



The Maryland-National Capital Park and Planning Commission
Prince George's County Planning Department
Development Review Division
301-952-3530

Note: Staff reports can be accessed at <http://mncppc.igmp2.com/Citizens/Default.aspx>

Detailed Site Plan Alternative Compliance Parliament Place

DSP-20024
AC-20011

REQUEST	STAFF RECOMMENDATION
DSP: Approval of a 128,383 square foot, 1,042-unit, consolidated storage facility, with 1,000 square feet of office.	APPROVAL with conditions
AC: Reduction of the Section 4.7, Buffering Incompatible Uses bufferyard	APPROVAL with Conditions

Location: On the south side of MD 704 (Martin Luther King Jr. Highway), approximately 720 feet west of its intersection with Parliament Place.	
Gross Acreage:	2.48
Zone:	I-1
Dwelling Units:	N/A
Gross Floor Area:	128,383
Planning Area:	70
Council District:	05
Election District:	13
Municipality:	N/A
200-Scale Base Map:	206NE09
Applicant/Address: 4200 Parliament, LLC 1343 Ashton Road Hanover, MD 21076	
Staff Reviewer: Thomas Burke Phone Number: 301-952-4534 Email: Thomas.Burke@ppd.mncppc.org	



Planning Board Date:	12/03/2020
Planning Board Action Limit:	12/04/2020
Staff Report Date:	11/17/2020
Date Accepted:	09/25/2020
Informational Mailing:	05/20/2020
Acceptance Mailing:	09/25/2020
Sign Posting Deadline:	11/03/2020

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THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

PRINCE GEORGE'S COUNTY PLANNING BOARD

STAFF REPORT

SUBJECT: Detailed Site Plan DSP-20024
 Type 2 Tree Conservation Plan TCP2-033-2020
 Alternative Compliance AC-20011
 Parliament Place

The Urban Design Staff has reviewed the detailed site plan for the subject property and presents the following evaluation and findings leading to a recommendation of APPROVAL with conditions, as described in the Recommendation section of this staff report.

EVALUATION CRITERIA

This detailed site plan application was reviewed and evaluated for compliance with the following criteria:

- a. The requirements of the Prince George's County Zoning Ordinance in the Light Industrial (I-1) Zone and the site design guidelines;
- b. The requirements of Preliminary Plan of Subdivision 4-19049;
- c. The requirements of the 2010 *Prince George's County Landscape Manual*;
- d. The requirements of the Prince George's County Woodland and Wildlife Habitat Conservation Ordinance;
- e. The requirements of the Prince George's County Tree Canopy Coverage Ordinance; and
- f. Referral comments.

FINDINGS

Based upon the analysis of the subject application, the Urban Design staff recommends the following findings:

1. **Request:** The subject application is for approval of a detailed site plan (DSP) for a 128,383-square-foot, 1,042-unit, consolidated storage facility, with 1,000 square feet of office.

2. **Land Use Summary:**

DEVELOPMENT DATA SUMMARY		
	EXISTING	PROPOSED
Zone	I-1	I-1
Use	Parking lot/Vacant	Consolidated Storage
Total Acreage	2.48	2.48
Green Area (10 percent required)		0.90 acre/36.4 percent
Parcels	1	1
Gross Floor Area (square feet)	0	128,383
Number of Storage Units	0	1,042

PARKING REQUIREMENTS		
Use	Number of Spaces Required	Number of Spaces Provided
Office Space – 1,000 sq. ft. @ 4/1,000 sq. ft.	4	4
Storage Units – 1,042 @ 1/50 units	21	21
Total Parking Spaces	25	25
Handicapped Van Accessible		1
Standard Spaces		24
Total Loading Spaces	5	5
Up to 10,000 sq. ft.	2	2
1 space/each 40,000 sq. ft. over	3	3

3. **Location:** The site is in Planning Area 70, Council District 5. More specifically, it is located on the southeast side of MD 704 (Martin Luther King Jr. Highway), approximately 720 feet south of its intersection with Parliament Place in Lanham.
4. **Surrounding Uses:** The site is bounded to the north and east by commercial/industrial uses in the Light Industrial (I-1) Zone; to the south by the US 50 (John Hanson Highway) and MD 704 interchange; and to the west by MD 704, with industrial uses in the I-1 Zone beyond.
5. **Previous Approvals:** On October 24, 2020, the Prince George’s County Planning Board approved Preliminary Plan of Subdivision (PPS) 4-19049 (PGCPB Resolution No. 2020-153), for three parcels, including the subject proposed Parcel 1.

The site also has an approved Stormwater Management (SWM) Concept Plan, 1120-2020-00, which is valid through August 27, 2023.

6. **Design Features:** The site has a single point of entry from an access easement extending from Parliament Place, east of the proposed parcel. The entrance to the site, in the northeast corner of the parcel, leads to two parking lots in front of the consolidated storage building. The parking lot to the east serves the facility’s office, and the parking lot to the west is enclosed by a 6-foot-high, prefinished, black aluminum fence and matching gate, and will serve storage facility customers accessing the building, and include the five loading spaces.

The site will be adequately lit and is surrounded by industrial/commercial uses or public roadways, so spillover is not an issue.

Architecture

The proposed, approximately 151 foot by 301 foot, three-story, 128,383-square-foot, 1,042-unit building will be a maximum of 36 feet in height. This consolidated storage building presents a balanced composition of masonry block, exterior insulated finish system, horizontal blue metal panels, and storefront glazing. This roughly rectangular building is proportionally divided into smaller forms to minimize visual impact by providing projections, mixed materials, and color patterns.

The office will be located on the southeast corner of the building, at the entrance to the site, and is distinguished by two stories of storefront fenestration, framed with the blue metal panels and white trim. Above the entrance will be a decorative display showing blue storage doors. It is important to note that these storage doors, as well as storage doors shown on other exterior elevations, are purely decorative, will not function as individual storage units, and will not be accessible by customers. This is a typical feature with many consolidated storage facilities developed throughout the County. The entrance to the interior storage units will be from four locations along the northeast elevation, identified numerically on the storefront fenestration. In addition, 10 individual units can be accessed directly from the parking and loading area, and also along the northeast elevation. These entrances are not visible from any street.

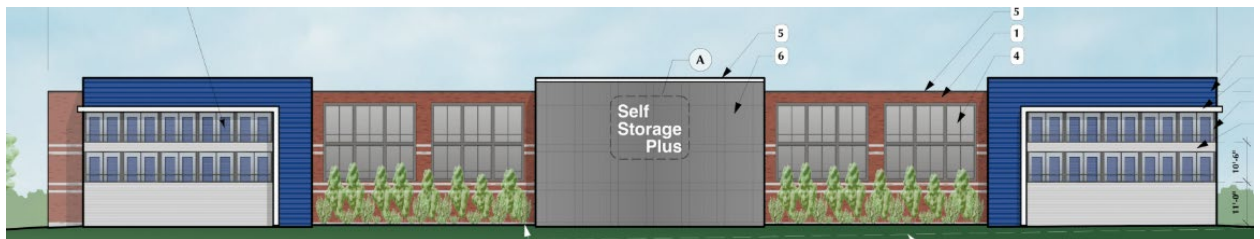


Figure 1: Southwest Elevation

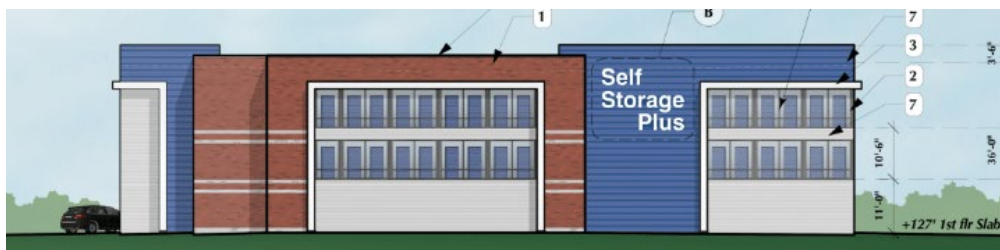


Figure 2: Northwest Elevation (Facing MD 704)

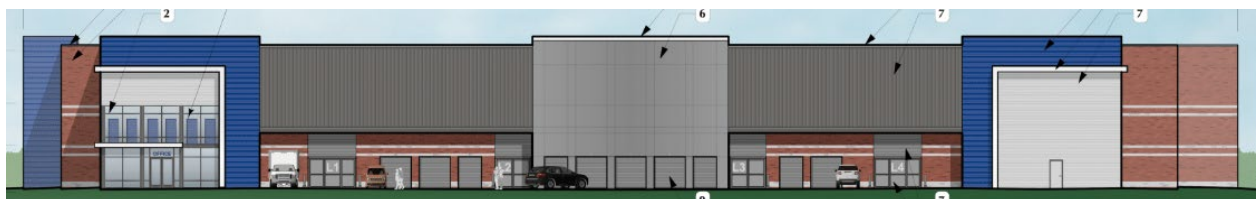


Figure 3: Northeast Elevation



Figure 4: Southeast elevation (facing adjacent office building)

Signage

The applicant proposes two building-mounted signs; one on the southwest elevation and one on the northwest elevation. Each sign will be 107.5 square feet with individual, internally lit, white lettering providing the text “Self Storage Plus” in a stacked, vertical pattern. Signage details are provided with this application showing conformance to the Prince George’s County Zoning Ordinance requirements.

COMPLIANCE WITH EVALUATION CRITERIA

7. **Prince George’s County Zoning Ordinance:** This application has been reviewed for compliance with the requirements of the Zoning Ordinance in the I-1 Zone and the site plan design guidelines.
 - a. This DSP is in general conformance with the requirements of Section 27-473(b) of the Zoning Ordinance, which governs uses in industrial zones.
 - b. The DSP is consistent with those regulations in the I-1 Zone, including Section 27-470(a) of the Zoning Ordinance, regarding purposes; Section 27-470(b) regarding landscaping, screening, and buffering; and Section 27-474 of the Zoning Ordinance, regarding regulations in the industrial zones.
 - c. The proposed consolidated storage facility is a permitted use in the I-1 Zone, in accordance with Section 27-475.04 of the Zoning Ordinance. Specific requirements of Section 27-475.04(a) are as follows:

(1) Requirements.

- (A) **No entrances to individual consolidated storage units shall be visible from a street or from adjoining land in any Residential or Commercial Zone (or land proposed to be used for residential or commercial purposes on an approved Basic Plan for a Comprehensive Design Zone, or any approved Conceptual or Detailed Site Plan).**
- (B) **Entrances to individual consolidated storage units shall be either oriented toward the interior of the development or completely screened from view by a solid wall, with landscaping along the outside thereof.**

All entrances to individual consolidated storage units are either internal to the proposed building or oriented toward the rear elevations of the industrial uses in the I-1 Zone, to the northeast.

(C) The maximum height shall be thirty-six (36) feet.

The architectural plans provided with the application show the proposed building to be 36 feet in height.

(D) Notwithstanding any other requirement of this Section, the expansion of an existing consolidated storage use within a building in the I-1 Zone after November 30, 2016, shall be limited to a maximum of fifty (50) additional individual units and may not be less than one-half mile from another consolidated storage use in the I-1 Zone. However, this Section shall not apply to a consolidated storage use expansion constructed pursuant to an approved preliminary plan, final plat, and detailed site plan, where the consolidated storage use is adequately buffered from view from any public right-of-way.

This application is for a new consolidated storage facility. Therefore, this finding is not applicable.

Section 27-475.04(c) includes additional applicable requirements, as follows:

- (c) Unless otherwise exempted from the prescriptions of this Section, consolidated storage shall be a permitted use in the I-1 Zone, subject to the following additional requirements:**
- (i) A detailed site plan is approved for the proposed development of the use, in accordance with Part 3, Division 9 of this Subtitle.**
 - (ii) The required technical staff report prepared and submitted to the administrative record for the detailed site plan application shall include a current, countywide inventory of the locations, dates of approval, and any conditions of approval for consolidated storage uses located on property within one-half mile of the boundaries of the property on which the proposed consolidated storage use will be located**
 - (iii) The Planning Board and/or the District Council shall consider, in its review of a detailed site plan application pursuant to this Section, the inventory submitted to the administrative record in accordance with Subsection (b) of this Section, above, for purposes of finding conformance with the required findings of approval set forth in Part 3, Division 9 of this Subtitle.**

The subject DSP was submitted in fulfillment of these requirements. Regarding the current county-wide inventory of consolidated storage uses, an evaluation was performed and there are no consolidated storage facilities within 0.5 mile of this property.

- d. The DSP is in general conformance with the applicable site design guidelines, as referenced in Section 27-283 and contained in Section 27-274 of the Zoning Ordinance. For example, vehicular and pedestrian circulation is designed to be safe, efficient, and convenient for both pedestrians and drivers; grading will be minimized to avoid clearing, to the extent practicable, and all disturbed areas will be restored; and the architecture proposed for the building is constructed of durable, low-maintenance materials and employs a variety of architectural features and designs, such as window and door treatments, projections, colors, and materials.
8. **Preliminary Plan of Subdivision (PPS) 4-19049:** The site is subject to PPS 4-19049, which was approved by the Planning Board on October 29, 2020 (PGCPB Resolution No. 2020-153), for three parcels, including the subject parcel for the consolidated storage building, subject to 15 conditions. Of these conditions, the following are applicable to the review of this DSP:
3. **The final plat of subdivision shall grant 10-foot-wide public utility easements along the public rights-of-way abutting the site, in accordance with the approved preliminary plan of subdivision.**
 4. **Prior to approval of the final plat of subdivision, the applicant, and the applicant's heirs, successors, and/or assignees shall provide a draft access easement agreement or covenant, for access to Parcels 1-3, to the Maryland-National Capital Park and Planning Commission (M-NCPPC), Development Review Division, for approval. The easement agreement shall contain the rights of M-NCPPC, be recorded in land records, and the Liber/folio shown on the final plat, prior to recordation. The final plat shall reflect the location and extent of the easement, in accordance with the approved preliminary plan of subdivision and indicate denial of access to MD 704 (Martin Luther King Jr Highway) and US 50 (John Hanson Highway) from the subject property, in accordance with Section 24-121(a)(3) of the Subdivision Regulations.**

This DSP delineates the required public utility easements and access easement, including an expansion to the access easement for loading access to Parcel 1, consistent with the approved PPS.
 5. **Prior to the approval of a detailed site plan, the applicant, and the applicant's heirs, successors, and/or assignees shall demonstrate pedestrian and bicycle facilities to be in conformance with the 2009 Approved Countywide Master Plan of Transportation and the 2010 Glenn Dale-Seabrook-Lanham and Vicinity Approved Sector Plan and Sectional Map Amendment, and provide the following on the detailed site plan:**
 - a. **An internal sidewalk network connecting the existing office building to the proposed buildings and to the cross-access easement.**

This plan includes a pedestrian route that leads from the entrance to the subdivision to the existing office building and then from the office building to the subject site, using a combination of sidewalk and pavement markings that will be provided when the other parcels are developed or redeveloped. A short segment of sidewalk on the subject property will connect to the future pedestrian pathway through the parking lot on proposed Parcel 2.

- b. Short-term and long-term bicycle parking facilities consistent with the AASHTO Guide for the Development of Bicycle Parking Facilities, 4th Edition at all buildings on the subject site.**

The plans include two inverted U-style bicycle parking racks near the entrance of the subject building. When development or redevelopment is proposed for the remaining parcels, these parcels will also need to provide bicycle parking.

- c. A shared-use path between the proposed consolidated storage facility building and the east side of MD 704 (Martin Luther King Jr Highway), unless modified by the Maryland State Highway Administration, with written correspondence.**

The submitted plans do not include a shared-use path connection between the proposed storage building and the recommended shared-use path along MD 704. Staff recommends that a path be routed around the rear of the storage facility, and can overlap with the fire access road, to avoid conflicts with loading dock activities, bicyclists, and pedestrian passersby. Should the Maryland State Highway Administration (SHA) remove the shared-use path facility along MD 704, the proposed path connecting MD 704 and the subject site would not connect and would not be necessary. At this point, no written correspondence has been submitted from SHA indicating that a shared-use path along this roadway would be modified or removed.

A condition that the DSP be revised to include a shared-use path connection, or that written confirmation from SHA be provided, is included in the Recommendation section of this report.

- 13. Prior to detailed site plan approval, the applicant shall demonstrate the efforts made through site design to save Specimen Trees 3, 4, 5, and 6. Should it be demonstrated that the trees cannot be saved, the applicant shall submit a variance request and associated statement of justification for consideration.**

The applicant has submitted a variance request, as well as an associated Statement of Justification and an alternative design exhibit that is discussed in Finding 12 below.

- 9. 2010 Prince George's County Landscape Manual:** The application is subject to the requirements of Section 4.2, Requirements for Landscape Strips Along Streets; Section 4.3, Parking Lot Requirements; Section 4.7, Buffering Incompatible Uses; and Section 4.9, Sustainable Landscaping Requirements, of the Landscape Manual. The landscape and

lighting plan provided with this DSP contains the required schedules demonstrating conformance to these requirements, with the exception of Section 4.7. Alternative Compliance, AC-20011, was submitted and reviewed, and the Planning Director recommends approval of the AC request for the Section 4.7 requirements, as follows:

Section 4.7 Buffering Incompatible Uses

REQUIRED: Section 4.7-1 Buffering Incompatible Uses Requirements (southeast lot line)

Minimum building setback	30 feet
Minimum width of landscape yard	20 feet
Linear feet of buffer	405
Number of plant units	324

PROVIDED: Section 4.7-1 Buffering Incompatible Uses (southeast lot line)

Variable width building setback	11 - 20 feet
Minimum width of landscape yard	10 feet
Linear feet of buffer	405
Number of plant units	324

Justification of Recommendation

This application proposes a variable width landscape yard and variable building setback. The average building setback and average width of the landscape yard provided are approximately half of that normally required. The number of plant units provided is equal to the required quantity, and the size of proposed plant material is slightly larger than normally required. The selected types of plant material and arrangement of plantings within the buffer area will function as a hedgerow and provide screening between the two incompatible uses. One tree species selected, Green Ash, is not generally recommended for use due to the highly invasive Emerald Ash Borer that widely infects and kills ash species in North America. The ash species should be replaced with a native species, such as Pin Oak (cultivars without drooping branches are recommended, i.e 'Green Pillar').

In addition, there are several factors unique to the subject site that warrant consideration, in accordance with Section 1.3 of the Landscape Manual, for the requested reduction in building setback and the width of the landscape yard. The subject site is one of the last remaining undeveloped lots within the larger Parliament Place commercial/industrial development. The subject site is oddly shaped and sited in a far corner of the larger development. Most of the surrounding properties were developed prior to the Landscape Manual and do not generally include landscape areas between buildings. The location of the Section 4.7 bufferyard is along the site's southeastern lot line that abuts an existing parking lot associated with the adjacent office building. The office building will be over 200 feet away from the lot line and this spatial separation will significantly aid in buffering the incompatible uses. Taking into consideration the site's unique characteristics, the proposed alternative design meets the objectives of buffering incompatible uses, as defined in Section 4.7(a) of the Landscape Manual, by providing a vegetated buffer that forms visual separation and creation of a physical transition between the proposed consolidated storage use and the existing office use. The required quantity of plant units has been provided.

The Planning Director finds that the applicant's proposal can be considered equally effective as normal compliance with Section 4.7, subject to a revision to the landscape plan. The provision of the required number of plant units, larger caliper plantings, and distance to the existing office building makes the proposed bufferyard equally effective between two incompatible uses as normal conformance with the requirements. The resulting design will provide adequate buffering between the proposed consolidated storage facility use and existing office use. The one condition recommended by the Planning Director with the AC has been conditioned herein.

- 10. 2010 Prince George's County Woodland and Wildlife Habitat Conservation:** This property is subject to the provisions of the Prince George's County Woodland and Wildlife Habitat Conservation Ordinance (WCO) because the property is greater than 40,000 square feet in size and contains more than 10,000 square feet of existing woodland. A Type 1 tree conservation plan, TCP1-015-2020, was recently approved for this site. A phased Type 2 Tree Conservation Plan, TCP2-033-2020, for two phases, was submitted with the current DSP application.

According to the woodland conservation worksheet submitted, the woodland conservation threshold for the overall 11.72-acre site within the I-1 zone is 15 percent of the net tract area or 1.76 acres.

The current application associated with this DSP is for Phase 1, located on Parcels 1 and 2, which has a net tract area of 8.25 acres and does not contain any woodlands or propose any additional clearing. Phase 1 has a woodland conservation requirement of 1.76 acres. This requirement will be met entirely off-site, prior to the first grading permit for Phase 1.

Phase 2 will cover Parcel 3, which has a net tract area of 3.47 acres, with 2.61 acres of woodlands on the net tract with no wooded floodplain. A total of 2.49 acres is shown for clearing within Phase 2 with this TCP2. This clearing is required for rough grading, implementation of a sediment and erosion control plan, and a SWM plan that will serve the entire site, including Parcels 1 and 2. The woodland conservation requirement for Phase 2 is 1.85 acres. This requirement will be met entirely off-site, prior to the first grading permit for Phase 2. The total cumulative woodland conservation requirement for both phases is 3.61 acres. The limits of disturbance (LOD) for Phase 2 is currently not shown on the TCP2, nor are any of the proposed SWM devices, temporary sedimentary control devices, or associated grading. These items must be shown on the TCP2.

The TCP2 also required additional technical revisions that are included in the Recommendation section of this report.

- 11. Prince George's County Tree Canopy Coverage Ordinance:** Subtitle 25, Division 3, of the Tree Canopy Coverage Ordinance, requires a 10 percent tree canopy coverage (TCC) on properties in the I-1 Zone. The subject site is 2.48 acres and the required TCC amounts to approximately 0.25 acre. The subject application provides a schedule showing that the site will be in conformance with this requirement.
- 12. Referral Comments:** The subject application was referred to the concerned agencies and divisions. The referral comments are summarized, as follows:

- a. **Historic Preservation**—In a memorandum dated October 13, 2020 (Stabler to Burke), incorporated herein by reference, the Historic Preservation Section indicated that the probability of archeological sites within this property is low, and that the site does not contain and is not adjacent to any designated Prince George's County historic sites or resources.
- b. **Community Planning**—In a memorandum dated November 2, 2020 (Dickerson to Burke), incorporated herein by reference, the Community Planning Division indicated that, pursuant to Part 3, Division 9, Subdivision 3, of the Zoning Ordinance, master plan conformance is not required for this DSP.
- c. **Transportation Planning**—In a memorandum dated November 2, 2020 (Saunders to Burke), incorporated herein by reference, the Transportation Planning Section evaluated the traffic impacts, access, and circulation. This proposed development at full buildout is projected to generate 13 AM and 23 PM new vehicle trips. This trip generation is fully consistent with the trip cap approved with PPS 4-19049. From the standpoint of transportation, it is determined that this plan is acceptable and meets the findings required for a DSP, as described in the Zoning Ordinance.
- d. **Trails**—In a memorandum dated November 4, 2020 (Jackson to Burke), incorporated herein by reference, the Transportation Planning Section made findings regarding this proposal, prior conditions of approval, improvements to bicycle and pedestrian infrastructure and the following, and conformance to the 2009 *Approved Countywide Master Plan of Transportation* and the 2010 *Glenn Dale-Seabrook-Lanham and Vicinity Approved Sector Plan and Sectional Map Amendment*.

Staff finds that the submitted plans include a pedestrian connection through the subject site and bicycle parking at the proposed building, which contribute to the intent of the master plan goals and policies. Staff finds that this proposal is consistent with the site design guidelines, and meets the findings required for DSP approval, subject to conditions provided in the Recommendation section of this report.

- e. **Subdivision Review**—In a memorandum dated November 2, 2020 (Heath to Burke), incorporated herein by reference, the Subdivision Review Section evaluated the DSP and previous conditions of approval, and found substantial conformance with the approved PPS.
- f. **Environmental Planning**—In a memorandum dated November 5, 2020 (Juba to Burke), incorporated herein by reference, the Environmental Planning Section provided the following summarized comments:

Specimen Trees

Section 25-122(b)(1)(G) of the WCO requires that “Specimen trees, champion trees, and trees that are part of a historic site or are associated with a historic structure shall be preserved and the design shall either preserve the critical root zone of each tree in its entirety or preserve an appropriate percentage of the critical root zone in keeping with the tree’s condition and the species’ ability to survive construction as provided in the Environmental Technical Manual (ETM).”

A total of six specimen trees were identified on the approved Natural Resources Inventory, four of which are proposed for removal according to the variance request dated October 28, 2020. Specimen Trees 1 and 2 are proposed to be saved while Specimen Trees 3–6 are requested for removal.

Review of Subtitle 25 Variance Request

Section 25-119(d)(1) of the WCO contains six required findings to be made before a variance can be granted. The Letter of Justification submitted seeks to address the required findings for the four specimen trees together; however, details specific to individual trees (all of which are native) have also been provided in the following chart.

