers or fire escapes shall be allowed only on the side or rear of a building.	N/A	No upper story.
 Stair towers should be semi-enclosed or enclosed with walls, glass, railings and/or a roof structure and compatible to the main building in proportion, style, and materials. 	N/A	No upper story.
Signage Standards and Guidelines:	ł	
A. General		
 Building signs shall be constructed of quality materials. Only essential information, such as the name, business type, company logo, street address, phone number, and hours of operation of the business or retail establishment may be displayed on the front of the building 	Yes	
2. The placement of signs shall be integrated into the overall architectural design of the building. The materials, color, style, and size of a sign shall be coordinated with the architectural features of the building.	Yes	
 Signs for multitenant buildings shall be coordinated in terms of design, placement, size, materials, and colors. 	N/A	Single tenant building.
 Temporary signs, flashing or blinking signs, internally illuminated box signs, roof signs, and billboards are prohibited. However, external lighting of signs and signs consisting of individual characters shall be permitted. 	Yes	
B. Board signs		
 Buildings shall be designed to include a "signage zone" above the business or retail use. Typically, this zone is located above the lintel of the window of the ground level storefront. 	Yes	
2. All business and/or retail buildings shall have front and/or rear entry signage that is oriented toward the pedestrian.	Yes	
3. The individual tenant signage for buildings with multiple tenants shall be located at approximately the same height to create a unified look.	N/A	Single tenant building.
C. Window signs		
 Window signs, including letters and logos, shall not obscure views into the business or retail establishment and shall not occupy more than 25% of the total window area in which the sign is located 	Yes	
 Window signs shall generally be centered within a primary storefront display window, doorway, or an overhead transom window 	Yes	
3. There shall be a limit of one window sign per ground level building entry	Yes	
D. BLADE AND BANNER SIGNS		
1. Blade signs shall be no more than 16 sq. ft. in area and shall allow for an 8 ft. minimum clearance above the finished grade of the sidewalk.	N/A	No blade signs.
 Signs attached to buildings shall not project more than 40 in. from the vertical plane of the wall to which they are attached. 	N/A	No blade signs.
3. Blade signs shall not be attached to awnings/canopies.	N/A	No blade signs.
4. There shall not be more than one blade sign for each storefront tenant and upper floor business tenant, unless the premise is on a corner lot or has public entrances on two or more public rights-of-way, in which case a set of projecting signs may be erected toward the second public right-of-way.	N/A	No blade signs.
E. AWNING/CANOPY SIGNS		

1.	Awnings/canopies may include logos and/or text. However,	Yes	
	they shall not be backlit. F. TENANT DIRECTORY SIGNS		
1	1. A tenant directory sign limited to 6 ft. in height and 18 sq.		
f	t. ber face may be placed immediately adjacent to a building in the rear yard area.	N/A	Single tenant building.
	2. Information on the signage should be limited to the name and/or address of the building and list of the tenants at that location.	N/A	Single tenant building.
3	3. If used, tenant directory signs must be designed to reflect the architectural style of the primary signs of the building.	N/A	Single tenant building.
	G. SPECIALTY SIGNS		
C	 Specialty signs advertising special events and/or elebrating a holiday shall be allowed, so long as they provide for vehicular and pedestrian clearance. 	Yes	
	2. Specialty signs must be affixed to light poles or between buildings and must be designed to withstand the elements	Yes	
3.	. Specialty signs must be removed when the special event is completed.	Yes	
Landscaping			
	A. GENERAL		
S N	. All plants shall conform to the American Standard for Nursery tock as published by the American Association of lurserymen	Yes	
r th p m d	2. Plans for development shall include separate landscape olans. The landscape plans shall address all land areas of a lot nat are not covered by buildings (including lead walks, lanting beds, and turf areas). Landscape plans for multifamily, nixeduse, commercial, institutional, and industrial uses are to be eveloped or approved by a registered landscape architect nd	Yes	
	drawn based on a site development plan B. A plant list shall be included on landscape plans and shall specify the plant species (botanical and common name), size/caliper, spacing, quantity, construction details (for trees, shrubs, evergreens, and street trees), and the method of irrigation and illumination.	Yes	
	 Plant material should be utilized to provide shade; define utdoor spaces; screen, buffer, or enhance views, help define entrances; and accentuate individual developments. 	Yes	
5.	Plantings should help mitigate climatic conditions by shading the southern exposure of buildings when feasible.	Yes	
	When properties are developed, stands of existing healthy trees should be preserved to the greatest practical extent. Damaged, decayed, or deceased trees should be removed to protect remaining trees.	Yes	
	Landscaping and streetscape amenities, including plantings, lawns, fencing, and furniture, should be used to distinguish public from private space	Yes	
	8. For the intent of the industrial screening and buffering standards and guidelines, the boundary streets shall be referred to as perimeter streets	N/A	The property is not located in an Industrial area.

9. In industrial areas, plants placed along street frontages and in buffer yard areas are subject to many adverse conditions and are not likely to receive consistent care. Accordingly, plant varieties that require little maintenance and tolerate with conditions as sun, wind, drought, glareshould be selected. If trees or shrubberies die, they must be replaced with a plant material similar to the remaining live screening material.	N/A	The property is not located in an Industrical area.
B. STREET TREES	Yes	

· · · · · · · · · · · · · · · · · · ·			
species center ofway (F <i>Manual</i> spacing fire hyd	et trees, which must be of a drought-resistant native s, shall be planted on average a minimum of 35 ft. on along planting strips or in tree grates of street rights- Please refer to the <i>Prince George's County Landscape</i> for acceptable street tree species). Where necessary, allowances may be made to accommodate curb cuts, rants, and other infrastructure elements. However, at location may the spacing exceed 35 ft. on center.	No	Amendment requested
2. At p	lanting, street trees shall be at least 3 in. in diameter and at least 10 ft. in overall height.	Yes	
	C. SHADE AND ORNAMENTAL TREES		
	e trees shall be planted a minimum of 1 shade tree per ace parking spaces with a minimum of 2 shade trees per landscaped median strip.	Yes	
2. Su	face parking lots shall have no more than 2 bays of parking without a continuous planted median.	Yes	
3. Two	ornamental trees may be substituted for 1 shade tree (or vice versa) in surface parking lots.	Yes	
	D. DOORYARD AREA		
and	private frontage area between the public right-of-way the build-to-line shall be treated in specific ways, depending on the adjacent building type use.	Yes	
shall	d-use, commercial, and institutional private frontages be composed primarily of hardscape and may have planters and street furniture	Yes	
	te frontages that are primarily residential in character be composed of sod, shade, and ornamental trees, planting beds, and some hardscape	N/A	Non-residential
	E. GROUND COVER		
retail planti	inimum of 15% of green area of a commercial, office, , business, or industrial parcel or lot shall consist of ng beds with a shrubs, flowers, or ground cover. For parcels with large undisturbed areas, this requirement will be based on the disturbed area	Yes	
	esidential properties, a minimum of 10% of the green of a lot or parcel shall consist of planting beds with shrubs, flowers, or ground cover.	N/A	Non-residential
	F. OPEN SPACE		
dev	minimum of 15% of green area of any residential relopment site must be dedicated for open space. oly, the open space should be located around existing mature trees.	N/A	Non-residential
natural hab	en space requirements should be used to establish greenways that protect and restore wetlands, provide itats, allow for conservation and growth of natural on, and provide opportunity for pedestrian and bicycle pathways.	N/A	

3. Urban open spaces and pocket parks should be incorporated into the plan. These open spaces shall be planted with shade and flowering trees, evergreen shrubs, and other appropriate landscaping to provide shade, increase air quality, and treat stormwater, as well as add visual interest along streetscapes.	Yes	There is not open space or urban parks proposed as part of this DSP.
G. TRAILS/PATHWAYS		
1. Trails and pathways shall be provided through naturalized public spaces and common areas that circulate throughout, and connect to the public sidewalks.	N/A	The applicant is not proposing Naturalized public spaces or common areas.
2. Great care shall be given to the placement of trails to ensure that their design will not disturb environmentally sensitive areas.		The applicant is not proposing any Trails.
H. LANDSCAPE ELEMENTS		
STREETSCAPE ENHANCEMENTS		
1. Streetscape enhancements (including, but not limited to street furniture, planters, trash receptacles, decorative paving, sculpture/artwork, and bus shelters) shall be placed in an appropriate location for all future nonresidential development	Yes	

	1	
2. Placement of streetscape enhancements shall not interfer with clear pedestrian passage in the public space.	Yes	
3. Color and style of streetscape enhancements shall complement and coordinate with future development.	Yes	
4. All proposed streetscape enhancements shall be indicate on detailed site plan submittals and shall include informatic on location, spacing, quantity, construction details, and methods of illumination.		
BICYCLE PARKING		
 Bicycle parking shall be adequately provided throughout to DDOZ area primarily along primary mixed-use and seconda mixed-use streets for safe and convenient temporary storage 	ary Yes	
2. One bicycle parking space shall be provided for every 2 vehicular parking spaces.	0 Yes	
3. Bicycle parking shall be located within 50 ft. of main entrances to multifamily, mixed-use, commercial, and institutional buildings, and have direct access to public righ ofway.	ts- Yes	
4. Bicycle parking areas shall not obstruct sidewalks or walkways.	Yes	
5. The color and style of bicycle racks shall complement ne streetscape improvements.	w Yes	
FENCES		
1. Fences, with height between 36 and 42 in. may be permit in the dooryard area adjacent to the public right-of-way. Prive fences 6 ft. in height may be placed alongside and near lot lin however, they shall not be placed in the dooryard area of lot.	acy es; N/A	The applicant is proposing a 42" fence composed of aluminum fencing and masonary posts.
2. Front yard fencing should complement and match the vernacular of the primary structure and accessory structure on a lot.	es N/A	
3. Fences must either be wood or metal. No plastic, vinyl, or chain-link fences shall be permitted on properties within th DDOZ.		The proposed fence is composed of aluminum fencing and masonary posts.
RETAINING WALLS		

. Retaining walls may be necessary to grade individual lots or parcels. Such walls shall match or be compatible with the architectural elements of the primary buildings on the lot.	N/A	
2. Retaining walls at the sidewalk shall have a maximum height of 30 in.	N/A	
 Bare, poured concrete, wood posts and timber ties, and modular concrete retaining walls shall not be permitted in a front or side yard visible from a public street. 	N/A	
FENCES AND WALLS IN INDUSTRIAL AREAS		
that include pressure-treated wood, masonry, stucco, and decorative metal. The following materials shall not be used for any type of fencing and/or walls: barbed wire, razor wire, unclad cinder block, vinyl cladding, corrugated metal, corrugated fiberglass, sheet metal, wire mesh, nonpressure- treated wood, or chain link. The kickboards (the lower horizontal member of a fence) of pressure treated wood fencing shall be placed at least 2 in.	N/A	Non-industrial Non-industrial
above grade, so as to prevent deterioration. The base of a	N/A	Non-industrial
3. Fences and/or walls shall be required around properties ontaining open truck and/or open storage facilities in order to ensure that the storage of materials and/or commercial rehicles are not visible at eye level (5 ft.) when standing from the approximate centerline of the public right-of-ways adjacent to the property. Consequently, fences/walls for these types of facilities must be between 6 ft. min. and 8 ft. max.	N/A	Non-industrial
4. Fences and/or walls may be used as screening material around parking lots. These fences and/or walls should be between 3-4 ft. in height.	N/A	Non-industrial
	 parcels. Such walls shall match or be compatible with the architectural elements of the primary buildings on the lot. 2. Retaining walls at the sidewalk shall have a maximum height of 30 in. 3. Bare, poured concrete, wood posts and timber ties, and modular concrete retaining walls shall not be permitted in a front or side yard visible from a public street. FENCES AND WALLS IN INDUSTRIAL AREAS . Fences and walls shall be constructed of durable materials that include pressure-treated wood, masonry, stucco, and decorative metal. The following materials shall not be used or any type of fencing and/or walls: barbed wire, razor wire, unclad cinder block, vinyl cladding, corrugated metal, corrugated fiberglass, sheet metal, wire mesh, nonpressure-treated wood, or chain link. . The kickboards (the lower horizontal member of a fence) of pressure treated wood fencing shall be placed at least 2 in. above grade, so as to prevent deterioration. The base of a wooden fence shall not rest at grade. 3. Fences and/or walls shall be required around properties ontaining open truck and/or open storage facilities in order to ensure that the storage of materials and/or commercial ehicles are not visible at eye level (5 ft.) when standing from the approximate centerline of the public right-of-ways adjacent to the property. Consequently, fences/walls for these types of facilities must be between 6 ft. min. and 8 ft. max. 4. Fences and/or walls may be used as screening material around parking lots. These fences and/or walls should be 	parcels. Such walls shall match or be compatible with the architectural elements of the primary buildings on the lot. N/A 2. Retaining walls at the sidewalk shall have a maximum height of 30 in. N/A 3. Bare, poured concrete, wood posts and timber ties, and modular concrete retaining walls shall not be permitted in a front or side yard visible from a public street. N/A FENCES AND WALLS IN INDUSTRIAL AREAS . . Fences and walls shall be constructed of durable materials that include pressure-treated wood, masonry, stucco, and decorative metal. The following materials shall not be used or any type of fencing and/or walls: barbed wire, razor wire, unclad cinder block, vinyl cladding, corrugated metal, corrugated fiberglass, sheet metal, wire mesh, nonpressure-treated wood, or chain link. N/A . The kickboards (the lower horizontal member of a fence) of pressure treated wood fencing shall be placed at least 2 in. above grade, so as to prevent deterioration. The base of a wooden fence shall not rest at grade. N/A 3. Fences and/or walls shall be required around properties ontaining open truck and/or open storage facilities in order to ensure that the storage of materials and/or commercial ehicles are not visible at eye level (5 ft.) when standing from the approximate centerline of the public right-of-ways adjacent to the property. Consequently, fences/walls for these types of facilities must be between 6 ft. min. and 8 ft. max. N/A

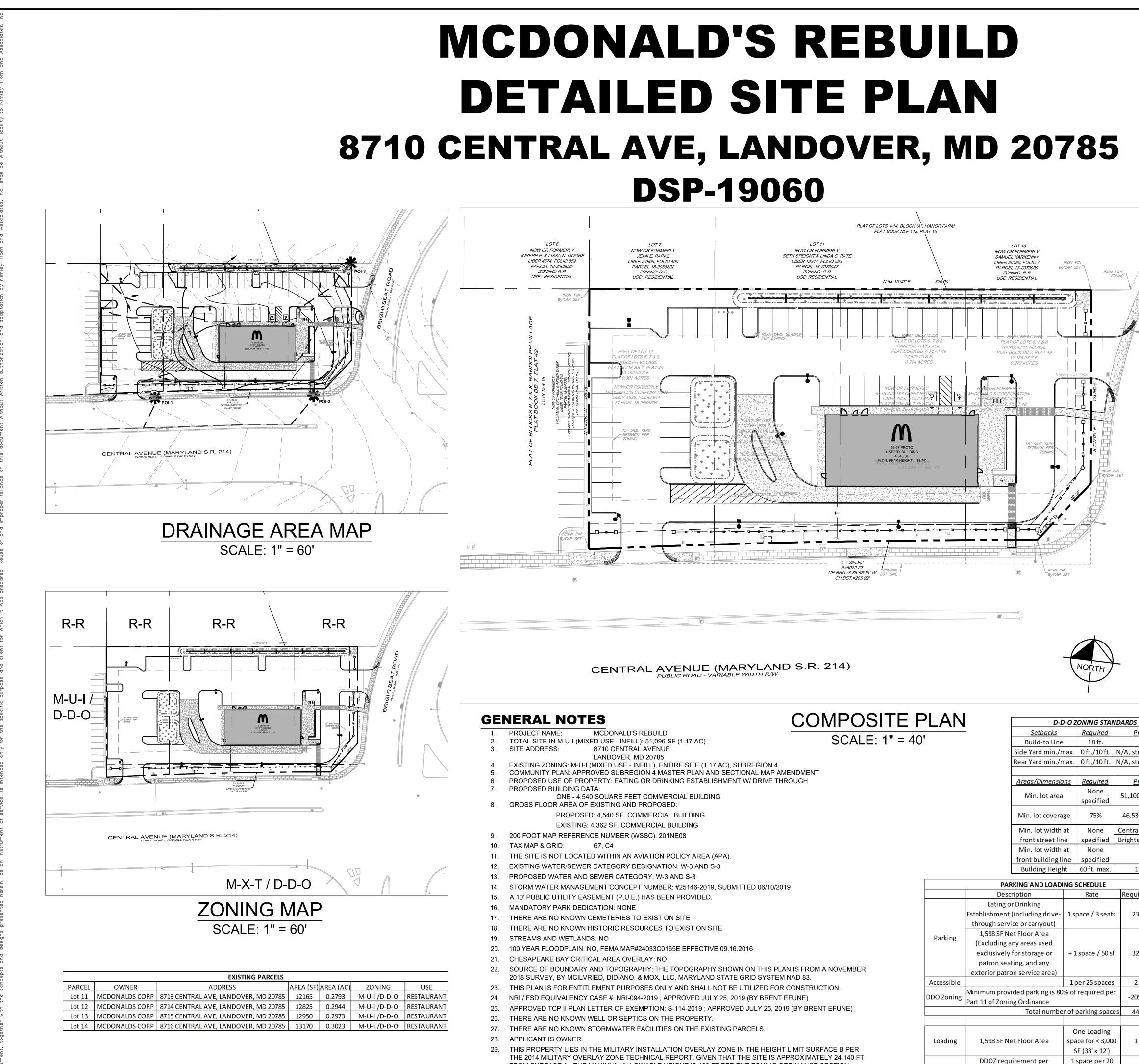
LIGHTING		
 Lighting shall be provided along public and private streets, alleys and access drives, public open spaces and trails, and in parking areas. 	Yes	
 2. Pedestrian-scaled street light fixtures (at heights between 12- 14 ft. in height) should be installed in all public spaces at no more than 60 ft. intervals, as measured parallel to the street. 	Yes	
3. Cobra head streetlights shall not be permitted.	Yes	
4. The style of ornamental poles and luminaires should be coordinated with the appropriate public agencies.	Yes	
I. ADDITIONAL LANDSCAPING STANDARDS FOR INDUSTRIAL PROPERTIES		
1. A 15 ft. minimum to 25 ft. maximum landscaped buffer area, as measured from the back of curb, shall be provided along perimeter streets.	N/A	Non-industrial
A 10 ft. minimum landscaped buffer area, as measured from the edge of paving, shall be provided along internal streets.	N/A	Non-industrial
 Side and rear bufferyards around a property shall be at least 20 ft. in width. 	N/A	Non-industrial
 4. The buffer areas along perimeter streets shall be planted with trees selected from the recommended species of evergreen trees found in Appendix 3, Table A-3(d) of the <i>Prince George's</i> <i>County Landscape Manual.</i> Evergreen trees must be at least 6 ft. in height at the time of planting and must be placed between 8 ft. minimum and 12 ft. maximum on center. Trees may be placed in a double staggered row, so long as the center line of 	N/A	Non-industrial

r			
	each tree within the triangular grouping is between 8-12 ft.		
	apart.		
	5. The buffer areas along internal streets shall be planted with		
	evergreen trees recommended from the <i>Prince George's</i>		
	<i>County Landscape Manual</i> . These trees must be at least 6 ft.		
	in height at the time of planting, but may be placed between 12	N/A	Non-industrial
	ft. minimum and 16 ft. maximum on center around the edges of	1 1/7	
	a property instead of 8 ft. minimum to 12 ft. maximum.		
	C. Cide and year huffery and that the started with the		
	6. Side and rear bufferyards shall be planted with the		
	recommended evergreen trees from the <i>Prince George's</i>		
	County Landscape Manual. These trees shall be at least 6 ft.		
	at the time of planting and shall be spaced between 12 ft.		Non-industrial
	minimum and 16 ft. maximum on center. Trees may be placed		
	in a double staggered row, so long as the center line of each	N/A	
	tree within the triangular grouping is between 12 and 16 ft.	IN/A	
	apart.		
	7. In addition to evergreen trees, shrubs may be provided		
	along perimeter streets, internal streets, and bufferyard areas.		
	lf		
	provided, shrubs should be between 2 to 5 ft. in height at the		
	time of planting and should be placed in tightly spaced		
	groupings of at least 3 plants (5 ft. on center). The shrubs		
	should be either evergreen, or if deciduous, have a dense,		
	twiggy growth habit for winter screening and an attractive		
	year-	N/A	Non-industrial
	-		
	round appearance. Along perimeter streets, every fifth tree		
	may be replaced by a grouping of shrubs, so long as the		
	shrubs are at least 4 ft. in height ad do not expose open truck		
	and/or open		
	storage facilities. on an internal street and bufferyard area,		
	every third tree may be replaced by a grouping of shrubs, so		
	long as the shrubs are at least 4 ft in height.		
	8. Landscaped berms may be allowed along internal street		
	edges or the side and/or rear bufferyard of a property in order		
	to		Non-industrial
	conceal uses within that property from adjacent public rights-	N/A	NON-INCUSTION
	of-		
	way and/or properties		
Parking a	nd Loading Standards and Guidelines:		
	A. GENERAL		
	1. The minimum surface parking spaces shall be 80% of		
	minimum required parking and loading as stated by Section	Yes	
	27568(a) of Part 11 of the Zoning Ordinance.	105	
	21000(a) of t at the forme zoning ordinatice.		

2. The maximum number of surface parking spaces shall be equal to minimum required by parking and loading as stated by Section 27-568(a) of Part 11 of the Zoning Ordinance.	Yes	
 The maximum number of structured parking shall be equal to 115% of the minimum required by parking and loading as stated by Section 27-568(a) of Part 11 of the Zoning Ordinance. 	N/A	No structured parking.
4. Buildings must meet the frontage occupancy requirements for the perimeter of a block when considering the parking requirements.	No	Building does not meet frontage occupancy requirements. Amendment requested

located at the rear or an attached or detache shall be accessed from alley. Residential gar minimum of 6 ft. from t	ntial parking (non-multifamily) shall be side of the principal building on a lot in ed garage, carport, or on a parking pad, and a a landscaped driveway, side street, or rages or carports must be recessed a he front building facade of the principal building on the lot.	N/A	Non-residential
residential areas mu	r tandem parking spaces in private st not block clear pedestrian passage ne adjacent right-of-way.	N/A	Non-residential
loading areas shall be the rear of the property and institutional use	e parking lots, structured parking, and located on the interior of the block or at / in the case of commercial, mixed-use, s, and shall be accessed from a side street, or entrance drive aisle	Yes	
8. In industrial areas, the side of a primary b ont exceed one parki	surface parking lots may be located on uilding, so long as the parking lot does ng bay and the property is not located primary mixed-use street.	N/A	Non-industrial
9. Cross-access easen	ents between surface parking lots shall be encouraged.	Yes	This DSP does not involve multiple properties and cross access easements between surface parking lots is not feasible at this time.
streetscape, obs pedestrians, or overwi reduced to minimize When possible, th	tructure parking shall not dominate the cure building frontages, endanger helm the visual environment. Curb cuts should be potential pedestrian/vehicular conflict. ere shall be one curb cut per block.	Yes	
1. Surface parking lots of nonresidential, mixed to accommodate a lar	FACE PARKING LOTS shall be set back from the rear façade d-use, or commercial structures in order ndscape planting buffer adjacent to the de walkway adjacent to the parking.	Yes	
	ft. deep landscaped island with shade ded a maximum of every 10 parking spaces.	Yes	
shall be divided by a co width between the th shade trees and other and appropriate, lands	ts with more than two bays of parking intinuous landscaped strip at least 10 ft. in hird and fourth bays to accommodate r landscape elements. Where possible caping strips should be greater than 10 provide for bio-swales.	Yes	
4. Surface parking I building must have so the principal buildir adjacent public space. height and must con principal building. Ado should be provided in front of t with privacy slats ar	ots located on the side of a principal reen walls behind the build-to line that connect to ng and conceal the parking from the The walls must be between 3-3.5 ft. in sist of materials similar to the primary facade of the litionally, appropriate landscaping he wall. Chain link and chain link fences e prohibited as a screening material. RUCTURED PARKING	Yes	
space, shall be loca retail/commercial liner	e, adjacent to a street or other public ted at the build-to line and shall have uses on the first level fronting the street ntinuous street wall along the sidewalk edge.	N/A	No structured parking.

N/A	No structured parking.
N/A	No structured parking.
N/A	No structured parking.
No	The loading space is not located behind the building but is screened from Cenral Avenue in conformance with Section 4.4 of the Landscape Manual. Amendment requested.
Yes	
Yes	
Yes	
Yes	
Yes	
Yes	
	N/A N/A No Yes Yes Yes Yes



EBVI	NOTES
	NULS

				D-D	-O ZONING S
PROJECT NAME: MCDONALD'S REBUILD				<u>Setbacks</u>	Require
TOTAL SITE IN M-U-I (MIXED USE - INFILL): 51,096 SF (1.17 AC)	SCALE: 1" = 40)'		Build-to Line	18 ft.
SITE ADDRESS: 8710 CENTRAL AVENUE				Side Yard min./n	nax. 0 ft./10
LANDOVER, MD 20785 EXISTING ZONING: M-U-I (MIXED USE - INFILL), ENTIRE SITE (1.17 AC), SUBREGIOI	N 4			Rear Yard min./n	nax. 0 ft./10
COMMUNITY PLAN: APPROVED SUBREGION 4 MASTER PLAN AND SECTIONAL MA					
PROPOSED USE OF PROPERTY: EATING OR DRINKING ESTABLISHMENT W/ DRIV	E THROUGH			<u>Areas/Dimensio</u>	ns <u>Require</u>
PROPOSED BUILDING DATA:				Min latarea	None
ONE - 4,540 SQUARE FEET COMMERCIAL BUILDING GROSS FLOOR AREA OF EXISTING AND PROPOSED:				Min. lot area	specifie
PROPOSED: 4,540 SF. COMMERCIAL BUILDING				Min. lot covera	ge 75%
EXISTING: 4,362 SF. COMMERCIAL BUILDING					
200 FOOT MAP REFERENCE NUMBER (WSSC): 201NE08				Min. lot width	
TAX MAP & GRID: 67, C4				front street lin	
THE SITE IS NOT LOCATED WITHIN AN AVIATION POLICY AREA (APA).				Min. lot width	
EXISTING WATER/SEWER CATEGORY DESIGNATION: W-3 AND S-3				front building li	
PROPOSED WATER AND SEWER CATEGORY: W-3 AND S-3				Building Heigh	it 60 ft. ma
STORM WATER MANAGEMENT CONCEPT NUMBER: #25146-2019, SUBMITTED 06/1	10/2019		PAF	KING AND LOADI	NG SCHEDULE
A 10' PUBLIC UTILITY EASEMENT (P.U.E.) HAS BEEN PROVIDED.			Desc	ription	Rate
MANDATORY PARK DEDICATION: NONE			Eating o	r Drinking	
THERE ARE NO KNOWN CEMETERIES TO EXIST ON SITE				(including drive-	1 space / 3 so
THERE ARE NO KNOWN HISTORIC RESOURCES TO EXIST ON SITE			-	ce or carryout)	
STREAMS AND WETLANDS: NO		Parking		et Floor Area	
100 YEAR FLOODPLAIN: NO, FEMA MAP#24033C0165E EFFECTIVE 09.16.2016				ny areas used	. 1
CHESAPEAKE BAY CRITICAL AREA OVERLAY: NO				for storage or	+ 1 space / 5
SOURCE OF BOUNDARY AND TOPOGRAPHY: THE TOPOGRAPHY SHOWN ON THIS	S PLAN IS FROM A NOVEMBER			ting, and any	
2018 SURVEY, BY MCILVRIED, DIDIANO, & MOX, LLC, MARYLAND STATE GRID SYS	STEM NAD 83.	Accessible	exterior part	on service area)	1 per 25 spa
THIS PLAN IS FOR ENTITLEMENT PURPOSES ONLY AND SHALL NOT BE UTILIZED	FOR CONSTRUCTION.	Accessible	Minimum provi	ded parking is 80	
NRI / FSD EQUIVALENCY CASE #: NRI-094-2019 ; APPROVED JULY 25, 2019 (BY BR	ENT EFUNE)	DDO Zoning	Part 11 of Zonir		70 Of Tequileu
APPROVED TCP II PLAN LETTER OF EXEMPTION: S-114-2019 ; APPROVED JULY 25	5, 2019 (BY BRENT EFUNE)			Total numbe	r of parking sr
THERE ARE NO KNOWN WELL OR SEPTICS ON THE PROPERTY.					0-1
THERE ARE NO KNOWN STORMWATER FACILITIES ON THE EXISTING PARCELS.					One Loadi
APPLICANT IS OWNER.		Loading	1,598 SF Ne	et Floor Area	space for < 3
THIS PROPERTY LIES IN THE MILITARY INSTALLATION OVERLAY ZONE IN THE HE		C			SF (33' x 12
THE 2014 MILITARY OVERLAY ZONE TECHNICAL REPORT. GIVEN THAT THE SITE			DDOZ requ	irement per	1 space per
FROM SURFACE A, THE MAXIMUM ALLOWABLE HEIGHT IS 482 FT PER THE ZONIN		Bicycle	Subregion 4 M	Aaster Plan and	vehicle park

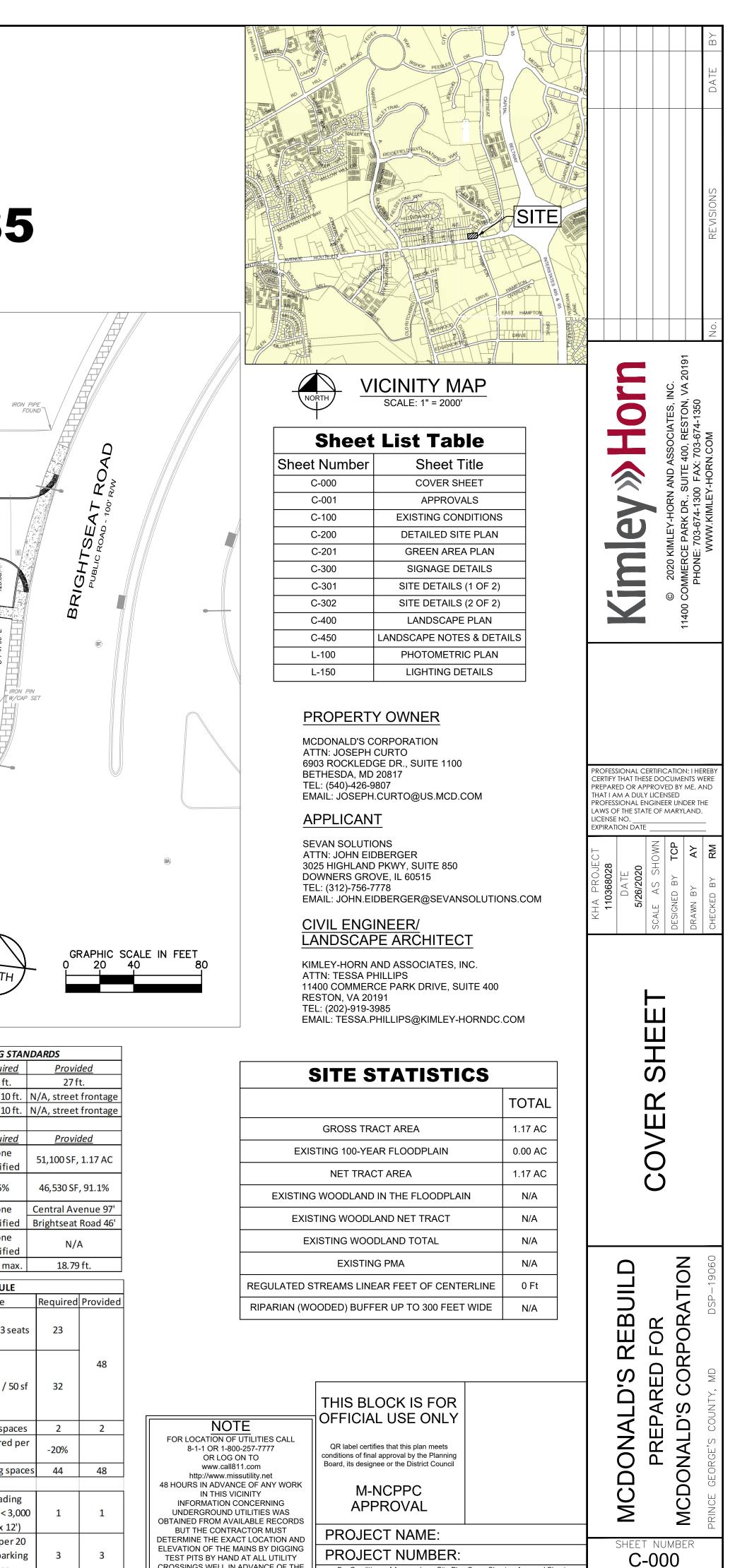
Subregion 4 Master Plan and vehicle parking

spaces

Sectional Map Amendment

Bicycle

27-548.54. THE PROPOSED BUILDING HEIGHT IS 18.79'.



For Conditions of Approval see Site Plan Cover Sheet or Approval Sheet Revision Numbers must be included in the Project Number

CROSSINGS WELL IN ADVANCE OF THE

START OF EXCAVATION.

SHEET 1 OF 12

Prince George's Co	ounty Planning Department • 14741	Governor Oden Bowie Drive, Upper Ma	
WOODLAN		ETTER OF EXEMPTION	APPLICATION FORM
Property Owner Name Joseph Curto McDonald's Corporat 6903 Rockledge Dr., Bethesda, MD 20817	e(s), Address and Phone: tion Suite 1100	T TO FILL OUT THIS SECTION Agent/Contact, Company, Ad Tessa Philips Kimley-Horn and Associates, Inc. 11400 Commerce Park Drive, Suite Signature: Tessa Philips	
Payment by check,		eck ONLY – made payable to M-N	
	Horn and Associates, Inc. Check No. 0		N/A
PROJECT NAME:		McDonald's Relocation	
		(related to or near major intersection):	
		an, Site Plan, or Special Exception, etc.);	
Total Area (acres):	Site Development	Concept Plan #25146-2019-0, NRL094-2019 Tax Account #: 2019065, 2070019, 2065795	WSSC Grid: 201NE08
otal Number of Lots of		Current Zone: M-U-I	Environmental <u>Strategy Area (E</u> SA
ot Numbers/Blocks/P	arcels: Lots 11, 12, 13, 14 / Block 7	1555. 家門活用的	(Plan 2035): 1 2 3 4 Municipality(ies): Hyattsville
2010/11-0-040-00-000000000000000000000000		No	
	or resource on the subject property?	P Yes No Historic S	
		g and associated site improve	
		BE COMPLETED BY EPS STAFF	
APPLICATION TYPE:	: Numbered Exemption Standard		S=114-2019
Acceptance Date:	07/15/2019 Plan Reviewer: B	FE Receipt Number 7314	Filing Fee: \$50.00
results in the project	land; however the project has no pr the clearing of less than 5,000 squa ct is a government or linear project t	are feet of woodland (acreage of propos	ed clearing is); or
This letter is valid for specified above durin he Numbered Exemps	and; however the project has no pro- the clearing of less than 5,000 squares ct is a government or linear project to sed clearing is); or osed activity is for a timber harvest, r two years from approval or until ng the validity period. If a develop ption may be considered invalid in development activity or permit ap	I because the site is over 40,000 square evious TCP approvals and: are feet of woodland (acreage of propos that results in the clearing of less than 2 such time as the cumulative woodlan ment review application (preliminary n accordance with Section 25-119(b)(oplication.	and dated feet in size and contains over 10,000 ed clearing is); or 0,000 square feet of woodland (acreage nd disturbance exceeds the minimum plan, detailed site plan, etc. is require 5)(A). A copy of this letter must be
This letter is valid for pecified above durin he Numbered Exempt	land; however the project has no project has no project has clearing of less than 5,000 squares to a government or linear project to sed clearing is); or cosed activity is for a timber harvest, in two years from approval or until ng the validity period. If a develop prior may be considered invalid in development activity or permit approved to the term of term of the term of term of term of term of the term of	I because the site is over 40,000 square revious TCP approvals and: are feet of woodland (acreage of propos that results in the clearing of less than 2 such time as the cumulative woodlar oment review application (preliminary n accordance with Section 25-119(b)(oplication.	and dated feet in size and contains over 10,000 ed clearing is); or 0,000 square feet of woodland (acreage and disturbance exceeds the minimum plan, detailed site plan, etc. is required 5)(A). A copy of this letter must be st
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Required easements: None.

Storm Water Management fee payment of none in lieu of providing on-site attenuation/quality control measures. (Fee-In-Lieu subject to change during technical review.)

ADC MAP:

CONDITIONS OF APPROVAL:

Please see second page.

APPROVED BY:

Rh

____ Rey De Guzman APPROVAL DATE: October 16, 2019

EXPIRATION DATE: October 16, 2022

CC: APPLICANT, SCD, PERMITS P.G.C. FORM #3693 (REV 04/93)

FOR OFFICE USE ONLY

5531 D8 200' SHEET: STREET NAME: CENTRAL AVE AVE WATERSHED: 01-Patuxent River NUMBER OF DU'S: 0

COST PER DWELLING: 0

APPLICA		NRI EQUIVALENC	
vner Name and Address: seph Curto Donald's Corporation	APPLICANT T	O FILL OUT THIS SECTION Agent/Contact, Company, A Tessa Phillips Kimley-Horn and Associates, Inc. 11400 Commerce Park Drive, Suite 40	ddress, Phone and E-mai l (all required): (703)-674-1300
03 Rockledge Dr., Suite 1100 thesda, MD 20817 COPERTY OR PROJECT N/		Signature: Tessa Phillips	Date: 06/11/2019
eet Address: 8710 Central Ave			
evious Applications (NRI, TC evious DRD applications: (Pr		or Special Exception):	SE-3805
tal Area (acres): 1.32	0.0000.0	^{#:} 2019065, 2070019, 2065795	WSSC Grid: 201NE08
/Block/Parcel: Lots 11, 12, 13 7 posed Activity:		IVI-U-I	Environmental Strategy Area (ESA) (Plan 2035): 1 2 3 4
	and the second	existing building and associate ? (Preliminary Plan, Site Plar	ad site improvements n, or Special Exception) ☑ Y
			isted as "N/A" for not applicable
Project Type 1 and 2		Woodland Conservation, submi	Project Type 2 only t If subject to Woodland conservation:
wing existing conditions (signe	d) Applicat	wing: tion for Letter of Exemption, or	(1) copy of approved TCP2 (if applicable).
(2) copies of any other inform vided by the applicant and liste	d here:	a previously Issued Letter of	CBCA #:
(3) Coversheet	and the second state	andard or Numbered)	Other:
Date Received: 06/18/2019		BE COMPLETED BY EPS S	TAFF) IRI No.: NRI-094-2019
Reason for return of the packag		N/A	Date Returned: N/A
Dated Accepted: 07/15/2019	Reviewer Assigned:	But Date.	(30 days from acceptance date) using the submitted proposed site plan and the
st current color imagery aerial p urbance change significantly, a erent development activity is pr	ohotography and the PGatlas a full NRI may be required. T roposed, whichever comes fi	s.com environmental layers. If the his letter is valid for five years from rst. The submitted request was from the submitted	he scope of the proposed activity or limits of om the date of issuance, or until such time as a ound to meet the following checked criteria. ge's County Woodland and Wildlife Habitat
Conservation Ordinance. The site has a previously appro	oved and implemented Type T	ree Conservation Plan (•
The submitted proposed site pl	an, dated 6/11/19 and	d prepared by JOHN KAUPPIL	A demonstrates that no regulated
The submitted proposed site p	an dated and	⊢site regulated environmental feature d prepared by	shows that the proposed work will not
environmental features.			eate any additional impacts to any regulated
	ance, or no variance is required		onstrates that the proposed activity will result in less
than 500 square feet of disturb (Other)	ance, or no variance is required		
than 500 square feet of disturb(Other)A FLOODPLAI Brent Efune	Ance, or no variance is required	RED AT THE TIME OF STORMY	ATER CONCEPT REVIEW.
than 500 square feet of disturb (Other) Preparer Initials: Approval Date: 07/25/20	ance, or no variance is required	ED AT THE TIME OF STORMV E Planner Initials: <u>F</u> Expiration Date:	ATER CONCEPT REVIEW. Innest Details signed by Enset fields 007/25/2024 Last Updated: June 201
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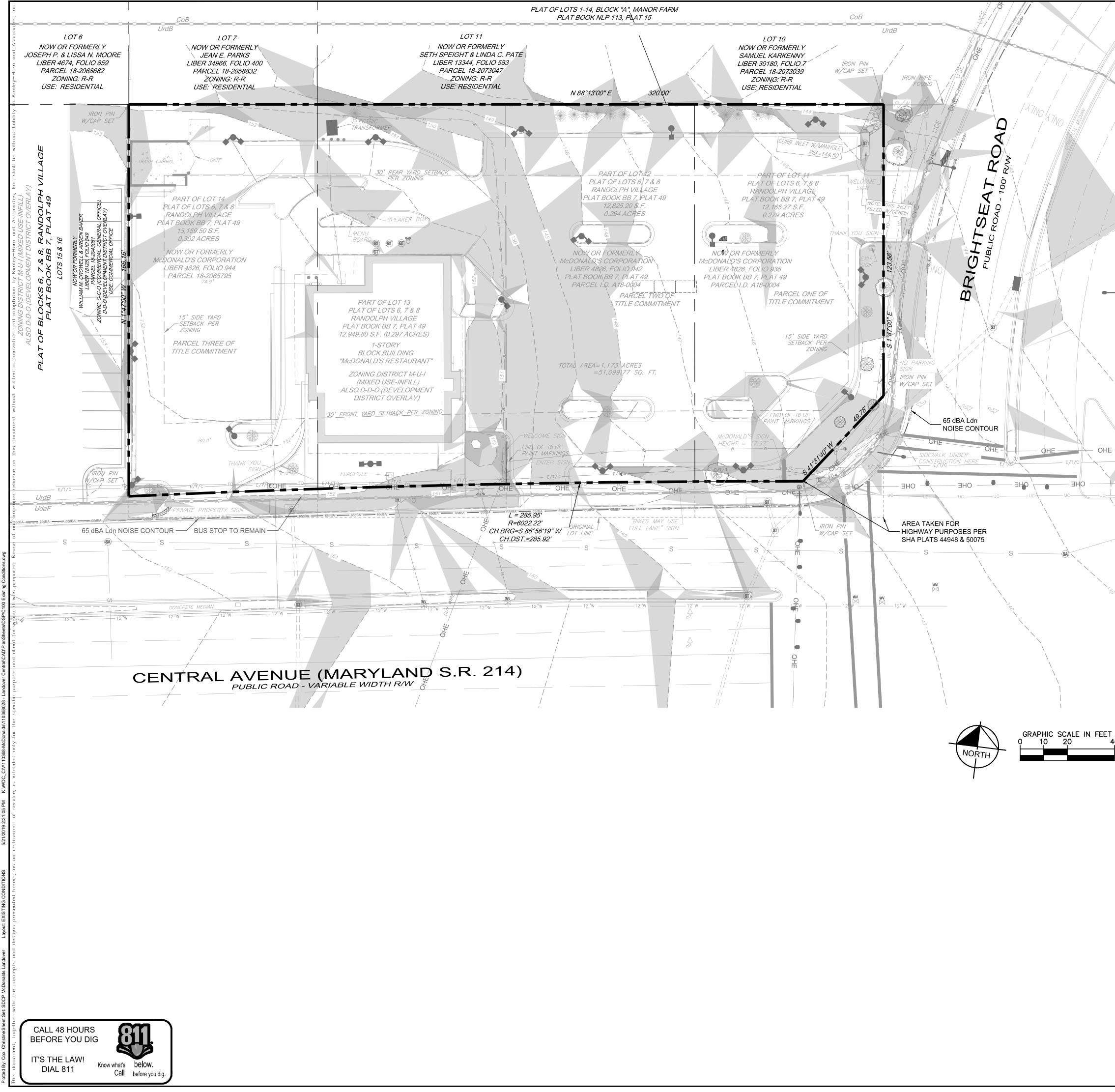
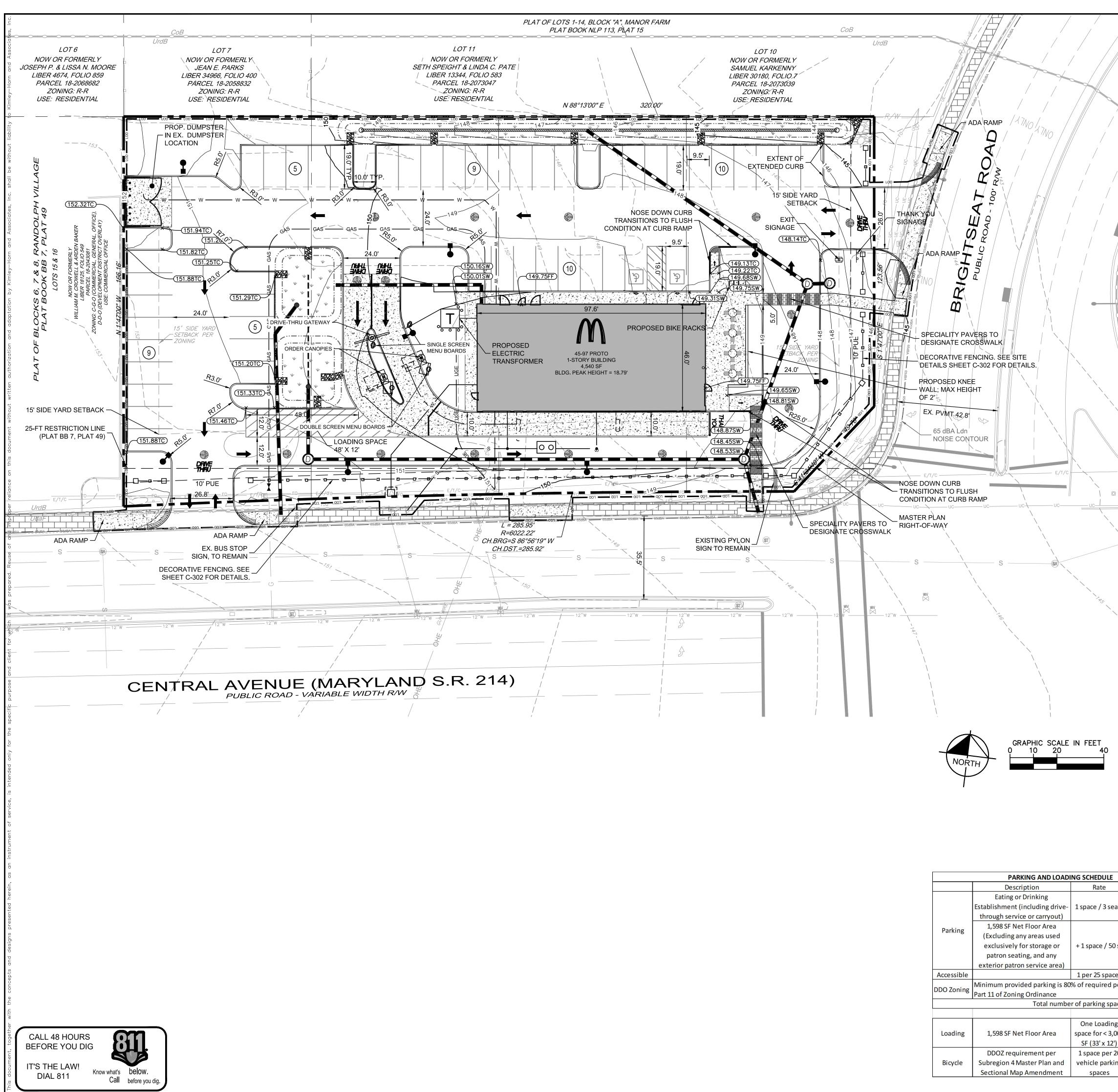
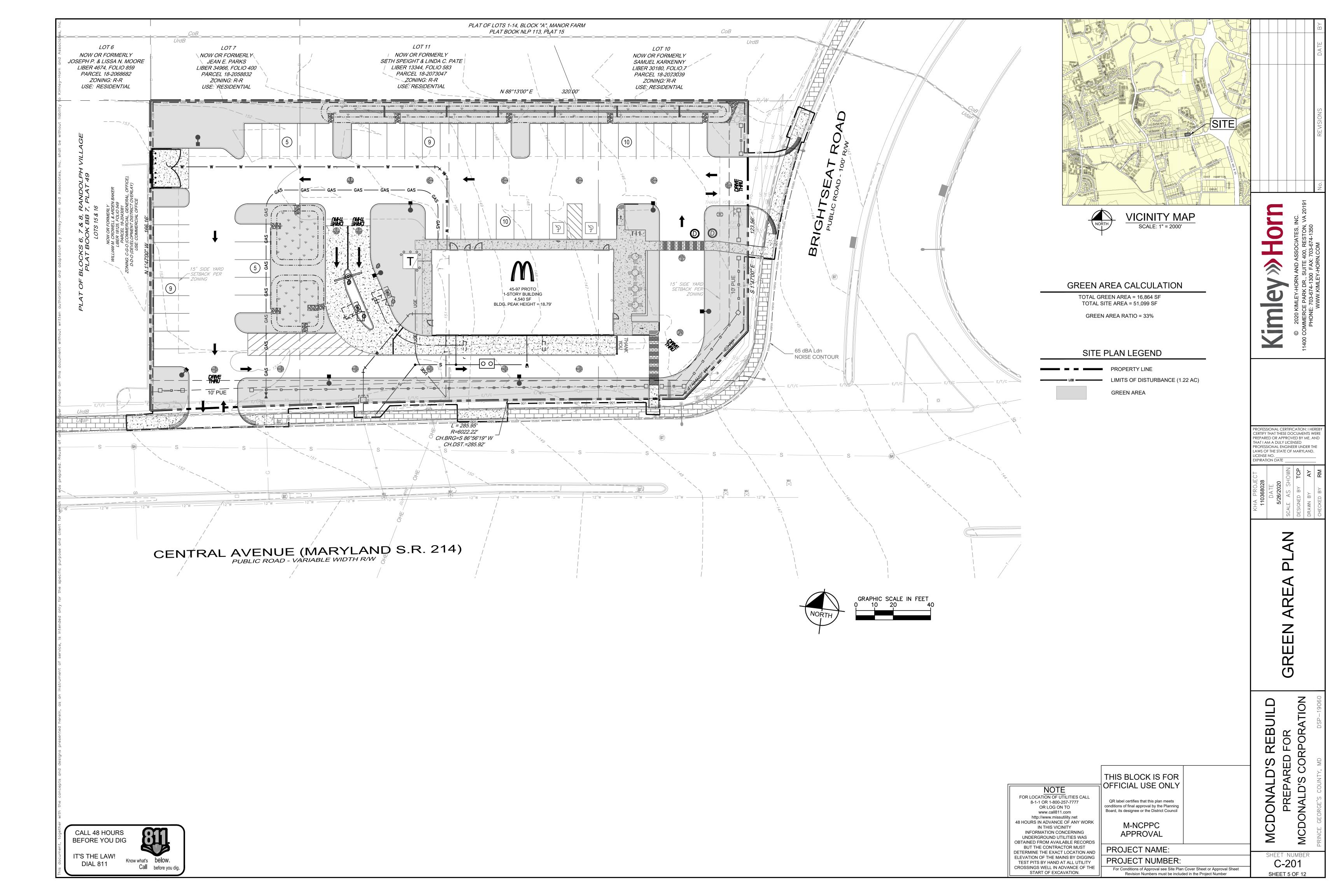


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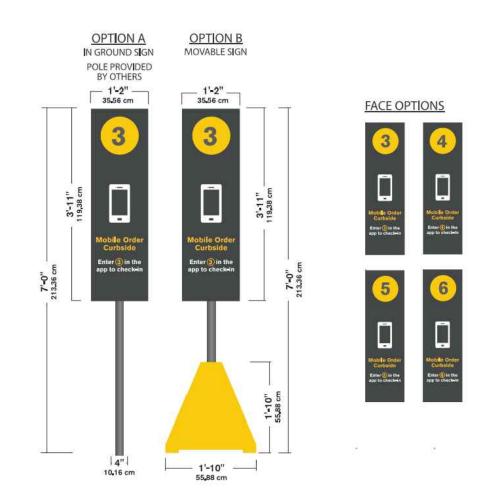


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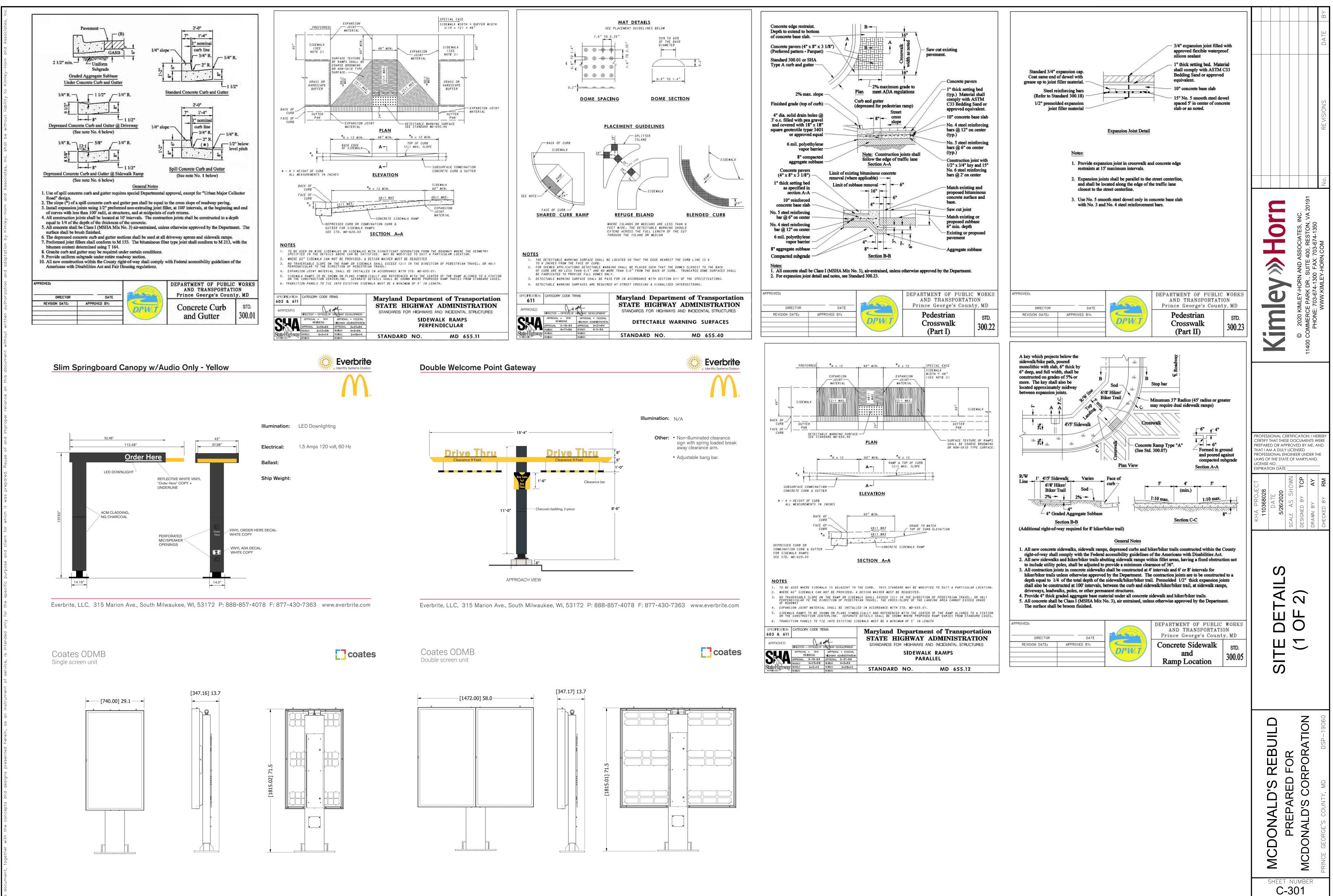
Mobile Ordering Curb Signage



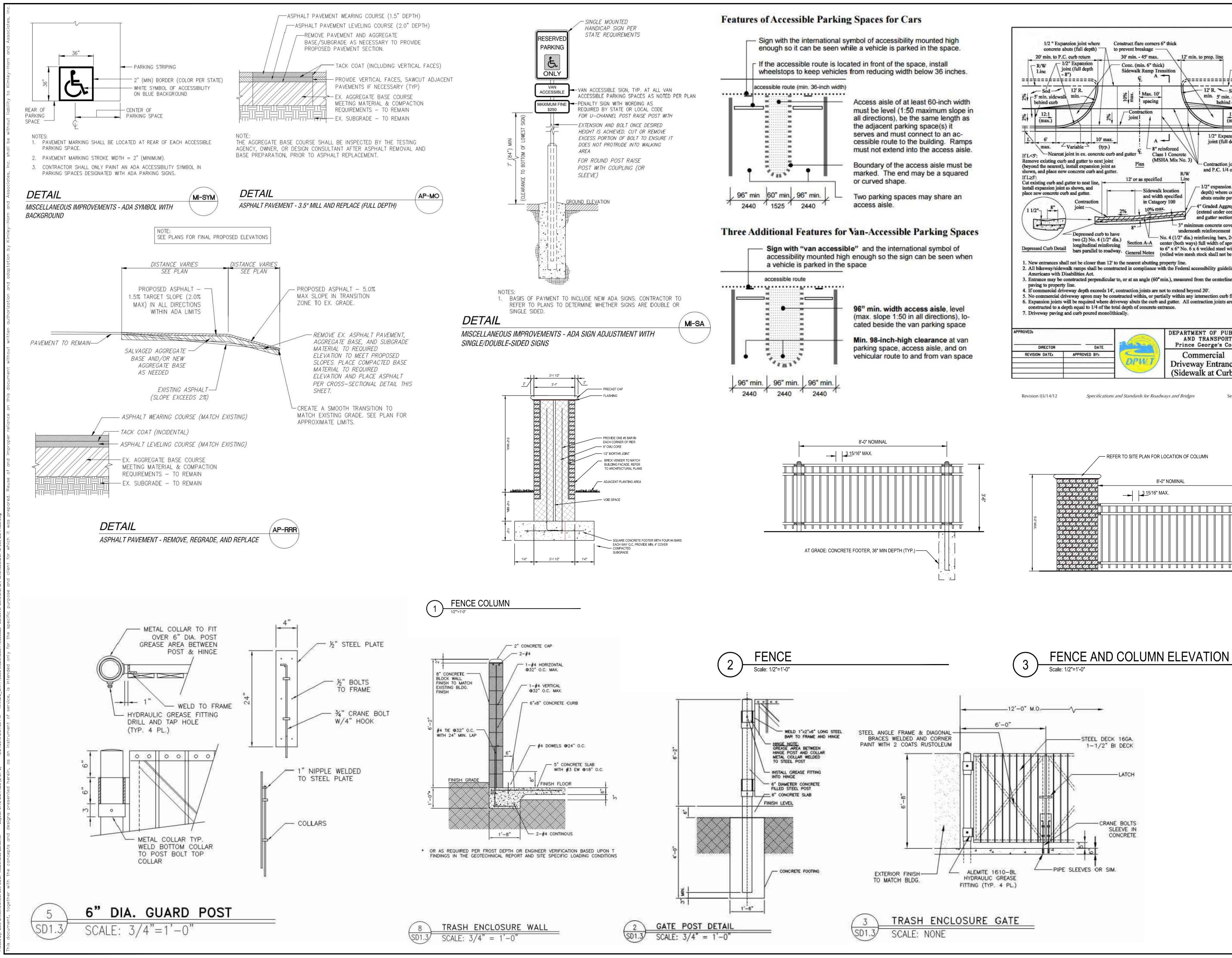
Everbrite, LLC, 315 Marion Ave., South Milwaukee, WI, 53172 P: 888-857-4078 F: 877-430-7363 www.everbrite.com