SPECIMEN TREE SCHEDULE SUMMARY

ST #	COMMON NAME	DBH (in inches)	CONDITION	DISPOSITION
1	Willow Oak	32.5	Good	Save
2	Willow Oak	32	Good	Save
3	White Oak	36.5	Good	Remove
4	White Oak	32	Fair	Remove
5	White Oak	37	Poor	Remove
6	White Oak	35	Good	Remove

A variance to Section 25-122(b)(1)(G) is requested for the clearing of four specimen trees together. This variance is requested to the WCO, which requires under Section 25-122(a)(1) of the Zoning Ordinance, that “woodland conservation shall be designed as stated in this Division unless a variance is approved by the approving authority for the associated case.” The Subtitle 25 Variance Application form requires a Letter of Justification of how the findings are being met.

The text in **BOLD**, labeled A-F, are the six criteria listed in Section 25-119(d)(1). The plain text provides responses to the criteria.

(A) Special conditions peculiar to the property have caused the unwarranted hardship.

Parcel 1 is unusually shaped and tapers narrowly towards MD 704 to the north. All the specimen trees are located along the northeastern property boundary at the narrowest section of the property. This site was previously developed and is associated with a large Washington Suburban Sanitary Commission (WSSC) Sewer Easement (Liber 7120 folio 119) that runs along the frontage of US 50. According to the alternative layout exhibit provided by the applicant, if the footprint of the building were shifted away from the specimen trees to preserve these specimen trees’ critical root zones, the building would be located within the WSSC Easement and be in violation of this encumbrance.

(B) Enforcement of these rules will deprive the applicant of rights commonly enjoyed by others in similar areas.

This property is zoned I-1 and is located at the intersection of MD 704 and US 50, which are classified as an arterial road and freeway, respectively. This area is previously developed and falls within a priority funding area for development. One of the purposes of this zone is to encourage development in areas that are already substantially developed. Further limiting the developable area by protecting the root zones and specimen trees will deprive the applicant of the opportunity to create a functional development.

(C) Granting the variance will not confer on the applicant a special privilege that would be denied to other applicants.

As previously discussed in (A) and (B) above, not granting this variance will prevent the project from being developed in a functional and efficient manner. The variance would not result in a privilege to the applicant; it would allow for development to proceed with similar rights afforded to others with similar properties and land uses.

(D) The request is not based on conditions or circumstances which are the result of actions by the applicant.

The nature of the variance request is not in response to actions taken or resulting by the applicant.

(E) The request does not arise from a condition relating to land or building use, either permitted or nonconforming, on a neighboring property; and

The request to remove the specimen trees does not arise from a condition relating to land or building use, either permitted or nonconforming on a neighboring property.

(F) Granting of the variance will not adversely affect water quality.

The site is governed by the current SWM regulations. Currently, the site is within a Tier II catchment area that is considered a priority for protection. Water is largely discharging untreated from existing development that was constructed, prior to these regulations, meaning there is significant discharge of untreated stormwater runoff. The loss of these four specimen trees will be offset by the establishment of water quality and control devices preventing direct untreated discharge into the Little Paint Branch River during storm events.

After evaluating the applicant's request, the required findings of Section 25-119(d) have been adequately addressed for the removal of four Specimen Trees (3-6), which are recommended for removal.

Stormwater Management

An approved SWM Concept Plan, 1120-2020-0, was submitted with the subject application. It is consistent with the TCP2, except that the grading and associated LOD shown on the concept must also be shown on the TCP2. This discrepancy must

be addressed, prior to certification of the TCP2 and DSP. A combination of three micro-bioretenment areas, a submerged wetland, and two swales are proposed to serve as on-site detention and quality control for stormwater associated with this DSP.

Erosion and Sediment Control

This site is within a Tier II catchment area. Tier II waters are high-quality waters within the State of Maryland, as designated by the Maryland Department of Environment that are afforded special protection under Maryland's Anti-degradation policy. No streams are associated with this project. The Prince George's Soil Conservation District Soil may require redundant erosion and sediment control measures for this site, as part of their review and approval process. No further information is required at this time regarding erosion and sediment control.

Soils

The predominant soils found to occur on-site, according to the U.S. Department of Agriculture, Natural Resource Conservation Service, Web Soil Survey, include Urban Land-Russett-Christiana complex (0–5% slopes), Russett-Christiana-Urban Land complex (0–5% slopes), and Urban Land Issue-complex (0–5% slopes).

According to available information, no unsafe soils containing Marlboro clay exist on-site; however, unsafe soils containing Christiana complexes are mapped on this property. According to the Prince George's County Department of Permitting, Inspections and Enforcement (DPIE), when existing or proposed steep slopes exceed 20 percent on unsafe soils, government agencies should insist on submitting a full geotechnical report that includes a global stability analysis with the proposed (mitigated) 1.5 Safety Factor Line determined and shown on the plans submitted for County review and approval. There are no slopes of significant concern identified within the area of this soil type and the applicant is proposing to cut and fill the site to a 1.0 percent grade for a buildable area. A geotechnical review was not requested with this application, but may be required for review by the County with a future development application, in conformance with Prince George's County Council Bill CB-94-2004.

- g. Permit Review**—In a memorandum dated November 2, 2020 (Jacobs to Burke), incorporated herein by reference, the Permit Review Section offered comments that have either been addressed by revisions to the plans, or are incorporated herein.
- h. Prince George's County Fire/EMS Department**—In a memorandum dated November 3, 2020 (Reilly to Burke), incorporated herein by reference, the Fire/EMS Department provided comments to be addressed at the time of permit review.
- i. Prince George's County Department of Permitting, Inspections and Enforcement (DPIE)**—At the time of the writing of this report, a memorandum had not been provided by DPIE.
- j. Prince George's County Police Department**—In a memorandum dated October 14, 2020 (Contic to Burke), incorporated herein by reference, the Police Department offered no comments for this DSP.

- k. **Prince George's County Health Department**—At the time of the writing of this report, a memorandum had not been provided by the Health Department.
 - l. **Washington Suburban Sanitary Commission (WSSC)**—In a memorandum dated October 9, 2020 (Mapes to Burke), incorporated herein by reference, WSSC provided comments to be evaluated at the time of application for water/sewer service.
13. As required by Section 27-285(b)(1) of the Zoning Ordinance, the DSP, if revised as conditioned, represents a reasonable alternative for satisfying the site design guidelines of Subtitle 27, Part 3, Division 9, of the County Code without requiring unreasonable costs, and without detracting substantially from the utility of the proposed development for its intended use.
14. Per Section 27-285(b)(4), which became effective on September 1, 2010, a required finding for approval of a DSP is as follows:
- (4) The Planning Board may approve a Detailed Site Plan if it finds that the regulated environmental features have been preserved and/or restored in a natural state to the fullest extent possible in accordance with the requirements of Subtitle 24-130(b)(15).**

The regulated environmental features on the subject property have fully been preserved and/or restored to the fullest extent possible, based on the limits of disturbance shown on the tree conservation plan submitted for review. No impacts have been proposed.

RECOMMENDATION

Based upon the foregoing evaluation and analysis, the Urban Design staff recommends that the Planning Board adopt the findings of this report and APPROVE Detailed Site Plan DSP-20024, Type 2 Tree Conservation Plan TCP2-033-2020, and Alternative Compliance AC-20011, for Parliament Place, subject to the following conditions:

- 1. Prior to certification of the detailed site plan, the following revisions shall be made to the plans:
 - a. Include a 12-foot-wide shared-use path to connect the consolidated storage facility with both MD 704 (Martin Luther King Jr. Highway) and the existing office building, to provide efficient bicycle and pedestrian travel within the site, unless the Maryland State Highway Administration modifies the proposed shared-use path along MD 704, eliminating the need for this additional connection.
 - b. Label the width of the sidewalk that connects to the pedestrian connection.
 - c. Revise the pedestrian exhibit to replace the pedestrian access labels with “ADA accessible pedestrian access, location to be finalized with future development or redevelopment.”

- d. Revise the plant schedule on the landscape plans to replace the proposed Green Ash trees (*Fraxinus pennsylvanica*) with a native species from the recommended shade tree list contained in Table A-3-1 of the 2010 *Prince George's County Landscape Manual*.
 - e. Provide a 2-inch by 2-inch certification box on each plan.
2. Prior to certification of the detailed site plan, the Type 2 tree conservation plan (TCP2) shall be revised, as follows:
- a. Revise the TCP2 by showing all proposed grading and associated devices to be installed for sediment and erosion control, as well as for stormwater management required for rough grading of the site and for Phase 1.
 - b. Add a separate limits of disturbance (LOD), using a distinct symbol, for Phase 2 that is easily distinguishable from the LOD for Phase 1.
 - c. Complete the standard notes entitled "when invasive plant species are to be removed by the permittee" with the required information.
 - d. Include an invasive species management plan on the TCP2.
 - e. Revise the TCP2 worksheet, as follows:
 - (1) Indicate the site is subject to the 2010 Woodland Conservation Ordinance.
 - (2) Indicate that the site is within a PFA (Priority Funding Area).