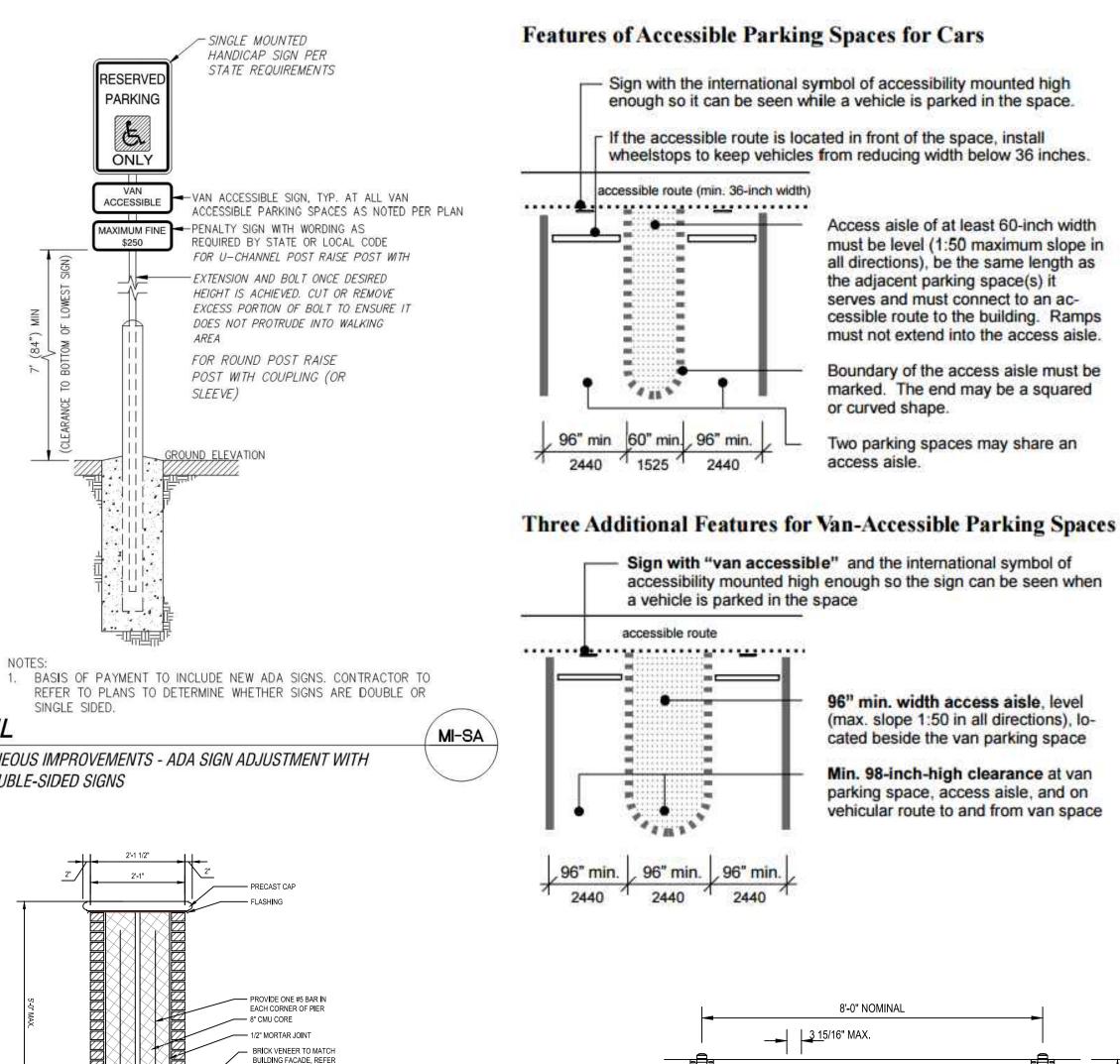


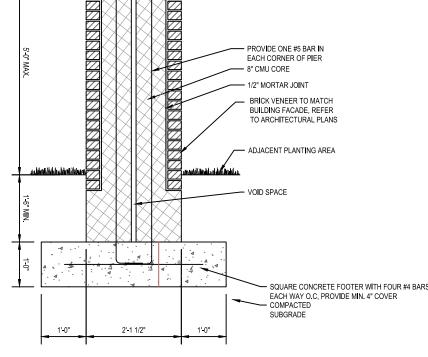


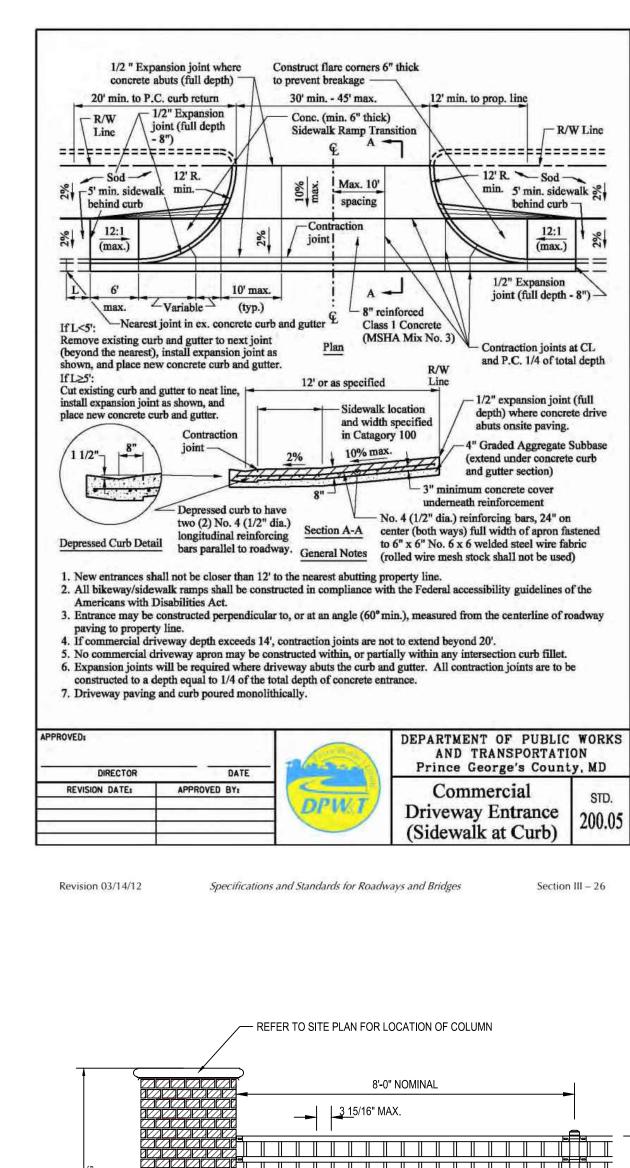


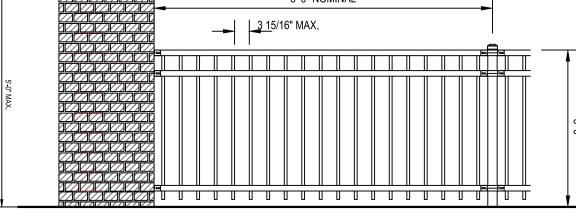
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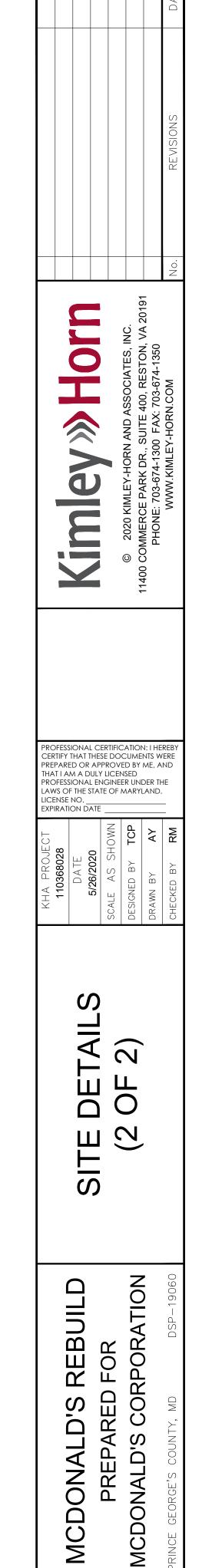








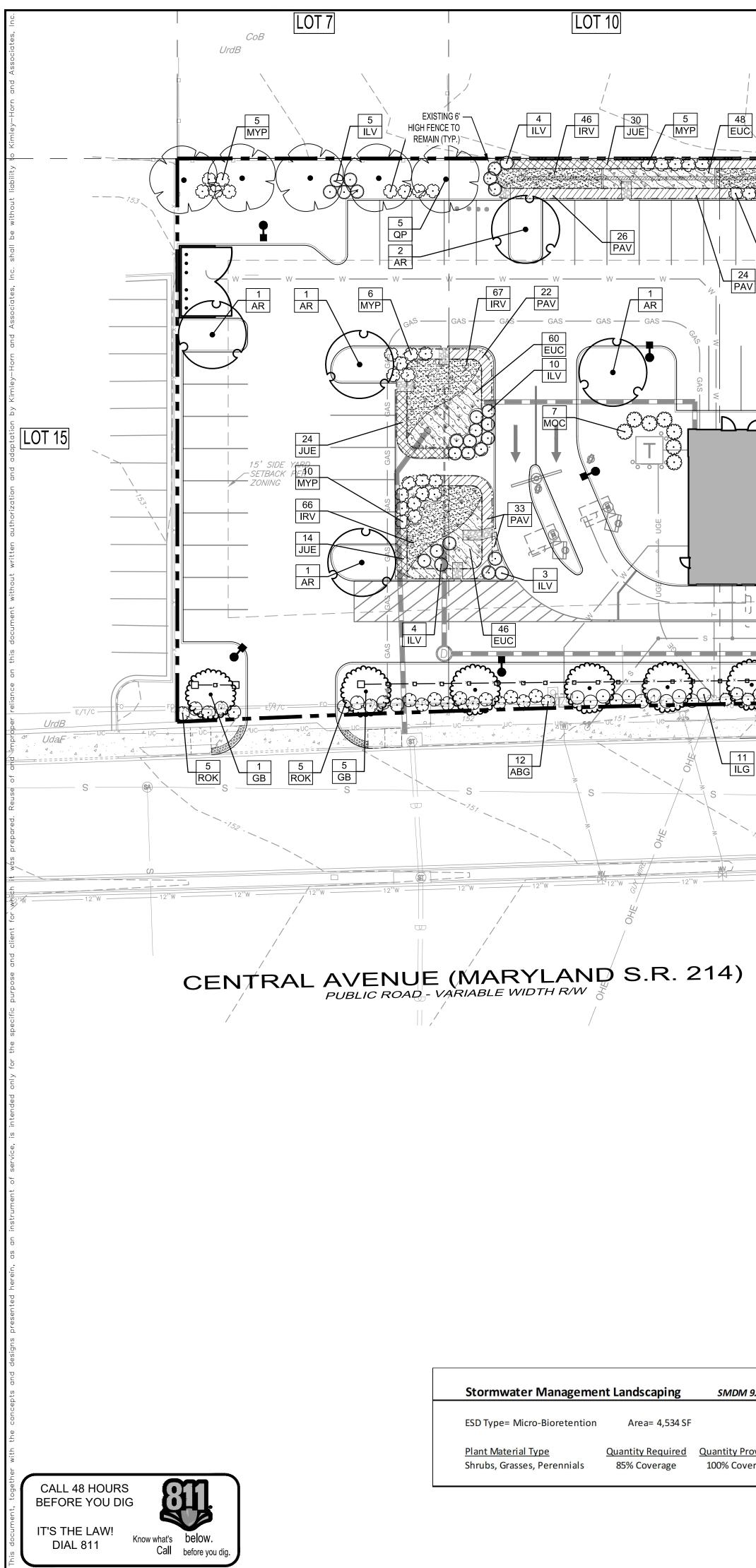




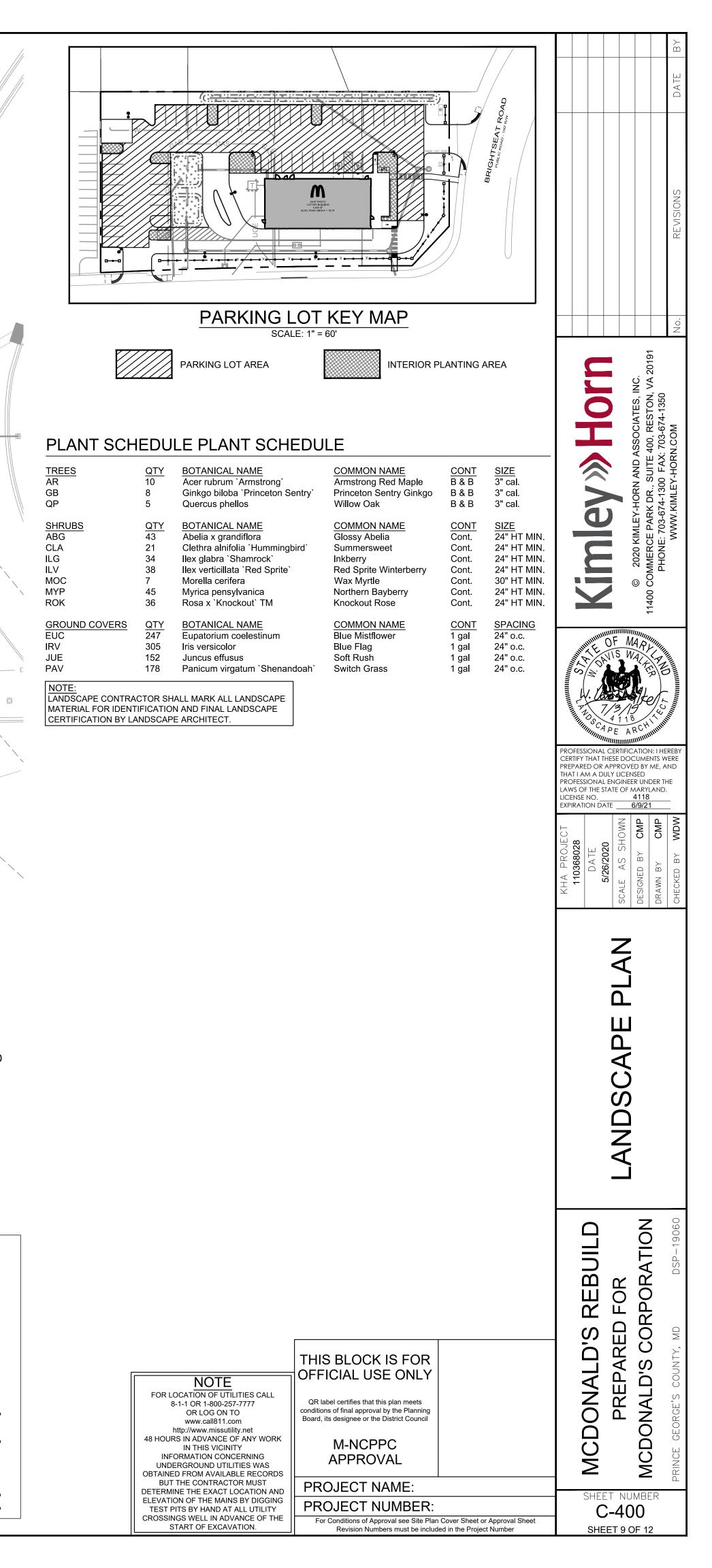
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SHEET 7 OF 12



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	Tree Canopy Coverage Sch					
	Project Name: 6801 Annapolis Road Site Calculations:	TCP2#: Zone 1:	DRD Case #: M-U-I	Area (acres)		
/		Zone 2: Zone 3: Zone 4:				
		Total Acres:	тсс	1.17	GRAPHIC S 0 10	CALE IN FEET 20 40
	Total Acres (gross acres) 1.17	% of TCC required 10.0%	Required (Acres) 0.12	TCC Required in (SF) 5097	NORTH	
	A. TOTAL ON-SITE WC PROVIDED (acres) = B. TOTAL AREA EXISTING TREES (non-WC acres) = C. TOTAL SQUARE FOOTAGE IN LANDSCAPE TREES =	0.00	acres acres	0 435.6 5750	Ι	
	D. TOTAL SQUARE FOOTAGE IN LANDSCAPE TREES = D. TOTAL TREE CANOPY COVERAGE PROVIDED = E. TOTAL SQUARE FOOTAGE REQUIRED =			5750 5097		
		TCC Credit per Tree		Requirement Satisfied		
	Credit Categories for Landscape Trees	Based on Size at Planting (SF)	Number of Trees	(SF)		
	Deciduous - columnar shade tree (50 ° or less height)	2 -1/2 - 3" = 65 3 - 3 1/2" = 75 1-1/2 - 1-3/4"= 75		0 0 0		
	equal spread). Minimum planting size 7 - 9 ' in height	2 - 2 1/2" = 100 2 -1/2 - 3" = 110 2 -1/2 - 3" = 160		0	Planting Schedule for Section 4.9- Sustainable Landscaping Requirements	
	spread or greater). Minimum planting size 8-10' in height Deciduous - major shade tree (50' and greater ht. with			0	1) Percentage of native plant material required in each category: Shade Trees: total $23 \times 50\% = 11.5$ total number required	1
		3 - 3 1/2" = 250 6 - 8' = 40	23	5750	total number provided $23 = 100$ % native Ornamental Trees: total 0 x 50% = 0 total number required total number provided 0 = 0 % native	1
19.7.3.5.	Evergreen - columnar tree (less than 30' height with spread less than 15')	8 - 10' = 50 10 - 12' = 75		0	total number provided $0 = 0$ % nativeEvergreen Trees:total $0 x 30\% = 0$ total number requiredtotal number provided $0 = 0$ % native	1
	Evergreen - small tree (30-40' height with spread of 15- 20')	6 - 8' = 75 8 - 10' = 100 10 - 12' = 125		0 0 0	Shrubs:total 1,112 x $30\% = 327$ total number required total number provided 1,027 = 92 % native	1
<u>rovided</u> verage		6 - 8' = 125 8 - 10' = 150 10 - 12' = 175		0	2) Are invasive species proposed?3) Are existing invasive species on-site in areas that are to remain	yes <u>X</u> no
	Evergreen - large tree (50' height or greater with spread	6 - 8' = 150 8 - 10' = 200		0	 undisturbed? 4) If "yes" is checked in numbers 2 or 3, is a note included on the plan requiring removal of invasive species prior to certification in 	yes _X_no
	of over 30') TOTAL NUMBER OF TREES/TCC CREDIT (SF) (Manually enter information/figures into shaded areas)	10 - 12' = 250	23	0 5750	accordance with Section 1.5, Certification of Installation of Plant Materials?	yesX_no
	Davis Walker Prepared by	-	12/17/2019 Date	-	5) Are trees proposed to be planted on slopes greater than 3:1?	yes <u>X</u> _no



GENERAL NOTES

- 1. Plants shall be healthy, vigorous material, free of pests and diseases and are subject to approval/rejection of the Landscape Architect prior to, during and after installation.
- 2. Contractor shall identify all materials at growing location prior to purchase and submit digital photographs, and source list to the Landscape Architect for approval at a minimum of six (6) calendar weeks prior to installation. Plants not approved shall be resourced and resubmitted.
- 3. Planting beds and individual tree plantings shall be mulched continuously as specified.
- 4. Prior to construction the contractor shall be responsible for locating underground utilities and execute work in a manner that avoids damage to utilities during the course of work. Contractor shall be responsible or remedy of any damage to utilities, structures, site appurtenances that occur as a result of landscape related work.
- 5. Contractor is responsible for verifying quantities shown on documents. Field adjustments shall be approved by Landscape Architect prior to installation. Quantities indicated on drawings are for reference-it is the Contractor's responsibility to ensure full coverage of plants at the indicated spacing.
- 6. Contractor is responsible for maintenance of all plantings including, but not limited to watering, mowing, edging, spraying, mulching, fertilizing, of plantings and turf areas for one (1) calendar year from date of certificate of occupancy. Contractor is responsible for warranty of all plant material for a period of one (1) calendar year from date of certificate of occupancy. Warranty replacement planting shall meet or exceed the original specification identified on drawings. Replacement planting shall extend the same warranty as originally installed materials. Plantings and grass areas shall be flourishing and fully thriving at end of warranty period.
- 7. Plants identified for replacement by Owner, Landscape Architect shall be replaced immediately by the Contractor unless otherwise agreed upon. Plantings (trees, shrubs, groundcover) subject to replacement by warranty shall exhibit characteristics of 30% dead-per individual plant, non-contributing or disease compromised. Grass areas suitable for acceptance shall demonstrate 85% sustained/consistent and continuous, densely established coverage.
- Contractor shall perform a site review at end of warranty period and provide the Owner with written documentation of the site, including plant health, warranty replacement items, and conditions that may be influencing plant health. Contractor shall remove from plants and site, all staking and guying material at end of warranty period
- 8. Contractor shall comply with all local, state and federal requirements, codes and regulations related to the work undertaken 9. All material including planting operation appurtenances shall be of domestic origin manufacture and
- sourced within 100 miles of the project site. 10. Contractor is responsible for coordination among trades operating on site. Coordination and if necessary resulting modifications to schedules are responsibility of the Contractor.

PERFORMANCE SPECIFICATION

I. PLANTS A.General

- 1. Live healthy plants free of dead branches and parts
- 2. Free of disease, insect, injury and damage
- 3. Unbroken, intact, dense and solid rootballs and containers, without cracks, flat sides or previously repaired damade
- 4. Free of girdling roots or rootbound/circling container conditions
- 5. Plants of consistent in growth habit and healthy character
- 6. Free of compromising growth conditions such as weak crotch connections, crossed branches, snags and scars 7. Point of origin growing location within 100 miles of project site
- 8. Graded, standards, caliper, sizes and stock consistent with ANSI Z60.1, American Standard for Nursery Stock most current edition
- 9. Species identified consistent with Hortus Third: Concise Dictionary of Plants Cultivated in the United States and Canada, most current edition and Manual of Woody Plants: Their Identification, Ornamental
- <u>Characteristics, Culture, Propagation and Uses, most current editior</u> 10. All disturbed areas shall be grass seed unless otherwise identified on landscape plans

B. Trees:

- 1. Deciduous Single Trunk
- a. Full, straight and upright with consistent symmetrical natural branching pattern throughout b. Branching Height-seven (7) feet to lowest branch in two years unless otherwise required by local jurisdiction

2. Deciduous Multi-Trunk

- a. Full and upright with straight consistent symmetrical natural branching pattern throughout b. Canes evenly spaced and of similar growth habit
- c. Free of suckers and extraneous branching

3. Evergreen Single-Trunk

- a. Full and upright with continuous symmetrical dense natural habit b. Clear branching height twelve (12) inches above top of rootball
- c. Free of suckers and extraneous branching
- d. Do not shear or otherwise prune to shape plantings

C.Evergreen and Deciduous Shrubs

- 1. Full, dense and naturally symmetrical. 2. Consistent with container and/or balled and burlapped size
- 3. Free of suckers and extraneous branching 4. Do not shear or otherwise prune or shape plantings

D. Evergreen and Deciduous Groundcover 1. Full and dense in pots or flats

E. Perennials and Seasonal Color

1. Full and dense in pots or flats

F. Turf Grass 1. Subgrade

- a. Soil Mix-10% Compost, 90% topsoil by volume
- b. Preparation-loosen subgrade to a minimum depth of four (4) inches. Remove all non-natural materials
- including litter, stones, sticks and all items greater than ³/₄ inch in any dimension c. Preparation-spread soil mix at a depth of four (4) inches continuously to meet grade elevations shown on drawings. Allow for thickness of sod when applicable

- 2. Grass Sod a. Install not longer than twenty-four (24) hours from harvest
- b. Grass bed not less than two (2) inches in continuous thickness
- c. 100% continuous live sod coverage after first growing season and at end of warranty period. d. Of uniform non-varying density and continuous texture quality capable of growth and development immediately upon installation. Weed and noxious plant free
- e. Stagger installation rows and place aligned parallel to contours
- f. Fill joints solidly with planting bed preparation soil
- g. Provide anchor pins at twenty-four (24) inches on center for slopes greater than 4:1

3. Grass Seed

- a. Mix approved by the Landscape Architect
- b. Provide first and new of year seed crops in mix free of weed seeds and deleterious matter
- c. Provide seed mix not greater than 15% annual or perennial rye d. Coverage 85% continuous coverage live stand after first growing season and at end of warranty
- e. Replacement or overseeding mixes consistent with original application/installation
- f. Provide erosion blankets or other slope retention methods as noted on drawings

II. Materials and Appurtenances

A.Testing 1. Materials testing information/certificates/dated labels shall be current to the project and performed/certified not greater than 120 calendar previous days from current date of submittal for review

B. Top Soil

1. Neutral Ph balance 5.5 -7.5. Friable and containing 2.0-5.0% organic matter by dry weight. Continuously free of non-soil items such as stones, debris, sticks, trash, and deleterious matter greater than ³/₄ inch in any direction. Clay content shall not exceed 25%. Gravel content shall not exceed 10%. Silt shall not exceed 25%



- C.Use of Existing Topsoil
- D. Shredded Hardwood Mulch Neutral Ph balance 5.5-7.5

E. Composted Pine Bark Fines

- wood content
- F. Compost Ph
- Consistent with US-EPA CFR Title 40 Part 503 Standards for Class A biosolids

G.Compost Testing

- requirements
- the US Composting Council Seal of Testing approval programs

H.Planting Mix

- 1. 85% topsoil and 15% Compost
- I. Fertilizer Product and Material Safety Data as approved by Owner

J. Herbicide

- K. Water
- 1. Potable only unless otherwise approved by Owner
- L. Hardwood Stakes 1. 2 x 2 x 48 inch square of sound hardwood, painted flat black on all sides

M.Tree Ties

1. Villa Non-Abrasive Rubber Tree Ties or approved equal

N.Filter Fabric

- 1. Mirafi 140-N or approved equal
- O.Steel Edging corners. Corners shall be formed and trued to compliant angle or welded closed

P. River Stone

- 1. Locally sourced, river rounded, unfaceted river stone/cobbles.
- 2. Size shall not exceed 3 total inches in any dimension.
- 3. Color and texture approved by Owner
- 5. Concrete or mortar as approved by owner.

III. Execution

- A.Site Conditions

- of acceptance prior to commencement of work. 3. Notify Owner in writing of any conditions that may preclude successful completion of work including items access to storage/work areas, damage to conditions, etc.
- 4. Notify Owner in writing immediately of any items that may influence work schedule, timing of tasks, materials delivery and/or installation and warranty responsibilities
- work by others.

B.Planting Seasons

on an individual project basis.

1. Deciduous and Evergreen Trees

a. Do not install/plant the following trees between September 15 and March 15

2. Deciduous and Evergreen Shrubs

1. Oaks (Quercus Sp., Such as Q. rubra, Q. alba, Q. phellos, Q. coccinnea) 2. Dogwood (Cornus Sp.)

3. Sweetgum (Liquidambar Sp.)

4. Spring Flowering Bulbs

5. Seasonal Annuals

7. No Plant Installation

C.Positioning & Location of Plantings

3. Perennials

6. Turf Grass

installation

Owner approval

D.Implementation

E. Clean Up

Architect

furnishings, etc.

1. Existing topsoil on-site may be repurposed with prior Owner approval. Contractor shall provide soil testing and additive program that demonstrates consistent performance and characteristics and composition as identified herein. Owner shall approve soil testing and soil amendment/additive methods and procedures

1. 100% organic shredded first year hardwood free of deleterious matter, rock, gravel and weed seed.

1. 100% organic ground pine bark with no particle dimension greater than ³/₄-inch and no greater than 10%

1. Balanced 5.0-8.5 mature, stable and weed free produced by natural aerobic decomposition. Free of visible contaminants and toxic substances. Not greater than 5% sand, silt, clay or rock by dry weight.

1. Prior to delivery on-site, the following items are required for approval by Owner: Feedstock percentage in final compost product; statement that the products meets federal, state and local health safety

2. Provide copy of lab analysis less than 120 calendar days old verifying that the product meets described physical requirements; chemical contaminants; Ph; physical contaminants; biological contaminants (including a statement that fecal coliform and salmonella testing and results comply with requirements of

1. Granular 10% nitrogen, 6% Phosphorous, 4% Potassium granular form with 50% Nitrogen in organic form.

1. Product and Material Safety Data as approved by Owner

1. 1/8-inch x 4-inch in full sections. Ryerson, Timec or approved equal with integral stakes. No open

4. When placed in concrete or mortar setting bed, tamp to secure and brush clear joints.

1. Inspect site and notify Owner in writing of acceptance with indication that project conditions are acceptable are suitable to proceed with work. Notify Owner of any existing damage and/or other conflicting conditions. 2. Do not proceed with work until unsatisfactory conditions have been satisfactorily remedied. Notify Owner

such as coordination with other trades, incomplete work, drainage, soil temperature and/or composition,

5. Coordinate and cooperate with other trades working in and adjacent to work areas. Examine drawings of other trades which show development of the entire project and become familiar with the scope of required

Recommended seasons are a general guide based on historical climatic data and typical performance of plantings, and which vary dependent on project-specific environmental conditions. Due to construction schedules, recommended planting seasons may/may not coincide with request(s) for certificate of occupancy for projects. Coordination of planting installation and seasons shall be reviewed with Owner

4. All Conifers and Evergreens except White Pine (Pinus strobus Sp.)

a. Install/plant between March 15 and June 15 and/or September 15 and November 30

a. Install/plant between March 15 and June 15 and/or September 15 and November 30

a. Install/plant between September 15 and December 15

a. Install/plant in season per approved schedule

a. Install/plant between March 15 and May 15 and/or September 15 and November 30 b. Do not install/plant seed or sod turf grass areas when ambient air temperature is below forty (40) degrees Fahrenheit, or forecast for a twelve (12) hour period after completion of work

a. Do not install plantings or turf grass between June 15 and September 15, without approval by Owner

1. Position plants to show the most-prominent and well-formed face to most-public view 2. Field locate plants and location/spacing/dimension of planting beds on project site prior to beginning

3. Verify location of individual plants and plant beds prior to beginning installation. Do not proceed without

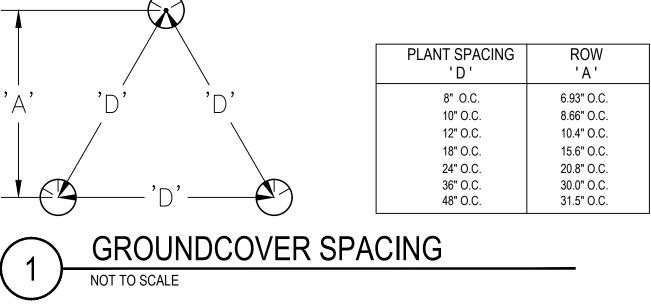
1. Pursue work continuously without delay or interruption until completion unless notified otherwise by Owner 2. Provide project submittals ahead of commencement of work. Landscape Architect requires a minimum of ten (10) working days from date of receipt for review of submittals and response to Owner and Contractor. Plan accordingly for procurement of materials

3. Continuously update implementation schedule and notify Owner of progress. Delays related to material availability are not cause for non-completion of scheduled delivery of work 4. Report delays due to weather or site conditions immediately upon finding. Provide recommendation for remedy of schedule delays. Do not work, place or modify frozen soil

5. Report delays due to extraordinary natural or other conditions beyond control of Contractor

1. Remove trash, debris and work materials from site prior to request for substantial completion. Thoroughly clean surfaces impacted by work including building, parking areas, roadways, sidewalks, signs, lights, site

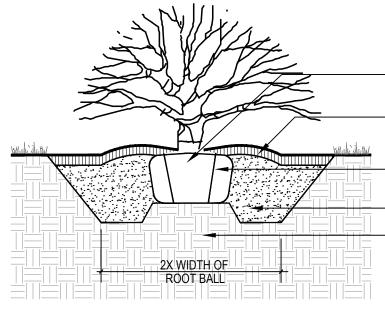
Repair any damage to existing conditions that occurred during execution of work. 3. All clean-up and demobilization procedures shall be performed to satisfaction of the Owner and Landscape NOTE: GROUNDCOVERS AND



SET GROUNDCOVERS AND PERENNIALS IN STAGGERED ROWS AT SPECIFIED SPACING. MULCH ENTIRE BED WITH 2" SHREDDED HARDWOOD MULCH OR

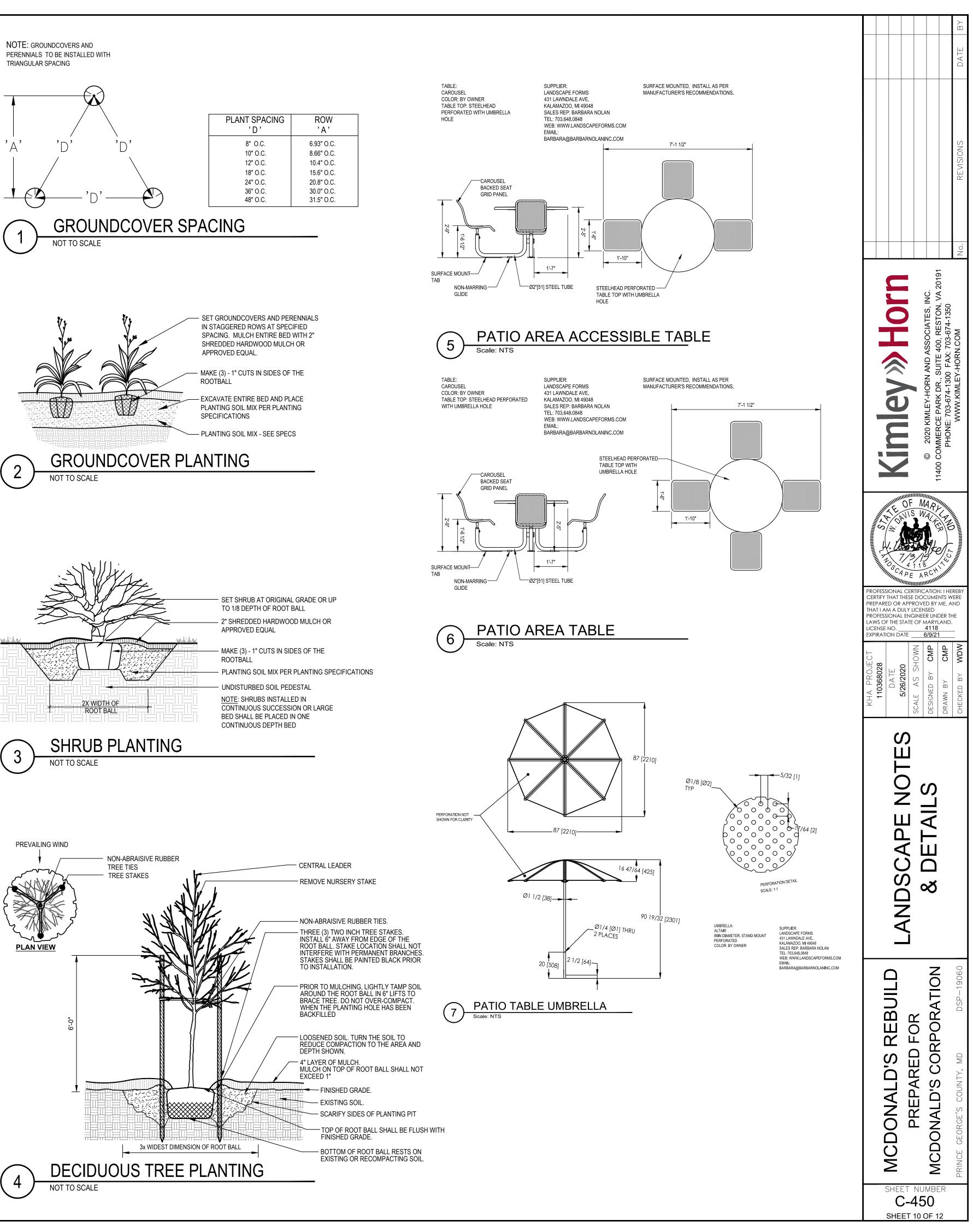


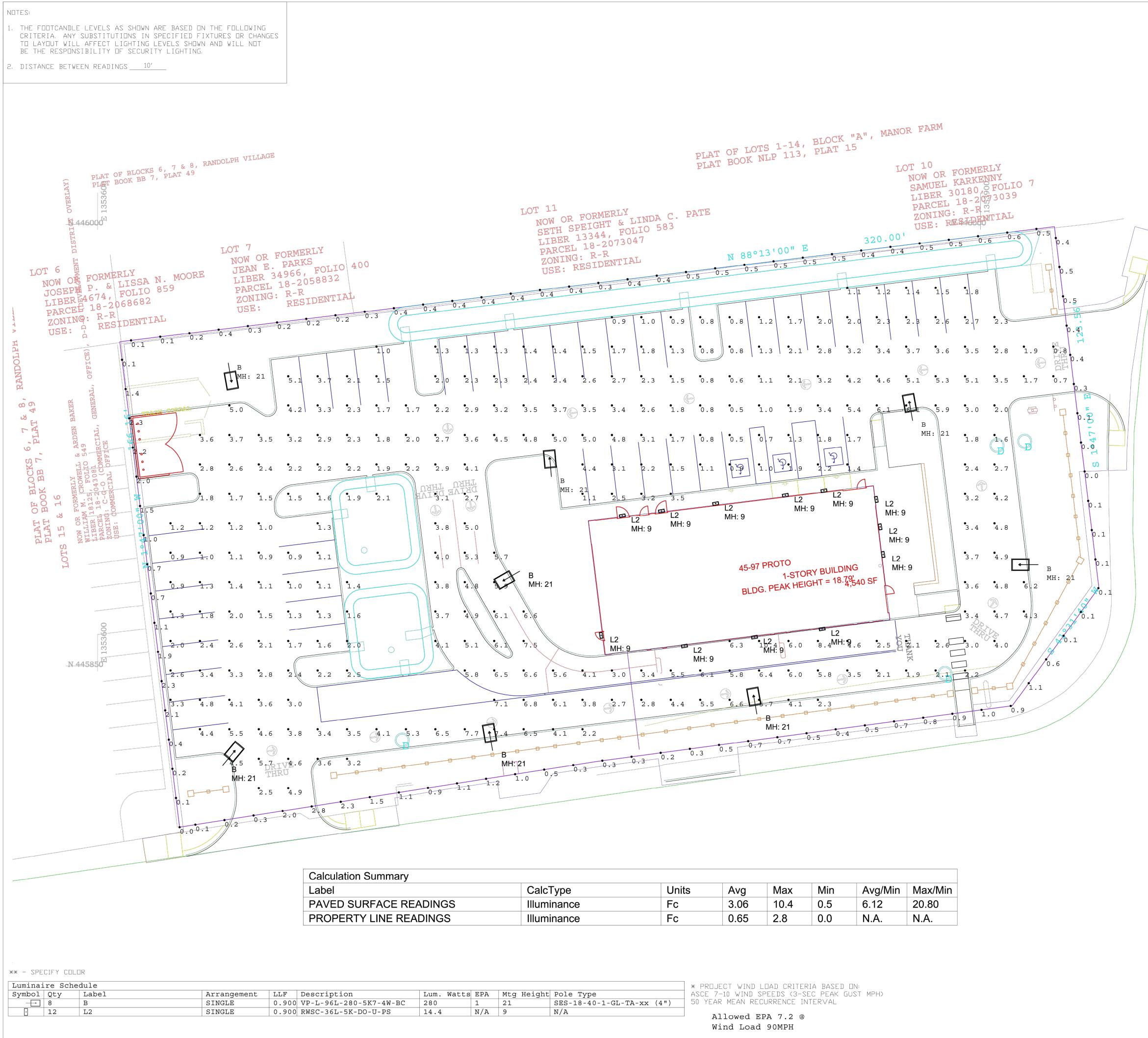




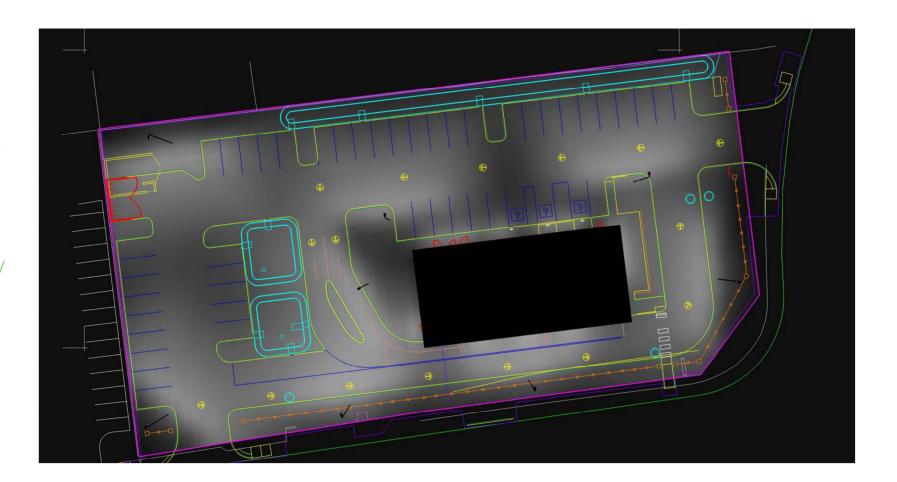
TO 1/8 DEPTH OF ROOT BALL 2" SHREDDED HARDWOOD MULCH OR

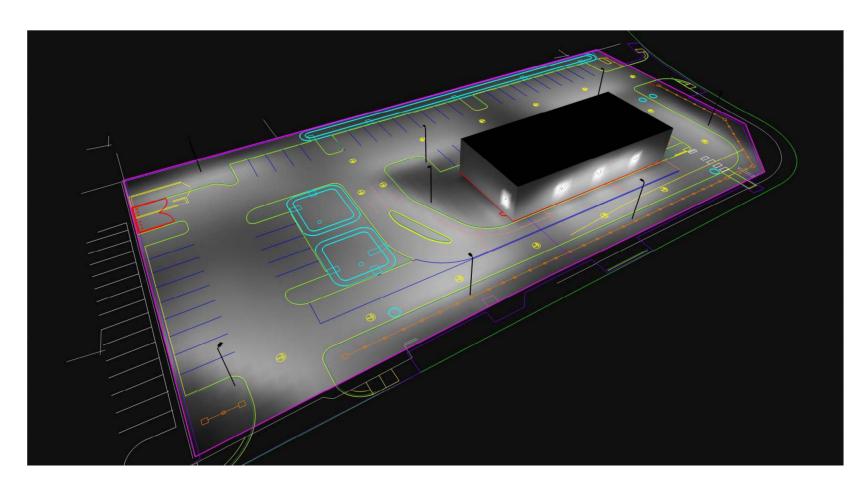
NOTE: SHRUBS INSTALLED IN CONTINUOUS SUCCESSION OR LARGE BED SHALL BE PLACED IN ONE





уре	Units	Avg	Max	Min	Avg/Min	Max/Min
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nance	Fc	0.65	2.8	0.0	N.A.	N.A.







UNLESS DTHERWISE SPECIFIED, ALL DIMENSIONS ARE IN INCHES 1"=20' 0"

1. THIS LIGHTING DESIGN IS BASED ON INFORMATION SUPPLIED BY OTHERS TO SECURITY LIGHTING SYSTEMS. SITE DETAILS PROVIDED HEREON ARE REPRODUCED ONLY AS A VISUALIZATION AID. FIELD DEVIATIONS MAY SIGNIFICANTLY AFFECT PREDICTED PERFORMANCE. PRIOR TO INSTALLATION, CRITICAL SITE INFORMATION (POLE LOCATIONS, ORIENTATION, MOUNTING HEIGHT, ETC.) SHOULD BE COORDINATED WITH THE CONTRACTOR AND/OR SPECIFIER RESPONSIBLE FOR THE PROJECT. 2. LUMINAIRE DATA IS TESTED TO INDUSTRY STANDARDS UNDER LABORATORY CONDITIONS. OPERATING VOLTAGE AND NORMAL MANUFACTURING TOLERANCES OF LAMP, BALLAST, AND LUMINAIRE MAY AFFECT FIELD RESULTS. 3. CONFORMANCE TO FACILITY CODE AND OTHER LOCAL REQUIREMENTS IS THE RESPONSIBILITY OF THE OWNER AND/OR THE OWNER'S REPRESENTATIVE.

4. THIS LAYOUT MAY NOT MEET TITLE 24 OR LOCAL ENERGY REQUIREMENTS. IF THIS LAYOUT NEEDS TO E COMPLIANT WITH TITLE 24 OR OTHER ENERGY REQUIREMENTS, PLEASE CONSULT FACTORY WITH SPECIFIC DETAILS REGARDING PROJECT REQUIREMENTS SO THAT REVISIONS MAY BE MADE TO THE DRAWING.

rawn by **BV**

DATE

POINT-BY-POINT FOOTCANDLE PLOT FOR MCDONALDS

> 8710 CENTRAL AVE LANDOVER, MD

NATIONAL STORE NUMBER 4475

DRAWING NUMBER /4/2020 43325A-Rev3.AGI



ntended Use

The Beacon Viper luminaire is available in two • Available with an optional passive infrared sizes with a wide choice of different LED Wattage (PIR) motion sensor capable of detecting configurations and optical distributions designed motion 360° around the luminaire. When to replace HID lighting up to 1000W MH or HPS. Luminaires are suitable for wet locations.

Controls/Options:

products/energeni).

products/beaconnect).

Mounting hardware included.

statically applied and thermocured.

super TGIC polyester powder coat

The finish meets the AAMA 605.2

www.designlights.org/QPL

ambient temperatures

applications

Warranty:

24 for wet locations and 40°C

Installation:

Finish:

Construction: One piece optical cartridge system consisting

- of an LED engine, LED lamps, optics, gasket and stainless steel bezel. Cartridge is held together with internal brass
- standoffs soldered to the board so that it can be field replaced as a one piece optical system. Two-piece silicone and micro-cellular
- polyurethane foam gasket ensures a weather-proof seal around each individual LED. LED/Optics:
- LED driver accepts 100V through 277V, 50 Hz to 60 Hz (UNV), or a driver that accepts 347V
- or 480V input. Power factor is .92 at full load.
- All electrical components are rated at 50,000
 Mounting options for horizontal arm, vertical hours at full load and 25°C ambient conditions
- per MIL- 217F Notice 2. Dimming drivers are standard with
- connections for external dimming equipment available upon request. Component-to-component wiring within the
- luminaire may carry no more than 80% of rated load and is listed by UL for use at
- 600VAC at 50°C or higher. Plug disconnects are listed by UL for use
- at 600 VAC, 13A or higher, 13A rating applies to primary (AC) side only.

Electrical:

- Fixture electrical compartment shall contain all LED driver components and shall be provided with a push-button terminal block for AC power connections.
- Ambient operating temperature -40°C to 40°C
 Listings: Optional 7-pin ANSI C136.41-2013 twist-lock photo control receptacle available. Compatible consult DLC website for more details: http://
- with ANSI C136.41 external wireless control devices. Surge protection - 20KA; Shuts off at end of life. Lifeshield™ Circuit - protects luminaire from
- excessive temperature. The device shall activate at a specific, factory-preset temperature, and progressively reduce power • IDA approved over a finite temperature range. A luminaire
- equipped with the device may be reliably operated in any ambient temperature up to 55ºC (131ºF). Operation shall be smooth and undetectable to the eye. Thermal circuit is visit: www.hubbellighting.com/resources/warranty). designed to "fail on", allowing the luminaire
- to revert to full power in the event of an interruption of its power supply, or faulty wiring connection to the drivers. The device shall be able to co-exist with other 0-10V
- control devices (occupancy sensors, external dimmers, etc.).



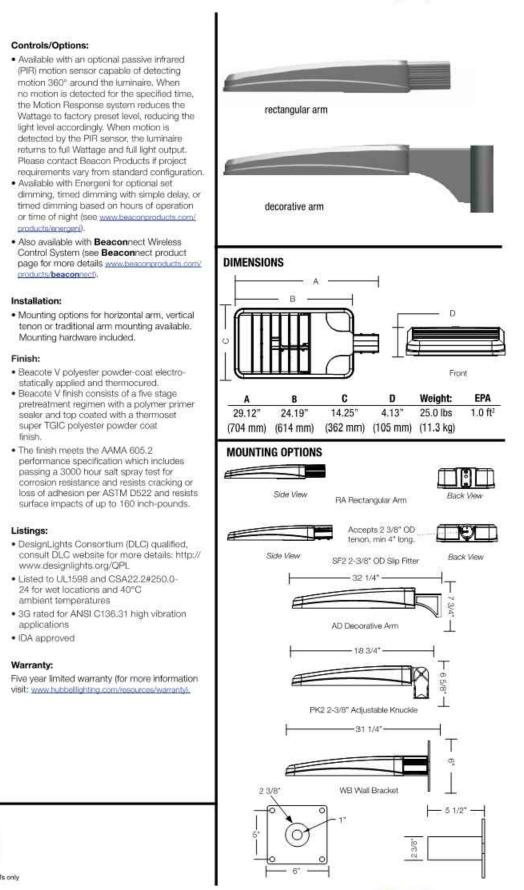
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PERFORMANCE DATA

BEACON **VIPER L SERIES** Enhanced Large Viper Luminaire



BEACON **VIPER L SERIES** Enhanced Large Viper Luminaire

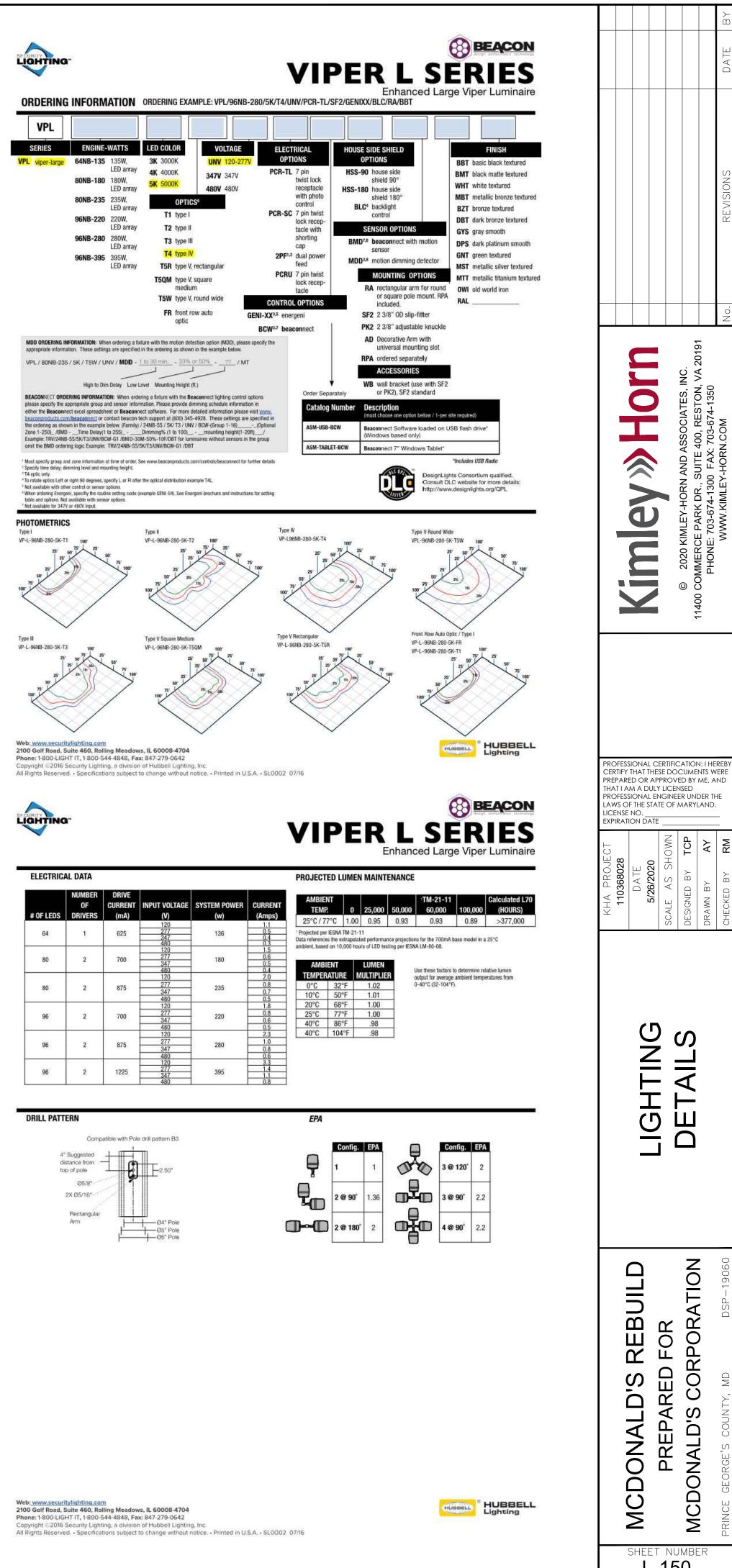
			2	5K (5000K nominal, 70 CRI)			4K					3K						
-	v		o				(4000K nominal, 70 0			RI)		(3000	(3000K nominal, 70)		
	DRIVE	SYSTEM						2										
# LED'S	(MILLIAMPS)	WATTS	DISTRIBUTION TYPE	LUMENS	LPW ¹	B	U	G	LUMENS	LPW	B	U	G	LUMENS	LPW ¹	B	U	G
			FR/T1 T2	15922	116	2	0	1	15762	115	2	0	1	13534 12133	99 89	2	0	1
			T3	14274	104	3	0	3	13996	103	3	0	3	12133	88	3	0	
64	625 mA	136W	T4	15511	113	2	0	4	15356	112	2	0	3	13184	96	2	0	
04	020 IIIA	130W	T5QM	15511	113	4	0	2	15356	112	4	0	2	13184	96	3	0	
			T5R	15785	115	4	0	4	15627	114	4	0	4	13417	98	4	0	
			T5W	15372	112	4	0	2	15217	111	4	0	2	13067	95	4	0	
			FB/T1	21132	117	2	0	2	20322	113	2	0	2	17447	97	2	0	
			T2	18888	105	3	0	4	18699	104	3	0	4	16055	89	3	0	
			T3	18700	104	3	0	3	18513	103	3	0	3	15895	88	3	0	
80	700 mA	180W	T4	20571	114	3	0	4	20365	113	3	0	4	17485	97	3	0	
		100	T5QM	20571	114	4	0	2	20365	113	4	0	2	17485	97	4	0	
			T5R	20944	116	4	0	4	20733	115	4	0	4	17803	99	4	0	
			T5W	20290	113	5	0	3	20088	112	5	0	3	17065	95	4	0	
		235 W	FR/T1	24866	106	2	0	2	24615	105	2	0	2	21136	90	2	0	
	875 mA		T2	23070	98	3	0	4	22839	97	3	0	4	19609	83	3	0	
			T3	21947	93	3	0	4	21725	92	3	0	4	18655	79	3	0	:
80			T4	24360	103	3	0	4	24028	102	3	0	5	20632	88	3	0	
			T5QM	23138	98	4	0	2	22905	97	4	0	2	19667	84	4	0	1
			T5R	24779	105	5	0	5	24541	104	5	0	5	21070	90	4	0	1
			T5W	24175	103	5	0	3	23931	102	5	0	3	20548	87	5	0	3
		220 W	FR/T1	25358	113	2	0	2	25104	112	2	0	2	21554	96	2	0	1
			T2	22665	101	3	0	4	22438	100	3	0	4	19265	86	3	0	1
			T3	22440	100	3	0	4	22216	99	3	0	4	19134	86	3	0	
96	700 mA		T4	24685	110	3	0	5	24438	109	3	0	5	20982	94	3	0	4
			T5QM	24685	110	4	0	2	24438	109	4	0	2	20982	94	4	0	1
			T5R	25133	112	5	0	5	24882	111	5	0	5	21363	96	4	0	
			T5W	24349	109	5	0	3	24106	108	5	0	3	20803	93	5	0	
	875 mA		FR/T1	29839	106	3	0	2	29541	105	3	0	2	25363	90	2	0	
			T2	27369	98	4	0	5	27096	97	4	0	5	23264	83	3	0	
1425			T3	26336	93	3	0	4	26073	92	3	0	4	22365	79	3	0	1
96			T4	29128	102	3	0	5	28837	103	3	0	5	24759	88	3	0	
			T5QM	28889	103	5	0	3	28601	102	5	0	3	24556	88	4	0	1
96			T5R	29184	105	5	0	5	28893	104	5	0	5	24809	89	5	0	1
			T5W	29010	102	5	0	4	28720	101	5	0	4	24263	86	5	0	1
			FR/T1	39653	101	3	0	2	39260	100	3	0	2	33371	85	3	0	
			T2	35997	91	4	0	5	35641	90	4	0	5	30295	77	4	0	5
			T3	35840	91	4	0	5	35485	90	4	0	5	30162	77	3	1	4
	1225mA	395 W	T4	35455	90	3	0	5	35104	89	3	0	5	29839	76	3	0	4
			T5QM	38388	97	5	0	3	38008	96	5	0	3	32306	82	5	0	12
			T5R	39117	99	5	0	5	38730	98	5	0	5	32921	83	5	0	5
			T5W	36984	93	5	0	4	36528	93	5	0	4	31049	79	5	0	1

1/Lurnen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown. Actual performance may differ as a result of end-user environment and application.