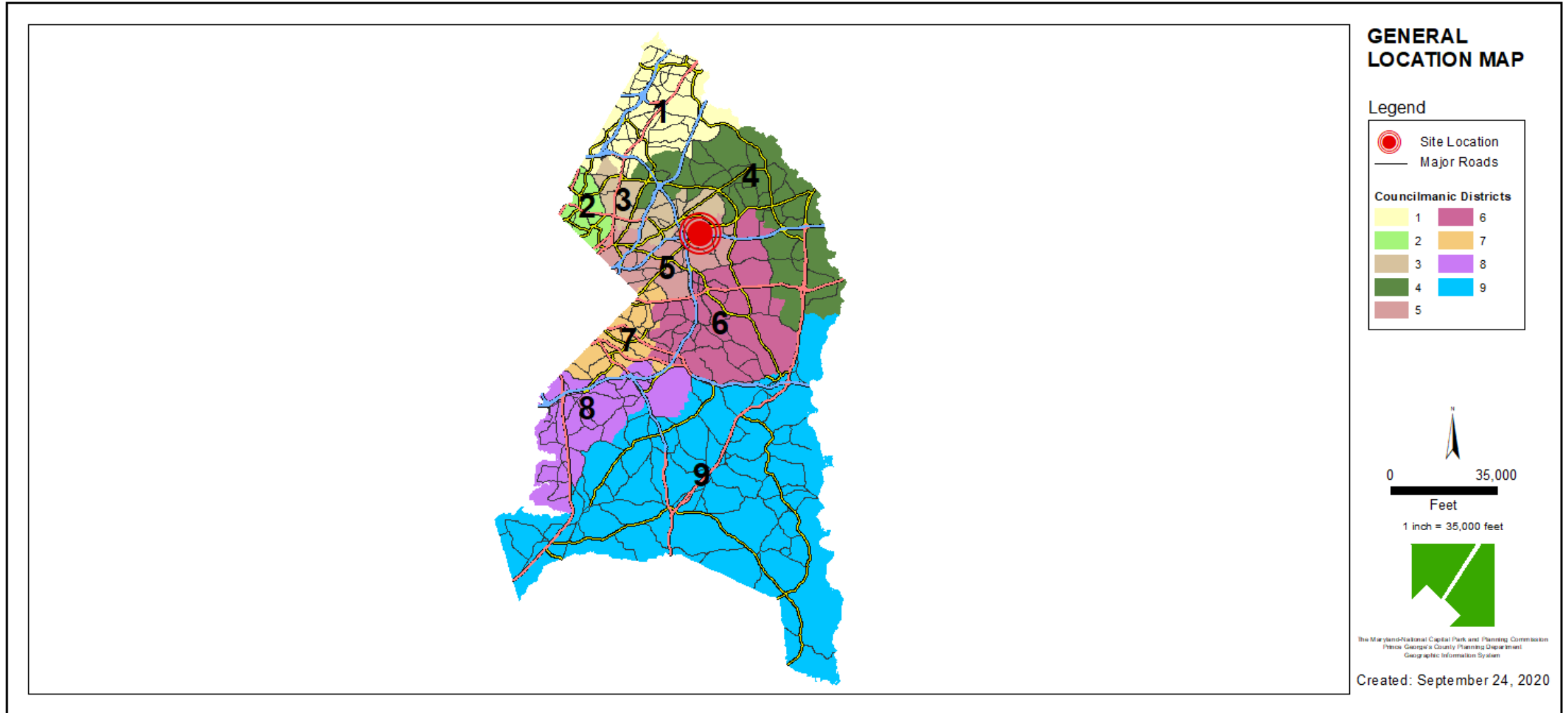
ITEM: 5

CASE: DSP-20024

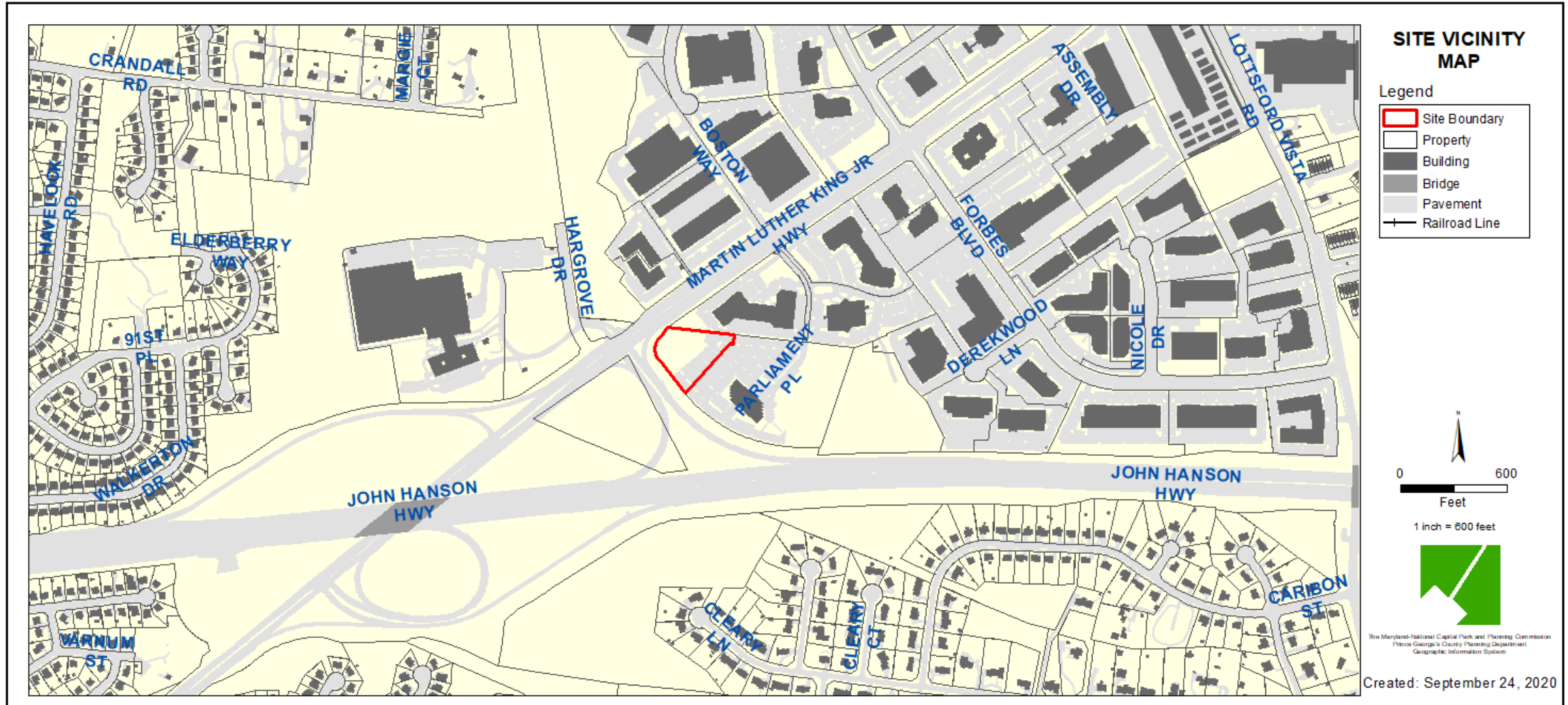
PARLIAMENT PLACE

THE PRINCE GEORGE'S COUNTY PLANNING DEPARTMENT

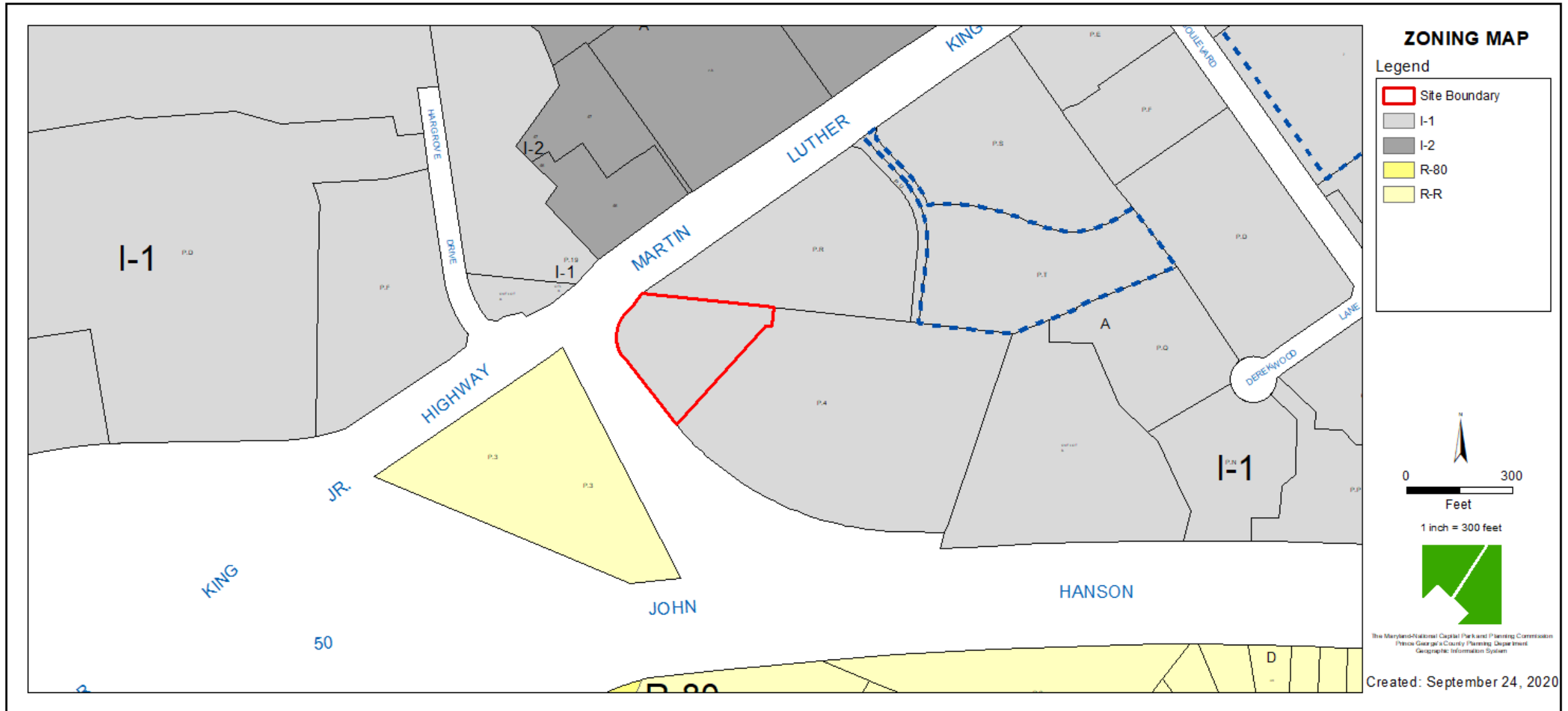
GENERAL LOCATION MAP



SITE VICINITY



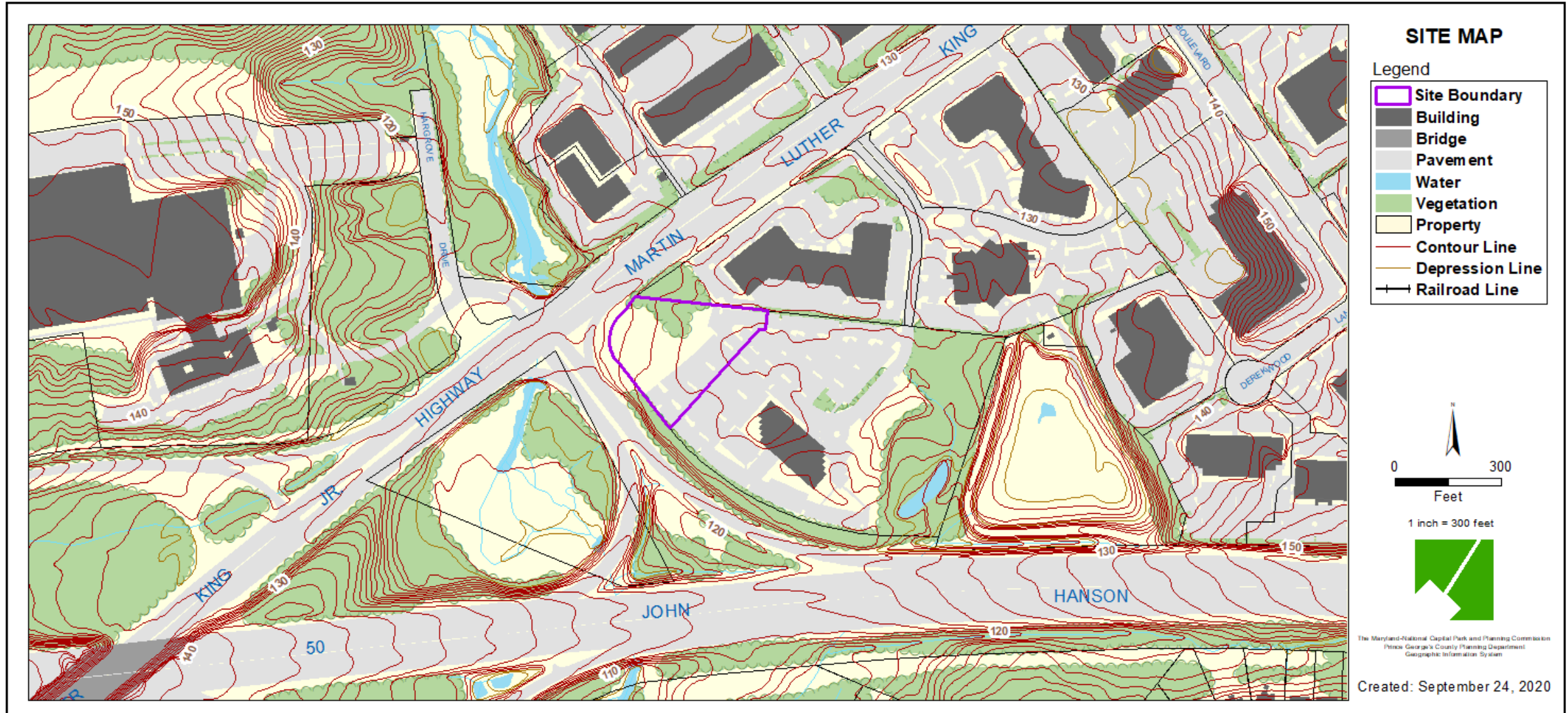
ZONING MAP



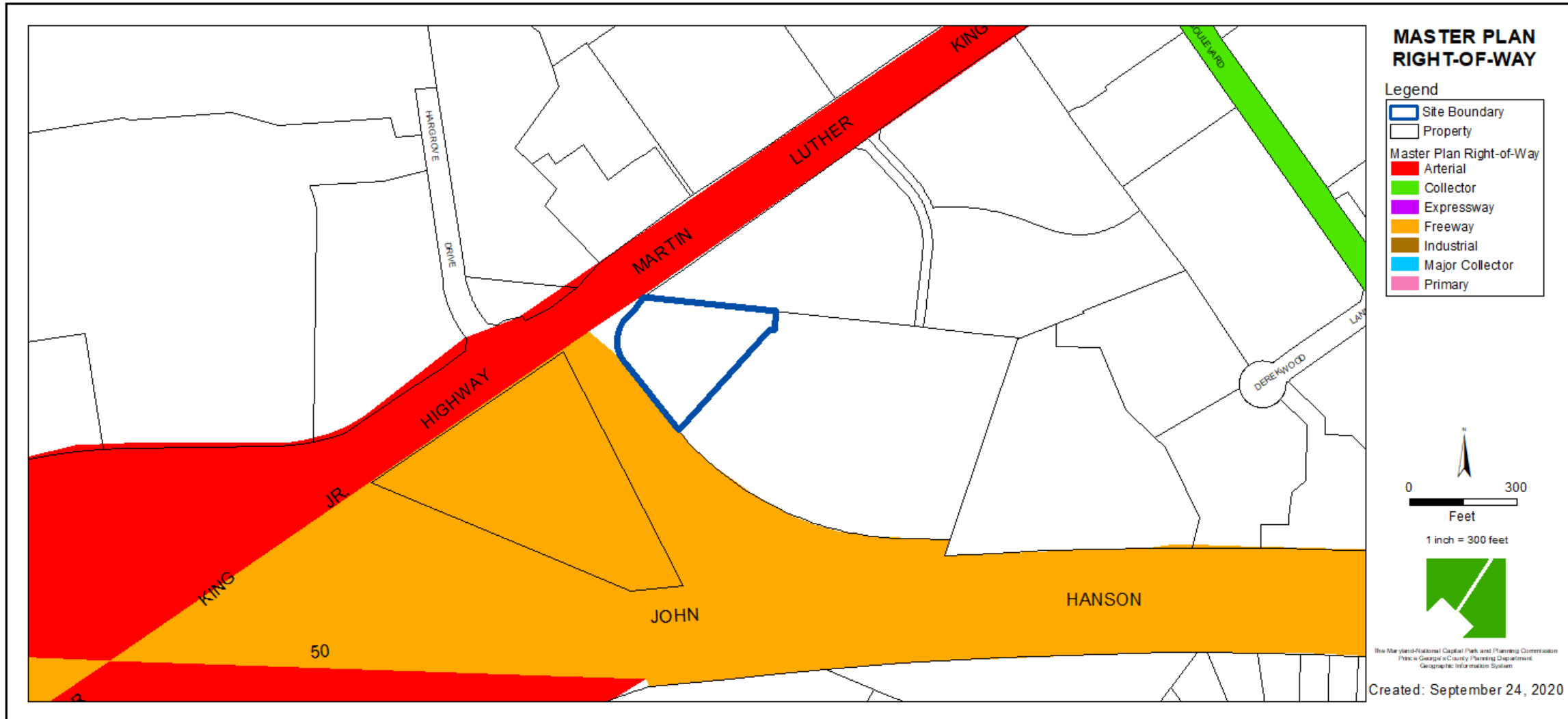
AERIAL MAP



SITE MAP



MASTER PLAN RIGHT-OF-WAY MAP



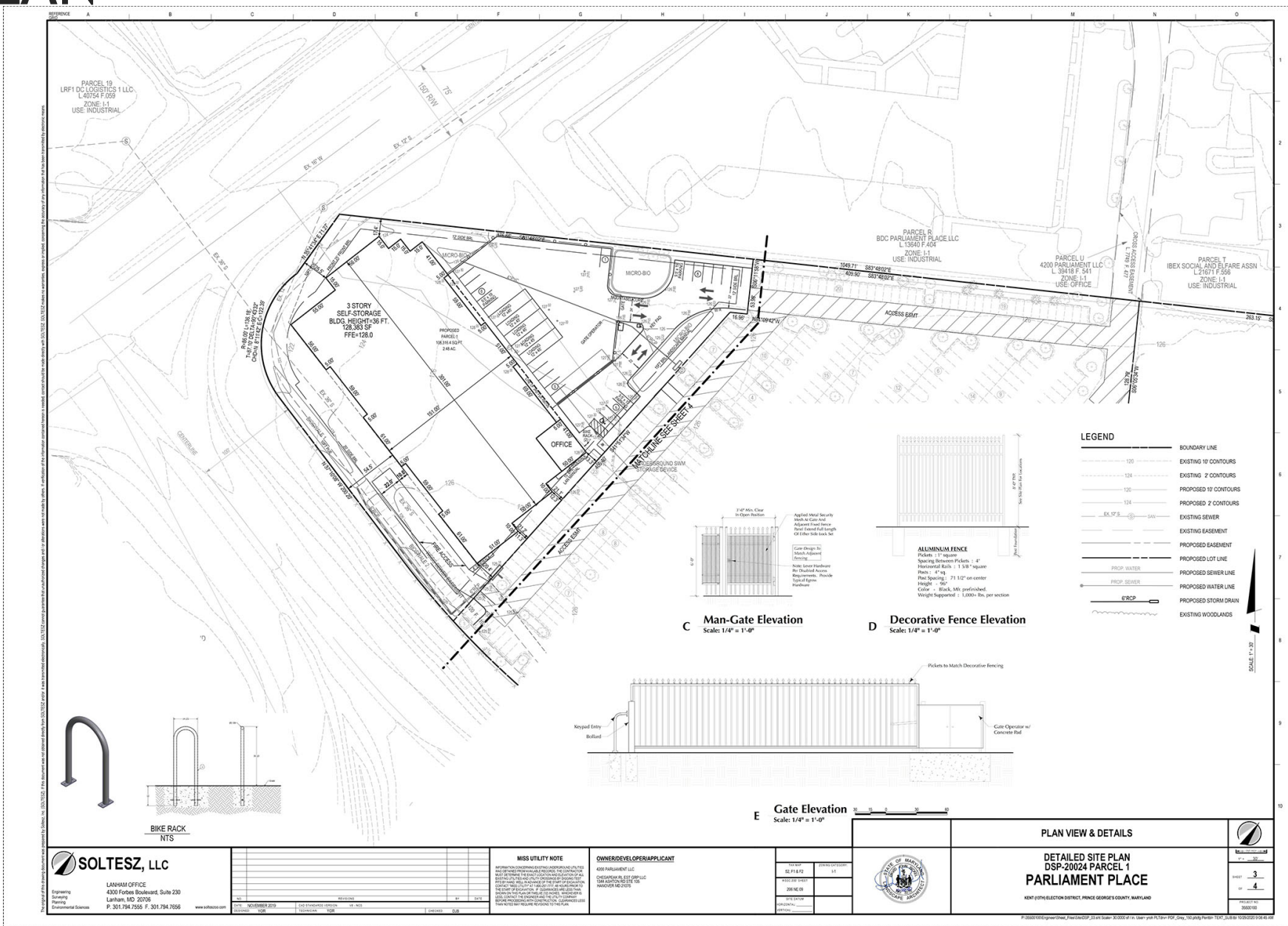
BIRD'S-EYE VIEW WITH APPROXIMATE SITE BOUNDARY OUTLINED



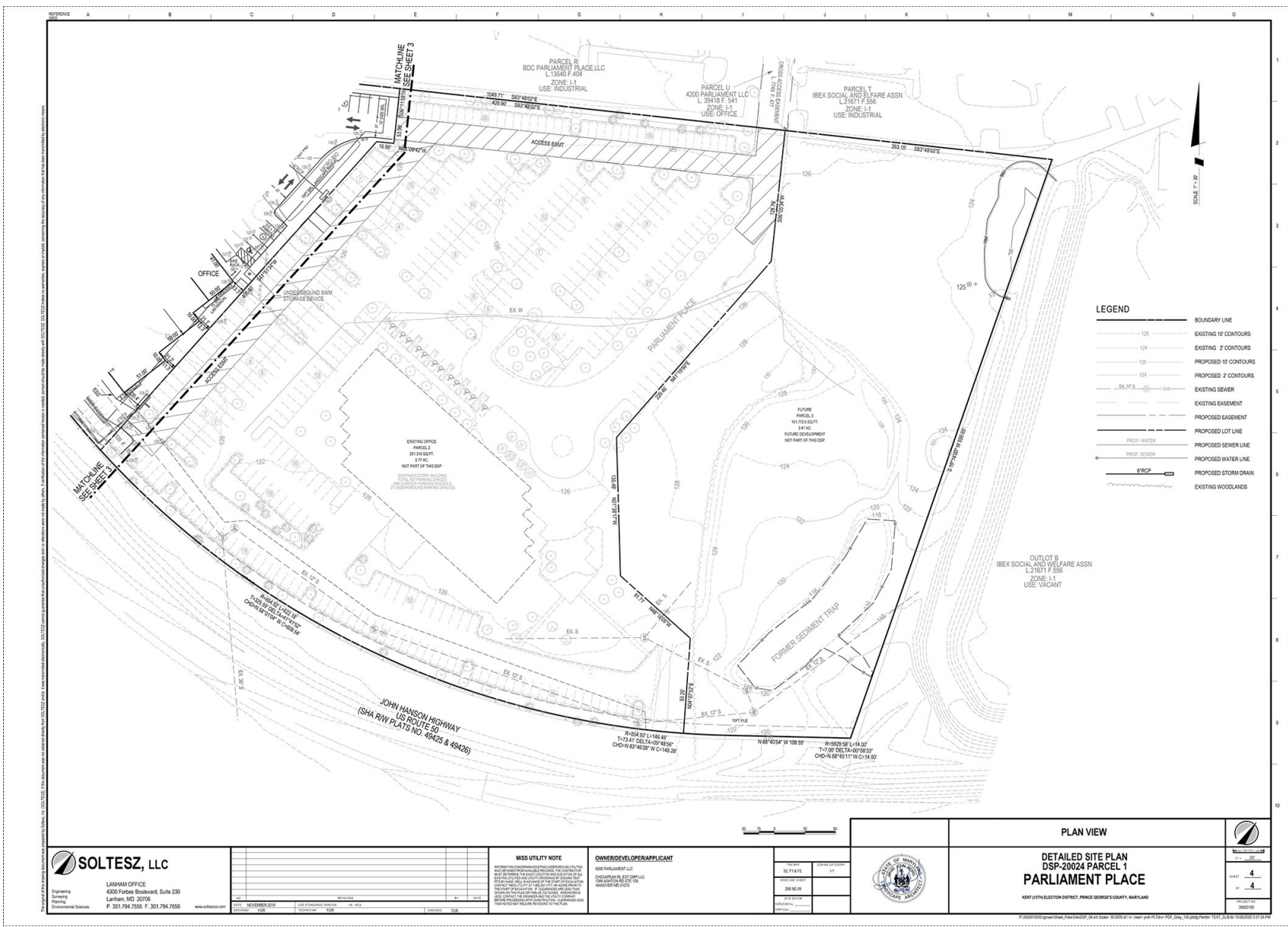
OVERALL SITE PLAN



SITE PLAN



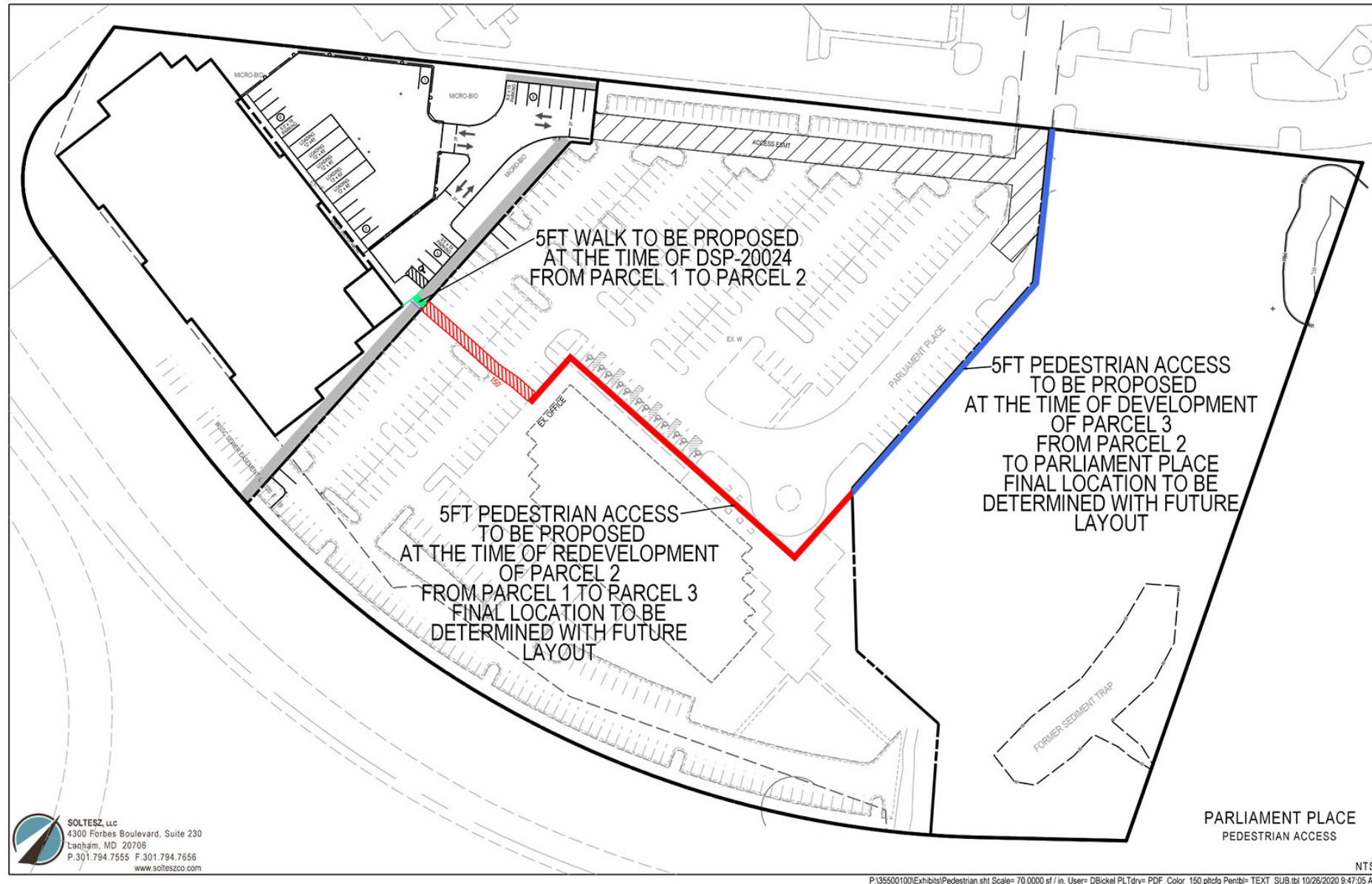
SITE PLAN



LANDSCAPE RENDERING



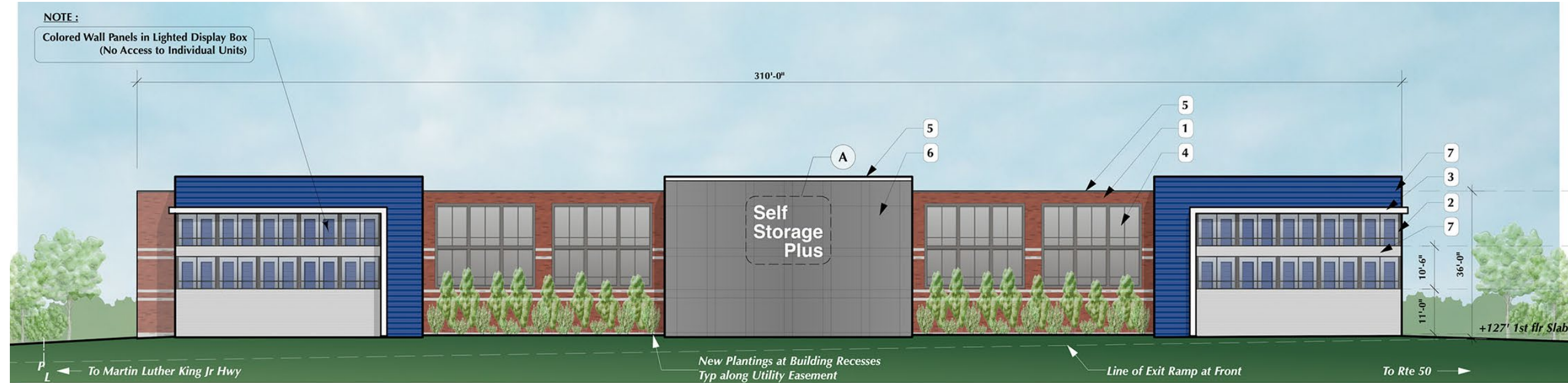
PEDESTRIAN ACCESS EXHIBIT



ELEVATIONS

NOTE :

Colored Wall Panels in Lighted Display Box
(No Access to Individual Units)



ARCLAND

Sheet 1 of 4 - Building Rear Facing Rte 50 Exit Ramp (Southwest)

Parliament Place Self Storage
4200 Parliament Place, Greenbelt MD - Prince George's Co.
DSP Submission Package - Staff Comments Response

bwd

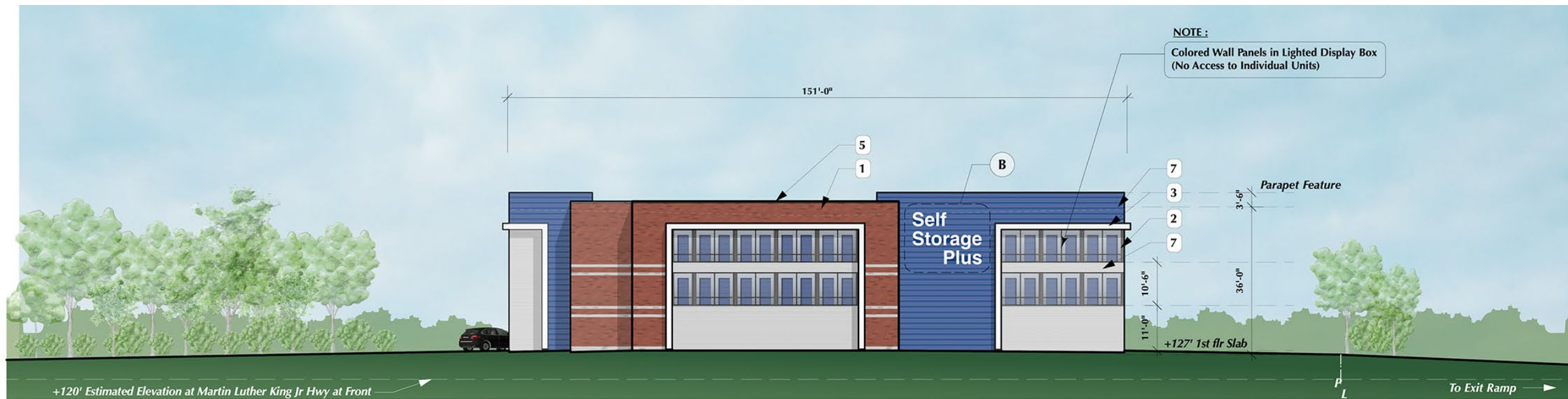
Material Key

- 1 Masonry System
- 2 Storefront Window Glazing
- 3 Metallic Surround Feature
- 4 Faux Storefront System
- 5 Parapet Trim
- 6 EIFS Cladding
- 7 Decorative Metal Panels
- 8 Automatic Man Door at Loading
- 9 Storage Unit Door at Loading

Note : All Colors and Mfrs Subject to
Modification per Final Design

DRD
THE DEVELOPMENT
REVIEW
DIVISION

ELEVATIONS



ARCLAND

Sheet 2 of 4 - Building Side Facing Martin Luther King Jr Hwy (Northwest)

Parliament Place Self Storage
4200 Parliament Place, Greenbelt MD - Prince George's Co.
DSP Submission Package - Staff Comments Response

bwd

Material Key

- 1 Masonry System
- 2 Storefront Window Glazing
- 3 Metallic Surround Feature
- 4 Faux Storefront System
- 5 Parapet Trim
- 6 EIFS Cladding
- 7 Decorative Metal Panels
- 8 Automatic Man Door at Loading
- 9 Storage Unit Door at Loading

Note : All Colors and Mfrs Subject to
Modification per Final Design

DRD
THE DEVELOPMENT
REVIEW
DIVISION

ELEVATIONS



Sheet 3 of 4 - Building Front @ Loading + Office (Northeast)

Parliament Place Self Storage
 4200 Parliment Place, Greenbelt MD - Prince George's Co.
DSP Submission Package - Staff Comments Response
 August 5, 2020

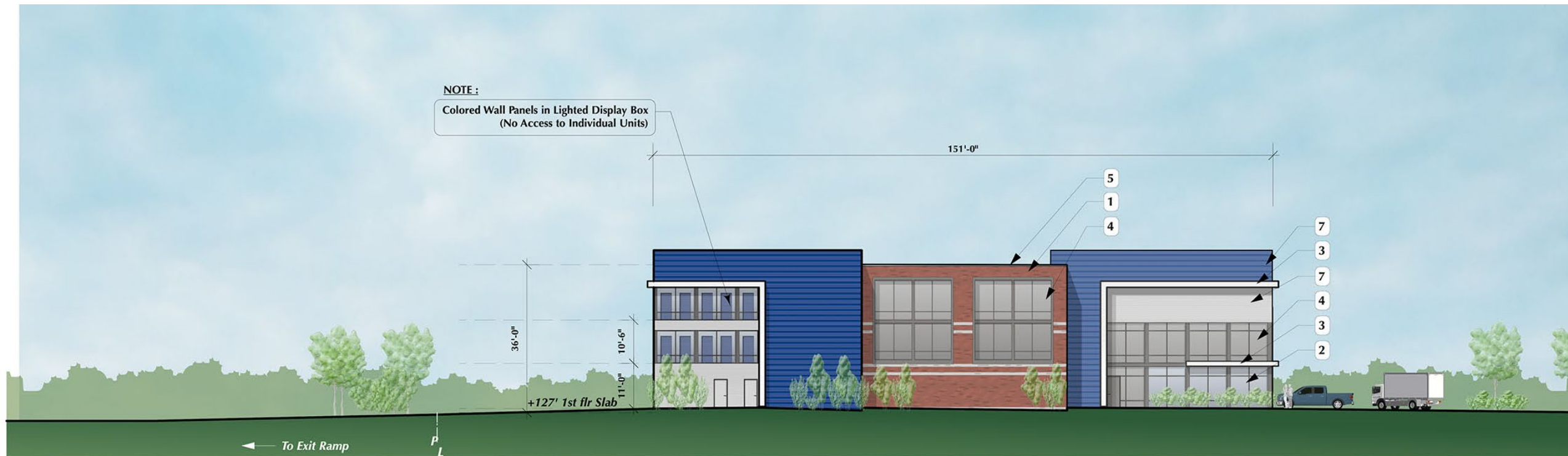
bwd
 ARCHITECTS

Material Key	
1	Masonry System
2	Storefront Window Glazing
3	Metallic Surround Feature
4	Faux Storefront System
5	Parapet Trim
6	EIFS Cladding
7	Decorative Metal Panels
8	Automatic Man Door at Loading
9	Storage Unit Door at Loading

Note: All Colors and Mfrs Subject to Modification per Final Design



ELEVATIONS



ARCLAND

Sheet 4 of 4 - Building Side Facing Existing Office Building (Southeast)

Parliament Place Self Storage
4200 Parliament Place, Greenbelt MD - Prince George's Co.
DSP Submission Package - Staff Comments Response

bwd

Material Key

- 1 Masonry System
- 2 Storefront Window Glazing
- 3 Metallic Surround Feature
- 4 Faux Storefront System
- 5 Parapet Trim
- 6 EIFS Cladding
- 7 Decorative Metal Panels
- 8 Automatic Man Door at Loading
- 9 Storage Unit Door at Loading

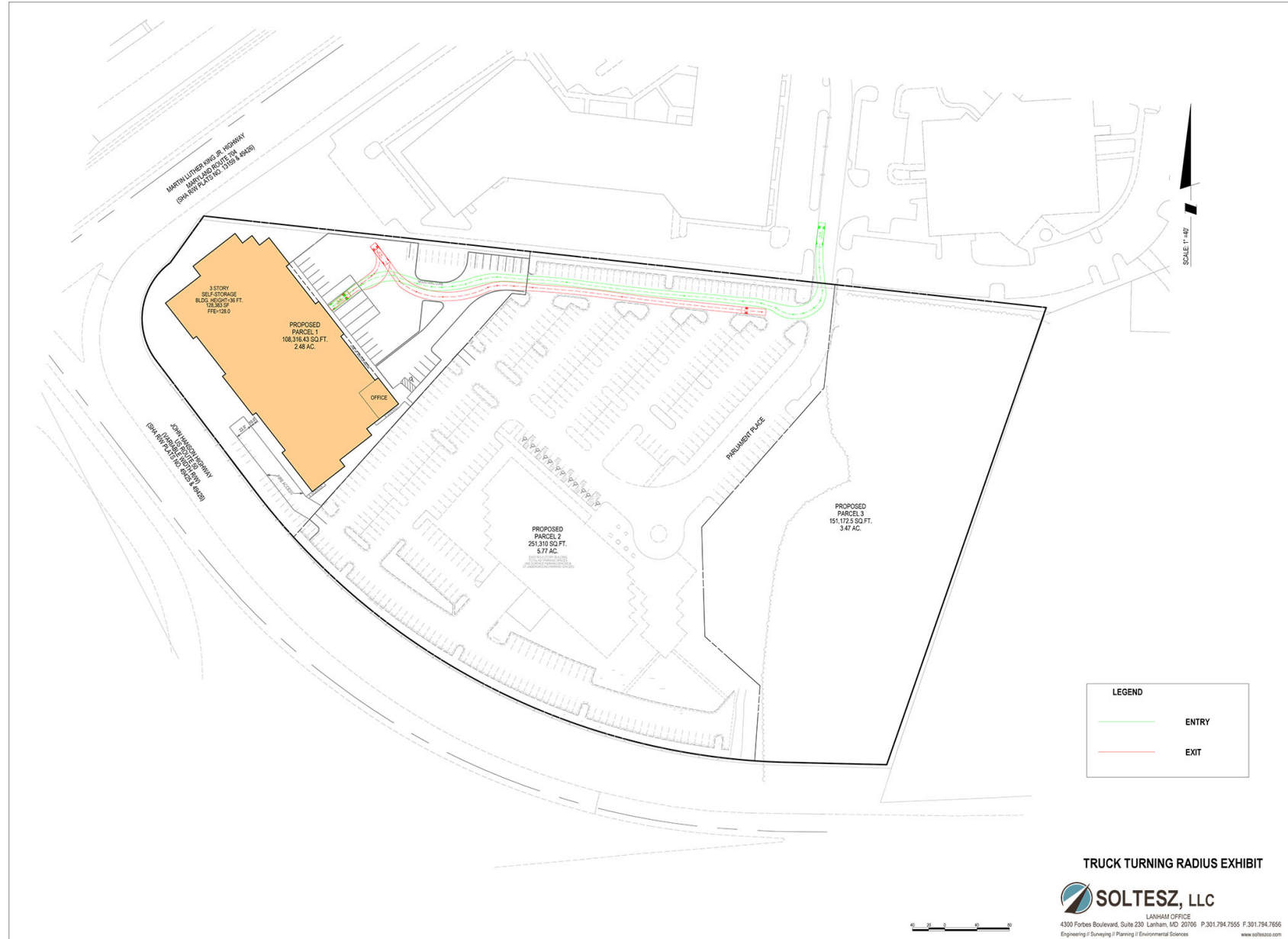
Note : All Colors and Mfrs Subject to Modification per Final Design