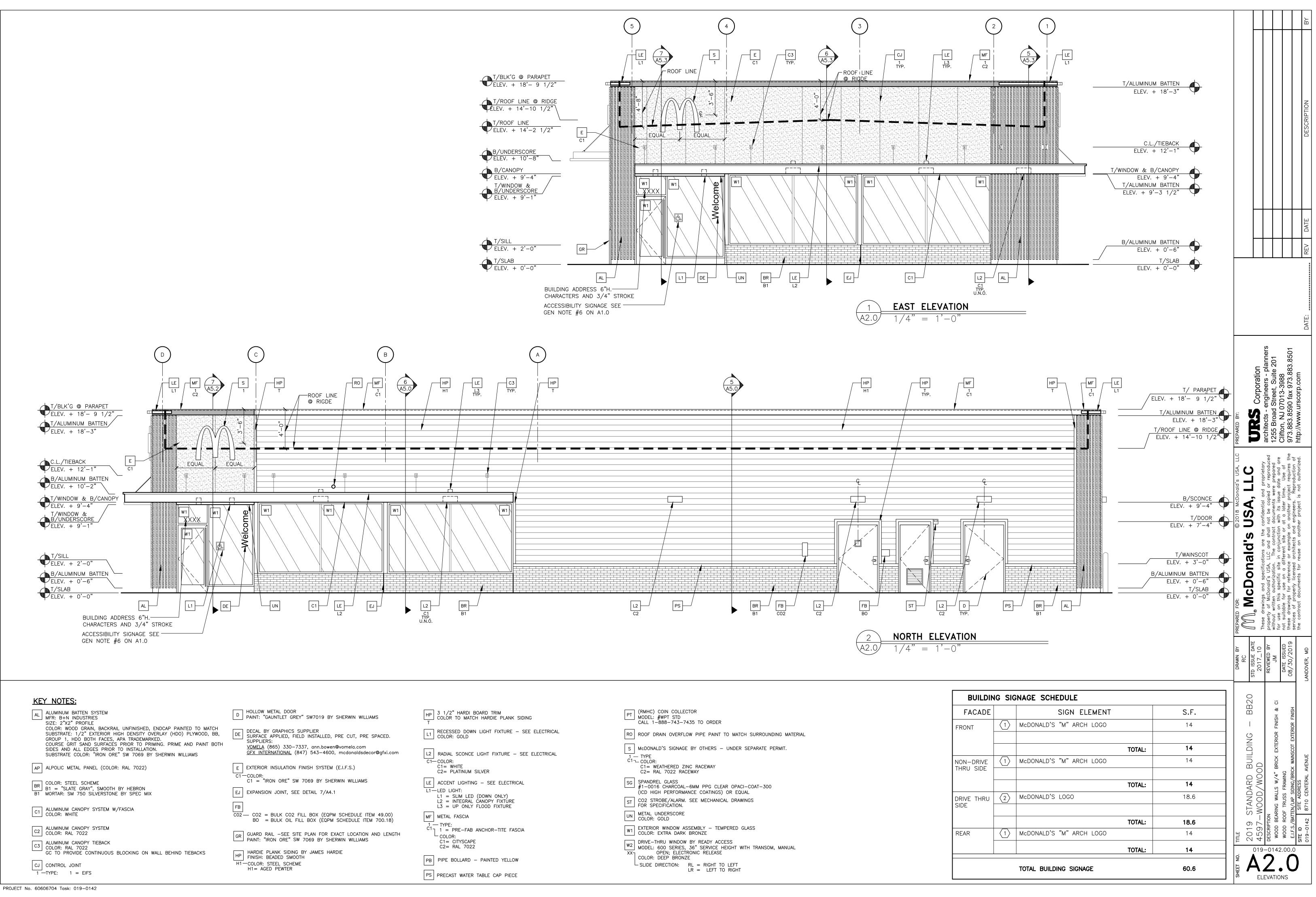


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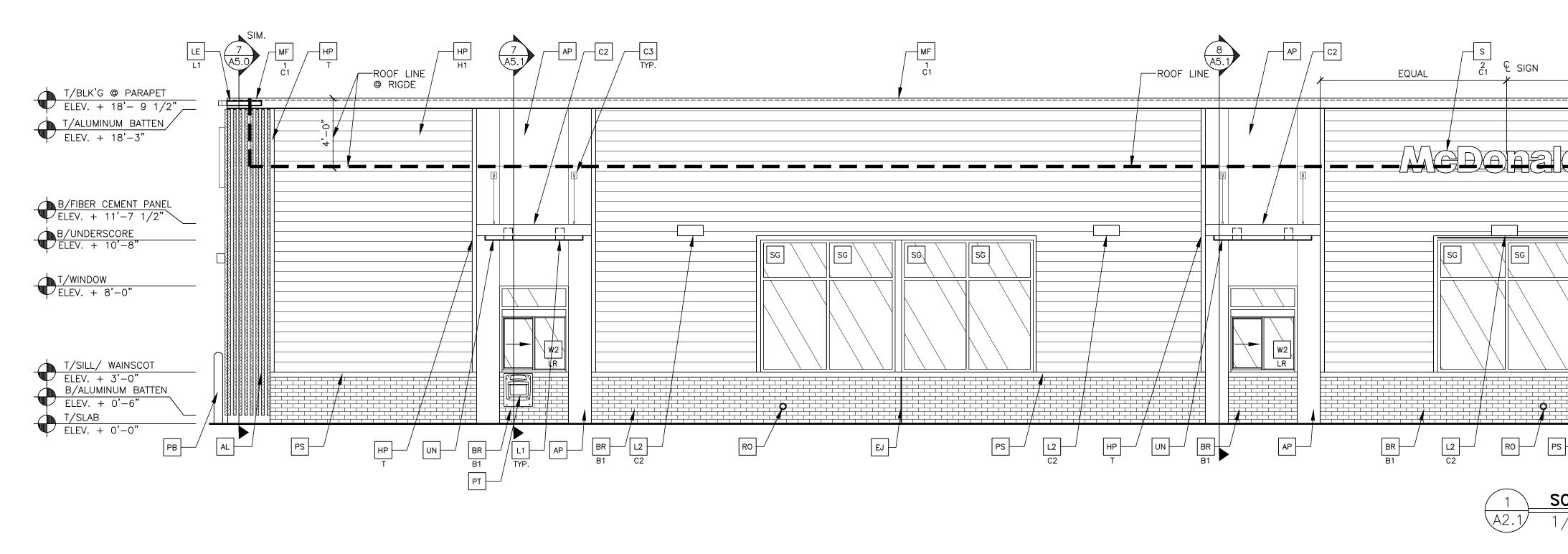


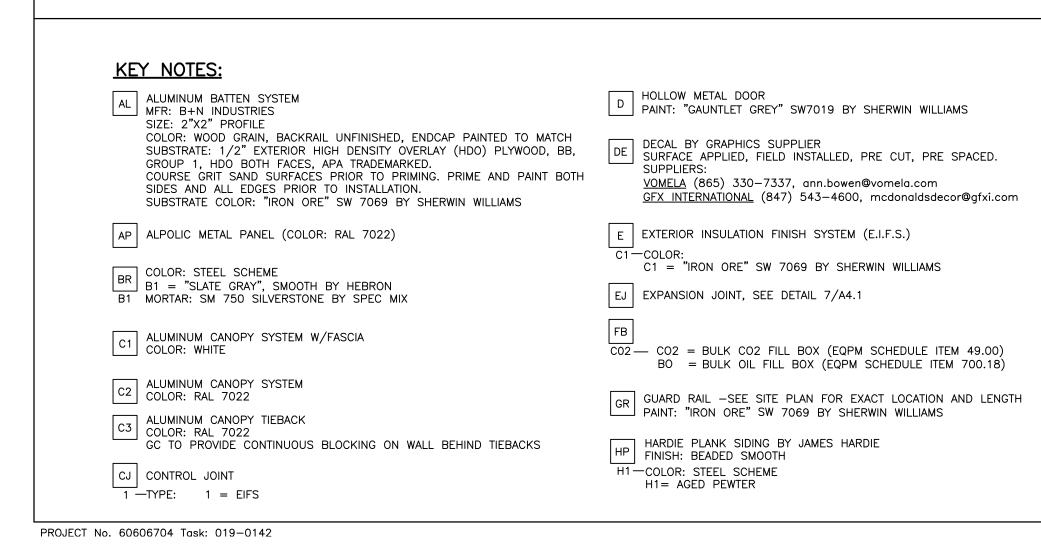


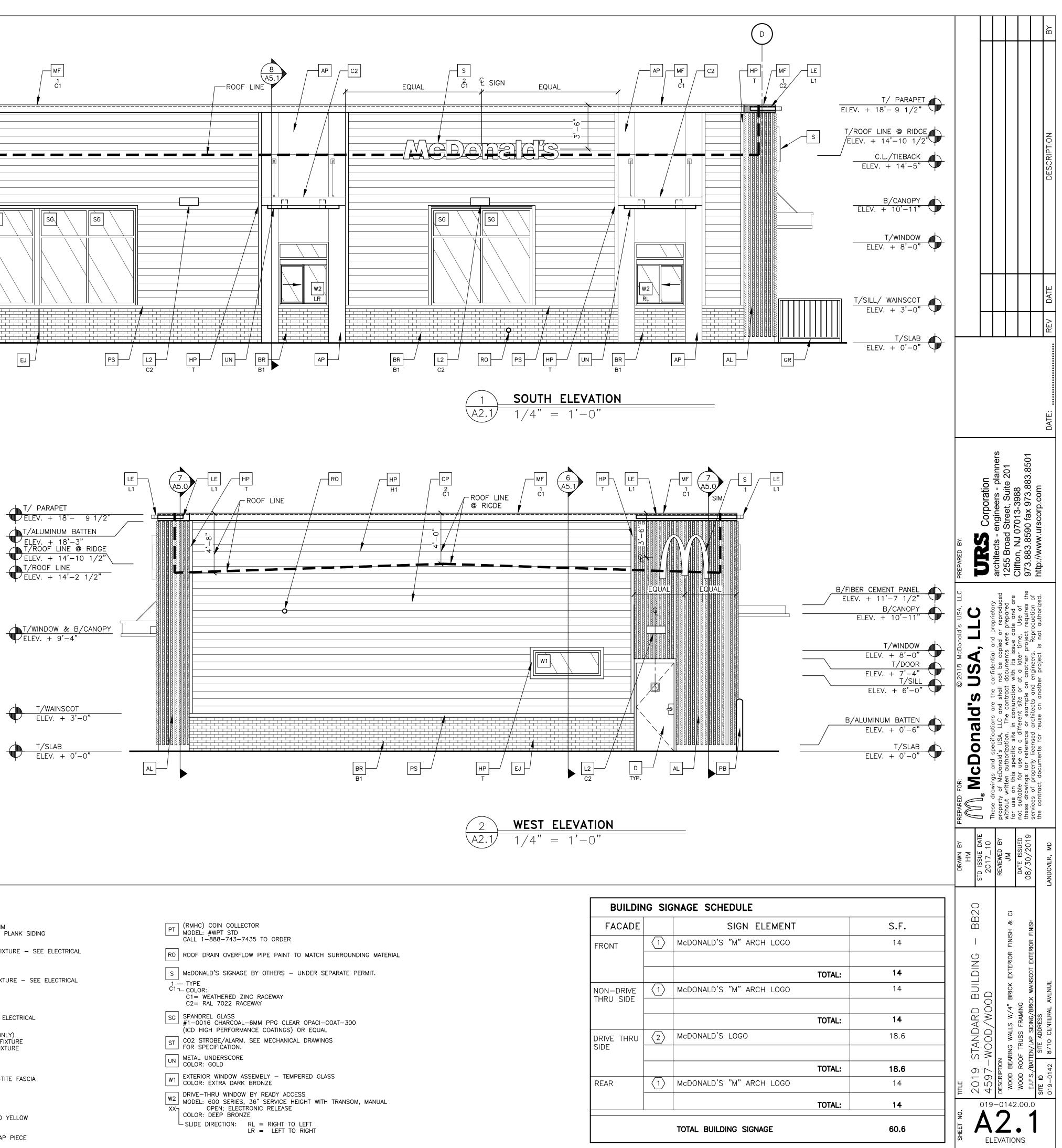
L-	150
SHEET	12 OF 1



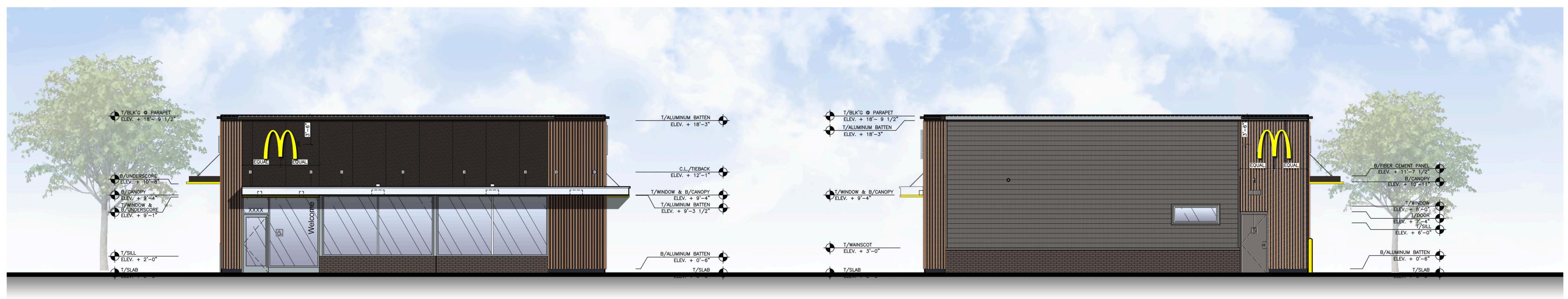
HP 3 1/2" HARDI BOARD TRIM COLOR TO MATCH HARDIE PLANK SIDING T	PT (RMHC) COIN COLLECTOR MODEL: #WPT STD CALL 1-888-743-7435 TO ORDER
L1 RECESSED DOWN LIGHT FIXTURE – SEE ELECTRICAL COLOR: GOLD	RO ROOF DRAIN OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL
L2 RADIAL SCONCE LIGHT FIXTURE – SEE ELECTRICAL C1— COLOR: C1= WHITE C2= PLATINUM SILVER	S McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT. 1 - TYPE C1- COLOR: C1= WEATHERED ZINC RACEWAY C2= RAL 7022 RACEWAY
LE ACCENT LIGHTING – SEE ELECTRICAL L1—LED LIGHT: L1 = SLIM LED (DOWN ONLY) L2 = INTEGRAL CANOPY FIXTURE L3 = UP ONLY FLOOD FIXTURE	SGSPANDREL GLASS #1-0016 CHARCOAL-6MM PPG CLEAR OPACI-COAT-300 (ICD HIGH PERFORMANCE COATINGS) OR EQUALSTCO2 STROBE/ALARM. SEE MECHANICAL DRAWINGS FOR SPECIFICATION.
MF METAL FASCIA	UN METAL UNDERSCORE COLOR: GOLD
$\begin{array}{l} 1 - \text{TYPE:} \\ C^{1} \\ 1 = \text{PRE}-\text{FAB} \text{ ANCHOR}-\text{TITE} \text{ FASCIA} \\ - \text{COLOR:} \end{array}$	W1 EXTERIOR WINDOW ASSEMBLY – TEMPERED GLASS COLOR: EXTRA DARK BRONZE
C1= CITYSCAPE C2= RAL 7022 PB PIPE BOLLARD – PAINTED YELLOW	W2 DRIVE-THRU WINDOW BY READY ACCESS MODEL: 600 SERIES, 36" SERVICE HEIGHT WITH TRANSOM, MANUAL XX OPEN; ELECTRONIC RELEASE COLOR: DEEP BRONZE SLIDE DIRECTION: RL = RIGHT TO LEFT LR = LEFT TO RIGHT
PS PRECAST WATER TABLE CAP PIECE	







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PB PIPE BOLLARD – PAINTED YELLOW	XX OPEN; ELECTRONIC RELEASE COLOR: DEEP BRONZE SLIDE DIRECTION: RL = RIGHT TO LEFT
PS PRECAST WATER TABLE CAP PIECE	LR = LEFT TO RIGHT



Front Elevation (EAST)



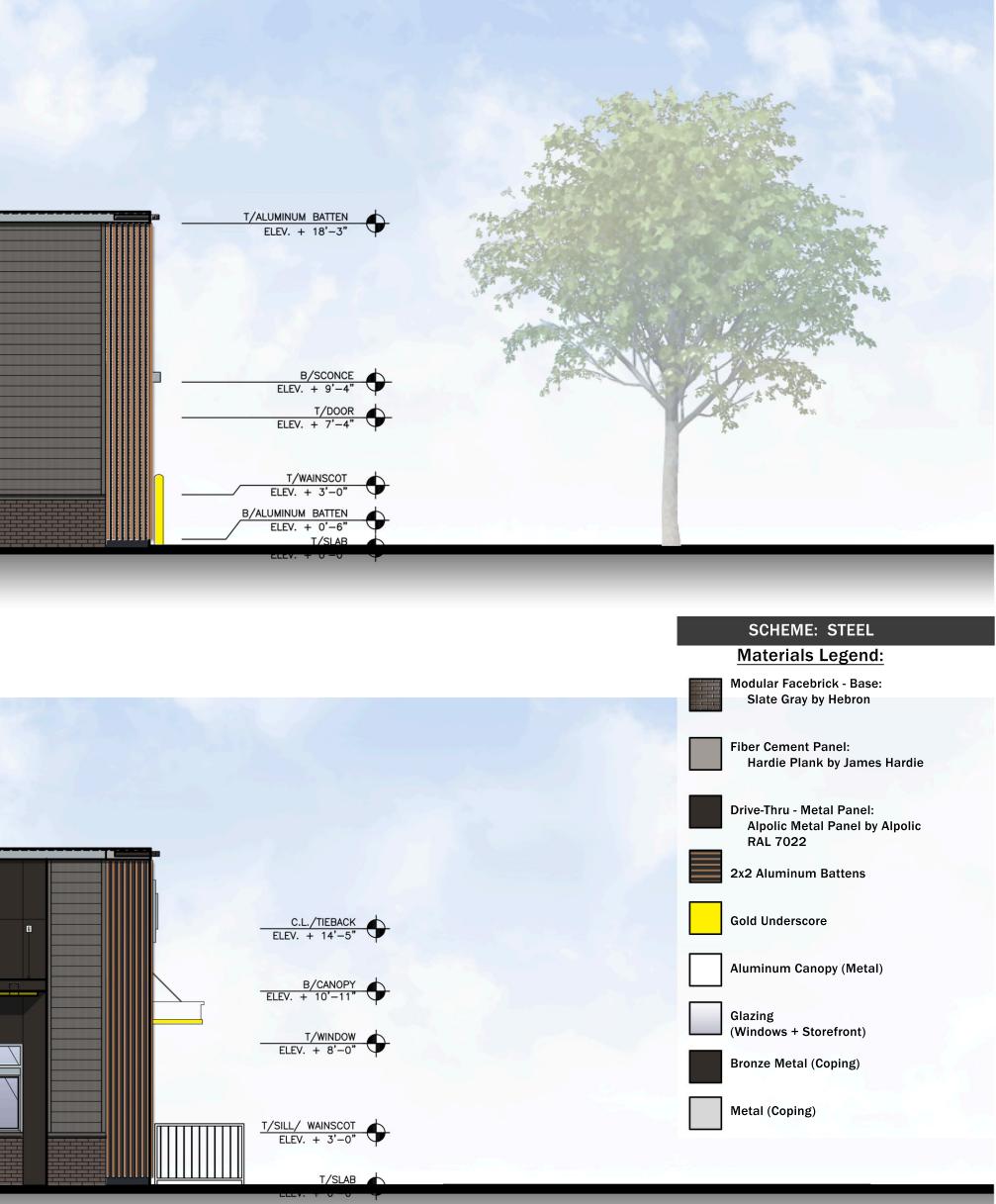




Non-Drive-Thru Side Elevation (NORTH)

Drive-Thru Side Elevation (SOUTH)

Rear Elevation (WEST)

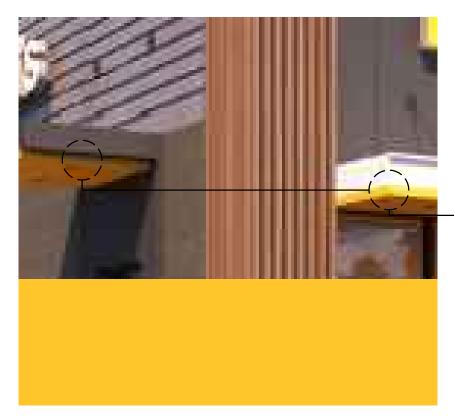


Proposed McDonald's Restaurant **Rendered Elevations** 019-0142 - 8710 Central Avenue, Landover, MD



EIFS - COLOR : RAL 7022 FINISH : HYDROPHOBIC // FINESSE

ALUMINUM TRELLIS AND FASCIA WITH GOLD UNDERSCORE COLOR : PMS 123C







BRICK VENEER -SLATE GRAY BY HEBRON





ALUMINUM COMPOSITE PANEL BY APOLIC. COLOR : RAL 7022







Non-Drive-Thru Side Elevation (NORTH)

Drive-Thru Side Elevation (SOUTH)



Proposed McDonald's Restaurant **Rendered Elevations** 019-0142 - 8710 Central Avenue, Landover, MD

STATEMENT OF JUSTIFICATION McDonald's Landover DSP-19060

APPLICANT:	McDonald's Corp 6301 Rockledge Drive, Suite 1100 Bethesda, MD 20817
CORRESONDENT:	Daniel F. Lynch, Esq. McNamee Hosea 6411 Ivy Lane, Suite 200 Greenbelt, Maryland 20770 (301) 441-2420 Voice (301) 982-9450 Fax <u>dlynch@mhlawyers.com</u>
REQUEST:	Detailed Site Plan in accordance with Sections 27-548.25 and 27- 285(b) the Zoning Ordinance and amendments to the District Development Standards in accordance with Section 27-548.26(b) of the Zoning Ordinance.

I. DESCRIPTION OF PROPERTY

- 1. Addresses -8710 Central Avenue, Hyattsville, Maryland 20785
- 2. Proposed and Use Eating and drinking establishment with drive-through service
- 3. Election District 113
- 4. Lots 11, 12, 13 and 14
- 5. Total Area 1.17 acres
- 6. Tax Map 67/C4
- 7. Location Located on the north side of Central Avenue at its intersection with Brightseat Road
- 8. Zoned M-U-I (with DDOZ overlay)
- 9. Owners McDonald's Corp

- 10. Zoning Map -210NE08
- 11. Incorporated Area None

II. NATURE OF REQUEST

The applicant is proposing to raze and rebuild the existing McDonald's restaurant with a new and modern restaurant. The applicant is proposing a 4,540 square foot store with 69 seats. There will be 48 parking spaces located to the north and west of the restaurant building. A dual ordering point drive-through is being provided. The applicant is also providing an outdoor dining area that have a pedestrian connection to the existing sidewalk located along Central Avenue. The applicant is also provide a decorative fence along its street frontage. The decorative columns associated with this fence will incorporate brick to match the brick used in the restaurant building.

The subject property is currently accessed via two right-in/right-out driveways on Central Avenue and one right-in/right-out access drive on Brightseat Road. As shown on the Detailed Site Plan, the applicant is proposing to maintain one access driveway on Central Avenue and one access driveway on Brightseat Road. One access driveway on Central will be closed.

II. PROCEDURAL HISTORY

The McDonald's restaurant was established as a permitted eating and drinking establishment in the C-O Zone. Subsequent to its establishment, the Zoning Ordinance was amended to define fast food restaurants and to further provide that fast food restaurants would not be permitted in the C-O Zone. The McDonald's restaurant use was certified as non-conforming in 1987. Special Exception SE-3805 was approved for the purpose of permitting an alteration of the nonconforming use on the property. As part of that approval, the applicant was permitted to add a drive-through cashier window, increase seating, add a vestibule and increase parking. SE-3805 was approved by the Zoning Hearing Examiner on December 21, 1987. On June 2, 1994, the Planning Board approved ROSP-3805 and VSE-3805 for the purpose of addressing the impact of the widening of Central Avenue on the required 10 foot setback and 4.2 landscape strip. As demonstrated on the existing conditions plan, the site has been developed in conformance with SE-3805 and the subsequent revision. The existing restaurant is contains 150 seats and is serviced by 69 parking spaces.

III. <u>CRITERIA FOR APPROVAL</u>

Section 27-285. Planning Board Procedures.

- (b) Required findings.
 - (1) The Planning Board may approve a Detailed Site Plan if it finds that the plan represents a reasonable alternative for satisfying the site design guidelines, without requiring unreasonable costs and without detracting substantially from the utility of the proposed development for its intended use;

COMMENT: The plan does represent a reasonable alternative for satisfying the site design guidelines. The site design guidelines are found in the Sector Plan, the intent of which is to regulate the design and character of the Central Avenue focal area. The intent of these standards and guidelines is to ensure the creation of vibrant urban neighborhoods with the focal areas.

IV. M-U-I/D-D-O ZONE REQUIREMENTS

In approving a detailed site plan in the DDOZ, Section 27-548.25(b) provides that the Planning Board shall find that the site plan meets applicable Development District Standards. In addition, Section 27-548(c) provides that if the applicant so requests, the Planning Board may apply development standards, which differ from the Development District Standards, most, recently approved or amended by the District Council, unless the Sectional Map Amendment text specifically provides otherwise. The Planning Board shall find that the alternate Development District Standards will benefit the development and the Development District and will not substantially impair implementation of the Master Plan, Master Plan Amendment, or Sector Plan.

The eating and drinking establishment with drive-through service was in operation on the subject property on March 2, 2010, the date of the adoption of the *Subregion 4 Master Plan and Sectional Map Amendment*, and the use is therefore a legal nonconforming use.

7. Nonconforming buildings, structures, and uses. Restoration or reconstruction of a nonconforming building or structure, or a certified non-conforming use, is exempt from the development district standards and from site plan review if it meets the requirements of Section 27-243(a)(1) of the Zoning Ordinance.

Except for improvements listed in "8. General", below, a property may not expand a certified nonconforming use or a use or a structure that was lawful on the date of the SMA approval but does not conform to the development district standards, unless a detailed site plan is approved with findings that the expansion is compatible with adjacent uses and meets the goals of the master plan.

"8" provides:

8. General. The following are exempt from the development district standards and site plan review if the existing or proposed use is permitted:

a. Permits for alternation or rehabilitation, with no increase of the existing gross floor area b. Canopies

c. Fences of six feet in height or less for rear and side yards and made of wood or masonry (not concrete block) are exempt

d. Decks e. Ordinary maintenance

f. Changes in occupancy

g. Changes in ownership

The proposed redevelopment as outlined in Section II above exceeds the improvements set forth in "8" and therefore detailed site plan approval is required. In addition, once the structure is removed

from the subject property and the use ceases to operate, the applicant will have 180 days to complete construction and reoccupy the property before the nonconforming use status is relinquished under Section 27-241 of the Zoning Ordinance.

As noted above, in approving a detailed site plan in the DDOZ, Section 27-548.25(b) provides that the Planning Board shall find that the site plan meets applicable Development District Standards. In addition, Section 27-548(c) provides that if the applicant so requests, the Planning Board may apply development standards, which differ from the Development District Standards

Sheets 310 and 311 of the Detailed Site Plan contain a compliance chart relative to the District Development Standards. The applicant complies with those standards (See full analysis attached hereto as Exhibit A) except as noted below:

General Site Standards and Guidelines

Build-to line—The build-to line is the line to which buildings are required to be built on a lot (no setback is permitted from it, except as noted in the guidelines). Consequently, multifamily, mixed-use, and nonresidential buildings, located within the DDOZ areas, must be located along a continuous street wall defined by the build-to line (see the residential, commercial, and industrial sections of the Building Envelope Standards for specific standards)

COMMENT: The build-to line along Central Avenue is 18 feet from the back of curb. The proposed restaurant building is set back 28 feet from the back of curb. The applicant requests an amendment to the build-to line development standard.

Mixed-Use, Commercial and Institutional Types

A. Building Heights

Principal Building – 4 stories Accessory Buildings – 2 stories Ground Floor – 14 feet Upper Floors – 8 feet

- B. Lot Dimensions Lot Width; 30 feet
- C. Lot Occupancy Building Lot Coverage; 75% Max.
- D. Build-to line and Setbacks

Central Avenue - 18 feet from back of curb. Brightseat Road - 18 feet from back of curb.

E. Encroachments

Awnings and Canopies; 4 ft depth min. Bay Window; 3 ft. max. Balcony; 3 ft.

Other Architectural Elements; Permitted

COMMENT: The build-to line for commercial uses is 18 feet and the maximum setback in 10 feet. The proposed McDonald's building is set back 28 feet from back of curb and centrally located within the site due to drive-thru width and bypass lane. The applicant explored a number of options to the site layout, but due to the layout of the proposed building as well as McDonald's standards relative to internal traffic flow and drive-through queuing, it is unable meet the build-to line requirement. For example, the applicant did explore locating the drive-through on the interior side of the building, but layout would require passenger side pick up at the drive through window. In addition, if the building is rotated with the front facing Central Avenue, the applicant would be prevented from providing 360 degree vehicular circulation and would also be prevented from providing an adequate queening area for the drive-through. It is necessary to the operation of the drive-through component that a bypass lane be provided adjacent to the drive-through lane. This bypass lane not only allows for the free flow of vehicles in a one-way direction around the site, but also allows vehicles to exit the drive-through lane. As an alternative, the applicant is proposing an outdoor dining area along the east side of the building. The applicant is also proposing a pedestrian connection between that eating area and the sidewalk along Central Avenue. The applicant believes that this outdoor eating area and pedestrian connection will create an attractive, lively and inviting pedestrian friendly environment. The applicant believes that this alternative to the District Development Standards will be a benefit to this development since it will address underlying limitation of the drive-through use and provide for a safe circulation pattern throughout the site. The applicant also contends that the outdoor eating area and pedestrian connection implement the District Development Plan's intent by creating a public space on the property and also creating a more pedestrian friendly environment than exists today and therefore in compliance with the overall intent of this standard.

The applicant is proposing a 1 story building that is 18.79 feet in height. The building occupies less than 75% of the property and the lot is $285\pm$ feet in width. The applicant is not proposing any encroachments into the build-to line area. That being said, with the exception of the build-to line standard, the Detailed Site Plan complies with the standards cite above.

As to the frontage occupancy of 80%, the proposed building occupies 34% of the property frontage on Central Avenue and the applicant is requesting an amendment to this standard. The subject property is very wide for a single retail use and compliance with this standard for a single retail use is not feasible. In order to create a larger presence along the street frontage, the applicant is proposing a fence and decorative posts along its frontage. The applicant believes that this fence will create a decorative street wall and will improve the overall aesthetics of this site and make the street frontage along Central Avenue more pedestrian friendly.

Street Type Standards

Typical Primary Mixed Use Street (Central Avenue)

Sidewalk

1. Six foot tree pit area

- 2. Four to six foot clear walkway
- 3. Eight foot door yard

Street

- 1. 4 travel lanes at 11 feet each
- 2. 2 bicycle lanes at 4 feet each
- 3. 2 parking lanes at 8 feet each
- 4. Minimum 12 ft. median (if used)

Typical Primary Mixed Use Street (Brightseat Road)

Sidewalk

- 1. Six foot tree pit area
- 2. Four to six foot clear walkway
- 3. Eight foot door yard

Street

- 1. 4 travel lanes at 11 feet each
- 2. 2 bicycle lanes at 4 feet each
- 3. 2 parking lanes at 8 feet each

COMMENT: The 6-foot wide tree boxes along both Central Avenue and Brightseat Road are not viable given that there are underground telecommunication utilities located 4.5 feet from the curb in these areas. In addition, there are overhead wires located 6 to 7 feet from the curb. These existing conditions inhibit the applicant's ability to comply with this standard and therefore the applicant is requesting an amendment to allow the existing conditions (5 foot sidewalk and 5 foot grass strip) to remain in place. The applicant is proposing to add a 10 foot landscape strip between the grass strip and proposed drive aisle so as to screen the proposed drive-through from the street. The applicant is also proposing to construct a decorative fence in the landscape strip. As noted above, the applicant is also proposing to install a decorative fence within that landscape strip area to create a street wall. The applicant believes that the streetscape proposed for this property will not only create a pedestrian friendly environment but will be an attractive addition to this area of Central Avenue.

As for the street standards, the applicant is only required to provide road frontage improvements, which do not include the construction of a full street section and median. The Prince George's County Department of Permitting Inspections and Enforcement and the State Highway Administration have informed applicant that bicycles lanes will not be permitted on Brightseat Road and Central Avenue.

Architectural Standards and Guidelines

A. General Architectural Framework

2. Buildings shall be sited to reinforce the build-to line and define the street wall. Buildings shall shift in massing and have variations in height, profile, and roof form, while maintaining the formal relationship of building placement to the public street frontage.

COMMENT: Again, the applicant is requesting an amendment to this standard since it requires an 18-foot build-to line. The applicant has located the building as close to Central Avenue as feasible given the nature of the use and the applicant's design requirements. The applicant is proposing a fence along its frontage to help create the street wall and is also proposing an outdoor eating area with a pedestrian connections to the sidewalks along Central Avenue and Brightseat Road. Not only will this combination create visual interest at this corner but will help activate a pedestrian friendly environment by creating a pedestrian gathering place at this very busy intersection along Central Avenue.

D. Fenestration

3. Fenestration shall comprise a minimum of 60% of ground story facades of mixeduse, commercial, and institutional building types and a minimum of 30% on the upper stories of these building types.

COMMENT: 33% of the north elevation (facing Brightseat Road), 14% of the east elevation, 1.2% of the south elevation and 3.2% of the west elevation (facing Central Avenue) contain windows. The applicant is therefore requesting an amendment to this standard. The areas of the building that contain windows are the public areas while these areas that don't contain windows are occupied by coolers, storage and equipment and therefore are not conducive to windows. The applicant is proposing to install spandrel glass in these areas in order to give the appearance of windows and therefore comply with the intent of the standard.

Landscape Standards

B. Street Trees

1. Street trees, which must be of a drought-resistant native species, shall be planted on average a minimum of 35 ft. on center along planting strips or in tree grates of street rights-of-way (Please refer to the *Prince George's County Landscape Manual* for acceptable street tree species). Where necessary, spacing allowances may be made to accommodate curb cuts, fire hydrants, and other infrastructure elements. However, at no location may the spacing exceed 35 ft. on center.

COMMENT The applicant's ability to comply with the installation of street trees that are spaced less than 35 feet on center is not possible given that there are above ground and underground utilities located along the Central Avenue frontage of the property. The applicant is therefore requesting an amendment to this standard.

Parking and Loading Standards

A. General

4. Buildings must meet the frontage occupancy requirements for the perimeter of a block when considering the parking requirements.

COMMENT: The applicant is requesting an amendment to the frontage occupancy requirements, but the parking located to the north of the building and closest to Central Avenue will be screened by the fence and landscape treatment the applicant is proposing along the Central Avenue frontage of the property and therefore will help enhance the pedestrian friendly environment the applicant is creating along this portion of Central Avenue.

C. Loading and Service Areas

1. All loading and service areas must be located in the interior of a block behind buildings.

COMMENT: The loading area is not located behind the building. The applicant explore every possible alternative, but was restricted in locating the loading area behind the building pursuant to Section 27-579(b) which provides:

(b)

No portion of an exterior loading space, and no vehicular entrances to any loading space (including driveways and doorways), shall be located within fifty (50) feet of any Residential Zone (or land proposed to be used for residential purposes on an approved Basic Plan for a Comprehensive Design Zone, approved Official Plan for an R-P-C Zone, or any approved Conceptual or Detailed Site Plan).

The subject property adjoins residential property along its entire northern property line and this limited the applicant's ability to located the loading space and access driveway to any area behind the proposed building. The applicant has located the loading space to an area that complies with Section 27-579(b) and also complies with the screening requirements set forth in 4.4 of the Landscape Manual. Thea applicant is therefore requesting an amendment to this standard.

Overall, the applicant believes that the Detailed Site Plan and the amendments to the District Development Standard requested herein comply with the Policy and Goals of the Subregion 4 Sector Plan. The subject property is located is located in Opportunity Site 3 and the goals and policies of that opportunity site are as follows:

Goals

■ Determine the best mix of land uses, densities, and development/design features needed to create a unique sense of place for the established communities of Zone 1 and Subregion 4.

■ Develop a hierarchy of commercial-serving areas that balance the needs of residents, transit riders, and regional traffic.

■ Reinforce the sustainability of existing communities by promoting commercial mixed-use development and public realm improvements that enhance the quality of life for residents and people in the immediate surrounding area.

■ Establish a higher design standard for commercial development and a wider variety and higher-quality businesses throughout the area.

■ Attract higher quality, desirable uses to the area that meet current community needs or provide new opportunities for the area.

■ Reinforce and strengthen connectivity between living and commercial areas and centers.

Provide the necessary infrastructure to enhance the pedestrian environment.

Policies

1 Develop a new character and image for Central Avenue that is inviting to pedestrians

■ Provide infill and redevelopment opportunities on Central Avenue that create a coherent street image.

■ Create development standards that promote new urbanist principles and encourage new infill to occur closer to and consistently along the build-to line.

■ Provide for streetscape improvements that promote a pedestrian-friendly environment.

2 Improve pedestrian circulation and create an appealing streetscape character

• Design and install cohesive and visually interesting sidewalk paving patterns and include site furnishings, lighting, and plantings that invite pedestrians.

- Develop and promote "green street" design standards.
- Establish and enforce higher maintenance standards.
- Create and enforce unified sign design standards for existing and new businesses.

The redevelopment of the McDonald's restaurant on the subject property is consistent with the Goals and Policies of the District Development Plan. The applicant is proposing to improve the pedestrian system along its Central Avenue and Brightseat Road frontages by providing additional trees in the tree pit area and by providing a 10' landscape strip and decorative fencing between the sidewalk and its internal drive aisle. In addition, the applicant is proposing an outdoor eating area and a pedestrian connection from Central Avenue in order to activate the corner of Central and Brightseat Road. In addition, the revised layout proposes the closure of one access driveway onto Central Avenue which will not only reduce the opportunity for pedestrian and vehicular conflicts but from an aesthetic standpoint, allow for additional improvements to the streetscape.

27-546.19 (c) Site Plans for Mixed Uses.

In addition to the specific District Development Standards, a Detailed Site Plan may not be approved unless the owner shows:

(1) The site plan meets all approval requirements in Part 3, Division 9;

COMMENT: As noted above, this Detailed Site Plan complies with the approval requirements set forth in Part 3, Division 9.

(2) All proposed uses meet applicable development standards approved with the Master Plan, Sector Plan, Transit District Development Plan, or other applicable plan;

COMMENT: The applicant is requesting amendments to the District Development Standards in conformance with Section 27-548(c) of the Zoning Ordinance.

(3) Proposed uses on the property will be compatible with one another;

COMMENT: The applicant is not proposing a mix of uses on the property and therefore this criterion is not applicable.

(4) Proposed uses will be compatible with existing or approved future development on adjacent properties and an applicable Transit or Development District; and

COMMENT: The subject property adjoins single-family residential to the north and an office use to west. The McDonald's restaurant has been operated from the property for approximately 40 years without any apparent impact on the surrounding uses. The applicant is proposing to bring the site into compliance with not only current retail standards, but also into compliance with local, state and federal regulations that were not in place at the time this restaurant was first established, such as stormwater management. Although the applicant is increasing the square footage of the building, the increase is only 178 square feet and will have little or no impact on the single-family homes on the adjoining properties. On the other hand, the applicant is proposing to reduce the number of access driveways on Central Avenue, improve the overall flow of the drive-through component, increase the amount of landscaping located along the northern property line (where it adjoins the residential uses) and provide a decorative streetscape that will improve the overall appearance of the property. The applicant therefore contends that the development as proposed in this detailed site plan will be compatible with the existing and future development in the DDOZ.

- (5) Compatibility standards and practices set forth below will be followed, or the owner shows why they should not be applied:
 - (A) Proposed buildings should be compatible in size, height, and massing to buildings on adjacent properties;

COMMENT: The applicant is proposing a one story, 4,540 square foot building, 178 square feet larger than the existing building on the property. This building is located 80 feet from the northern property line that adjoins the single-family residential dwellings and 28 feet from the property line on Central Avenue. The office building to the west is located approximately 64 feet from the northern property line and 26 feet from the southern property line on Central

Avenue. The proposed layout of the McDonald's restaurant building is similar to that which occurs on the property to the west and given the fact that the building will be located, _____ feet further away from the residential properties, it should be more compatible that the existing conditions.

(B) Primary facades and entries should face adjacent streets or public walkways and be connected by on-site walkways, so pedestrians may avoid crossing parking lots and driveways;

COMMENT: The front entrance to the building faces Brightseat Road. The applicant is proposing a seating area that will be located between the front entrance and Brightseat Road. In addition, the applicant is proposing a pedestrian connection leading from this seating area to Central Avenue. The crossing area will be constructed of decorative pavers that will visually help direct pedestrian traffic.

(C) Site design should minimize glare, light, and other visual intrusions into and impacts on yards, open areas, and building facades on adjacent properties;

COMMENT: The applicant is enhancing the landscape buffer located along the northern property line where it adjoins the single-family residential homes. The buffer will also contain a 6-foot high fence that will provide additional screening of this retail commercial. Vehicles entering and located in the drive-through queuing area will be facing south and east away from the single-family residential homes. In other words, the vehicle headlights will be directed away from the residential structures. The applicant is also proposing to install lighting in the parking area that is designed to address the lighting needs of the operation and provide for a safe environment for its customers while not spilling off site onto the adjoining properties.

(D) Building materials and color should be similar to materials and color on adjacent properties and in the surrounding neighborhoods, or building design should incorporate scaling, architectural detailing, or similar techniques to enhance compatibility;

COMMENT: The surrounding area is development with eclectic styles of buildings, materials and colors. There is no specific architectural trend or building material that seems to have been established in the community. The applicant is proposing a McDonald's restaurant building that is a standard example of one of the franchise's newer architectural models and has a contemporary appearance. The design is of a one-story, hardie plank and brick veneer building with a flat roof. The building is finished predominantly with hardie plank. Brick veneer is proposed mostly in the water table along the base of the building. Decorative aluminum battans are located in each corner of the building The dining room and main entrance areas oriented towards the intersection of Landover Road and Brightseat Road. Metal canopies are proposed above the dining room windows.

(E) Outdoor storage areas and mechanical equipment should be located and screened to minimize visibility from adjacent properties and public streets;

COMMENT: The applicant is not proposing outdoor storage areas and the mechanical equipment will be located on the roof of the proposed building and screened by the parapet.

(F) Signs should conform to applicable Development District Standards or to those in Part 12, unless the owner shows that its proposed signage program meets goals and objectives in applicable plans; and

COMMENT: The TDDP provides:

Guidelines Intent Appropriately sized and placed signage shall enhance and contribute to the architectural character of buildings within the DDOZ.

A. General

1. Building signs shall be constructed of quality materials. Only essential information, such as the name, business type, company logo, street address, phone number, and hours of operation of the business or retail establishment may be displayed on the front of the building.

2. The placement of signs shall be integrated into the overall architectural design of the building. The materials, color, style, and size of a sign shall be coordinated with the architectural features of the building.

The applicant is proposing to maintain the existing freestanding sign located at the corner of Landover Road and Brighseat Road. In addition, the applicant is proposing 60.6 square feet of building mounted signage which consists of 3 "Golden Arch" logos (14 square feet in size) and one "McDonald's" logo (18.6 square feet in size). The applicant believes this signage is appropriate in size and compliments the building architecture rather.

- (G) The owner or operator should minimize adverse impacts on adjacent properties and the surrounding neighborhood by appropriate setting of:
 - (i) Hours of operation or deliveries;
 - (ii) Location of activities with potential adverse impacts;
 - (iii) Location and use of trash receptacles;
 - (iv) Location of loading and delivery spaces;
 - (v) Light intensity and hours of illumination; and
 - (vi) Location and use of outdoor vending machines.

COMMENT: The applicant has designed the site to minimize adverse impacts while addressing this retail operation. As indicated above, the drive-through component of the use is designed to minimize the impact on the adjoining residential community. In addition, it has been designed to provide a queuing area that is sufficient in size so that it does not affect the access driveways to the property. The loading area will be located more than 50 'from the residential properties and the trash corral is located adjacent to the commercial office use as opposed to the residential properties. Overall, the applicant has designed this site to address its needs while at the same time minimizing the impact on the surrounding community.

IV. CONCLUSION

The applicant, McDonald's Corp, is seeking approval of this Detailed Site Plan to allow it to reconstruct McDonald's restaurant on the abovementioned property. As part of this application, the McDonald's is requesting amendments to the District Development Standards contained in the Subregion 4 District Development Plan. The applicant believes that this Detailed Site Plan and amendments meet the standards of the approved District Development Plan for Subregion 4 and therefore the applicant respectfully requests approval of DSP-19060.

Respectfully submitted,

MCNAMEE HOSEA

miel F. Lynch

GENERAL NOTES

1. Bearings shown hereon are based upon the bearings shown on the Plat of "Blocks 6, 7, & 8, Randolph Village" recorded in Plat Book BB 7 at Plat 49 of the land records of Prince George's County, MD.

2. The underground utilities shown on this survey have been located from field survey information, markings provided by the utility companies and existing drawings obtained from utility companies. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated, although he does certify that they are located as accurately as possible from available information

3. There was no observed evidence of current earth moving work, wilding construction or building additions.

4. The surveyor knows of no known recent or proposed changes in street right-of-way lines, street or sidewalk construction or repairs.

5. There is no observed evidence of this site being used as a solid waste dump, sump, or sanitary landfill.

6. There are no delineated wetland areas located on the subject premises.

7. Iron pins with cap set are 5/8"ø rebar, 30" in length with a yellow plastic I.D. cap that bears the inscription "MDM 724-934-2810".

8. Contour Interval = 1'. Elevations shown hereon are based upon GPS observations taken on 8/13/18 and are to the National Geodetic Vertical Datum of 1929 (NVGD 29).

9. The horizontal datum used for this survey is the Maryland State Plan Coordinate System (NAD83).

10. The southerly property line of the premises shown hereon is the northerly right-of-way line of Central Avenue. Its location is based upon a plat entitled "Revision to Special Exception Site Plan" prepared for McDonald's Corporation and dated June 21, 1994 and also shown on Maryland State Highway Administration Plat No. 50075.

11. The location of the water and sanitary laterals to the existing McDonald's Restaurant are not known at this time. No plans showing the locations of the laterals were provided and they were not marked in the field.

UTILITY SERVICE INFORMATION

<u>Water Service</u> WSSC 14501 Sweitzer Lane Laurel, Maryland 20707 (301) 206–8883 Tom Gingrich

<u>Sanitary Sewer</u> 14501 Sweitzer Lane Laurel, Maryland 20707 (301) 206–8883 Tom Gingrich

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Telephone/Cable Service Verizon (888) 804–0875 www.Verizon.com

ZONING INFORMATION

Zoning District – M–U–I (Mixed Use–Infill) Also within the Development District Overlay (D-D-O)An eating and drinking establishment w/drive through is a permitted use within these zoning districts Minimum Lot Area – 6,500 sq. ft.

Minimum Lot Width - 85 ft. (Corner Lot-100 ft.) Minimum Front Yard Setback – 30 ft. Minimum Side Yard Setback - 30 ft. total both sides/10' min. one side Minimum Rear Yard Setback – 30 ft. Maximum Building Height – 40' Maximum Lot Coverage - 60%

> Parking Formula – 1 space per every 3 seats plus 1 space per each 50 sq. ft. GFA

Zoning information was obtained from.

Planning Information Center The Maryland National Capital Park & Planning Commission Prince George's County Planning Dept. 14741 Governor Oden Bowie Drive Upper Marlboro, MD 20772 (301) 952–3215

<u>Zoning Notes:</u>

1) A subdivision or replat is not necessary in order to convey this property.

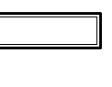
2) There are 71 striped parking spaces located at this site, 53 of which are regular parking spaces, 2 of which are designated as drive-thru waiting spaces, 2 of which are designated as mobile order spaces and 4 of which are accessible spaces.

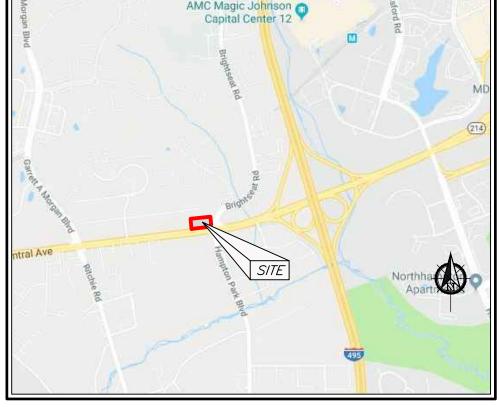
FLOOD ZONE NOTE

By graphic plotting only this site is located in Zone X of the Flood Insurance Rate Map 24033C0165E, Community No. 245208, Panel 0165, Suffix E, bearing an effective date of 09-16-2016 and is not in a special flood hazard area.

STATEMENT OF ENCROACHMENTS

A The existing McDonald's Restaurant violates the 30' front yard _____ zoning setback line by 14.8' as shown.





SITE LOCATION MAP NOT TO SCALE

LEGAL DESCRIPTION

PARCEL ONE: All that lot of ground situate in Prince George's County, State of Maryland, and described as follows, that is to say:

Part of Lot numbered Eleven (11) in Block numbered Seven (7) in the subdivision known as "RANDOLPH VILLAGE" as per plat thereof recorded among the Land Records of Prince George's County Maryland in Plat Book BB 7 at Plat 49.

Beginning at an iron pipe found on the west side of Hooper Street, 60 feet wide, as shown on the said plat of Randolph Village, said point being at the dividing line of lots 10 and 11 Block 7; thence along the said side of Hooper Street

(1) South 01 degrees 47 minutes 00 seconds East a distance of 135.00 feet to a point of curve; thence

(2) by the arc of a circle curving to the right having a radius of 40.00 feet an arc distance of 35.48 feet to a point; thence by a line through said lot No. 11 Bock 7.

(3) South 88 degrees 14 minutes 08 seconds West a distance of 65.27 feet to a point on the dividing line of lots 11 and 12 Block 7; thence along said line,

(4) North 01 degrees 47 minutes 00 seconds West a distance of 165.99 feet to a point on the aforesaid dividing line of lots 10 and 11 Block 7; thence along said line, (5) North 88 degrees 13 minutes 00 seconds East a distance of

80.00 feet to the point of beginning.

Containing 13,141 square feet or 0.3017 of an acre of land more or less according to a survey made by Bazis, Carlin & Associates dated June 16, 1977.

PARCEL TWO: All that lot of ground situate in Prince George's County, State of Maryland, and described as follows, that is to say:

Part of Lot numbered Twelve (12) and all of Lot numbered Thirteen (13) in Block numbered Seven (7) in the subdivision known as 'RANDOLPH VILLAGE" as per plat of said subdivision recorded in Plat Book BB 7 at Plat 49, among the Land Records of Prince George's County, Maryland.

Beginning at a point on the north side of Central Avenue as shown on the said plat of Randolph Village, said point being at the dividing line of lots 13 and 14 Block 7, thence along said dividing line (1) North 01 dearees 47 minutes 00 seconds West a distance of 175.00 feet to a point; thence along said line along the dividing line of lots 8 and 9 form lots 12 and 13 Block 7,

(2) North 88 degrees 13 minutes 00 seconds East a distance of 160.00 feet to a point on the dividing line of lots 11 and 12 Block 7; thence along said line

LEGAL DESCRIPTION

(3) South 01 degrees 47 minutes 00 seconds West a distance of 165.99 feet to a point; thence through lot 12 Block 7 the following two courses and distances: (4) South 88 degrees 14 minutes 08 seconds West a distance of

45.18 feet to a point; thence (5) South 01 degree 47 minutes 00 seconds East a distance of 9.03 feet to a point on the aforesaid north side of Central Avenue; thence along the said side of Central Avenue

(6) South 88 degrees 13 minutes 00 seconds West a distance of 114.82 feet to the point of beginning.

Containing 27,592 square feet or 0.6334 of an acre of land more or less, according to a survey made by

Bazis, Carlin & Associates, Inc., dated June 16, 1977.

PARCEL THREE:

All that lot of ground situate in Prince George's County, State of Maryland, and described as follows, that is to say:

Being all of Lot 14 Block 7 in the subdivision of Randolph Village per plat recorded in the Land Records of Prince George's County, Marvland in Plat Book BB 7 plat 49.

Containing 14,000 square feet or 0.3214 of an acre of land more or

BEING THE SAME as the following described real estate based upon an actual field survey conducted under the direct supervision of Howard G. McIlvried, Licensed Maryland Land Surveyor No. 21131, on August 13, 2018.

ALL THAT CERTAIN parcel or tract of land situate in the County of Prince George's and State of Maryland, being known as part of Lots 11, 12, 13 & 14 of the Plat of "Blocks 6, 7 & 8, Randolph Village", recorded among the land records of Prince Georae's County. MD in Plat Book BB 7 at Plat 49 and being more particularly bounded and described as follows:

BEGINNING at an iron pin with cap set on the northerly right-of-way line of Central Avenue (a.k.a. Maryland State Route 214, variable right-of-way width) at the dividing line between Lots 14 & 15 of the aforesaid Plat of Blocks 6, 7 & 8 of Randolph Village;

THENCE following said dividing line, N 01'47'00" W, a distance of 166.16 feet to an iron pin with cap set at a common corner with Lots 6, 7, 14 & 15 of the Plat of Blocks 6, 7 & 8 of Randolph Village;

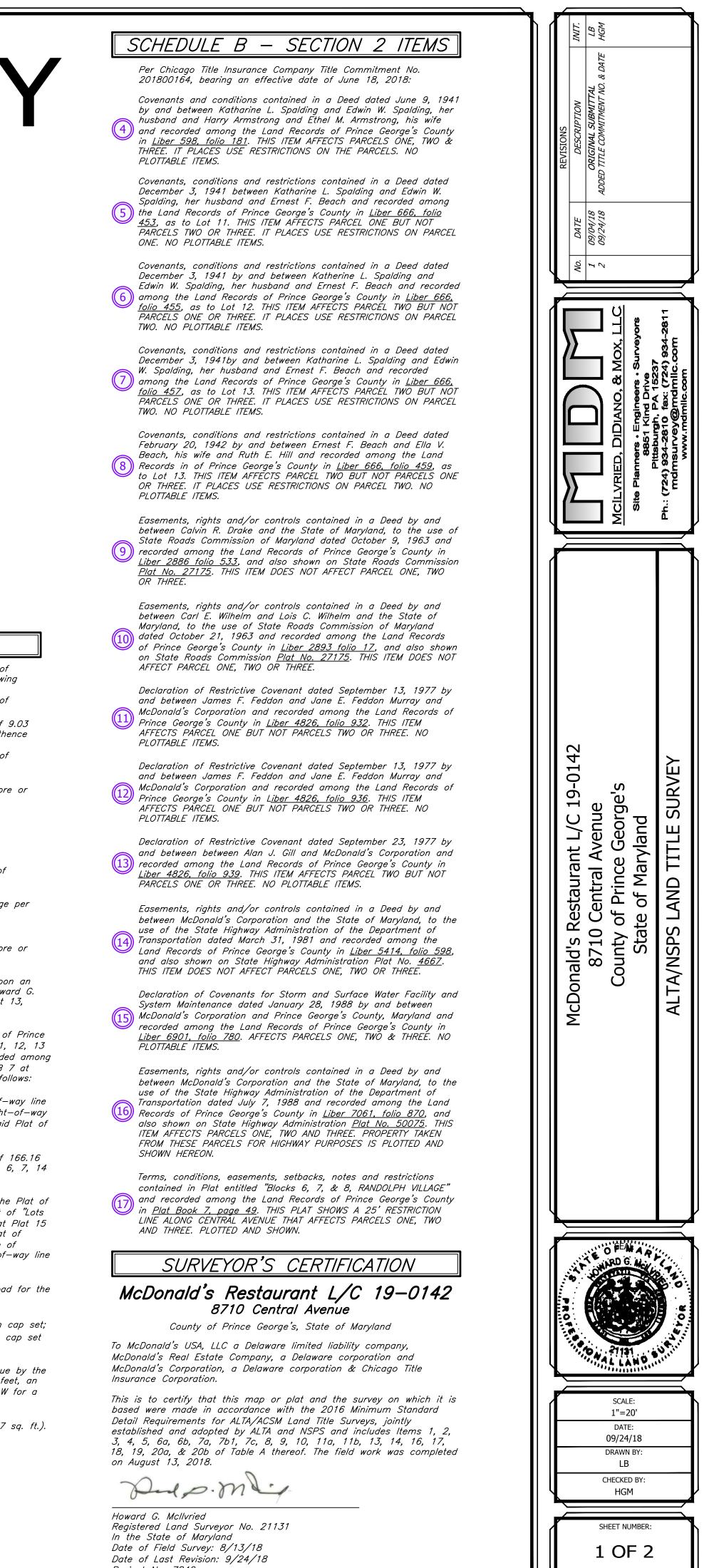
THENCE following on a line bounded on the north by Lot 7 of the Plat of Block 6, 7 & 8 Randolph Village and Lots 11 & 10 of the Plat of "Lots" 1–14, Block 'A', Manor Farm", recorded in Plat Book NLP 113 at Plat 15 and bounded on the south by Lots 14, 13, 12 & 11 of the Plat of Blocks 6, 7 & 8 of Randolph Village, N 88°13'00" E, a distance of 320.00 feet to an iron pin with cap set on the westerly right-of-way line of Brightseat Road (100' right-of-way width);

THENCE following the westerly right-of-way line of Brightseat Road for the following two (2) courses and distances:

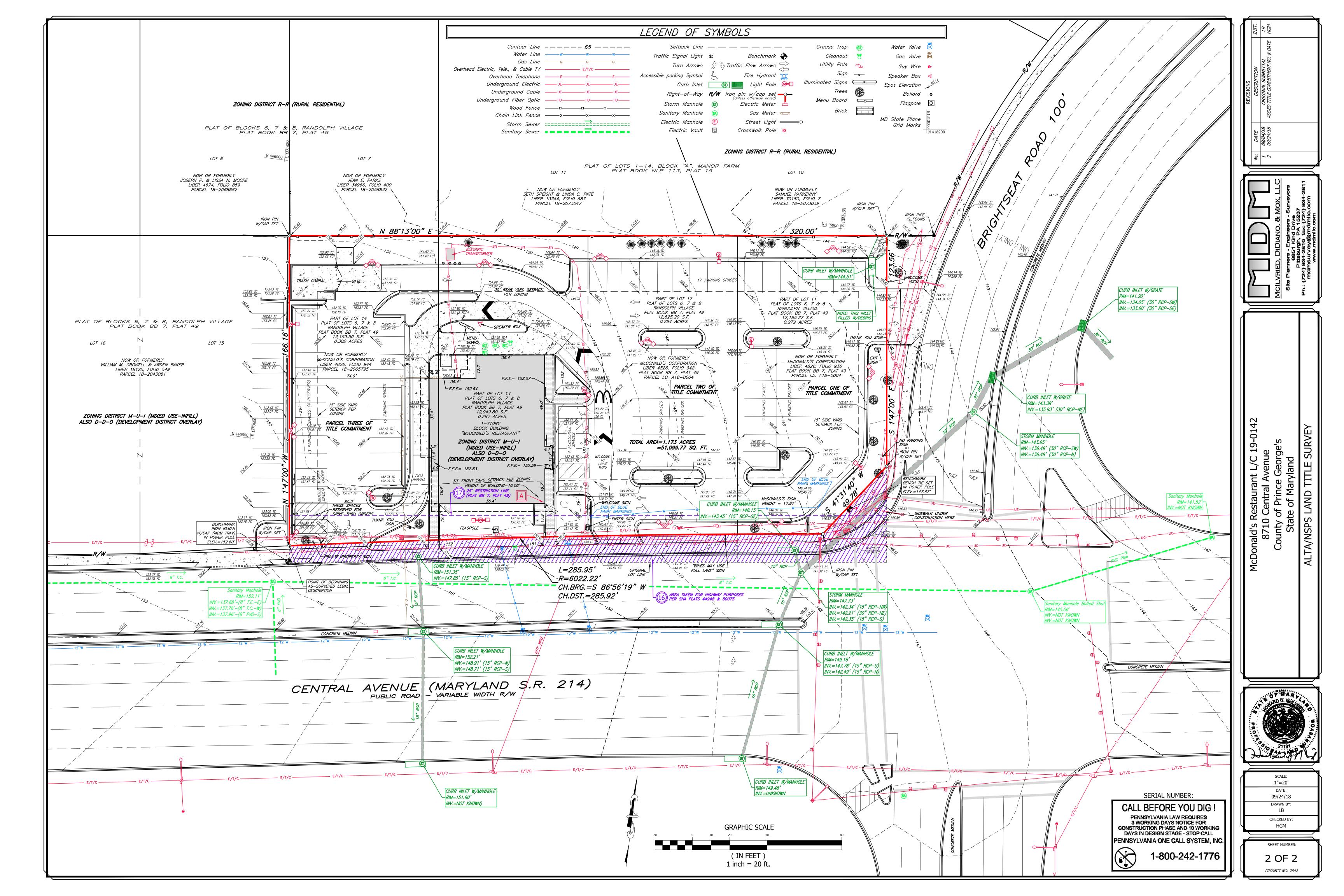
1) S 01°47'00" E, a distance of 123.56 feet to an iron pin with cap set; 2) S 41°31'40" W, a distance of 49.78 feet to an iron pin with cap set on the northerly right-of-way line of Central Avenue;

THENCE following the northerly right-of-way line of Central Avenue by the arc of a circle curving to the left having a radius of 6,022.22 feet, an arc length of 285.95 feet and a chord that bears S 86°56'19" W for a distance of 285.92 feet to the POINT OF BEGINNING.

CONTAINING within said bounds a total of 1.173 Acres (51,099.77 sq. ft.).



PROJECT NO. 7842



GENERAL NOTES

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3. There was no observed evidence of current earth moving work, wilding construction or building additions.

4. The surveyor knows of no known recent or proposed changes in street right-of-way lines, street or sidewalk construction or repairs.

5. There is no observed evidence of this site being used as a solid waste dump, sump, or sanitary landfill.

6. There are no delineated wetland areas located on the subject premises.

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9. The horizontal datum used for this survey is the Maryland State Plan Coordinate System (NAD83).

10. The southerly property line of the premises shown hereon is the northerly right-of-way line of Central Avenue. Its location is based upon a plat entitled "Revision to Special Exception Site Plan" prepared for McDonald's Corporation and dated June 21, 1994 and also shown on Maryland State Highway Administration Plat No. 50075.

11. The location of the water and sanitary laterals to the existing McDonald's Restaurant are not known at this time. No plans showing the locations of the laterals were provided and they were not marked in the field.

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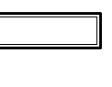
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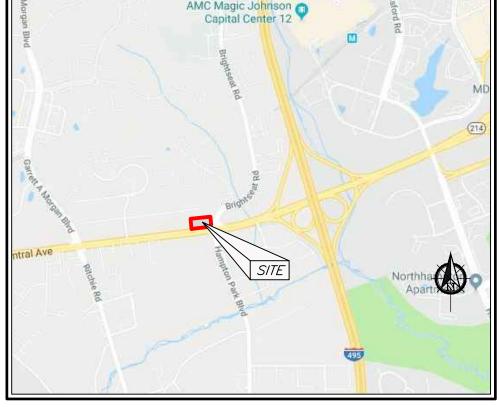
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(1) South 01 degrees 47 minutes 00 seconds East a distance of 135.00 feet to a point of curve; thence

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LEGAL DESCRIPTION

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THENCE following said dividing line, N 01'47'00" W, a distance of 166.16 feet to an iron pin with cap set at a common corner with Lots 6, 7, 14 & 15 of the Plat of Blocks 6, 7 & 8 of Randolph Village;

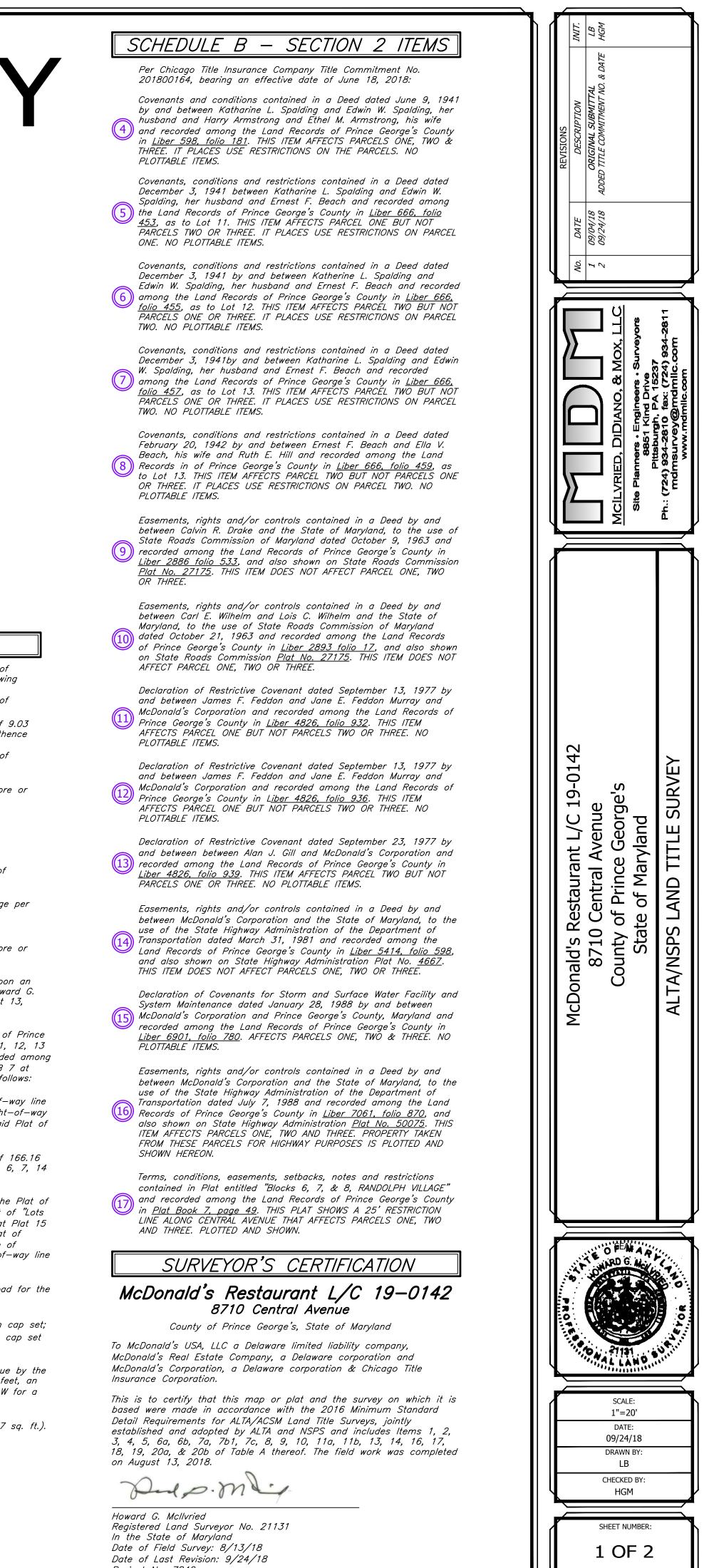
THENCE following on a line bounded on the north by Lot 7 of the Plat of Block 6, 7 & 8 Randolph Village and Lots 11 & 10 of the Plat of "Lots" 1–14, Block 'A', Manor Farm", recorded in Plat Book NLP 113 at Plat 15 and bounded on the south by Lots 14, 13, 12 & 11 of the Plat of Blocks 6, 7 & 8 of Randolph Village, N 88°13'00" E, a distance of 320.00 feet to an iron pin with cap set on the westerly right-of-way line of Brightseat Road (100' right-of-way width);

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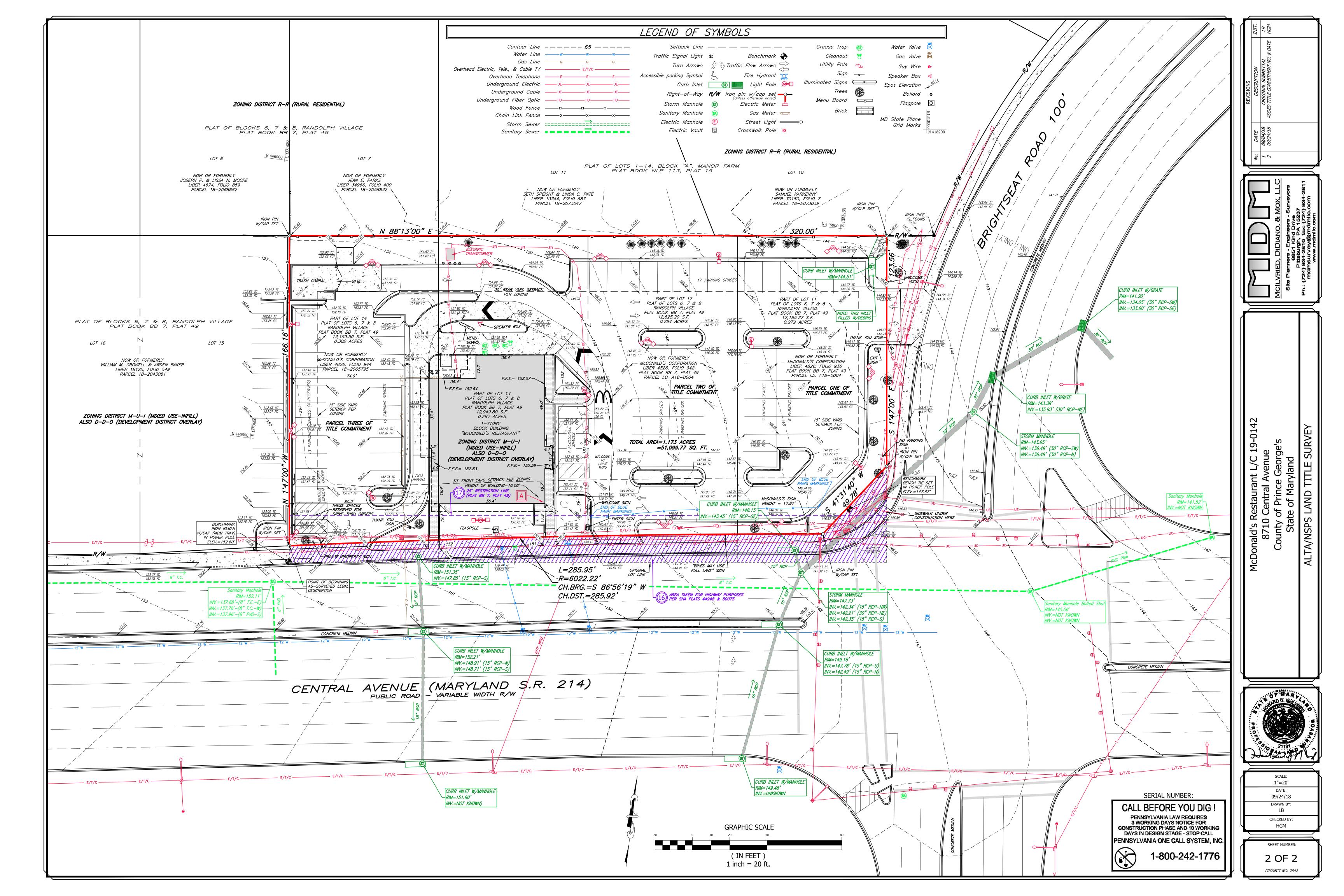
1) S 01°47'00" E, a distance of 123.56 feet to an iron pin with cap set; 2) S 41°31'40" W, a distance of 49.78 feet to an iron pin with cap set on the northerly right-of-way line of Central Avenue;

THENCE following the northerly right-of-way line of Central Avenue by the arc of a circle curving to the left having a radius of 6,022.22 feet, an arc length of 285.95 feet and a chord that bears S 86°56'19" W for a distance of 285.92 feet to the POINT OF BEGINNING.

CONTAINING within said bounds a total of 1.173 Acres (51,099.77 sq. ft.).