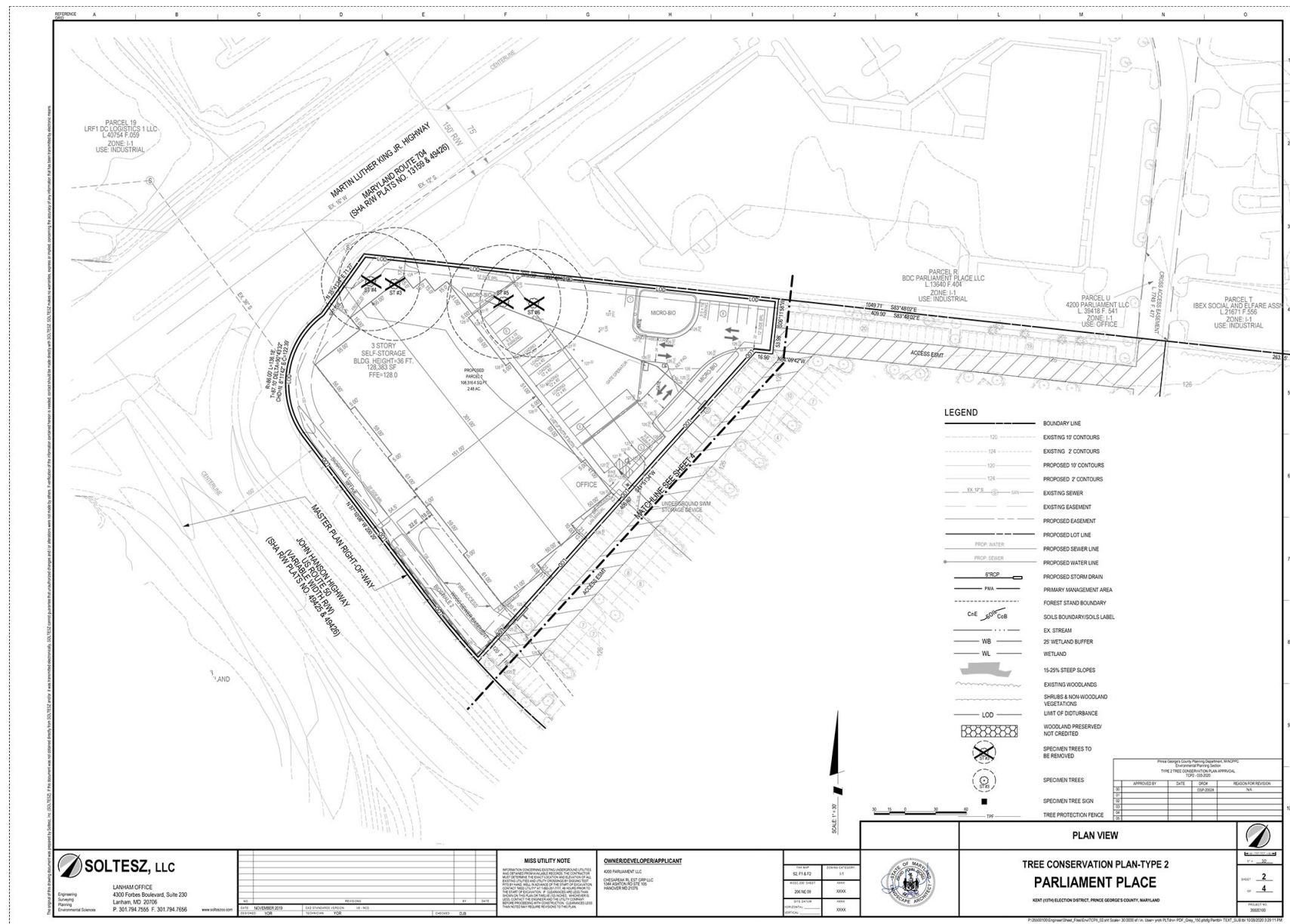
FIRE COVERAGE



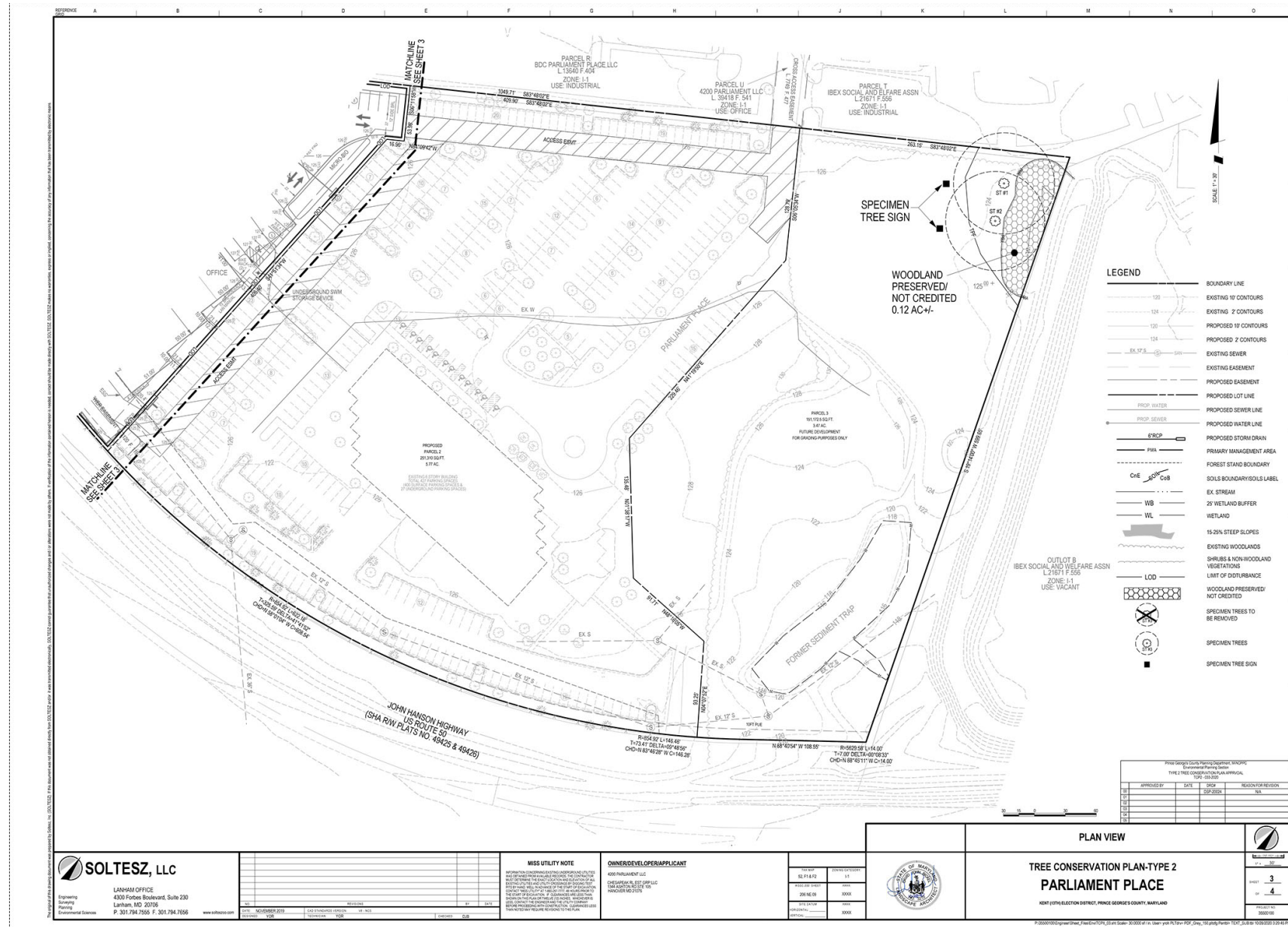
TRUCK TURNING EXHIBIT



TYPE II TREE CONSERVATION PLAN



TYPE II TREE CONSERVATION PLAN



STATEMENT OF JUSTIFICATION
DSP-20024

APPLICANT: 4200 Parliament LLC
1343 Ashton Road
Hanover, Maryland 21076

CORRESPONDENT: Daniel F. Lynch, Esq.
McNamee Hosea
6411 Ivy lane, Suite 200
Greenbelt, Maryland 20770
301-441-2420 (P)
301-982-9460 (F)
dlynch@mhlawyers.com

REQUEST: Detailed Site Plan, Sections 27-285 and 27-475.04 of the
Zoning Ordinance – Consolidated Storage Facility

I. DESCRIPTION OF PROPERTY

1. Address – 4200 Parliament Place, Lanham, MD 20706
2. Location – located on the south side of Martin Luther King Jr. Highway approximately 722 feet west of its intersection with Parliament Place.
3. Proposed Use – Consolidated Storage Facility
4. Election District – 13
5. Councilmanic District - 5
6. Parcel –Parcel R, Hanson Palmer Business Park
7. Total Area – 2.48
8. Tax Map – 52/F1
9. Zoned – I - 1
10. Owner – BDC Parliament Place LLC
11. Zoning Map – 206NE09

II. NATURE OF REQUEST

The Applicant is requesting the approval of a Detailed Site Plan (DSP-) for the purpose of constructing a 128, 383 square foot, 3-story consolidated storage facility with 25 associated parking spaces. The property is currently developed with an office buildings totaling over 250,000 square feet in size. The property was developed in the late 1980s. The property is accessed from Martin Luther King Jr Highway via Parliament Place.

The applicant is proposing locate the consolidated storage facility in the area of currently occupied by excess parking. Access to the site will be via a 28± foot wide access easement across Parcel 2 which then connects to a 22 access driveway that will be secured by a gate. There will be an unsecure public parking area located outside the gate that will contain 13 parking spaces. The secured gated area will contain 12 parking spaces and 5 loading spaces that are available to customers of the facility. The facility will be secured by a 6-foot fence located along north, west and east sides of the customer parking and loading area.

The applicant is proposing to construct a 3-story, 36-foot high facility. The front of the building will face to the northeast and the exterior doors to units will be located on the northeast side of the buildings and not visible from the street. The office will be located in the southeast corner of the building so allow visitors and customers access from both the secured and unsecured areas of the property. The applicant is not proposing a resident manager.

The applicant's proposed consolidated storage facility complies with the specific requirements for consolidate storage set forth in Section 27-475.04, the Tree Canopy Coverage Requirements, the parking and loading requirements as well as the other bulk regulations for development in the I-1 Zone. The applicant is requesting Alternative Compliance from the Landscape Manual relative to the 4.7 buffer required along the share property line with Parcel 2.

III. SURROUNDING USES

The subject property is located on the south side of Martin Luther King Highway in an existing business park. It is bounded to the south and east by an existing office building in the I-1 Zone, to the west by the exit ramp for US 50 and to the north by Martin Luther King Jr. Boulevard. The neighborhood is predominately developed with a mix of offices and warehouses.

The subject property is in an area covered by the approved *Glenn Dale Seabrook Lanham & Vicinity Master Plan and Sectional Map Amendment* (the "Master Plan"). The subject property is located in the Washington Business Park Employment Area. The overall goal is to concentrate and diversify future employment opportunities within existing centers and concentrate and diversify future employment opportunities within existing centers to enhance the local economic base. In this situation, the applicant is to develop an

underutilized portion of a property that was previously developed with an office building. This development therefore falls squarely within the goals of the Master Plan by developing within the existing boundaries of the employment area and the addition development will increase the tax base of Prince George's County.

IV. CRITERIA FOR APPROVAL

The criteria for approval of a Detailed Site Plan are set forth in Sections 27-285(b), 27-274 & 27-475.04.

Section 27-285. Planning Board Procedures.

(b) Required findings.

(A) The plan represents a reasonable alternative for satisfying the site design guidelines, without requiring unreasonable costs and without detracting substantially from the utility of the proposed development for its intended use;

COMMENT: The plan represents a reasonable alternative for satisfying the site design guidelines. The site design guidelines are found in Section 27-274 of the Zoning Ordinance.

Section 27-274. Design Guidelines.

(1) General.

(A) The Plan should promote the purposes of the [Detailed] Site Plan.

COMMENT: The purposes of the Detailed Site Plan are found in Section 27-281(b) & (c).

Section 27-281. Purpose of Detailed Site Plans.

(b) General purposes.

(1) The general purposes of Detailed Site Plans are:

- (A) To provide for development in accordance with the principles for the orderly, planned, efficient and economical development contained in the General Plan, Master Plan, or other approved plan;
- (B) To help fulfill the purposes of the zone in which the land is located;
- (C) To provide for development in accordance with the site design guidelines established in this division; and
- (D) To provide approval procedures that is easy to understand and consistent for all types of Detailed Site Plans.

(c) Specific purposes.

(1) The specific purposes of Detailed Site Plans are:

- (A) To show the specific location and delimitation of buildings and structures , parking facilities, streets, green areas, and other physical features and land uses proposed for the site;
- (B) To show specific grading, planting, sediment control, tree preservation, and storm water management features proposed for the site;
- (C) To locate and describe the specific recreation facilities proposed, architectural form of buildings, and street furniture (such as lamps, signs, and benches) proposed for the site; and
- (D) To describe any maintenance agreements, covenants, or construction contract documents that are necessary to assure that the Plan is implemented in accordance with the requirements of this Subtitle.

Comment: This Detailed Site Plan promotes the purposes of Detailed Site Plans. Specifically, this plan helps to fulfill the purposes of the I-1 Zone in which the subject land is located. A consolidated storage facility is a permitted use in the I-1 Zone. The plan gives an illustration as to the approximate location and delineation of the storage buildings, offices, parking for the storage facility, streets, green areas, and other similar physical features and land uses proposed for the site.

In addition to the purposes set forth in Section 27-281, Section 27-274 further requires the Applicant to demonstrate the following:

(2) Parking, loading, and circulation

(A) Surface parking lots should be located and designed to provide safe and efficient vehicular and pedestrian circulation within the site, while minimizing the visual impact of cars. Parking spaces should be located to provide convenient access to major destination points on the site.

(B) Loading areas should be visually unobtrusive and located to minimize conflicts with vehicles or pedestrians.

(C) Vehicular and pedestrian circulation on a site should be safe, efficient, and convenient for both pedestrians and drivers.

COMMENT: This Detailed Site Plan complies with the design guidelines provided in (2). The plan illustrates that all parking and loading areas are located and designed to provide safe and efficient vehicular and pedestrian circulation within the site. Specifically, the plan shows that the interior two-way travel lanes are at least 24 feet in width. The travel lanes are large enough to provide safe parking as well as through traffic that can travel in both directions. There will be 25 total parking spaces provided for the consolidated storage facility. As noted above, the parking spaces have been located at convenient locations throughout the site to allow customers to access both the office and the storage units.

(3) Lighting.

(A) For uses permitting nighttime activities, adequate illumination should be provided. Light fixtures should enhance the design character.

COMMENT: This Detailed Site Plan complies with the design guidelines set forth in (3). Adequate lighting will be provided to illuminate entrances, parking, and loading areas throughout the site. There will be pole mounted lighting in the parking area directly in front of the manager's office and for the balance of the property, site lighting will be wall mounted units affixed to the sides of the new and existing buildings. The proposed lighting will provide patrons with a bright, safe atmosphere while not causing a glare onto adjoining properties.

(4) Views.

(A) Site design techniques should be used to preserve, create, or emphasize scenic views from public areas.

COMMENT: This Detailed Site Plan complies with the design guidelines outlined in sub-part (4). This plan is designed to preserve, create, or emphasized views from the public roads that surround the property. The property has frontage on the exit ramp from Route 50 and on Martin Luther King Jr. Highway and the applicant is proposing to install a landscape strip along those frontages. In addition, the applicant has located all units with exterior doors on the northeast side of the building and not visible from Route 50 or Martin Luther King Jr. Highway.

(5) Green Area.

(A) On site green area should be designed to compliment other site activity areas and should be appropriate in size, shape, location, and design to fulfill its intended use.

COMMENT: This Detailed Site Plan complies with the design guidelines outlined in sub-part (5). The required green area for this project is 10%. The Applicant is proposing 36.4 % green area within the site.

(6) Site and streetscape amenities.

(A) Site and streetscape amenities should contribute to an attractive, coordinated development and should enhance the use and enjoyment of the site.

COMMENT: The applicant is not proposing and site or streetscape amenities as part of this consolidated storage facility.

(7) Grading.

(A) Grading should be performed to minimize disruption to existing topography and other natural and cultural resources on the sit and on adjacent sites. To the extent practicable, grading should minimize environmental impacts.

COMMENT: The Detailed Site Plan shows the proposed topography for the property. The applicant designed this facility so as to minimize grading on the site and preserve the natural contours as much as feasible.

(8) Service Areas.

(A) Service areas should be accessible, but unobtrusive.

COMMENT: This Detailed Site Plan complies with the design guidelines outlined in sub-part (8).

(9) Public Spaces.

(A) A public space system should be provided to enhance a large-scale commercial, mixed use, or multifamily development.

COMMENT: The applicant is not proposing to provide public space in this development as it is not a commercial, mixed use or multi-family development.

(10) Architecture.

(A) When architectural considerations are references for review, the Conceptual Site Plan should include a statement as to how the architecture of the buildings will provide a variety of building forms, with unified, harmonious use of materials and styles.

(B) The guidelines shall only be used in keeping with the character and purpose of the proposed type of development and the specific zone in which it is to be located.

(C) These guidelines may be modified in accordance with section 27-277.

COMMENT: The applicant is proposing to incorporate a number of building materials into the design of the building to help create visual interest. In addition, the applicant has created additional visual interest by varying the depth of the building, especially along the entrance ramp from Route 50.. This not only created visual interest but is very functional since it creates a covered parking area for customers.

In addition to the requirements outlined in Section 27-274, Section 27-285 further requires that the Applicant demonstrate the following:

- (2) The Planning Board shall also find that the Detailed Site Plan is in general conformance with the approved Conceptual Site Plan (if one was required);

COMMENT: No conceptual plan is required.

- (3) The Planning Board may approve a Detailed Site Plan for Infrastructure if it finds that the plan satisfies the site design guidelines as contained in Section 27-274, prevents offsite property damage, and prevents environmental degradation to safeguard the public's health, safety, welfare, and economic well-being for grading, reforestation, woodland conservation, drainage, erosion, and pollution discharge.

COMMENT: Not applicable.

In addition to the general findings cited above, a consolidated storage facility must comply with Section 27-475.04, which states:

Section 27-475.04. Consolidated Storage.

(1) Requirements.

- (A) No entrances to individual consolidated storage units shall be visible from a street or from adjoining land in any Residential or Commercial Zone (or land proposed to be used for residential or commercial purposes on an approved Basic Plan for a Comprehensive Design Zone, or any approved Conceptual or Detailed Site Plan).

COMMENT: The architectural elevations indicate that no entrances to individual units are visible from any street or from adjoining land in any residential or commercial zone. The exterior entrances to the units are located on the northeast sides of the building. The northeast side of the building faces I-1 zoned property. In addition, there is an existing stand of trees located on the adjacent property which will screen the entrances from Martin Luther King Jr. Highway. Finally, the applicant is proposing to install a landscape strip along the northeastern property. Again, this landscape strip will provide an additional screening element to Martin Luther King Highway. The entrances proposed on the northeast side of the proposed building will therefore be significantly screen from all streets.

- (B) Entrances to individual consolidated storage units shall be either oriented toward the interior of the development or completely screened from view by a solid wall, with landscaping along the outside thereof.

COMMENT: This Detailed Site Plan complies with the requirements outlined in sub-part (B). The buildings will have entrances to the individual storage units oriented toward the interior of the property.

- (C) The maximum height shall be thirty-six (36) feet. Structures exceeding this height and approved before January 1, 2000, shall not be considered non-conforming.

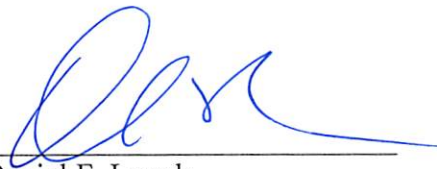
COMMENT: This Detailed Site Plan complies with the requirements outlined in sub-part (C). As shown on the elevations, the proposed building will be 36-feet in height.

V. CONCLUSION

The Applicant, 4200 Parliament Place, LLC is seeking a Detailed Site Plan to construct a 128, 383 square foot consolidated storage facility. The Applicant believes that this request meets the requirements set forth in Sections 27-285, 27-274 and 27-475.04 and would therefore respectfully request approval of this application.

Respectfully submitted,

MCNAMEE HOSEA

By: 
Daniel F. Lynch



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

14741 Governor Oden Bowie Drive
Upper Marlboro, Maryland 20772
www.pgplanning.org

PGCPB No. 2020-153

File No. 4-19049

R E S O L U T I O N

WHEREAS, 4200 Parliament LLC is the owner of a 11.72-acre parcel of land known as Parcel 4, said property being in the 13th Election District of Prince George's County, Maryland, and being zoned Light Industrial (I-1); and

WHEREAS, on July 30, 2020, 4200 Parliament LLC filed an application for approval of a Preliminary Plan of Subdivision for 3 parcels; and

WHEREAS, the application for approval of the aforesaid Preliminary Plan of Subdivision, also known as Preliminary Plan 4-19049 for Parliament Place was presented to the Prince George's County Planning Board of The Maryland-National Capital Park and Planning Commission by the staff of the Commission on October 29, 2020, for its review and action in accordance with the Land Use Article of the Annotated Code of Maryland and the Regulations for the Subdivision of Land, Subtitle 24, Prince George's County Code; and

WHEREAS, the staff of The Maryland-National Capital Park and Planning Commission recommended approval of the application with conditions; and

WHEREAS, on October 29, 2020, the Prince George's County Planning Board heard testimony and received evidence submitted for the record on the aforesaid application.

NOW, THEREFORE, BE IT RESOLVED, that pursuant to the provisions of Subtitle 24, Prince George's County Code, the Prince George's County Planning Board APPROVED Type 1 Tree Conservation Plan TCP1-015-2020, and DISAPPROVED a Variance from Section 25-122(b)(1)(G), and further APPROVED Preliminary Plan of Subdivision 4-19049 for 3 parcels with the following conditions:

1. Any residential development on the subject property shall require approval of a new preliminary plan of subdivision, prior to issuance of any permits.
2. Development of this site shall be in conformance with the approved Stormwater Management Concept Plan (1120-2020-0) and any subsequent revisions.
3. The final plat of subdivision shall grant 10-foot-wide public utility easements along the public rights-of-way abutting the site, in accordance with the approved preliminary plan of subdivision.
4. Prior to approval of the final plat of subdivision, the applicant, and the applicant's heirs, successors, and/or assignees shall provide a draft access easement agreement or covenant, for access to Parcels 1–3, to the Maryland-National Capital Park and Planning Commission (M-NCPPC), Development Review Division, for approval. The easement agreement shall contain the rights of M-NCPPC, be recorded in land records, and the Liber/folio shown on the final plat, prior to recordation. The final plat shall reflect the location and extent of the easement, in accordance with the approved preliminary plan of subdivision and indicate denial of access to MD 704

(Martin Luther King Jr Highway) and US 50 (John Hanson Highway) from the subject property, in accordance with Section 24-121(a)(3) of the Subdivision Regulations.