PROJECT NO. 7842



GENERAL NOTES

1. Bearings shown hereon are based upon the bearings shown on the Plat of "Blocks 6, 7, & 8, Randolph Village" recorded in Plat Book BB 7 at Plat 49 of the land records of Prince George's County, MD.

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3. There was no observed evidence of current earth moving work, wilding construction or building additions.

4. The surveyor knows of no known recent or proposed changes in street right-of-way lines, street or sidewalk construction or repairs.

5. There is no observed evidence of this site being used as a solid waste dump, sump, or sanitary landfill.

6. There are no delineated wetland areas located on the subject premises.

7. Iron pins with cap set are 5/8"ø rebar, 30" in length with a yellow plastic I.D. cap that bears the inscription "MDM 724-934-2810".

8. Contour Interval = 1'. Elevations shown hereon are based upon GPS observations taken on 8/13/18 and are to the National Geodetic Vertical Datum of 1929 (NVGD 29).

9. The horizontal datum used for this survey is the Maryland State Plan Coordinate System (NAD83).

10. The southerly property line of the premises shown hereon is the northerly right-of-way line of Central Avenue. Its location is based upon a plat entitled "Revision to Special Exception Site Plan" prepared for McDonald's Corporation and dated June 21, 1994 and also shown on Maryland State Highway Administration Plat No. 50075.

11. The location of the water and sanitary laterals to the existing McDonald's Restaurant are not known at this time. No plans showing the locations of the laterals were provided and they were not marked in the field.

UTILITY SERVICE INFORMATION

<u>Water Service</u> WSSC 14501 Sweitzer Lane Laurel, Maryland 20707 (301) 206–8883 Tom Gingrich

<u>Sanitary Sewer</u> 14501 Sweitzer Lane Laurel, Maryland 20707 (301) 206–8883 Tom Gingrich

<u>Storm Sewer</u> Prince Georges County 9400 Peppercorn Place Largo, MD 20774 (301) 636–2060 Rey DeGuzman

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Upper Marlboro, MD 20772 (301) 967–5800 Engineering

Telephone/Cable Service Verizon (888) 804–0875 www.Verizon.com

ZONING INFORMATION

Zoning District – M–U–I (Mixed Use–Infill) Also within the Development District Overlay (D-D-O)An eating and drinking establishment w/drive through is a permitted use within these zoning districts Minimum Lot Area – 6,500 sq. ft.

Minimum Lot Width - 85 ft. (Corner Lot-100 ft.) Minimum Front Yard Setback – 30 ft. Minimum Side Yard Setback - 30 ft. total both sides/10' min. one side Minimum Rear Yard Setback – 30 ft. Maximum Building Height – 40' Maximum Lot Coverage - 60%

> Parking Formula – 1 space per every 3 seats plus 1 space per each 50 sq. ft. GFA

Zoning information was obtained from.

Planning Information Center The Maryland National Capital Park & Planning Commission Prince George's County Planning Dept. 14741 Governor Oden Bowie Drive Upper Marlboro, MD 20772 (301) 952–3215

<u>Zoning Notes:</u>

1) A subdivision or replat is not necessary in order to convey this property.

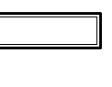
2) There are 71 striped parking spaces located at this site, 53 of which are regular parking spaces, 2 of which are designated as drive-thru waiting spaces, 2 of which are designated as mobile order spaces and 4 of which are accessible spaces.

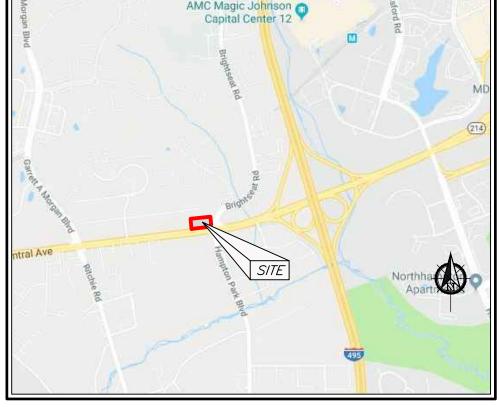
FLOOD ZONE NOTE

By graphic plotting only this site is located in Zone X of the Flood Insurance Rate Map 24033C0165E, Community No. 245208, Panel 0165, Suffix E, bearing an effective date of 09-16-2016 and is not in a special flood hazard area.

STATEMENT OF ENCROACHMENTS

A The existing McDonald's Restaurant violates the 30' front yard _____ zoning setback line by 14.8' as shown.





SITE LOCATION MAP NOT TO SCALE

LEGAL DESCRIPTION

PARCEL ONE: All that lot of ground situate in Prince George's County, State of Maryland, and described as follows, that is to say:

Part of Lot numbered Eleven (11) in Block numbered Seven (7) in the subdivision known as "RANDOLPH VILLAGE" as per plat thereof recorded among the Land Records of Prince George's County Maryland in Plat Book BB 7 at Plat 49.

Beginning at an iron pipe found on the west side of Hooper Street, 60 feet wide, as shown on the said plat of Randolph Village, said point being at the dividing line of lots 10 and 11 Block 7; thence along the said side of Hooper Street

(1) South 01 degrees 47 minutes 00 seconds East a distance of 135.00 feet to a point of curve; thence

(2) by the arc of a circle curving to the right having a radius of 40.00 feet an arc distance of 35.48 feet to a point; thence by a line through said lot No. 11 Bock 7.

(3) South 88 degrees 14 minutes 08 seconds West a distance of 65.27 feet to a point on the dividing line of lots 11 and 12 Block 7; thence along said line,

(4) North 01 degrees 47 minutes 00 seconds West a distance of 165.99 feet to a point on the aforesaid dividing line of lots 10 and 11 Block 7; thence along said line, (5) North 88 degrees 13 minutes 00 seconds East a distance of

80.00 feet to the point of beginning.

Containing 13,141 square feet or 0.3017 of an acre of land more or less according to a survey made by Bazis, Carlin & Associates dated June 16, 1977.

PARCEL TWO: All that lot of ground situate in Prince George's County, State of Maryland, and described as follows, that is to say:

Part of Lot numbered Twelve (12) and all of Lot numbered Thirteen (13) in Block numbered Seven (7) in the subdivision known as 'RANDOLPH VILLAGE" as per plat of said subdivision recorded in Plat Book BB 7 at Plat 49, among the Land Records of Prince George's County, Maryland.

Beginning at a point on the north side of Central Avenue as shown on the said plat of Randolph Village, said point being at the dividing line of lots 13 and 14 Block 7, thence along said dividing line (1) North 01 dearees 47 minutes 00 seconds West a distance of 175.00 feet to a point; thence along said line along the dividing line of lots 8 and 9 form lots 12 and 13 Block 7,

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LEGAL DESCRIPTION

(3) South 01 degrees 47 minutes 00 seconds West a distance of 165.99 feet to a point; thence through lot 12 Block 7 the following two courses and distances: (4) South 88 degrees 14 minutes 08 seconds West a distance of

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Containing 27,592 square feet or 0.6334 of an acre of land more or less, according to a survey made by

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All that lot of ground situate in Prince George's County, State of Maryland, and described as follows, that is to say:

Being all of Lot 14 Block 7 in the subdivision of Randolph Village per plat recorded in the Land Records of Prince George's County, Marvland in Plat Book BB 7 plat 49.

Containing 14,000 square feet or 0.3214 of an acre of land more or

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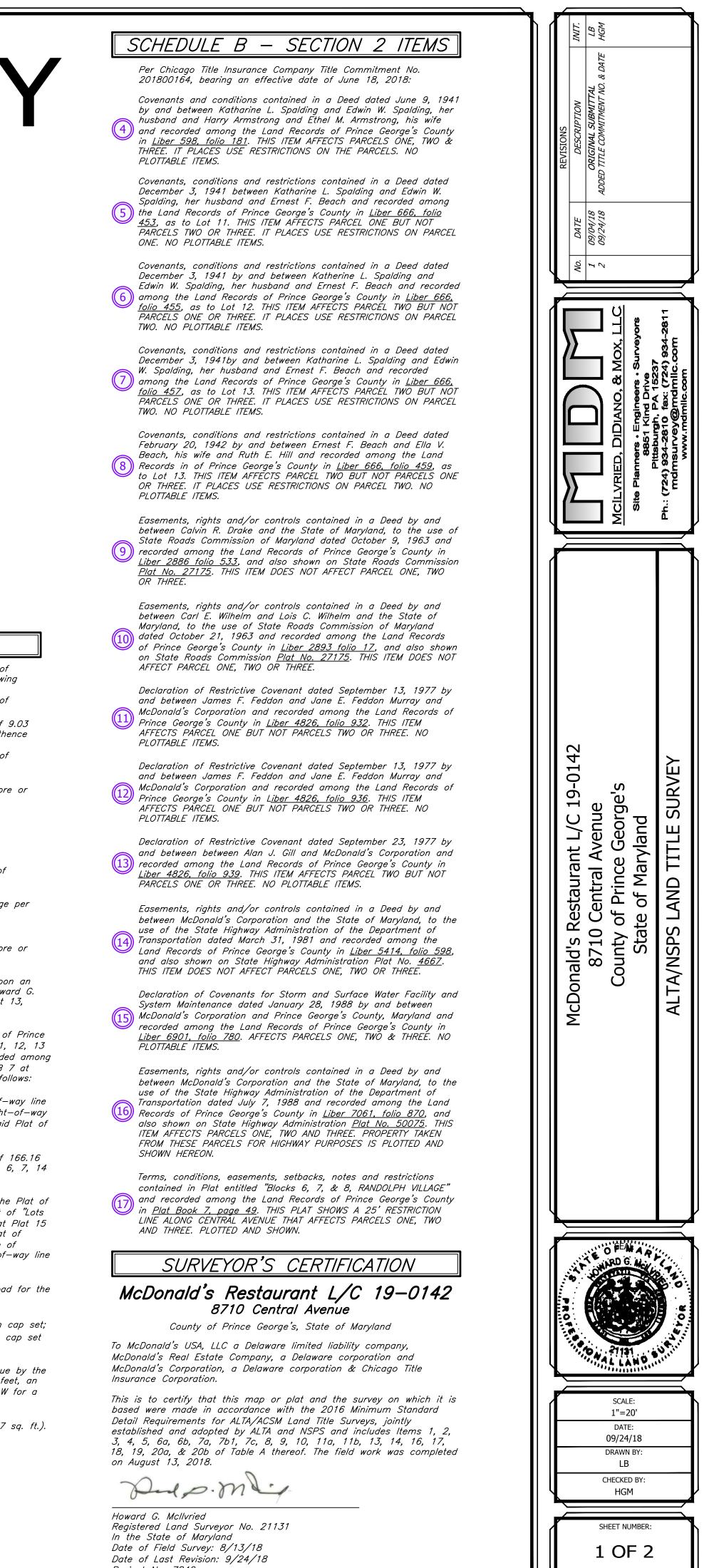
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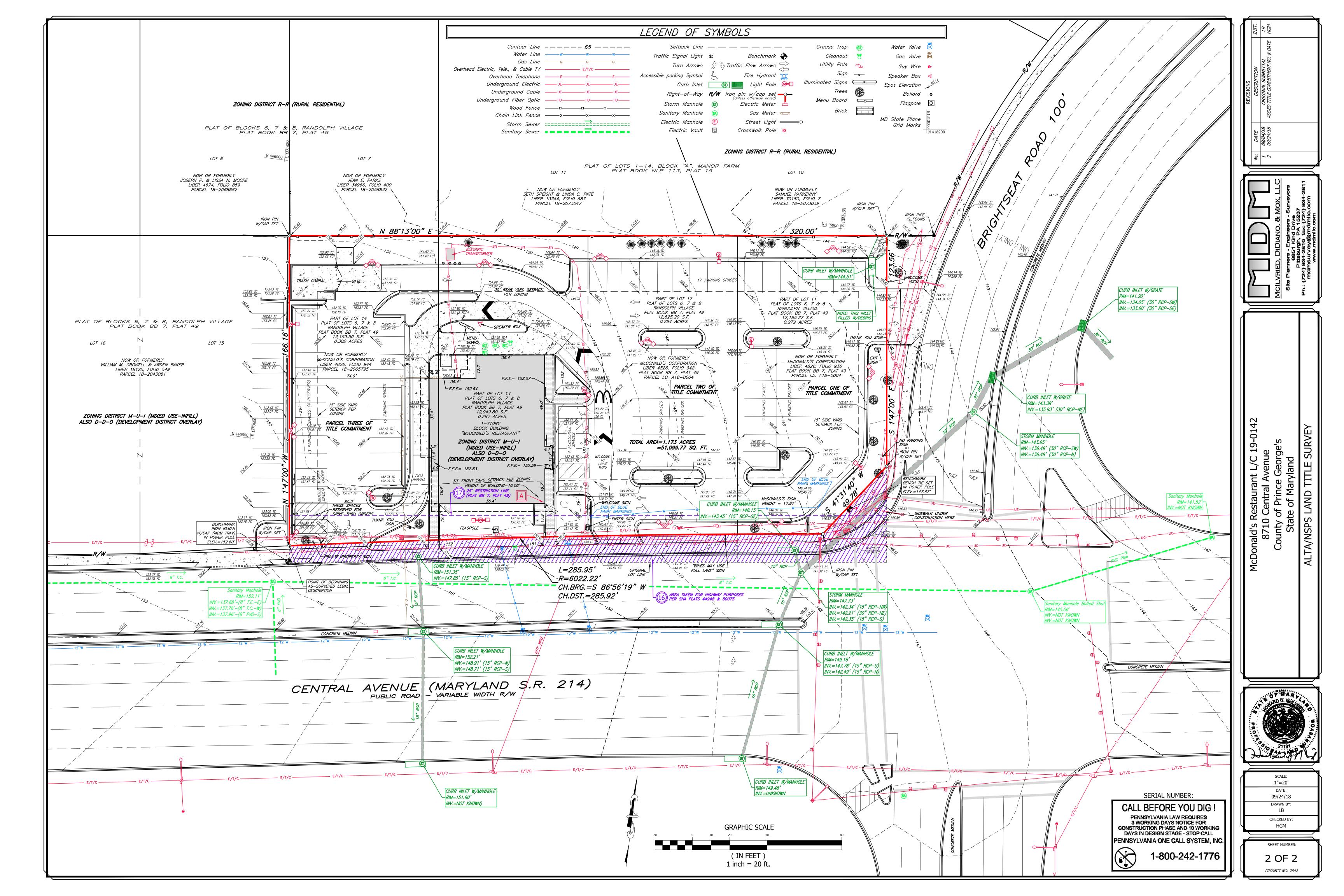
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PROJECT NO. 7842



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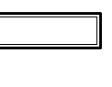
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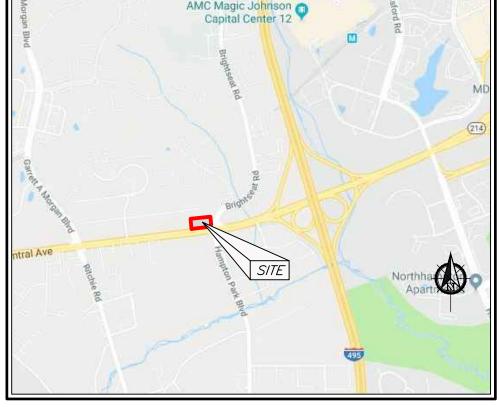
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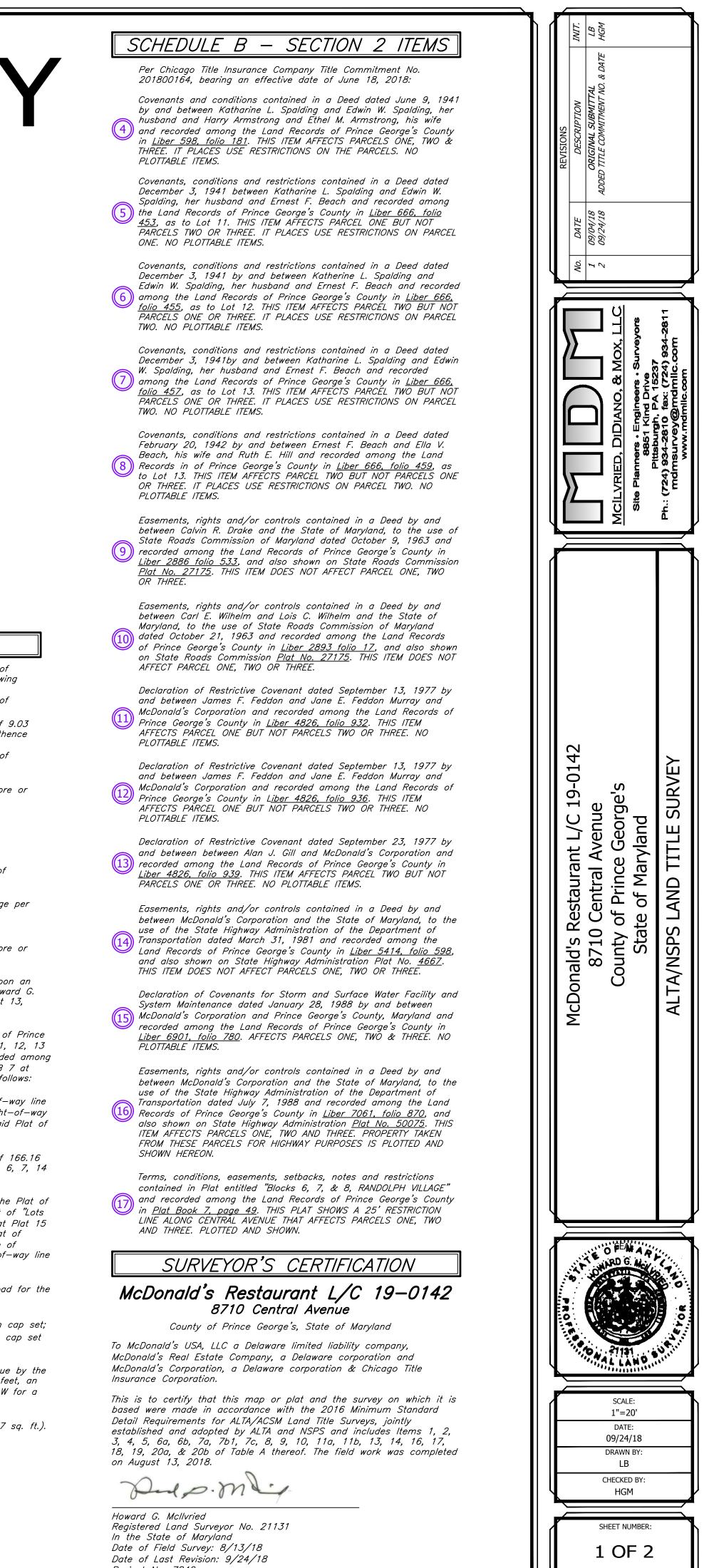
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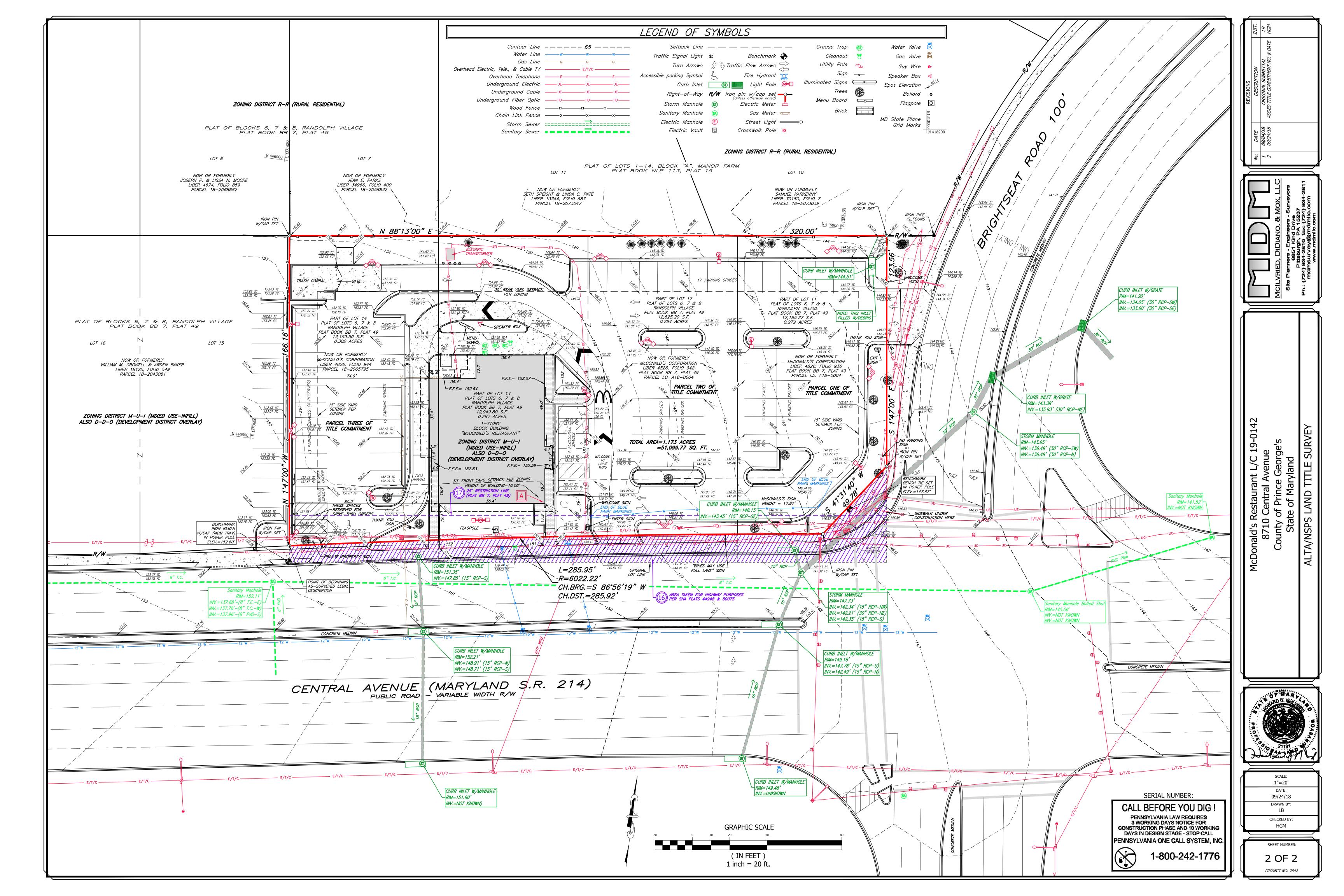
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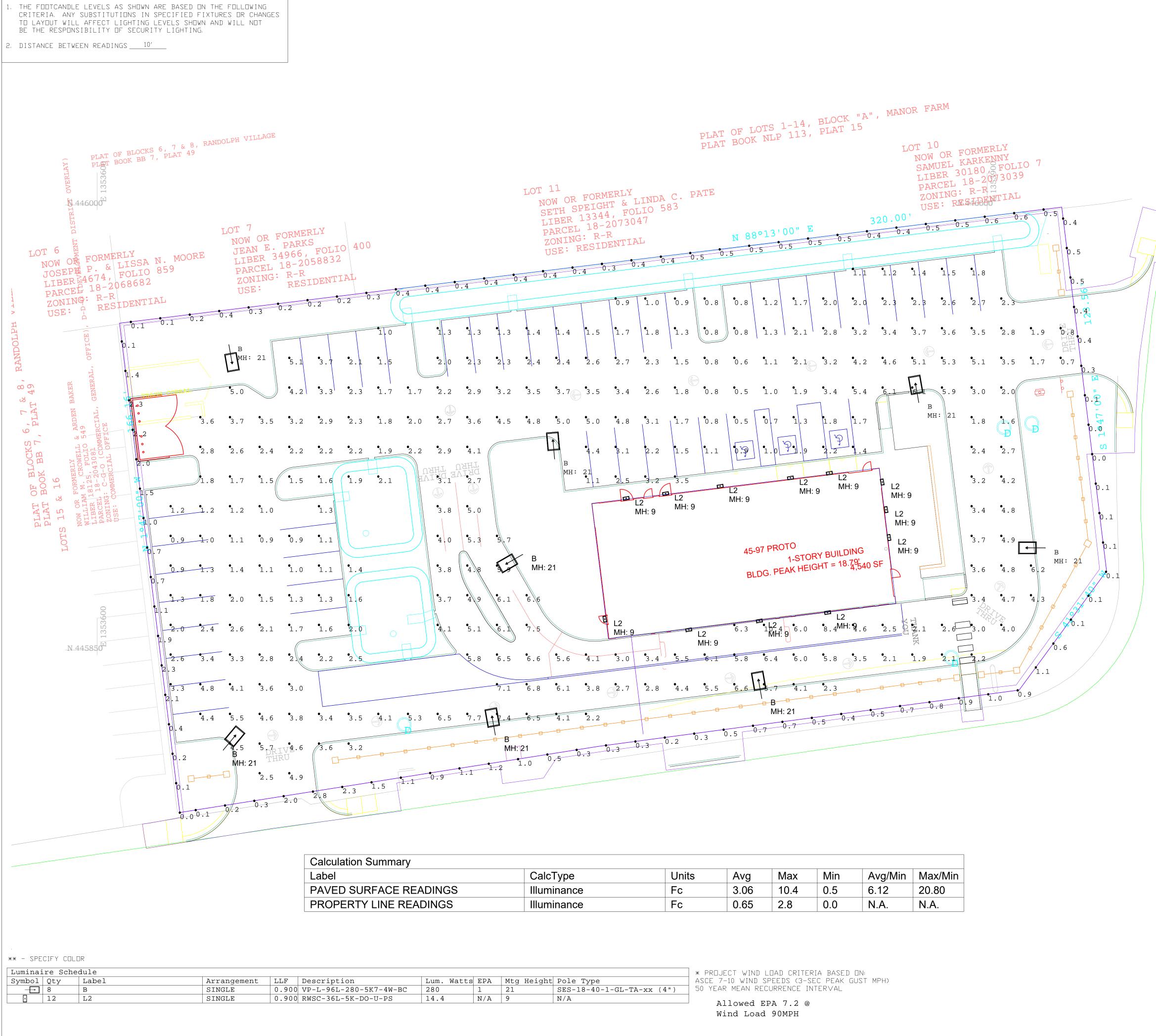
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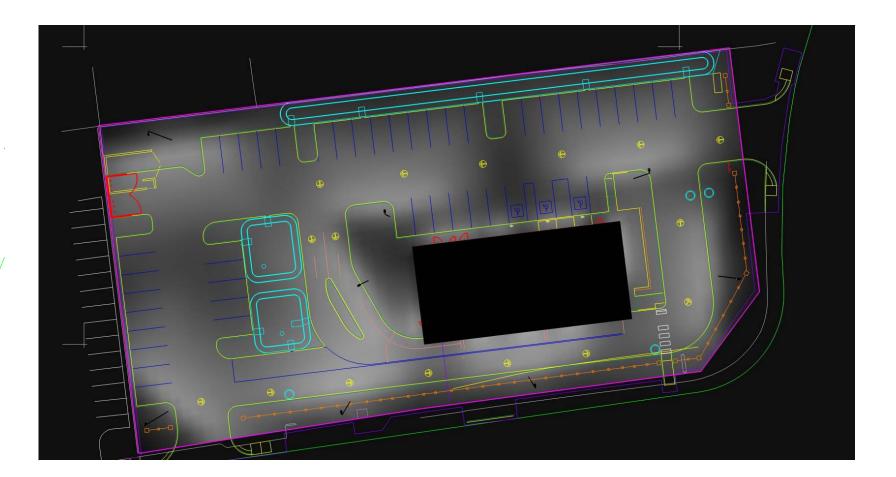
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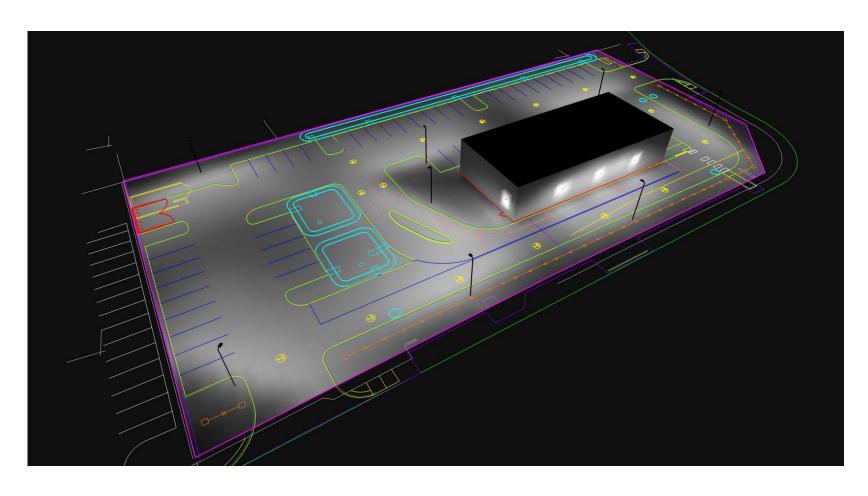


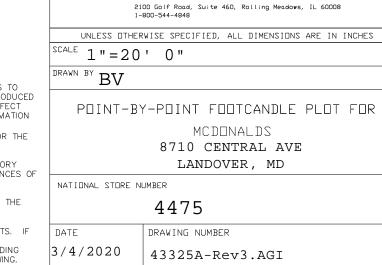


NDTES:

уре	Units	Avg	Max	Min	Avg/Min	Max/Min
nance	Fc	3.06	10.4	0.5	6.12	20.80
nance	Fc	0.65	2.8	0.0	N.A.	N.A.







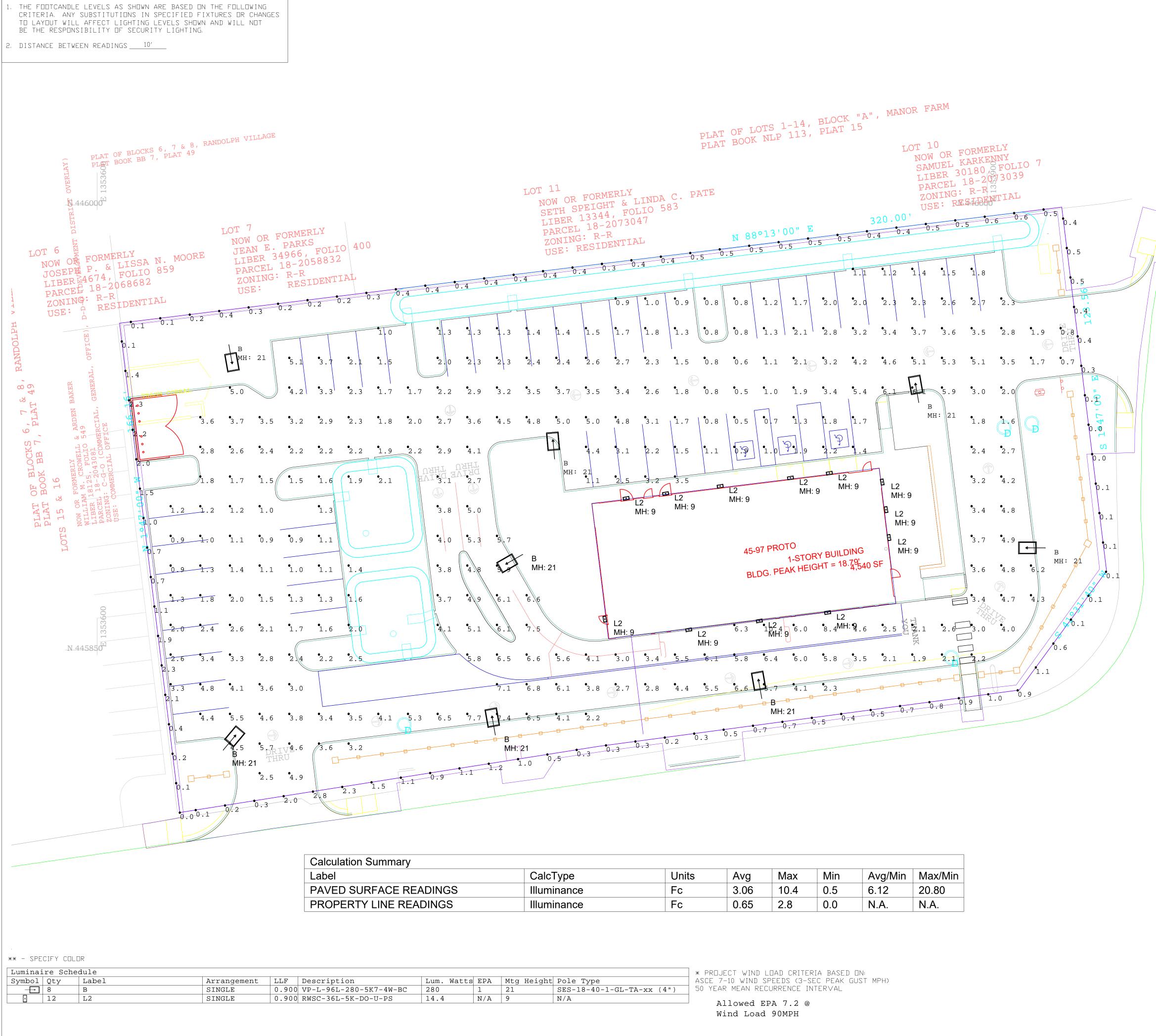
SECURITY

LIGHTING

1. THIS LIGHTING DESIGN IS BASED ON INFORMATION SUPPLIED BY OTHERS TO SECURITY LIGHTING SYSTEMS. SITE DETAILS PROVIDED HEREON ARE REPRODUCED ONLY AS A VISUALIZATION AID. FIELD DEVIATIONS MAY SIGNIFICANTLY AFFECT PREDICTED PERFORMANCE. PRIOR TO INSTALLATION, CRITICAL SITE INFORMATION (POLE LOCATIONS, ORIENTATION, MOUNTING HEIGHT, ETC.) SHOULD BE COORDINATED WITH THE CONTRACTOR AND/OR SPECIFIER RESPONSIBLE FOR THE PROJECT.

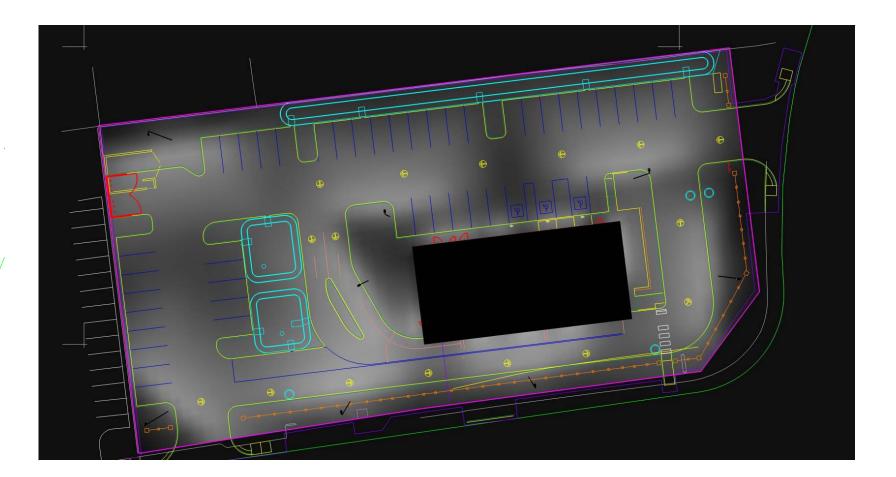
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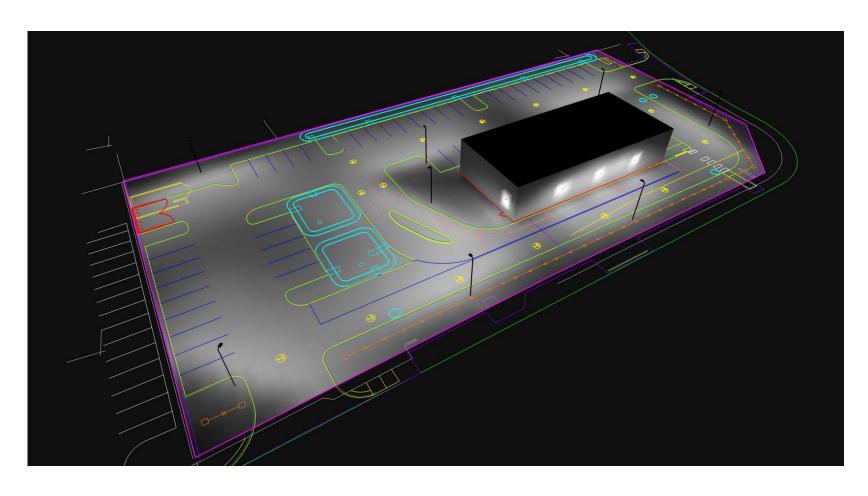
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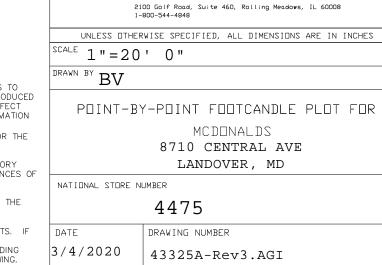


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Department of Permitting, Inspections

and Enforcement

Site/Road Plan Review Division

9400 Peppercorn Place, Suite 420 Largo, Maryland 20774 (301) 883-5710



25146-2019-00

CASE #:

STORMWATER MANAGEMENT CONCEPT APPROVAL

CASE NAME:

ENGINEER :

RANDOLPH VILLAGE_LOT 13_BLOCK 7 McDonald's Corporation

APPLICANT'S NAME:

Kimley-Horn and Associates, Inc.

REOUIREMENTS:

Technical Review is required for PUBLIC/PRIVATE Storm Drain/SWM Construction.

Type of Storm Drainage/SWM Construction is PRIVATE.

These additional approvals are required: None.

These fees apply: None.

These bonds apply: None.

Required water quality controls: EXTENDED DETENTION, SEE CONDITIONS.

Required water quantity controls: 100 YEAR ATTENUATION(S).

A maintenance agreement is required.

No special conditions apply.

Required easements: None.

Storm Water Management fee payment of none in lieu of providing on-site attenuation/quality control measures. (Fee-In-Lieu subject to change during technical review.)

CONDITIONS OF APPROVAL:

Please see second page.

APPROVED BY:

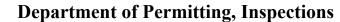
Rey De Guzman

APPROVAL DATE: EXPIRATION DATE: October 16, 2019 October 16, 2022

FOR	OFFICE	USE	ONLY

ADC MAP:	5531 D8	200' SHEET:	
STREET NAME:	CENTRAL AVE AV	E	
WATERSHED:	01-Patuxent River		
NUMBER OF DU'S:	0	COST PER DWELLING:	0

CC: APPLICANT, SCD, PERMITS P.G.C. FORM #3693 (REV 04/93)



and Enforcement

Site/Road Plan Review Division

9400 Peppercorn Place, Suite 420 Largo, Maryland 20774 (301) 883-5710



STORMWATER MANAGEMENT CONCEPT APPROVAL

CASE NAME:

FORG

RANDOLPH VILLAGE_LOT 13_BLOCK 7

CASE #: 25146-2019-00

CONDITIONS OF APPROVAL:

1. THIS PROJECT INVOLVES REDEVELOPMENT OF AN EXISTING DEVELOPED SITE. SITE SHALL BE DESIGNED TO TREAT FOR 100% WQv OF THE IMPERVIOUS AREA WITHIN THE PROPOSED DISTURBED AREA AND 100% WQv AND CPV FOR NEW IMPERVIOUS AREA USING ESD PRACTICES AND TECHNIQUES.

2. LANDSCAPE PLANS ARE REQUIRED AT TECHNICAL REVIEW.

3. THIS PROJECT WILL REQUIRE A SITE DEVELOPMENT FINE GRADING PERMIT.

4. ADEQUACY ANALYSIS OF THE RECEIVING CONVEYANCE SYSTEM IS REQUIRED.

5. ESD TO THE MEP PROPOSED USING (2) MICRO-BIO, (1) BIO-SWALE, (1) FILTERRA.

6. 100-YEAR QUANITY MANAGEMENT REQUIRED (ESD STORAGE CANNOT BE USED AS QUANTITY MANAGEMENT). APPLICANT SHOWING UNDERGROUND PIPE FOR 100-YEAR STORAGE.

7. UNDERDRAINS ARE REQUIRED FOR BIO-RETENTION AND BIO-SWALES. REVIEWED BY CC/MT

Department of Permitting, Inspections

and Enforcement

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9400 Peppercorn Place, Suite 420 Largo, Maryland 20774 (301) 883-5710



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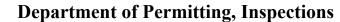
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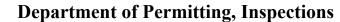
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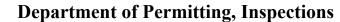
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SITE DEVELOPMENT CONCEPT PLAN **SDCP# 25146-2019 MCDONALD'S REBUILD 8710 CENTRAL AVE** LANDOVER, MD 20785

GENERAL NOTES	GEN	ERAL	NOTES
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- MCDONALD'S REBUILD PROJECT NAME 2. SITE ADDRESS: 8710 CENTRAL AVENUE
 - LANDOVER, MD 20785 2070019
- ACCOUNT ID: DEED BOOK & PAGE: 04826 / 00942
- TAX MAP & GRID: 67. C4
- SUBDIVISION & BLOCK: 4140, 7
- EXISTING ZONING: M-U-I (MIXED USE INFILL), ENTIRE SITE (1.17 AC) PROPOSED USE OF PROPERTY: EATING OR DRINKING ESTABLISHMENT W/ DRIVE THROUGH PROPOSED BUILDING DATA:
- ONE 4,540 SQUARE FEET COMMERCIAL BUILDING
- 10. GROSS FLOOR AREA OF EXISTING AND PROPOSED:
 - PROPOSED: 4,540 SF. COMMERCIAL BUILDING
- EXISTING: 4,362 SF. COMMERCIAL BUILDING
- 11. SITE AREA: 1.17 AC / 51,096 SF 12. PROPOSED AREA OF DISTURBANCE: 1.22 AC / 53,143 SF
- 13. 200 FOOT MAP REFERENCE NUMBER (WSSC): 201NE08
- 14. THE SITE IS NOT LOCATED WITHIN AN AVIATION POLICY AREA (APA)
- 15. EXISTING WATER/SEWER CATEGORY DESIGNATION: W-1 AND S-1
- PROPOSED WATER AND SEWER CATEGORY: W-1 AND S-1 16.
- 17. STORM WATER MANAGEMENT CONCEPT NUMBER: #25146-2019
- 18. EASEMENTS: THERE IS AN EXISTING, PERMANENT STATE HIGHWAY ADMINISTRATION (MDOT) LAND ACQUISITION ALONG THE SOUTH FRONTAGE OF THE PROJECT SITE.
- 19. MANDATORY PARK DEDICATION: NONE
- THERE ARE NO KNOWN CEMETERIES TO EXIST ON SITE 20.
- 21. THERE ARE NO KNOWN HISTORIC RESOURCES TO EXIST ON SITE
- 22. STREAMS AND WETLANDS: NO
- 23. 100 YEAR FLOODPLAIN: NO, FEMA MAP#24033C0165E EFFECTIVE 09.16.2016
- 24. CHESAPEAKE BAY CRITICAL AREA OVERLAY: NO
- 25. EXISTING CONDITIONS, SURFACE FEATURES, AND PROPERTY BOUNDARY INFORMATION SHOWN ON PLAN PROVIDED BY MCILVRIED, DIDIANO, & MOX, LLC, DATED 11/01/2018.
- 26. THIS PLAN IS FOR ENTITLEMENT PURPOSES ONLY AND SHALL NOT BE UTILIZED FOR CONSTRUCTION.

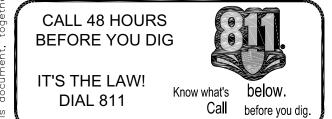
SITE STATISTICS	
	TOTAL
GROSS TRACT AREA	1.17 AC
EXISTING 100-YEAR FLOODPLAIN	0.00 AC
NET TRACT AREA	1.17 AC
EXISTING WOODLAND IN THE FLOODPLAIN	N/A
EXISTING WOODLAND NET TRACT	N/A
EXISTING WOODLAND TOTAL	N/A
EXISTING PMA	N/A
REGULATED STREAMS LINEAR FEET OF CENTERLINE	0 Ft
RIPARIAN (WOODED) BUFFER UP TO 300 FEET WIDE	N/A

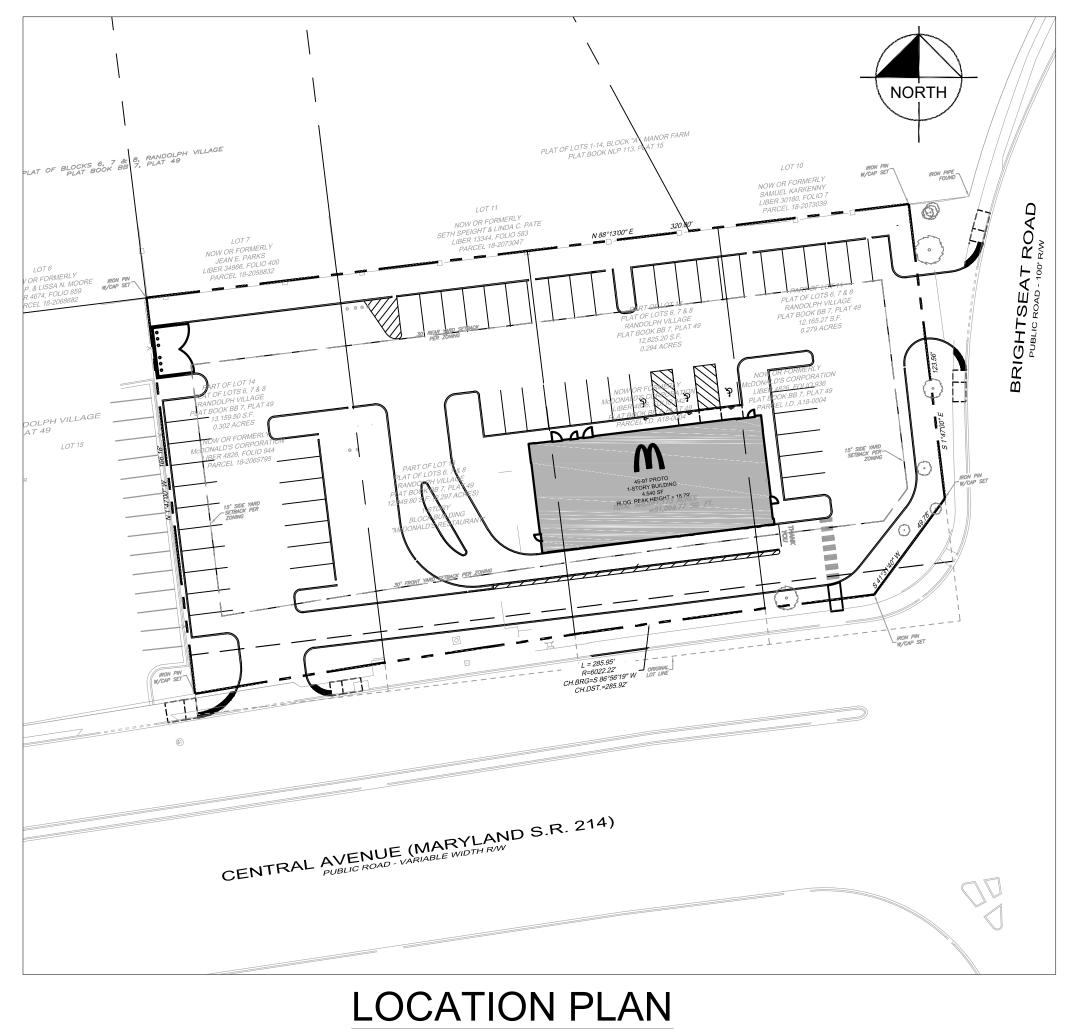
Project Name:	McDonald	ds Landover			Concept No.:	25146-2019-0		Permit No.:						Total Site Acreage:	1.173	
						CONSTRUCTION	DRAINAGE	TOTAL	NEW	EXISTING	PERCENT		TARGET PE	TARGET VOL	DESIGN VOL USING	DESIGN VOL US
POI	LABEL	NAME	MD NORTH	MD EAST	LAND USE				IMPERVIOUS	IMPERVIOUS		Rv	Rv (IN)		ESD PRACTICES	STRUCTURA
						PURPOSE	AREA (AC)	AREA (AC)	AREA (AC)	AREA (AC)	IMPERVIOUS		(1N)	(FT^3)	(FT^3)	PRACTICES (C
DA-3.1	SWM-1	Bio-Swale	445990.21	1353900.53	Commercial	SWM Treatment	0.43	0.34	0.34	0.00	79%	0.76	1	928	1612	0
DA-2.1	SWM-2	Micro-Bio	445856.29	1353702.34	Commercial	SWM Treatment	0.25	0.18	0.18	0.00	71%	0.69	1	451	943	0
DA-1.1	SWM-3	Micro-Bio	445897.15	1353697.31	Commercial	SWM Treatment	0.25	0.21	0.21	0.00	84%	0.81	1	619	741	0
DA-2.3	SWM-4	Filterra (8'x14')	445923.41	1353927.99	Commercial	SWM Treatment	0.27	0.16	0.16	0.00	62%	0.61	1	362 *	0	222
													(redevelopment)			

*TARGET VOLUME FOR SWM-4 SHOWN PER MDE REQUIREMENTS FOR TYPICAL MICRO-BIORETENTIONS. PER MDE APPROVAL LETTER TO FILTERRA (DATED 02/22/2013), MINIMUM REQUIRED STORAGE IS 172 CF. SEE SHEET C-501 FOR MORE INFORMATION.

PROPERTY OWNER

MCDONALD'S CORPORATION ATTN: JOSEPH CURTO 6903 ROCKLEDGE DR., SUITE 1100 BETHESDA, MD 20817 TEL: (540)-426-9807 EMAIL: JOSEPH.CUROT@US.MCD.COM





SCALE: 1" = 40'

BMP SUMMARY TABLE

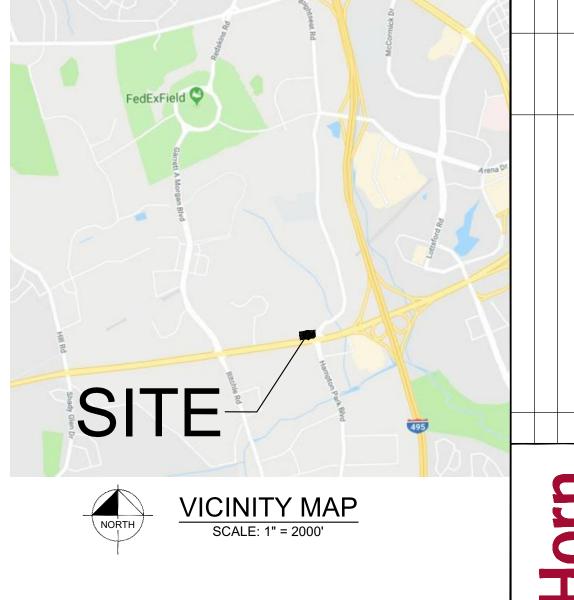
APPLICANT

SEVAN SOLUTIONS ATTN: JOHN EIDBERGER 3025 HIGHLAND PKWY, SUITE 850 DOWNERS GROVE, IL 60515 TEL: (312)-756-7778 EMAIL: JOHN.EIDBERGER@SEVANSOLUTIONS.COM

CIVIL ENGINEER/LANDSCAPE ARCHITECT

KIMLEY-HORN AND ASSOCIATES, INC. ATTN: TESSA PHILLIPS 11400 COMMERCE PARK DRIVE, SUITE 400 RESTON, VA 20191 TEL: (202)-919-3985 EMAIL: TESSA.PHILLIPS@KIMLEY-HORNDC.COM





	Sheet List Table							
SHEET	SHEET TITLE	SHEET NUMBER						
1	COVER SHEET	C-000						
2	EXISTING CONDITIONS	C-100						
3	SITE DEVELOPMENT CONCEPT PLAN	C-200						
4	SIGHT DISTANCE PLAN	C-210						
5	DRAINAGE AREA MAPS	C-300						
6	STORMWATER MANAGEMENT DETAILS	C-500						
7	STORMWATER MANAGEMENT DETAILS	C-501						

Stormwater Management Summary							
	Required	Provided					
ESDv (cf)	3238	3518					
Rev (cf)	842	1268					
CPv (cf)	CPv is met with	net with ESD to the MEP					
Qp10	Qp10 is met wit method to SP						
Qp100	ESD volume and supplementary underground detention provided.						

	ARTMENT OF PERMITTING, INSPECTIONS AND ENFORCEMENT (DPIE) PRINCE GEORGE'S COUNTY, MARYLAND
	PEER REVIEW APPROVAL STAMP
compl Revie in de the c	ereby certify that I have successfully eted participation in DPIE's Peer w Program. I have reviewed these plans tail and they are in conformance with county's Code, General Specifications tandards."
	VAL DATE: 0 . 5 Sept 19, 2019
APPRO	VAL DATE: Sept 19, 2019
	REVIEWER: Call Gue
PEER	Call may /

ING		DCN	ON OFF SITE
L F)	(ESDmax) (CF)	RCN	ON_OFF_SITE
	3298	94	On-Site
	1773	93	On-Site
	2055	95	On-Site
	1641	91	On-Site

Prince George's County Maryland **Department of Permitting, Inspections & Enforcement** APPROVED PLAN SET

The Department of Permitting, Inspections and Enforcement has completed a review of this document for code compliance. As required by State Code, the design professional(s) responsible for the preparation and content of this document must provide a record copy of these documents with their original seal signature and date seal, signature and date.

Case Name: PEER REVIEW - RANDOLPH VILLAGE_LOT 13_BLOCK 7 Case Number (Plan Approval #): 25146-2019-0 Case Type: PSWM Issuance Date: 10/16/2019 Address: 8710 CENTRAL AVE AVE LANDOVER, Maryland 20785 Lot(s) and Block(s): 4437522071 Reviewed By CC/MT

Approved by:

Ma

Rey De Guzman

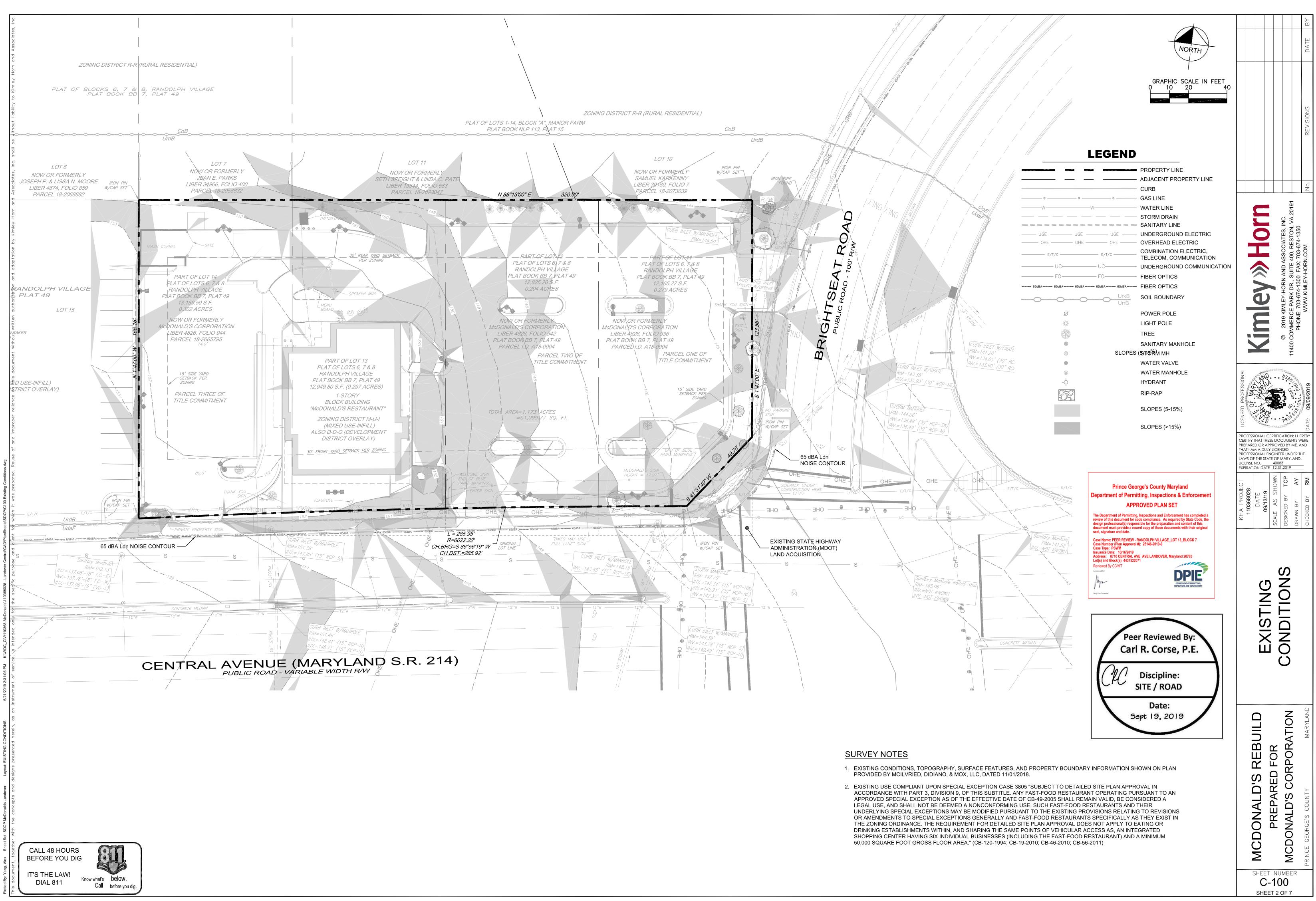


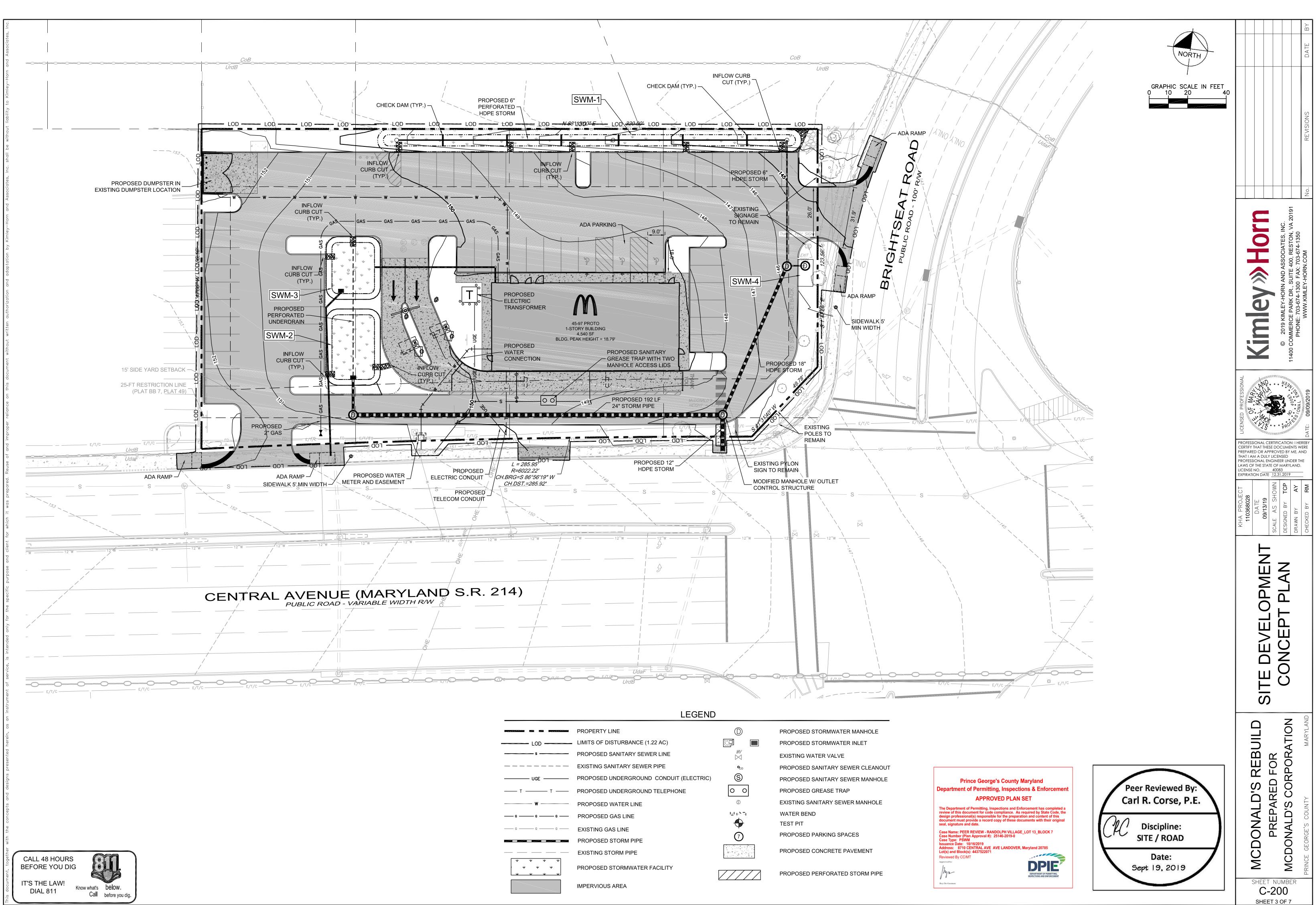
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PREPAR MCDONALD'S (SHEET NUMBER C-000 SHEET 1 OF 7