5. Prior to the approval of a detailed site plan, the applicant, and the applicant's heirs, successors, and/or assignees shall demonstrate pedestrian and bicycle facilities to be in conformance with the 2009 *Approved Countywide Master Plan of Transportation* and the 2010 *Glenn Dale-Seabrook-Lanham and Vicinity Approved Sector Plan and Sectional Map Amendment*, and provide the following on the detailed site plan:
 - a. An internal sidewalk network connecting the existing office building to the proposed buildings and to the cross-access easement.
 - b. Short-term and long-term bicycle parking facilities consistent with the AASHTO *Guide for the Development of Bicycle Parking Facilities, 4th Edition* at all buildings on the subject site
 - c. A shared-use path between the proposed consolidated storage facility building and the east side of MD 704 (Martin Luther King Jr Highway), unless modified by the Maryland State Highway Administration, with written correspondence.
6. In conformance with the 2009 *Approved Countywide Master Plan of Transportation* and the 2010 *Glenn Dale-Seabrook-Lanham and Vicinity Approved Sector Plan and Sectional Map Amendment*, the applicant, and the applicant's heirs, successors, and/or assignees shall provide the following:
 - a. A shared-use path between the proposed consolidated storage facility building and the east side of MD 704 (Martin Luther King Jr Highway), unless modified by the Maryland State Highway Administration, with written correspondence.
 - b. A shared-use path along the east side of MD 704 (Martin Luther King Jr Highway), along the subject sites frontage, unless modified by the Maryland State Highway Administration, with written correspondence.
 - c. Perpendicular ramps and a continental style crosswalk crossing the westbound US 50 (John Hanson Highway) to northbound MD 704 (Martin Luther King Jr Highway) off-ramp, unless modified by the Maryland State Highway Administration, with written correspondence.
7. Prior to signature approval of the preliminary plan of subdivision, plans shall be revised to show the master plan MD 704 (Martin Luther King Jr Highway) side-path, pursuant to Section 24-123(a)(6) of the Subdivision Regulations.
8. Total development within the subject property shall be limited to uses that would generate no more than 477 AM and 452 PM peak-hour vehicle trips with the existing development on Parcel 2 generating no more than 264 AM and 244 PM peak-hour vehicle trips. The trips can be further

defined to indicate that Parcel 1 would generate no more than 13 AM and 23 PM peak-hour vehicle trips, while Parcel 3 would generate no more than 200 AM and 185 PM peak-hour vehicle trips based on the development proposal. Any development generating an impact greater than the total identified herein above shall require a new preliminary plan of subdivision, with a new determination of the adequacy of transportation facilities.

9. Prior to signature approval of the preliminary plan of subdivision, the Type 1 Tree Conservation Plan (TCP1-015-2020) shall be revised to meet all the requirements of Subtitle 25 of the Prince George's County Code. Required revisions include but are not limited to:
 - a. Revise the TCP1 to show Specimen Trees 3, 4, 5, and 6 as saved by revising the limits of disturbance as appropriate to preserve a minimum of two-thirds of each tree's critical root zone.
 - b. Indicate that all specimen trees will be saved.
 - c. Add the TCP number to the approval block (TCP1-015-2020) on each sheet of the TCP1.
10. At time of final plat, a conservation easement shall be described by bearings and distances. The conservation easement shall contain the delineated primary management area, except for any approved impacts, and shall be reviewed by the Environmental Planning Section, prior to approval of the final plat. The following note shall be placed on the plat:

"Conservation easements described on this plat are areas where the installation of structures and roads and the removal of vegetation are prohibited without prior written consent from the M-NCPPC Planning Director or designee. The removal of hazardous trees, limbs, branches, or trunks is allowed."
11. Development of this subdivision shall be in conformance with an approved Type 1 Tree Conservation Plan (TCP1-015-2020). The following note shall be placed on the final plat of subdivision:

"This development is subject to restrictions shown on the approved Type 1 Tree Conservation Plan (TCP1-015-2020 or most recent revision), or as modified by the Type 2 Tree Conservation Plan and precludes any disturbance or installation of any structure within specific areas. Failure to comply will mean a violation of an approved Tree Conservation Plan and will make the owner subject to mitigation under the Woodland and Wildlife Habitat Conservation Ordinance (WCO). This property is subject to the notification provisions of CB-60-2005. Copies of all approved Tree Conservation Plans for the subject property are available in the offices of The Maryland-National Capital Park and Planning Commission (M-NCPPC), Prince George's County Planning Department."
12. Prior to signature approval of the preliminary plan of subdivision, the limits of disturbance of the TCP1 must be revised to be consistent with the approved stormwater management plan.

13. Prior to detailed site plan approval, the applicant shall demonstrate the efforts made through site design to save Specimen Trees 3, 4, 5, and 6. Should it be demonstrated that the trees cannot be saved, the applicant shall submit a variance request and associated statement of justification for consideration.
14. Prior to issuance of permits, the applicant shall show due diligence for securing off-site woodland conservation credits, first within the limits of the 2010 *Glenn Dale-Seabrook-Lanham and Vicinity Approved Sector Plan and Sectional Map Amendment*. If no woodland conservation credits are available within the limits of the Sector Plan, the applicant shall follow the requirements of Section 25-122(a)(6) of the 2010 Prince George's County Woodland and Wildlife Habitat Conservation Ordinance.
15. Prior to issuance of a use and occupancy permit for nonresidential development, the applicant and the applicant's heirs, successors, and/or assignees shall:
 - a. Contact the Prince George's County Fire/EMS Department to request a pre-incident emergency plan for the facility.
 - b. Install and maintain automated external defibrillators (AEDs), in accordance with the Code of Maryland Regulations (COMAR) requirements (COMAR 30.06.01-05), so that any employee is no more than 500 feet from an AED.
 - c. Install and maintain a sufficient number of bleeding control kits next to fire extinguisher installation and no more than 75 feet from any employee.

These requirements shall be noted on the detailed site plan.

BE IT FURTHER RESOLVED, that the findings and reasons for the decision of the Prince George's County Planning Board are as follows:

1. The subdivision, as modified with conditions, meets the legal requirements of Subtitles 24 and 27 of the Prince George's County Code and the Land Use Article of the Annotated Code of Maryland.
2. **Background**—The subject property is located east of the interchange of US 50 (John Hanson Highway) and MD 704 (Martin Luther King Jr Highway) in Lanham, Maryland. The property is known as Parcel 4, described by deed recorded in Liber 39418 folio 541 and consists of 11.72 acres in the Light Industrial (I-1) Zone. The site is subject to the 2010 *Glenn Dale-Seabrook-Lanham and Vicinity Approved Sector Plan and Sectional Map Amendment* (Glenn Dale-Seabrook-Lanham and Vicinity Sector Plan and SMA). This preliminary plan of subdivision (PPS) includes three parcels for development of commercial and industrial uses. An existing 132,312-square-foot office building is located on the subject property, which is to remain. The proposed development is subject to a PPS, in accordance with Section 24-107 of the Prince George's County Subdivision Regulations.

Section 25-122(b)(1)(g) of the 2010 Prince George's County Woodland and Wildlife Habitat Conservation Ordinance (WCO) requires that the preservation of specimen trees, champion trees, or trees that are associated with an historic site or structure have their critical root zones protected through judicious site design. The applicant requested approval of a variance for the removal of six specimen trees, which is discussed further.

3. **Setting**—The property is located on Tax Map 52 in Grids E1, E2, F1, and F2, in Planning Area 70, and is zoned I-1. The site abuts properties to the north that contain office buildings and are also in the I-1 Zone. The property to the east contains a stormwater management (SWM) pond in the I-1 Zone. US 50 and its exit onto MD 704 wrap the property to the southern and western boundaries. The property does not have direct access to MD 704, and instead uses an access easement known as Parcel U, recorded in Plat Book NLP 140, page 6. This access easement travels through the properties directly to the north to access MD 704.
4. **Development Data Summary**—The following information relates to the subject PPS application and the proposed development.

	EXISTING	APPROVED
Zone	I-1	I-1
Use(s)	Commercial/Office	Commercial/Industrial
Acreage	11.72	11.72
Lots	0	0
Parcels	1	3
Dwelling Units	N/A	N/A
Gross Floor Area	132,312 sq. ft.	366,312 sq. ft.
Variance	No	Yes
Variation	No	No

Pursuant to Section 24-119(d)(2) of the Subdivision Regulations, this case was heard at the Subdivision and Development Review Committee (SDRC) meeting on August 21, 2020.

5. **Previous Approvals**—No prior approvals are associated with this site.
6. **Community Planning**—The subject site is within the area of the Glenn Dale-Seabrook-Lanham and Vicinity Sector Plan and SMA. Conformance with the 2014 *Plan Prince George's 2035 Approved General Plan* (Plan 2035) and sector plan are evaluated, as follows:

Plan 2035

The application is in the Established Communities Growth Policy area designated in Plan 2035. The vision for the Established Communities area is most appropriate for context-sensitive infill and low- to medium-density development (page 20).

Sector Plan Conformance

The sector plan retained the subject property into the I-1 Zone and recommends industrial land use on the subject property.

Pursuant to Section 24-121(a)(5) of the Subdivision Regulations, this application conforms to the sector plan.

7. **Stormwater Management**—SWM Concept Plan (1120-2020-0), reviewed and approved by the Prince George’s County Department of Permitting, Inspections and Enforcement (DPIE), was submitted with the subject application. According to the plan, three micro-bioretenment facilities, two swales, and one submerged gravel wetland are proposed to provide stormwater retention and attenuation on-site. The concept approval expires August 27, 2023. Development of the site shall conform with the SWM concept approval, and any subsequent revisions, to ensure no on-site or downstream flooding occurs.
8. **Parks**—In accordance with Section 24-134(a) of the Subdivision Regulations, the subject subdivision is exempt from mandatory dedication of parkland requirements because it consists of nonresidential development.
9. **Trails**—This PPS was reviewed for conformance with the 2009 *Approved Countywide Master Plan of Transportation* (MPOT) and the Glenn Dale-Seabrook-Lanham and Vicinity Sector Plan and SMA, to provide the appropriate pedestrian and bicycle transportation facilities.

Existing Conditions, Sidewalks and Bike Infrastructure

The PPS does not include a description of proposed pedestrian and bicycle facilities.

Pursuant to Section 24-121(a)(9), the PPS does not provide walkways with rights-of-way at least 10-feet-wide through all blocks over 750-feet-long. The subject application does not include any blocks that are over 750-feet-long.

Pursuant to Section 24-123(a)(6) of the Subdivision Regulations, the PPS does not indicate the location of all land for bike trails and pedestrian circulation systems that are indicated on a master plan, County trails plan, or abutting, existing, or dedicated trails.

The applicants revised plans shall include the master plan MD 704 side-path.

Review of Connectivity to Adjacent / Nearby Properties

The subject site is connected by way of a private driveway without sidewalks to properties adjacent the subject site.

The required pedestrian and bicycle improvements associated with the development will address goals, policies, and strategies in the MPOT and the Glenn Dale-Seabrook-Lanham and Vicinity Sector Plan and SMA.

Review of Master Plan Compliance

This development case is subject to the MPOT, which provides policy guidance regarding multimodal transportation. The Complete Streets element of the MPOT recommends how to accommodate infrastructure for people walking and bicycling (MPOT, page 9–10), which recommends the following facilities:

Policy 2: All road frontage improvements and road capital improvement projects within the Developed and Developing tiers shall be designed to accommodate all modes of transportation. Continuous sidewalks and on-road bicycle facilities should be included to the extent feasible and practical.

There is no sidewalk or shared-use path along the portion of MD 704 that abuts this project. The applicant shall provide a shared-use path along the subject site frontage of MD 704 be provided, unless modified by the Maryland State Highway Administration (SHA), with written correspondence.

Policy 4: Develop bicycle-friendly roadways in conformance with the latest standards and guidelines, including the 1999 AASHTO Guide for the Development of Bicycle Facilities.

There are bike lanes present on MD 704.

Policy 5: Evaluate new development proposals in the Developed and Developing Tiers for conformance with the complete streets principles.

A subdivision is currently in pre-acceptance that proposes a 6,077-square-foot convenience market with 20 fueling stations, and a 4,500-square-foot fast food restaurant with drive through, at the northwest corner of MD 704 and Hargrove Drive. This location is catcorner to the subject site. If built, the proposed convenience market and fast-food restaurant would draw patrons from the subject site, due to its close proximity. MD 704 and the internal road circulation do not show accommodation for pedestrians and bicyclists consistent with complete streets principles.

The applicant shall provide a shared-use path, along the subject site's frontage of MD 704, including a crosswalk crossing the US 50 off-ramp, for a future potential connection to this development across the street, subject to modification by SHA.

In addition, the submitted plans do not show sidewalks or pedestrian facilities within the subject site. The applicant shall provide a network of sidewalks within the subject site connecting the different buildings and the private roadway accessing the property, to be shown in the detailed site plan (DSP), prior to its acceptance. The submitted SDRC response, dated September 3, 2020, (Roh to Heath), indicates that no sidewalks will be provided between Parcels 2 and 3, because "of the nature of consolidated storage."

Sidewalks shall be provided connecting all parcels on the subject site and connecting the uses. Sidewalks connecting different structures within a subject site provide an

opportunity for safe and convenient pedestrian travel; omitting sidewalks does not prevent any potential pedestrian trips, but discourages safe pedestrian travel from occurring. Moreover, these internal sidewalks will be necessary to meet the design guidelines at the time of DSP, requiring pedestrian access to major destinations and through parking lots on-site.

The sector plan includes the following goals, policies, and strategies applicable to the subject (starting on page 162):

Access management criteria may include buildings layouts and parking sited to allow users to access multiple buildings within the same commercial center on foot.

Goal 3: Encourage alternative means of transportation within the sector plan area.

Policy 1: Follow complete street principles, which include pedestrian and bicycle considerations, in all new road construction and improvements projects.

Policy 5: Create environments more conducive to nonmotorized travel.

Goal 4: Improve pedestrian safety throughout the area.

Policy 1: Develop a continuous network of safe routes (sidewalks and trails) for pedestrians, especially between neighborhoods and sector plan area designations.

Retrofit existing roadways with improvements designed to create safer environment for pedestrians.

The applicant shall provide internal sidewalks connecting the existing office building to the proposed buildings. In addition, the applicant shall provide short-term and long-term bicycle parking facilities consistent with the AASHTO *Guide for the Development of Bicycle Parking Facilities, 4th Edition*. The submitted SDRC response, dated September 3, 2020 (Roh to Heath), indicates that no bicycle facilities are proposed for the consolidated storage parcel because, “of the nature of consolidated storage.” While bicycles may not be the most efficient mode for transporting storage goods, future employees of the storage facility, or future clients upon an initial visit, may choose to travel by bicycle. Providing bicycle parking will encourage alternate means of transportation and create environments that are more conducive to nonmotorized travel.

The applicant shall provide a shared-use path between the proposed consolidated storage facility building and the east side of MD 704, a shared-use path along the east side of MD 704 along the frontage of the subject site, perpendicular ramps, and a continental style crosswalk crossing the westbound US 50 to northbound MD 704 off-ramp, unless modified by SHA, with written correspondence. The submitted SDRC response dated September 3, 2020 (Roh to Heath), indicates that SHA may not approve this request. No additional right-of-way is being required with this application and SHA, as the roadway

operating and permitting agency for MD 704, can require implementation of the master-plan recommended roadway, including the shared-use path and crosswalks, as appropriate, or may implement the master plan facility as part of a future Capital Improvement Project.

10. **Transportation**—The PPS will create three separate parcels. The subdivision has one existing office building (Parcel 2) and will contain two additional Parcels numbered 1 and 3 for development. Parcel 1 is proposed as a 134,000-square-foot self-storage facility, while Parcel 3 is proposed as a 100,000-square-foot office building that will be developed in the future.

The PPS is required to subdivide an existing lot into three parcels to support the development. Transportation-related findings related to adequacy are made with this application, along with any determinations related to dedication, access, and general subdivision layout. Access and circulation are proposed by means of private streets and driveways from existing public roadways. The subject property is located within Transportation Service Area 2, as defined in Plan 2035. As such, the subject property is evaluated according to the following standards:

- (A) Links and signalized intersections: Level-of-service (LOS) D, with signalized intersections operating at a critical lane volume (CLV) of 1,450 or better;
- (B) Unsignalized intersections: The procedure for unsignalized intersection is not a true test of adequacy, but rather an indicator that further operational studies need to be conducted. A three-part process is employed for two-way stop-controlled intersections: (a) Vehicle delay is computed in all movements using the *Highway Capacity Manual* (Transportation Research Board) procedure; (b) the maximum approach volume on the minor streets are computed if delay exceeds 50 seconds, (c) if delay exceeds 50 seconds and at least one approach volume exceeds 100, the CLV is computed. A two-part process is employed for all-way stop-controlled intersections. Once the CLV exceeds 1,450, this is deemed to be an unacceptable operating condition at unsignalized intersections. In response to such a finding, the Planning Board has generally recommended that the applicant provide a traffic signal warrant study and install the signal (or other less costly warranted traffic controls) if deemed warranted by the appropriate operating agency.

Analysis of Traffic Impacts

The applicant submitted a traffic impact study (TIS) dated May 2020. The findings and outlined below are based upon a review of these materials and analyses conducted consistent with the “Transportation Review Guidelines, Part 1,” (Guidelines). The table below shows the intersections deemed to be critical, as well as the levels of service representing existing conditions:

The traffic generated by the PPS would impact the following intersections, interchanges, and links in the transportation system:

- MD 704 & Forbes Boulevard (signalized)
- MD 704 & Parliament Place/Boston Way (signalized)
- MD 704 & WB US 50 Ramps/Hargrove Drive (signalized)
- MD 704 & EB US 50 Ramps (signalized)

EXISTING TRAFFIC CONDITIONS				
Intersections	Critical Lane Volume		Level of Service	
	(AM & PM)		(LOS, AM & PM)	
MD 704 & Forbes Boulevard	1293	1236	C	C
MD 704 & Parliament Place/Boston Way	903	882	A	A
MD 704 & WB US 50 Ramps/Hargrove Drive	1155	1282	C	C
MD 704 & EB US 50 Ramps	750	923	A	A
In analyzing unsignalized intersections, average vehicle delay for various movements through the intersection is measured in seconds of vehicle delay. The numbers shown indicate the greatest average delay for any movement within the intersection. According to the “Guidelines,” delay exceeding 50.0 seconds indicates inadequate traffic operations. Values shown as “+999” suggest that the parameters are beyond the normal range of the procedure and should be interpreted as a severe inadequacy.				

The TIS identified five background developments. In addition, a growth factor of 0.5 percent per year for 6 years was applied to through traffic along MD 704. The background analysis is based on future developments, which yielded the following results.

BACKGROUND CONDITIONS				
Intersection	Critical Lane Volume		Level of Service	
	(AM & PM)		(LOS, AM & PM)	
MD 704 & Forbes Boulevard	1399	1331	D	D
MD 704 & Parliament Place/Boston Way	971	958	A	A
MD 704 & WB US 50 Ramps/Hargrove Drive	1235	1393	C	D
MD 704 & EB US 50 Ramps	805	1028	A	B

The table below summarizes trip generation in each peak hour that was used in reviewing traffic and developing a trip cap for the site:

Table 1 – Trip Generation								
Trip Generation Summary: 4-19049: Parliament Place								
Land Use	Use Quantity	Metric	AM Peak			PM Peak		
			In	Out	Tot.	In	Out	Tot.
Parcel 2 – Office Building	132,312	sq. ft.	238	26	264	46	198	244
Total Existing Trips – Parcel 2			238	26	264	46	198	244
Parcel 1 – Consolidated Storage	134,000	sq. ft.	8	5	13	11	12	23
Parcel 3 – General Office	100,000	sq. ft.	180	20	200	35	150	185
Net New Trips – Parcels 1 and 3			188	25	213	46	162	208
Total Site Trips			426	51	477	92	360	452

The following critical intersections, interchanges, and links identified below, when analyzed with the programmed improvements and total future traffic as developed using the Guidelines, including the site trip generation as described, operate as follows:

FUTURE TRAFFIC CONDITIONS				
Intersection	Critical Lane Volume		Level of Service	
	(AM & PM)		(LOS, AM & PM)	
MD 704 & Forbes Boulevard	1421	1346	D	D
MD 704 & Parliament Place/Boston Way	978	1091	A	B
MD 704 & WB US 50 Ramps/Hargrove Drive	1247	1430	C	D
MD 704 & EB US 50 Ramps	808	1061	A	B
*In analyzing two-way stop-controlled intersections, a three-step procedure is employed in which the greatest average delay in seconds for any movement within the intersection, the maximum approach volume on a minor approach, and the CLV is computed and compared to the approved standards. According to the Guidelines, all three tests must fail in order to require a signal warrant study.				

The signalized intersections operate within the acceptable range of a CLV less than 1450.

Agency Review

The TIS was referred to and reviewed by representatives from the Prince George's County Department of Public Works and Transportation (DPW&T), as well as SHA. SHA has provided comments that indicate no issue with the subdivision. DPW&T has not responded to date.

Master Plan and Site Access

These parcels are governed by the sector plan, as well as the MPOT. The master plan roadways identified in these documents include US 50 as a freeway and MD 704 as an arterial roadway.

The Parliament Place development is located adjacent to the US 50 ramp to MD 704, but within

the Washington Business Center. The closest signalized intersection is at MD 704 and Parliament Place, as it provides a single lane ingress with a planted median and two egress lanes. Aerial photography and project mapping identified Parliament Place as a two-lane private road that provides direct access into the Washington Business Center, as well as this subdivision. Parliament Place is approximately 30.71 feet wide at the entrance of this subdivision. A truck turning radius exhibit was submitted and is acceptable.

An extended access easement from Parliament Place (Parcel U to the north) will be provided within the subdivision to serve the three parcels. Access to the site via easement is permitted by Section 24-128(b)(9) of the Subdivision Regulations, which states:

Where vehicular access to an individual lot fronting on a public street should be denied due to a potentially hazardous or dangerous traffic situation, a private easement may be approved in accordance with the driveway standards in Part 11 of Subtitle 27, in order to provide vehicular access, when deemed appropriate by the Planning Board.

Given the arterial and freeway classification of the abutting roadways to the site, the use of an access easement is appropriate. The final plat shall reflect the easement and indicate denial of access to MD 704 and US 50 from the subject property, in accordance with Section 24-121(a)(3).

Based on the preceding findings, adequate transportation facilities will exist to serve the subdivision, as required, in accordance with Section 24-124.

11. **Schools**—This PPS was reviewed for impact on school facilities, in accordance with Section 24-122.02 of the Subdivision Regulations and Prince George’s County Council Resolutions CR-23-2001 and CR-38-2002, and it is concluded that the property is exempt from a review for schools because it is a nonresidential use.
12. **Public Facilities**—In accordance with Section 24-122.01, water and sewerage, and police facilities are found to be adequate to serve the subject site, as outlined in a memorandum from the Special Projects Section, dated August 21, 2020 (Thompson to Heath), incorporated by reference herein. Fire and rescue facilities require additional discussion, as follows:

Fire and Rescue

The subject property is served by Glenn Dale Volunteer Fire/EMS Co. #818 located at 11900 Glen Dale Boulevard, in Glenn Dale. A five-minute total response time is recognized as the national standard for Fire/EMS response times. The five-minute total response time arises from the 2016 Edition of the National Fire Protection Association (NFPA) 1710 Standards for the Organization and Deployment of Fire Suppression Operations, Emergency Medical Operations, and Special Operations to the Public by Career Fire Departments. This standard is being applied to the review of nonresidential subdivision applications.

According to NFPA 1710, Chapter 3 Definitions, the total response time and travel time are defined, as follows:

3.3.53.6 Total Response Time. The time interval from the receipt of the alarm at the primary PSAP (Public Safety Answering Point) to when the first emergency response unit is initiating action or intervening to control the incident.

3.3.53.7 Travel Time. The time interval that begins when a unit is in route to the emergency incident and ends when the unit arrives at the scene.

According to NFPA 1710, Chapter 4 Organization:

4.1.2.1 The fire department shall establish the following objectives:

- (1) **Alarm handling time to be completed in accordance with 4.1.2.3. (4.1.2.3.1 The fire department shall establish a performance objective of having an alarm answering time of not more than 15 seconds for at least 95 percent of the alarms received and not more than 40 seconds for at least 99 percent of the alarms received, as specified by NFPA 1221).**
- (2) **80 seconds turnout time for fire and special operations response and 60 seconds turnout time for EMS response.**
- (3) **240 seconds or less travel time for the arrival of the first arriving engine company at a fire suppression incident.**

Prince George's County Fire and EMS Department representative, James V. Reilly, stated in writing (via email) that as of August 20, 2020, the proposed project fails the four-minute travel test from the closest Prince George's County Fire/EMS Station when applying the national standard, and associated total response time under five-minutes from the closest Fire/EMS, Glenn Dale Volunteer Fire/EMS, #818.

Prior to construction, the applicant shall contact the Prince George's County Fire/EMS Department to request a pre-incident Emergency Plan for the facility; install and maintain automated external defibrillators (AEDs), in accordance with the Code of Maryland Regulations (COMAR 30.06.01-05); and install and maintain hemorrhage kits next to fire extinguishers. In accordance with Section 24-122.01(e)(1)(C), the Department provided a statement that adequate equipment exists.

13. **Public Utility Easement (PUE)**—Section 24-122(a) of the Subdivision Regulations requires that, when utility easements are required by a public utility company, the subdivider shall include the following statement in the dedication documents recorded on the final plat:

“Utility easements are granted pursuant to the declaration recorded among the County Land Records in Liber 3703 at folio 748.”

The standard requirement for public utility easements (PUEs) is 10 feet wide along both sides of all public rights-of-way. The required PUE is delineated on the PPS along the subject site frontage on the public rights-of-ways of US 50 and MD 704.

14. **Historic**—A search of current and historic photographs, topographic and historic maps, and locations of currently known archeological sites indicates that the probability of archeological sites within the subject property is low. A Phase I archeological survey is not required on the subject property. There are no historic sites or resources on or adjacent to the subject property. This PPS will not impact any historic sites or resources or significant archeological sites.
15. **Environmental**—The following applications and associated plans were reviewed for the subject site:

Background

Review Case Number	Associated Tree Conservation Plan Number	Authority	Status	Action Date	Resolution Number
NA	NRI-032-2020	Staff	Approved	7/1/2020	N/A
4-19049	TCP1-015-2020	Planning Board	Pending	Pending	Pending
DSP-20024	TCP (number to be determined)	Planning Board	Pending	Pending	Pending

Proposed Activity

The applicant is requesting approval of PPS 4-19049 and Type 1 Tree Conservation Plan (TCP1-015-2020) for construction of an office building and consolidated storage facility on three parcels, one of which consists of an existing office building. The TCP1 shows the proposed layout and associated infrastructure (road layout, water and sewer lines, SWM facilities, woodland preservation areas, specimen trees, and specimen trees proposed to be removed).