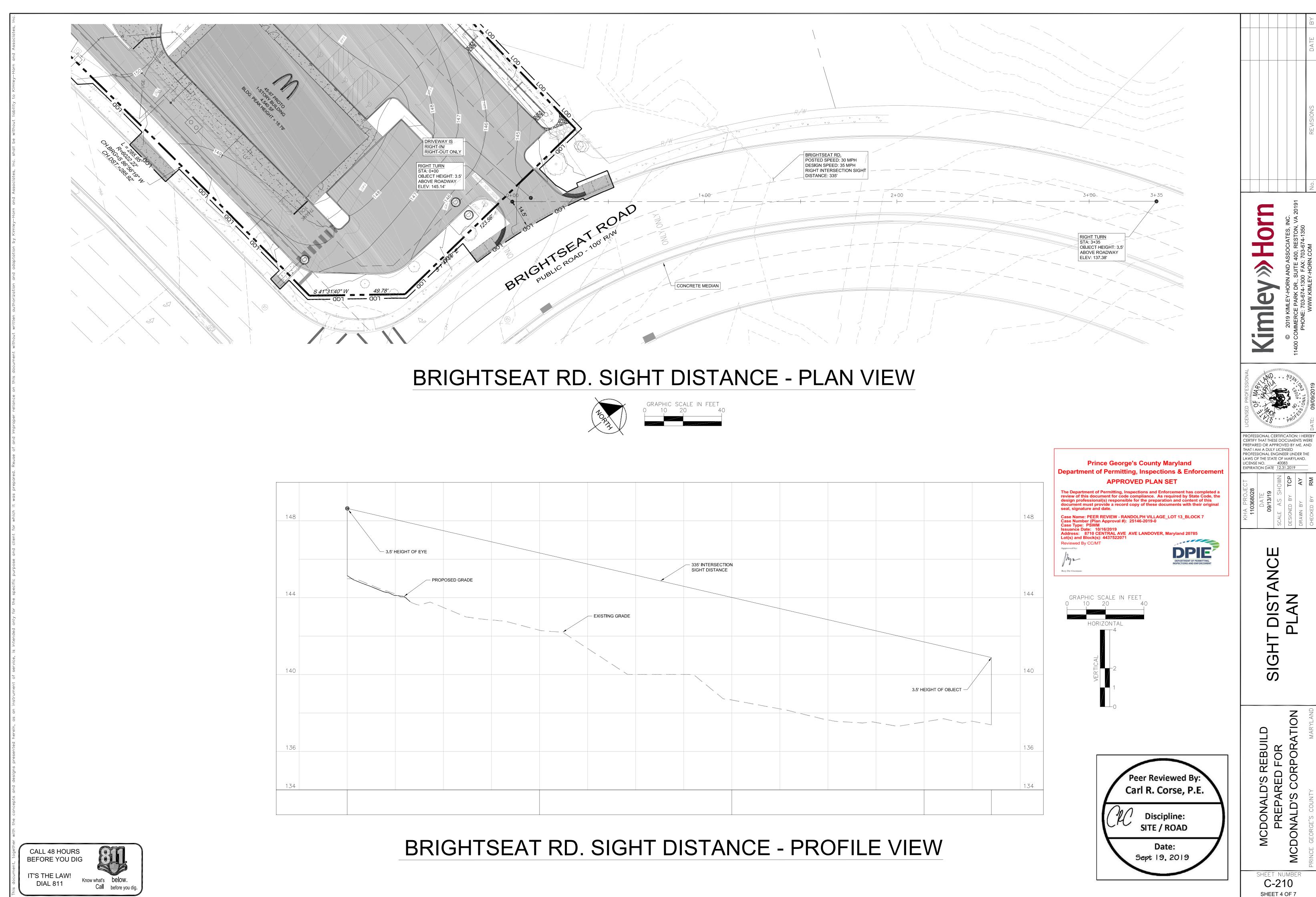
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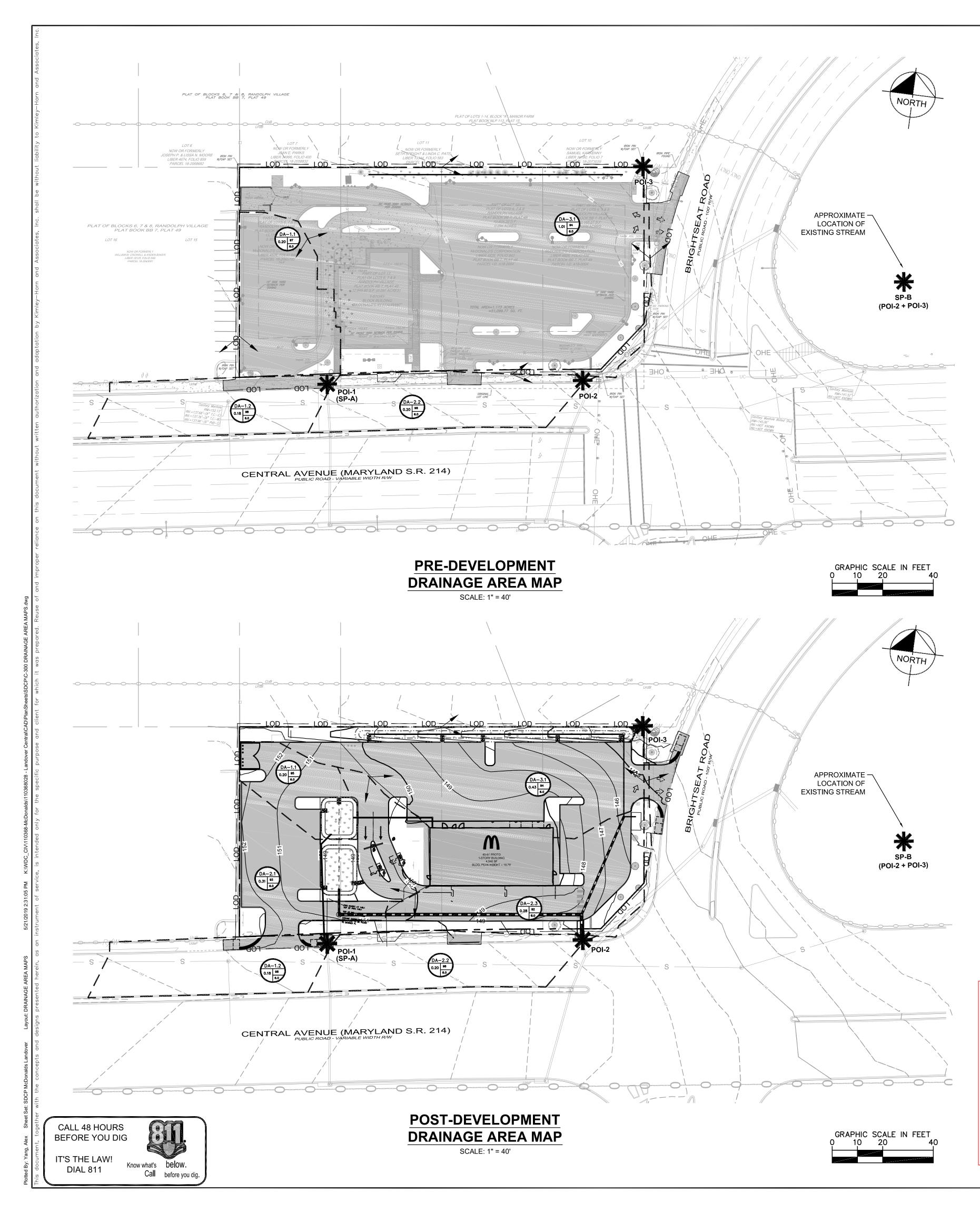
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	PROPERTY LINE	\square	PROPOSED STORMWATER MANHOLE
LOD	LIMITS OF DISTURBANCE (1.22 AC)		PROPOSED STORMWATER INLET
S	PROPOSED SANITARY SEWER LINE	\bowtie	EXISTING WATER VALVE
	EXISTING SANITARY SEWER PIPE	o _{co}	PROPOSED SANITARY SEWER CLEANOUT
UGE	PROPOSED UNDERGROUND CONDUIT (ELECTRIC)	S	PROPOSED SANITARY SEWER MANHOLE
— T T	PROPOSED UNDERGROUND TELEPHONE	0 0	PROPOSED GREASE TRAP
w	PROPOSED WATER LINE	S	EXISTING SANITARY SEWER MANHOLE
G G G	PROPOSED GAS LINE	너 다 소	WATER BEND
G G G	EXISTING GAS LINE		TEST PIT
	PROPOSED STORM PIPE	(7)	PROPOSED PARKING SPACES
	EXISTING STORM PIPE		PROPOSED CONCRETE PAVEMENT
$\begin{array}{cccc} \psi & \psi & \psi & \psi \\ \psi & \psi & \psi & \psi \\ \psi & \psi &$	PROPOSED STORMWATER FACILITY		PROPOSED PERFORATED STORM PIPE
	IMPERVIOUS AREA		





NOTES

- 1. IN THE PRE-DEVELOPMENT CONDITION, THE SITE SHEET FLOWS TO ADJACENT ROADS. POINT OF INTEREST (POI) 1 DESCRIBES STORM WATER RUNOFF TO THE SOUTH OF THE PROJECT SITE INTO AN EXISTING INLET IN CENTRAL AVENUE. POI 2 IS ALSO AN INLET IN CENTRAL AVENUE THAT CAPTURES RUNOFF FROM CENTRAL AVENUE, BUT NO ON-SITE RUNOFF IN EXISTING CONDITIONS. POI 3 DESCRIBES STORM WATER RUNOFF TO THE NORTHEAST OF THE PROJECT SITE ONTO EXISTING RIP-RAP AND EVENTUALLY INTO THE BRIGHTSEAT ROADWAY. POI-2 AND POI-3 BOTH CONVERGE IN AN EXISTING STREAM LOCATED TO THE EAST OF BRIGHTSEAT ROAD, IDENTIFIED AS STUDY POINT (SP) SP-B.
- 2. FROM PRE- TO POST-DEVELOPMENT, THE MOST SIGNIFICANT CHANGE IS THE ADOPTION OF STORM WATER BMPS TO CAPTURE AND TREAT STORM WATER RUNOFF PRIOR TO OUTFALLING INTO THE EXISTING STORM WATER INFRASTRUCTURE. STORM DRAINAGE IS CAPTURED INTO PROPOSED BIO-SWALES, MICRO-BIORETENTION FACILITIES OR STRUCTURAL SWM FACILITIES IN THE PROPOSED ON-SITE PARKING LOT, PRIOR TO CONNECTING TO POIS DESCRIBED IN NOTE #1.
- 3. UNDERGROUND DETENTION FACILITIES ARE PROPOSED UNDER THE PARKING LOT FOR THE 100-YEAR STORM EVENT IN THE FORM OF UNDERGROUND STORAGE PIPES. DESIGN DETAILS WILL BE PROVIDED IN THE NEXT DESIGN STAGE SUBMITTAL FOR THE STORAGE CHAMBERS AND OUTLET CONTROL STRUCTURE.
- 4. TIME OF CONCENTRATION IS ASSUMED TO BE 6 MINUTES FOR ALL DRAINAGE AREAS IN PRE AND POST-DEVELOPMENT CONDITIONS.
- 5. ACCORDING TO USDA WEB SOIL SURVEY, ALL ON-SITE SOILS ARE HYDROLOGIC SOIL GROUP D, UrdB - URBAN LAND-COLLINGTON-WIST COMPLEX, 0 TO 5 PERCENT SLOPES.

Prince George's County Maryland **Department of Permitting, Inspections & Enforcement** APPROVED PLAN SET

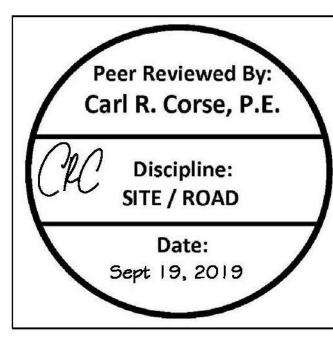
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		n I
LEG	END	
	PROPERTY LINE	
LOD	LIMITS OF DISTURBANCE (1.22 AC)	
	DRAINAGE AREA DIVIDE	
DA	DA = DRAINAGE AREA LABEL A = AREA (ACRES)	
A C TC	C = C FACTOR TC = TIME OF CONCENTRATION (MINUTES)	
×	DRAINAGE AREA POINT OF ANALYSIS (POA)	
	IMPERVIOUS COVER	



	Ε>	KISTING CONDITIONS DRA	INAGE SU	MMARY			
STUDY POINT	DRAINAGE AREA (AC)	IMPERVIOUS AREA (AC)	CN	tc (HR)	Q1 (CFS)	Q10 (CFS)	Q100 (CFS)
DA-1.1	0.20	0.19	97	0.1	0.64	1.24	2.16
DA-1.2	0.18	0.18	98	0.1	0.59	1.13	1.95
POI-1	0.38	0.37	98	0.1	1.25	2.38	4.11
DA-2.1	N/A	N/A	N/A	N/A	0	0	0
DA-2.2	0.2	0.2	98	0.1	0.66	1.25	2.16
DA-2.3	N/A	N/A	N/A	N/A	0	0	0
POI-2	0.2	0.2	98	0.1	0.66	1.25	2.16
DA-3.1	1.01	0.75	94	0.1	2.96	6.03	10.71
POI-3	1.01	0.75	94	0.1	2.96	6.03	10.71

	PR	OPOSED CONDITIONS DR	AINAGE SU	JMMARY			
STUDY POINT	DRAINAGE AREA (AC)	IMPERVIOUS AREA (AC)	CN	tc (HR)	Q1 (CFS)	Q10 (CFS)	Q100 (CFS)
DA-1.1	0.2	0.17	95	0.1	0.61	1.21	2.14
DA-1.2	0.18	0.18	98	0.1	0.59	1.13	1.95
POI-1	0.38	0.35	97	0.1	1.22	2.36	4.10
DA-2.1	0.31	0.23	93	0.1	0.88	1.83	3.27
DA-2.2	0.2	0.2	98	0.1	0.66	1.25	2.16
DA-2.3	0.28	0.16	92	0.1	0.69	1.46	2.64
POI-2	0.79	0.59	93	0.1	2.25	4.68	8.39
DA-3.1	0.43	0.33	94	0.1	1.27	2.59	4.6
POI-3	0.43	0.33	94	0.1	1.27	2.59	4.6

	EXISTING CONDITIONS DRAINAGE SUMMARY (STUDY POINTS)									
STUDY POINT	DRAINAGE AREA (AC)	IMPERVIOUS AREA (AC)	CN	tc (HR)	Q1 (CFS)	Q10 (CFS)	Q100 (CFS)			
SP-A										
(POI-1)	0.38	0.37	98	0.10	1.25	2.38	4.11			
SP-B										
(POI-2+3)	1.2	0.95	94	0.1	3.57	7.27	12.9			

	PROPOSED	CONDITIONS DRAINAGE	SUMMAR	(STUDY P	OINTS)		
STUDY POINT	DRAINAGE AREA (AC)	IMPERVIOUS AREA (AC)	CN	tc (HR)	Q1 (CFS)	Q10 (CFS)	Q100 (CFS)
SP-A							
(POI-1)	0.38	0.35	97	0.10	1.22	2.36	4.10
SP-B							
(POI-2+3)	1.22	0.92	94	0.1	3.62	7.38	13.11

	REDUCED CURV	E NUMBER PROPOSED CO	NDITIONS	DRAINAGE		RY	
STUDY POINT	DRAINAGE AREA (AC)	IMPERVIOUS AREA (AC)	RCN	tc (HR)	Q1 (CFS)	Q10 (CFS)	Q100 (CFS)
SP-B	1.22	0.92	88	0.1	2.81	6.6	12.47

	10	D-YEAR CONTROL	SUMMARY	
STUDY POINT	DRAINAGE AREA (SQMI)	PEAK INFLOW DISCHARGE PROP. Qi (CFS)	PEAK OUTFLOW DISCHARGE EX. Qi (CFS)	REQUIRED DETENTION VOLUME (CF)
SP-B	0.00191	13.11	12.9	3454

C-	MCDONALD'S REBUILD	DRAINAGE ARFA	KHA PROJECT LICENSED PROFESSIONAL 110368028 LICENSED PROFESSIONAL DATE OF MAN DATE OP 100 09/13/19 09/13/19	Kimlev » Horn				
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0	MCDONALD'S CORPORATION	NAPS	ATION CUMEI ED BY I SED IR UNE MARYL	© 2019 KIMLEY-HORN AND ASSOCIATES, INC. 11400 COMMERCE PARK DR SHITE 400 RESTON VA 20181				
			NTS W ME, A DER TH	PHONE: 703-674-1300 FAX: 703-674-1350				
	PRINCE GEORGE'S COUNTY MARYLAND		ERE ND	WWW.KIMLEY-HORN.COM	No.	REVISIONS	DATE B	ВΥ

B.4.C Specifications for Micro-Bioretention. Rain Gardens, Landscape Infiltration & Infiltration Berms

1. Material Specifications

The allowable materials to be used in these practices are detailed in Table B.4.1.

2. Filtering Media or Planting Soil

The soil shall be a uniform mix, free of stones, stumps, roots or other similar objects larger than two inches. No other materials or substances shall be mixed or dumped within the microbioretention practice that may be harmful to plant growth, or prove a hindrance to the planting or maintenance operations. The planting soil shall be free of Bermuda grass, Quackgrass, Johnson grass, or other noxious weeds as specified under COMAR 15.08.01.05.

The planting soil shall be tested and shall meet the following criteria:

- Soil Component Loamy Sand or Sandy Loam (USDA Soil Textural Classification) • Organic Content - Minimum 10% by dry weight (ASTM D 2974). In general, this can be met with a mixture of loamy sand (60%-65%) and compost (35% to 40%) or sandy loam (30%), coarse sand (30%), and compost (40%).
- Clay Content Media shall have a clay content of less than 5%.
- pH Range Should be between 5.5 7.0. Amendments (e.g., lime, iron sulfate plus sulfur) may be mixed into the soil to increase or decrease pH.

There shall be at least one soil test per project. Each test shall consist of both the standard soil test for pH, and additional tests of organic matter, and soluble salts. A textural analysis is required from the site stockpiled topsoil. If topsoil is imported, then a texture analysis shall be performed for each location where the topsoil was excavated.

3. Compaction

It is very important to minimize compaction of both the base of bioretention practices and the required backfill. When possible, use excavation hoes to remove original soil. If practices are

excavated using a loader, the contractor should use wide track or marsh track equipment, or light These practices may not be constructed until all contributing drainage area has been stabilized equipment with turf type tires. Use of equipment with narrow tracks or narrow tires, rubber tires with large lugs, or high-pressure tires will cause excessive compaction resulting in reduced infiltration rates and is not acceptable. Compaction will significantly contribute to design failure.

Compaction can be alleviated at the base of the bioretention facility by using a primary tilling operation such as a chisel plow, ripper, or subsoiler. These tilling operations are to refracture the soil profile through the 12 inch compaction zone. Substitute methods must be approved by the engineer. Rototillers typically do not till deep enough to reduce the effects of compaction from heavy equipment.

Rototill 2 to 3 inches of sand into the base of the bioretention facility before backfilling the optional sand layer. Pump any ponded water before preparing (rototilling) base.

When backfilling the topsoil over the sand layer, first place 3 to 4 inches of topsoil over the sand, then rototill the sand/topsoil to create a gradation zone. Backfill the remainder of the topsoil to final grade.

When backfilling the bioretention facility, place soil in lifts 12" to 18". Do not use heavy equipment within the bioretention basin. Heavy equipment can be used around the perimeter of the basin to supply soils and sand. Grade bioretention materials with light equipment such as a compact loader or a dozer/loader with marsh tracks.

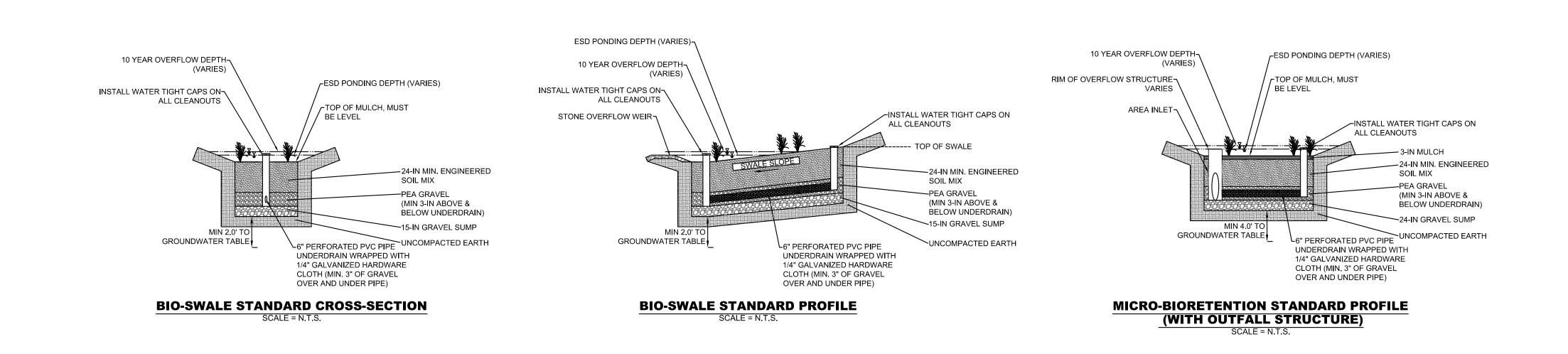
4. Plant Material

Recommended plant material for micro-bioretention practices can be found in Appendix A, Section A.2.3.

5. Plant Installation

Compost is a better organic material source, is less likely to float, and should be placed in the invert and other low areas. Mulch should be placed in surrounding to a uniform thickness of 2" to 3". Shredded or chipped hardwood mulch is the only accepted mulch. Pine mulch and wood chips will float and move to the perimeter of the bioretention area during a storm event and are not acceptable. Shredded mulch must be well aged (6 to 12 months) for acceptance.

Rootstock of the plant material shall be kept moist during transport and on-site storage. The plant root ball should be planted so 1/8th of the ball is above final grade surface. The diameter of the planting pit shall be at least six inches larger than the diameter of the planting ball. Set and maintain the plant straight during the entire planting process. Thoroughly water ground bed cover after installation.



Sand

Trees shall be braced using 2" by 2" stakes only as necessary and for the first growing season only. Stakes are to be equally spaced on the outside of the tree ball.

Grasses and legume seed should be drilled into the soil to a depth of at least one inch. Grass and legume plugs shall be planted following the non-grass ground cover planting specifications.

The topsoil specifications provide enough organic material to adequately supply nutrients from natural cycling. The primary function of the bioretention structure is to improve water quality. Adding fertilizers defeats, or at a minimum, impedes this goal. Only add fertilizer if wood chips or mulch are used to amend the soil. Rototill urea fertilizer at a rate of 2 pounds per 1000 square feet.

6. Underdrains

Underdrains should meet the following criteria:

- Pipe- Should be 4" to 6" diameter, slotted or perforated rigid plastic pipe (ASTMF 758, Type PS 28, or AASHTO-M-278) in a gravel layer. The preferred material is slotted, 4" rigid pipe (e.g., PVC or HDPE).
- Perforations If perforated pipe is used, perforations should be 3/8" diameter located 6" on center with a minimum of four holes per row. Pipe shall be wrapped with a $\frac{1}{4}$ (No. 4 or 4x4) galvanized hardware cloth.
- Gravel The gravel layer (No. 57 stone preferred) shall be at least 3" thick above and below the underdrain.
- The main collector pipe shall be at a minimum 0.5% slope.
- A rigid, non-perforated observation well must be provided (one per every 1,0000 square feet) to provide a clean-out port and monitor performance of the filter.
- A 4" layer of pea gravel (1/8" to 3/8" stone) shall be located between the filter media and underdrain to prevent migration of fines into the underdrain. This layer may be considered part of the filter bed when bed thickness exceeds 24".

The main collector pipe for underdrain systems shall be constructed at a minimum slope of 0.5%. Observation wells and/or clean-out pipes must be provided (one minimum per every 1000 square feet of surface area).

7. Miscellaneous

Table B.4.1 Materials Specifications for Micro-Bioretention, Rain Gardens & Landscape Infiltration-Material Specification Size Notes see Appendix A, Table A.4 n/a plantings are site-specific Plantings Planting soil loamy sand (60 - 65%) & USDA soil types loamy sand or sandy loam; clay content < 5%n/a [2' to 4' deep] compost (35 – 40%) sandy loam (30%), coarse sand (30%) & compost (40%) Min. 10% by dry weight Organic content (ASTM D 2974) shredded hardwood ged 6 months, minimum; no pine or wood chips pea gravel: ASTM-D-448 NO. 8 OR NO. 9 Pea gravel diaphragm (1/8" TO 3/8") Curtain drain ornamental stone: washed stone: 2" to 5" cobbles Geotextile PE Type 1 nonwoven n/a Gravel (underdrains and AASHTO M-43 NO. 57 OR NO. 6 AGGREGATE nfiltration berms) (3/8" to 3/4") Underdrain piping F 758, Type PS 28 or AASHTO 4" to 6" rigid schedule 40 Slotted or perforated pipe; 3/8" perf. @ 6" on center, 4 holes per M-278 PVC or SDR35 row; minimum of 3" of gravel over pipes; not necessary underneath pipes. Perforated pipe shall be wrapped with 1/4-inch galvanized hardware cloth Poured in place concrete (if MSHA Mix No. 3; $f'_{c} = 3500$ n/a on-site testing of poured-in-place concrete required: psi @ 28 days, normal weight, 28 day strength and slump test; all concrete design (cast-in-place required) air-entrained; reinforcing to or pre-cast) not using previously approved State or local meet ASTM-615-60 standards requires design drawings sealed and approved by a professional structural engineer licensed in the State of Maryland design to include meeting ACI Code 350.R/89; vertical loading [H-10 or H-20]; allowable horizontal loading (based on soil pressures); and analysis of potential cracking AASHTO-M-6 or ASTM-C-33 0.02" to 0.04" Sand substitutions such as Diabase and Graystone (AASHTO)

> #10 are not acceptable. No calcium carbonated or dolomitic sand substitutions are acceptable. No "rock dust" can be used for sand.

seal, signature and date.

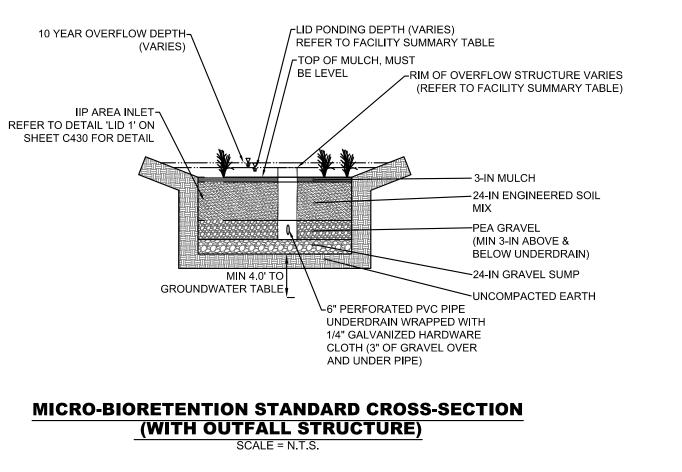
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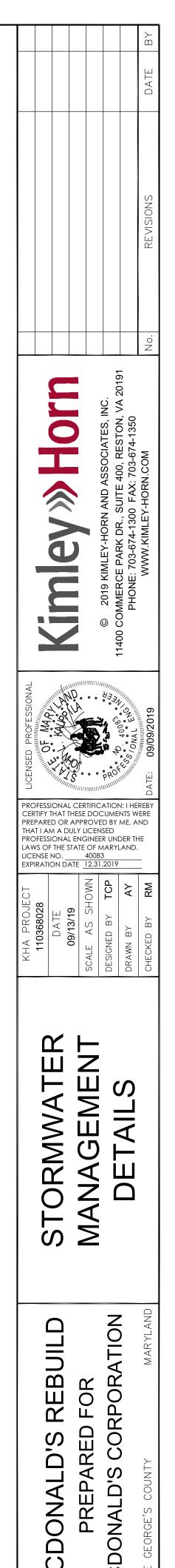
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	STORMWATER MAINTEN MICRO-BIORET	
-	MONTHLY INSPI	ECTION
Inspection Item	Inspection Requirements	Remedial Action
Debris and Trash	Check for trash and debris in facility including inlets, outlets, conveyance systems, and area around facility.	Remove all trash and debris and dispose in an acceptable manner. Unclog all openings.
Plant Composition and Health	Compare plant composition with approved plans. Check for invasive species or weeds. Check for dead or dying vegetation.	Remove invasive species and weeds. Replace dead plants in accordance with approved landscaping plan.
Vegetative Cover	Check for channelizing, erosion, and bare spots. Check for vegetation blocking inlet and outlet.	Remove or cut back vegetation around inlet and outlet structures. Mow side slopes when grass exceeds 12 inches in height, but do not mow filter bed. Remove grass clippings. Re-seed or re-plant in accordance with approved landscaping plans.
Mulch Layer	Check mulch for adequate cover, sediment accumulation, or discoloration.	Replace and remove old mulch and excess sediment. Provide adequate mulch cover according to approved design.
0	SEASONAL INSPECTION AND AI	TER A MAJOR STORM
Inspection Item	Inspection Requirements	Remedial Action
Dewatering	Check ponding level. Surface storage must dewater within 48 hours of rainfall. Noticeable odors, stained water on the filter surface or at the outlet, or the presence of algae or aquatic vegetation are indicators of anaerobic conditions and inadequate dewatering of the facility.	Remove and replace top few inches of media. Confirm adequate dewatering with follow up inspections. If the facility does not function as intended after the above action, the entire system including the underdrain may need refurbishing.
Erosion	Check inlets, filter bed, outlets, and side slopes for erosion, rills, gullies, and runoff channelization.	Re-grading may be required when concentrated flow causes rills or gullying through the facility. Grade, vegetate, and/or armor to provide stable conveyance in accordance with approved plans.
Sediment Accumulation	Check for accumulated sediment in conveyance systems and on filter bed. Check for clogged openings.	When sediment accumulates to 1 inch depth, remove sediment. Remove sediment from clogged openings. Dispose of all sediment in an acceptable location.
Blockages	Check overflow inlet (riser), piping, and underdrain for blockages. Check observation wells for water level.	Clear out any blockages.
	ANNUAL INSPEC	CTION
Inspection Item	Inspection Requirements	Remedial Action
Maintenance Access	Check for accessibility to facility.	Prevent excessive vegetative growth, erosion, and obstructions on access way.
Flow Conveyance System	Check overflow inlet, piping, and bypass for misalignments, breakage, and blockage.	Repair any broken or faulty piping. Clear out any blockages.
Structural Components	Check for evidence of structural deterioration, spalling, or cracking. Inlet and outlet structures as well as riprap outfalls must be in good condition.	Repair to good condition according to specifications on the approved plans.
Overall Function of Facility	Check that practice is functioning as designed.	Repair to good condition according to specifications on the approved plans.





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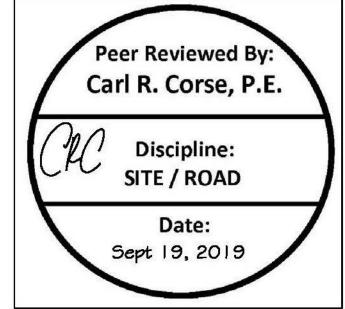
The Department of Permitting, Inspections and Enforcement has completed a w of this document for code co liance As required by State Code th design professional(s) responsible for the preparation and content of this iment must provide a record copy of these documents with their origina Case Name: PEER REVIEW - RANDOLPH VILLAGE_LOT 13_BLOCK 7 Case Number (Plan Approval #): 25146-2019-0 Case Type: PSWM Issuance Date: 10/16/2019 Address: 8710 CENTRAL AVE AVE LANDOVER, Maryland 20785 Lot(s) and Block(s): 4437522071

Prince George's County Maryland

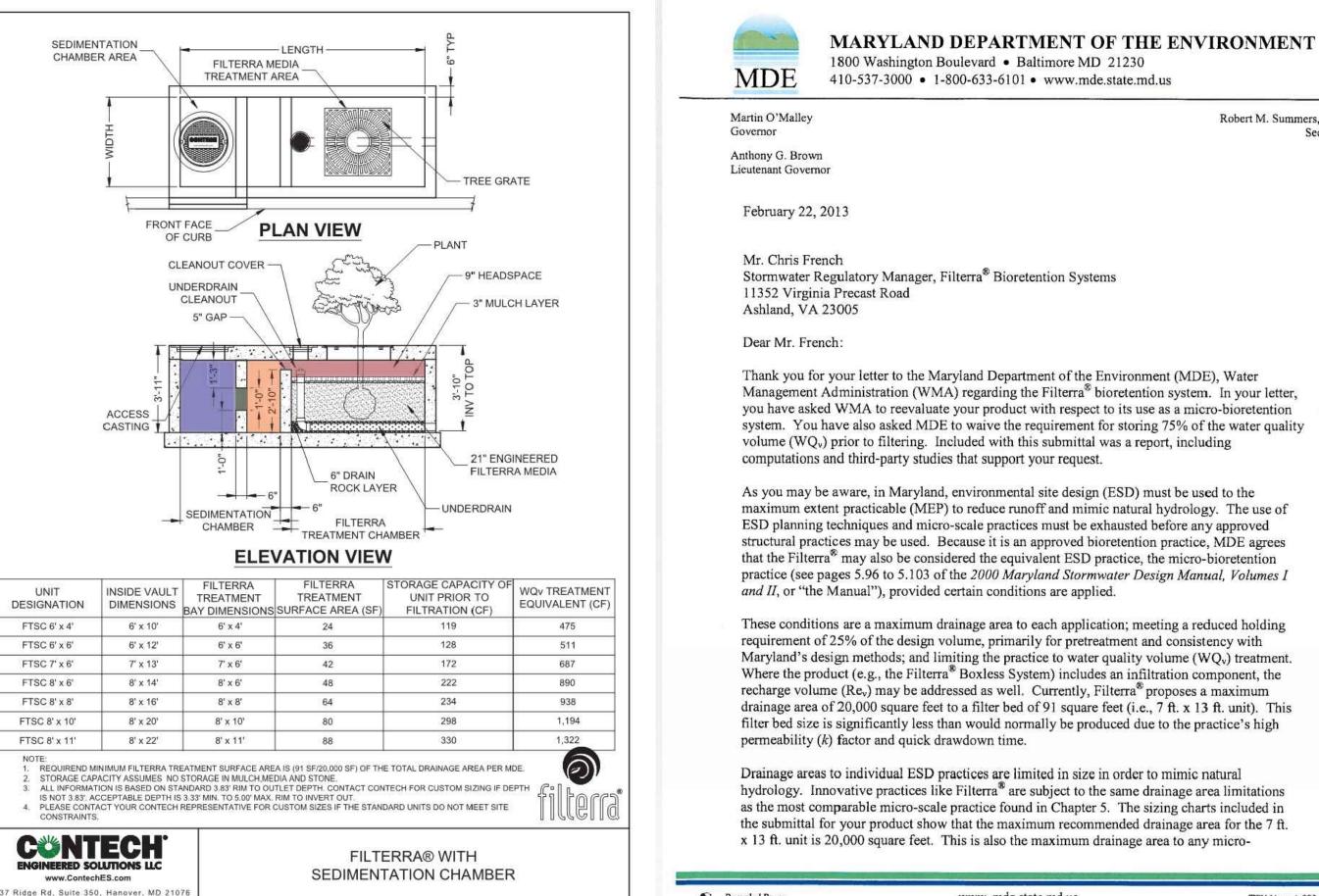
Department of Permitting, Inspections & Enforcement

APPROVED PLAN SET





C NTEC	and nasca siring	oer MDE ESD Approval	filter
Project Name: Site Designation:	McDonald's Relocation Filterra	Date:	8/21/19
County or Independent City:	Prince Georges	Design Engineer:	BAB
State:	MD		
Site Characteristic Input			
Target Rainfall Event, P (inches)		1.00	
Total Drainage Area		0.200	ac
Impervious Area		0.200	ac
Rim to Invert Out Depth (ft)		3.830	ОК
Percent of WQv to be Stored in Filterra		25%	
Volume Computations			
% Impervious, I		100%	
Volumetric Runoff Coefficient, Rv		0.95	
Water Quality Volume, WQv (ac-ft)		0.0158	
Water Quality Volume, WQv (cf)		690	
erra Sizing (Per MDE ESD Approval Letter)			
Minimum Filterra Planted Surface Area (sf)	91/20,000 of the Drainage Area	40	
Minimum WQv Required Storage (cf)	25% of the WQv	172	
Recommended Filterra Size	FTSC Configuration	8' x 6' (8' x 14')	
Filterra Planted Surface Area Provided (sf)		48	
WQv Storage Provided (cf)		222	



ve Inside Rim to Filter Media Sedimentatic Vault Length Inv. Out Surface Area Length (ft) (ft) 0 8x20 8 20 3.83 10 9.5 1' 8x22 8 22 3.83 11 10.5 1. Contech Filterra Sedimentation Chamber model designation, which is based on the filter media length and width Overall internal vault dimensions.
 Internal vault width. Internal vault length. 5. Rim to invert out depth. 6. Length of chamber with filter media (see detail). 7. Length of sedimentation chamber (see detail).
8. Filter media surface area = inside vault width (3) x filter media surface area length (6).
9. Headspace depth = Rin to inv. out (5) - 8" to p slab - 21" media - 3" mulch - 5" underdrain stone to pipe Invert.*
10. Headspace volume = headspace depth (9) x filter media surface area (8) + (6" x 5" x inside vault width (3)) to account for volume in gap above weir wall. Chamber volume 1 = (sedimentation chamber length (7) - 1.5' for chamber 3 - 6' for weir wall) x inside vault width (3) x (rim to invert out (5) + 1" to get to vault invert - 8" top slab).
 Chamber volume 2 = 6" wall width x 1' opening in wall x (inside vault width (3) - 2').
 Chamber volume 3 = 1.5' x (rim to invert out (5) + 1" to get to vault invert - 8" top slab) x inside vault width (3). 14. Storage Capacity of Unit Prior to Filtration = headspace volume (10) + chamber volume 1 (11) + chamber volume 2 (12) + chamber volume 3 (153 15. = WQv Treatment Equivalent = Storage Capacity of Unit Prior to Filtration x 4. ** iores: Calculations shown are for standard depth of 3.83' rim to invert out. For shallow units (3.33' - 3.83') the decrease in depth will be removed from the filter media and the headspace will remain 9". For deep. units (3.83' - 5.00') the depth will be added to the headspace and the media depth will remain 21 ** The Treatment Volume for which the Storage Capacity of the Filterra Unit (16) is 25%.

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ATE:04-06-17

Prince George's County Maryland Department of Permitting, Inspections & Enforcement **APPROVED PLAN SET**

The Department of Permitting, Inspections and Enforcement has completed a review of this document for code compliance. As required by State Code, the design professional(s) responsible for the preparation and content of this document must provide a record copy of these documents with their original seal, signature and date.

Case Name: PEER REVIEW - RANDOLPH VILLAGE_LOT 13_BLOCK 7 Case Number (Plan Approval #): 25146-2019-0 Case Type: PSWM Address: 8710 CENTRAL AVE AVE LANDOVER, Maryland 20785

Lot(s) and Block(s): 4437522071 Reviewed By CC/MT

Approved by:

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DPIE DEPARTMENT OF PERMITTING, INSPECTIONS AND ENFORCEMENT

PRODUCT No.: FTSC DRAWN BY: BAS

	8	9	10	11	12	13	14	15	16
tion ingth	Filter Media Surface Area (sf)	Headspace Depth (ft)	Headspace Volume (cf]	Chamber Volume 1 (cf)	Chamber Volume 2 (cf)	Chamber Volume 3 (cf)	Storage Capacity of Unit Prior to Filtration (cf)	WQv Treatment Equivalent (cf)	Underdrain Pipe Diameter (in)
	24	0.75	19.25	68.18	2.00	29,22	119	475	
	36	0.75	28.25	68.18	2.00	29.22	128	511	13
	42	0.75	32.96	102.27	2.50	34.09	172	687	1
	48	0.75	37.67	142.85	3.00	38.96	222	890	
	64	0.75	49.67	142.85	3.00	38.96	234	938	
-	80	0.75	61.67	194.80	3.00	38.96	298	1194	
	88	0.75	67.67	220.77	3.00	38.96	330	1322	

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Robert M. Summers, Ph.D.

Secretary

Mr. Chris French February 22, 2013 Page 2

bioretention practice listed in Chapter 5 of the Manual (see p. 5.98). MDE sees no reason to alter this condition.

The analyses, computations, and third-party studies submitted in 2006 and with your recent letter support the high k factor used in Filterra[®]'s design. This k factor allows Filterra[®] to be considerably smaller than other filtering practices and may warrant a reduction in the volume of runoff that must be stored prior to filtering. However, the stormwater modeling submitted with your letter does not support a complete waiver of Maryland's volumetric sizing criterion. Flowbased calculations require estimating parameters like the time of concentration to each practice to determine storage requirements. These parameters are subject to a greater degree of statistical uncertainty and result in designs that do not provide adequate treatment. More complex design parameters do not necessarily translate into improved performance. In contrast, sizing stormwater practices using a volume-based requirement, which is more accurate, is a simpler and more effective approach. Therefore, the Filterra® system must capture and treat a percentage of the WQ_v. However, considering the Filterra^{∞} media's higher k factor, MDE will reduce the percentage of runoff that must be stored prior to filtering from 75% to 25% of the design volume (e.g., WQ_v).

In new development designs, Rev must be distributed across a project as much as practical to mimic natural conditions. Some variants of the Filterra[®] system (the FocalPoint[®] or boxless system) address the recharge requirement while others (e.g., the standard Filterra® system) do not. Variants that do not provide recharge may be used as part of a systems approach provided that recharge requirements are addressed by the system.

To protect stream channels from erosion, ESD and structural practices must be used to capture, store, and gradually release the Cp_v over an extended interval (e.g., 24 to 36 hours) as determined by the methods found in Appendix D.11 of the Manual. Practices that release runoff over shorter periods of time may not be used for addressing the Cp_v requirement. According to the submitted report and computations, the Filterra® system has an estimated drawdown time between 15 to 18 minutes (0.25 to 0.30 hours). This is significantly less than that required to address Cpv requirements. Therefore, the Filterra[®] system does not meet the Cpv requirements and may not be used as a stand-alone ESD practice. However, practices that do not meet Cpv requirements may be used provided they are part of a system of practices that captures, stores, and slowly releases the required volume of runoff at rates meeting the channel protection flow criteria.

In summary, MDE approves the Filterra[®] system as a filtering device that can be used for any redevelopment, retrofitting, or infill application provided it is accepted locally. Additionally, for new development applications, the Filterra[®] system is approved as an ESD practice for providing water quality treatment and, where the appropriate variant is used, groundwater recharge. This approval is conditioned on limiting the drainage area to 20,000 sq. ft. to a

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Mr. Chris French February 22, 2013 Page 3

standard 7 ft x 13 ft. unit; sizing the system to capture and store 25% of the design volume (e.g., WQ_v); and meeting applicable filtering design criteria in the Manual for feasibility, conveyance, and maintenance. Because it does not address Cp_v, the Filterra[®] may not be used as a standalone ESD practice. However, it may be used as part of a system of practices that, as a whole, addresses all of the ESD requirements.

We will remain open to entertaining any future design changes if sufficiently justified. For now, if you have any questions or would like to discuss this further, please call me at (410) 537-3554 or contact Mr. Stewart Comstock at (410) 537-3550 or scomstock@mde.state.md.us.

Sincerely, Brian S. Clevenger

Program Manager Sediment, Stormwater & Dam Safety Program

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Contech Engineered Solutions LL 605 Global Way, Suite 113 Linthicum, MD 21090 Phone: (866)740-3318



Summary of Filterra® Sizing and Configuration 2013 MDE Approval for ESD (first 1" Only) and WQv Applications

The Filterra® high-flow bioretention system technology was approved by the MDE in February of 2013 for use as an ESD practice (first 1" only) and as a structural WQv practice. Outlined below are detailed descriptions of the two separate sizing and design requirements for the system as stated in the approval letter. Copies of the approval documentation issued by the MDE and diagrams of the standard offline Filterra® and Sedimentation Chamber Filterra® (including surface area and volume capacity data) are available upon request.

I. The surface area of the Filterra® system (the planted area) must be no less than the ratio of 91 / 20,000 of the total contributing drainage area. This derives from the example proportion given in the approval letter stating that a 7'x13' Filterra[®] unit (with 91 square feet of planted surface area) would size to a 20,000 square foot drainage area. This is analogous to the drainage area to surface area proportion methods for bioretention found in the MDE Stormwater Manual Chapter 5. The drainage area is the total area draining to the system, not only the impervious.

This drainage area proportion is based upon the rapid infiltration rate of the system (140" per hour) which allows for the 1" runoff volume to pass through the system immediately upon running off the paved surface draining to the Filterra®. SWMM modeling and routing computations upon which the drainage area proportion was based are available upon request.

II. The entire system, including pretreatment, must provide storage for 25% of the 1" (water quality) volume prior to filtration. This is analogous to the sizing technique for media filters found in the MDE Stormwater Manual Chapter 3. Techniques for providing storage include providing a forebay as part of the Filterra® prefabricated tank (referred to as the Filterra® Sedimentation Chamber configuration) which can be provided with a weep hole dewatering feature, providing interception and storage in a upstream surface swale, and providing interception and storage using upstream permeable pavement. The storage can be dry, wet, or any combination thereof.

Note: a system meeting both of the above sizing and design criteria will provide credit for the entire P=1" volume. Adjustments should be made accordingly to the tabulation of the corresponding WQv or ESDv volumes for the overall site.

The Filterra® system provides water quality control only. Any required REv or CPv (e.g. the remaining ESDv) must be provided using other practices used in conjunction with the Filterra®. An example would be providing a downstream surface swale sized for the difference between the total ESDv and the WQv to collect the bypass from the Filterra® structure.

Regardless of configuration, arrangement, and incorporation of upstream storage, the Filterra® system always requires a bypass to provide overflow relief for runoff volumes greater than the 1".







Discipline: SITE / ROAD Date: Sept 19, 2019

				DATE BY
				REVISIONS
				No.
	Kimlev » Horn		© 2019 KIMLEY-HORN AND ASSOCIATES, INC. 11400 COMMERCE PARK DR., SUITE 400, RESTON, VA 20191	PHONE: 703-674-1300 FAX: 703-674-1350 WWW.KIMLEY-HORN.COM
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KHA	011	SCALE	DESIGNED BY	CHECKED BY
	STORMWATER	MANAGEMENT		
	STORM	MANAG	Ц С	7 7

SHEET 7 OF 7

SITE DEVELOPMENT CONCEPT PLAN **SDCP# 25146-2019 MCDONALD'S REBUILD 8710 CENTRAL AVE** LANDOVER, MD 20785

GENERAL NOTES	GEN	ERAL	NOTES
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- MCDONALD'S REBUILD PROJECT NAME 2. SITE ADDRESS: 8710 CENTRAL AVENUE
 - LANDOVER, MD 20785 2070019
- ACCOUNT ID: 04826 / 00942 DEED BOOK & PAGE:
- TAX MAP & GRID: 67. C4
- SUBDIVISION & BLOCK: 4140, 7 EXISTING ZONING: M-U-I (MIXED USE - INFILL), ENTIRE SITE (1.17 AC)
- PROPOSED USE OF PROPERTY: EATING OR DRINKING ESTABLISHMENT W/ DRIVE THROUGH PROPOSED BUILDING DATA:
- ONE 4,540 SQUARE FEET COMMERCIAL BUILDING
- 10. GROSS FLOOR AREA OF EXISTING AND PROPOSED:
 - PROPOSED: 4,540 SF. COMMERCIAL BUILDING
- EXISTING: 4,362 SF. COMMERCIAL BUILDING
- 11. SITE AREA: 1.17 AC / 51,096 SF 12. PROPOSED AREA OF DISTURBANCE: 1.22 AC / 53,143 SF
- 13. 200 FOOT MAP REFERENCE NUMBER (WSSC): 201NE08
- 14. THE SITE IS NOT LOCATED WITHIN AN AVIATION POLICY AREA (APA)
- 15. EXISTING WATER/SEWER CATEGORY DESIGNATION: W-1 AND S-1
- 16. PROPOSED WATER AND SEWER CATEGORY: W-1 AND S-1
- 17. STORM WATER MANAGEMENT CONCEPT NUMBER: #25146-2019
- 18 EASEMENTS: THERE IS AN EXISTING, PERMANENT STATE HIGHWAY ADMINISTRATION (MDOT) LAND ACQUISITION ALONG THE SOUTH FRONTAGE OF THE PROJECT SITE
- 19. MANDATORY PARK DEDICATION: NONE
- THERE ARE NO KNOWN CEMETERIES TO EXIST ON SITE 20. THERE ARE NO KNOWN HISTORIC RESOURCES TO EXIST ON SITE
- 21. 22. STREAMS AND WETLANDS: NO
- 23. 100 YEAR FLOODPLAIN: NO, FEMA MAP#24033C0165E EFFECTIVE 09.16.2016
- 24. CHESAPEAKE BAY CRITICAL AREA OVERLAY: NO
- 25. EXISTING CONDITIONS, SURFACE FEATURES, AND PROPERTY BOUNDARY INFORMATION SHOWN ON
- PLAN PROVIDED BY MCILVRIED, DIDIANO, & MOX, LLC, DATED 11/01/2018. 26. THIS PLAN IS FOR ENTITLEMENT PURPOSES ONLY AND SHALL NOT BE UTILIZED FOR CONSTRUCTION.

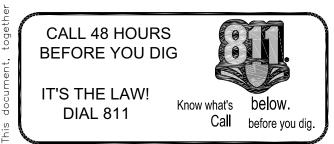
SITE STATISTICS	
	TOTAL
GROSS TRACT AREA	1.17 AC
EXISTING 100-YEAR FLOODPLAIN	0.00 AC
NET TRACT AREA	1.17 AC
EXISTING WOODLAND IN THE FLOODPLAIN	N/A
EXISTING WOODLAND NET TRACT	N/A
EXISTING WOODLAND TOTAL	N/A
EXISTING PMA	N/A
REGULATED STREAMS LINEAR FEET OF CENTERLINE	0 Ft
RIPARIAN (WOODED) BUFFER UP TO 300 FEET WIDE	N/A

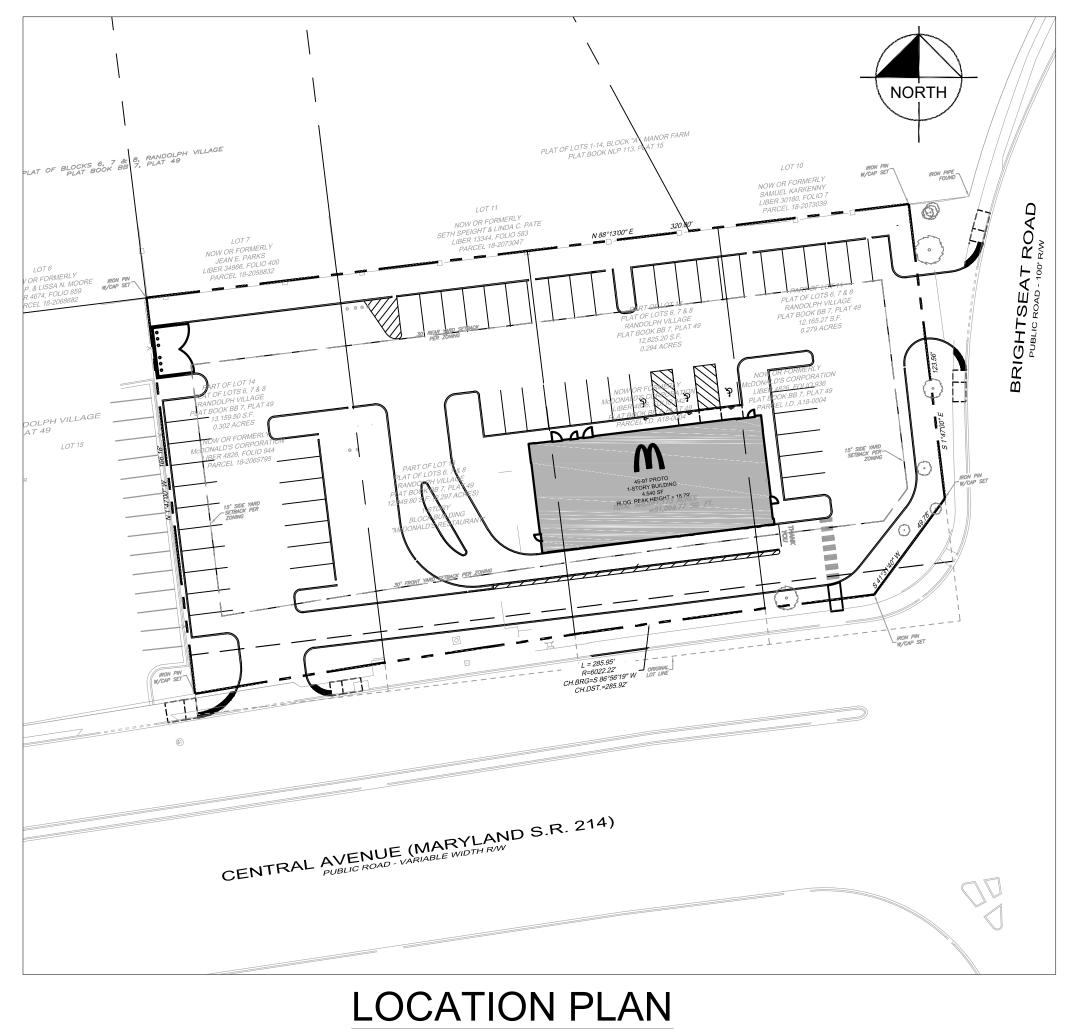
Project Name	: McDonald	s Landover			Concept No.:	25146-2019-0		Permit No.:						Total Site Acreage:	1.173	
						CONSTRUCTION	DRAINAGE	TOTAL	NEW	EXISTING	PERCENT		TARGET PE	TARGET VOL	DESIGN VOL USING	DESIGN VOL US
POI	LABEL	NAME	MD NORTH	MD EAST	LAND USE			IMPERVIOUS	IMPERVIOUS	IMPERVIOUS		Rv			ESD PRACTICES	STRUCTURA
						PURPOSE	AREA (AC)	AREA (AC)	AREA (AC)	AREA (AC)	IMPERVIOUS		(IN)	(FT^3)	(FT^3)	PRACTICES (C
DA-3.1	SWM-1	Bio-Swale	445990.21	1353900.53	Commercial	SWM Treatment	0.43	0.34	0.34	0.00	79%	0.76	1	928	1612	0
DA-2.1	SWM-2	Micro-Bio	445856.29	1353702.34	Commercial	SWM Treatment	0.25	0.18	0.18	0.00	71%	0.69	1	451	943	0
DA-1.1	SWM-3	Micro-Bio	445897.15	1353697.31	Commercial	SWM Treatment	0.25	0.21	0.21	0.00	84%	0.81	1	619	741	0
DA-2.3	SWM-4	Filterra (8'x14')	445923.41	1353927.99	Commercial	SWM Treatment	0.27	0.16	0.16	0.00	62%	0.61	1	362 *	0	222
													(redevelopment)			

*TARGET VOLUME FOR SWM-4 SHOWN PER MDE REQUIREMENTS FOR TYPICAL MICRO-BIORETENTIONS. PER MDE APPROVAL LETTER TO FILTERRA (DATED 02/22/2013), MINIMUM REQUIRED STORAGE IS 172 CF. SEE SHEET C-501 FOR MORE INFORMATION.

PROPERTY OWNER

MCDONALD'S CORPORATION ATTN: JOSEPH CURTO 6903 ROCKLEDGE DR., SUITE 1100 BETHESDA, MD 20817 TEL: (540)-426-9807 EMAIL: JOSEPH.CUROT@US.MCD.COM





SCALE: 1" = 40'

BMP SUMMARY TABLE

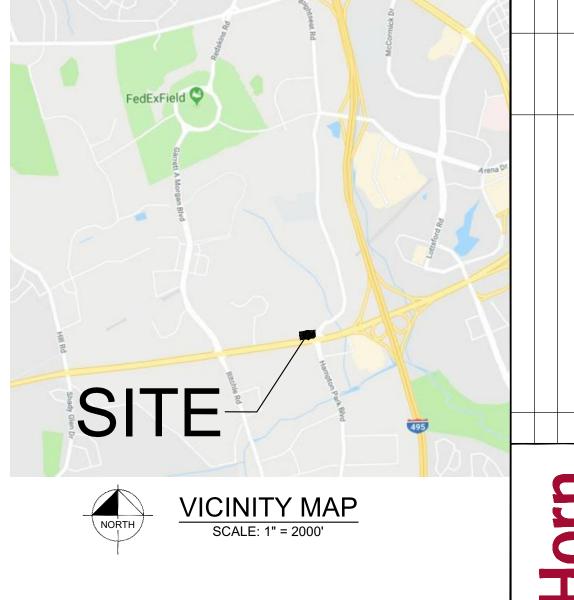
APPLICANT

SEVAN SOLUTIONS ATTN: JOHN EIDBERGER 3025 HIGHLAND PKWY, SUITE 850 DOWNERS GROVE, IL 60515 TEL: (312)-756-7778 EMAIL: JOHN.EIDBERGER@SEVANSOLUTIONS.COM

CIVIL ENGINEER/LANDSCAPE ARCHITECT

KIMLEY-HORN AND ASSOCIATES, INC. ATTN: TESSA PHILLIPS 11400 COMMERCE PARK DRIVE, SUITE 400 RESTON, VA 20191 TEL: (202)-919-3985 EMAIL: TESSA.PHILLIPS@KIMLEY-HORNDC.COM





	Sheet List Table	
SHEET	SHEET TITLE	SHEET NUMBER
1	COVER SHEET	C-000
2	EXISTING CONDITIONS	C-100
3	SITE DEVELOPMENT CONCEPT PLAN	C-200
4	SIGHT DISTANCE PLAN	C-210
5	DRAINAGE AREA MAPS	C-300
6	STORMWATER MANAGEMENT DETAILS	C-500
7	STORMWATER MANAGEMENT DETAILS	C-501

Stormwa	ter Management S	ummary				
	Required	Provided				
ESDv (cf)	3238	3518				
Rev (cf)	842 1268					
CPv (cf)	CPv is met with ESD to the ME					
Qp10	Qp10 is met wit method to SP					
Qp100	ESD volume and supplementary underground detention provided.					

	ARTMENT OF PERMITTING, INSPECTIONS AND ENFORCEMENT (DPIE) PRINCE GEORGE'S COUNTY, MARYLAND
	PEER REVIEW APPROVAL STAMP
Revie in de the c	eted participation in DPIE's Peer V Program. I have reviewed these plans tail and they are in conformance with bunty's Code, General Specifications tandards."
	AL DATE: / Sept 19, 2019
	EVIEWER: Call Com
PEER I	Tall man

ING L F)	MAX ESD VOL (ESDmax) (CF)	RCN	ON_OFF_SITE
	3298	94	On-Site
	1773	93	On-Site
	2055	95	On-Site
	1641	91	On-Site

Prince George's County Maryland
Department of Permitting, Inspections & Enforceme
APPROVED PLAN SET

The Department of Permitting, Inspections and Enforcement has completed a review of this document for code compliance. As required by State Code, the design professional(s) responsible for the preparation and content of this document must provide a record copy of these documents with their original seal circumstume and determine the seal circumstance. seal, signature and date.

Case Name: PEER REVIEW - RANDOLPH VILLAGE_LOT 13_BLOCK 7 Case Number (Plan Approval #): 25146-2019-0 Case Type: PSWM Issuance Date: 10/16/2019 Address: 8710 CENTRAL AVE AVE LANDOVER, Maryland 20785 Lot(s) and Block(s): 4437522071

Reviewed By CC/MT

Approved by:

m

Rey De Guzman



							. REV
							No.
						PLACE COMMERCE FARM DR., SUITE 400, RESTON, VA 20131 PHONE: 703-674-1300 FAX: 703-674-1350	WWW.KIMLEY-HORN.COM
LICENSED PROFESSIONAL	The DE MARINE	A CONT - A CONT		•••			DATE: 09/09/2019
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KHA PROJECT	110368028	DATE	09/13/19	SCALE AS SHOWN	DESIGNED BY	DRAWN BY	СНЕСКЕД ВҮ

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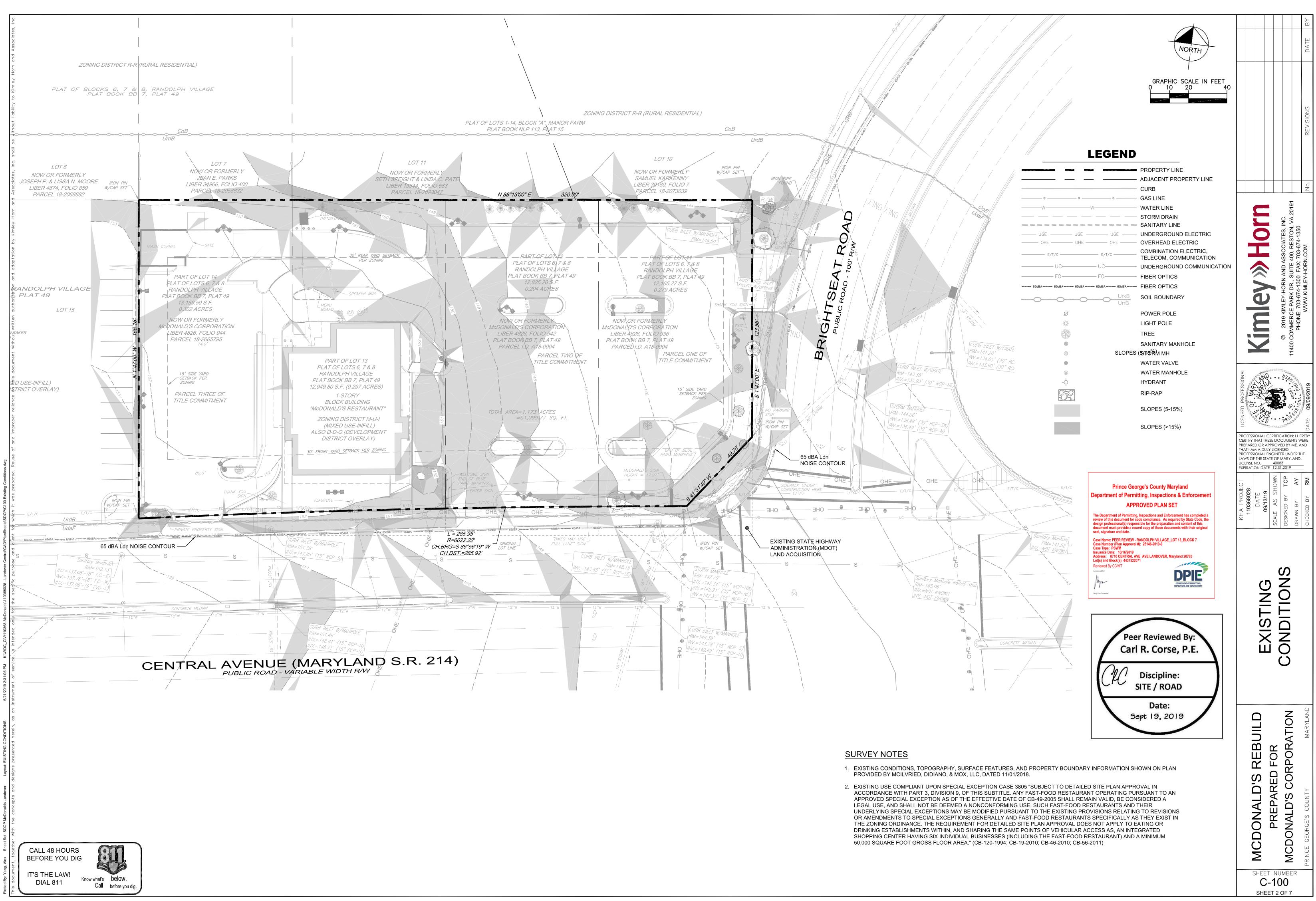
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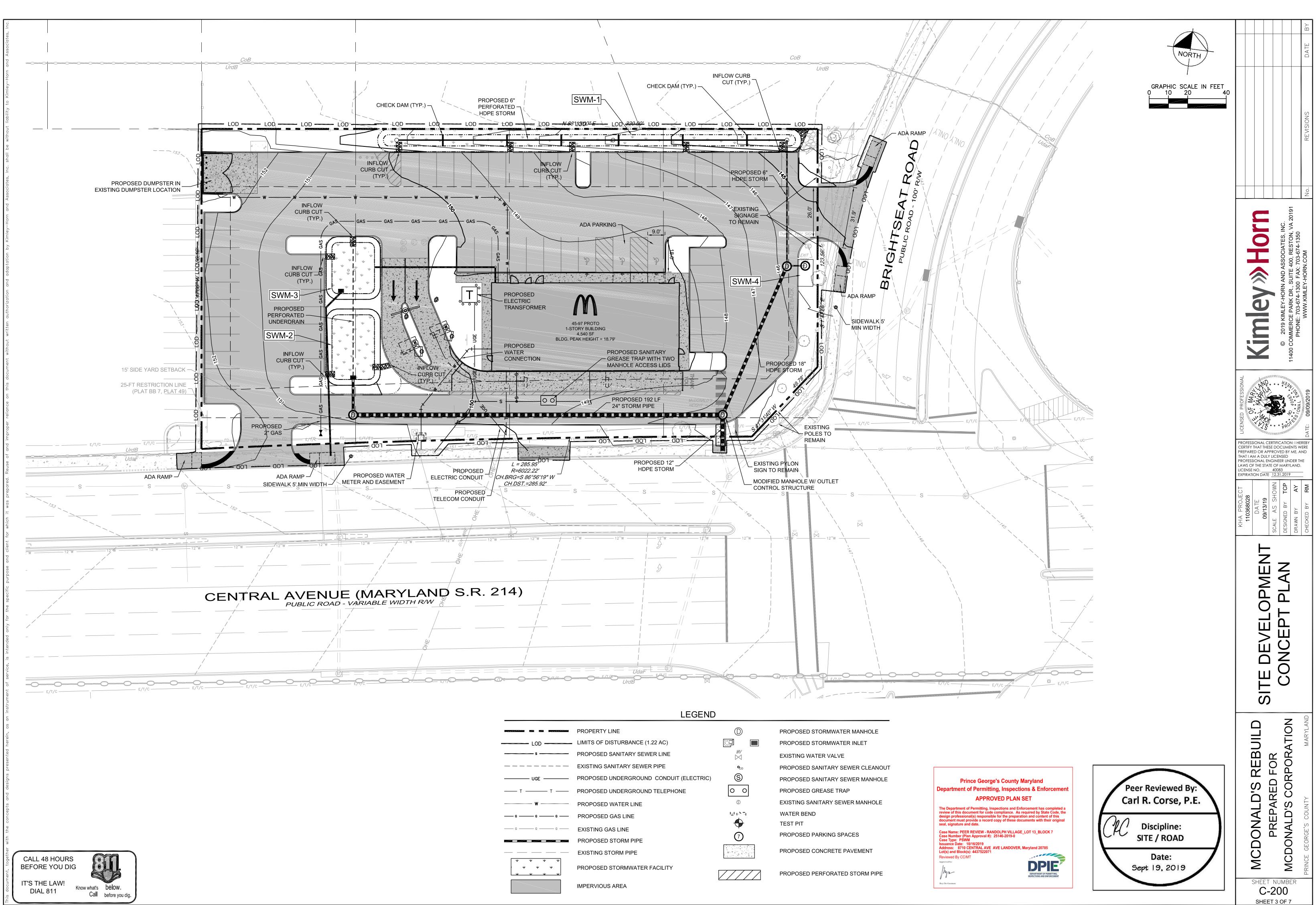
SHEET 1 OF 7

CORPORATION

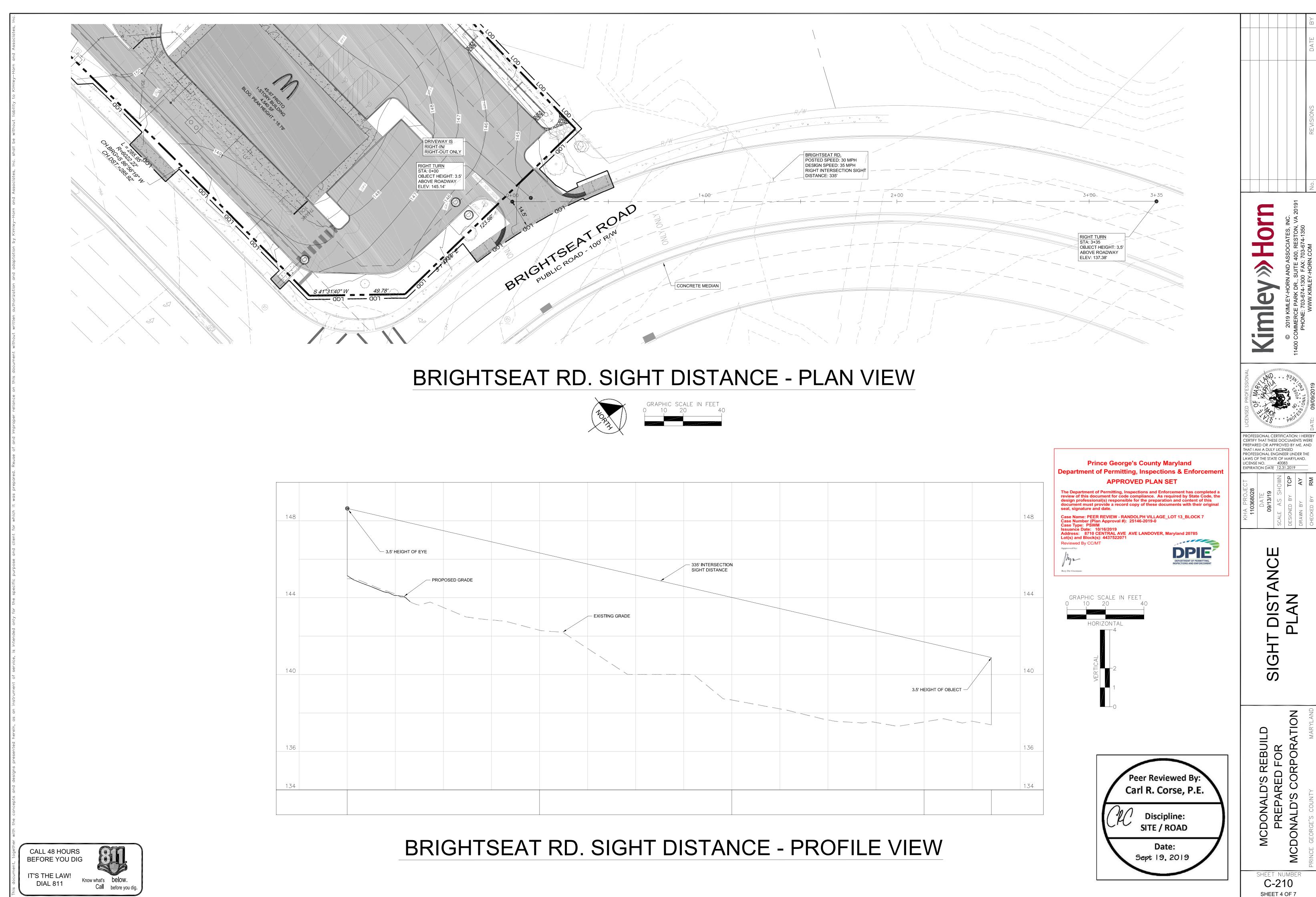
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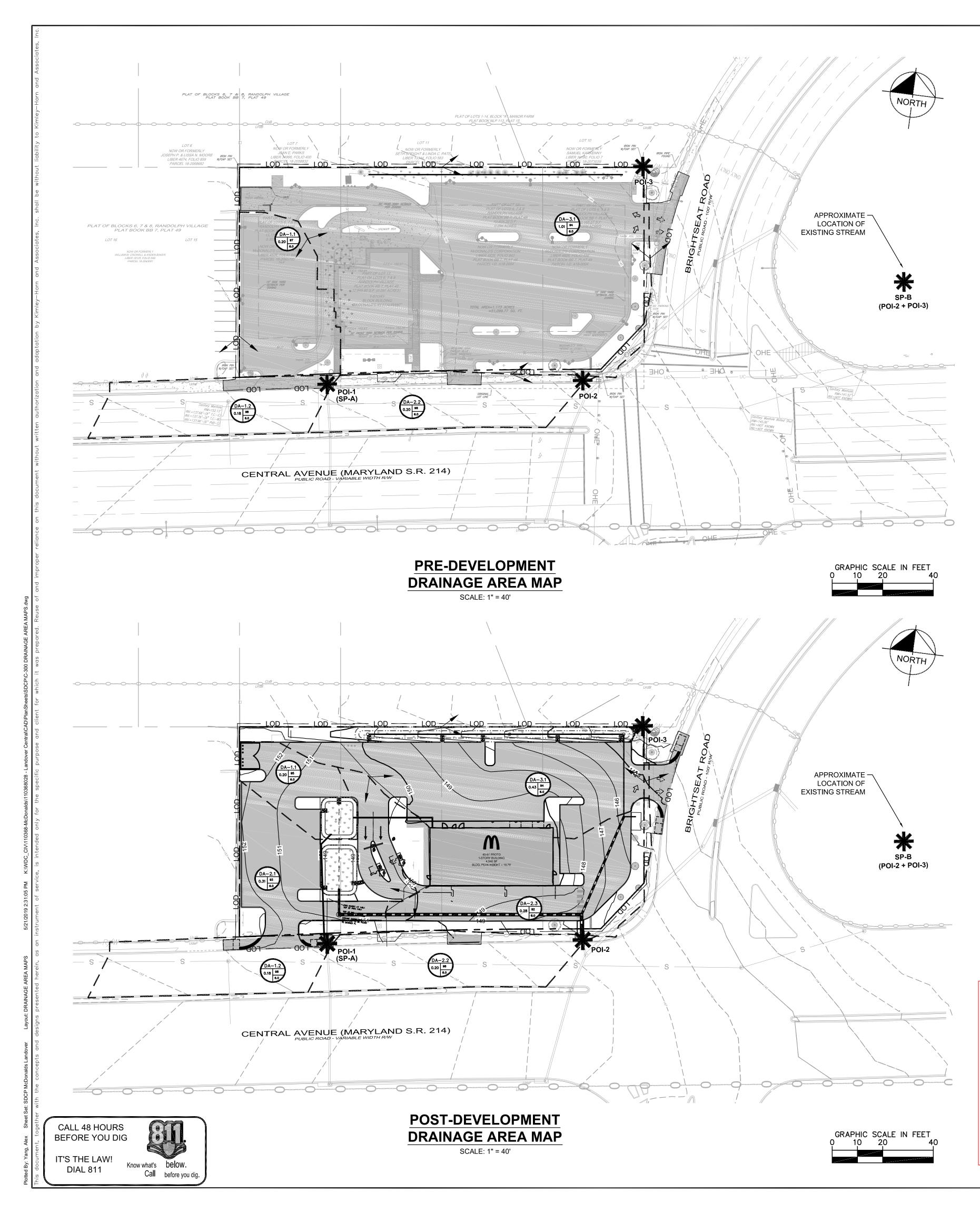
MCDONALD





	PROPERTY LINE	\square	PROPOSED STORMWATER MANHOLE
LOD	LIMITS OF DISTURBANCE (1.22 AC)		PROPOSED STORMWATER INLET
S	PROPOSED SANITARY SEWER LINE	\bowtie	EXISTING WATER VALVE
	EXISTING SANITARY SEWER PIPE	o _{co}	PROPOSED SANITARY SEWER CLEANOUT
UGE	PROPOSED UNDERGROUND CONDUIT (ELECTRIC)	S	PROPOSED SANITARY SEWER MANHOLE
— T T	PROPOSED UNDERGROUND TELEPHONE	0 0	PROPOSED GREASE TRAP
w	PROPOSED WATER LINE	S	EXISTING SANITARY SEWER MANHOLE
G G G	PROPOSED GAS LINE	너 다 수	WATER BEND
G G G	EXISTING GAS LINE		TEST PIT
	PROPOSED STORM PIPE	(7)	PROPOSED PARKING SPACES
	EXISTING STORM PIPE		PROPOSED CONCRETE PAVEMENT
$\begin{array}{cccc} \psi & \psi & \psi & \psi \\ \psi & \psi & \psi & \psi \\ \psi & \psi &$	PROPOSED STORMWATER FACILITY		PROPOSED PERFORATED STORM PIPE
	IMPERVIOUS AREA		





NOTES

- 1. IN THE PRE-DEVELOPMENT CONDITION, THE SITE SHEET FLOWS TO ADJACENT ROADS. POINT OF INTEREST (POI) 1 DESCRIBES STORM WATER RUNOFF TO THE SOUTH OF THE PROJECT SITE INTO AN EXISTING INLET IN CENTRAL AVENUE. POI 2 IS ALSO AN INLET IN CENTRAL AVENUE THAT CAPTURES RUNOFF FROM CENTRAL AVENUE, BUT NO ON-SITE RUNOFF IN EXISTING CONDITIONS. POI 3 DESCRIBES STORM WATER RUNOFF TO THE NORTHEAST OF THE PROJECT SITE ONTO EXISTING RIP-RAP AND EVENTUALLY INTO THE BRIGHTSEAT ROADWAY. POI-2 AND POI-3 BOTH CONVERGE IN AN EXISTING STREAM LOCATED TO THE EAST OF BRIGHTSEAT ROAD, IDENTIFIED AS STUDY POINT (SP) SP-B.
- 2. FROM PRE- TO POST-DEVELOPMENT, THE MOST SIGNIFICANT CHANGE IS THE ADOPTION OF STORM WATER BMPS TO CAPTURE AND TREAT STORM WATER RUNOFF PRIOR TO OUTFALLING INTO THE EXISTING STORM WATER INFRASTRUCTURE. STORM DRAINAGE IS CAPTURED INTO PROPOSED BIO-SWALES, MICRO-BIORETENTION FACILITIES OR STRUCTURAL SWM FACILITIES IN THE PROPOSED ON-SITE PARKING LOT, PRIOR TO CONNECTING TO POIS DESCRIBED IN NOTE #1.
- 3. UNDERGROUND DETENTION FACILITIES ARE PROPOSED UNDER THE PARKING LOT FOR THE 100-YEAR STORM EVENT IN THE FORM OF UNDERGROUND STORAGE PIPES. DESIGN DETAILS WILL BE PROVIDED IN THE NEXT DESIGN STAGE SUBMITTAL FOR THE STORAGE CHAMBERS AND OUTLET CONTROL STRUCTURE.
- 4. TIME OF CONCENTRATION IS ASSUMED TO BE 6 MINUTES FOR ALL DRAINAGE AREAS IN PRE AND POST-DEVELOPMENT CONDITIONS.
- 5. ACCORDING TO USDA WEB SOIL SURVEY, ALL ON-SITE SOILS ARE HYDROLOGIC SOIL GROUP D, UrdB - URBAN LAND-COLLINGTON-WIST COMPLEX, 0 TO 5 PERCENT SLOPES.

Prince George's County Maryland **Department of Permitting, Inspections & Enforcement** APPROVED PLAN SET

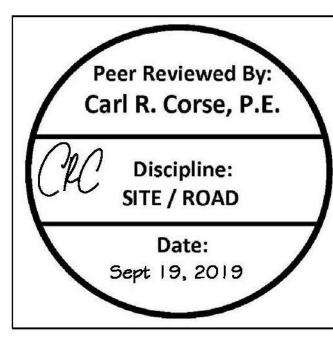
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- Lot(s) and Block(s): 4437522071 Reviewed By CC/MT





		n I
LEG	END	
	PROPERTY LINE	
LOD	LIMITS OF DISTURBANCE (1.22 AC)	
	DRAINAGE AREA DIVIDE	
DA	DA = DRAINAGE AREA LABEL A = AREA (ACRES)	
A C TC	C = C FACTOR TC = TIME OF CONCENTRATION (MINUTES)	
×	DRAINAGE AREA POINT OF ANALYSIS (POA)	
	IMPERVIOUS COVER	



	EXISTING CONDITIONS DRAINAGE SUMMARY								
STUDY POINT	DRAINAGE AREA (AC)	IMPERVIOUS AREA (AC)	CN	tc (HR)	Q1 (CFS)	Q10 (CFS)	Q100 (CFS)		
DA-1.1	0.20	0.19	97	0.1	0.64	1.24	2.16		
DA-1.2	0.18	0.18	98	0.1	0.59	1.13	1.95		
POI-1	0.38	0.37	98	0.1	1.25	2.38	4.11		
DA-2.1	N/A	N/A	N/A	N/A	0	0	0		
DA-2.2	0.2	0.2	98	0.1	0.66	1.25	2.16		
DA-2.3	N/A	N/A	N/A	N/A	0	0	0		
POI-2	0.2	0.2	98	0.1	0.66	1.25	2.16		
DA-3.1	1.01	0.75	94	0.1	2.96	6.03	10.71		
POI-3	1.01	0.75	94	0.1	2.96	6.03	10.71		

	PROPOSED CONDITIONS DRAINAGE SUMMARY								
STUDY POINT	DRAINAGE AREA (AC)	IMPERVIOUS AREA (AC)	CN	tc (HR)	Q1 (CFS)	Q10 (CFS)	Q100 (CFS)		
DA-1.1	0.2	0.17	95	0.1	0.61	1.21	2.14		
DA-1.2	0.18	0.18	98	0.1	0.59	1.13	1.95		
POI-1	0.38	0.35	97	0.1	1.22	2.36	4.10		
DA-2.1	0.31	0.23	93	0.1	0.88	1.83	3.27		
DA-2.2	0.2	0.2	98	0.1	0.66	1.25	2.16		
DA-2.3	0.28	0.16	92	0.1	0.69	1.46	2.64		
POI-2	0.79	0.59	93	0.1	2.25	4.68	8.39		
DA-3.1	0.43	0.33	94	0.1	1.27	2.59	4.6		
POI-3	0.43	0.33	94	0.1	1.27	2.59	4.6		

	EXISTING CONDITIONS DRAINAGE SUMMARY (STUDY POINTS)								
STUDY POINT	DRAINAGE AREA (AC)	IMPERVIOUS AREA (AC)	CN	tc (HR)	Q1 (CFS)	Q10 (CFS)	Q100 (CFS)		
SP-A									
(POI-1)	0.38	0.37	98	0.10	1.25	2.38	4.11		
SP-B									
(POI-2+3)	1.2	0.95	94	0.1	3.57	7.27	12.9		

	PROPOSED CONDITIONS DRAINAGE SUMMARY (STUDY POINTS)								
STUDY POINT	DRAINAGE AREA (AC)	IMPERVIOUS AREA (AC)	CN	tc (HR)	Q1 (CFS)	Q10 (CFS)	Q100 (CFS)		
SP-A									
(POI-1)	0.38	0.35	97	0.10	1.22	2.36	4.10		
SP-B									
(POI-2+3)	1.22	0.92	94	0.1	3.62	7.38	13.11		

	REDUCED CURVE NUMBER PROPOSED CONDITIONS DRAINAGE SUMMARY							
STUDY POINT	DRAINAGE AREA (AC)	IMPERVIOUS AREA (AC)	RCN	tc (HR)	Q1 (CFS)	Q10 (CFS)	Q100 (CFS)	
SP-B	1.22	0.92	88	0.1	2.81	6.6	12.47	

100-YEAR CONTROL SUMMARY								
STUDY POINT	DRAINAGE AREA (SQMI)	PEAK INFLOW DISCHARGE PROP. Qi (CFS)	PEAK OUTFLOW DISCHARGE EX. Qi (CFS)	REQUIRED DETENTION VOLUME (CF)				
SP-B	0.00191	13.11	12.9	3454				

C	MCDONALD'S REBUILD	DRAINAGE ARFA	KHA PROJECT 110368028 DATE DATE 09/13/19 DO/13/19	Kimlev » Horn				
- NU -30 ет 5 с	PREPARED FOR		ESE DOC PPROVE Y LICEN NGINEE ATE OF N 40083 E 12.31					
0	MCDONALD'S CORPORATION	NAFS	ATION CUMEN D BY I SED R UNE MARYL	© 2019 KIMLEY-HORN AND ASSOCIATES, INC. 11400 COMMERCE PARK DR SLITE 400 RESTON VA 20191				
_17			NTS W ME, A DER TH	PHONE: 703-674-1300 FAX: 703-674-1350				
	PRINCE GEORGE'S COUNTY MARYLAND		ERE ND	WWWW.KIMLEY-HORN.COM	No.	REVISIONS	DATE B	ВΥ

B.4.C Specifications for Micro-Bioretention. Rain Gardens, Landscape Infiltration & Infiltration Berms

1. Material Specifications

The allowable materials to be used in these practices are detailed in Table B.4.1.

2. Filtering Media or Planting Soil

The soil shall be a uniform mix, free of stones, stumps, roots or other similar objects larger than two inches. No other materials or substances shall be mixed or dumped within the microbioretention practice that may be harmful to plant growth, or prove a hindrance to the planting or maintenance operations. The planting soil shall be free of Bermuda grass, Quackgrass, Johnson grass, or other noxious weeds as specified under COMAR 15.08.01.05.

The planting soil shall be tested and shall meet the following criteria:

- Soil Component Loamy Sand or Sandy Loam (USDA Soil Textural Classification) • Organic Content - Minimum 10% by dry weight (ASTM D 2974). In general, this can be met with a mixture of loamy sand (60%-65%) and compost (35% to 40%) or sandy loam (30%), coarse sand (30%), and compost (40%).
- Clay Content Media shall have a clay content of less than 5%.
- pH Range Should be between 5.5 7.0. Amendments (e.g., lime, iron sulfate plus sulfur) may be mixed into the soil to increase or decrease pH.

There shall be at least one soil test per project. Each test shall consist of both the standard soil test for pH, and additional tests of organic matter, and soluble salts. A textural analysis is required from the site stockpiled topsoil. If topsoil is imported, then a texture analysis shall be performed for each location where the topsoil was excavated.

3. Compaction

It is very important to minimize compaction of both the base of bioretention practices and the required backfill. When possible, use excavation hoes to remove original soil. If practices are

excavated using a loader, the contractor should use wide track or marsh track equipment, or light These practices may not be constructed until all contributing drainage area has been stabilized equipment with turf type tires. Use of equipment with narrow tracks or narrow tires, rubber tires with large lugs, or high-pressure tires will cause excessive compaction resulting in reduced infiltration rates and is not acceptable. Compaction will significantly contribute to design failure.

Compaction can be alleviated at the base of the bioretention facility by using a primary tilling operation such as a chisel plow, ripper, or subsoiler. These tilling operations are to refracture the soil profile through the 12 inch compaction zone. Substitute methods must be approved by the engineer. Rototillers typically do not till deep enough to reduce the effects of compaction from heavy equipment.

Rototill 2 to 3 inches of sand into the base of the bioretention facility before backfilling the optional sand layer. Pump any ponded water before preparing (rototilling) base.

When backfilling the topsoil over the sand layer, first place 3 to 4 inches of topsoil over the sand, then rototill the sand/topsoil to create a gradation zone. Backfill the remainder of the topsoil to final grade.

When backfilling the bioretention facility, place soil in lifts 12" to 18". Do not use heavy equipment within the bioretention basin. Heavy equipment can be used around the perimeter of the basin to supply soils and sand. Grade bioretention materials with light equipment such as a compact loader or a dozer/loader with marsh tracks.

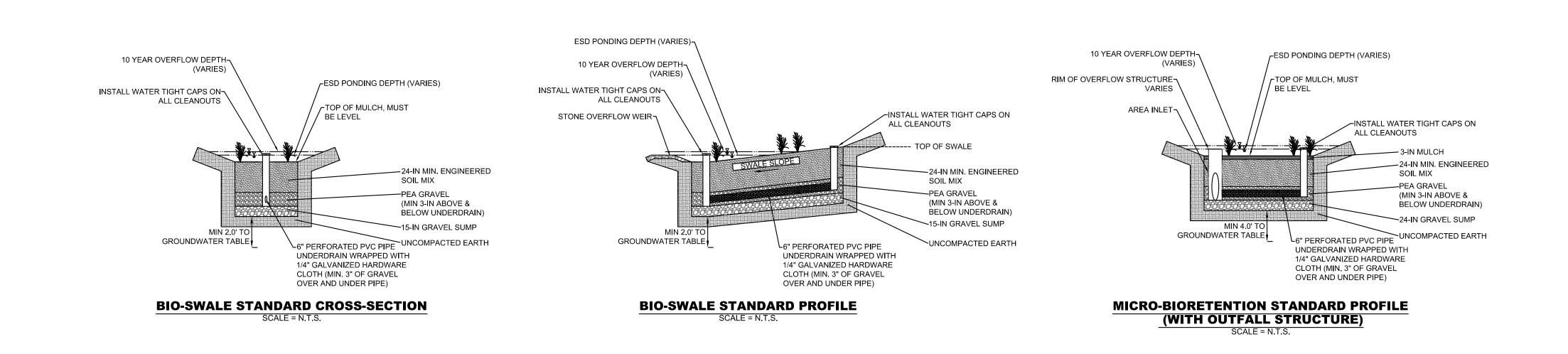
4. Plant Material

Recommended plant material for micro-bioretention practices can be found in Appendix A, Section A.2.3.

5. Plant Installation

Compost is a better organic material source, is less likely to float, and should be placed in the invert and other low areas. Mulch should be placed in surrounding to a uniform thickness of 2" to 3". Shredded or chipped hardwood mulch is the only accepted mulch. Pine mulch and wood chips will float and move to the perimeter of the bioretention area during a storm event and are not acceptable. Shredded mulch must be well aged (6 to 12 months) for acceptance.

Rootstock of the plant material shall be kept moist during transport and on-site storage. The plant root ball should be planted so 1/8th of the ball is above final grade surface. The diameter of the planting pit shall be at least six inches larger than the diameter of the planting ball. Set and maintain the plant straight during the entire planting process. Thoroughly water ground bed cover after installation.



Sand

Trees shall be braced using 2" by 2" stakes only as necessary and for the first growing season only. Stakes are to be equally spaced on the outside of the tree ball.

Grasses and legume seed should be drilled into the soil to a depth of at least one inch. Grass and legume plugs shall be planted following the non-grass ground cover planting specifications.

The topsoil specifications provide enough organic material to adequately supply nutrients from natural cycling. The primary function of the bioretention structure is to improve water quality. Adding fertilizers defeats, or at a minimum, impedes this goal. Only add fertilizer if wood chips or mulch are used to amend the soil. Rototill urea fertilizer at a rate of 2 pounds per 1000 square feet.

6. Underdrains

Underdrains should meet the following criteria:

- Pipe- Should be 4" to 6" diameter, slotted or perforated rigid plastic pipe (ASTMF 758, Type PS 28, or AASHTO-M-278) in a gravel layer. The preferred material is slotted, 4" rigid pipe (e.g., PVC or HDPE).
- Perforations If perforated pipe is used, perforations should be 3/8" diameter located 6" on center with a minimum of four holes per row. Pipe shall be wrapped with a $\frac{1}{4}$ (No. 4 or 4x4) galvanized hardware cloth.
- Gravel The gravel layer (No. 57 stone preferred) shall be at least 3" thick above and below the underdrain.
- The main collector pipe shall be at a minimum 0.5% slope.
- A rigid, non-perforated observation well must be provided (one per every 1,0000 square feet) to provide a clean-out port and monitor performance of the filter.
- A 4" layer of pea gravel (1/8" to 3/8" stone) shall be located between the filter media and underdrain to prevent migration of fines into the underdrain. This layer may be considered part of the filter bed when bed thickness exceeds 24".

The main collector pipe for underdrain systems shall be constructed at a minimum slope of 0.5%. Observation wells and/or clean-out pipes must be provided (one minimum per every 1000 square feet of surface area).

7. Miscellaneous

Table B.4.1 Materials Specifications for Micro-Bioretention, Rain Gardens & Landscape Infiltration-Material Specification Size Notes see Appendix A, Table A.4 n/a plantings are site-specific Plantings Planting soil loamy sand (60 - 65%) & USDA soil types loamy sand or sandy loam; clay content < 5%n/a [2' to 4' deep] compost (35 – 40%) sandy loam (30%), coarse sand (30%) & compost (40%) Min. 10% by dry weight Organic content (ASTM D 2974) shredded hardwood ged 6 months, minimum; no pine or wood chips pea gravel: ASTM-D-448 NO. 8 OR NO. 9 Pea gravel diaphragm (1/8" TO 3/8") Curtain drain ornamental stone: washed stone: 2" to 5" cobbles Geotextile PE Type 1 nonwoven n/a Gravel (underdrains and AASHTO M-43 NO. 57 OR NO. 6 AGGREGATE nfiltration berms) (3/8" to 3/4") Underdrain piping F 758, Type PS 28 or AASHTO 4" to 6" rigid schedule 40 Slotted or perforated pipe; 3/8" perf. @ 6" on center, 4 holes per M-278 PVC or SDR35 row; minimum of 3" of gravel over pipes; not necessary underneath pipes. Perforated pipe shall be wrapped with 1/4-inch galvanized hardware cloth Poured in place concrete (if MSHA Mix No. 3; $f'_{c} = 3500$ n/a on-site testing of poured-in-place concrete required: psi @ 28 days, normal weight, 28 day strength and slump test; all concrete design (cast-in-place required) air-entrained; reinforcing to or pre-cast) not using previously approved State or local meet ASTM-615-60 standards requires design drawings sealed and approved by a professional structural engineer licensed in the State of Maryland design to include meeting ACI Code 350.R/89; vertical loading [H-10 or H-20]; allowable horizontal loading (based on soil pressures); and analysis of potential cracking AASHTO-M-6 or ASTM-C-33 0.02" to 0.04" Sand substitutions such as Diabase and Graystone (AASHTO)

> #10 are not acceptable. No calcium carbonated or dolomitic sand substitutions are acceptable. No "rock dust" can be used for sand.

seal, signature and date.

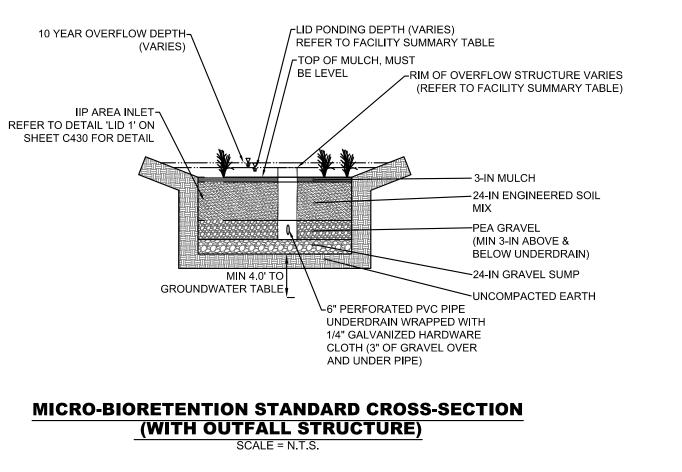
Reviewed By CC/MT

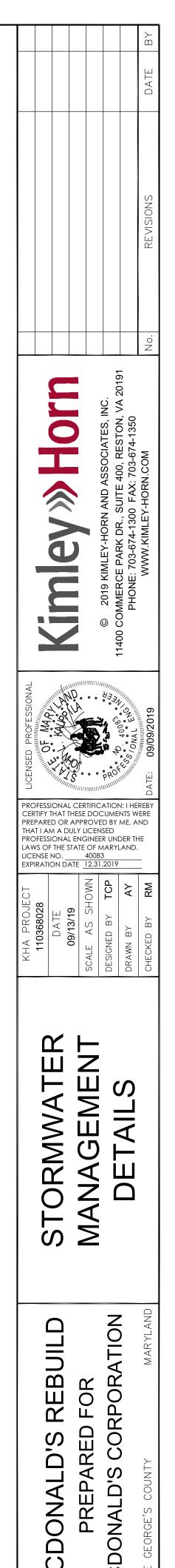
Approved by:

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Rey De Guzma

	STORMWATER MAINTEN MICRO-BIORET	
-	MONTHLY INSPI	ECTION
Inspection Item	Inspection Requirements	Remedial Action
Debris and Trash	Check for trash and debris in facility including inlets, outlets, conveyance systems, and area around facility.	Remove all trash and debris and dispose in an acceptable manner. Unclog all openings.
Plant Composition and Health	Compare plant composition with approved plans. Check for invasive species or weeds. Check for dead or dying vegetation.	Remove invasive species and weeds. Replace dead plants in accordance with approved landscaping plan.
Vegetative Cover	Check for channelizing, erosion, and bare spots. Check for vegetation blocking inlet and outlet.	Remove or cut back vegetation around inlet and outlet structures. Mow side slopes when grass exceeds 12 inches in height, but do not mow filter bed. Remove grass clippings. Re-seed or re-plant in accordance with approved landscaping plans.
Mulch Layer	Check mulch for adequate cover, sediment accumulation, or discoloration.	Replace and remove old mulch and excess sediment. Provide adequate mulch cover according to approved design.
0	SEASONAL INSPECTION AND AI	TER A MAJOR STORM
Inspection Item	Inspection Requirements	Remedial Action
Dewatering	Check ponding level. Surface storage must dewater within 48 hours of rainfall. Noticeable odors, stained water on the filter surface or at the outlet, or the presence of algae or aquatic vegetation are indicators of anaerobic conditions and inadequate dewatering of the facility.	Remove and replace top few inches of media. Confirm adequate dewatering with follow up inspections. If the facility does not function as intended after the above action, the entire system including the underdrain may need refurbishing.
Erosion	Check inlets, filter bed, outlets, and side slopes for erosion, rills, gullies, and runoff channelization.	Re-grading may be required when concentrated flow causes rills or gullying through the facility. Grade, vegetate, and/or armor to provide stable conveyance in accordance with approved plans.
Sediment Accumulation	Check for accumulated sediment in conveyance systems and on filter bed. Check for clogged openings.	When sediment accumulates to 1 inch depth, remove sediment. Remove sediment from clogged openings. Dispose of all sediment in an acceptable location.
Blockages	Check overflow inlet (riser), piping, and underdrain for blockages. Check observation wells for water level.	Clear out any blockages.
	ANNUAL INSPEC	CTION
Inspection Item	Inspection Requirements	Remedial Action
Maintenance Access	Check for accessibility to facility.	Prevent excessive vegetative growth, erosion, and obstructions on access way.
Flow Conveyance System	Check overflow inlet, piping, and bypass for misalignments, breakage, and blockage.	Repair any broken or faulty piping. Clear out any blockages.
Structural Components	Check for evidence of structural deterioration, spalling, or cracking. Inlet and outlet structures as well as riprap outfalls must be in good condition.	Repair to good condition according to specifications on the approved plans.
Overall Function of Facility	Check that practice is functioning as designed.	Repair to good condition according to specifications on the approved plans.





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SHEET NUMBER C-500

SHEET 6 OF 7

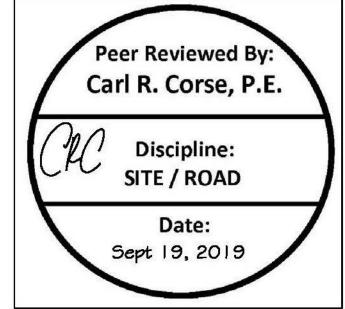
The Department of Permitting, Inspections and Enforcement has completed a w of this document for code co liance As required by State Code th design professional(s) responsible for the preparation and content of this iment must provide a record copy of these documents with their origina Case Name: PEER REVIEW - RANDOLPH VILLAGE_LOT 13_BLOCK 7 Case Number (Plan Approval #): 25146-2019-0 Case Type: PSWM Issuance Date: 10/16/2019 Address: 8710 CENTRAL AVE AVE LANDOVER, Maryland 20785 Lot(s) and Block(s): 4437522071

Prince George's County Maryland

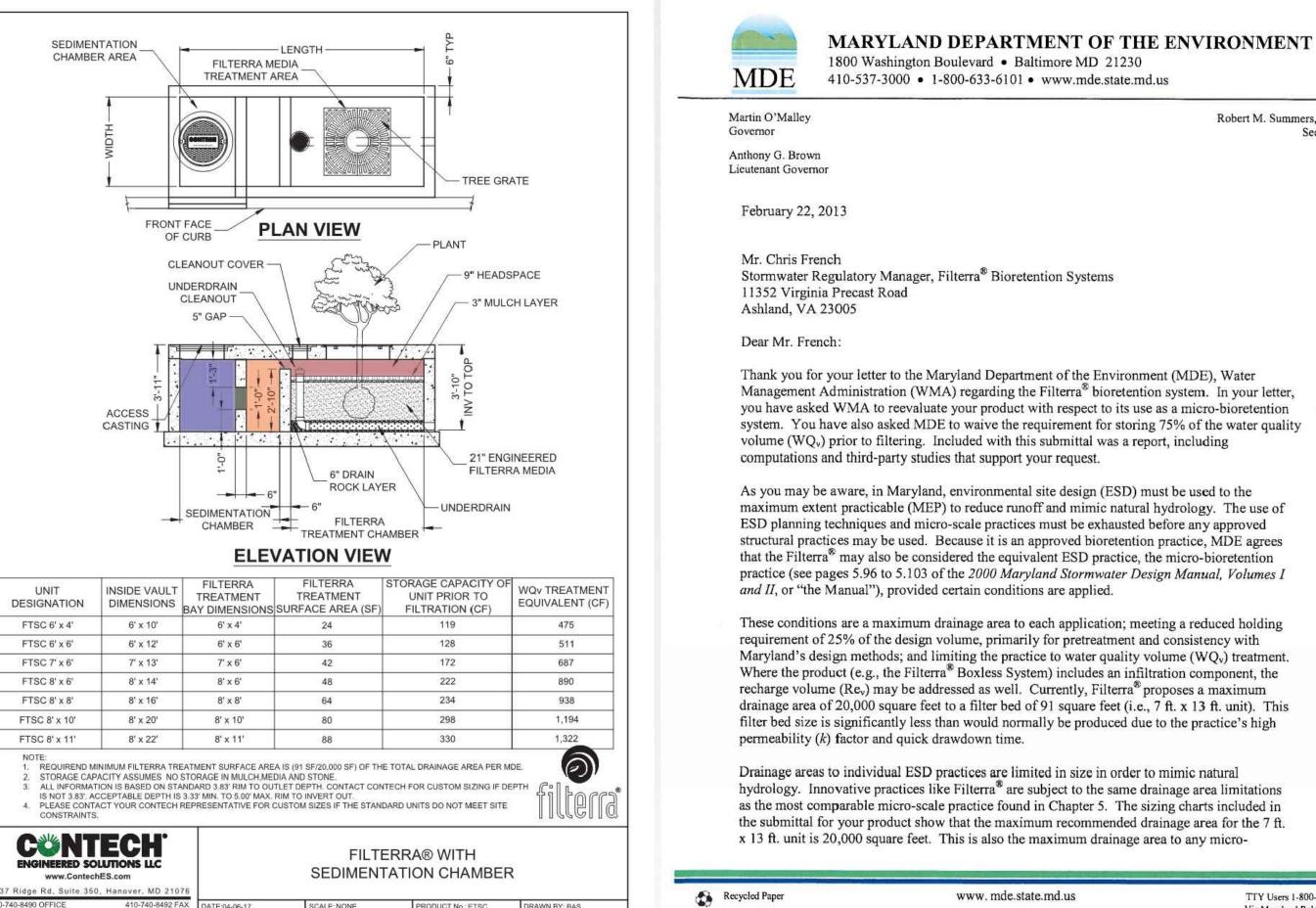
Department of Permitting, Inspections & Enforcement

APPROVED PLAN SET





C NTEC	and nasca siring	oer MDE ESD Approval	filter
Project Name: Site Designation:	McDonald's Relocation Filterra	Date:	8/21/19
County or Independent City:	Prince Georges	Design Engineer:	BAB
State:	MD		
Site Characteristic Input			
Target Rainfall Event, P (inches)		1.00	
Total Drainage Area		0.200	ac
Impervious Area		0.200	ac
Rim to Invert Out Depth (ft)		3.830	ОК
Percent of WQv to be Stored in Filterra		25%	
Volume Computations			
% Impervious, I		100%	
Volumetric Runoff Coefficient, Rv		0.95	
Water Quality Volume, WQv (ac-ft)		0.0158	
Water Quality Volume, WQv (cf)		690	
erra Sizing (Per MDE ESD Approval Letter)			
Minimum Filterra Planted Surface Area (sf)	91/20,000 of the Drainage Area	40	
Minimum WQv Required Storage (cf)	25% of the WQv	172	
Recommended Filterra Size	FTSC Configuration	8' x 6' (8' x 14')	
Filterra Planted Surface Area Provided (sf)		48	
WQv Storage Provided (cf)		222	



ve Inside Rim to Filter Media Sedimentatu Vault Inv. Out Surface Area Chamber Leng (ft) (ft) 0 8x20 8 20 3.83 10 9.5 1' 8x22 8 22 3.83 11 10.5 1. Contech Filterra Sedimentation Chamber model designation, which is based on the filter media length and width Overall internal vault dimensions.
 Internal vault width. Internal vault length. 5. Rim to invert out depth. 6. Length of chamber with filter media (see detail). 7. Length of sedimentation chamber (see detail).
8. Filter media surface area = inside vault width (3) x filter media surface area length (6).
9. Headspace depth = Rin to inv. out (5) - 8" to p slab - 21" media - 3" mulch - 5" underdrain stone to pipe Invert.*
10. Headspace volume = headspace depth (9) x filter media surface area (8) + (6" x 5" x inside vault width (3)) to account for volume in gap above weir wall. Chamber volume 1 = (sedimentation chamber length (7) - 1.5' for chamber 3 - 6' for weir wall) x inside vault width (3) x (rim to invert out (5) + 1" to get to vault invert - 8" top slab).
 Chamber volume 2 = 6" wall width x 1' opening in wall x (inside vault width (3) - 2').
 Chamber volume 3 = 1.5' x (rim to invert out (5) + 1" to get to vault invert - 8" top slab) x inside vault width (3). 14. Storage Capacity of Unit Prior to Filtration = headspace volume (10) + chamber volume 1 (11) + chamber volume 2 (12) + chamber volume 3 (153 15. = WQv Treatment Equivalent = Storage Capacity of Unit Prior to Filtration x 4. ** iores: Calculations shown are for standard depth of 3.83' rim to invert out. For shallow units (3.33' - 3.83') the decrease in depth will be removed from the filter media and the headspace will remain 9". For deep units (3.83' - 5.00') the depth will be added to the headspace and the media depth will remain 21 ** The Treatment Volume for which the Storage Capacity of the Filterra Unit (16) is 25%.

-8490 OFFICE

410-740-8492 F/

ATE:04-06-17

Prince George's County Maryland Department of Permitting, Inspections & Enforcement **APPROVED PLAN SET**

Approved by:

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The Department of Permitting, Inspections and Enforcement has completed a review of this document for code compliance. As required by State Code, the design professional(s) responsible for the preparation and content of this document must provide a record copy of these documents with their original seal, signature and date.

Case Name: PEER REVIEW - RANDOLPH VILLAGE_LOT 13_BLOCK 7 Case Number (Plan Approval #): 25146-2019-0 Case Type: PSWM Address: 8710 CENTRAL AVE AVE LANDOVER, Maryland 20785

Lot(s) and Block(s): 4437522071 Reviewed By CC/MT

DPIE DEPARTMENT OF PERMITTING, INSPECTIONS AND ENFORCEMENT

PRODUCT No.: FTSC DRAWN BY: BAS

	8	9	10	11	12	13	14	15	16
ation ength	Filter Media Surface Area (sf)	Headspace Depth (ft)	Headspace Volume (cf)	Chamber Volume 1 (cf)	Chamber Volume 2 (cl)	Chamber Volume 3 (cf)	Storage Capacity of Unit Prior to Filtration (cf)	WQv Treatment Equivalent (cf)	Underdrain Pipe Diameter (in)
-	24	0.75	19.25	68.18	2.00	29,22	119	475	
2	36	0.75	28.25	68.18	2.00	29.22	128	511	10
	42	0.75	32.96	102.27	2.50	34.09	172	687	(4
	48	0.75	37.67	142.85	3.00	38.96	222	890	
	64	0.75	49.67	142.85	3.00	38.96	234	938	1
	80	0.75	61.67	194.80	3.00	38.96	298	1194	
	88	0.75	67.67	220.77	3.00	38.96	330	1322	1

SCALE: NONE

Mr. Chris French February 22, 2013 Page 2

bioretention practice listed in Chapter 5 of the Manual (see p. 5.98). MDE sees no reason to alter this condition.

www.mde.state.md.us

The analyses, computations, and third-party studies submitted in 2006 and with your recent letter support the high k factor used in Filterra[®]'s design. This k factor allows Filterra[®] to be considerably smaller than other filtering practices and may warrant a reduction in the volume of runoff that must be stored prior to filtering. However, the stormwater modeling submitted with your letter does not support a complete waiver of Maryland's volumetric sizing criterion. Flowbased calculations require estimating parameters like the time of concentration to each practice to determine storage requirements. These parameters are subject to a greater degree of statistical uncertainty and result in designs that do not provide adequate treatment. More complex design parameters do not necessarily translate into improved performance. In contrast, sizing stormwater practices using a volume-based requirement, which is more accurate, is a simpler and more effective approach. Therefore, the Filterra® system must capture and treat a percentage of the WQ_v. However, considering the Filterra^{∞} media's higher k factor, MDE will reduce the percentage of runoff that must be stored prior to filtering from 75% to 25% of the design volume (e.g., WQ_v).

In new development designs, Rev must be distributed across a project as much as practical to mimic natural conditions. Some variants of the Filterra[®] system (the FocalPoint[®] or boxless system) address the recharge requirement while others (e.g., the standard Filterra® system) do not. Variants that do not provide recharge may be used as part of a systems approach provided that recharge requirements are addressed by the system.

To protect stream channels from erosion, ESD and structural practices must be used to capture, store, and gradually release the Cp_v over an extended interval (e.g., 24 to 36 hours) as determined by the methods found in Appendix D.11 of the Manual. Practices that release runoff over shorter periods of time may not be used for addressing the Cp_v requirement. According to the submitted report and computations, the Filterra® system has an estimated drawdown time between 15 to 18 minutes (0.25 to 0.30 hours). This is significantly less than that required to address Cpv requirements. Therefore, the Filterra[®] system does not meet the Cpv requirements and may not be used as a stand-alone ESD practice. However, practices that do not meet Cpv requirements may be used provided they are part of a system of practices that captures, stores, and slowly releases the required volume of runoff at rates meeting the channel protection flow criteria.

In summary, MDE approves the Filterra[®] system as a filtering device that can be used for any redevelopment, retrofitting, or infill application provided it is accepted locally. Additionally, for new development applications, the Filterra[®] system is approved as an ESD practice for providing water quality treatment and, where the appropriate variant is used, groundwater recharge. This approval is conditioned on limiting the drainage area to 20,000 sq. ft. to a

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Mr. Chris French February 22, 2013 Page 3

Robert M. Summers, Ph.D.

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Via Maryland Relay Service

Secretary

standard 7 ft x 13 ft. unit; sizing the system to capture and store 25% of the design volume (e.g., WQ_v); and meeting applicable filtering design criteria in the Manual for feasibility, conveyance, and maintenance. Because it does not address Cp_v, the Filterra[®] may not be used as a standalone ESD practice. However, it may be used as part of a system of practices that, as a whole, addresses all of the ESD requirements.

We will remain open to entertaining any future design changes if sufficiently justified. For now, if you have any questions or would like to discuss this further, please call me at (410) 537-3554 or contact Mr. Stewart Comstock at (410) 537-3550 or scomstock@mde.state.md.us.

Sincerely, Brian S. Clevenger

Program Manager Sediment, Stormwater & Dam Safety Program

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URBANGREEN"

Contech Engineered Solutions LL 605 Global Way, Suite 113 Linthicum, MD 21090 Phone: (866)740-3318



Summary of Filterra® Sizing and Configuration 2013 MDE Approval for ESD (first 1" Only) and WQv Applications

The Filterra® high-flow bioretention system technology was approved by the MDE in February of 2013 for use as an ESD practice (first 1" only) and as a structural WQv practice. Outlined below are detailed descriptions of the two separate sizing and design requirements for the system as stated in the approval letter. Copies of the approval documentation issued by the MDE and diagrams of the standard offline Filterra® and Sedimentation Chamber Filterra® (including surface area and volume capacity data) are available upon request.

I. The surface area of the Filterra® system (the planted area) must be no less than the ratio of 91 / 20,000 of the total contributing drainage area. This derives from the example proportion given in the approval letter stating that a 7'x13' Filterra[®] unit (with 91 square feet of planted surface area) would size to a 20,000 square foot drainage area. This is analogous to the drainage area to surface area proportion methods for bioretention found in the MDE Stormwater Manual Chapter 5. The drainage area is the total area draining to the system, not only the impervious.

This drainage area proportion is based upon the rapid infiltration rate of the system (140" per hour) which allows for the 1" runoff volume to pass through the system immediately upon running off the paved surface draining to the Filterra®. SWMM modeling and routing computations upon which the drainage area proportion was based are available upon request.

II. The entire system, including pretreatment, must provide storage for 25% of the 1" (water quality) volume prior to filtration. This is analogous to the sizing technique for media filters found in the MDE Stormwater Manual Chapter 3. Techniques for providing storage include providing a forebay as part of the Filterra® prefabricated tank (referred to as the Filterra® Sedimentation Chamber configuration) which can be provided with a weep hole dewatering feature, providing interception and storage in a upstream surface swale, and providing interception and storage using upstream permeable pavement. The storage can be dry, wet, or any combination thereof.

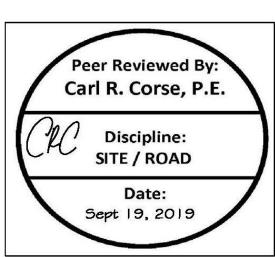
Note: a system meeting both of the above sizing and design criteria will provide credit for the entire P=1" volume. Adjustments should be made accordingly to the tabulation of the corresponding WQv or ESDv volumes for the overall site.

The Filterra® system provides water quality control only. Any required REv or CPv (e.g. the remaining ESDv) must be provided using other practices used in conjunction with the Filterra®. An example would be providing a downstream surface swale sized for the difference between the total ESDv and the WQv to collect the bypass from the Filterra® structure.

Regardless of configuration, arrangement, and incorporation of upstream storage, the Filterra® system always requires a bypass to provide overflow relief for runoff volumes greater than the 1".







Manual Iterra

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		HAT TH D OR A A A DU ONAL THE ST	A CONTACT				
PREPARED FOR	MANAGEMENT	te <u>12</u> . NM O H					
			·	© 2019 KIMLEY-HORN AND ASSOCIATES, INC.			
				11400 COMMERCE PARK DR., SUITE 400, RESTON, VA 20191			
		s WI E, At R TH	The STONAL ENTRY	PHONE: 703-674-1300 FAX: 703-674-1350			
PRINCE GEORGE'S COUNTY MARYLAND		ERE ND	DATE: 09/09/2019	WWW.KIMLEY-HORN.COM	No.	REVISIONS	DATE BY

C-501

SHEET 7 OF 7

SITE DEVELOPMENT CONCEPT PLAN **SDCP# 25146-2019 MCDONALD'S REBUILD 8710 CENTRAL AVE** LANDOVER, MD 20785

GENERAL NOTES	GEN	ERAL	NOTES
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- MCDONALD'S REBUILD PROJECT NAME 2. SITE ADDRESS: 8710 CENTRAL AVENUE
 - LANDOVER, MD 20785 2070019
- ACCOUNT ID: 04826 / 00942 DEED BOOK & PAGE:
- TAX MAP & GRID: 67. C4
- SUBDIVISION & BLOCK: 4140, 7 EXISTING ZONING: M-U-I (MIXED USE - INFILL), ENTIRE SITE (1.17 AC)
- PROPOSED USE OF PROPERTY: EATING OR DRINKING ESTABLISHMENT W/ DRIVE THROUGH PROPOSED BUILDING DATA:
- ONE 4,540 SQUARE FEET COMMERCIAL BUILDING
- 10. GROSS FLOOR AREA OF EXISTING AND PROPOSED:
 - PROPOSED: 4,540 SF. COMMERCIAL BUILDING
- EXISTING: 4,362 SF. COMMERCIAL BUILDING
- 11. SITE AREA: 1.17 AC / 51,096 SF 12. PROPOSED AREA OF DISTURBANCE: 1.22 AC / 53,143 SF
- 13. 200 FOOT MAP REFERENCE NUMBER (WSSC): 201NE08
- 14. THE SITE IS NOT LOCATED WITHIN AN AVIATION POLICY AREA (APA)
- 15. EXISTING WATER/SEWER CATEGORY DESIGNATION: W-1 AND S-1
- 16. PROPOSED WATER AND SEWER CATEGORY: W-1 AND S-1
- 17. STORM WATER MANAGEMENT CONCEPT NUMBER: #25146-2019
- 18 EASEMENTS: THERE IS AN EXISTING, PERMANENT STATE HIGHWAY ADMINISTRATION (MDOT) LAND ACQUISITION ALONG THE SOUTH FRONTAGE OF THE PROJECT SITE
- 19. MANDATORY PARK DEDICATION: NONE
- THERE ARE NO KNOWN CEMETERIES TO EXIST ON SITE 20. THERE ARE NO KNOWN HISTORIC RESOURCES TO EXIST ON SITE
- 21. 22. STREAMS AND WETLANDS: NO
- 23. 100 YEAR FLOODPLAIN: NO, FEMA MAP#24033C0165E EFFECTIVE 09.16.2016
- 24. CHESAPEAKE BAY CRITICAL AREA OVERLAY: NO
- 25. EXISTING CONDITIONS, SURFACE FEATURES, AND PROPERTY BOUNDARY INFORMATION SHOWN ON
- PLAN PROVIDED BY MCILVRIED, DIDIANO, & MOX, LLC, DATED 11/01/2018. 26. THIS PLAN IS FOR ENTITLEMENT PURPOSES ONLY AND SHALL NOT BE UTILIZED FOR CONSTRUCTION.

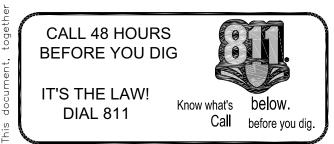
SITE STATISTICS					
	TOTAL				
GROSS TRACT AREA	1.17 AC				
EXISTING 100-YEAR FLOODPLAIN	0.00 AC				
NET TRACT AREA	1.17 AC				
EXISTING WOODLAND IN THE FLOODPLAIN	N/A				
EXISTING WOODLAND NET TRACT	N/A				
EXISTING WOODLAND TOTAL	N/A				
EXISTING PMA	N/A				
REGULATED STREAMS LINEAR FEET OF CENTERLINE	0 Ft				
RIPARIAN (WOODED) BUFFER UP TO 300 FEET WIDE	N/A				

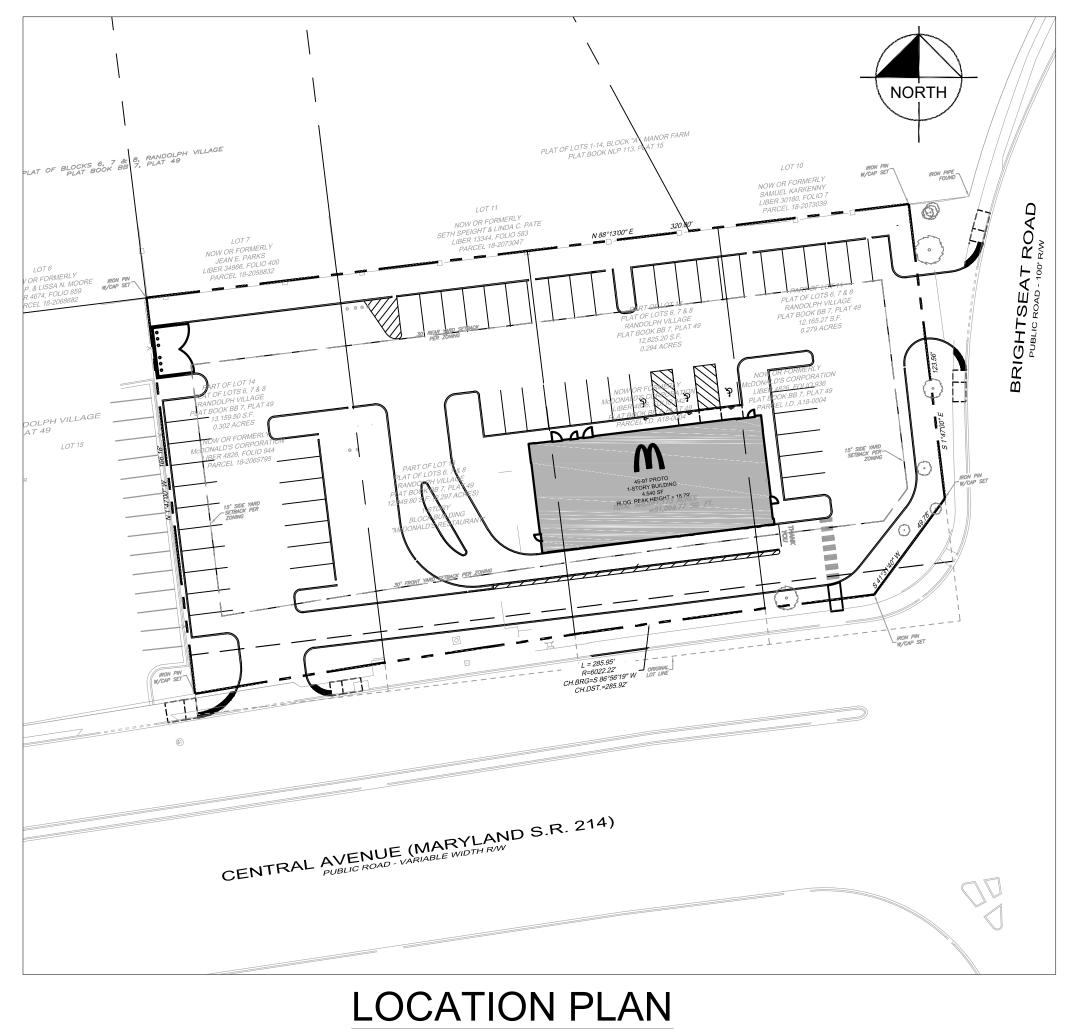
Project Name	: McDonald	s Landover			Concept No.:	25146-2019-0		Permit No.:						Total Site Acreage:	1.173	
			CONSTRUCTION DRAINAGE	TOTAL	NEW	NEW EXISTING PERCENT			TARGET PE	TARGET VOL	DESIGN VOL USING	DESIGN VOL US				
POI	LABEL	NAME	MD NORTH	MD EAST	LAND USE			IMPERVIOUS	IMPERVIOUS	IMPERVIOUS		Rv	Rv (IN)	(FT^3)	ESD PRACTICES	STRUCTURA
						PURPOSE AREA (AREA (AC)	AREA (AC)	AREA (AC)	AREA (AC)	IMPERVIOUS				(FT^3)	PRACTICES (C
DA-3.1	SWM-1	Bio-Swale	445990.21	1353900.53	Commercial	SWM Treatment	0.43	0.34	0.34	0.00	79%	0.76	1	928	1612	0
DA-2.1	SWM-2	Micro-Bio	445856.29	1353702.34	Commercial	SWM Treatment	0.25	0.18	0.18	0.00	71%	0.69	1	451	943	0
DA-1.1	SWM-3	Micro-Bio	445897.15	1353697.31	Commercial	SWM Treatment	0.25	0.21	0.21	0.00	84%	0.81	1	619	741	0
DA-2.3	SWM-4	Filterra (8'x14')	445923.41	1353927.99	Commercial	SWM Treatment	0.27	0.16	0.16	0.00	62%	0.61	1	362 *	0	222
													(redevelopment)			

*TARGET VOLUME FOR SWM-4 SHOWN PER MDE REQUIREMENTS FOR TYPICAL MICRO-BIORETENTIONS. PER MDE APPROVAL LETTER TO FILTERRA (DATED 02/22/2013), MINIMUM REQUIRED STORAGE IS 172 CF. SEE SHEET C-501 FOR MORE INFORMATION.

PROPERTY OWNER

MCDONALD'S CORPORATION ATTN: JOSEPH CURTO 6903 ROCKLEDGE DR., SUITE 1100 BETHESDA, MD 20817 TEL: (540)-426-9807 EMAIL: JOSEPH.CUROT@US.MCD.COM





SCALE: 1" = 40'

BMP SUMMARY TABLE

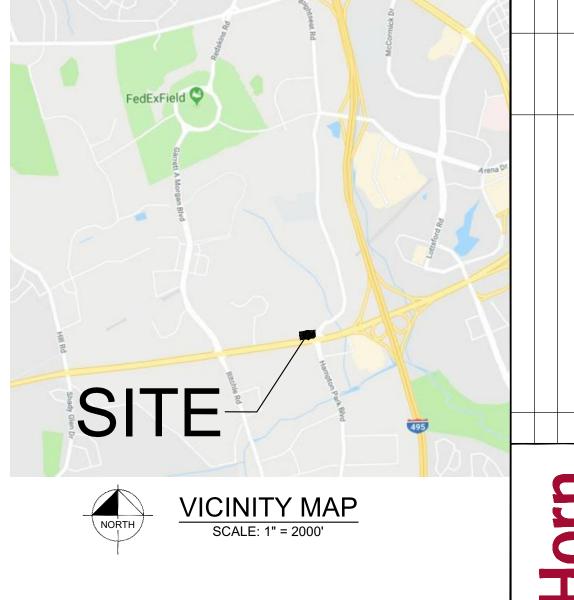
APPLICANT

SEVAN SOLUTIONS ATTN: JOHN EIDBERGER 3025 HIGHLAND PKWY, SUITE 850 DOWNERS GROVE, IL 60515 TEL: (312)-756-7778 EMAIL: JOHN.EIDBERGER@SEVANSOLUTIONS.COM

CIVIL ENGINEER/LANDSCAPE ARCHITECT

KIMLEY-HORN AND ASSOCIATES, INC. ATTN: TESSA PHILLIPS 11400 COMMERCE PARK DRIVE, SUITE 400 RESTON, VA 20191 TEL: (202)-919-3985 EMAIL: TESSA.PHILLIPS@KIMLEY-HORNDC.COM





	Sheet List Table						
SHEET	SHEET TITLE	SHEET NUMBER					
1	COVER SHEET	C-000					
2	EXISTING CONDITIONS	C-100					
3	SITE DEVELOPMENT CONCEPT PLAN	C-200					
4	SIGHT DISTANCE PLAN	C-210					
5	DRAINAGE AREA MAPS	C-300					
6	STORMWATER MANAGEMENT DETAILS	C-500					
7	STORMWATER MANAGEMENT DETAILS	C-501					

Stormwater Management Summary							
	Required	Provided					
ESDv (cf)	3238	3518					
Rev (cf)	842	1268					
CPv (cf)	CPv is met with ESD to the MEP						
Qp10	Qp10 is met wit method to SP						
Qp100	ESD volume and supplementary underground detention provided.						