Grandfathering

This project is not grandfathered with respect to the environmental regulations contained in Subtitles 24 and 27 that came into effect on September 1, 2010 because the application is for a new PPS. This project is subject to the WCO and the Environmental Technical Manual (ETM).

Master Plan Conformance

The site is located within the Environmental Strategy Area 2 (formerly the Developing Tier) of the Regulated Environmental Protection Areas Map, as designated by Plan 2035, and within the Established Communities of the General Plan Growth Policy (Plan 2035).

Conformance with the Countywide Green Infrastructure Plan of the Approved Prince George's County Resource Conservation Plan (May 2017)

The 2017 *Countywide Green Infrastructure Plan* was approved with the adoption of the Approved Prince George's County Resource Conservation Plan: A Countywide Functional

Master Plan (CR-11-2017) on March 7, 2017. According to the approved Countywide Green Infrastructure Plan, one regulated area is mapped on-site, which is associated with a wetland located on the northeastern corner of the site. It appears that a swale and a former sediment trap have also been included in this area. Much of the remaining undeveloped areas of the site are mapped as evaluation areas.

The following policies and strategies in **BOLD** are applicable to the subject application. The text in **BOLD** is the text from the master plan and the plain text provides comments on plan conformance.

Policy 1: Preserve, enhance and restore the green infrastructure network and its ecological functions while supporting the desired development pattern of Plan Prince George's 2035.

- (1.1) **Ensure that areas of connectivity and ecological functions are maintained, restored and/or established by:**
 - (A) **Using the designated green infrastructure network as a guide to decision-making and using it as an amenity in the site design and development review processes.**
 - (B) **Protecting plant, fish, and wildlife habitats and maximizing the retention and/or restoration of the ecological potential of the landscape by prioritizing healthy, connected ecosystems for conservation.**
 - (C) **Protecting existing resources when constructing stormwater management features and when providing mitigation for impacts.**
 - (D) **Recognizing the ecosystem services provided by diverse land uses, such as woodlands, wetlands, meadows, urban forests, farms and grasslands within the green infrastructure network and work toward maintaining or restoring connections between these landscapes.**
 - (E) **Coordinating implementation between County agencies, with adjoining jurisdictions and municipalities, and other regional green infrastructure efforts.**
 - (F) **Targeting land acquisition and ecological restoration activities within state-designated priority waterways such as stronghold watersheds and Tier II waters.**
- (1.2) **Ensure that Sensitive Species Project Review Areas and Special Conservation Areas (SCAs), and the critical ecological systems supporting them, are preserved, enhanced, connected, restored, and protected.**

- (A) Identify critical ecological systems and ensure they are preserved and/or protected during the site design and development review processes.**
- (B) Prioritize use of public funds to preserve, enhance, connect, restore, and protect critical ecological systems.**

The Regulated Area on-site is located within the Bald Hill Branch of the Patuxent River, which is both a stronghold and a Tier II watershed. Much of the mapped Regulated Area has been previously impacted as a direct result of the prior use of the site.

The existing wetland on-site is proposed to be entirely preserved, and the applicant proffers improving water quality associated with this wetland and the greater watershed by installing a combination of micro-bioretenment areas, swales, and a submerged gravel wetland on-site that will aide in prevention of further degradation and erosion off-site.

The former sediment trap is also proposed to be retained in the southeastern corner of the site; however, this aging structure could be further modified to be more beneficial to wildlife on-site.

No sensitive species project review areas or special conservation areas are located on or within the vicinity of the subject site.

Policy 2: Support implementation of the 2017 GI Plan throughout the planning process.

- (2.4) Identify Network Gaps when reviewing land development applications and determine the best method to bridge the gap: preservation of existing forests, vegetation, and/or landscape features, and/ or planting of a new corridor with reforestation, landscaping and/or street trees.**
- (2.5) Continue to require mitigation during the development review process for impacts to regulated environmental features, with preference given to locations on-site, within the same watershed as the development creating the impact, and within the green infrastructure network.**
- (2.6) Strategically locate off-site mitigation to restore, enhance and/or protect the green infrastructure network and protect existing resources while providing mitigation.**

There are no network gaps located on-site; however, there is potential to add additional native landscaping adjacent to the retained wetland after the site is

graded.

Policy 3: Ensure public expenditures for staffing, programs, and infrastructure support the implementation of the 2017 GI Plan.

(3.3) Design transportation systems to minimize fragmentation and maintain the ecological functioning of the green infrastructure network.

- (A) Provide wildlife and water-based fauna with safe passage under or across roads, sidewalks, and trails as appropriate. Consider the use of arched or bottomless culverts or bridges when existing structures are replaced, or new roads are constructed.**
- (B) Locate trail systems outside the regulated environmental features and their buffers to the fullest extent possible. Where trails must be located within a regulated buffer, they must be designed to minimize clearing and grading and to use low impact surfaces.**

The site is currently developed with an existing six-story commercial office building and associated parking lot. No trails are proposed within the regulated environmental features or their associated buffers on-site. Any future trail system proposed through the regulated areas of the site should be evaluated during the site planning process at time of DSP. Trails through sensitive areas should be generally designed to minimize impacts.

Policy 4: Provide the necessary tools for implementation of the 2017 GI Plan.

(4.2) Continue to require the placement of conservation easements over areas of regulated environmental features, preserved or planted forests, appropriate portions of land contributing to Special Conservation Areas, and other lands containing sensitive features.

Conservation easements are required for the subject application to protect areas identified within the primary management area (PMA) that are not otherwise approved for impact. No on-site woodland preservation or afforestation/reforestation is proposed on-site.

Policy 5: Improve water quality through stream restoration, stormwater management, water resource protection, and strategic conservation of natural lands.

(5.8) Limit the placement of stormwater structures within the boundaries of regulated environmental features and their buffers to outfall pipes or other features that cannot be located elsewhere.

(5.9) Prioritize the preservation and replanting of vegetation along streams and

wetlands to create and expand forested stream buffers to improve water quality.

The approved SWM Concept Plan (1120-2020-0) approved by DPIE proposes the implementation of an SWM system that utilizes a combination of a submerged gravel wetland, micro-bioretenion areas, and swales to improve the water quality of runoff that will discharge off-site. DPIE has determined that this proposed SWM concept plan is in conformance with the current code.

Policy 7: Preserve, enhance, connect, restore, and preserve forest and tree canopy coverage.

General Strategies for Increasing Forest and Tree Canopy Coverage

- (7.1) Continue to maximize on-site woodland conservation and limit the use of off-site banking and the use of fee-in-lieu.**
- (7.2) Protect, restore, and require the use of native plants. Prioritize the use of species with higher ecological values and plant species that are adaptable to climate change.**
- (7.4) Ensure that trees that are preserved or planted are provided appropriate soils and adequate canopy and root space to continue growth and reach maturity. Where appropriate, ensure that soil treatments and/or amendments are used.**

Planting of native species is encouraged on-site.

Forest Canopy Strategies

- (7.12) Discourage the creation of new forest edges by requiring edge treatments such as the planting of shade trees in areas where new forest edges are proposed to reduce the growth of invasive plants.**
- (7.13) Continue to prioritize the protection and maintenance of connected, closed canopy forests during the development review process, especially in areas where FIDS habitat is present or within Sensitive Species Project Review Areas.**
- (7.18) Ensure that new, more compact developments contain an appropriate percentage of green and open spaces that serve multiple functions such as reducing urban temperatures, providing open space, and stormwater management. Green space should be encouraged within the proposed development, particularly within and around existing regulated areas onsite for expansion, restoration, and preservation of these regulated areas.**

Native landscape planting surrounding the existing wetland and along the eastern portion of the site between the eastern property boundary and the western edge of the proposed parking lot is encouraged.

Approved Glenn Dale-Seabrook-Lanham and Vicinity Sector Plan and Sectional Map Amendment (March 2010)

The sector plan includes applicable goals, policies, and strategies. The following policies are applicable to the current project with regards to natural resources preservation, protection, and restoration. The text in **BOLD** is the text from the SMA and the plain text provides comments on plan conformance.

Natural Resources/Environment Chapter Recommendations

Goal 1: Restore and enhance water quality in areas that have been degraded.

Policy 1: Decrease the amount of pollutants from both storm and non-storm events entering sector plan area wetlands and waterways.

The site contains a small wetland that will be retained on-site. The implementation of the approved SWM Concept Plan (1120-2020-0) will result in a decrease in the amount of pollutants from storm and nonstorm events currently entering the sector plan area wetlands and waterways untreated.

Policy 2: Preserve, enhance, or restore the vegetated buffers around wetlands and waterways.

The existing wetland and associated vegetated buffer are will be retained on-site. It is encouraged that this area is enhanced with additional suitable native species to increase the wildlife value of the regulated features on-site.

Goal 2: Prevent flooding associated with new and redevelopment.

Policy 1: Ensure stream corridors are clear of debris, both manmade and natural, in known flooding areas.

The opportunity exists for the applicant to clear any existing debris in the existing wetland and former sediment trap on-site, prior to site inspection.

Policy 2: Ensure that the quantity of stormwater discharged from a site post-development does not exceed predevelopment conditions.

Water quality will be addressed through the approved final SWM plan.

Goal 3: Preserve, enhance, and restore the existing tree canopy within the sector

plan area.

Policy 1: Focus tree and forest preservation and restoration efforts in appropriate areas.

The TCP1 shows one area of 0.12 acre of woodland, not credited, within the wetland area. No other on-site woodland preservation will take place.

Policy 2: Encourage the application of urban forestry principles to landscaping and reforestation efforts, while increasing opportunities for incorporating tree planting into the existing landscape.

The proposed development does not include any reforestation on-site. Landscaping requirements will be evaluated by the Urban Design Section in conjunction with the 2010 *Prince George's County Landscape Manual* (Landscape Manual), at the time of DSP review.

Policy 3: Ensure that no net loss of forest cover occurs within the boundaries of the sector plan area.

Proposed site improvements may result in a net loss of forest cover within the boundary of the sector plan area if the proposed off-site requirement is placed in a woodland conservation bank in a different location. In accordance with Section 25-122(a)(6), off-site woodland conservation credits are required to be considered, as follows: "...within the same eight-digit sub-watershed, within the same watershed, within the same river basin, within the same growth policy tier, or within Prince George's County. Applicants shall demonstrate to the Planning Director or designee due diligence in seeking out opportunities for off-site woodland conservation locations following these priorities. All woodland conservation is required to be met within Prince George's County." However, to ensure Master Plan conformance, the purchase of off-site woodland conservation credits shall first be sought within the sector plan.

Goal 4: Utilize innovative stormwater management best practices to mitigate the negative impacts of stormwater runoff.

Policy 1: Require stormwater to be treated non-structurally to the maximum extent practicable.

SWM is discussed in Goal 1, Policy 1 of this section.

Goal 5: Address issues of energy conservation, light pollution, air pollution, and noise impacts within the sector plan area.

Policy 1: Increase opportunities for utilizing green building opportunities in the sector plan area.

The use of green building techniques and energy conservation techniques should be used as appropriate.

Policy 2: Reduce light pollution and intrusion into residential communities and environmentally sensitive areas.

The minimization of light intrusion from proposed developed areas of this site, located in the Developing Tier, onto the sensitive wetland area to remain on-site, as well as off-site environmentally sensitive areas surrounding the site is of special concern. The use of alternative lighting technologies and the limiting of total light output should be demonstrated. Full cut-off optic light fixtures should be used.

Environmental Review

Natural Resources Inventory Plan/Existing Features

Natural Resources Inventory Plan, NRI-032-2020 was approved on July 1, 2020 and is provided with this application. There are six specimen trees within the property boundary.

The site contains regulated environmental features, which includes a portion of a wetland and associated buffer that extends off-site located in the northeastern corner of the site, which comprise the PMA. No regulated stream, 100-year floodplain, or associated buffers exist on-site. The forest stand delineation indicates that there is one forest stand, which has a medium to high rating for preservation and restoration. The site has a total of 2.61 acres of gross tract woodland, as shown on the NRI. Areas of steep slopes are scattered across the eastern portion of the site.

The site is located within the Bald Hill Branch watershed, which is both a stronghold and a Tier II watershed. The site does not contain any known historic structures and is not considered an historic site. Much of the remaining property is developed.

The TCP1 and the PPS show all the required information correctly in conformance with the NRI. No revisions are required for conformance to the NRI.

Erosion and Sediment Control

This site is within a Tier II catchment area. Tier II waters are high-quality waters within the State of Maryland as designated by the Maryland Department of Environment that are afforded special protection under Maryland's Anti-degradation policy. No streams are associated with this project. The Prince George's Soil Conservation District may require redundant erosion and sediment control measures for this site as part of their review and approval process. No further information is required at this time regarding erosion and sediment control.

Soils

The predominant soils found to occur on-site, according to the U.S. Department of Agriculture, Natural Resource Conservation Service, Web Soil Survey, include Urban Land-Russett-Christiana complex (0–5% slopes), Russett-Christiana-Urban Land complex (0–5% slopes), and

Urban Land Issue-complex (0–5% slopes).

According to available information, no unsafe soils containing Marlboro clay exist on-site; however, unsafe soils containing Christiana complexes are mapped on this property. According to DPIE, when existing or proposed steep slopes exceed 20 percent on unsafe soils, government agencies should insist on submitting a full geotechnical report that includes a Global Stability Analysis with the proposed (mitigated) 1.5 Safety Factor Line determined and shown on the plans submitted for County review and approval. There are no slopes of significant concern identified within the area of this soil type and the applicant is proposing to cut and fill the site to a 1 percent grade for a buildable area. A geotechnical review was not requested with this application but may be required for review by the County with a future development application, in conformance with Prince George's County Council Bill CB-94-2004.

Woodland Conservation

This property is subject to the provisions of the WCO because the property is greater than 40,000 square feet and contains more than 10,000 square feet of existing woodland. TCP1-015-2020 has been submitted for review that covers the area of this PPS.

According to the worksheet shown on the TCP1 as submitted, the site is 11.72 acres and zoned I-1. A total of 2.61 acres of existing woodlands are on the net tract and there is no existing floodplain. The site has a woodland conservation threshold of 1.76 acres, or 15 percent of the net tract, as tabulated. No off-site clearing is shown on the plan. The TCP1 shows a total woodland conservation requirement of 3.61 acres based on the proposed clearing shown. The TCP1 shows this requirement will be met by providing 3.61 acres of off-site woodland conservation credits.

There is one major discrepancy between the TCP1 and the approved SWM plan (1120-2020-00). The SWM plan indicates that the existing feature labeled as a former sediment trap and the area immediately surrounding it will remain on-site and is shown outside of the proposed limits of disturbance (LOD); however, the TCP1 shows this entire area extending to the southeastern corner as being within the LOD. This discrepancy must be rectified, prior to signature approval of the TCP1 and PPS.

The TCP1 also requires additional technical revisions.

Specimen Trees

Section 25-122(b)(1)(G) requires that "Specimen trees, champion trees, and trees that are part of a historic site or are associated with a historic structure shall be preserved and the design shall either preserve the critical root zone of each tree in its entirety or preserve an appropriate percentage of the critical root zone in keeping with the tree's condition and the species' ability to survive construction as provided in the Environmental Technical Manual (ETM)."

A total of six specimen trees were identified on the approved NRI, all of which were proposed for removal, according to the variance request dated March 18, 2020. A detailed condition analysis was not submitted as part of this variance request for these trees for removal.

After subsequent changes to the layout of the PPS and TCP1 submitted on September 3, 2020, the applicant did not update the variance request accordingly to reflect that two of the specimen trees (Specimen Trees 1 and 2) are now being shown as saved on the TCP1. It is assumed that these trees shown as saved on the TCP1 are no longer being requested for removal and have been omitted from consideration with this variance request. In an SDRC comment and response letter to staff, dated August 27, 2020, the applicant's representative indicated that, if needed, they would request removal of these specimen trees at the time of DSP.

SPECIMEN TREE SCHEDULE SUMMARY

ST #	COMMON NAME	DBH (in inches)	CONDITION	DISPOSITION
1	Willow Oak	32.5	Good	Save
2	Willow Oak	32	Good	Save
3	White Oak	36.5	Good	Remove
4	White Oak	32	Fair	Remove
5	White Oak	37	Poor	Remove
6	White Oak	35	Good	Remove

Variance Request

A Subtitle 25 variance application and statement of justification (SOJ), dated March 18, 2020 in support of a variance, were received on July 22, 2020. A revised TCP1 was received for review on September 3, 2020.

Section 25-119(d)(1) of the WCO contains six required findings to be made before a variance can be granted. The SOJ submitted seeks to address the required findings for the six specimen trees together; however, details specific to individual trees (all of which are native) has also been provided in the chart above.

Statement of Justification

A variance to Section 25-122(b)(1)(G) was requested for the clearing of six specimen trees together; however, as previously mentioned, not all trees on the initial variance request are shown as cleared on the most recently submitted TCP1; specifically, specimen trees 1 and 2. This variance is requested to the WCO, which requires under Section 25-122 that "woodland conservation shall be designed as stated in this Division unless a variance is approved by the approving authority for the associated case." The Subtitle 25 Variance Application form requires an SOJ of how the findings are being met.

With regards to Specimen Trees 3, 4, 5, and 6 located on proposed Parcel 1, a DSP will be required so the design will be better understood at that time. The variance application was disapproved with the understanding that the applicant can apply again with the DSP. Based on the level of design provided on the TCP1/PPS, it appears that the trees can be saved. The request to remove Specimen Trees 1 and 2 located on proposed Parcel 3 was also disapproved, since they are being shown as saved on the TCP1.

The required findings of Section 25-119(d) have not been adequately addressed for the removal of the six on-site specimen trees.

Regulated Environmental Features

Section 24-130(b)(5) of the Subdivision Regulations requires the following finding:

Where a property is located outside the Chesapeake Bay Critical Areas Overlay Zones the preliminary plan and all plans associated with the subject application shall demonstrate the preservation and/or restoration of Regulated Environmental Features (REF) in a natural state to the fullest extent possible consistent with the guidance provided by the ETM established by Subtitle 25. Any lot with an impact shall demonstrate sufficient net lot area where a net lot area is required pursuant to Subtitle 27, for the reasonable development of the lot outside the regulated feature. All regulated environmental features shall be placed in a conservation easement and depicted on the final plat.

There are mapped regulated environmental features located on the overall site. The NRI submitted with this application confirms that there is one regulated environmental feature (a wetland and associated buffer) located in the northeastern corner of the site. Because no regulated environmental features will be impacted with the proposed development, the regulated environmental features have fully been preserved and/or restored in a natural state possible, in accordance with the requirement of Section 24-130(b)(5).

16. **Urban Design**—Conformance with the Zoning Ordinance (Subtitle 27) is evaluated, as follows:

Conformance with the Zoning Requirements

The project meets the purposes of the zone as stated in Sections 27-469 and 27-473 of the Zoning Ordinance through the development of light industrial and office uses on-site. The proposed office building and consolidated storage facility in the I-1 Zone will be subject to DSP review and approval.

Conformance with regulations of the Zoning Ordinance is required at the time of DSP review, including but not limited to the following:

- Section 27-469 regarding requirements in the I-1 Zone;
- Section 27-473(b) regarding the Table of Uses for the I-1 Zone;
- Section 27-474 regarding regulations in the I-1 Zone;
- Section 27-475.04 additional requirements for Consolidated Storage;
- Part 11, Off-street Parking and Loading; and,
- Part 12, Signs.

Conformance with the 2010 Prince George's County Landscape Manual

The development is subject to the Landscape Manual. Specifically, the site is subject to Sections 4.2, 4.3, 4.4, and 4.9, which will be reviewed at the time of DSP for the consolidated storage facility on Parcel 1, and at the time of permit review for the office development on Parcel 3. The

project may also be subject to Section 4.7, dependent on abutting uses.

Conformance with the Tree Canopy Coverage Ordinance

In accordance with Section 25-128 of the County Code, properties in the I-1 Zone are required to provide a minimum of 10 percent of the gross tract area in tree canopy coverage (TCC). Lot 3 will require a minimum of 15,583 square feet of TCC and Lot 1 will require 10,674 square feet of TCC. Conformance will be evaluated at the time of DSP for the consolidated storage facility on Parcel 1, and at the time of permit review for the office development of Parcel 3.

BE IT FURTHER RESOLVED, that an appeal of the Planning Board's action must be filed with Circuit Court for Prince George's County, Maryland within thirty (30) days following the date of notice of the adoption of this Resolution.

* * * * *

This is to certify that the foregoing is a true and correct copy of the action taken by the Prince George's County Planning Board of The Maryland-National Capital Park and Planning Commission on the motion of Commissioner Washington, seconded by Commissioner Geraldo, with Commissioners Washington, Geraldo, Bailey, Doerner and Hewlett voting in favor of the motion at its regular meeting held on Thursday, October 29, 2020, in Upper Marlboro, Maryland.

Adopted by the Prince George's County Planning Board this 19th day of November 2020.

Elizabeth M. Hewlett
Chairman

By Jessica Jones
Planning Board Administrator

EMH:JJ:AH:nz



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

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Countywide Planning Division
Historic Preservation Section

301-952-3680

October 13, 2020

MEMORANDUM

TO: Thomas Burke, Urban Design Section, Development Review Division

VIA: Howard Berger, Historic Preservation Section, Countywide Planning Division **HSB**

FROM: Jennifer Stabler, Historic Preservation Section, Countywide Planning Division **JRS**
Tyler Smith, Historic Preservation Section, Countywide Planning Division **TAS**

SUBJECT: DSP-20024 Parliament Place – Phase I


The subject property comprises 2.48-acres and is located on the south side of Martin Luther King, Jr. Highway, approximately 722-feet west of its intersection with Parliament Place. The subject application proposes the development of a consolidated storage facility. The subject property is Zoned I-1.


A search of current and historic photographs, topographic and historic maps, and locations of currently known archeological sites indicates the probability of archeological sites within the subject property is low. The subject property does not contain and is not adjacent to any designated Prince George's County Historic Sites or resources. Historic Preservation Section staff recommend approval of DSP-20024 Parliament Place – Phase 1 without conditions.

11/02/2020

MEMORANDUM

TO: Thomas Burke, Planner Coordinator, Urban Design Section, Development Review Division

VIA: David A. Green, MBA, Master Planner, Community Planning Division 

FROM: Garrett Dickerson, Planner, Long Range Planning Section, Community Planning Division 

SUBJECT: **DSP-20024, Parliament Place -Phase 1**

FINDINGS

Pursuant to Part 3, Division 9, Subdivision 3 of the Zoning Ordinance, Master Plan conformance is not required for this application.

BACKGROUND

Application Type: Detailed Site Plan for property outside of an overlay zone.

Location: South Side of Martin Luther King, Jr. Highway, Approximately 722 Feet west of its intersection with Parliament Place

Size: 2.48 acres

Existing Uses: Consolidated Storage

Proposal: Request for Alternative Compliance from 4.7(c)(3) & (4) Tables 4.7-2 and 4.7-3

GENERAL PLAN, MASTER PLAN, AND SMA

General Plan: This application is in the Established Communities. The vision for the Established Communities to create the most appropriate context-sensitive infill and low-to medium density development (Pg. 20).

Master Plan: The *2010 Approved Glenn Dale-Seabrook-Lanham and Vicinity Approved Sector Plan and Adopted Sectional Map Amendment* recommends light-industrial land use for the subject property.

The subject property is in Bowie's primary industrial park along one of the sector plans gateways known as Martin Luther King Jr. Highway. Community gateways establish a sense of arrival and convey a unique community character. Gateway improvements will enhance the visual and physical characteristics of MLK Hwy.

The sector plan recommends a focus on commercial, office, and industrial redevelopment within existing commercial and industrial zones.

The Glenn Dale-Seabrook-Lanham area will continue to be a lower-density suburban community comprising stable single-family neighborhoods, successful commercial and employment centers, and open space amenities. Quality-of-life improvements will establish a unique area identity defined by Well-defined and inviting gateways at key community entry points.

Planning Area/ 70

Community: Glenn Dale-Seabrook-Lanham and Vicinity

Aviation/MIOZ: This application is not located within an Aviation Policy Area or the Military Installation Overlay Zone.

SMA/Zoning: The 2010 *Glen Dale-Seabrook-Lanham and Vicinity Approved Sector Plan and Adopted Sectional Map Amendment* retained the subject property into the I-1 (Light Industrial) zone.

ADDITIONAL INFORMATION

c: Long-range Agenda Notebook

Countywide Planning Division
Transportation Planning Section


301-952-3680

November 2, 2020

MEMORANDUM

TO: Tom Burke, Urban Design Review Section, Development Review Division

FROM: Tom Masog, Transportation Planning Section, Countywide Planning Division

FROM:  Crystal Saunders Hancock, Transportation Planning Section, Countywide Planning Division

SUBJECT: DSP-20024: Parliament Place – Phase 1

Proposal

The applicant proposes the construction of a 128, 383 square-foot, 3-story consolidated storage facility.