	ARTMENT OF PERMITTING, INSPECTIONS AND ENFORCEMENT (DPIE) PRINCE GEORGE'S COUNTY, MARYLAND
	PEER REVIEW APPROVAL STAMP
Revie in de the c	eted participation in DPIE's Peer V Program. I have reviewed these plans tail and they are in conformance with bunty's Code, General Specifications tandards."
	AL DATE: / Sept 19, 2019
	EVIEWER: Call Com
PEER I	Tall man

ING L F)	MAX ESD VOL (ESDmax) (CF)	RCN	ON_OFF_SITE
	3298	94	On-Site
	1773	93	On-Site
	2055	95	On-Site
	1641	91	On-Site

Prince George's County Maryland
Department of Permitting, Inspections & Enforceme
APPROVED PLAN SET

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Case Name: PEER REVIEW - RANDOLPH VILLAGE_LOT 13_BLOCK 7 Case Number (Plan Approval #): 25146-2019-0 Case Type: PSWM Issuance Date: 10/16/2019 Address: 8710 CENTRAL AVE AVE LANDOVER, Maryland 20785 Lot(s) and Block(s): 4437522071

Reviewed By CC/MT

Approved by:

m

Rey De Guzman



							. REV
							No.
						PLACE COMMERCE FARM DR., SUITE 400, RESTON, VA 20131 PHONE: 703-674-1300 FAX: 703-674-1350	WWW.KIMLEY-HORN.COM
LICENSED PROFESSIONAL	The DE MARINE	A CONT - A CONT		•••			DATE: 09/09/2019
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KHA PROJECT	110368028	DATE	09/13/19	SCALE AS SHOWN	DESIGNED BY	DRAWN BY	СНЕСКЕД ВҮ

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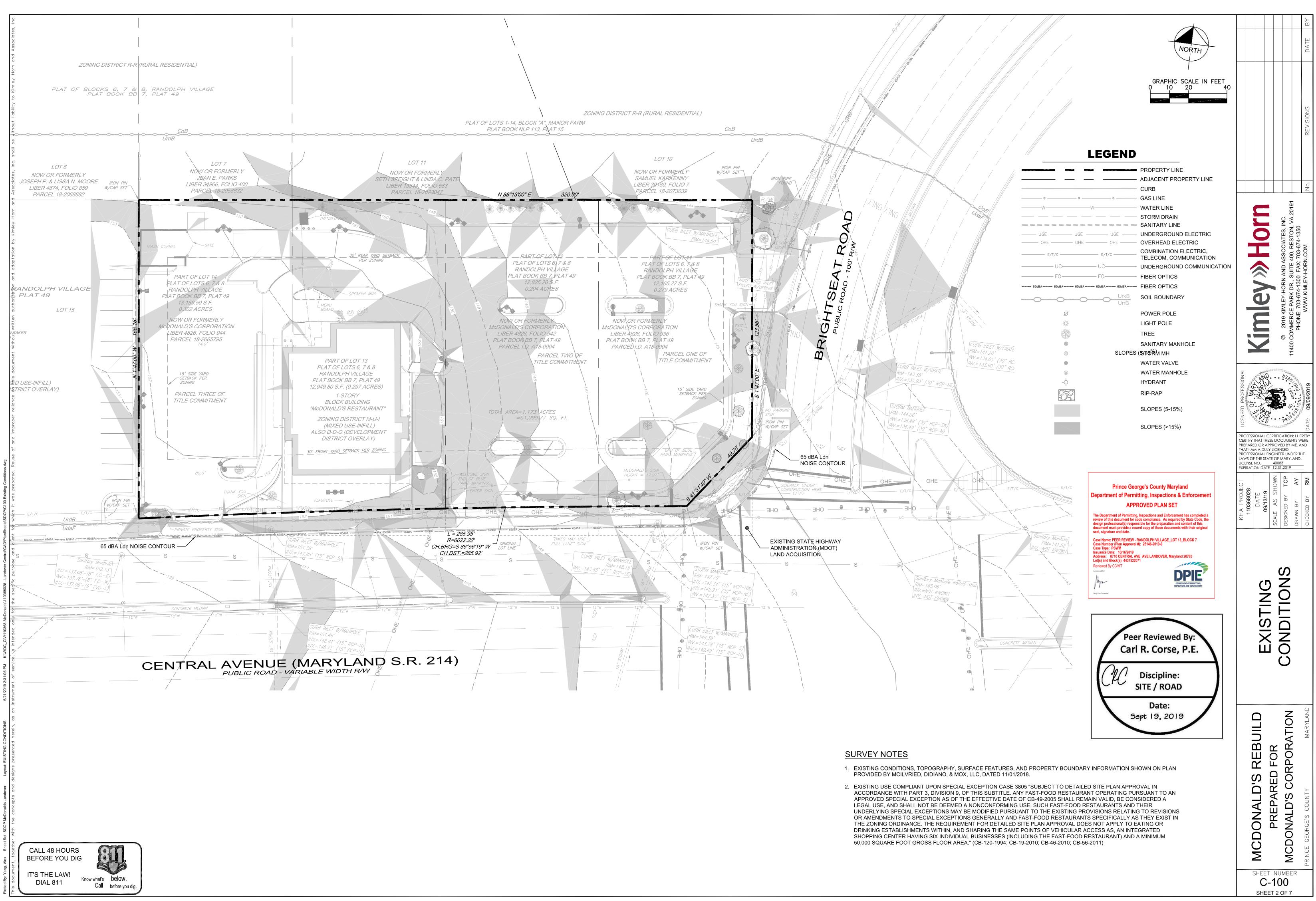
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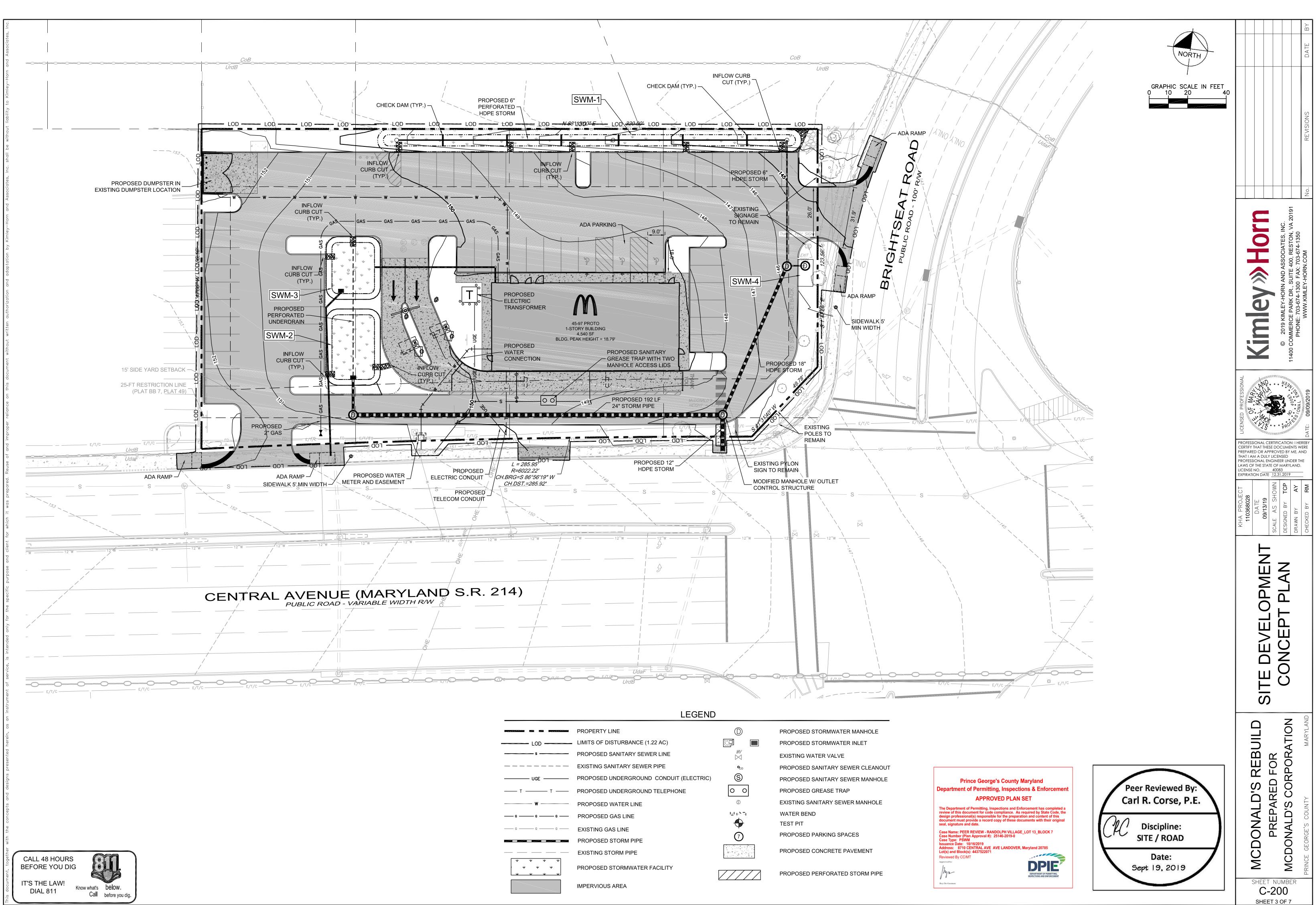
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CORPORATION

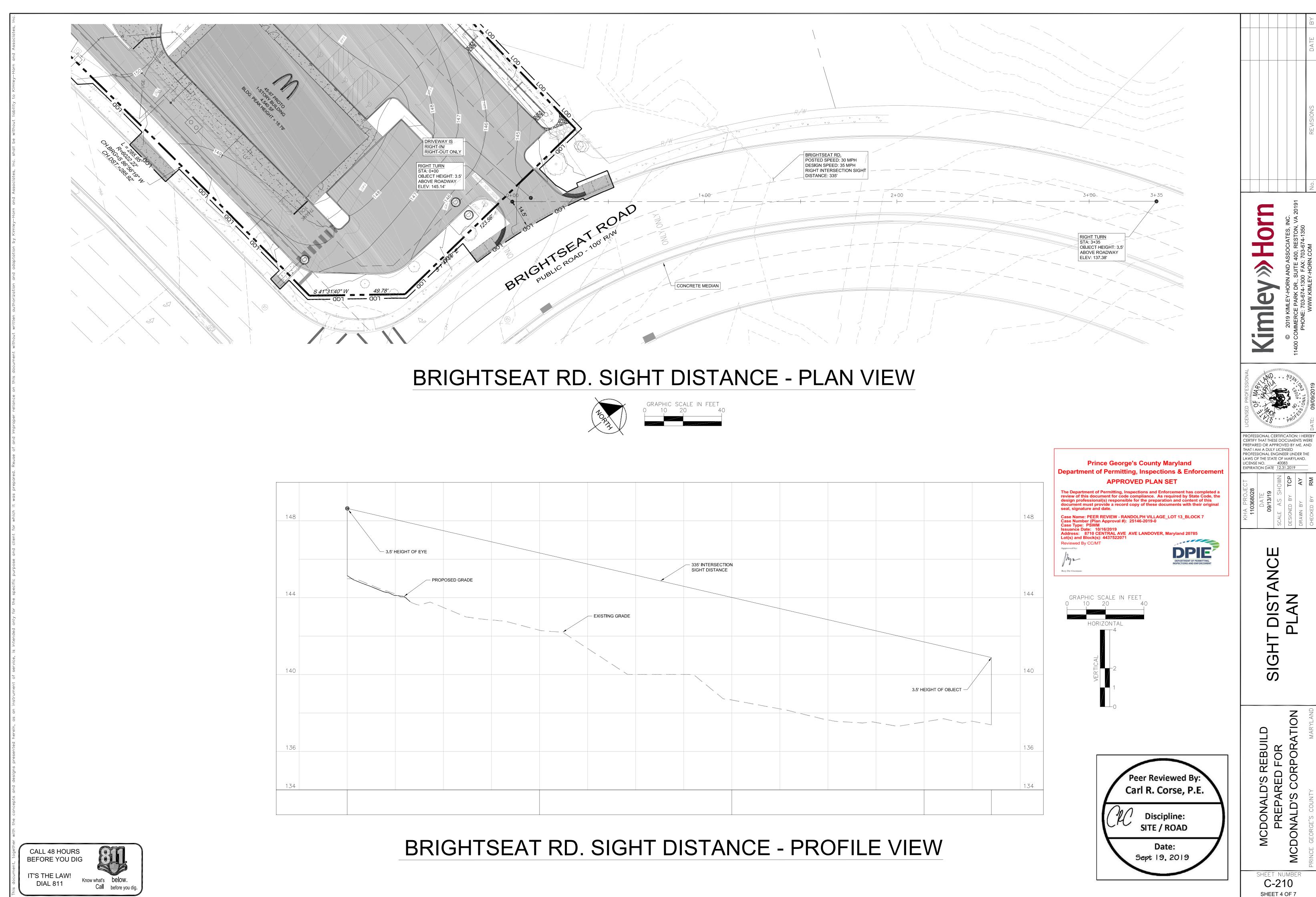
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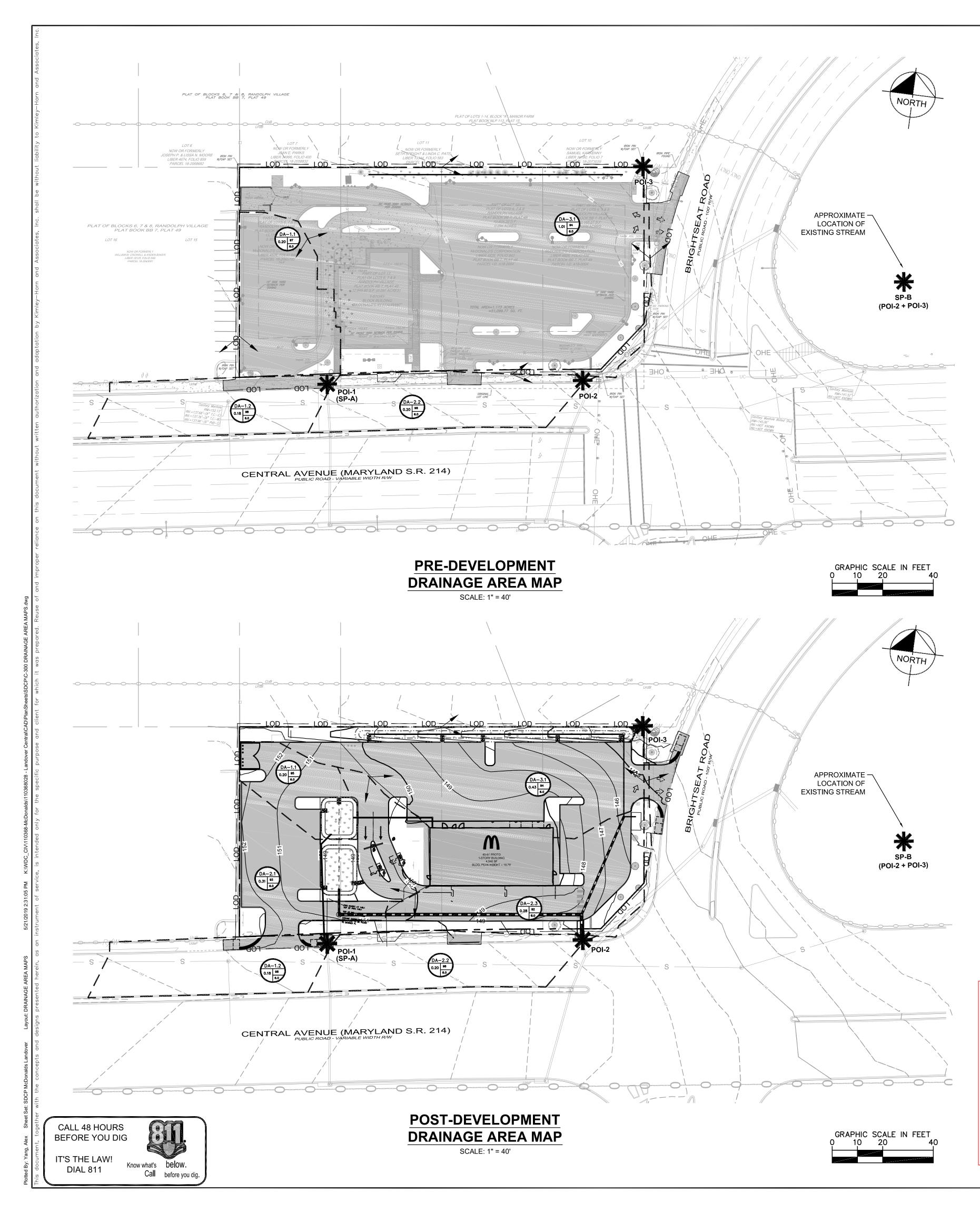
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	PROPERTY LINE	\square	PROPOSED STORMWATER MANHOLE
LOD	LIMITS OF DISTURBANCE (1.22 AC)		PROPOSED STORMWATER INLET
S	PROPOSED SANITARY SEWER LINE	\bowtie	EXISTING WATER VALVE
	EXISTING SANITARY SEWER PIPE	o _{co}	PROPOSED SANITARY SEWER CLEANOUT
UGE	PROPOSED UNDERGROUND CONDUIT (ELECTRIC)	S	PROPOSED SANITARY SEWER MANHOLE
— T T	PROPOSED UNDERGROUND TELEPHONE	0 0	PROPOSED GREASE TRAP
w	PROPOSED WATER LINE	S	EXISTING SANITARY SEWER MANHOLE
G G G	PROPOSED GAS LINE	너 다 소	WATER BEND
G G G	EXISTING GAS LINE		TEST PIT
	PROPOSED STORM PIPE	(7)	PROPOSED PARKING SPACES
	EXISTING STORM PIPE		PROPOSED CONCRETE PAVEMENT
$\begin{array}{cccc} \psi & \psi & \psi & \psi \\ \psi & \psi & \psi & \psi \\ \psi & \psi &$	PROPOSED STORMWATER FACILITY		PROPOSED PERFORATED STORM PIPE
	IMPERVIOUS AREA		





NOTES

- 1. IN THE PRE-DEVELOPMENT CONDITION, THE SITE SHEET FLOWS TO ADJACENT ROADS. POINT OF INTEREST (POI) 1 DESCRIBES STORM WATER RUNOFF TO THE SOUTH OF THE PROJECT SITE INTO AN EXISTING INLET IN CENTRAL AVENUE. POI 2 IS ALSO AN INLET IN CENTRAL AVENUE THAT CAPTURES RUNOFF FROM CENTRAL AVENUE, BUT NO ON-SITE RUNOFF IN EXISTING CONDITIONS. POI 3 DESCRIBES STORM WATER RUNOFF TO THE NORTHEAST OF THE PROJECT SITE ONTO EXISTING RIP-RAP AND EVENTUALLY INTO THE BRIGHTSEAT ROADWAY. POI-2 AND POI-3 BOTH CONVERGE IN AN EXISTING STREAM LOCATED TO THE EAST OF BRIGHTSEAT ROAD, IDENTIFIED AS STUDY POINT (SP) SP-B.
- 2. FROM PRE- TO POST-DEVELOPMENT, THE MOST SIGNIFICANT CHANGE IS THE ADOPTION OF STORM WATER BMPS TO CAPTURE AND TREAT STORM WATER RUNOFF PRIOR TO OUTFALLING INTO THE EXISTING STORM WATER INFRASTRUCTURE. STORM DRAINAGE IS CAPTURED INTO PROPOSED BIO-SWALES, MICRO-BIORETENTION FACILITIES OR STRUCTURAL SWM FACILITIES IN THE PROPOSED ON-SITE PARKING LOT, PRIOR TO CONNECTING TO POIS DESCRIBED IN NOTE #1.
- 3. UNDERGROUND DETENTION FACILITIES ARE PROPOSED UNDER THE PARKING LOT FOR THE 100-YEAR STORM EVENT IN THE FORM OF UNDERGROUND STORAGE PIPES. DESIGN DETAILS WILL BE PROVIDED IN THE NEXT DESIGN STAGE SUBMITTAL FOR THE STORAGE CHAMBERS AND OUTLET CONTROL STRUCTURE.
- 4. TIME OF CONCENTRATION IS ASSUMED TO BE 6 MINUTES FOR ALL DRAINAGE AREAS IN PRE AND POST-DEVELOPMENT CONDITIONS.
- 5. ACCORDING TO USDA WEB SOIL SURVEY, ALL ON-SITE SOILS ARE HYDROLOGIC SOIL GROUP D, UrdB - URBAN LAND-COLLINGTON-WIST COMPLEX, 0 TO 5 PERCENT SLOPES.

Prince George's County Maryland **Department of Permitting, Inspections & Enforcement** APPROVED PLAN SET

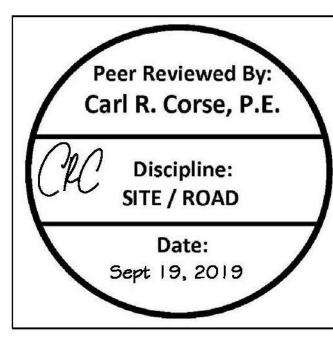
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- Case Name: PEER REVIEW RANDOLPH VILLAGE_LOT 13_BLOCK 7 Case Number (Plan Approval #): 25146-2019-0 Case Type: PSWM Issuance Date: 10/16/2019 Address: 8710 CENTRAL AVE AVE LANDOVER, Maryland 20785
- Lot(s) and Block(s): 4437522071 Reviewed By CC/MT





		n I
LEG	END	
	PROPERTY LINE	
LOD	LIMITS OF DISTURBANCE (1.22 AC)	
	DRAINAGE AREA DIVIDE	
DA	DA = DRAINAGE AREA LABEL A = AREA (ACRES)	
A C TC	C = C FACTOR TC = TIME OF CONCENTRATION (MINUTES)	
×	DRAINAGE AREA POINT OF ANALYSIS (POA)	
	IMPERVIOUS COVER	



	EXISTING CONDITIONS DRAINAGE SUMMARY									
STUDY POINT	DRAINAGE AREA (AC)	IMPERVIOUS AREA (AC)	CN	tc (HR)	Q1 (CFS)	Q10 (CFS)	Q100 (CFS)			
DA-1.1	0.20	0.19	97	0.1	0.64	1.24	2.16			
DA-1.2	0.18	0.18	98	0.1	0.59	1.13	1.95			
POI-1	0.38	0.37	98	0.1	1.25	2.38	4.11			
DA-2.1	N/A	N/A	N/A	N/A	0	0	0			
DA-2.2	0.2	0.2	98	0.1	0.66	1.25	2.16			
DA-2.3	N/A	N/A	N/A	N/A	0	0	0			
POI-2	0.2	0.2	98	0.1	0.66	1.25	2.16			
DA-3.1	1.01	0.75	94	0.1	2.96	6.03	10.71			
POI-3	1.01	0.75	94	0.1	2.96	6.03	10.71			

	PR	OPOSED CONDITIONS DR	AINAGE SU	JMMARY			
STUDY POINT	DRAINAGE AREA (AC)	IMPERVIOUS AREA (AC)	CN	tc (HR)	Q1 (CFS)	Q10 (CFS)	Q100 (CFS)
DA-1.1	0.2	0.17	95	0.1	0.61	1.21	2.14
DA-1.2	0.18	0.18	98	0.1	0.59	1.13	1.95
POI-1	0.38	0.35	97	0.1	1.22	2.36	4.10
DA-2.1	0.31	0.23	93	0.1	0.88	1.83	3.27
DA-2.2	0.2	0.2	98	0.1	0.66	1.25	2.16
DA-2.3	0.28	0.16	92	0.1	0.69	1.46	2.64
POI-2	0.79	0.59	93	0.1	2.25	4.68	8.39
DA-3.1	0.43	0.33	94	0.1	1.27	2.59	4.6
POI-3	0.43	0.33	94	0.1	1.27	2.59	4.6

	EXISTING CONDITIONS DRAINAGE SUMMARY (STUDY POINTS)										
STUDY POINT	DRAINAGE AREA (AC)	IMPERVIOUS AREA (AC)	CN	tc (HR)	Q1 (CFS)	Q10 (CFS)	Q100 (CFS)				
SP-A											
(POI-1)	0.38	0.37	98	0.10	1.25	2.38	4.11				
SP-B											
(POI-2+3)	1.2	0.95	94	0.1	3.57	7.27	12.9				

	PROPOSED CONDITIONS DRAINAGE SUMMARY (STUDY POINTS)										
STUDY POINT	DRAINAGE AREA (AC)	IMPERVIOUS AREA (AC)	CN	tc (HR)	Q1 (CFS)	Q10 (CFS)	Q100 (CFS)				
SP-A											
(POI-1)	0.38	0.35	97	0.10	1.22	2.36	4.10				
SP-B											
(POI-2+3)	1.22	0.92	94	0.1	3.62	7.38	13.11				

	REDUCED CURV	E NUMBER PROPOSED CO	NDITIONS	DRAINAGE		RY	
STUDY POINT	DRAINAGE AREA (AC)	IMPERVIOUS AREA (AC)	RCN	tc (HR)	Q1 (CFS)	Q10 (CFS)	Q100 (CFS)
SP-B	1.22	0.92	88	0.1	2.81	6.6	12.47

	10	D-YEAR CONTROL	SUMMARY	
STUDY POINT	DRAINAGE AREA (SQMI)	PEAK INFLOW DISCHARGE PROP. Qi (CFS)	PEAK OUTFLOW DISCHARGE EX. Qi (CFS)	REQUIRED DETENTION VOLUME (CF)
SP-B	0.00191	13.11	12.9	3454

C-	MCDONALD'S REBUILD	DRAINAGE ARFA	KHA PROJECT LICENSED PROFESSIONAL 110368028 LICENSED PROFESSIONAL DATE OF MAN DATE OP 1000000000000000000000000000000000000	Kimlev » Horn				
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0	MCDONALD'S CORPORATION	NAPS	ATION CUMEI ED BY I SED IR UNE MARYL	© 2019 KIMLEY-HORN AND ASSOCIATES, INC. 11400 COMMERCE PARK DR SHITE 400 RESTON VA 20181				
			NTS W ME, A DER TH	PHONE: 703-674-1300 FAX: 703-674-1350				
	PRINCE GEORGE'S COUNTY MARYLAND		ERE ND	WWW.KIMLEY-HORN.COM	No.	REVISIONS	DATE B	ВΥ

B.4.C Specifications for Micro-Bioretention. Rain Gardens, Landscape Infiltration & Infiltration Berms

1. Material Specifications

The allowable materials to be used in these practices are detailed in Table B.4.1.

2. Filtering Media or Planting Soil

The soil shall be a uniform mix, free of stones, stumps, roots or other similar objects larger than two inches. No other materials or substances shall be mixed or dumped within the microbioretention practice that may be harmful to plant growth, or prove a hindrance to the planting or maintenance operations. The planting soil shall be free of Bermuda grass, Quackgrass, Johnson grass, or other noxious weeds as specified under COMAR 15.08.01.05.

The planting soil shall be tested and shall meet the following criteria:

- Soil Component Loamy Sand or Sandy Loam (USDA Soil Textural Classification) • Organic Content - Minimum 10% by dry weight (ASTM D 2974). In general, this can be met with a mixture of loamy sand (60%-65%) and compost (35% to 40%) or sandy loam (30%), coarse sand (30%), and compost (40%).
- Clay Content Media shall have a clay content of less than 5%.
- pH Range Should be between 5.5 7.0. Amendments (e.g., lime, iron sulfate plus sulfur) may be mixed into the soil to increase or decrease pH.

There shall be at least one soil test per project. Each test shall consist of both the standard soil test for pH, and additional tests of organic matter, and soluble salts. A textural analysis is required from the site stockpiled topsoil. If topsoil is imported, then a texture analysis shall be performed for each location where the topsoil was excavated.

3. Compaction

It is very important to minimize compaction of both the base of bioretention practices and the required backfill. When possible, use excavation hoes to remove original soil. If practices are

excavated using a loader, the contractor should use wide track or marsh track equipment, or light These practices may not be constructed until all contributing drainage area has been stabilized equipment with turf type tires. Use of equipment with narrow tracks or narrow tires, rubber tires with large lugs, or high-pressure tires will cause excessive compaction resulting in reduced infiltration rates and is not acceptable. Compaction will significantly contribute to design failure.

Compaction can be alleviated at the base of the bioretention facility by using a primary tilling operation such as a chisel plow, ripper, or subsoiler. These tilling operations are to refracture the soil profile through the 12 inch compaction zone. Substitute methods must be approved by the engineer. Rototillers typically do not till deep enough to reduce the effects of compaction from heavy equipment.

Rototill 2 to 3 inches of sand into the base of the bioretention facility before backfilling the optional sand layer. Pump any ponded water before preparing (rototilling) base.

When backfilling the topsoil over the sand layer, first place 3 to 4 inches of topsoil over the sand, then rototill the sand/topsoil to create a gradation zone. Backfill the remainder of the topsoil to final grade.

When backfilling the bioretention facility, place soil in lifts 12" to 18". Do not use heavy equipment within the bioretention basin. Heavy equipment can be used around the perimeter of the basin to supply soils and sand. Grade bioretention materials with light equipment such as a compact loader or a dozer/loader with marsh tracks.

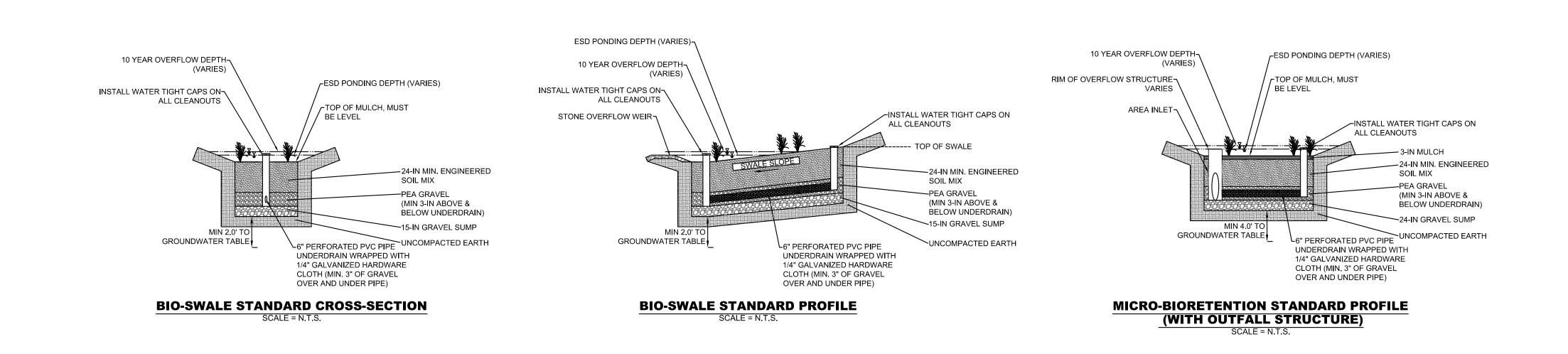
4. Plant Material

Recommended plant material for micro-bioretention practices can be found in Appendix A, Section A.2.3.

5. Plant Installation

Compost is a better organic material source, is less likely to float, and should be placed in the invert and other low areas. Mulch should be placed in surrounding to a uniform thickness of 2" to 3". Shredded or chipped hardwood mulch is the only accepted mulch. Pine mulch and wood chips will float and move to the perimeter of the bioretention area during a storm event and are not acceptable. Shredded mulch must be well aged (6 to 12 months) for acceptance.

Rootstock of the plant material shall be kept moist during transport and on-site storage. The plant root ball should be planted so 1/8th of the ball is above final grade surface. The diameter of the planting pit shall be at least six inches larger than the diameter of the planting ball. Set and maintain the plant straight during the entire planting process. Thoroughly water ground bed cover after installation.



Sand

Trees shall be braced using 2" by 2" stakes only as necessary and for the first growing season only. Stakes are to be equally spaced on the outside of the tree ball.

Grasses and legume seed should be drilled into the soil to a depth of at least one inch. Grass and legume plugs shall be planted following the non-grass ground cover planting specifications.

The topsoil specifications provide enough organic material to adequately supply nutrients from natural cycling. The primary function of the bioretention structure is to improve water quality. Adding fertilizers defeats, or at a minimum, impedes this goal. Only add fertilizer if wood chips or mulch are used to amend the soil. Rototill urea fertilizer at a rate of 2 pounds per 1000 square feet.

6. Underdrains

Underdrains should meet the following criteria:

- Pipe- Should be 4" to 6" diameter, slotted or perforated rigid plastic pipe (ASTMF 758, Type PS 28, or AASHTO-M-278) in a gravel layer. The preferred material is slotted, 4" rigid pipe (e.g., PVC or HDPE).
- Perforations If perforated pipe is used, perforations should be 3/8" diameter located 6" on center with a minimum of four holes per row. Pipe shall be wrapped with a $\frac{1}{4}$ (No. 4 or 4x4) galvanized hardware cloth.
- Gravel The gravel layer (No. 57 stone preferred) shall be at least 3" thick above and below the underdrain.
- The main collector pipe shall be at a minimum 0.5% slope.
- A rigid, non-perforated observation well must be provided (one per every 1,0000 square feet) to provide a clean-out port and monitor performance of the filter.
- A 4" layer of pea gravel (1/8" to 3/8" stone) shall be located between the filter media and underdrain to prevent migration of fines into the underdrain. This layer may be considered part of the filter bed when bed thickness exceeds 24".

The main collector pipe for underdrain systems shall be constructed at a minimum slope of 0.5%. Observation wells and/or clean-out pipes must be provided (one minimum per every 1000 square feet of surface area).

7. Miscellaneous

Table B.4.1 Materials Specifications for Micro-Bioretention, Rain Gardens & Landscape Infiltration-Material Specification Size Notes see Appendix A, Table A.4 n/a plantings are site-specific Plantings Planting soil loamy sand (60 - 65%) & USDA soil types loamy sand or sandy loam; clay content < 5%n/a [2' to 4' deep] compost (35 – 40%) sandy loam (30%), coarse sand (30%) & compost (40%) Min. 10% by dry weight Organic content (ASTM D 2974) shredded hardwood ged 6 months, minimum; no pine or wood chips pea gravel: ASTM-D-448 NO. 8 OR NO. 9 Pea gravel diaphragm (1/8" TO 3/8") Curtain drain ornamental stone: washed stone: 2" to 5" cobbles Geotextile PE Type 1 nonwoven n/a Gravel (underdrains and AASHTO M-43 NO. 57 OR NO. 6 AGGREGATE nfiltration berms) (3/8" to 3/4") Underdrain piping F 758, Type PS 28 or AASHTO 4" to 6" rigid schedule 40 Slotted or perforated pipe; 3/8" perf. @ 6" on center, 4 holes per M-278 PVC or SDR35 row; minimum of 3" of gravel over pipes; not necessary underneath pipes. Perforated pipe shall be wrapped with 1/4-inch galvanized hardware cloth Poured in place concrete (if MSHA Mix No. 3; $f'_{c} = 3500$ n/a on-site testing of poured-in-place concrete required: psi @ 28 days, normal weight, 28 day strength and slump test; all concrete design (cast-in-place required) air-entrained; reinforcing to or pre-cast) not using previously approved State or local meet ASTM-615-60 standards requires design drawings sealed and approved by a professional structural engineer licensed in the State of Maryland design to include meeting ACI Code 350.R/89; vertical loading [H-10 or H-20]; allowable horizontal loading (based on soil pressures); and analysis of potential cracking AASHTO-M-6 or ASTM-C-33 0.02" to 0.04" Sand substitutions such as Diabase and Graystone (AASHTO)

> #10 are not acceptable. No calcium carbonated or dolomitic sand substitutions are acceptable. No "rock dust" can be used for sand.

seal, signature and date.

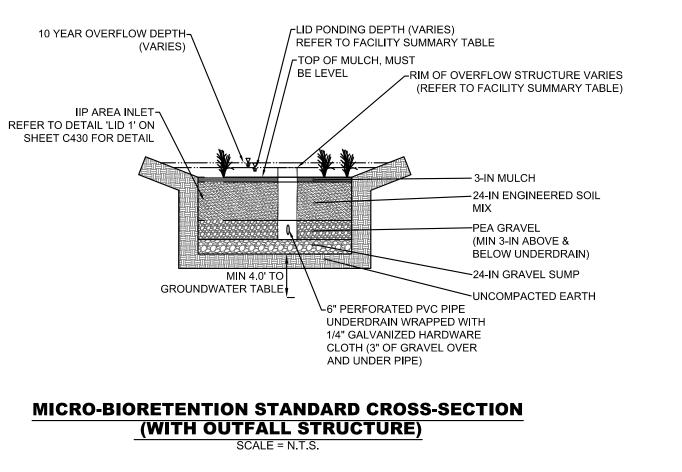
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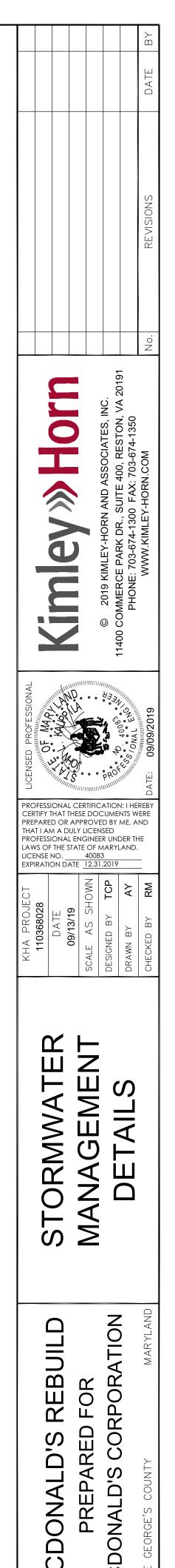
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	STORMWATER MAINTEN MICRO-BIORET	
-	MONTHLY INSPI	ECTION
Inspection Item	Inspection Requirements	Remedial Action
Debris and Trash	Check for trash and debris in facility including inlets, outlets, conveyance systems, and area around facility.	Remove all trash and debris and dispose in an acceptable manner. Unclog all openings.
Plant Composition and Health	Compare plant composition with approved plans. Check for invasive species or weeds. Check for dead or dying vegetation.	Remove invasive species and weeds. Replace dead plants in accordance with approved landscaping plan.
Vegetative Cover	Check for channelizing, erosion, and bare spots. Check for vegetation blocking inlet and outlet.	Remove or cut back vegetation around inlet and outlet structures. Mow side slopes when grass exceeds 12 inches in height, but do not mow filter bed. Remove grass clippings. Re-seed or re-plant in accordance with approved landscaping plans.
Mulch Layer	Check mulch for adequate cover, sediment accumulation, or discoloration.	Replace and remove old mulch and excess sediment. Provide adequate mulch cover according to approved design.
0	SEASONAL INSPECTION AND AI	TER A MAJOR STORM
Inspection Item	Inspection Requirements	Remedial Action
Dewatering	Check ponding level. Surface storage must dewater within 48 hours of rainfall. Noticeable odors, stained water on the filter surface or at the outlet, or the presence of algae or aquatic vegetation are indicators of anaerobic conditions and inadequate dewatering of the facility.	Remove and replace top few inches of media. Confirm adequate dewatering with follow up inspections. If the facility does not function as intended after the above action, the entire system including the underdrain may need refurbishing.
Erosion	Check inlets, filter bed, outlets, and side slopes for erosion, rills, gullies, and runoff channelization.	Re-grading may be required when concentrated flow causes rills or gullying through the facility. Grade, vegetate, and/or armor to provide stable conveyance in accordance with approved plans.
Sediment Accumulation	Check for accumulated sediment in conveyance systems and on filter bed. Check for clogged openings.	When sediment accumulates to 1 inch depth, remove sediment. Remove sediment from clogged openings. Dispose of all sediment in an acceptable location.
Blockages	Check overflow inlet (riser), piping, and underdrain for blockages. Check observation wells for water level.	Clear out any blockages.
	ANNUAL INSPEC	CTION
Inspection Item	Inspection Requirements	Remedial Action
Maintenance Access	Check for accessibility to facility.	Prevent excessive vegetative growth, erosion, and obstructions on access way.
Flow Conveyance System	Check overflow inlet, piping, and bypass for misalignments, breakage, and blockage.	Repair any broken or faulty piping. Clear out any blockages.
Structural Components	Check for evidence of structural deterioration, spalling, or cracking. Inlet and outlet structures as well as riprap outfalls must be in good condition.	Repair to good condition according to specifications on the approved plans.
Overall Function of Facility	Check that practice is functioning as designed.	Repair to good condition according to specifications on the approved plans.





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SHEET NUMBER C-500

SHEET 6 OF 7

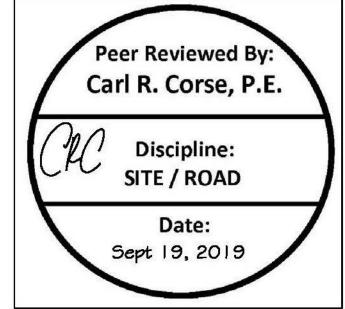
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Prince George's County Maryland

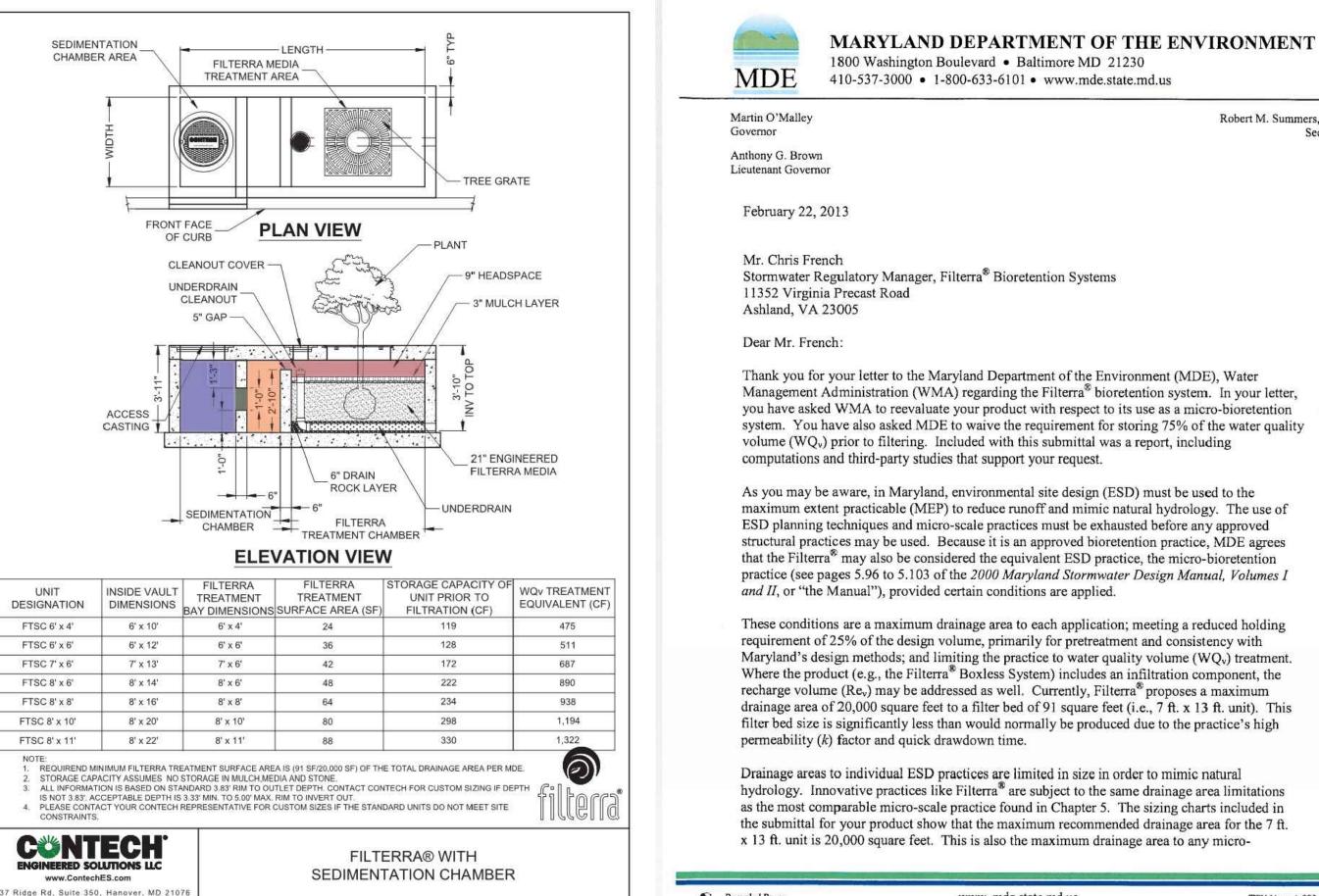
Department of Permitting, Inspections & Enforcement

APPROVED PLAN SET





C NTEC	and nasca siring	oer MDE ESD Approval	filter
Project Name: Site Designation:	McDonald's Relocation Filterra	Date:	8/21/19
County or Independent City:	Prince Georges	Design Engineer:	BAB
State:	MD		
Site Characteristic Input			
Target Rainfall Event, P (inches)		1.00	
Total Drainage Area		0.200	ac
Impervious Area		0.200	ac
Rim to Invert Out Depth (ft)		3.830	ОК
Percent of WQv to be Stored in Filterra		25%	
Volume Computations			
% Impervious, I		100%	
Volumetric Runoff Coefficient, Rv		0.95	
Water Quality Volume, WQv (ac-ft)		0.0158	
Water Quality Volume, WQv (cf)		690	
erra Sizing (Per MDE ESD Approval Letter)			
Minimum Filterra Planted Surface Area (sf)	91/20,000 of the Drainage Area	40	
Minimum WQv Required Storage (cf)	25% of the WQv	172	
Recommended Filterra Size	FTSC Configuration	8' x 6' (8' x 14')	
Filterra Planted Surface Area Provided (sf)		48	
WQv Storage Provided (cf)		222	



ve Inside Rim to Filter Media Sedimentatic Vault Length Inv. Out Surface Area Length (ft) (ft) 0 8x20 8 20 3.83 10 9.5 1' 8x22 8 22 3.83 11 10.5 1. Contech Filterra Sedimentation Chamber model designation, which is based on the filter media length and width Overall internal vault dimensions.
 Internal vault width. Internal vault length. 5. Rim to invert out depth. 6. Length of chamber with filter media (see detail). 7. Length of sedimentation chamber (see detail).
8. Filter media surface area = inside vault width (3) x filter media surface area length (6).
9. Headspace depth = Rin to inv. out (5) - 8" to p slab - 21" media - 3" mulch - 5" underdrain stone to pipe Invert.*
10. Headspace volume = headspace depth (9) x filter media surface area (8) + (6" x 5" x inside vault width (3)) to account for volume in gap above weir wall. Chamber volume 1 = (sedimentation chamber length (7) - 1.5' for chamber 3 - 6' for weir wall) x inside vault width (3) x (rim to invert out (5) + 1" to get to vault invert - 8" top slab).
 Chamber volume 2 = 6" wall width x 1' opening in wall x (inside vault width (3) - 2').
 Chamber volume 3 = 1.5' x (rim to invert out (5) + 1" to get to vault invert - 8" top slab) x inside vault width (3). 14. Storage Capacity of Unit Prior to Filtration = headspace volume (10) + chamber volume 1 (11) + chamber volume 2 (12) + chamber volume 3 (153 15. = WQv Treatment Equivalent = Storage Capacity of Unit Prior to Filtration x 4. ** iores: Calculations shown are for standard depth of 3.83' rim to invert out. For shallow units (3.33' - 3.83') the decrease in depth will be removed from the filter media and the headspace will remain 9". For deep. units (3.83' - 5.00') the depth will be added to the headspace and the media depth will remain 21 ** The Treatment Volume for which the Storage Capacity of the Filterra Unit (16) is 25%.

-8490 OFFICE

410-740-8492 F/

ATE:04-06-17

Prince George's County Maryland Department of Permitting, Inspections & Enforcement **APPROVED PLAN SET**

The Department of Permitting, Inspections and Enforcement has completed a review of this document for code compliance. As required by State Code, the design professional(s) responsible for the preparation and content of this document must provide a record copy of these documents with their original seal, signature and date.

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Lot(s) and Block(s): 4437522071 Reviewed By CC/MT

Approved by:

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DPIE DEPARTMENT OF PERMITTING, INSPECTIONS AND ENFORCEMENT

PRODUCT No.: FTSC DRAWN BY: BAS

	8	9	10	11	12	13	14	15	16
tion ingth	Filter Media Surface Area (sf)	Headspace Depth (ft)	Headspace Volume (cf]	Chamber Volume 1 (cf)	Chamber Volume 2 (cf)	Chamber Volume 3 (cf)	Storage Capacity of Unit Prior to Filtration (cf)	WQv Treatment Equivalent (cf)	Underdrain Pipe Diameter (in)
	24	0.75	19.25	68.18	2.00	29,22	119	475	
	36	0.75	28.25	68.18	2.00	29.22	128	511	13
	42	0.75	32.96	102.27	2.50	34.09	172	687	1
	48	0.75	37.67	142.85	3.00	38.96	222	890	
	64	0.75	49.67	142.85	3.00	38.96	234	938	
-	80	0.75	61.67	194.80	3.00	38.96	298	1194	
	88	0.75	67.67	220.77	3.00	38.96	330	1322	

SCALE: NONE

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Via Maryland Relay Service

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Robert M. Summers, Ph.D.

Secretary

Mr. Chris French February 22, 2013 Page 2

bioretention practice listed in Chapter 5 of the Manual (see p. 5.98). MDE sees no reason to alter this condition.

The analyses, computations, and third-party studies submitted in 2006 and with your recent letter support the high k factor used in Filterra[®]'s design. This k factor allows Filterra[®] to be considerably smaller than other filtering practices and may warrant a reduction in the volume of runoff that must be stored prior to filtering. However, the stormwater modeling submitted with your letter does not support a complete waiver of Maryland's volumetric sizing criterion. Flowbased calculations require estimating parameters like the time of concentration to each practice to determine storage requirements. These parameters are subject to a greater degree of statistical uncertainty and result in designs that do not provide adequate treatment. More complex design parameters do not necessarily translate into improved performance. In contrast, sizing stormwater practices using a volume-based requirement, which is more accurate, is a simpler and more effective approach. Therefore, the Filterra® system must capture and treat a percentage of the WQ_v. However, considering the Filterra^{∞} media's higher k factor, MDE will reduce the percentage of runoff that must be stored prior to filtering from 75% to 25% of the design volume (e.g., WQ_v).

In new development designs, Rev must be distributed across a project as much as practical to mimic natural conditions. Some variants of the Filterra[®] system (the FocalPoint[®] or boxless system) address the recharge requirement while others (e.g., the standard Filterra® system) do not. Variants that do not provide recharge may be used as part of a systems approach provided that recharge requirements are addressed by the system.

To protect stream channels from erosion, ESD and structural practices must be used to capture, store, and gradually release the Cp_v over an extended interval (e.g., 24 to 36 hours) as determined by the methods found in Appendix D.11 of the Manual. Practices that release runoff over shorter periods of time may not be used for addressing the Cp_v requirement. According to the submitted report and computations, the Filterra® system has an estimated drawdown time between 15 to 18 minutes (0.25 to 0.30 hours). This is significantly less than that required to address Cpv requirements. Therefore, the Filterra[®] system does not meet the Cpv requirements and may not be used as a stand-alone ESD practice. However, practices that do not meet Cpv requirements may be used provided they are part of a system of practices that captures, stores, and slowly releases the required volume of runoff at rates meeting the channel protection flow criteria.

In summary, MDE approves the Filterra[®] system as a filtering device that can be used for any redevelopment, retrofitting, or infill application provided it is accepted locally. Additionally, for new development applications, the Filterra[®] system is approved as an ESD practice for providing water quality treatment and, where the appropriate variant is used, groundwater recharge. This approval is conditioned on limiting the drainage area to 20,000 sq. ft. to a

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Mr. Chris French February 22, 2013 Page 3

standard 7 ft x 13 ft. unit; sizing the system to capture and store 25% of the design volume (e.g., WQ_v); and meeting applicable filtering design criteria in the Manual for feasibility, conveyance, and maintenance. Because it does not address Cp_v, the Filterra[®] may not be used as a standalone ESD practice. However, it may be used as part of a system of practices that, as a whole, addresses all of the ESD requirements.

We will remain open to entertaining any future design changes if sufficiently justified. For now, if you have any questions or would like to discuss this further, please call me at (410) 537-3554 or contact Mr. Stewart Comstock at (410) 537-3550 or scomstock@mde.state.md.us.

Sincerely, Brian S. Clevenger

Program Manager Sediment, Stormwater & Dam Safety Program

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URBANGREEN"

Contech Engineered Solutions LL 605 Global Way, Suite 113 Linthicum, MD 21090 Phone: (866)740-3318



Summary of Filterra® Sizing and Configuration 2013 MDE Approval for ESD (first 1" Only) and WQv Applications

The Filterra® high-flow bioretention system technology was approved by the MDE in February of 2013 for use as an ESD practice (first 1" only) and as a structural WQv practice. Outlined below are detailed descriptions of the two separate sizing and design requirements for the system as stated in the approval letter. Copies of the approval documentation issued by the MDE and diagrams of the standard offline Filterra® and Sedimentation Chamber Filterra® (including surface area and volume capacity data) are available upon request.

I. The surface area of the Filterra® system (the planted area) must be no less than the ratio of 91 / 20,000 of the total contributing drainage area. This derives from the example proportion given in the approval letter stating that a 7'x13' Filterra[®] unit (with 91 square feet of planted surface area) would size to a 20,000 square foot drainage area. This is analogous to the drainage area to surface area proportion methods for bioretention found in the MDE Stormwater Manual Chapter 5. The drainage area is the total area draining to the system, not only the impervious.

This drainage area proportion is based upon the rapid infiltration rate of the system (140" per hour) which allows for the 1" runoff volume to pass through the system immediately upon running off the paved surface draining to the Filterra®. SWMM modeling and routing computations upon which the drainage area proportion was based are available upon request.

II. The entire system, including pretreatment, must provide storage for 25% of the 1" (water quality) volume prior to filtration. This is analogous to the sizing technique for media filters found in the MDE Stormwater Manual Chapter 3. Techniques for providing storage include providing a forebay as part of the Filterra® prefabricated tank (referred to as the Filterra® Sedimentation Chamber configuration) which can be provided with a weep hole dewatering feature, providing interception and storage in a upstream surface swale, and providing interception and storage using upstream permeable pavement. The storage can be dry, wet, or any combination thereof.

Note: a system meeting both of the above sizing and design criteria will provide credit for the entire P=1" volume. Adjustments should be made accordingly to the tabulation of the corresponding WQv or ESDv volumes for the overall site.

The Filterra® system provides water quality control only. Any required REv or CPv (e.g. the remaining ESDv) must be provided using other practices used in conjunction with the Filterra®. An example would be providing a downstream surface swale sized for the difference between the total ESDv and the WQv to collect the bypass from the Filterra® structure.

Regardless of configuration, arrangement, and incorporation of upstream storage, the Filterra® system always requires a bypass to provide overflow relief for runoff volumes greater than the 1".







Discipline: SITE / ROAD Date: Sept 19, 2019

				DATE BY
				REVISIONS
				No.
	Kimlev » Horn		© 2019 KIMLEY-HORN AND ASSOCIATES, INC. 11400 COMMERCE PARK DR., SUITE 400, RESTON, VA 20191	PHONE: 703-674-1300 FAX: 703-674-1350 WWW.KIMLEY-HORN.COM
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	STORMWATER	MANAGEMENT		
	STORM	MANAG	Ц С	7 7

SHEET 7 OF 7

SITE DEVELOPMENT CONCEPT PLAN **SDCP# 25146-2019 MCDONALD'S REBUILD 8710 CENTRAL AVE** LANDOVER, MD 20785

GENERAL NOTES	GEN	ERAL	NOTES
----------------------	-----	------	-------

- MCDONALD'S REBUILD PROJECT NAME 2. SITE ADDRESS: 8710 CENTRAL AVENUE
 - LANDOVER, MD 20785 2070019
- ACCOUNT ID: 04826 / 00942 DEED BOOK & PAGE:
- TAX MAP & GRID: 67. C4
- SUBDIVISION & BLOCK: 4140, 7 EXISTING ZONING: M-U-I (MIXED USE - INFILL), ENTIRE SITE (1.17 AC)
- PROPOSED USE OF PROPERTY: EATING OR DRINKING ESTABLISHMENT W/ DRIVE THROUGH PROPOSED BUILDING DATA:
- ONE 4,540 SQUARE FEET COMMERCIAL BUILDING
- 10. GROSS FLOOR AREA OF EXISTING AND PROPOSED:
 - PROPOSED: 4,540 SF. COMMERCIAL BUILDING
- EXISTING: 4,362 SF. COMMERCIAL BUILDING
- 11. SITE AREA: 1.17 AC / 51,096 SF 12. PROPOSED AREA OF DISTURBANCE: 1.22 AC / 53,143 SF
- 13. 200 FOOT MAP REFERENCE NUMBER (WSSC): 201NE08
- 14. THE SITE IS NOT LOCATED WITHIN AN AVIATION POLICY AREA (APA)
- 15. EXISTING WATER/SEWER CATEGORY DESIGNATION: W-1 AND S-1
- 16. PROPOSED WATER AND SEWER CATEGORY: W-1 AND S-1
- 17. STORM WATER MANAGEMENT CONCEPT NUMBER: #25146-2019
- 18 EASEMENTS: THERE IS AN EXISTING, PERMANENT STATE HIGHWAY ADMINISTRATION (MDOT) LAND ACQUISITION ALONG THE SOUTH FRONTAGE OF THE PROJECT SITE
- 19. MANDATORY PARK DEDICATION: NONE
- THERE ARE NO KNOWN CEMETERIES TO EXIST ON SITE 20. THERE ARE NO KNOWN HISTORIC RESOURCES TO EXIST ON SITE
- 21. 22. STREAMS AND WETLANDS: NO
- 23. 100 YEAR FLOODPLAIN: NO, FEMA MAP#24033C0165E EFFECTIVE 09.16.2016
- 24. CHESAPEAKE BAY CRITICAL AREA OVERLAY: NO
- 25. EXISTING CONDITIONS, SURFACE FEATURES, AND PROPERTY BOUNDARY INFORMATION SHOWN ON
- PLAN PROVIDED BY MCILVRIED, DIDIANO, & MOX, LLC, DATED 11/01/2018. 26. THIS PLAN IS FOR ENTITLEMENT PURPOSES ONLY AND SHALL NOT BE UTILIZED FOR CONSTRUCTION.

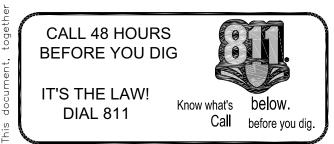
SITE STATISTICS	
	TOTAL
GROSS TRACT AREA	1.17 AC
EXISTING 100-YEAR FLOODPLAIN	0.00 AC
NET TRACT AREA	1.17 AC
EXISTING WOODLAND IN THE FLOODPLAIN	N/A
EXISTING WOODLAND NET TRACT	N/A
EXISTING WOODLAND TOTAL	N/A
EXISTING PMA	N/A
REGULATED STREAMS LINEAR FEET OF CENTERLINE	0 Ft
RIPARIAN (WOODED) BUFFER UP TO 300 FEET WIDE	N/A

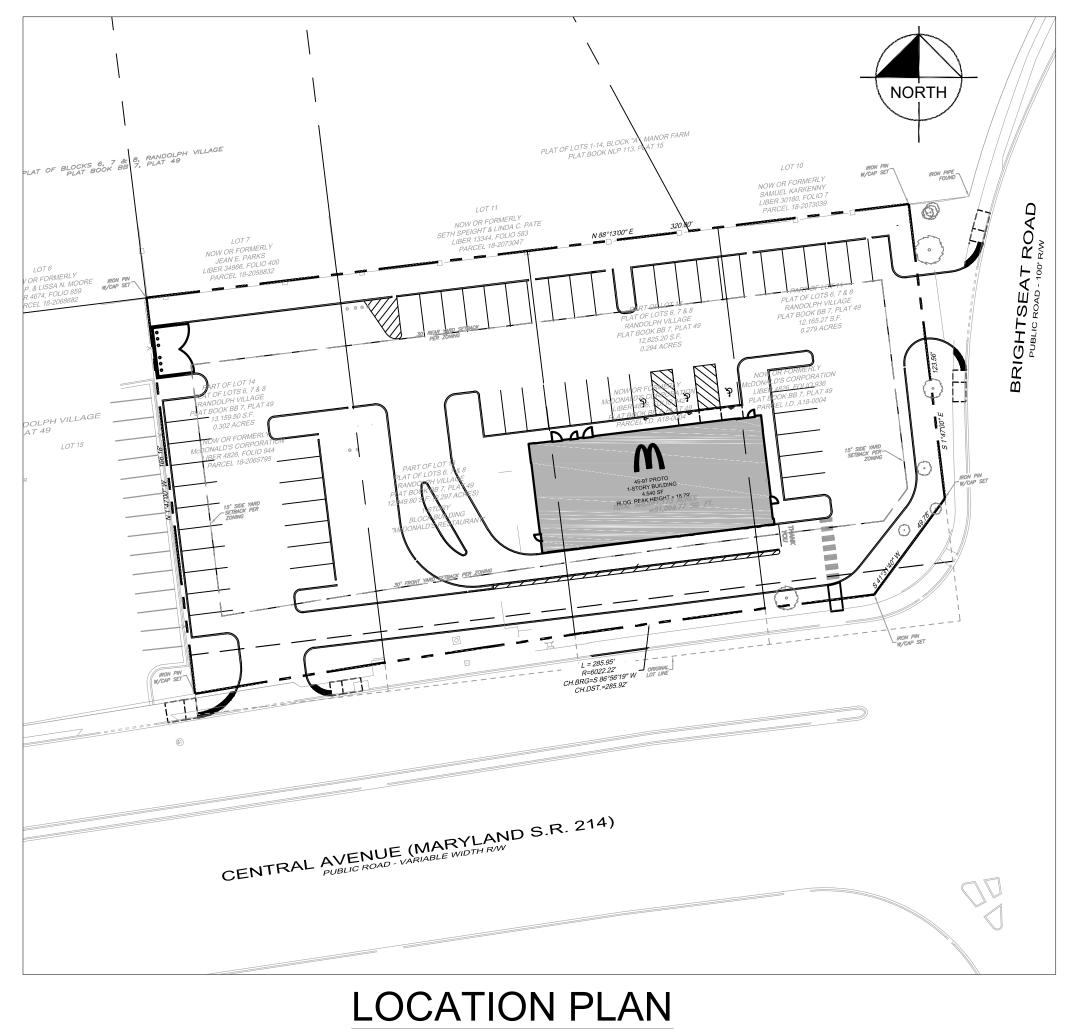
Project Name	: McDonald	s Landover			Concept No.:	25146-2019-0		Permit No.:						Total Site Acreage:	1.173	
						CONSTRUCTION	DRAINAGE	TOTAL	NEW	EXISTING	PERCENT	TARGET PE		TARGET VOL	DESIGN VOL USING	DESIGN VOL US
POI	LABEL	NAME	MD NORTH	MD EAST	LAND USE			IMPERVIOUS	IMPERVIOUS	IMPERVIOUS		Rv	lv I		ESD PRACTICES	STRUCTURA
						PURPOSE	AREA (AC)	AREA (AC)	AREA (AC)	AREA (AC)	IMPERVIOUS		(IN)	(FT^3)	(FT^3)	PRACTICES (C
DA-3.1	SWM-1	Bio-Swale	445990.21	1353900.53	Commercial	SWM Treatment	0.43	0.34	0.34	0.00	79%	0.76	1	928	1612	0
DA-2.1	SWM-2	Micro-Bio	445856.29	1353702.34	Commercial	SWM Treatment	0.25	0.18	0.18	0.00	71%	0.69	1	451	943	0
DA-1.1	SWM-3	Micro-Bio	445897.15	1353697.31	Commercial	SWM Treatment	0.25	0.21	0.21	0.00	84%	0.81	1	619	741	0
DA-2.3	SWM-4	Filterra (8'x14')	445923.41	1353927.99	Commercial	SWM Treatment	0.27	0.16	0.16	0.00	62%	0.61	1	362 *	0	222
													(redevelopment)			

*TARGET VOLUME FOR SWM-4 SHOWN PER MDE REQUIREMENTS FOR TYPICAL MICRO-BIORETENTIONS. PER MDE APPROVAL LETTER TO FILTERRA (DATED 02/22/2013), MINIMUM REQUIRED STORAGE IS 172 CF. SEE SHEET C-501 FOR MORE INFORMATION.

PROPERTY OWNER

MCDONALD'S CORPORATION ATTN: JOSEPH CURTO 6903 ROCKLEDGE DR., SUITE 1100 BETHESDA, MD 20817 TEL: (540)-426-9807 EMAIL: JOSEPH.CUROT@US.MCD.COM





SCALE: 1" = 40'

BMP SUMMARY TABLE

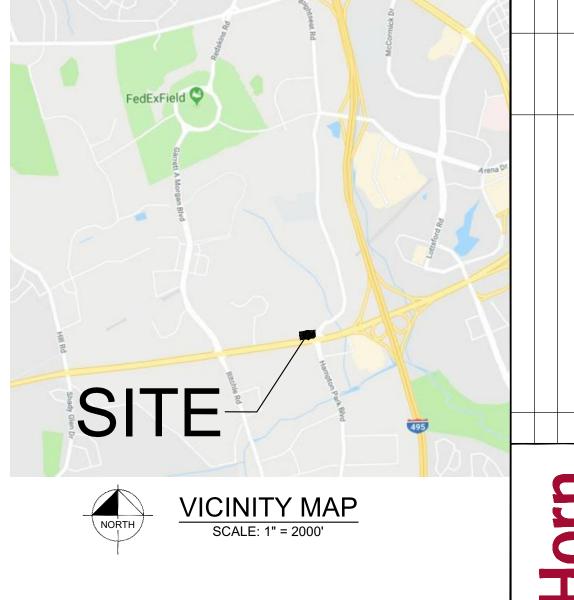
APPLICANT

SEVAN SOLUTIONS ATTN: JOHN EIDBERGER 3025 HIGHLAND PKWY, SUITE 850 DOWNERS GROVE, IL 60515 TEL: (312)-756-7778 EMAIL: JOHN.EIDBERGER@SEVANSOLUTIONS.COM

CIVIL ENGINEER/LANDSCAPE ARCHITECT

KIMLEY-HORN AND ASSOCIATES, INC. ATTN: TESSA PHILLIPS 11400 COMMERCE PARK DRIVE, SUITE 400 RESTON, VA 20191 TEL: (202)-919-3985 EMAIL: TESSA.PHILLIPS@KIMLEY-HORNDC.COM





	Sheet List Table								
SHEET	SHEET TITLE	SHEET NUMBER							
1	COVER SHEET	C-000							
2	EXISTING CONDITIONS	C-100							
3	SITE DEVELOPMENT CONCEPT PLAN	C-200							
4	SIGHT DISTANCE PLAN	C-210							
5	DRAINAGE AREA MAPS	C-300							
6	STORMWATER MANAGEMENT DETAILS	C-500							
7	STORMWATER MANAGEMENT DETAILS	C-501							

Stormwater Management Summary							
	Required	Provided					
ESDv (cf)	3238	3518					
Rev (cf)	842	1268					
CPv (cf)	CPv is met with ESD to the MEP						
Qp10	Qp10 is met with Reduced CN method to SP-A and SP-B						
Qp100	ESD volume and underground dete						

	ARTMENT OF PERMITTING, INSPECTIONS AND ENFORCEMENT (DPIE) PRINCE GEORGE'S COUNTY, MARYLAND
	PEER REVIEW APPROVAL STAMP
Revie in de the c	eted participation in DPIE's Peer V Program. I have reviewed these plans tail and they are in conformance with bunty's Code, General Specifications tandards."
	AL DATE: / Sept 19, 2019
	EVIEWER: Call Com
PEER I	Tall man

ING L F)	MAX ESD VOL (ESDmax) (CF)	RCN	ON_OFF_SITE
	3298	94	On-Site
	1773	93	On-Site
	2055	95	On-Site
	1641	91	On-Site

Prince George's County Maryland
Department of Permitting, Inspections & Enforceme
APPROVED PLAN SET

The Department of Permitting, Inspections and Enforcement has completed a review of this document for code compliance. As required by State Code, the design professional(s) responsible for the preparation and content of this document must provide a record copy of these documents with their original seal circumstume and dote. seal, signature and date.

Case Name: PEER REVIEW - RANDOLPH VILLAGE_LOT 13_BLOCK 7 Case Number (Plan Approval #): 25146-2019-0 Case Type: PSWM Issuance Date: 10/16/2019 Address: 8710 CENTRAL AVE AVE LANDOVER, Maryland 20785 Lot(s) and Block(s): 4437522071

Reviewed By CC/MT

Approved by:

m

Rey De Guzman



							. REV
							No.
						PLACE COMMERCE FARM DR., SUITE 400, RESTON, VA 20131 PHONE: 703-674-1300 FAX: 703-674-1350	WWW.KIMLEY-HORN.COM
LICENSED PROFESSIONAL	THE OF MARINE	A CONT - A CONT		•••			DATE: 09/09/2019
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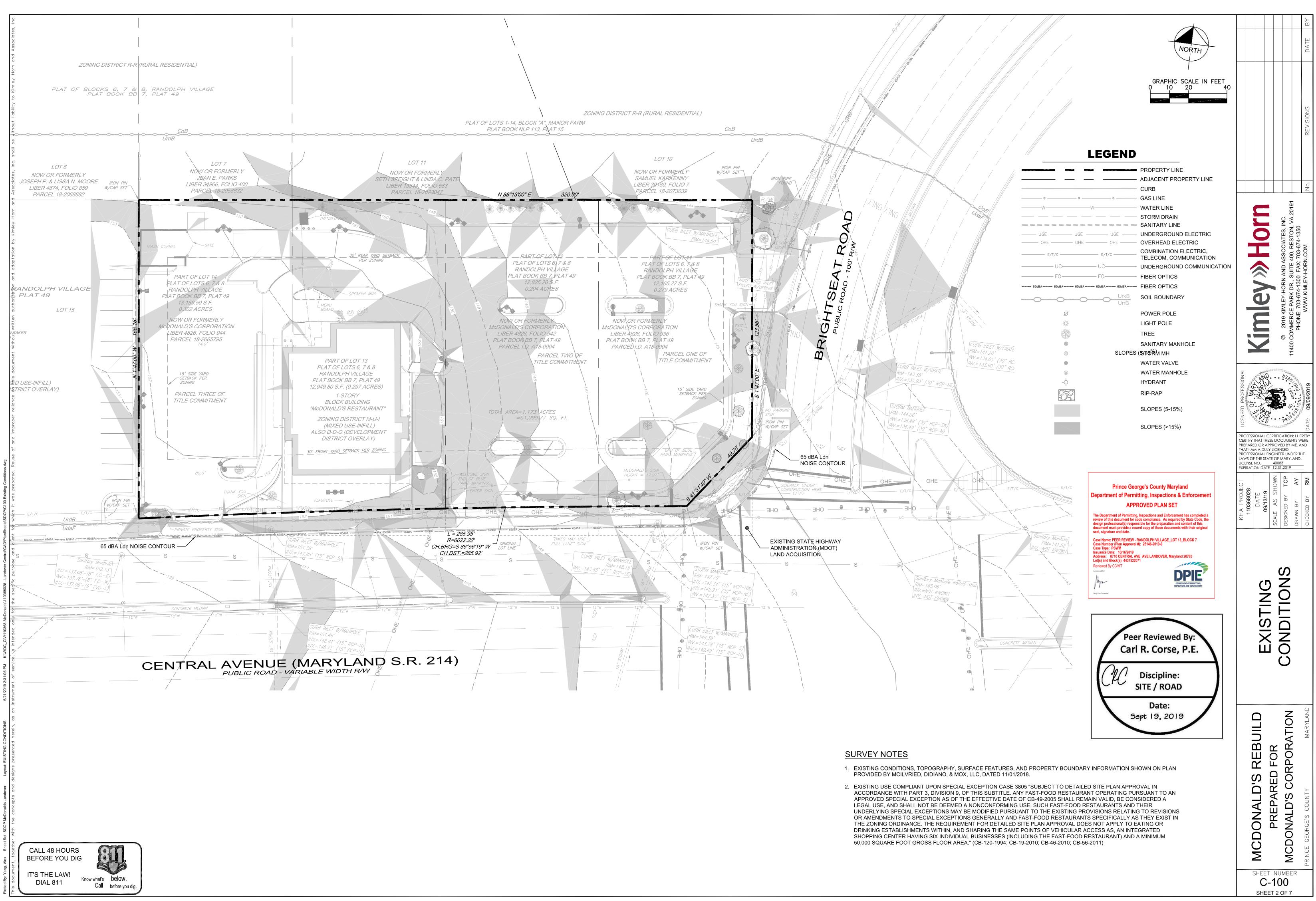
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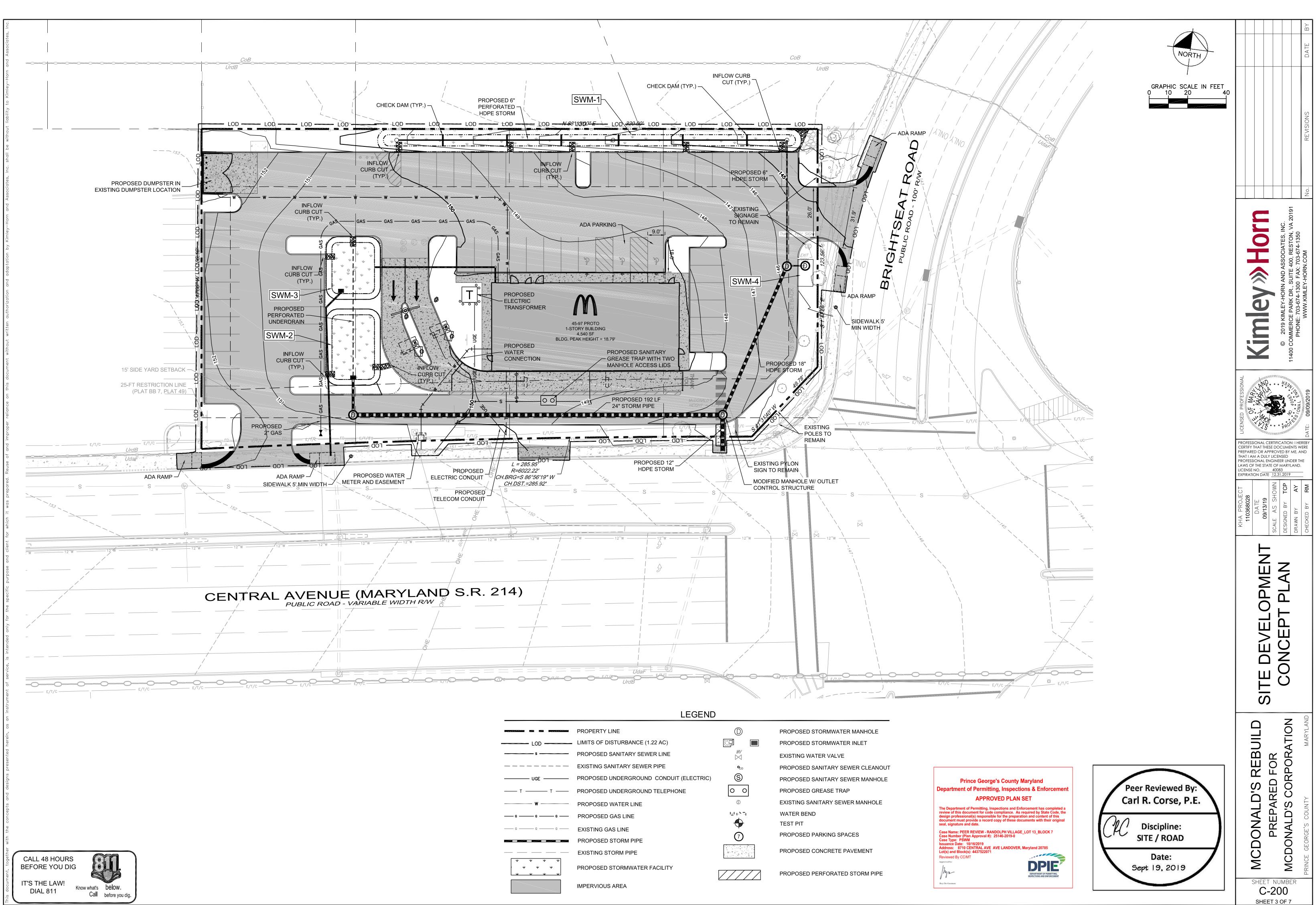
SHEET 1 OF 7

CORPORATION

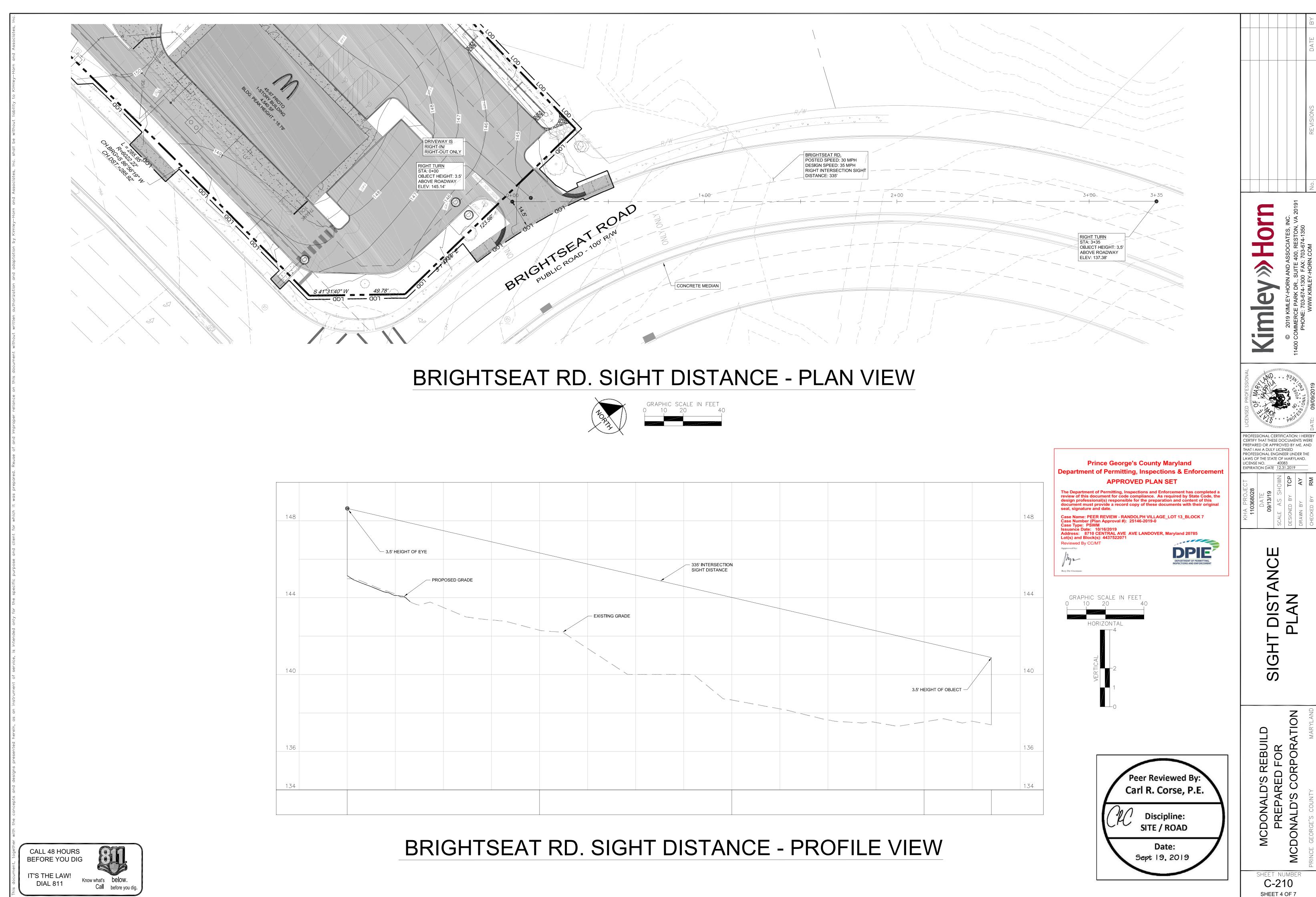
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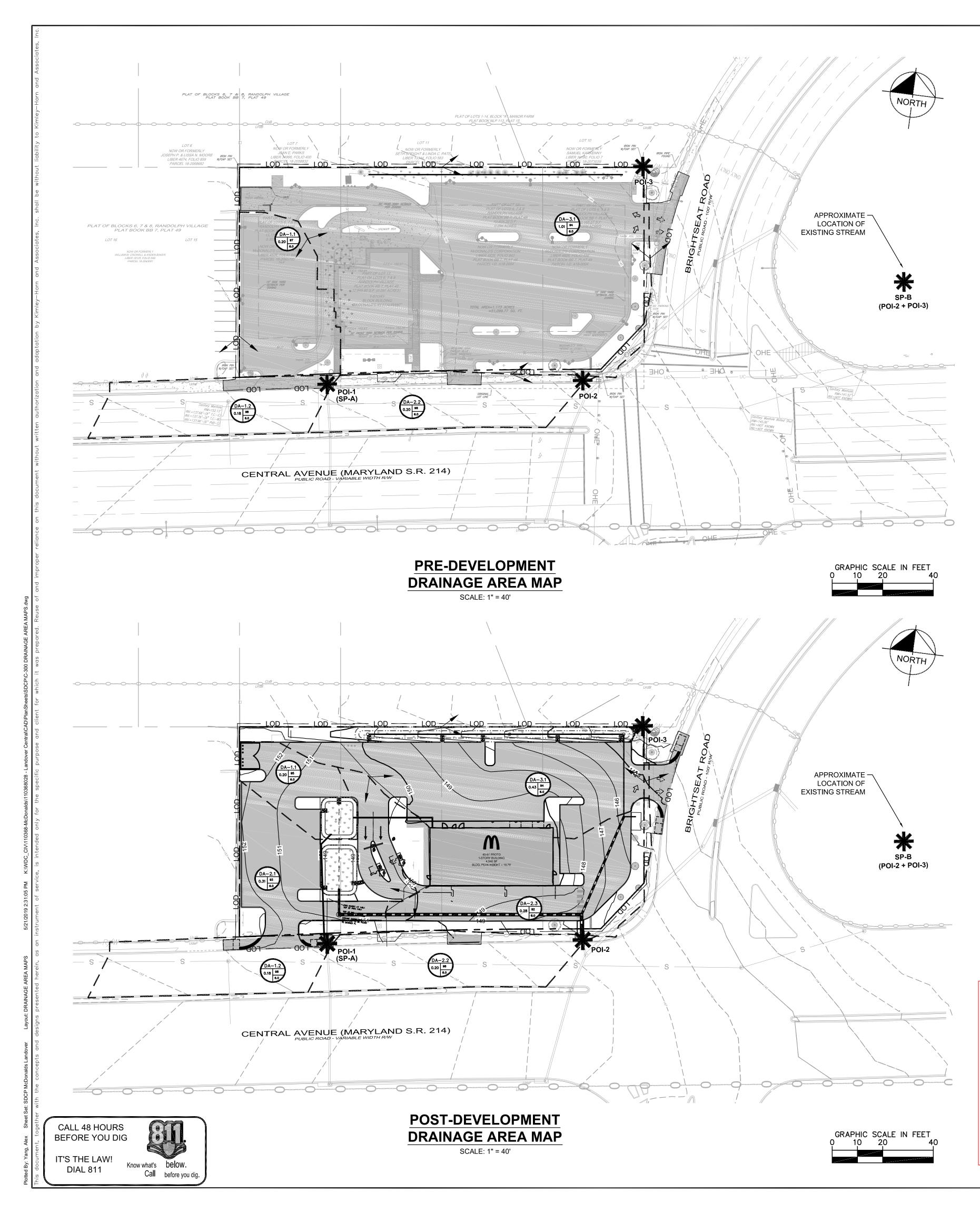
MCDONALD





	PROPERTY LINE	\square	PROPOSED STORMWATER MANHOLE
LOD	LIMITS OF DISTURBANCE (1.22 AC)		PROPOSED STORMWATER INLET
S	PROPOSED SANITARY SEWER LINE	\bowtie	EXISTING WATER VALVE
	EXISTING SANITARY SEWER PIPE	o _{co}	PROPOSED SANITARY SEWER CLEANOUT
UGE	PROPOSED UNDERGROUND CONDUIT (ELECTRIC)	S	PROPOSED SANITARY SEWER MANHOLE
— T T	PROPOSED UNDERGROUND TELEPHONE	0 0	PROPOSED GREASE TRAP
w	PROPOSED WATER LINE	S	EXISTING SANITARY SEWER MANHOLE
G G G	PROPOSED GAS LINE	너 다 소	WATER BEND
G G G	EXISTING GAS LINE		TEST PIT
	PROPOSED STORM PIPE	(7)	PROPOSED PARKING SPACES
	EXISTING STORM PIPE		PROPOSED CONCRETE PAVEMENT
$\begin{array}{cccc} \psi & \psi & \psi & \psi \\ \psi & \psi & \psi & \psi \\ \psi & \psi &$	PROPOSED STORMWATER FACILITY		PROPOSED PERFORATED STORM PIPE
	IMPERVIOUS AREA		





NOTES

- 1. IN THE PRE-DEVELOPMENT CONDITION, THE SITE SHEET FLOWS TO ADJACENT ROADS. POINT OF INTEREST (POI) 1 DESCRIBES STORM WATER RUNOFF TO THE SOUTH OF THE PROJECT SITE INTO AN EXISTING INLET IN CENTRAL AVENUE. POI 2 IS ALSO AN INLET IN CENTRAL AVENUE THAT CAPTURES RUNOFF FROM CENTRAL AVENUE, BUT NO ON-SITE RUNOFF IN EXISTING CONDITIONS. POI 3 DESCRIBES STORM WATER RUNOFF TO THE NORTHEAST OF THE PROJECT SITE ONTO EXISTING RIP-RAP AND EVENTUALLY INTO THE BRIGHTSEAT ROADWAY. POI-2 AND POI-3 BOTH CONVERGE IN AN EXISTING STREAM LOCATED TO THE EAST OF BRIGHTSEAT ROAD, IDENTIFIED AS STUDY POINT (SP) SP-B.
- 2. FROM PRE- TO POST-DEVELOPMENT, THE MOST SIGNIFICANT CHANGE IS THE ADOPTION OF STORM WATER BMPS TO CAPTURE AND TREAT STORM WATER RUNOFF PRIOR TO OUTFALLING INTO THE EXISTING STORM WATER INFRASTRUCTURE. STORM DRAINAGE IS CAPTURED INTO PROPOSED BIO-SWALES, MICRO-BIORETENTION FACILITIES OR STRUCTURAL SWM FACILITIES IN THE PROPOSED ON-SITE PARKING LOT, PRIOR TO CONNECTING TO POIS DESCRIBED IN NOTE #1.
- 3. UNDERGROUND DETENTION FACILITIES ARE PROPOSED UNDER THE PARKING LOT FOR THE 100-YEAR STORM EVENT IN THE FORM OF UNDERGROUND STORAGE PIPES. DESIGN DETAILS WILL BE PROVIDED IN THE NEXT DESIGN STAGE SUBMITTAL FOR THE STORAGE CHAMBERS AND OUTLET CONTROL STRUCTURE.
- 4. TIME OF CONCENTRATION IS ASSUMED TO BE 6 MINUTES FOR ALL DRAINAGE AREAS IN PRE AND POST-DEVELOPMENT CONDITIONS.
- 5. ACCORDING TO USDA WEB SOIL SURVEY, ALL ON-SITE SOILS ARE HYDROLOGIC SOIL GROUP D, UrdB - URBAN LAND-COLLINGTON-WIST COMPLEX, 0 TO 5 PERCENT SLOPES.

Prince George's County Maryland **Department of Permitting, Inspections & Enforcement** APPROVED PLAN SET

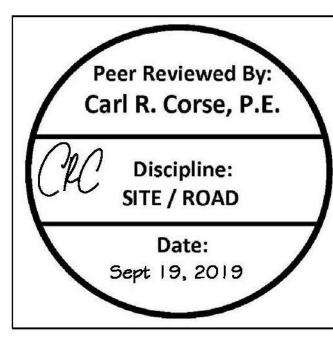
The Department of Permitting, Inspections and Enforcement has completed a review of this document for code compliance. As required by State Code, the design professional(s) responsible for the preparation and content of this document must provide a record copy of these documents with their original seal, signature and date.

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- Lot(s) and Block(s): 4437522071 Reviewed By CC/MT





		n I
LEG	END	
	PROPERTY LINE	
LOD	LIMITS OF DISTURBANCE (1.22 AC)	
	DRAINAGE AREA DIVIDE	
DA	DA = DRAINAGE AREA LABEL A = AREA (ACRES)	
A C TC	C = C FACTOR TC = TIME OF CONCENTRATION (MINUTES)	
×	DRAINAGE AREA POINT OF ANALYSIS (POA)	
	IMPERVIOUS COVER	



	EXISTING CONDITIONS DRAINAGE SUMMARY										
STUDY POINT	DRAINAGE AREA (AC)	IMPERVIOUS AREA (AC)	CN	tc (HR)	Q1 (CFS)	Q10 (CFS)	Q100 (CFS)				
DA-1.1	0.20	0.19	97	0.1	0.64	1.24	2.16				
DA-1.2	0.18	0.18	98	0.1	0.59	1.13	1.95				
POI-1	0.38	0.37	98	0.1	1.25	2.38	4.11				
DA-2.1	N/A	N/A	N/A	N/A	0	0	0				
DA-2.2	0.2	0.2	98	0.1	0.66	1.25	2.16				
DA-2.3	N/A	N/A	N/A	N/A	0	0	0				
POI-2	0.2	0.2	98	0.1	0.66	1.25	2.16				
DA-3.1	1.01	0.75	94	0.1	2.96	6.03	10.71				
POI-3	1.01	0.75	94	0.1	2.96	6.03	10.71				

	PR	OPOSED CONDITIONS DR	AINAGE SU	JMMARY			
STUDY POINT	DRAINAGE AREA (AC)	IMPERVIOUS AREA (AC)	CN	tc (HR)	Q1 (CFS)	Q10 (CFS)	Q100 (CFS)
DA-1.1	0.2	0.17	95	0.1	0.61	1.21	2.14
DA-1.2	0.18	0.18	98	0.1	0.59	1.13	1.95
POI-1	0.38	0.35	97	0.1	1.22	2.36	4.10
DA-2.1	0.31	0.23	93	0.1	0.88	1.83	3.27
DA-2.2	0.2	0.2	98	0.1	0.66	1.25	2.16
DA-2.3	0.28	0.16	92	0.1	0.69	1.46	2.64
POI-2	0.79	0.59	93	0.1	2.25	4.68	8.39
DA-3.1	0.43	0.33	94	0.1	1.27	2.59	4.6
POI-3	0.43	0.33	94	0.1	1.27	2.59	4.6

	EXISTING CONDITIONS DRAINAGE SUMMARY (STUDY POINTS)									
STUDY POINT	DRAINAGE AREA (AC)	IMPERVIOUS AREA (AC)	CN	tc (HR)	Q1 (CFS)	Q10 (CFS)	Q100 (CFS)			
SP-A										
(POI-1)	0.38	0.37	98	0.10	1.25	2.38	4.11			
SP-B										
(POI-2+3)	1.2	0.95	94	0.1	3.57	7.27	12.9			

	PROPOSED CONDITIONS DRAINAGE SUMMARY (STUDY POINTS)											
STUDY POINT	DRAINAGE AREA (AC)	IMPERVIOUS AREA (AC)	CN	tc (HR)	Q1 (CFS)	Q10 (CFS)	Q100 (CFS)					
SP-A												
(POI-1)	0.38	0.35	97	0.10	1.22	2.36	4.10					
SP-B												
(POI-2+3)	1.22	0.92	94	0.1	3.62	7.38	13.11					

	REDUCED CURVE NUMBER PROPOSED CONDITIONS DRAINAGE SUMMARY									
STUDY POINT	DRAINAGE AREA (AC) IMPERVIOUS AREA (AC) RCN tc (HR)									
SP-B	1.22	0.92	88	0.1	2.81	6.6	12.47			

	10	D-YEAR CONTROL	SUMMARY			
STUDY POINT	DISCHARGE DISCHARGE EX. DETENTION					
SP-B	0.00191	13.11	12.9	3454		

C-	MCDONALD'S REBUILD	DRAINAGE ARFA	KHA PROJECT LICENSED PROFESSIONAL 110368028 LICENSED PROFESSIONAL DATE OF MAN DATE OP 1000000000000000000000000000000000000	Kimlev » Horn				
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0	MCDONALD'S CORPORATION	NAPS	ATION CUMEI ED BY I SED IR UNE MARYL	© 2019 KIMLEY-HORN AND ASSOCIATES, INC. 11400 COMMERCE PARK DR SHITE 400 RESTON VA 20181				
			NTS W ME, A DER TH	PHONE: 703-674-1300 FAX: 703-674-1350				
	PRINCE GEORGE'S COUNTY MARYLAND		ERE ND	WWW.KIMLEY-HORN.COM	No.	REVISIONS	DATE B	ВΥ

B.4.C Specifications for Micro-Bioretention. Rain Gardens, Landscape Infiltration & Infiltration Berms

1. Material Specifications

The allowable materials to be used in these practices are detailed in Table B.4.1.

2. Filtering Media or Planting Soil

The soil shall be a uniform mix, free of stones, stumps, roots or other similar objects larger than two inches. No other materials or substances shall be mixed or dumped within the microbioretention practice that may be harmful to plant growth, or prove a hindrance to the planting or maintenance operations. The planting soil shall be free of Bermuda grass, Quackgrass, Johnson grass, or other noxious weeds as specified under COMAR 15.08.01.05.

The planting soil shall be tested and shall meet the following criteria:

- Soil Component Loamy Sand or Sandy Loam (USDA Soil Textural Classification) • Organic Content - Minimum 10% by dry weight (ASTM D 2974). In general, this can be met with a mixture of loamy sand (60%-65%) and compost (35% to 40%) or sandy loam (30%), coarse sand (30%), and compost (40%).
- Clay Content Media shall have a clay content of less than 5%.
- pH Range Should be between 5.5 7.0. Amendments (e.g., lime, iron sulfate plus sulfur) may be mixed into the soil to increase or decrease pH.

There shall be at least one soil test per project. Each test shall consist of both the standard soil test for pH, and additional tests of organic matter, and soluble salts. A textural analysis is required from the site stockpiled topsoil. If topsoil is imported, then a texture analysis shall be performed for each location where the topsoil was excavated.

3. Compaction

It is very important to minimize compaction of both the base of bioretention practices and the required backfill. When possible, use excavation hoes to remove original soil. If practices are

excavated using a loader, the contractor should use wide track or marsh track equipment, or light These practices may not be constructed until all contributing drainage area has been stabilized equipment with turf type tires. Use of equipment with narrow tracks or narrow tires, rubber tires with large lugs, or high-pressure tires will cause excessive compaction resulting in reduced infiltration rates and is not acceptable. Compaction will significantly contribute to design failure.

Compaction can be alleviated at the base of the bioretention facility by using a primary tilling operation such as a chisel plow, ripper, or subsoiler. These tilling operations are to refracture the soil profile through the 12 inch compaction zone. Substitute methods must be approved by the engineer. Rototillers typically do not till deep enough to reduce the effects of compaction from heavy equipment.

Rototill 2 to 3 inches of sand into the base of the bioretention facility before backfilling the optional sand layer. Pump any ponded water before preparing (rototilling) base.

When backfilling the topsoil over the sand layer, first place 3 to 4 inches of topsoil over the sand, then rototill the sand/topsoil to create a gradation zone. Backfill the remainder of the topsoil to final grade.

When backfilling the bioretention facility, place soil in lifts 12" to 18". Do not use heavy equipment within the bioretention basin. Heavy equipment can be used around the perimeter of the basin to supply soils and sand. Grade bioretention materials with light equipment such as a compact loader or a dozer/loader with marsh tracks.

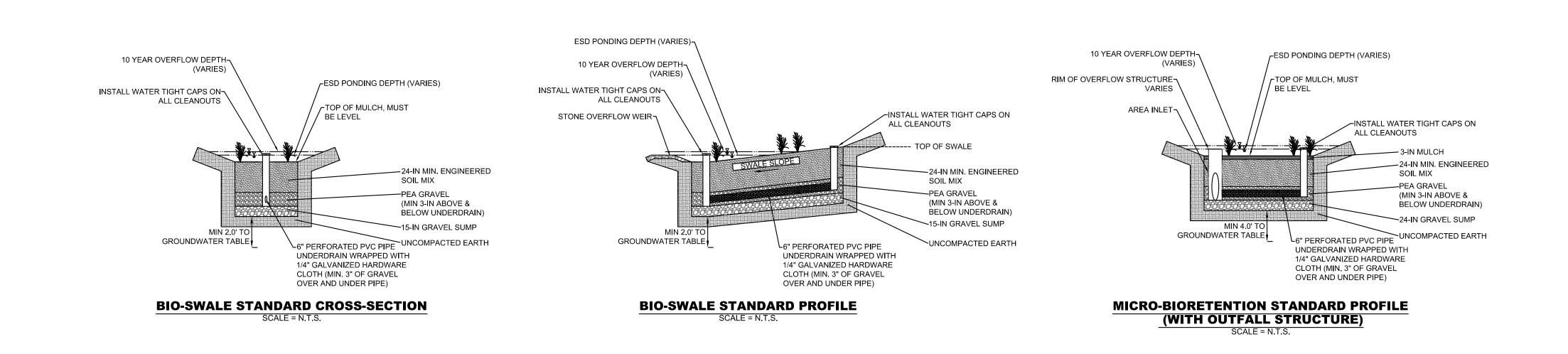
4. Plant Material

Recommended plant material for micro-bioretention practices can be found in Appendix A, Section A.2.3.

5. Plant Installation

Compost is a better organic material source, is less likely to float, and should be placed in the invert and other low areas. Mulch should be placed in surrounding to a uniform thickness of 2" to 3". Shredded or chipped hardwood mulch is the only accepted mulch. Pine mulch and wood chips will float and move to the perimeter of the bioretention area during a storm event and are not acceptable. Shredded mulch must be well aged (6 to 12 months) for acceptance.

Rootstock of the plant material shall be kept moist during transport and on-site storage. The plant root ball should be planted so 1/8th of the ball is above final grade surface. The diameter of the planting pit shall be at least six inches larger than the diameter of the planting ball. Set and maintain the plant straight during the entire planting process. Thoroughly water ground bed cover after installation.



Sand

Trees shall be braced using 2" by 2" stakes only as necessary and for the first growing season only. Stakes are to be equally spaced on the outside of the tree ball.

Grasses and legume seed should be drilled into the soil to a depth of at least one inch. Grass and legume plugs shall be planted following the non-grass ground cover planting specifications.

The topsoil specifications provide enough organic material to adequately supply nutrients from natural cycling. The primary function of the bioretention structure is to improve water quality. Adding fertilizers defeats, or at a minimum, impedes this goal. Only add fertilizer if wood chips or mulch are used to amend the soil. Rototill urea fertilizer at a rate of 2 pounds per 1000 square feet.

6. Underdrains

Underdrains should meet the following criteria:

- Pipe- Should be 4" to 6" diameter, slotted or perforated rigid plastic pipe (ASTMF 758, Type PS 28, or AASHTO-M-278) in a gravel layer. The preferred material is slotted, 4" rigid pipe (e.g., PVC or HDPE).
- Perforations If perforated pipe is used, perforations should be 3/8" diameter located 6" on center with a minimum of four holes per row. Pipe shall be wrapped with a $\frac{1}{4}$ (No. 4 or 4x4) galvanized hardware cloth.
- Gravel The gravel layer (No. 57 stone preferred) shall be at least 3" thick above and below the underdrain.
- The main collector pipe shall be at a minimum 0.5% slope.
- A rigid, non-perforated observation well must be provided (one per every 1,0000 square feet) to provide a clean-out port and monitor performance of the filter.
- A 4" layer of pea gravel (1/8" to 3/8" stone) shall be located between the filter media and underdrain to prevent migration of fines into the underdrain. This layer may be considered part of the filter bed when bed thickness exceeds 24".

The main collector pipe for underdrain systems shall be constructed at a minimum slope of 0.5%. Observation wells and/or clean-out pipes must be provided (one minimum per every 1000 square feet of surface area).

7. Miscellaneous

Table B.4.1 Materials Specifications for Micro-Bioretention, Rain Gardens & Landscape Infiltration-Material Specification Size Notes see Appendix A, Table A.4 n/a plantings are site-specific Plantings Planting soil loamy sand (60 - 65%) & USDA soil types loamy sand or sandy loam; clay content < 5%n/a [2' to 4' deep] compost (35 – 40%) sandy loam (30%), coarse sand (30%) & compost (40%) Min. 10% by dry weight Organic content (ASTM D 2974) shredded hardwood ged 6 months, minimum; no pine or wood chips pea gravel: ASTM-D-448 NO. 8 OR NO. 9 Pea gravel diaphragm (1/8" TO 3/8") Curtain drain ornamental stone: washed stone: 2" to 5" cobbles Geotextile PE Type 1 nonwoven n/a Gravel (underdrains and AASHTO M-43 NO. 57 OR NO. 6 AGGREGATE nfiltration berms) (3/8" to 3/4") Underdrain piping F 758, Type PS 28 or AASHTO 4" to 6" rigid schedule 40 Slotted or perforated pipe; 3/8" perf. @ 6" on center, 4 holes per M-278 PVC or SDR35 row; minimum of 3" of gravel over pipes; not necessary underneath pipes. Perforated pipe shall be wrapped with 1/4-inch galvanized hardware cloth Poured in place concrete (if MSHA Mix No. 3; $f'_{c} = 3500$ n/a on-site testing of poured-in-place concrete required: psi @ 28 days, normal weight, 28 day strength and slump test; all concrete design (cast-in-place required) air-entrained; reinforcing to or pre-cast) not using previously approved State or local meet ASTM-615-60 standards requires design drawings sealed and approved by a professional structural engineer licensed in the State of Maryland design to include meeting ACI Code 350.R/89; vertical loading [H-10 or H-20]; allowable horizontal loading (based on soil pressures); and analysis of potential cracking AASHTO-M-6 or ASTM-C-33 0.02" to 0.04" Sand substitutions such as Diabase and Graystone (AASHTO)

> #10 are not acceptable. No calcium carbonated or dolomitic sand substitutions are acceptable. No "rock dust" can be used for sand.

seal, signature and date.

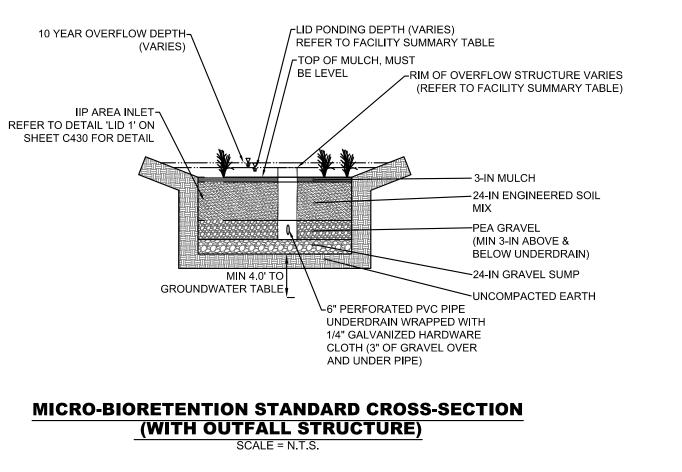
Reviewed By CC/MT

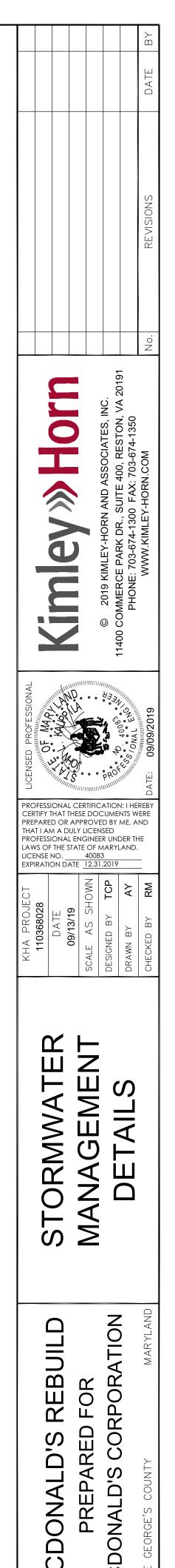
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	STORMWATER MAINTEN MICRO-BIORET	
-	MONTHLY INSPI	ECTION
Inspection Item	Inspection Requirements	Remedial Action
Debris and Trash	Check for trash and debris in facility including inlets, outlets, conveyance systems, and area around facility.	Remove all trash and debris and dispose in an acceptable manner. Unclog all openings.
Plant Composition and Health	Compare plant composition with approved plans. Check for invasive species or weeds. Check for dead or dying vegetation.	Remove invasive species and weeds. Replace dead plants in accordance with approved landscaping plan.
Vegetative Cover	Check for channelizing, erosion, and bare spots. Check for vegetation blocking inlet and outlet.	Remove or cut back vegetation around inlet and outlet structures. Mow side slopes when grass exceeds 12 inches in height, but do not mow filter bed. Remove grass clippings. Re-seed or re-plant in accordance with approved landscaping plans.
Mulch Layer	Check mulch for adequate cover, sediment accumulation, or discoloration.	Replace and remove old mulch and excess sediment. Provide adequate mulch cover according to approved design.
0	SEASONAL INSPECTION AND AI	TER A MAJOR STORM
Inspection Item	Inspection Requirements	Remedial Action
Dewatering	Check ponding level. Surface storage must dewater within 48 hours of rainfall. Noticeable odors, stained water on the filter surface or at the outlet, or the presence of algae or aquatic vegetation are indicators of anaerobic conditions and inadequate dewatering of the facility.	Remove and replace top few inches of media. Confirm adequate dewatering with follow up inspections. If the facility does not function as intended after the above action, the entire system including the underdrain may need refurbishing.
Erosion	Check inlets, filter bed, outlets, and side slopes for erosion, rills, gullies, and runoff channelization.	Re-grading may be required when concentrated flow causes rills or gullying through the facility. Grade, vegetate, and/or armor to provide stable conveyance in accordance with approved plans.
Sediment Accumulation	Check for accumulated sediment in conveyance systems and on filter bed. Check for clogged openings.	When sediment accumulates to 1 inch depth, remove sediment. Remove sediment from clogged openings. Dispose of all sediment in an acceptable location.
Blockages	Check overflow inlet (riser), piping, and underdrain for blockages. Check observation wells for water level.	Clear out any blockages.
	ANNUAL INSPEC	CTION
Inspection Item	Inspection Requirements	Remedial Action
Maintenance Access	Check for accessibility to facility.	Prevent excessive vegetative growth, erosion, and obstructions on access way.
Flow Conveyance System	Check overflow inlet, piping, and bypass for misalignments, breakage, and blockage.	Repair any broken or faulty piping. Clear out any blockages.
Structural Components	Check for evidence of structural deterioration, spalling, or cracking. Inlet and outlet structures as well as riprap outfalls must be in good condition.	Repair to good condition according to specifications on the approved plans.
Overall Function of Facility	Check that practice is functioning as designed.	Repair to good condition according to specifications on the approved plans.





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SHEET 6 OF 7

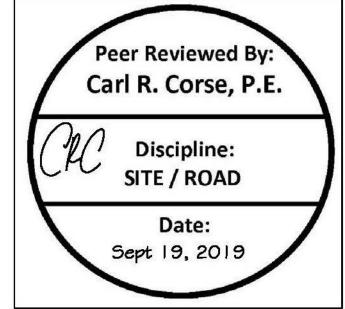
The Department of Permitting, Inspections and Enforcement has completed a w of this document for code co liance As required by State Code th design professional(s) responsible for the preparation and content of this iment must provide a record copy of these documents with their origina Case Name: PEER REVIEW - RANDOLPH VILLAGE_LOT 13_BLOCK 7 Case Number (Plan Approval #): 25146-2019-0 Case Type: PSWM Issuance Date: 10/16/2019 Address: 8710 CENTRAL AVE AVE LANDOVER, Maryland 20785 Lot(s) and Block(s): 4437522071

Prince George's County Maryland

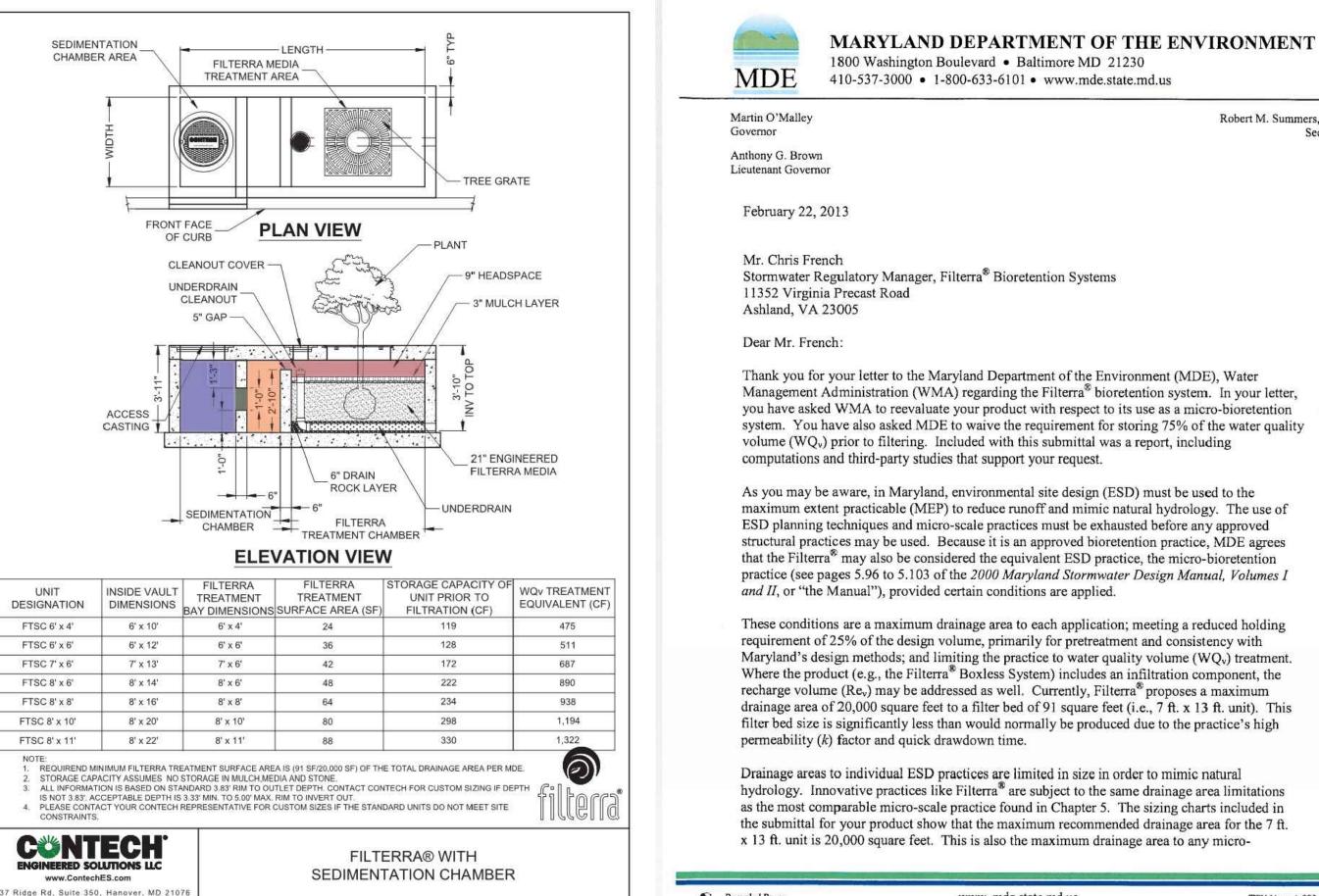
Department of Permitting, Inspections & Enforcement

APPROVED PLAN SET





C NTEC	and nasca siring	oer MDE ESD Approval	filter
Project Name: Site Designation:	McDonald's Relocation Filterra	Date:	8/21/19
County or Independent City:	Prince Georges	Design Engineer:	BAB
State:	MD		
Site Characteristic Input			
Target Rainfall Event, P (inches)		1.00	
Total Drainage Area		0.200	ac
Impervious Area		0.200	ac
Rim to Invert Out Depth (ft)		3.830	ОК
Percent of WQv to be Stored in Filterra		25%	
Volume Computations			
% Impervious, I		100%	
Volumetric Runoff Coefficient, Rv		0.95	
Water Quality Volume, WQv (ac-ft)		0.0158	
Water Quality Volume, WQv (cf)		690	
erra Sizing (Per MDE ESD Approval Letter)			
Minimum Filterra Planted Surface Area (sf)	91/20,000 of the Drainage Area	40	
Minimum WQv Required Storage (cf)	25% of the WQv	172	
Recommended Filterra Size	FTSC Configuration	8' x 6' (8' x 14')	
Filterra Planted Surface Area Provided (sf)		48	
WQv Storage Provided (cf)		222	



ve Inside Rim to Filter Media Sedimentatic Vault Length Inv. Out Surface Area Length (ft) (ft) 0 8x20 8 20 3.83 10 9.5 1' 8x22 8 22 3.83 11 10.5 1. Contech Filterra Sedimentation Chamber model designation, which is based on the filter media length and width Overall internal vault dimensions.
 Internal vault width. Internal vault length. 5. Rim to invert out depth. 6. Length of chamber with filter media (see detail). 7. Length of sedimentation chamber (see detail).
8. Filter media surface area = inside vault width (3) x filter media surface area length (6).
9. Headspace depth = Rin to inv. out (5) - 8" to p slab - 21" media - 3" mulch - 5" underdrain stone to pipe Invert.*
10. Headspace volume = headspace depth (9) x filter media surface area (8) + (6" x 5" x inside vault width (3)) to account for volume in gap above weir wall. Chamber volume 1 = (sedimentation chamber length (7) - 1.5' for chamber 3 - 6' for weir wall) x inside vault width (3) x (rim to invert out (5) + 1" to get to vault invert - 8" top slab).
 Chamber volume 2 = 6" wall width x 1' opening in wall x (inside vault width (3) - 2').
 Chamber volume 3 = 1.5' x (rim to invert out (5) + 1" to get to vault invert - 8" top slab) x inside vault width (3). 14. Storage Capacity of Unit Prior to Filtration = headspace volume (10) + chamber volume 1 (11) + chamber volume 2 (12) + chamber volume 3 (153 15. = WQv Treatment Equivalent = Storage Capacity of Unit Prior to Filtration x 4. ** Calculations shown are for standard depth of 3.83' rim to invert out. For shallow units (3.33' - 3.83') the decrease in depth will be removed from the filter media and the headspace will remain 9". For deep units (3.83' - 5.00') the depth will be added to the headspace and the media depth will remain 21 ** The Treatment Volume for which the Storage Capacity of the Filterra Unit (16) is 25%.

-8490 OFFICE

410-740-8492 F/

ATE:04-06-17

Prince George's County Maryland Department of Permitting, Inspections & Enforcement **APPROVED PLAN SET**

The Department of Permitting, Inspections and Enforcement has completed a review of this document for code compliance. As required by State Code, the design professional(s) responsible for the preparation and content of this document must provide a record copy of these documents with their original seal, signature and date.

Case Name: PEER REVIEW - RANDOLPH VILLAGE_LOT 13_BLOCK 7 Case Number (Plan Approval #): 25146-2019-0 Case Type: PSWM Address: 8710 CENTRAL AVE AVE LANDOVER, Maryland 20785

Lot(s) and Block(s): 4437522071 Reviewed By CC/MT

Approved by:

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Rey De Guzm

DPIE DEPARTMENT OF PERMITTING, INSPECTIONS AND ENFORCEMENT

PRODUCT No.: FTSC DRAWN BY: BAS

	8	9	10	11	12	13	14	15	16
tion ingth	Filter Media Surface Area (sf)	Headspace Depth (ft)	Headspace Volume (cf]	Chamber Volume 1 (cf)	Chamber Volume 2 (cf)	Chamber Volume 3 (cf)	Storage Capacity of Unit Prior to Filtration (cf)	WQv Treatment Equivalent (cf)	Underdrain Pipe Diameter (in)
	24	0.75	19.25	68.18	2.00	29,22	119	475	
	36	0.75	28.25	68.18	2.00	29.22	128	511	13
	42	0.75	32.96	102.27	2.50	34.09	172	687	1
	48	0.75	37.67	142.85	3.00	38.96	222	890	
	64	0.75	49.67	142.85	3.00	38.96	234	938	
-	80	0.75	61.67	194.80	3.00	38.96	298	1194	
	88	0.75	67.67	220.77	3.00	38.96	330	1322	

SCALE: NONE

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Robert M. Summers, Ph.D.

Secretary

Mr. Chris French February 22, 2013 Page 2

bioretention practice listed in Chapter 5 of the Manual (see p. 5.98). MDE sees no reason to alter this condition.

The analyses, computations, and third-party studies submitted in 2006 and with your recent letter support the high k factor used in Filterra[®]'s design. This k factor allows Filterra[®] to be considerably smaller than other filtering practices and may warrant a reduction in the volume of runoff that must be stored prior to filtering. However, the stormwater modeling submitted with your letter does not support a complete waiver of Maryland's volumetric sizing criterion. Flowbased calculations require estimating parameters like the time of concentration to each practice to determine storage requirements. These parameters are subject to a greater degree of statistical uncertainty and result in designs that do not provide adequate treatment. More complex design parameters do not necessarily translate into improved performance. In contrast, sizing stormwater practices using a volume-based requirement, which is more accurate, is a simpler and more effective approach. Therefore, the Filterra® system must capture and treat a percentage of the WQ_v. However, considering the Filterra^{∞} media's higher k factor, MDE will reduce the percentage of runoff that must be stored prior to filtering from 75% to 25% of the design volume (e.g., WQ_v).

In new development designs, Rev must be distributed across a project as much as practical to mimic natural conditions. Some variants of the Filterra[®] system (the FocalPoint[®] or boxless system) address the recharge requirement while others (e.g., the standard Filterra® system) do not. Variants that do not provide recharge may be used as part of a systems approach provided that recharge requirements are addressed by the system.

To protect stream channels from erosion, ESD and structural practices must be used to capture, store, and gradually release the Cp_v over an extended interval (e.g., 24 to 36 hours) as determined by the methods found in Appendix D.11 of the Manual. Practices that release runoff over shorter periods of time may not be used for addressing the Cp_v requirement. According to the submitted report and computations, the Filterra® system has an estimated drawdown time between 15 to 18 minutes (0.25 to 0.30 hours). This is significantly less than that required to address Cpv requirements. Therefore, the Filterra[®] system does not meet the Cpv requirements and may not be used as a stand-alone ESD practice. However, practices that do not meet Cpv requirements may be used provided they are part of a system of practices that captures, stores, and slowly releases the required volume of runoff at rates meeting the channel protection flow criteria.

In summary, MDE approves the Filterra[®] system as a filtering device that can be used for any redevelopment, retrofitting, or infill application provided it is accepted locally. Additionally, for new development applications, the Filterra[®] system is approved as an ESD practice for providing water quality treatment and, where the appropriate variant is used, groundwater recharge. This approval is conditioned on limiting the drainage area to 20,000 sq. ft. to a

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Mr. Chris French February 22, 2013 Page 3

standard 7 ft x 13 ft. unit; sizing the system to capture and store 25% of the design volume (e.g., WQ_v); and meeting applicable filtering design criteria in the Manual for feasibility, conveyance, and maintenance. Because it does not address Cp_v, the Filterra[®] may not be used as a standalone ESD practice. However, it may be used as part of a system of practices that, as a whole, addresses all of the ESD requirements.

We will remain open to entertaining any future design changes if sufficiently justified. For now, if you have any questions or would like to discuss this further, please call me at (410) 537-3554 or contact Mr. Stewart Comstock at (410) 537-3550 or scomstock@mde.state.md.us.

Sincerely, Brian S. Clevenger

Program Manager Sediment, Stormwater & Dam Safety Program

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Contech Engineered Solutions LL 605 Global Way, Suite 113 Linthicum, MD 21090 Phone: (866)740-3318



Summary of Filterra® Sizing and Configuration 2013 MDE Approval for ESD (first 1" Only) and WQv Applications

The Filterra® high-flow bioretention system technology was approved by the MDE in February of 2013 for use as an ESD practice (first 1" only) and as a structural WQv practice. Outlined below are detailed descriptions of the two separate sizing and design requirements for the system as stated in the approval letter. Copies of the approval documentation issued by the MDE and diagrams of the standard offline Filterra® and Sedimentation Chamber Filterra® (including surface area and volume capacity data) are available upon request.

I. The surface area of the Filterra® system (the planted area) must be no less than the ratio of 91 / 20,000 of the total contributing drainage area. This derives from the example proportion given in the approval letter stating that a 7'x13' Filterra[®] unit (with 91 square feet of planted surface area) would size to a 20,000 square foot drainage area. This is analogous to the drainage area to surface area proportion methods for bioretention found in the MDE Stormwater Manual Chapter 5. The drainage area is the total area draining to the system, not only the impervious.

This drainage area proportion is based upon the rapid infiltration rate of the system (140" per hour) which allows for the 1" runoff volume to pass through the system immediately upon running off the paved surface draining to the Filterra®. SWMM modeling and routing computations upon which the drainage area proportion was based are available upon request.

II. The entire system, including pretreatment, must provide storage for 25% of the 1" (water quality) volume prior to filtration. This is analogous to the sizing technique for media filters found in the MDE Stormwater Manual Chapter 3. Techniques for providing storage include providing a forebay as part of the Filterra® prefabricated tank (referred to as the Filterra® Sedimentation Chamber configuration) which can be provided with a weep hole dewatering feature, providing interception and storage in a upstream surface swale, and providing interception and storage using upstream permeable pavement. The storage can be dry, wet, or any combination thereof.

Note: a system meeting both of the above sizing and design criteria will provide credit for the entire P=1" volume. Adjustments should be made accordingly to the tabulation of the corresponding WQv or ESDv volumes for the overall site.

The Filterra® system provides water quality control only. Any required REv or CPv (e.g. the remaining ESDv) must be provided using other practices used in conjunction with the Filterra®. An example would be providing a downstream surface swale sized for the difference between the total ESDv and the WQv to collect the bypass from the Filterra® structure.

Regardless of configuration, arrangement, and incorporation of upstream storage, the Filterra® system always requires a bypass to provide overflow relief for runoff volumes greater than the 1".







Discipline: SITE / ROAD Date: Sept 19, 2019

				DATE BY
				REVISIONS
				No.
	Kimlev » Horn		© 2019 KIMLEY-HORN AND ASSOCIATES, INC. 11400 COMMERCE PARK DR., SUITE 400, RESTON, VA 20191	PHONE: 703-674-1300 FAX: 703-674-1350 WWW.KIMLEY-HORN.COM
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	STORMWATER	MANAGEMENT		
	STORM	MANAG	Ц С	7 7

SHEET 7 OF 7



To: Alex Yang Kimley-Horn of DC 1100 New Jersey Ave Se Avenue, Suite 420 Washington, Dc 20003

In	nvoice Number	Invoice Date	Invoice Amount	Amount Due	Invoice Status	Invoice Description
	00158810	01/07/2020	\$1,583.00	\$0.00	Paid In Full	NONE

Reference Number	GL Account	Description	Quantity	Total
DSP-19060	06-40650	GOV Review (Major)	1	\$1,583.00

Total Non-SDC Fees

\$1,583.00

Note: When making an online payment, Western Union charges a \$5.95 convenience fee per online transaction. The convenience fee is not included on the WSSC Water permit/plan invoice total.

PAYMENTS (This invoice only)

Reference Number	Payment Receipt #	Description	Payment Method	Amount Paid
DSP-19060	TRC-145452-09-01-2020	GOV Review (Major)	ACH #0339	\$1,583.00

Total Paid This Invoice \$1,583.00



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Total Paid This Invoice \$1,583.00

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AVENUE DUNBAR NOO'13'E 640 030.66 RANDOLPH VILLAGI RESTRICTION LINE BULDIN CN LO Ē STRE ندا ΨÌ. STR 5 10 **\$**8 9 215324 130564 7 1 2 10000 7 10 3 4 8 5 8 9 6 **3** 14000₿ 6 14000 17 140000 136564 14000 B 6 125 105.2 12 11 14000+ W13656+ M 12 M 14000 F L N 15 13 2 11 130504 14 18 17 16 P F A 17 16 15 14 13 131544 10 21104 8-215324 22456g RESTRICTION LINE LILDING 30 90 80 640 STRIP HEREBY DEDICATED 500'13'W CENTRAL AVENUE TPAVED - ROAD - Proposed dedication strip

1939.

OWNERS DEDICATION

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DATE NOV. 15, 1939 -maril_Stith__

WASHINGTON SUBURBAN SANITARY DISTRICT

AS TO SUITABILITY FOR WATER & SEWER

Stampettall CHIEF ENGINEER.

APPROVED _____ OCT. 21, 1939

Kechanine & Spalling KATHARINE L. SPALDING

- marie Stith __ Cowin " Spaceding

DATE Nov. 15-1939 We assent to this plan of subdivision WITNESSED

EDWARD L. LATIMER & SON SURVEYORS THOMAS. HYATTSYILLE, MARYLAND



Red Hatched Area Abamdoned - Conditional" by Order of Court. See Equity No. D-6918

1 49

SURVEYORS CERTIFICATION

· SCALE /* . 100

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HYATTSVILLE MD.

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MARYLAND - NATIONAL				
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Malcola Grahamen

TALCOLM GRAHAME, MORTGAGEE



Redit are - Eslin St alondoned Only Court Sept 16, 1941 - Equity 11867 See land Pert Brok BB 9- files 5 BLOCKS 6,7 & 8 malities ale marche June 12, 1953 RANDOLPH VILLAGE Grain Asasa. PRINCE GEORGE'S COUNTY MARYLAND.

				DUNB	AR			n a dina a National Antonio (1990)				
	740				830.66	N88'1	E		740		T40	<u> </u>
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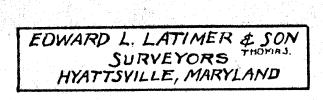
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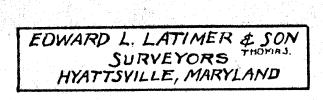
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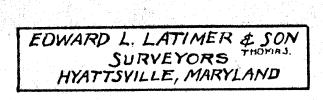
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