Background

The subject property was previously reviewed as a Preliminary Plan of Subdivision (PPS) 4-19049 earlier this year (2020). The proposed development is located on an 11.7-acre site that was recently subdivided into three parcels. One parcel houses an existing office building while the third parcel is proposed for future development.

The Parliament Place subdivision is located in the I-1 Zone between the east side of US 50 (John Hanson Highway) and the west side of MD 704 (Martin Luther King, Jr. Highway). This proposed site is controlled by the 2010 *Glenn Dale-Seabrook-Lanham and Vicinity Approved Sector Plan and Sectional Map Amendment* as well as the 2009 *Approved Countywide Master Plan of Transportation*.

Analysis of Traffic Impacts

The previous submittal, 4-19049 established the trip generation for parcel in each peak hour that was used for the analysis for the trip cap. This proposed development at full buildout out is projected to generate 13 AM and 23 PM new vehicle trips. This trip generation is fully consistent with the trip cap approved with PPS 4-19049. If this development generates an impact greater than what is identified herein shall require a new preliminary plan of subdivision with a new determination of the adequacy of transportation facilities.

Access and Circulation

The only access to this proposed development is through an approximately 22-foot easement on Parcel 2, that traverses the perimeter of the existing Parcel 2 parking lot. Also, the drive aisles within the site are 22-feet-wide and as such, staff requested a supplemental Truck Turning Movement as the previous submittal was not consistent with the current layout. Finally, access

though the site is narrow, and staff requested that a mountable curb be provided to protect the Micro Bio Retention Facility. Staff has determined that the submitted materials are acceptable.

The applicant is proposing the required 25 regular, on-site surface parking spaces which includes one handicapped accessible parking space.

Overall, on-site circulation of this plan is acceptable.

Countywide Planning Division
Transportation Planning Section

301-952-3680

November 4, 2020

MAJOR ISSUES MEMORANDUM

TO: Thomas Burke, Urban Design Section, Development Review Division

FROM: Michael Jackson, Transportation Planning Section, Countywide Planning Division
VIA: Bryan Barnett-Woods, Transportation Planning Section, Countywide Planning Division *Michael Jackson*

SUBJECT: **Detailed Site Plan Review for Multimodal Transportation,
DSP-20024, Parliament Place, Parcel 1**

The following detailed site plan (DSP) was reviewed for conformance with the appropriate sections of Subtitle 27, Part 3, Division 9; the 2009 *Approved Countywide Master Plan of Transportation* (MPOT); and the 2010 *Glenn Dale, Seabrook, Lanham & Vicinity Approved Sector Plan and Sectional Map Amendment* to provide the appropriate multimodal transportation recommendations.

Type of Master Plan Bikeway or Trail

Private R.O.W.	<u>X</u>	Public Use Trail Easement	_____
PG Co. R.O.W.	_____	Nature Trails	_____
SHA R.O.W.	<u>X</u>	M-NCPPC – Parks	_____
HOA	_____	Bicycle Parking	<u>X</u>
Sidewalks	<u>X</u>	Trail Access	<u>X</u>
Additional Signage	_____	Bicycle Signage	_____

DEVELOPMENT APPLICATION BACKGROUND	
Building Square Footage (non-residential)	128,383 SF
Number of Units (residential)	Not Applicable
Abutting Roadways	US 50/John Hanson Highway, MD 704/Martin Luther King Highway
Abutting or Nearby Master Plan Roadways	F-4/US 50 and A-22/MD 704
Abutting or Nearby Master Plan Trails	Bald Hill Branch Stream Valley Trail, MD 704 Shared Use Path, Folly Branch Stream Valley Trail
Proposed Use(s)	Storage Space
Zoning	I-1/Light Industrial
Number of Parking Spaces Required	25 spaces
Number of Parking Spaces Provided	30 total spaces (13 public parking spaces, 12 secured parking spaces, and 5 loading spaces for facility customers).

Centers and/or Corridors	None
Prior Approvals on Subject Site	Pending PPS-4-19049, heard on 10/29/20 which has several staff recommendations pertaining to this application.
Prior Approval Subject to 24-124.01	No

Development Proposal

Applicant proposes to construct a 128,383-square-foot, three-story-consolidated storage facility within 4200 Parliament Place in an area currently occupied by excess parking and undeveloped property.

Existing Conditions

The subject site is part of a single parcel known as 4200 Parliament Place which is currently occupied by a single office building adjacent to surface parking lots. Access is gained from MD 704/Martin Luther King, Jr. Highway via Parliament Place. There are no sidewalks except in front of the existing office building.

Prior Conditions of Approval

Preliminary Plan of Subdivision, 4-19049/Parliament Place, was heard by the Planning Board hearing on October 29, 2020, but the resolution has not yet been approved. There are several staff recommended conditions of approval regarding pedestrian and bicycle facilities. The pending pedestrian and bicycle transportation recommendations for the submitted preliminary plan of subdivision are:

1. Prior to the approval of a detailed site plan, the applicant, the applicant's heirs, successors, and/or assigns shall demonstrate pedestrian and bicycle facilities to be in conformance with the 2009 *Approved Countywide Master Plan of Transportation* (MPOT) and the 2010 *Glenn Dale, Seabrook, Lanham & Vicinity Approved Sector Plan and Sectional Map Amendment* and provide the following on the detailed site plan:
 - a. An internal sidewalk network connecting the existing office building to the proposed buildings and to the cross-access easement.
 - b. Short-term and long-term bicycle parking facilities consistent with the *AASHTO Guide for the Development of Bicycle Facilities, 4th Edition* at all buildings on the subject site.

Comment: The submitted plan includes a pedestrian route that leads from the entrance to the subdivision to the existing office building and then from the office building to the subject site, using a combination of sidewalk and pavement markings that will be provided when the other parcels are developed or redeveloped. A short segment of sidewalk on the subject property will connect to the future pedestrian pathway through the parking lot on parcel 2. Additionally, the submitted plans include two Inverted-U style bicycle parking racks near the entrance of the subject site. When development or redevelopment is proposed for the remaining parcels, these parcels will also need to provide bicycle parking. Staff find that the submitted plans are consistent with the pending condition.

2. In conformance with the 2009 *Approved Countywide Master Plan of Transportation* (MPOT) and the 2010 *Glenn Dale, Seabrook, Lanham & Vicinity Approved Sector Plan and Sectional Map Amendment*, the applicant, and the applicant's heirs, successors, and/or assigns shall provide the following:

- a. A shared-use path between the proposed consolidated storage facility building and the east side of MD 704, unless modified by the Maryland State Highway Administration, (SHA) with written correspondence.

Comment: The submitted plans do not include a shared-use path connection between the proposed storage building and the recommended shared-use path along MD 704. Staff recommend that a path be routed around the rear of the storage facility, and can overlap with the fire access road, to avoid conflicts with loading dock activities and bicyclist, and pedestrian passersby. As part of the preliminary plan of subdivision review, the Master Plan recommended shared-use path along MD 704 can be modified by the Maryland State Highway Administration (SHA). Should SHA remove the shared-use path facility along MD 704, the proposed path connecting MD 704 and the subject site would not connect and would not be necessary. At this point, no written correspondence has been submitted from SHA indicating that a shared-use path along this roadway would be modified or removed. Staff recommend that the detailed site plan be revised to include this shared-use path connection or that a written confirmation from SHA be provided.

Access and Circulation and conformance with Zoning Ordinance

Site plan access is proposed via an access driveway on the northern edge of 4200 Parliament Place connecting Parliament Place access roadway with the consolidated storage parking facility surface parking lot.

Sections 27-283, Site Design Guidelines and 27-274(a)(2), Parking, loading and circulation, provide provisions for the design of the multimodal facilities associated with the subject application.

The submitted site plan proposes a surface parking lot and a proposed pedestrian connection that would connect from the subdivision entrance to the office building and then to subject site.

Comment: Staff find that the surface parking lot depicted in the submitted site plan reflects the design guidelines of the zoning ordinance. While the proposed pedestrian connection is not as direct as the vehicular route, it meets the intent of the design standard. In a meeting with staff (teleconference, 10/20/2020), the applicant indicated that a pedestrian connection along the proposed access easement is not feasible because of limited drive aisle width and existing tree plantings. Staff note that the proposed pedestrian route would not be built until Parcels 2 and 3 are developed or redeveloped.

The submitted pedestrian exhibit labels the pedestrian facilities as “5ft pedestrian access to be proposed at the time of development of parcel 3 from parcel 2 to Parliament Place final location to be determined with future layout,” and “5ft pedestrian access to be proposed at the time of redevelopment of parcel 2 from parcel 1 to parcel 3 final location to be determined with future layout.” Staff recommend that these labels be replaced with “ADA accessible pedestrian access, location to be finalized with future development or redevelopment.” There is a short connection between the proposed pedestrian route and the entrance to the subject site that will be built as part of this application. Staff recommend that prior to certification of the detailed site plan, the width of this sidewalk be labeled. Additionally, staff recommend the applicant revise the detailed site plan to include the proposed shared-use path between the recommended shared-use path along MD 704 and the subject site. This facility reflects the pedestrian and bicycle transportation related site design guidelines in Sec. 27-283 and 27-274(a)(2). Last, the submitted plans need to include bicycle parking racks near the entrance of the subject site, consistent with the site design guidelines.

The submitted site plan proposes a loading area that directly abuts the storage facility and provides 5 loading spaces and 12 parking spaces in a secured area. There is a paved area between the loading spaces and the building.

Comment: Staff find that the loading area depicted in the submitted site plan reflects the design guidelines of the zoning ordinance for pedestrian transportation.

Master Plan Policies and Recommendations

This detailed site plan is subject to the 2009 *Approved Countywide Master Plan of Transportation* (MPOT) and the 2010 *Glenn Dale, Seabrook, Lanham & Vicinity Approved Sector Plan and Sectional Map Amendment* which recommend the following facilities that directly impact the subject site:

Bald Hill Branch Stream Valley Trail /Shared Use Path MD 704 Shared Use Path Folly Branch Stream Valley Trail /Shared Use Path

Comment: As a detailed site plan, these off-site pedestrian and bicyclist facilities are beyond the scope of this development application. As recommended in the pending preliminary plan, SHA can require the construction of the shared-use path along MD 704 as appropriate, or it can be built as part of a future roadway maintenance or capital improvement project.

The MPOT provides policy guidance regarding multimodal transportation and the Complete Streets element of the MPOT recommends how to accommodate infrastructure for people walking and bicycling.

Policy 4: Develop bicycle-friendly roadways in conformance with the latest standards and guidelines, including the 1999 AASHTO *Guide for the Development of Bicycle Facilities*.

Policy 5: Evaluate new development proposals in the Developed and Developing Tiers for conformance with the complete streets principles.

The Transportation Recommendations Section of the 2010 *Glenn Dale, Seabrook, Lanham & Vicinity Approved Sector Plan and Sectional Map Amendment* makes the following policy recommendations starting on page 162:

Access management criteria may include building layouts and parking sited to allow users to access multiple buildings within the same commercial center on foot.

Goal 3: Encourage alternative means of transportation within the sector plan area.

Policy 1: Follow complete streets principles, which include pedestrian and bicycle considerations in all new road construction and improvement projects.

Policy 5: Create environments that are more conducive to non-motorized travel.

Goal 4: Improve pedestrian safety throughout the area.

Policy 1: Develop a continuous network of safe routes (sidewalks and trails) for pedestrians, especially between neighborhoods and sector plan area designations.

Strategy: Retrofit existing roadways with improvements designed to create a safer environment for pedestrians.

Comment: The submitted plans include a pedestrian connection through the subject site and bicycle

parking at the proposed building, which contributes to the intent of the master plan goals and policies.

Conclusion

Based on the findings presented above, staff conclude that the pedestrian and bicycle access and circulation for this plan is acceptable, consistent with the site design guidelines pursuant to Section 27-283, and meets the findings required by Section 27-285(b) for a detailed site plan for Pedestrian and bicycle transportation purposes if the following conditions are met.

1. Prior to certification of the detailed site plan, the applicant, or the applicant's heirs, successors, and/or assigns shall revise the plans to:
 - a. include a 12-foot-wide shared-use path to connect the consolidated storage facility with both MD 704 and the existing office building to provide efficient bicycle and pedestrian travel within the site, unless Maryland State Highway Administration modifies the proposed shared-use path along MD 704, eliminating the need for this additional connection.
 - b. label the width of the sidewalk that connects to the pedestrian connection.
2. Prior to certification of the detailed site plan, the applicant, or the applicant's heirs, successors, and/or assigns shall revise the pedestrian exhibit to replace the pedestrian access labels with, "ADA accessible pedestrian access, location to be finalized with future development or redevelopment."



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

14741 Governor Oden Bowie Drive
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November 2, 2020

MEMORANDUM

TO: Thomas Burke, Urban Design Section

VIA: Sherri Conner, Supervisor, Subdivision and Zoning Section *SC*

FROM: Antoine Heath, Senior Planner, Subdivision and Zoning Section *AH*

SUBJECT: DSP- 20024 Parliament Place (Phase 1)

The subject property is known as Parcel 4 located on Tax Map 52 in Grids E1 and F1 and is recorded by deed in Liber 39418 folio 541. Subsequent to the approval of a final plat of subdivision, the property will be known as Parcel 1 as shown on the underlying approved Preliminary Plan of Subdivision (PPS) 4-19049 applying to the site. The subject property is a 2.48-acre parcel and is zoned I-1 (Light Industrial). The site is currently developed with a parking lot, which serves the existing office building on Parcel 2 to the east, also part of PPS 4-19049. The site is accessed via an access easement approved as part of PPS 4-19049. This easement is an extension of an existing access easement across the abutting properties to the north known as Parcel U, recorded in Plat Book NLP 140, Page 6, which provides access to the site from MD 704 (Martin Luther King Jr Highway).

The underlying PPS 4-19049 was approved by the Planning Board on October 29, 2020, for the subdivision of existing Parcel 4 (11.72 acres) into three parcels for the development of 134,000 square feet of consolidated storage, 100,000 square feet of office, and an existing 132,000 square foot office building to remain, subject to 15 conditions. Of the 15 conditions of approval, the following are applicable to this DSP review:

3. **The final plat of subdivision shall grant 10-foot-wide public utility easements along the public rights-of-way abutting the site, in accordance with the approved preliminary plan of subdivision.**
4. **Prior to approval of the final plat of subdivision, the applicant, and the applicant's heirs, successors, and/or assignees shall provide a draft access easement agreement or covenant, for access to Parcels 1-3, to the Maryland-National Capital Park and Planning Commission (M-NCPPC), Development Review Division, for approval. The easement agreement shall contain the rights of M-NCPPC, be recorded in land**

records, and the Liber/folio shown on the final plat, prior to recordation. The final plat shall reflect the location and extent of the easement, in accordance with the approved preliminary plan of subdivision and indicate denial of access to MD 704 (Martin Luther King Jr Highway) and US 50 (John Hanson Highway) from the subject property, in accordance with Section 24-121(a)(3) of the Subdivision Regulations.

The submitted DSP delineates the required public utility easements and access easement, including and expansion to the access easement for loading access to Parcel 1, consistent with the approved PPS.

- 5. Prior to the approval of a detailed site plan, the applicant, and the applicant's heirs, successors, and/or assignees shall demonstrate pedestrian and bicycle facilities to be in conformance with the 2009 *Approved Countywide Master Plan of Transportation* and the 2010 *Glenn Dale-Seabrook-Lanham and Vicinity Approved Sector Plan and Sectional Map Amendment*, and provide the following on the detailed site plan:**
 - a. An internal sidewalk network connecting the existing office building to the proposed buildings and to the cross-access easement.**
 - b. Short-term and long-term bicycle parking facilities consistent with the *AASHTO Guide for the Development of Bicycle Parking Facilities, 4th Edition* at all buildings on the subject site**
 - c. A shared-use path between the proposed consolidated storage facility building and the east side of MD 704 (Martin Luther King Jr Highway), unless modified by the Maryland State Highway Administration, with written correspondence.**

The submitted plans address conditions (a) and (b). The applicant has not addressed condition (c), and has stated that they are awaiting correspondence from the Maryland State Highway Administration. Conformance to these conditions should be further reviewed and determined by the Transportation Planning Section.

- 13. Prior to detailed site plan approval, the applicant shall demonstrate the efforts made through site design to save Specimen Trees 3, 4, 5, and 6. Should it be demonstrated that the trees cannot be saved, the applicant shall submit a variance request and associated statement of justification for consideration.**

An alternative layout exhibit was submitted by the applicant illustrating efforts to work around the four specimen trees, as well as a variance request and associated statement of

justification. The Urban Design Section and Environmental Planning Section should review and determine if the exhibit and statement of justification are sufficient.

The referral is provided for the purposes of determining conformance with any underlying subdivision approvals for the subject property and Subtitle 24. The DSP has been found to be in substantial conformance with the approved preliminary plan of subdivision. All bearings and distances must be clearly shown on the DSP and must be consistent with the record plat. There are no other subdivision issues at this time.



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

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Countywide Planning Division
Environmental Planning Section

301-952-3650

November 5, 2020

MEMORANDUM

TO: Thomas Burke, Planner Coordinator, Urban Design Section, DRD

VIA: Megan Reiser, Supervisor, Environmental Planning Section, CWPB

FROM: Marc Juba, Planner Coordinator, Environmental Planning Section, CWPB

SUBJECT: **Parliament Place;
DSP-20024, and TCP2-033-2020**

The Environmental Planning Section has reviewed the above referenced Detailed Site Plan (DSP) and Type 2 Tree Conservation Plan (TCP2) accepted for review on September 25, 2020. Comments were given to the applicant at the Subdivision Review Committee (SDRC) meeting on October 16, 2020, and revised plans were submitted by the applicant on October 29, 2020. The Environmental Planning Section recommends approval of Detailed Site Plan (DSP) DSP-20024 and Type 2 Tree Conservation Plan (TCP2) TCP2-033-2020 subject to the findings and conditions listed at the end of this memorandum.

Background

The Environmental Planning Section previously reviewed the following applications and associated plans for the subject site.

Development Review Case	Associated Tree Conservation Plan or Natural Resource Inventory	Authority	Status	Action Date	Resolution Number
NA	NRI-032-2020	Staff	Approved	7/1/2020	NA
4-19049	TCP1-015-2020	Planning Board	Approved	10/29/2020	2020-153
DSP-20024	TCP2-033-2020	Planning Board	Pending	Pending	Pending

Proposed Activity

The current application is for the development of a 128,383 square foot consolidated storage building with 1,042 units and 1,000 square feet of office space on Parcel 1 (2.48-acres), which is part of a larger 11.72-acre site in the I-1 zone.

Grandfathering

The project is subject to the environmental regulations contained in Subtitles 24, 25, and 27 that came into effect on September 1, 2010. This site is associated with a previously approved Type 1 Tree Conservation Plan TCP1-015-2020 (Preliminary Plan of Subdivision 4-19049) approved after September 1, 2010. The current Detailed Site Plan and associated TCP2 are not grandfathered.

Conditions of Previous Approval

The following text addresses previously approved environmental conditions related to the subject application. The text in **BOLD** is the actual text from the previous cases or plans. The plain text provides the comments on the plan's conformance with the conditions.

Conformance with 4-19049 and TCP1-015-2020

The following conditions apply during the preparation and review of the Detailed Site Plan.

2. Development of this site shall be in conformance with the approved Stormwater Management Concept Plan (1120-2020-0) and any subsequent revisions.

An approved stormwater management plan (1120-2020-0) and associated letter from the Department of Permitting, Inspections and Enforcement (DPIE) was submitted with this DSP application and is discussed in detail in the Stormwater Management (SWM) Section of this memo.

13. Prior to detailed site plan approval, the applicant shall demonstrate the efforts made through site design to save Specimen Trees 3, 4, 5, and 6. Should it be demonstrated that the trees cannot be saved, the applicant shall submit a variance request and associated statement of justification for consideration.

The applicant has submitted a variance request as well as an associated statement of justification and an alternative design exhibit that is discussed in the Specimen Trees section below of this memo.

ENVIRONMENTAL REVIEW

Natural Resources Inventory/Existing Conditions Plan

The site has an approved Natural Resources Inventory Plan (NRI-032-2020), which shows the existing conditions of the property. A total of six specimen trees have been identified on-site or within the immediate vicinity of the site's boundary.

The site contains Regulated Environmental Features (REF), which includes a portion of a wetland and associated buffer that extends off-site located in the northeastern corner of the site, which comprise the Primary Management Area (PMA). No regulated stream, 100-year floodplain, or associated buffers exist on-site. The Forest Stand Delineation (FSD) indicates that there is one forest stand, which has a medium to high rating for preservation and restoration. The site has a total of 2.61 acres of gross tract woodland, as shown on the NRI. Areas of steep slopes are scattered across the eastern portion of the site.

The site is located within the Bald Hill Branch watershed, which is both a stronghold and a Tier II watershed. The site does not contain any known historic structures and is not considered a historic site. Much of the remaining property is developed.

No revisions are required for conformance to the NRI. The existing conditions shown on the NRI are correctly shown on the TCP2 and DSP.

Woodland Conservation

This property is subject to the provisions of the Prince George's County Woodland and Wildlife Habitat Conservation Ordinance (WCO) because the property is greater than 40,000 square feet in size and it contains more than 10,000 square feet of existing woodland. A Type 1 Tree Conservation Plan (TCP1-015-2020) was recently approved for this site. A phased Type 2 Tree Conservation Plan (TCP2-033-2020) for two phases was submitted with the current DSP application.

According to the woodland conservation worksheet submitted, the Woodland Conservation Threshold (WCT) for the overall 11.72-acre site within the I-1 zone is 15 percent of the net tract area or 1.76 acres.

The current application associated with this DSP is for Phase 1 located on Parcels 1 and 2, which has a net tract area of 8.25 acres and does not contain any woodlands or propose any additional clearing. Phase 1 has a woodland conservation requirement of 1.76 acres. This requirement will be met entirely off-site prior to the first grading permit for Phase 1.

Phase 2 will cover Parcel 3, which has a net tract area of 3.47 acres with 2.61 acres of woodlands on the net tract with no wooded floodplain. A total of 2.49 acres is shown for clearing within Phase 2 with this TCP2. This clearing is required for rough grading, implementation of a sediment and erosion control plan, and a stormwater management (SWM) plan that will serve the entire site including Parcels 1 and 2. The woodland conservation requirement for Phase 2 is 1.85 acres. This requirement will be met entirely off-site prior to the first grading permit for Phase 2. The total cumulative woodland conservation requirement for both phases is 3.61 acres. The Limits of Disturbance (LOD) for Phase 2 is currently not shown on the TCP2, nor are any of the proposed SWM devices, or temporary sedimentary control devices, or associated grading. These items must be shown on the TCP2.

The TCP2 also required additional technical revisions that are included in the recommended conditions below.

Specimen Trees

Section 25-122(b)(1)(G) requires that "Specimen trees, champion trees, and trees that are part of a historic site or are associated with a historic structure shall be preserved and the design shall either preserve the critical root zone of each tree in its entirety or preserve an appropriate percentage of the critical root zone in keeping with the tree's condition and the species' ability to survive construction as provided in the Environmental Technical Manual (ETM)."

A total of six specimen trees were identified on the approved NRI, four of which are proposed for removal according to the variance request dated October 28, 2020.

Specimen Trees #1 and 2 are proposed to be saved while Specimen Trees #3-6 are requested for removal.

Review of Subtitle 25 Variance Request

A Subtitle 25 variance application and statement of justification dated October 28, 2020 along with a revised TCP2, and Alternative Layout Exhibit prepared by Soltesz, LLC was received for review on October 29, 2020.

Section 25-119(d)(1) of the WCO contains six required findings to be made before a variance can be granted. The Letter of Justification submitted seeks to address the required findings for the four specimen trees together; however, details specific to individual trees (all of which are native) has also been provided in the following chart.

SPECIMEN TREE SCHEDULE SUMMARY

ST #	COMMON NAME	DBH (in inches)	CONDITION	DISPOSITION
1	Willow Oak	32.5	Good	Save
2	Willow Oak	32	Good	Save
3	White Oak	36.5	Good	Remove
4	White Oak	32	Fair	Remove
5	White Oak	37	Poor	Remove
6	White Oak	35	Good	Remove

Statement of Justification request:

A variance from Section 25-122(b)(1)(G) is requested for the clearing of four specimen trees together. This variance is requested to the Woodland and Wildlife Conservation Habitat Ordinance (WCO), which requires under Section 25-122 of the Prince George's County Zoning Ordinance, that "woodland conservation shall be designed as stated in this Division unless a variance is approved by the approving authority for the associated case." The Subtitle 25 Variance Application form requires a Statement of Justification of how the findings are being met.

The text in BOLD, labeled A-F, are the six criteria listed in Section 25-119(d)(1). The plain text provides responses to the criteria.

(A) Special conditions peculiar to the property have caused the unwarranted hardship.

Parcel 1 is unusually shaped and tapers narrowly towards Martin Luther King Junior Highway to the north. All the specimen trees are located along the north western property boundary at the narrowest section of the property. This site was previously developed and is associated with a large WSSC Sewer Easement (Liber 7120 Folio 119) that runs along the frontage of John Hanson Highway (US Route 50). According to the Alternative Layout Exhibit provided by the applicant, if the footprint of the building were shifted away from the specimen trees to preserve these specimen trees critical rootzones, the building would be located within the WSSC Easement and be in violation of the law.

(B) Enforcement of these rules will deprive the applicant of rights commonly enjoyed by others in similar areas.

This property is zoned I-1 (Light Industrial) and is located at the intersection of Martin Luther King Junior Highway and John Hanson Highway (Us Route 50), which are classified as an arterial road and freeway, respectively. This area is previously developed and falls within priority funding area for development. One of the purposes of this zone is to encourage development in areas that are already substantially developed. Further limiting of developable area by protecting the root zones and specimen trees will deprive the applicant of the opportunity to create a functional development.

(C) Granting the variance will not confer on the applicant a special privilege that would be denied to other applicants.

As previously discussed in (A) and (B) above, not granting this variance will prevent the project from being developed in a functional and efficient manner. The variance would not result in a privilege to the applicant; it would allow for development to proceed with similar rights afforded to others with similar properties and land uses.

(D) The request is not based on conditions or circumstances which are the result of actions by the applicant.

The nature of the variance request is not in response to actions taken or resulting by the applicant.

(E) The request does not arise from a condition relating to land or building use, either permitted or nonconforming, on a neighboring property; and

The request to remove the specimen trees does not arise from a condition relating to land or building use, either permitted or nonconforming on a neighboring property.

(F) Granting of the variance will not adversely affect water quality.

The site is governed by the current SWM regulations. Currently the site is within a Tier II Catchment area that is considered a priority for protection. Water is largely discharging untreated from existing development that was constructed prior to these regulations, meaning there is significant discharge of untreated stormwater runoff. The loss of these four specimen trees will be off set from the establishment of water quality and control devices preventing direct untreated discharge into the Little Paint Branch River during storm events.

Summary

After evaluating the applicant's request, staff supports the removal of Specimen Trees #3-6.

Preservation of Regulated Environmental Features (REF)/Primary Management Area (PMA)

Section 27-285(b)(4) of the Zoning Ordinance requires the following finding: "The Planning Board may approve a Detailed Site Plan if it finds that the Regulated Environmental Features (REF) have been preserved and/or restored in a natural state to the fullest extent possible in accordance with the requirement of Subtitle 24-130 (b)(5)."

There is mapped REF located on the overall site. The NRI submitted with this application confirms that there is one REF (a wetland and associated buffer) located in the northeastern corner of the

site, within Phase 2. Because no REF will be impacted with the proposed development, the REF has fully been preserved and/or restored in a natural state possible in accordance with the requirement of Subtitle 24-130 (b)(5).

Stormwater Management

An approved Storm Water Management (SWM) Concept plan (#1120-2020-0) was submitted with the subject application. It is consistent with the TCP2 except that the grading and associated LOD shown on the concept must also be shown on the TCP2. This discrepancy must be addressed prior to certification of the TCP2 and DSP. A combination of three micro-bioretenment areas, a submerged wetland, and two swales are proposed on-site to serve as on-site detention and quality control for stormwater associated with this DSP.

Erosion and Sediment Control

This site is within a Tier II catchment area. Tier II waters are high-quality waters within the State of Maryland as designated by the Maryland Department of Environment (MDE) that are afforded special protection under Maryland's Anti-degradation policy. No streams are associated with this project. The Prince George's Soil Conservation District Soil (PGSCD) may require redundant erosion and sediment control measures for this site as part of their review and approval process. No further information is required at this time regarding Erosion and Sediment Control.

Soils

The predominant soils found to occur on-site, according to the US Department of Agriculture (USDA) Natural Resource Conservation Service (NRCS) Web Soil Survey (WSS), include Urban Land-Russett-Christiana complex (0-5% slopes), Russett-Christiana-Urban Land complex (0-5% slopes), and Urban Land Issue-complex (0-5% slopes).

According to available information, no unsafe soils containing Marlboro clay exist on-site; however, unsafe soils containing Christiana complexes are mapped on this property. According to the DPIE, when existing or proposed steep slopes exceed 20 percent on unsafe soils, government agencies should insist on submitting a full Geotechnical Report that includes a Global Stability Analysis with the proposed (mitigated) 1.5 Safety Factor Line (SFL) determined and shown on the plans submitted for County review and approval. There are no slopes of significant concern identified within the area of this soil type and the applicant is proposing to cut and fill the site to a 1 percent grade for a buildable area. A geotechnical review was not requested with this application but may be required for review by the County with a future development application in conformance with CB-94-2004.

Summary of Recommended Findings and Conditions

The Environmental Planning Section recommends approval of DSP-20024 and TCP2-003-2020 subject to the following recommended findings and conditions.

Recommended Findings:

1. The Regulated Environmental Features (REFs) on the subject property have fully been preserved and/or restored possible based on the limits of disturbance shown on the tree conservation plan submitted for review. No impacts have been proposed.
2. The required findings of Section 25-119(d) have been adequately addressed for the removal of four specimen trees (#3-6). These trees are recommended for removal.

Recommended Conditions:

1. Prior to certification of the DSP, the TCP2 shall be revised as follows:
 - a. Revise the TCP2 by showing all proposed grading and associated devices to be installed for sediment and erosion control as well as for stormwater management required for rough grading of the site and for Phase 1.
 - b. Add a separate LOD (using a distinct symbol) for Phase 2 that is easily distinguishable from the LOD for Phase 1.
 - c. Complete the standard notes entitled "when invasive plant species are to be removed by the permittee" with the required information.
 - d. Include an invasive species management plan on the TCP2.
 - e. Revise the TCP2 worksheet as follows:
 - i. Indicate the site is subject to the 2010 Woodland Conservation Ordinance.
 - ii. Indicate that the site is within a PFA (Priority Funding Area).




THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

14741 Governor Oden Bowie Drive
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November 2, 2020

MEMORANDUM

TO: Thomas Burke, Planner Coordinator, Urban Design Section

FROM: Alice Jacobs, Principal Planning Technician, Permit Review Section 

SUBJECT: DSP-20024 – Parliament Place – Phase 1

1. Alternative compliance approval regarding Section 4.7 of the Landscape Manual is a necessary part of this detailed site plan approval.
2. Signage is part of the detailed site plan approval. Two building signs are proposed for the site, but the provided details are very general. Is there detailed signage information for this building that includes: the specific proposed placement of the sign on the building, sign design options, and the method of erecting the signs, pursuant to Sections 27-596(c) of the Zoning Ordinance?
3. The Permit Review Section offers no further comments for this development application.

November 3, 2020

Thomas Burke
Planner Coordinator / Urban Design
Development Review Division
The Maryland-National Capital Park and Planning Commission
14741 Governor Oden Bowie Drive
Upper Marlboro, Maryland 20772

Dear Mr. Burke:

The Office of the Fire Marshal of the Prince George's County Fire and EMS Department has reviewed the revised referral for DSP-20024, Parliament Place. We have the following comments:

- 1) The new fire coverage exhibit appears to show that hydrants will be provided within 500 feet of the most remote portion of the building and fire access will be provided within 450' of the most remote portion of the building but no measurements are shown.
- 2) The FDC as shown is compliant with regard to distance from the hydrant (<200') but the location on the south face of the building may be problematic as the code requires the FDC to be on the front, address side of the building.
- 3) The provided fire hydrant appears to be served by a 4" water line. Is this compliant with the WSSC code?

Please let me know if you have any questions regarding these comments.

Sincerely,

James V. Reilly
Contract Project Coordinator III



Office of the Fire Marshal
Division of Fire Prevention and Life Safety
Prince George's County Fire and EMS Department
6820 Webster Street, Landover Hills, MD 20784
Office: 301-583-1830
Direct: 301-583-1838
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From: Burke, Thomas <thomas.burke@ppd.mncppc.org>

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1701

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PARCEL 19
LRF1 DC LOGISTICS 1 LLC
L40754 F.059
ZONE: I-1
USE: INDUSTRIAL

5

6

9

10

3

4

3 STORY
SELF-STORAGE
BLDG. HEIGHT=36 FT.
128,383 SF
FFE=128.0

PROPOSED
PARCEL 1
108,316.4 SQ. FT.
2.48 AC.

OFFICE

UNDERGROUND SWM
STORAGE DEVICE

PARCEL R
BDC PARLIAMENT PLACE LLC
L13640 F.404
ZONE: I-1
USE: INDUSTRIAL

PARCEL U
4200 PARLIAMENT LLC
L39418 F.541
ZONE: I-1
USE: OFFICE

PARCEL T
IBEX SOCIAL AND ELFARE ASSN
L21671 F.556
ZONE: I-1
USE: INDUSTRIAL

LEGEND

- BOUNDARY LINE
- EXISTING 10' CONTOURS
- EXISTING 2' CONTOURS
- PROPOSED 10' CONTOURS
- PROPOSED 2' CONTOURS
- EXISTING SEWER
- EXISTING EASEMENT
- PROPOSED EASEMENT
- PROPOSED LOT LINE
- PROPOSED SEWER LINE
- PROPOSED WATER LINE
- PROPOSED STORM DRAIN
- EXISTING WOODLANDS

C Man-Gate Elevation
Scale: 1/4" = 1'-0"

D Decorative Fence Elevation
Scale: 1/4" = 1'-0"

E Gate Elevation
Scale: 1/4" = 1'-0"

11



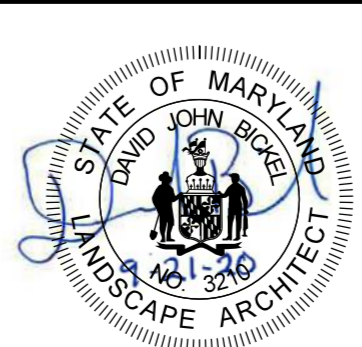
LANHAM OFFICE
4300 Forbes Boulevard, Suite 230
Lanham, MD 20706
P. 301.794.7555 F. 301.794.7656

NO.	REVISIONS		BY	DATE
DATE: NOVEMBER 2019	CAD STANDARDS VERSION: V8 - NCS			
DESIGNED: YOR	TECHNICIAN: YOR	CHECKED: DJR		

MISS UTILITY NOTE
INFORMATION CONCERNING EXISTING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS. THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF ALL EXISTING UTILITIES AND UTILITY CROSSINGS BY DIGGING TEST PITS BY HAND, WELL IN ADVANCE OF THE START OF EXCAVATION. CONTACT "MISS UTILITY" AT 1-800-261-7777 48 HOURS PRIOR TO THE START OF EXCAVATION. IF CLEARANCES ARE LESS THAN SHOWN ON THIS PLAN OR TWELVE (12) INCHES, WHICHEVER IS LESS, CONTACT THE ENGINEER AND THE UTILITY COMPANY BEFORE PROCEEDING WITH CONSTRUCTION. CLEARANCES LESS THAN NOTED MAY REQUIRE REVISIONS TO THIS PLAN.

OWNER/DEVELOPER/APPLICANT
4200 PARLIAMENT LLC
CHESAPEAKE PL EST GRP LLC
1344 ASHTON RD STE 105
HANOVER MD 21076

TAX MAP	ZONING CATEGORY
52, P1 & P2	I-1
WBC 200 SHEET	
209 NE 09	
SITE DATUM	
HORIZONTAL:	
VERTICAL:	



PLAN VIEW & DETAILS

**DETAILED SITE PLAN
DSP-20024 PARCEL 1
PARLIAMENT PLACE**

KENT (13TH) ELECTION DISTRICT, PRINCE GEORGE'S COUNTY, MARYLAND

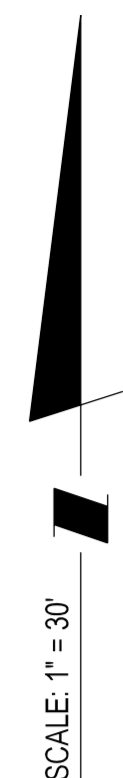


1" = 30'

SHEET 3 OF 4

PROJECT NO. 35500100

P:\35500100\Engineer\Sheet_Files\Site\Site_DSP_03.shx Scale: 30.0000 x 1 in. User: yron PLTDate: PDF_Grey_150 plctdy PntDate: TEXT_S1530 15/09/2019 15/09/2019



LEGEND

	BOUNDARY LINE
	EXISTING 10' CONTOURS
	EXISTING 2' CONTOURS
	PROPOSED 10' CONTOURS
	PROPOSED 2' CONTOURS
	EXISTING SEWER
	EXISTING EASEMENT
	PROPOSED EASEMENT
	PROPOSED LOT LINE
	PROPOSED SEWER LINE
	PROPOSED WATER LINE
	PROPOSED STORM DRAIN
	EXISTING WOODLANDS

 SOLTESZ, LLC Engineering Surveying Planning Environmental Sciences	LANTHAM OFFICE 4300 Forbes Boulevard, Suite 230 Lanham, MD 20706 P. 301.794.7555 F. 301.794.7556 www.solteszco.com		<table border="1"><thead><tr><th>NO.</th><th>NO.</th><th>NO.</th><th>NO.</th><th>NO.</th><th>NO.</th><th>NO.</th><th>NO.</th><th>NO.</th><th>NO.</th><th>NO.</th><th>NO.</th></tr></thead><tbody><tr><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td></tr><tr><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td></td></tr></tbody></table>										NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.	NO.																								
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1 - 1 - WSSC Plan Review Comments

Created by: Mary Mapes
On: 10/09/2020 04:39 PM

WSSC Plan Review Comments
DSP-20024 - Parliament Place

----- 0 Replies -----

2 - 2 - WSSC Standard Comments for All Plans

Created by: Mary Mapes
On: 10/09/2020 04:39 PM

1. WSSC comments are made exclusively for this plan review based on existing system conditions at this time. We will reevaluate the design and system conditions at the time of application for water/sewer service.
2. Coordination with other buried utilities:
 - a. Refer to WSSC Pipeline Design Manual pages G-1 and G-2 for utility coordination requirements.
 - b. No structures or utilities (manholes, vaults, pipelines, poles, conduits, etc.) are permitted in the WSSC right-of-way unless specifically approved by WSSC.
 - c. Longitudinal occupancy of WSSC rights-of-way (by other utilities) is not permitted.
 - d. Proposed utility crossings of WSSC pipelines or rights-of-way that do not adhere to WSSCs pipeline crossing and clearance standards will be rejected at design plan review. Refer to WSSC Pipeline Design Manual Part Three, Section 3.
 - e. Failure to adhere to WSSC crossing and clearance standards may result in significant impacts to the development plan including, impacts to proposed street, building and utility layouts.
 - f. The applicant must provide a separate Utility Plan to ensure that all existing and proposed site utilities have been properly coordinated with existing and proposed WSSC facilities and rights-of-way.
 - g. Upon completion of the site construction, utilities that are found to be located within WSSCs rights-of-way (or in conflict with WSSC pipelines) must be removed and relocated at the applicants expense.
3. Forest Conservation Easements are not permitted to overlap WSSC existing or proposed easements. Potential impacts to existing Forest Conservation Easements (due to proposed water and/or sewer systems) must be reviewed and approved by County staff.
4. Unless otherwise noted: ALL extensions of WSSCs system require a request for Hydraulic Planning Analysis and need to follow the System Extension Permit (SEP) process. Contact WSSC's Permit Services Section at (301-206-8650) or visit our website at <https://www.wsscwater.com/business--construction/developmentconstruction-services.html> for requirements. For information regarding connections or Site Utility (on-site) reviews, you may visit or contact WSSC's Permit Services Section at (301) 206-4003.

----- 0 Replies -----

3 - EX. MH in PUE

Created by: Fred Mejias
On: 10/19/2020 10:31 AM

May need to add just PUE around this area to avoid existing manhole.

----- 0 Replies -----

4 - Existing Water Line?

Created by: Fred Mejias
On: 10/20/2020 03:53 PM

Not sure what is going on with this water line. It starts on the other side of the parcel as shown on sheet 4 and comes through the proposed building which is not allowed. Portions of this line would need to be removed. Please label what portions of this line to be removed and what portions to remain.

Our records indicate that this is served by an existing 10in W and extends to the other side of the parcel. Please find and label this and provided all the required information.

----- 0 Replies -----

5 - Covenant

Created by: Fred Mejias
On: 10/20/2020 03:57 PM

A single water/sewer service connection for two or more buildings in a single lot/parcel requires a covenant. Should the property be subdivided or sold in the future, individual water/sewer connections for each building will be required.

----- 0 Replies -----

6 - Missing Ex. COntract Info

Created by: Fred Mejias
On: 10/20/2020 04:12 PM

----- 0 Replies -----

7 - Missing Ex. COntract Info

Created by: Fred Mejias
On: 10/20/2020 04:24 PM

----- 0 Replies -----

8 - Missing Ex. COntract Info

Created by: Fred Mejias
On: 10/20/2020 04:24 PM

----- 0 Replies -----

9 - Prop. 4" W??

Created by: Fred Mejias
On: 10/20/2020 04:25 PM

Where is this 4in water going?

Is it serving the other water line not labeled coming from sheet 4?

Water lines serving the building usually end at 5 ft from the building.

Why is this water line running through the building? This is not allowed. You need to clearly define where this is going?

----- 0 Replies -----

10 - Where is the Existing 10" W Currently serving the property from this intersection.

Created by: Fred Mejias
On: 10/21/2020 11:05 AM

----- 0 Replies -----

11 - Design & Hydraulic Comments

Created by: Fred Mejias
On: 10/21/2020 12:19 PM

Design Comments:

- 1.This existing building shown on sheet 4 is currently being served by existing and active water connection(s) at the intersection shown on sheet 3. However, you are not showing the existing water connection.
- 2.The existing building also has existing sewer connections, not shown on sheet 4 as shown on the existing onsite contract # 1988-0146.
- 3.Existing on-site sewer mains, and existing water and sewer service connections are not shown on the plan. Existing water and sewer lines as well as proposed connections need to be included on the plan for WSSC to provide appropriate comments.
- 4.Existing water and sewer mains shown on plan should be labeled with correct material and WSSC contract number.
- 5.Show and label easement limits on plan for all existing and proposed water mains.
- 6.There is a 16- inch diameter water main located on or near this property. WSSC records indicate that the pipe material is Prestressed Concrete Cylinder Pipe (PCCP). Prior to submittal of Phase 2 System Integrity review or Site Utility, it is the applicant's responsibility to test pit the line and determine its exact horizontal and vertical location as well as to verify the type of pipe material. The applicant's engineer is responsible for coordinating with WSSC for monitoring and inspecting test pits for this project.
- 7.Notes for Special Construction Requirements within the Vicinity of Existing PCCP water mains shall be added to all design plans, including the Erosion and Sediment Control Plans.
- 8.WSSC has an on-going Pre-Stressed Concrete Cylinder Pipe (PCCP) Condition Assessment Program for inspection, repairs, and pipeline management of existing PCCP water mains 36-inches and larger. This program requires sections of the existing PCCP water mains to be shut down for extended periods of time for inspection and repairs. When connecting to these PCCP water mains, scheduled shutdowns may be delayed until the work is completed under this program.
- 9.Water pipelines 12-inch and smaller must have the greater of: a minimum of 15 feet horizontal

- separation from any building or dwelling or a 1:1 slope from the bottom of the foundation of the existing or proposed building to the bottom edge of the pipeline trench.
10. Service connections to WSSC sewer mains 15-inch up to 27-inch require special review and approval. No do not like job. the WSSC Permit Services Unit at (301) 206-4003 for application procedures. Service connections to WSSC sewer mains 30-inch or larger are not allowed
11. An Environmental Site Assessment report may/will be required for the proposed site.
12. Any grading change in pipe loading (including but not limited to proposed fill or excavation), adjustment to manhole rims, fire hydrant relocations, placement of access roads or temporary haul roads, temporary sediment control devices, paving construction or construction related activity of any kind over an existing WSSC water or sewer main or within an existing WSSC right-of-way requires advance approval by WSSC. Any proposed public street grade establishment plan (GEP) with an existing WSSC water or sewer main of any size located within the existing or proposed public street right-of-way requires WSSC approval directly on the original GEP prior to approval of the GEP by the County Department of Public Works and Transportation. Any work (design, inspection, repair, adjustment, relocation or abandonment of existing WSSC facilities) is done at the sole expense of the applicant/builder/developer. Contact WSSC Relocations Unit at (301) 206-8672 for review procedures and fee requirements.

See WSSC 2017 Pipeline Design Manual, Part Three, Section 5 & Section 11.

13. Show and label all existing nearby water and/or sewer service connections that may be impacted by the proposed development.

Hydraulic Comments:

1. Site Utility System reviews are required for projects with proposed water connections greater than 2-inch or sewer connections greater than 4-inch. Contact the WSSC Permit Services Unit on (301) 206-8650 for submittal requirements or view our website
2. A 16-inch water main is available to serve the proposed site. Contact the Permit Services Unit at (301) 206-8650 for details regarding applying for service connections or visit our website.
3. A 12-inch and 36-inch gravity sewer mains are available to serve the proposed site. Contact the Permit Services Unit at (301) 206-8650 for details regarding applying for service connections or visit our website.

----- 0 Replies -----

12 - Existing Water Line

Created by: Fred Mejias
On: 10/21/2020 09:58 AM

Where does this water line come from?
What is this water line serving?
This line appears to go on to the other parcel and through the existing building, this is not allowed?
You may need a private easement or declaration of covenant for the portion of existing water.

----- 0 Replies -----



**INTER-OFFICE MEMORANDUM
PRINCE GEORGE'S COUNTY
POLICE DEPARTMENT**



M E M O R A N D U M

DATE: October 14, 2020
TO: Planning Coordinator, Urban Design Application Section
Development Review Division
FROM: Captain Wendy Contic, Assistant Commander, Planning & Research Division
SUBJECT: DSP-20024 Parliament Place

Upon review of the site plans, there are no comments at this time.

From: [Reilly, James V](#)
To: [Burke, Thomas](#)
Cc: [PGCReferrals](#)
Subject: Fire/EMS comments for DSP-20024, PARLIAMENT PLACE - PHASE 1 (PB) COMPANION: AC-20011
Date: Thursday, October 15, 2020 8:54:59 PM
Attachments: [DSP-20024 D COVER.pdf](#)
[DSP-20024 COVER .pdf](#)
[AC-20011.pdf](#)

[EXTERNAL EMAIL] Exercise caution when opening attachments, clicking links, or responding.

Good Evening Tom,

Sorry for the last minute comments. Please see below for comments for DSP-20024. Thanks.
Jim

Office of the Fire Marshal

October 15, 2020

Thomas Burke
Planner Coordinator / Urban Design
Development Review Division
The Maryland-National Capital Park and Planning Commission
14741 Governor Oden Bowie Drive
Upper Marlboro, Maryland 20772

Dear Mr. Burke:

The Office of the Fire Marshal of the Prince George's County Fire and EMS Department has reviewed the referral for DSP-20024, Parliament Place. We have the following comments:

- 1) It does not appear that fire access is provided as intended by Subtitle 11-276. There is limited vehicle access to only one side of the building. Due to parking and loading spaces fire access is further limited.

Sec. 11-276. - Required access for fire apparatus.

- (a) All premises which the Fire/EMS Department may be called upon to protect in case of fire or other emergencies and which are not readily accessible to fire apparatus from public streets shall be provided with suitable gates, access roads, and fire lanes so that all buildings on the premises are accessible to fire apparatus, and in accordance with the County Building Code, Subtitle 4, Section 4-

223.

- (b) Private roads or fire lanes shall be provided for all buildings which are set back more than one hundred fifty (150) feet from a public street or exceed thirty (30) feet in height and are set back over fifty (50) feet from a public street. Private roads or fire lanes shall be:
 - (1) Along the longest side of the buildings;
 - (2) At least twenty-two (22) feet in width; and
 - (3) At the road edge nearest to the building no closer than ten (10) feet and no further than forty (40) feet from the building.
- 2) If any exits will discharge to the sides or rear of the building, please show appropriate all weather walk-ways back to the front of the building.
- 3) Please provide an exhibit showing that hydrants will be provided within 500 feet of the most remote portion of the building and within 200' of the Fire Department Connection (FDC).

Please let me know if you have any questions regarding these comments.

Sincerely,

James V. Reilly
Contract Project Coordinator III



Office of the Fire Marshal
Division of Fire Prevention and Life Safety
Prince George's County Fire and EMS Department
6820 Webster Street, Landover Hills, MD 20784

Office: 301-583-1830

Direct: 301-583-1838

Cell: 240-508-4931

Fax: 301-583-1945

Email: jvreilly@co.pg.md.us

Additional Back-up

For

Detailed Site Plan DSP-20024
Parliament Place

Revised Conditions 2c and 2d for DSP-20024

- c. ~~Complete the standard notes entitled “when invasive plant species are to be removed by the permittee” with the required information.~~ Revise the TCP2 to show the 0.12acre area of invasive species on the plan as cleared. The woodland conservation worksheet shall be updated to account for the clearing.
- d. ~~Include an invasive species management plan on the TCP2.~~